



# TWICE DAILY CONVENIENCE STORE

1540 COLUMBIA AVENUE  
FRANKLIN, TENNESSEE 37064



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Hendersonville, TN 37075

SITE DATA

SITE PLAN (TWICE DAILY CONVENIENCE STORE ON DOWNS BLVD.)

CITY OF FRANKLIN PROJECT NUMBER	XXXX
MAP 0780, PARCEL 01900, 02000, & 02100	
ADDRESS	1540 COLUMBIA AVENUE
CITY	FRANKLIN
COUNTY	WILLIAMSON
STATE	TENNESSEE
DISTRICT	9TH
EXISTING ZONING - CHARACTER AREA OVERLAY	GC (GENERAL COMMERCIAL DISTRICT)
OTHER APPLICABLE OVERLAYS	SOCO - 1 & CFCO - 7
APPLICABLE DEVELOPMENT STANDARD	CAO - 3
	TRADITIONAL (SOME OF THE PROPERTY FALLS WITHIN CONVENTIONAL)
ACREAGE OF SITE	4.74 ACRES
SQUARE FOOTAGE OF SITE	206,340
MINIMUM REQUIRED SETBACK LINES	
- YARD FRONTING ON ANY STREET	30'
- SIDE YARD	15'
- REAR YARD	25'
PROPOSED USE	CONVENIENCE STORE
PROPOSED GROSS BUILDING S.F.	4,800 S.F.
OCCUPANCY TYPE	IBC "MERCANTILE"
CONSTRUCTION TYPE	TYPE IV-B
PROPOSED BUILDING HEIGHT	21'-0"
PROPOSED CANOPY HEIGHT	18'-6"
PARKING REQUIRED	CONVENIENCE = 3.33 x 4.8 (4,800 SF) = 16 SPACES
PARKING REQUIRED	DRIVE THRU = 0.67 x 20 SEATS INDOOR = 14 SPACES
PARKING PROVIDED	30 SPACES
	30 SPACES (INCLUDES 2 ACCESSIBLE SPACES)
FORMAL OPEN SPACE REQUIRED (5% OF 2.68 ACRES):	0.13 ACRES (5,663 S.F.)
PROVIDED:	7,000 S.F.
EXISTING TREE CANOPY COVERAGE:	30,400 S.F. (26 % OF SITE)
CANOPY COVERAGE PRESERVATION REQUIRED (24% OF 30,400 S.F.):	7,300 S.F.
PROVIDED:	7,600 S.F.

FLOOD NOTE: THE PROJECT DOES NOT LIE IN THE 100 YEAR FLOODPLAIN AS PER CURRENT FEMA FIRM PANEL 47187C0192F & 47187C0211F, DATED SEPTEMBER 29, 2006.

MINERAL RIGHTS STATEMENT: THERE ARE NO MINERAL RIGHTS HELD BY A 3RD PARTY.



VICINITY MAP

1" = 2,000'



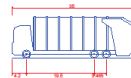








Site plan for Lot 2, showing a proposed parking lot and building footprint. The plan includes dimensions for the lot (12' x 12' x 12' x 12') and the building footprint (12' x 12' x 12' x 12'). The plan also shows the location of Lot 1 and Lot 3, and the proposed parking lot layout. The plan is oriented with Lot 2 at the top and Lot 1 at the bottom. The plan is labeled 'LOT 2' and 'LOT 1'.



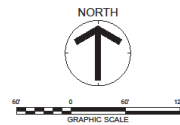
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I. BASED ON ITE TRIP GENERATION THE FOLLOWING DAILY TRIP COUNT IS ANTICIPATED FOR THIS DEVELOPMENT:	
TOTAL STORE GROSS S.F.	4,800 S.F.
CONVENIENCE STORE WITH GASOLINE SALES	59.69 TRIPS PER 1,000 GROSS S.F. 59.69 TRIPS x (4,800 S.F. / 1,000 S.F.) = 287 TRIPS
RESTAURANTS	11.15 TRIPS PER 1,000 GROSS S.F. 11.15 TRIPS x (4,800 S.F. / 1,000 S.F.) = 54 TRIPS
TOTAL DAILY TRIP COUNT	287 TRIPS + 54 TRIPS = 341 TRIPS

1. PRIOR TO BEGINNING ANY CONSTRUCTION, THE DEVELOPER AND/OR CONTRACTOR, SHALL OBTAIN ALL NECESSARY PERMITS AS REQUIRED BY LAW. SUCH PERMITS MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE REQUIRED BY STATE OF TENNESSEE, WILLIAMSON COUNTY AND OTHER CITY OF FRANKLIN AGENCIES.

2. ALL OFF-SITE WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE AN APPROVED TRAFFIC CONTROL PLAN WHICH COMPLY WITH THE FOLLOWING: ALL OFF-SITE CONSTRUCTION MAY BE UNDERTAKEN IN ANY STREET, ROAD, ALLEY OR RIGHT-OF-WAY OF ANY UTILITY OR TEMPORARY CONSTRUCTION EASEMENT OF THE CITY OF FRANKLIN BY ANY ENTITY UNLESS 72-HOUR NOTICE HAS BEEN GIVEN TO THE CITY OF FRANKLIN TRAFFIC OPERATIONS CENTER. THE CONTRACTOR SHALL HAVE AN APPROVED TRAFFIC CONTROL PLAN SUBMITTED TO THE CITY OF FRANKLIN FOR REVIEW AND APPROVAL.

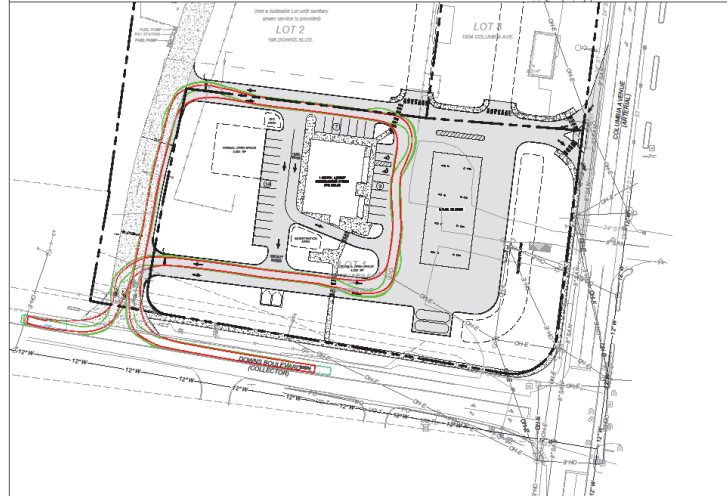
3. CONSTRUCTION RISKS SHALL BE FULLY TESTED IN ACCORDANCE WITH THE DESIGNATIONS AND REQUIREMENTS WITHIN THE REFERENCE "TPO" STANDARD SPECIFICATIONS SECTION 1000.00, "GENERAL NOTES" AND THE "TPO" STANDARD SPECIFICATIONS SECTION OF THE CITY OF FRANKLIN TRANSPORTATION & STREET UTILITIES DEPARTMENT.
4. AN AUTHORIZED REPRESENTATIVE OF THE CITY SHALL MAKE A FINAL INSPECTION OF THE PROJECT AFTER COMPLETION TO DETERMINE ACCEPTABILITY OF THE WORK AND FOR THE CITY TO SIGN OFF ON THE PROJECT. THE CITY'S INSPECTION SHALL NOT BE MADE BY THE ENGINEER RESPONSIBLE FOR THE PROJECT. SHALL CERTIFY BY WRITING TO THE CITY THAT THE PROJECT HAS BEEN COMPLETED IN ACCORDANCE WITH APPROVED PLANS AND SPECIFICATIONS.
5. LOCATING AND COORDINATION FOR THE RELOCATION OF EXISTING UTILITIES IS THE RESPONSIBILITY OF THE ENGINEER. THE CITY'S UTILITY DEPARTMENT OF THE FRANKLIN UTILITY LOCATION SERVICE SHALL BE UTILIZED IN ADDITION TO COORDINATION WITH THE CITY'S UTILITY DEPARTMENT. THE CITY'S UTILITY DEPARTMENT SHALL BE RESPONSIBLE FOR COSTS DUE TO DAMAGE CAUSED BY AN UTILITY.
6. ALL TEMPORARY STAFFING SHALL CONFORM TO "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION," PUBLISHED BY "TPO," THE LATEST REVISION EXCEPT AS OTHERWISE NOTED. THE CITY'S UTILITY DEPARTMENT SHALL BE RESPONSIBLE TO THE OPENING OF A STREET THROUGH WHICH PAVEMENT AND/OR PERMANENT UTILITY DAMAGE HAS OCCURRED.
7. THERMOPLASTIC PAVEMENT MARKINGS SHOULD BE USED ON ALL PUBLIC AND PRIVATE CITY STREET PROJECTS. THERMOPLASTIC TRAFFIC SIGNING AND PAVEMENT MARKINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY'S UTILITY DEPARTMENT OF THE TRANSPORTATION & STREET UTILITIES DEPARTMENT OF THE CITY OF FRANKLIN TRANSPORTATION & STREET UTILITIES DEPARTMENT'S STANDARD SPECIFICATIONS (TPO), AND THE CITY OF FRANKLIN TRANSPORTATION & STREET UTILITIES DEPARTMENT'S STANDARD SPECIFICATIONS (TPO).



Site plan for Lot 2, showing building layout, parking, and surrounding streets including Zoning Boulevard and Lot 1. The plan includes dimensions and labels for various areas and features.

Labels and Dimensions:

- LOT 2 (SHOWN IN RED)
- LOT 1 (SHOWN IN GREEN)
- LOT 3 (SHOWN IN BLUE)
- LOT 4 (SHOWN IN PURPLE)
- LOT 5 (SHOWN IN ORANGE)
- LOT 6 (SHOWN IN BROWN)
- LOT 7 (SHOWN IN PINK)
- LOT 8 (SHOWN IN LIGHT BLUE)
- LOT 9 (SHOWN IN LIGHT GREEN)
- LOT 10 (SHOWN IN LIGHT PURPLE)
- LOT 11 (SHOWN IN LIGHT BROWN)
- LOT 12 (SHOWN IN LIGHT PINK)
- LOT 13 (SHOWN IN LIGHT BLUE)
- LOT 14 (SHOWN IN LIGHT GREEN)
- LOT 15 (SHOWN IN LIGHT PURPLE)
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- LOT 70 (SHOWN IN LIGHT PURPLE)
- LOT 71 (SHOWN IN LIGHT BROWN)
- LOT 72 (SHOWN IN LIGHT PINK)
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- LOT 76 (SHOWN IN LIGHT BROWN)
- LOT 77 (SHOWN IN LIGHT PINK)
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- LOT 79 (SHOWN IN LIGHT GREEN)
- LOT 80 (SHOWN IN LIGHT PURPLE)
- LOT 81 (SHOWN IN LIGHT BROWN)
- LOT 82 (SHOWN IN LIGHT PINK)
- LOT 83 (SHOWN IN LIGHT BLUE)
- LOT 84 (SHOWN IN LIGHT GREEN)
- LOT 85 (SHOWN IN LIGHT PURPLE)
- LOT 86 (SHOWN IN LIGHT BROWN)
- LOT 87 (SHOWN IN LIGHT PINK)
- LOT 88 (SHOWN IN LIGHT BLUE)
- LOT 89 (SHOWN IN LIGHT GREEN)
- LOT 90 (SHOWN IN LIGHT PURPLE)
- LOT 91 (SHOWN IN LIGHT BROWN)
- LOT 92 (SHOWN IN LIGHT PINK)
- LOT 93 (SHOWN IN LIGHT BLUE)
- LOT 94 (SHOWN IN LIGHT GREEN)
- LOT 95 (SHOWN IN LIGHT PURPLE)
- LOT 96 (SHOWN IN LIGHT BROWN)
- LOT 97 (SHOWN IN LIGHT PINK)
- LOT 98 (SHOWN IN LIGHT BLUE)
- LOT 99 (SHOWN IN LIGHT GREEN)
- LOT 100 (SHOWN IN LIGHT PURPLE)



50.042  
8.330  
10.432  
0.862  
8.000  
6.00s  
42.000



60' 0 60' 120'

GRAPHIC SCALE

PUD DEVELOPMENT PLAN FOR  
TWICE DAILY CONVENIENCE STORE  
PUD AT DOWNS BOULEVARD

FRANKLIN PROJECT NO. **twicedaily**  
TWICE DAILY'S STORE #8816  
1540 COLUMBIA AVENUE  
FRANKLIN, TENNESSEE

[illegible]

## C4.0

29956.06  
09.09.2019

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SITE DEVELOPMENT PLANS FOR  
TWICE DAILY CONVENIENCE STORE  
COLUMBIA AVENUE AT DOWNS BOULEVARD

CITY OF FRANKLIN PROJECT NO.  TWICE DAILY'S STORE #6816  
1536 COLUMBIA AVENUE  
FRANKLIN, TENNESSEE

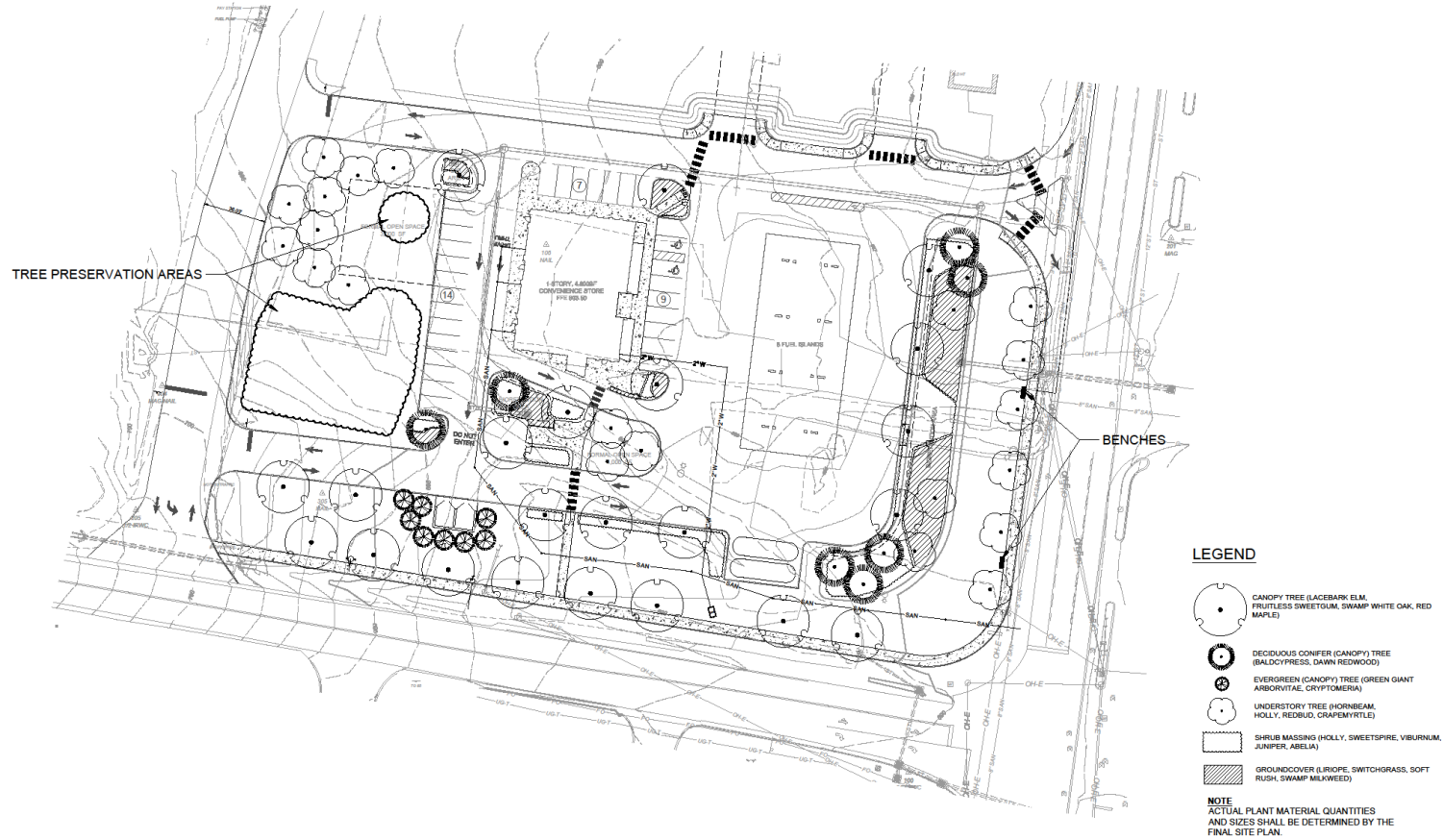
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NOT FOR  
CONSTRUCTION

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## L2.0

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03.07.2019

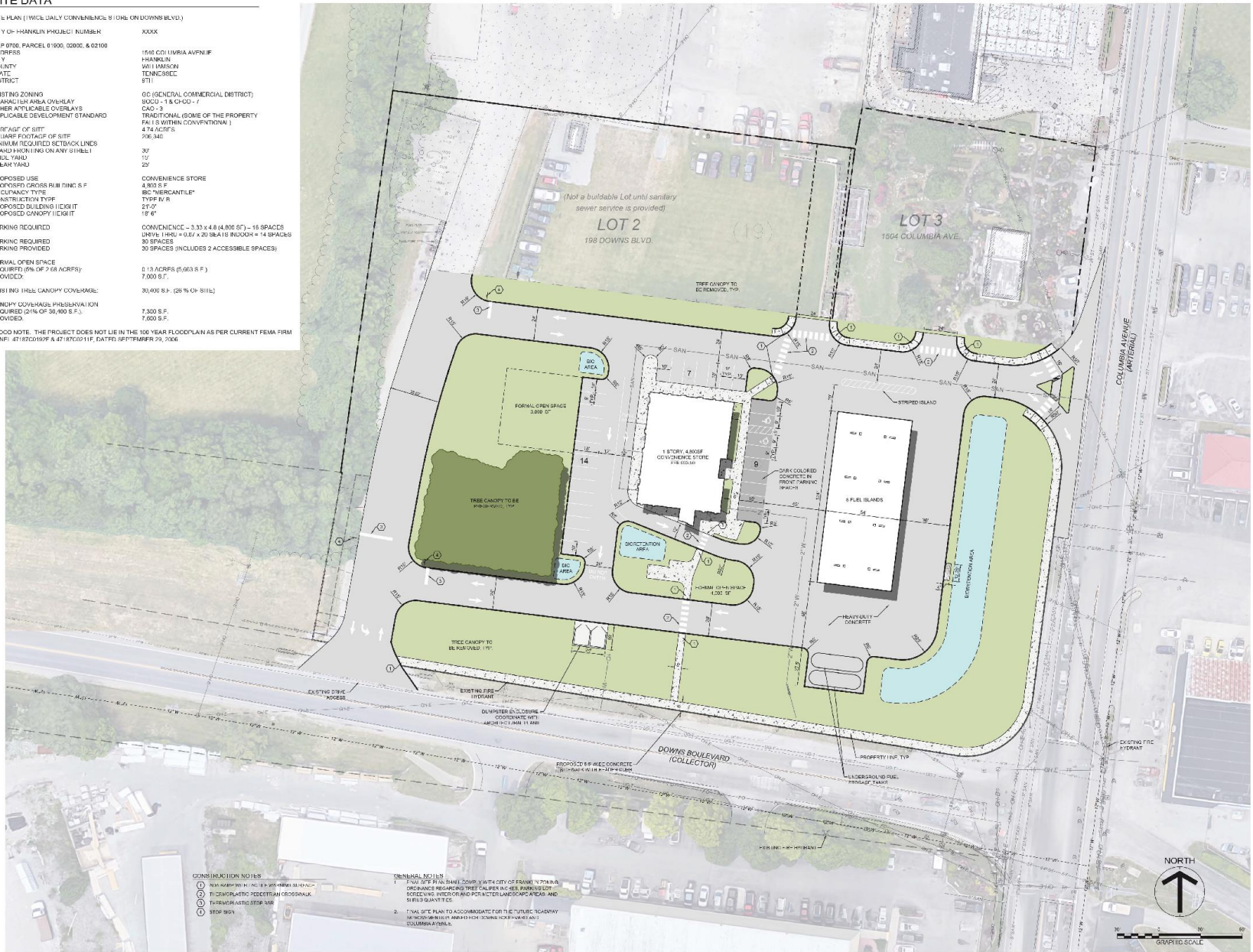
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SITE PLAN (TWICE DAILY CONVENIENCE STORES ON DOWNSIDE BLVD.)	
CITY OF HAWKINS PROJECT NUMBER	XXXX
MAP 0700, PARCEL 01000, 02000, 03000	15R CD URBIA AVE/NE
ADDRESS	HAWKINS
CITY	WILMINGTON
COUNTY	THOMAS
STATE	971
DISTRICT	
EXISTING ZONING	65 (GENERAL COMMERCIAL DISTRICT)
CHARACTER OF AREA OVERLAY	80200 - 1 C CD - /
OTHER APPLICABLE OVERLAYS	CAD - 3
APPLICABLE DEVELOPMENT STANDARD	TRADITIONAL (SOME OF THE PROPERTY IS IN WITHIN CONVENTION)
	4.7 ACRES
ACREAGE OF SITE	30.34
STORY FOOTPRINT OF SITE	296
MINIMUM REQUIRED RETAIL LINES	10
- YARD FRONTING ON ANY STREET	12
- SIDE YARD	12
- REAR YARD	25
PROPOSED USE	CONVENIENCE STORE
PROPOSED GROSS BUILDING S.F.	4,900 S.F.
CONSTRUCTION TYPE	BRICK/CONCRETE
CONSTRUCTION TYPE	TYPE IV R
PROPOSED BUILDING HEIGHT	21'-0"
PROPOSED WAREHOUSE HEIGHT	18'-0"
PARKING REQUIRED	CONVENIENCE = 3.33 x 48 (48.00 SF) = 159 SPACES
PARKING REQUIRED	UNITS (HOUSE) = 0.8 x 20 (20.00 S.F.) = 16 SPACES
PARKING PROVIDED	20 SPACES (INCLUDE 2 ACCESSIBLE SPACES)
FORMAL OPEN SPACE	
REQUIRED (5% OF 16 ACRES)	0.18 ACRES (5,600 S.F.)
	7,000 S.F.
EXISTING TREE CANOPY COVERAGE:	30,400 S.F. (26 % OF SITE)
CANOPY COVERAGE PRESERVATION	
REQUIRED (2% OF 30,400 S.F.)	7,300 S.F.
PROVIDED	
FLOOD NOTE - THE PROJECT DOES NOT LIE IN THE 100 YEAR FLOODPLAIN AS PER CURRENT FIRM DATA. 471870001000 - 47187001100. DATE: 08/19/2014 BY: 2006	



PRE-APPLICATION PUD PLANS FOR  
**TWICE DAILY CONVENIENCE STORE**  
COLUMBIA AVENUE AT DOWNS BOULEVARD

CITY OF FRANKLIN PROJECT NO. **twicedaily**  
TWICE DAILY'S STORE #8816  
1540 COLUMBIA AVENUE  
FRANKLIN, TENNESSEE

PRELIMINARY  
NOT FOR  
CONSTRUCTION

[illegible]

LAND USE EXHIBIT

**EXB-1**

28956.06  
08.23.2019

This Logo Is 3 Inches When Printed Full Size

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2 WEST FACING ELEVATION - FRONT  
1/4" = 1'



1 EAST FACING ELEVATION - FRONT  
1/4" = 1'

See sheet A2.1  
for material legend

#### GENERAL SIGN NOTES

1. COORDINATE WITH OWNER AND SIGN VENDOR FOR ALL FINAL SIZES FOR BUILDING MOUNTED SIGNS. VERIFY RECESS HEIGHT, WIDTH, AND DEPTH WITH SIGN MANUFACTURER.

A NEW  
FACILITY  
FOR THE  
TWICE DAILY  
# 8816



DOWNS BLVD.  
& COLUMBIA PIKE  
FRANKLIN, TN  
TN 37064

CASSETTY

ARCHITECTURE

**CASSETTY**  
ARCHITECTURE

901 West Main Street  
Hendersonville, TN 37075  
(615) 822-6711  
FAX 624-0089

www.casseyarchitecture.com

**TriStar Services, LLC**  
1740 Ed Temple Blvd  
Nashville, TN 37208  
Phone (615) 313-3900  
Fax (615) 313-3912 1-800-779-7671

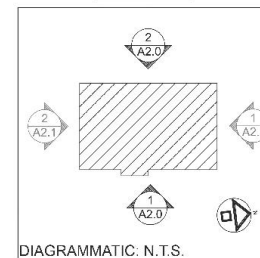
**twicedaily**

ORIG. ISSUE DATE:

PROJECT NUMBER  
5116

EXTERIOR  
ELEVATIONS  
**A2.0**

#### KEY PLAN



DIAGRAMMATIC. N.T.S.




# TWICE DAILY CONVENIENCE STORE





A NEW  
FACILITY  
FOR THE  
**TWICE DAILY**  
# 8816



DOWNS BLVD.  
& COLUMBIA PIKE  
FRANKLIN, TN  
TN 37064

**CASSETTY**  
ARCHITECTURE

**CASSETTY**  
ARCHITECTURE

901 West Main Street  
Hendersonville, TN 37075  
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FAX 624-9089

www.casseyarchitecture.com

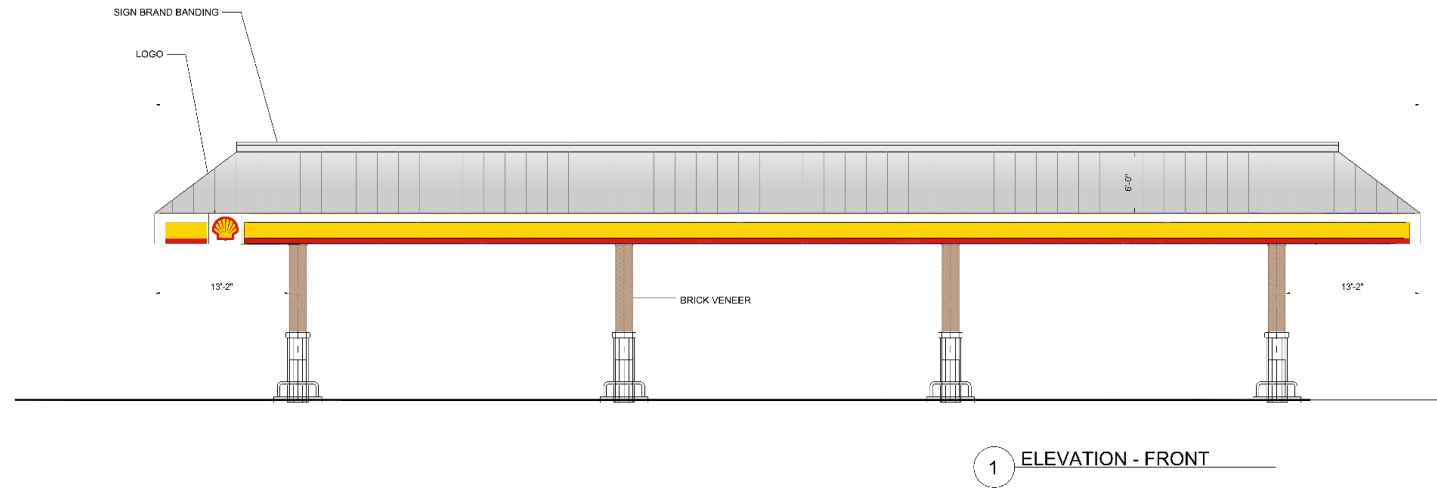
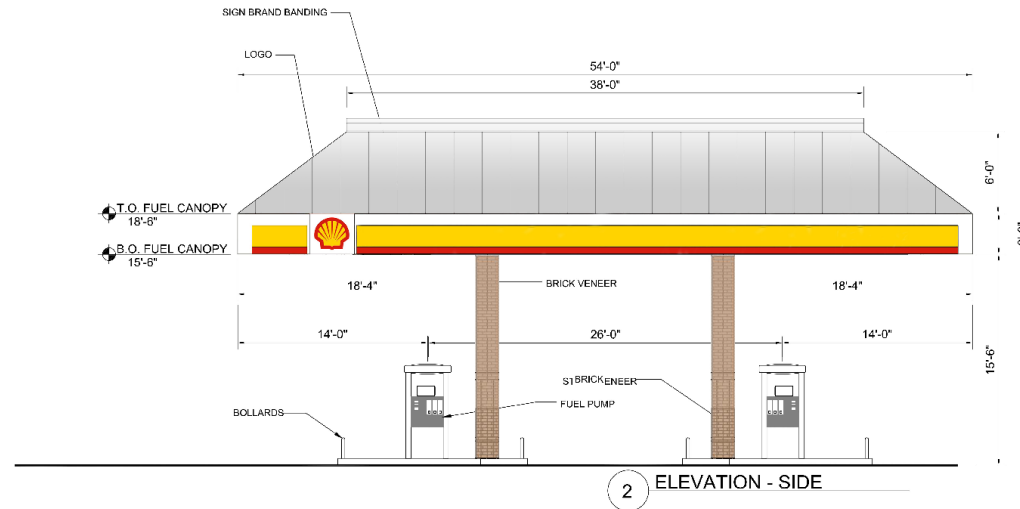
**TriStar Services, LLC**  
1740 East Temple Blvd. Nashville, TN 37208 Phone (615) 313-3900  
Fax (615) 313-3912 1-800-779-7821

**twicedaily**

ORIG. ISSUE DATE:

PROJECT NUMBER  
5116

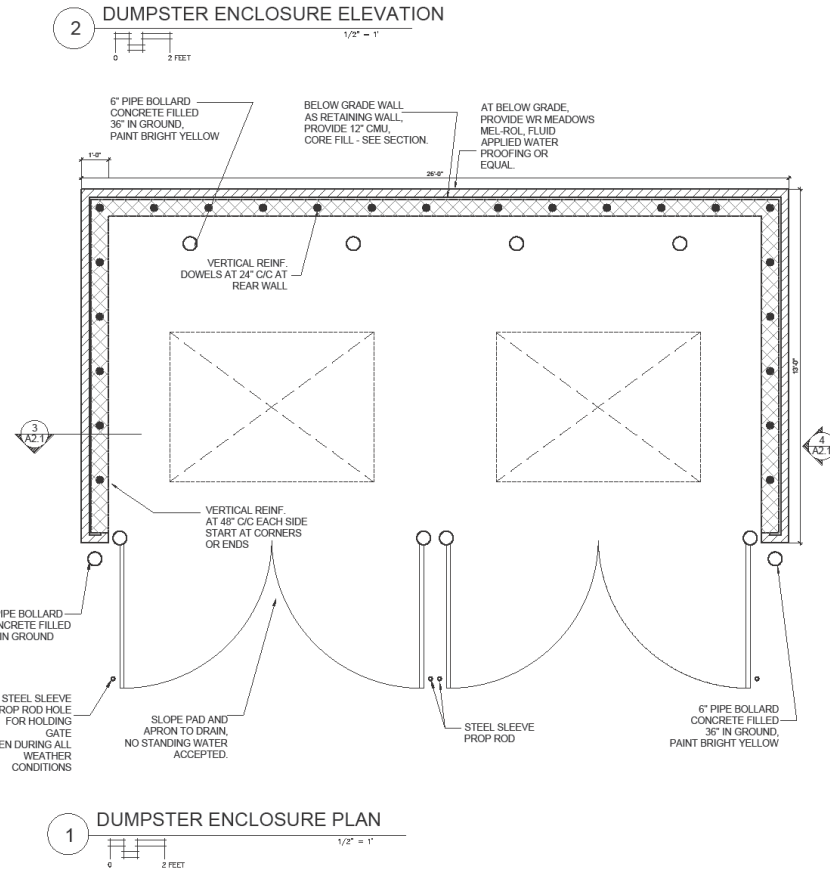
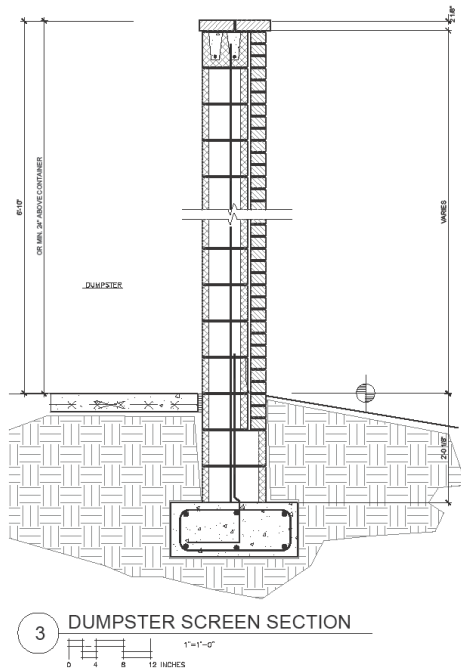
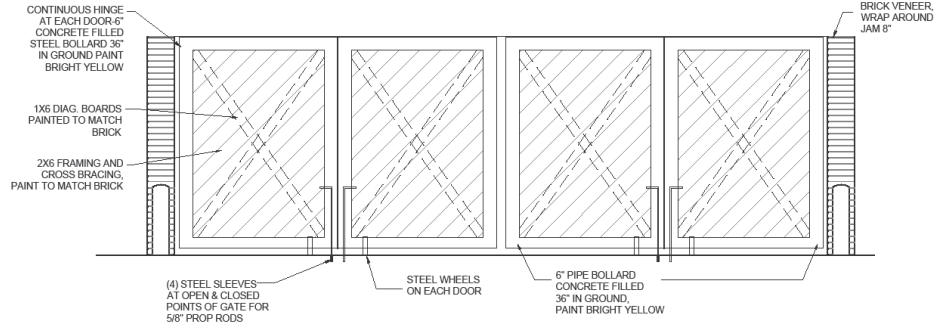
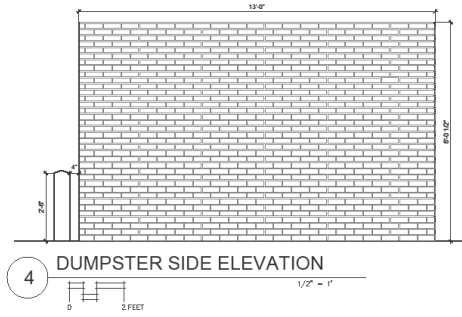
FUEL PUMP  
CANOPY  
EXTERIOR  
ELEVATIONS  
**A2.2**






# TWICE DAILY CONVENIENCE STORE





A NEW FACILITY FOR THE  
**TWICE DAILY # 8816**



DOWNES BLVD. & COLUMBIA PIKE  
 FRANKLIN, TN 37064

**CASSETTY**

ARCHITECTURE

**CASSETTY**  
 ARCHITECTURE

901 West Main Street  
 Hendersonville, TN 37075  
 (615) 822-6711  
 FAX 624-9089  
 www.casseyarchitecture.com

**TriStar Services, LLC**  
 Nashville, TN 37208 Phone (615) 313-3900  
 1746 Ed Temple Blvd. Fax (615) 313-3912 1-800-799-7921

**twicedaily**

ORIG. ISSUE DATE:

PROJECT NUMBER  
 5116

DUMPSTER ELEVATIONS  
**A2.1**



# MODIFICATION OF STANDARDS REQUESTS

- THE PROPOSED CONVENIENCE STORE HAS BEEN LOCATED APPROXIMATELY 235 FEET FROM THE FRONT PROPERTY LINE ALONG COLUMBIA AVENUE. THIS MODIFICATION OF STANDARDS IS REQUESTED TO ALLOW THE BUILDING TO BE LOCATED AWAY FROM THE LOW END OF THE SITE AT THE INTERSECTION OF COLUMBIA AVENUE AND DOWNS BOULEVARD TO FACILITATE STORMWATER MANAGEMENT.  
[COF ZONING ORDINANCE 3.4.7.\(5\).\(c\).\(ii\)](#)
- THE PROPOSED LOCATION OF THE FUEL ISLAND CANOPY IN FRONT OF THE STORE IS TO ACCOMMODATE CUSTOMERS AND MAXIMIZE VEHICULAR TRAFFIC EFFICIENCY.  
[COF ZONING ORDINANCE 3.4.7.\(5\).\(g\).\(i\)](#)
- THE PROPOSED CONVENIENCE STORE WILL HAVE A DRIVE-THRU TO FOR FAST AND EASY CUSTOMER ACCESS TO THE INTERNAL WHITE BISON COFFEE SHOP.  
[COF ZONING ORDINANCE 3.4.7.\(5\).\(g\).\(ii\)](#)