

CONDITIONS OF APPROVAL:

Open Issues: 20 These issues are currently being filtered

Engineering - Site Plan Checklist

General Issues

15. Final Plat

joe.marlo@franklintn.gov Comment to remain open as a reminder to COF Staff, but **does not hinder approval of the Site Plan.**

Prior to issuance of a grading permit, a final plat shall be approved and recorded to dedicate right-of-way, modify/abandon existing easements on the property and create new easements as necessary for the proposed site development.

18. Survey

joe.marlo@franklintn.gov Applicant to indicate "Field-Run" on the drawings if the the survey information shown is based on a field-run survey (and not GIS). (Cover Sheet Note 4, C0.01 Note 2, and C1.0/C1.1 Note 4)

23. Work Within TVA Easement

joe.marlo@franklintn.gov The proposed site plan indicates to be performed within TVA Easements, including utilities, detention, and bioretention.

Prior to One Stop approval, Applicant shall provide documentation from TVA acknowledging the work shown within their easement.

60. Carlisle Lane

There are safety concerns on Carlisle Lane. This roadway will be the main access to the Animal Care Facility. We recognize that the Animal Care Facility generates a low volume of traffic typically off-peak and that there is an urgent need for this facility to be constructed. The City of Franklin will continue to elevate the discussion with the Board of Mayor and Alderman to prioritize this project as we anticipate increased development and traffic with the extension of Mack Hatcher (currently under construction). This issue is currently being addressed by City and County Administration.

CARLISLE LANE 68

STONE MILL LANE TO DEL RIO PIKE

PROJECT OVERVIEW	
OVERALL COST:	\$4,186,000
TIME FRAME:	Long
PROJECT DRIVER:	City of Franklin

PROJECT CHARACTER	
FUNCTIONAL CLASSIFICATION:	Minor Collector
SEGMENT LENGTH:	0.55 miles
EXISTING LANES:	2
PROPOSED LANES:	2
PROPOSED RIGHT OF WAY:	79 feet

PROJECT SPECIFICS	
LANE WIDTH:	12 feet
MEDIAN:	No
CURB & GUTTER:	Yes
PARKING:	No
PEDESTRIAN FACILITY:	Sidewalk (Both Sides)
BICYCLE FACILITY:	Bike-lane (Both Sides)
TRANSIT FACILITY:	No

This is an upgrade to an existing 2 lane roadway. This new road will start at Del Rio Pike and end at Stone Mill Lane. This road provides an additional connection for several neighborhoods to access Highway 96 West quicker. There is no LOS in 2015 because the road was not constructed. The 2040 LOS after improvements is C.



80. Old Charlotte Pike Improvements

joe.marlo@franklin.tn.gov Old Charlotte Pike is presently a public city street. The existing construction of Old Charlotte Pike is substandard to support the development proposed. All public city streets shall meet City of Franklin Street Standards.

So long as Old Charlotte Pike remains a public city street, the Applicant shall improve Old Charlotte Pike to meet city standards for a Low Volume Local Street, including the following:

1. (2) 11-foot lanes constructed with a pavement section meeting COF RD-3 and extending from the intersection with the proposed drive to the intersection with Carlisle Lane. Be aware that the existing pavement section is unlikely to meet COF RD-3 without full-depth reclamation or other rehabilitation measures producing an approved equivalent section.
2. Curb and gutter with associated storm infrastructure, or 4-foot shoulder with ditch section, on both sides of road improvements.
3. 5-foot wide concrete sidewalk on the north side of Old Charlotte Pike along the extents of property frontage.
4. Right-of-way dedication encompassing the improvements. Sidewalks located away from the roadway may be placed in a Public Access Easement instead of ROW.

Street and sidewalk improvements shall be coordinated with the COF Planning Department.

Prior to One Stop Approval, Applicant shall complete either 1 or 2 below:

1. Old Charlotte Pike to remain a Public Street: Applicant shall incorporate the improvements listed above for a Public City Street. Improvements to Old Charlotte Pike shall be constructed by the developer and accepted by the City of Franklin prior to the first issuance of a Certificate of Occupancy.
2. Old Charlotte Pike to become a Private or County Street: The Applicant shall complete the work necessary for the ROW abandonment, including but not limited to survey and legal descriptions of the property to present to the City of Franklin BOMA for consideration. The BOMA shall approve the ROW abandonment, and the abandoned ROW shall be indicated on the project drawings.

88. Standard Drawings

joe.marlo@franklin.tn.gov *Sheets C2.2 and C2.3 do not appear to show the details requested below.*

So long as Old Charlotte Pike remains a public city street, Applicant shall provide City of Franklin standard drawings for construction within right-of-way and public access easements, including:

DWG NO RD-3 Local, Alley, and Mews Pavement Section
DWG NO D-1 Drainage Structures, Manholes, Grates, and Endwalls
DWG NO RP-3 Local Street Curb and Gutter
DWG NO RP-8 Concrete Sidewalk
DWG NO RP-10 Sidewalk Expansion Joint

94. Storm Infrastructure

joe.marlo@franklin.tn.gov *The following is a new comment due to new information shown.*

Applicant shall label storm structures on plan corresponding to those now shown in the pipe table on C3.0.

95. Meeting Required

joe.marlo@franklin.tn.gov **Prior to submitting for One Stop**, Applicant shall schedule a meeting with Engineering, Stormwater, and Water Management staff to demonstrate that the comments made herein have been corrected and incorporated into the project documents.

After the corrections have been made, contact Joe Marlo (joe.marlo@franklin.tn.gov) at the City of Franklin to arrange a meeting at City Hall.

Performance Agreement and Surety

General Issues

87. Engineering Sureties

kevin.long@franklin.tn.gov Sureties waived, this project is owned by Williamson County government and no sureties would be collected by mutual agreement between City of Franklin and Williamson County.
[Edited By Kevin Long]

Stormwater

General Issues

1. Bioretention

ellen.moore@franklin.tn.gov *Comment shall remain open until TVA documentation is provided:*

"Applicant shall either remove the bioretention area from the TVA easement or provide documentation from TVA stating that the bioretention area is allowed to be within their easement."

3. Bioretention

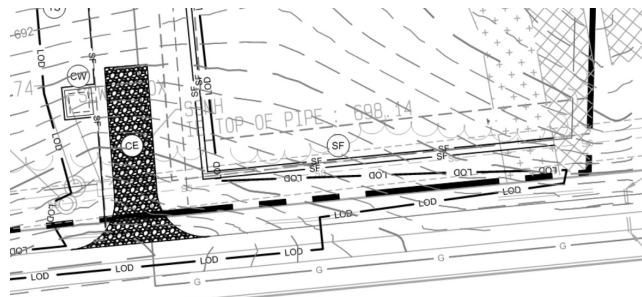
ellen.moore@franklin.tn.gov The pretreatment detail has conflicting depths of the forebay shown. The berm is shown as 6", but 12" is shown on the detail and the calculations.

5. Drainage

ellen.moore@franklin.tn.gov The storm infrastructure is shown grayed out on both site plans and no calculations can be located for the infrastructure to be installed in the access drive. Applicant shall show all calculations for storm infrastructure proposed.

69. EPSC

Doug.Noonan@franklin.tn.gov Comment not addressed, All EPSC measures shall be within LOD.



Water/Sewer

General Issues

39. Sanitary sewer

ben.mcneil@franklintn.gov

The request for a permeant sanitary sewer pumping station has been denied by Franklin Water Management Director and Assistant Director. The Water Management team will allow a temporary private sanitary sewer pump station, to serve the proposed building with a sanitary sewer force main extending to FCA manhole ending with FCA proposed project.

The sanitary sewer alignment that has been provided for review with the most recent submittal shows that gravity sewer will not be available by the proposed routing. However, by extending a sanitary sewer main west to the existing Westhaven pump station, gravity sanitary sewer can be achieved to serve all properties within this general area.

Williamson County will be allowed to move forward with a temporary private pump station, but prior to any additional buildings being approved, the gravity sanitary sewer must be extended from Westhaven pump station to the furthest property line of the Williamson County development. All associated easements permanent and temporary construction easements must be recorded with the plat for this site plan.

This issue can be discussed with COF staff and Admin to better understand the requirement.



[Edited By Ben McNeil]

40. Sanitary sewer

ben.mcneil@franklintn.gov

The sanitary sewer plan for the Animal shelter is being revised. The gravity extension from FCA will not be required at this time. The force main shall be shown connecting to the last manhole being set at FCA. The same layout shall be shown, but the connection point shall be relocated. The force main will be required to connect to the manhole and there fore the applicant shall not that the manhole shall be lined in accordance to Franklin Water specifications.

This may require a meeting prior to resubmitting to ensure the layout of the property is correct.

47. Utility conflicts

ben.mcneil@franklintn.gov

The applicant failed to address the issue, the water alignment for the Williamson County Animal shelter and future site construction shall follow Old Charlotte Pike and reconnect to the 24" water main along Del Rio pike.

The water must loop with the initial installation of the infrastructure plan as TDEC has issued a non compliance order for Franklin Water due to some existing dead end water mains throughout the system. In addition, Franklin water specs do require a secondary feed for water service.

49. Water

ben.mcneil@franklintn.gov The applicant failed to address the issue, the water alignment for the Williamson County Animal shelter and future site construction shall follow Old Charlotte Pike and reconnect to the 24" water main along Del Rio pike.

The water must loop with the initial installation of the infrastructure plan as TDEC has issued a non compliance order for Franklin Water due to some existing dead end water mains throughout the system. In addition, Franklin water specs do require a secondary feed for water service.

73. Force main/ Pump station

ben.mcneil@franklintn.gov The pump station has been denied as a permeant pump station. That being said, the station can be designed as a temporary pump station to serve the initial building proposed with the site plan being review concurrently. Once the county elects to move forward with additional buildings, the sanitary sewer pump station will be removed and the gravity sewer will be installed.

The pump station shall be designed and submitted to ensure there is no issue with the design and the ability to serve the building. The force main shall be designed to connect to the sanitary sewer main being extended with the FCA site plan. The sizing shall be determined by the pump station designer and supporting calculations shall be submitted for review.

74. Sanitary sewer

ben.mcneil@franklintn.gov The applicant shall show the design of the force main being public to the property line of Williamson County property. A shut off and check valve shall be submitted at that location to end public sewer. The force main shall be shown as temporary and to be abandoned with the installation of the sanitary sewer main for future development of the site.

97. Utility meeting

ben.mcneil@franklintn.gov The applicant shall meet with Water Management to discuss changes to the infrastructure plan prior to re submittal. This was discussed with Williamson County officials on 3/13/20 and Williamson county has not made a determination of the utility layout.

In order to move forward, the applicant shall comply with Franklin Water management requirements.