

CONDITIONS OF APPROVAL:

Open Issues: 23 These issues are currently being filtered

Engineering - Site Plan Checklist

General Issues

11. Final Plat

joe.marlo@franklntn.gov *Comment to remain open as a reminder to COF Staff, but **does not hinder approval of the Site Plan.***

Prior to issuance of a building permit, a revised final plat shall be approved and recorded to dedicate right-of-way, modify/abandon existing easements on the property and create new easements as necessary for the proposed site development.

15. Survey

joe.marlo@franklntn.gov Applicant to indicate "Field-Run" on the drawings if the the survey information shown is based on a field-run survey (and not GIS). (Cover Sheet Note 4, C0.01 Note 2, and C1.0/C1.1 Note 4)

16. Work Within TVA Easement

joe.marlo@franklntn.gov The proposed site plan indicates to be performed within TVA Easements, including utilities, detention, and bioretention. **Prior to One Stop approval**, Applicant to provide documentation from TVA acknowledging the work shown within their easement.

20. Regional Stormwater Features

joe.marlo@franklntn.gov *Comment to remain open as a reminder to COF Staff, but **does not hinder approval of the Site Plan.***

Prior to the first issuance of a Certificate of Occupancy, All regional stormwater features shall be installed and functioning properly prior to issuance of any certificate of occupancy for developments using them.

40. Offsite Improvements

joe.marlo@franklntn.gov *Comment to remain open as a reminder to COF Staff, but **does not hinder approval of the Site Plan.***

Prior to the first issuance of a Certificate of Occupancy, the improvements shown on the associated Infrastructure Site Plan to Old Charlotte Road shall be constructed and accepted by the City of Franklin

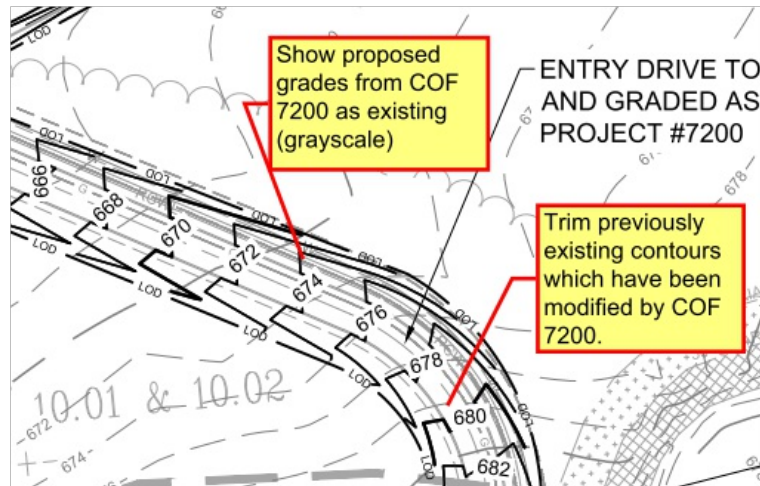
81. Existing Grades

joe.marlo@franklntn.gov *Comment partially addressed.*

Applicant shall revise proposed grading sheets (C3.0, C3.1) to clarify grades proposed with this site plan versus existing grades. Proposed grades from the associated infrastructure plan (COF 7200)

are to be shown as existing on this Site Plan (COF 7199).

See below for one example at the entry drive.



84. Stormwater Infrastructure

joe.marlo@franklintn.gov Applicant shall revise storm infrastructure labels in the provided tables to match those shown on plans. At this time, the storm structures cannot be reviewed. (C3.0, C3.1)

Applicant shall ensure that all infrastructure has positive drainage. Several pipes in the table currently appear to have a negative slope. (C3.0)

Performance Agreement and Surety

General Issues

85. Engineering Sureties

kevin.long@franklintn.gov Sureties waived, this project is owned by Williamson County government and no sureties would be collected by mutual agreement between City of Franklin and Williamson County.
[Edited By Kevin Long]

Planning

General Issues

29. Building Type

dianna.tomlin@franklintn.gov Please include information on the site data sheet. Site Data sheet should reflect the site plan checklist - see number 38.

Site Plan Checklist

29	Names, addresses, and contact information of land owners and/or beneficial owners holding more than a 1% interest in the landowner is a partnership, corporation, or other business entity.
30	Names, addresses, contact information, and signed and dated by the applicant.
31	Submittal and revision dates.
32	Tax map, group, parcel number(s), and address(es) of site.
33	Vicinity map with site location and corporate limits (if within corporate limits).
34	City of Franklin project number (to be assigned once initiated).
35	Sheet index for all sheets included in the submittal set.
36	Approved modifications of standards, if any.
37	Take-down schedule for components in multi-section drawings.
38	Open space take-down schedule for components in multi-section drawings.

2016 MAPLE STREET

37	Project Name: Project #: Address: Parcel(s): Acreage/Square Footage of Site: Vesting: (date development first became vested): REGULATIONS: Base Zoning: Overlay Zoning: Building Types Applied: Frontage Types Applied: Lot W/ (Residential): Lot Size (Residential): Setbacks:- Front yard: Side yard: Rear yard: Dwelling Unit Count, by Type: Commercial SF, by Use: Hotel/Key: Building Height: Minimum Landscape Surface Area: Open Space SF Required: Natural Area SF Required: Tree Canopy Retention Acreage: Parking Required by Use: Parking Provided by Use: Historic Resource Treatment (y/n):
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30. Frontage Type

dianna.tomlin@franklin.tn.gov A frontage type should be designated and regulations pertaining to it adhered to

41. Connectivity

dianna.tomlin@franklintn.gov Per Envision Franklin and the City of Franklin Zoning Ordinance connections should be made to all adjoining properties where feasible.

49. Frontage Type

dianna.tomlin@franklinn.gov Parking frontage should be adjusted to adhere to the regulation or a master plan submitted to show future buildings will front Old Charlotte
[Edited By Dianna Tomlin]

Stormwater

General Issues

2. SWPPP & NOI (NPDES)

Doug.Noonan@franklintrn.gov Comment partiall addressed, " Applicant shall address the issues/deficiencies noted on the NOI/SWPPP checklist that has been uploaded.

Site will not be eligible for one-stop, nor will final site plan approval be granted until deficiencies have been addressed. "

- Only remaining issue from checklist is the SWPPP certification needs to be signed by the Mayor.

[Edited By Doug Noonan]

74. SWPPP & NOI (NPDES)

Doug.Noonan@franklintn.gov QLP fee of \$1,000.00 is due prior to one stop/plan approval. This comment shall remain open as a reminder to applicant/staff.

86. Drainage

ellen.moore@franklin.tn.gov All roof drains shall daylight to a forebay since the flow is concentrated.

87. Bioretention

ellen.moore@franklinn.gov Gravel diaphragms are not an approved pretreatment for curb cuts (concentrated flow.) Applicant shall show two forms of pretreatment that are applicable for the flow the bioretention area is receiving. If there is a grass area between the two measures, that shall be shown on the grading and drainage plans to scale.

93. Bioretention

ellen.moore@franklin.tn.gov Applicant shall show elevations for the following (if applicable) for each bioretention area onsite:

Bioretention	Subgrade	Top of Stone	Underdrain	Top of Soil	Berm	Top of Casting	Spillway
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	Elevation	Elevation & Depth	Invert Elevation	Elevation & Depth	Elevation	of the Outfall Structure	Elevation
Area 1							

Water/Sewer

General Issues

42. Utility Plan

ben.mcneil@frankltn.gov The infrastructure plan is amidst changes to the sanitary sewer and water layouts. The applicant shall once again adjust the site plan to match all utility changes on the infrastructure plan.

44. Sanitary sewer

ben.mcneil@frankltn.gov The sanitary sewer force main shall be labeled as a **temporary** private force main to the property line. A future gravity sewer main shall be utilized to flow sanitary sewer to the Westhaven pump station.

45. Water

ben.mcneil@frankltn.gov The water and fire meter locations shall be revised based upon the infrastructure plan. The details showing sizing, locations and appropriate backflow devices shall be detailed on the site plan and the infrastructure plan. The applicant shall revise.

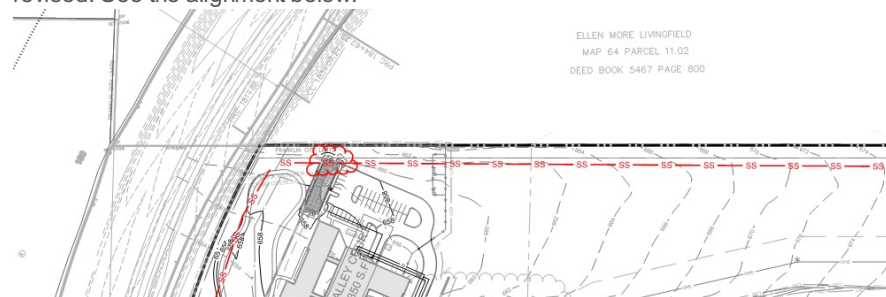
46. Fire line

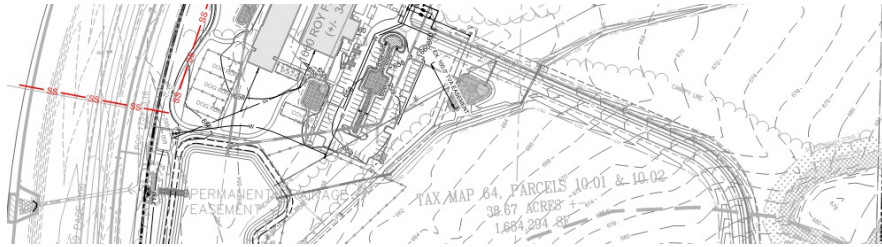
ben.mcneil@frankltn.gov The water line is going to be revised to follow Old Charlotte Pike, the fire line shall have a meter and double check device at Old Charlotte Pike. from the double check into the property shall be a private fire line. The applicant shall revise.

82. Sanitary sewer

ben.mcneil@frankltn.gov The sanitary sewer to serve the remaining Williamson County property as well as the additional drainage area is being revised. The pump station will only be allowed to serve the first building as a temporary option. The sanitary sewer will be required to cross Mach Hatcher Parkway and connect to the Westhaven pump station.

The applicant shall design the sanitary sewer across the site along the low point and serve all properties north and east of the Williamson county site. Easements shall be shown along the alignment to ensure the sanitary sewer can be installed. This will require the detention area to be revised. See the alignment below.





94. Utility meeting

ben.mcneil@franklinton.gov The applicant shall meet with Water Management to discuss changes to the infrastructure plan prior to re submittal. This was discussed with Williamson County officials on 3/13/20 and Williamson county has not made a determination of the utility layout.

In order to move forward, the applicant shall comply with Franklin Water management requirements.