

LOCKWOOD GLEN
PUD SUBDIVISION
DEVELOPMENT PLAN REVISION 5
SD-R (SPECIFIC DEVELOPMENT - RESIDENTIAL)
FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

SITE DATA

SUBDIVISION/DEVELOPMENT:
COF PROJECT NUMBER:
TAX MAP & PARCELS:
ADDRESS
CITY:
COUNTY:
STATE:
CIVIL DISTRICT:

LOCKWOOD GLEN PUD SUBDIVISION
6676
MAP 89 - PARCELS 48.01, 43.01, 43.06
SOUTH CAROTHERS ROAD
FRANKLIN
WILLIAMSON
TENNESSEE
14TH

EXISTING ZONING - CHARACTER OVERLAY
OTHER APPLICABLE OVERLAYS:

SD-R - McEWEN CHARACTER AREA 6
FLOODWAY FRINGE OVERLAY (FFO)
FLOODWAY OVERLAY DISTRICT (FWO)

APPLICABLE DEVELOPMENT STANDARDS:

CONVENTIONAL

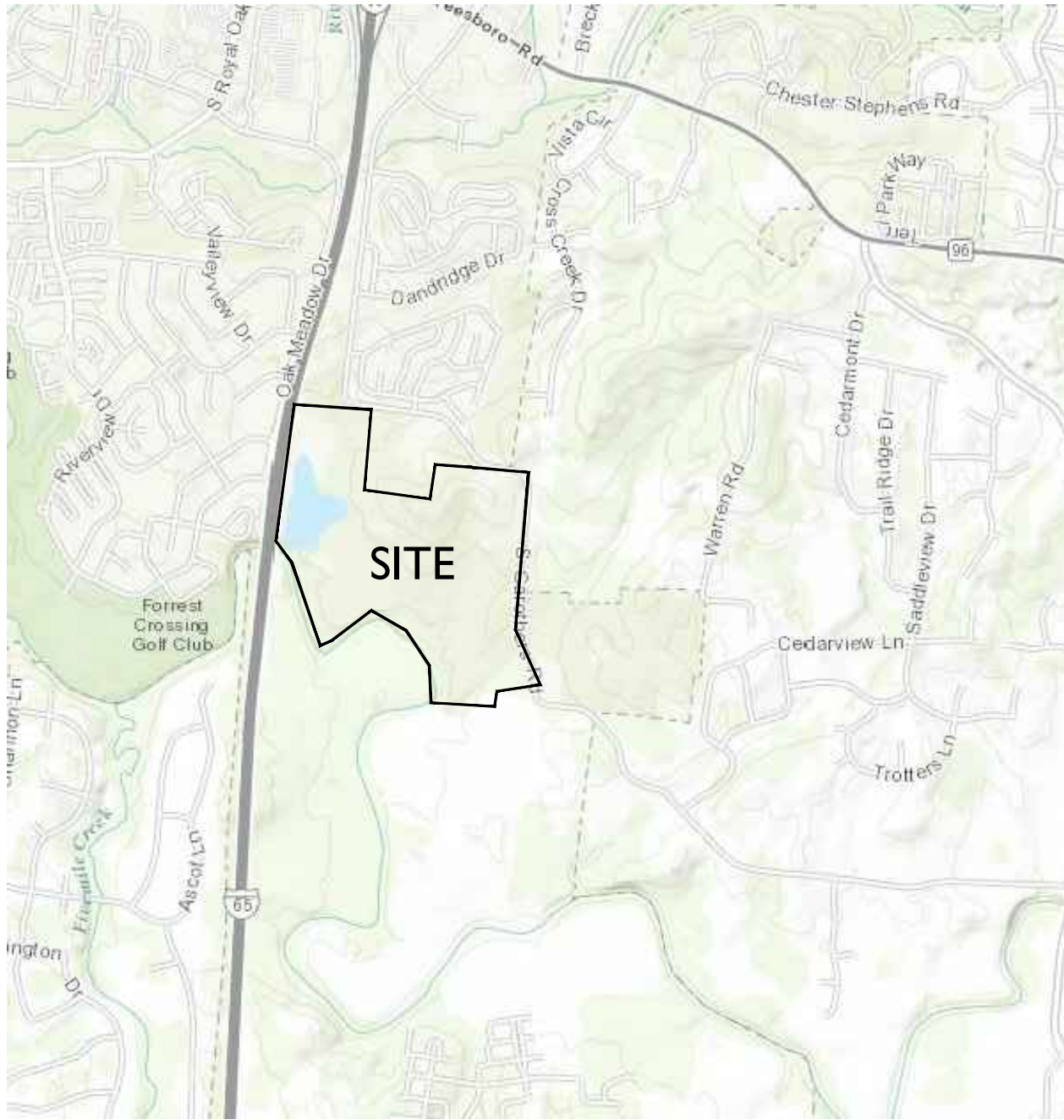
CIVIL DISTRICT:

14

DEVELOPER:
HDP LOCKWOOD GLEN, LLC
572 SAVANNAH HIGHWAY
CHARLESTON, SC 29407
843-573-9635
ted.terry@crescenthomes.net

APPLICANT & LANDSCAPE ARCHITECT:
GAMBLE DESIGN COLLABORATIVE
GREG GAMBLE
324 LIBERTY PIKE, SUITE 145
FRANKLIN, TN 37064
615-975-5765
greg.gamble@gdc-tn.com

ENGINEER:
ENERGY LAND & INFRASTRUCTURE, LLC
MICHAEL RAY
1420 DONELSON PIKE
SUITE A-12
NASHVILLE, TN 37217
615-383-6300
michael.ray@eli-llc.com



NOTE: THIS DEVELOPMENT PLAN REVISION DOES NOT SEEK TO REVISE ANY CONDITIONS OR PARAMETERS CONTAINED IN THE APPROVED LOCKWOOD GLEN DEVELOPMENT PATTERN BOOK. ALL CONDITIONS AND REGULATIONS SET FORTH SHALL REMAIN

SHEET INDEX

C0.0	COVER
C0.1	CURRENTLY APPROVED DEVELOPMENT PLAN
C0.2	WORKING CONCEPT PLAN
C1.0	EXISTING CONDITIONS
C1.1	ENLARGED EXISTING CONDITIONS PLAN
C2.0	ENLARGED DEVELOPMENT PLAN
C3.0	OVERALL GRADING AND DRAINAGE PLAN
C4.0	OVERALL ROW AND ACCESS PLAN
C5.0	OVERALL UTILITY PLAN
A1.0	ARCHITECTURAL CHARACTER

DEVELOPMENT SUMMARY

ORIGINAL PUD COF#1619
APPROVED 9/10/2008 AS NICHOLS BEND

(REVISION 1) LOCKWOOD GLEN DEVELOPMENT PLAN COF#6120
APPROVED APRIL 2017:
- ADDED KING PARCEL TO SECTION 12
- REMOVED 7.35 AC FROM PUD TO REZONE COMMERCIAL

(REVISION 2) LOCKWOOD GLEN DEVELOPMENT PLAN COF# 6676
APPROVED JULY 2018:
SECTION 12 - 11 RESIDENTIAL LOTS (PREVIOUSLY 79 RESIDENTIAL LOTS)
SECTION 13 - 0 RESIDENTIAL LOTS (PREVIOUSLY 2 RESIDENTIAL LOTS)
SECTION 14 - 1 RESIDENTIAL LOTS (PREVIOUSLY 6 RESIDENTIAL LOTS)
SECTION 15 - 16 UNITS (NO CHANGE; NOT INCLUDED IN DEVT PLAN REVISION)
SECTION 16 - 50 RESIDENTIAL LOTS (NEW SECTION)
SECTION 17 - 28 RESIDENTIAL LOTS (NEW SECTION)
TOTAL - 106 RESIDENTIAL LOTS/UNITS (NO CHANGE)

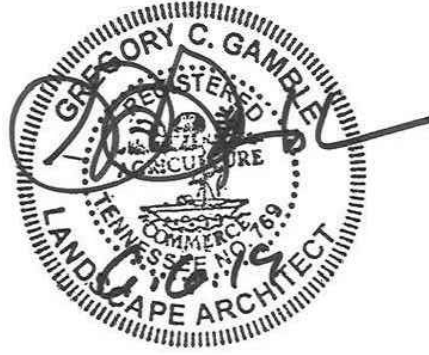
(REVISION 3) LOCKWOOD GLEN DEVELOPMENT PLAN COF#6822
AT ONE-STOP (AWAITING APPROVAL):
REMOVAL OF PARCEL 089-04808 FROM OVERALL DEVELOPMENT PLAN
NO CHANGE TO OVERALL UNIT COUNT OR PREVIOUSLY APPROVED SECTIONS

(REVISION 4) LOCKWOOD GLEN DEVELOPMENT PLAN COF#XXXX
12-08-2018 INITIAL SUBMITTAL:
REMOVAL OF PARCEL 089-04700 FROM OVERALL DEVELOPMENT PLAN
NO CHANGE TO OVERALL UNIT COUNT OR PREVIOUSLY APPROVED SECTIONS

(REVISION 5) LOCKWOOD GLEN DEVELOPMENT PLAN COF#6994
PROPOSED CHANGES:
- CAPTURE 16 TOWNHOMES (PREVIOUSLY APPROVED) FROM SECTION 15 (WHICH WAS REMOVED FROM THE LOCKWOOD GLEN PUD AS PART OF LOCKWOOD GLEN DEVELOPMENT PLAN REVISION 4)
- (105) PERMITTED UNITS ((89) PREVIOUSLY APPROVED LOCKWOOD GLEN DEVELOPMENT PLAN REVISION 2 + (16) TOWNHOMES CAPTURED FROM SECTION 15)
- (101) PROPOSED UNITS ((4) APPROVED UNITS NOT SHOWN IN SECTION 12,16,17)
- (101) SINGLE FAMILY DETACHED AND TOWNHOME UNITS (NOT AN INCREASE IN APPROVED NUMBER OF UNITS)

101 TOTAL PROPOSED UNITS:
- (11) IN SECTION 12 (NO CHANGE)
- (40) IN SECTION 16 (PREVIOUSLY 50)
- (50) IN SECTION 17 (PREVIOUSLY 28)

GDC
GAMBLE
DESIGN COLLABORATIVE
DEVELOPMENT PLANNING AND
LANDSCAPE ARCHITECTURE
greg.gamble@gdc-tn.com



PRE-APPLICATION SUBMITTAL: FEBRUARY 25, 2019
INITIAL SUBMITTAL: MAY 13, 2019
RESUBMITTAL: JUNE 6, 2019
ONE STOP SUBMITTAL:
ONE STOP SUBMITTAL:
COF# 6994



STATEMENT OF IMPACTS:

STREET NETWORK:
SOUTH CAROTHERS ROAD IS A MINOR COLLECTOR. SOUTH CAROTHERS PARKWAY IS A MAJOR ARTERIAL. ALL ROADS WITHIN LOCKWOOD GLEN ARE LOCAL STREETS UNLESS OTHERWISE NOTED.

WATER:
WATER SERVICE WILL BE COORDINATED WITH THE MILLCROFTON UTILITY DISTRICT AND THE CITY OF FRANKLIN TO PROVIDE ADEQUATE FLOW AND CAPACITY. ALL WATER MAINS SHALL BE LOCATED IN A 15' PUBLIC UTILITY EASEMENT.

SEWER:
SEWER SERVICE WILL BE COORDINATED WITH THE CITY OF FRANKLIN TO PROVIDE ADEQUATE FLOW AND CAPACITY. ALL SANITARY SEWER LINES ARE INSIDE THE PROPOSED R.O.W.

RECLAIMED WATER FACILITIES:
THERE ARE NO REQUIRED WATER FACILITIES CURRENTLY IN PROXIMITY TO THE SITE. THE CITY OF FRANKLIN HAS PROPOSED A ZERO DISCHARGE WASTEWATER TREATMENT PLANT NEARBY THAT COULD SERVE THIS DEVELOPMENT.

DRAINAGE FACILITIES:
STORM DRAINAGE TIES TO EXISTING STORM DRAINAGE IN ADJACENT, PREVIOUSLY APPROVED PHASES OF LOCKWOOD GLEN WHICH WERE SIZED TO ACCOMMODATE THE NUMBER OF LOTS SHOWN.

POLICE, FIRE AND RECREATIONAL FACILITIES:
POLICE - 900 COLUMBIA AVE., 4.3 MILES
FIRE - STATION #2, 907 MURFREESBORO ROAD, 2.5 MILES
RECREATIONAL - EASTERN PLANK BATTLE FIELD PARK, 2.9 MILES. PARKS ARE PLANNED DIRECTLY ACROSS CAROTHERS BLVD.

PROJECTED STUDENT POPULATION:

REFUSE COLLECTION:
REFUSE COLLECTION SERVICE WILL BE PROVIDED BY THE CITY OF FRANKLIN SOLID WASTE DEPARTMENT.

SITE DATA (DEVELOPMENT PLAN REVISION 3)

SITE DATA:	
SUBDIVISION / DEVELOPMENT:	LOCKWOOD GLEN PUD SUBDIVISION
EXISTING ZONING / CHARACTER AREA OVERLAY:	REVISION #4
PROPOSED ZONING:	SD-R (5.03) / MCEWEN AREA 6
OTHER APPLICABLE OVERLAYS:	SD-R (5.23)
DEVELOPMENT STANDARD:	FLOODWAY FRINGE OVERLAY (FYO)
EXISTING SITE ACREAGE:	FLOODWAY OVERLAY DISTRICT (FWD)
PROPOSED SITE ACREAGE:	CONVENTIONAL
EXISTING TREE CANOPY:	126.89 AC
	121.54 AC
	10.32 AC (8% OF SITE)
REVISED SITE DATA:	
LOCKWOOD GLEN RESIDENTIAL AREA:	121.54 AC
TOTAL PERMITTED UNITS (NO CHANGE):	638 UNITS
PROPOSED SITE DENSITY:	5.17 DUA
CURRENT REMAINING PERMITTED UNITS:	106 UNITS

SECTION	NUMBER OF RESIDENTIAL LOTS
1	46
2	13
3	38
4	44
5	27
6	26
7	28
8	50
9	21
10	239
11	0
12	11
13	0
14	1
15	REMOVED
16	50
17	28

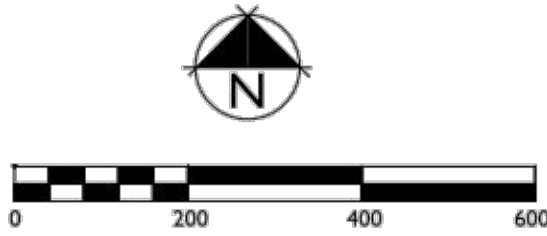
LOTS TO BE REDISTRIBUTED: 16

TOTAL PROPOSED SITE AREA: 121.54 AC
TOTAL OPEN SPACE REQUIRED (15%): 18.23 AC
TOTAL OPEN SPACE PROVIDED: 20.76 AC (17.1%)

*NOTE: OPEN SPACE CALCULATIONS ARE FROM PREVIOUS DEVELOPMENT PLANS SUBMITTED BY OTHERS.
DEVELOPMENT PLAN REVISION THREE DOES NOT REMOVE ANY PREVIOUSLY APPROVED OPEN SPACE LOTS (FORMAL OR INFORMAL).

REVISION 5 PROPOSAL:

- CAPTURE 16 TOWNHOMES (PREVIOUSLY APPROVED) FROM SECTION 15 (WHICH WAS REMOVED FROM THE LOCKWOOD GLEN PUD AS PART OF LOCKWOOD GLEN DEVELOPMENT PLAN REVISION 4)
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 - (50) IN SECTION 17 (PREVIOUSLY 28)



NOTES:
1. PARCEL LINES & TOPOGRAPHY PROVIDED BY CITY OF FRANKLIN G.I.S.
2. AERIAL PHOTOGRAPH PROVIDED BY GOOGLE



LOCKWOOD GLEN PUD SUBDIVISION
DEVELOPMENT PLAN, REVISION 4
FRANKLIN, Williamson County, Tennessee



Revision	Date
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△	_____

DEVELOPMENT
PLAN
C2.0
COF#6884



LOCKWOOD GLEN PUD SUBDIVISION
DEVELOPMENT PLAN, REVISION 5
FRANKLIN, Williamson County, Tennessee



Revision	Date
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△	_____

APPROVED
DEVELOPMENT
PLAN

C0.1

COF#6994

CURRENT DEVELOPMENT PLAN REVISION 4 (SUBMITTED TO CITY 12/10/2018) - NTS
FOR REFERENCE ONLY



REVISION 5 PROPOSAL:

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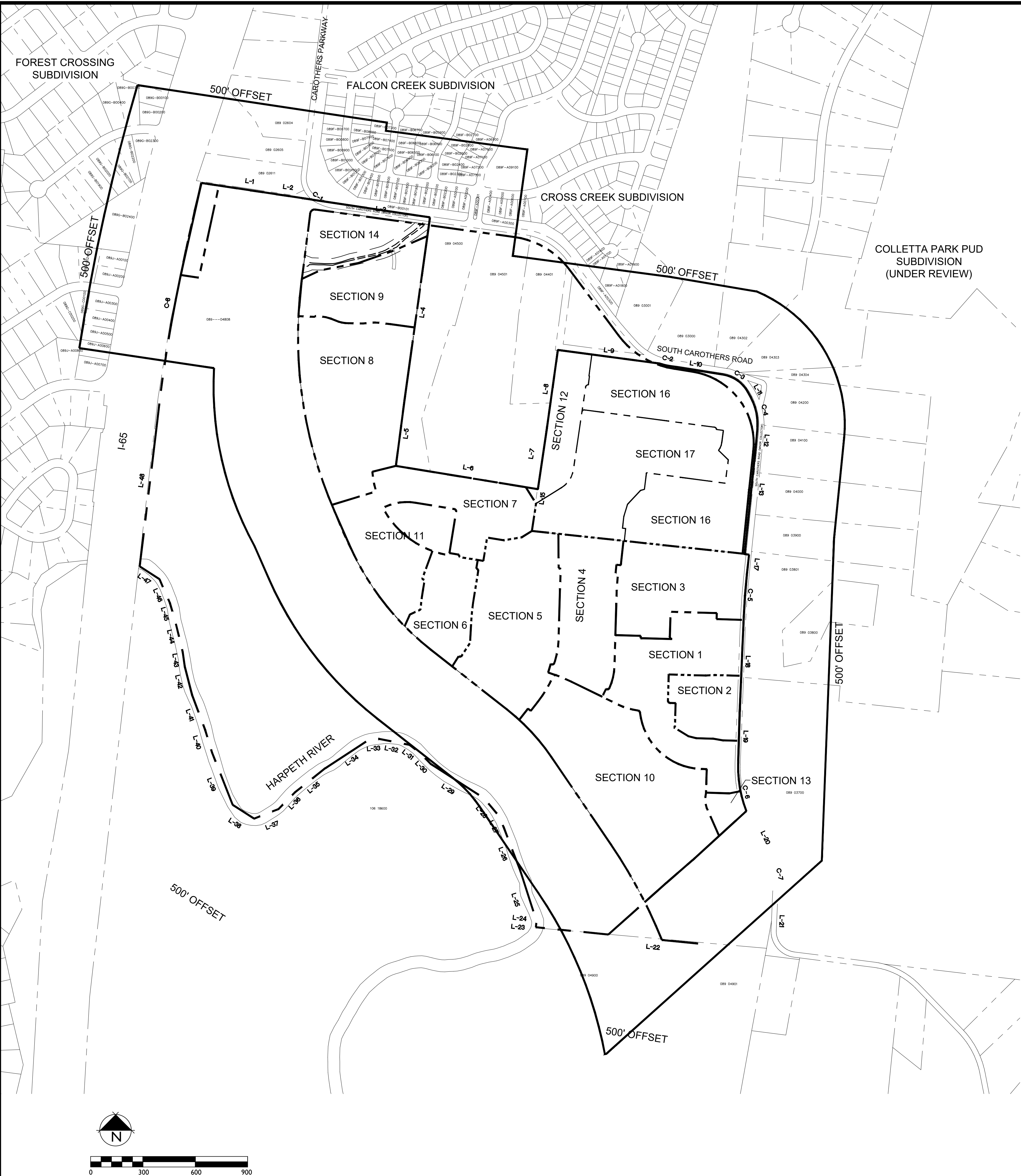
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LOCKWOOD GLEN PUD SUBDIVISION
DEVELOPMENT PLAN, REVISION 5
FRNAKLIN, Williamson County, Tennessee



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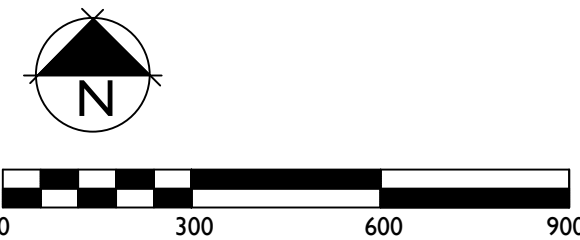


LEGAL DESCRIPTION

LINE TABLE		
LINE	LENGTH	BEARING
L-1	577.00	S81°25'13"E
L-2	31.70	N07°13'26"E
L-3	582.26	S82°20'54"E
L-4	1007.65	S07°57'01"W
L-5	387.69	S07°26'55"W
L-6	824.24	S80°41'16"E
L-7	343.04	N89°26'26"E
L-8	462.57	N08°01'21"E
L-9	586.85	S82°24'09"E
L-10	304.54	S89°56'29"E
L-11	33.26	S28°37'07"E
L-12	132.33	S05°13'31"W
L-13	409.91	S05°50'37"W
L-14	1217.86	N83°25'09"W
L-15	184.00	S08°31'03"W
L-16	1250.97	S83°46'25"E
L-17	110.27	S06°04'28"W
L-18	542.39	S02°27'07"W
L-19	295.29	S01°41'23"W
L-20	250.14	S25°42'58"E
L-21	335.92	S02°39'49"W
L-22	1366.73	N84°15'00"W
L-23	59.34	N05°38'57"E
L-24	23.93	N40°59'23"W
L-25	262.02	N17°52'55"W
L-26	265.99	N20°52'26"W
L-27	71.18	N24°21'08"W
L-28	128.68	N39°51'01"W
L-29	364.80	N57°12'14"W
L-30	85.11	N43°47'46"W
L-31	76.98	N52°31'09"W
L-32	178.83	N78°58'32"W
L-33	55.76	S86°16'14"W
L-34	301.01	S56°03'55"W
L-35	222.92	S51°26'40"W
L-36	132.82	S44°27'33"W
L-37	150.64	S68°36'09"W
L-38	145.06	N07°18'02"W
L-39	322.19	N21°35'43"W
L-40	134.89	N16°53'34"W
L-41	215.41	N20°29'42"W
L-42	169.55	N14°21'46"W
L-43	81.95	N07°58'30"W
L-44	188.71	N13°40'44"W
L-45	101.14	N16°24'09"W
L-46	150.61	N2°36'36"W
L-47	133.54	N57°04'03"W
L-48	808.40	N06°49'36"E

500' ADJACENT PROPERTY OWNERS:

PARCEL NUMBER	PROPERTY ADDRESS	OWNER	OWNER STREET	OWNER CITY	OWNER STATE	OWN ZIP
089G-B00200	505 HOPEWOOD CT	DARNELL WILLIAM BRIAN	505 HOPEWOOD CT	FRANKLIN	TN	37064
089---02605	3465 CAROTHERS PKWY	CAROTHERS DENNIS	3465 CAROTHERS PKWY	FRANKLIN	TN	37064
089---02611	3453 CAROTHERS PKWY	SHELTON NICKOLAS R	3453 CAROTHERS PKWY	FRANKLIN	TN	37064
089---04600	4315 S CAROTHERS RD	LOCKWOOD SEC 9 & 12 LLC	572 SAVANNAH HWY	CHARLESTON	SC	29407
089---04700	4309 S CAROTHERS RD	BLONDER IRA A	112 SEABOARD LN	FRANKLIN	TN	37067
089---04702	S CAROTHERS RD	WITHAWD LLC	250 N ORANGE AVE STE 1500	ORLANDO	FL	32801
089---04808	CAROTHERS PKWY	CITY OF FRANKLIN	109 3RD AVE S	FRANKLIN	TN	37064-000
089F-B00101	S CAROTHERS RD	FALCON CREEK HOMEOWNERS ASSOC INC	FIRST TN BANK BLDG #207	FRANKLIN	TN	37064
089F-B00600	1006 MEANDERING WAY	BEIER ADAM	1006 MEANDERING WAY	FRANKLIN	TN	37067
089F-B00700	1008 MEANDERING WAY	ROUSOS PETER C	1008 MEANDERING WAY	FRANKLIN	TN	37067
089F-B00800	1010 MEANDERING WAY	FOSTER KEVIN	1010 MEANDERING WAY	FRANKLIN	TN	37067
089F-B00900	1012 MEANDERING WAY	MOORE KERBY L	1012 MEANDERING WAY	FRANKLIN	TN	37067
089F-B01000	1014 MEANDERING WAY	HUDDLESTON ELIZABETH	1014 MEANDERING WAY	FRANKLIN	TN	37067
089F-B01100	1016 MEANDERING WAY	JACKSON SUZANNE F	1016 MEANDERING WAY	FRANKLIN	TN	37067
089F-B01200	1018 MEANDERING WAY	BRAINE ANDREW AND CARLA 2011 FAMILY	1018 MEANDERING WAY	FRANKLIN	TN	37067
089F-B01300	1020 MEANDERING WAY	MANGIAGU SHERRI LYNN	1020 MEANDERING WAY	FRANKLIN	TN	37067
089F-B01400	1022 MEANDERING WAY	CALDWELL CURTIS	1022 MEANDERING WAY	FRANKLIN	TN	37067
089F-B01500	1024 MEANDERING WAY	GOSPODAREK CHARLES E	1024 MEANDERING WAY	FRANKLIN	TN	37067
089F-B01600	1026 MEANDERING WAY	PRESTWOOD ALISON	1026 MEANDERING WAY	FRANKLIN	TN	37067
089F-B07600	201 GOLDEN LEAF CT	CARTER AMY A	201 GOLDEN LEAF CT	FRANKLIN	TN	37067
089F-B07700	1015 MEANDERING WAY	GUSKE JANINE M	1015 MEANDERING WAY	FRANKLIN	TN	37067
089F-B07800	1013 MEANDERING WAY	SLEDGE TIMOTHY	1013 MEANDERING WAY	FRANKLIN	TN	37067
089F-B07900	1011 MEANDERING WAY	BARGAS CHRISTOPHER	1011 MEANDERING WAY	FRANKLIN	TN	37067
089F-B08000	1009 MEANDERING WAY	DOYLE RICHARD D	1009 MEANDERING WAY	FRANKLIN	TN	37064
089G-B00100	923 OAK MEADOW DR	CLARK FERMAN J	923 OAK MEADOW DR	FRANKLIN	TN	37064
089---02604	3485 CAROTHERS PKWY	THIEBOLD BOB	3485 CAROTHERS PKWY	FRANKLIN	TN	37067
089G-B00300	509 HOPEWOOD CT	PORTER TERRY W	509 HOPEWOOD CT	FRANKLIN	TN	37064
089G-B01900	524 HOPEWOOD CT	STEWART GERALYN	524 HOPEWOOD CT	FRANKLIN	TN	37064
089G-B02000	520 HOPEWOOD CT	GREGG JILL	332 LAKEMONT CIR	FRANKLIN	TN	37067
089G-B02100	516 HOPEWOOD CT	LAFFITE GLEN	516 HOPEWOOD CT	FRANKLIN	TN	37064
089G-B02200	512 HOPEWOOD CT	TRUELOVE ANGELYN Y	512 HOPEWOOD COURT	FRANKLIN	TN	37064
089G-B02300	504 HOPEWOOD CT	FAULKNER LORENE	504 HOPEWOOD COURT	FRANKLIN	TN	37064
089G-B02400	941 OAK MEADOW DR	REYNAGA MIRIAM	941 OAK MEADOW DR	FRANKLIN	TN	37064
089G-C02400	509 OVERVIEW LN	MARLIN JAMES	2908 COURTNEY CT	COLUMBIA	TN	38401
089J-A00100	949 OAK MEADOW DR	EDGAR JOHN KENNETH	949 OAK MEADOW DR	FRANKLIN	TN	37064
089J-A00200	505 OVERVIEW LN	SCHWARTZ SUSAN	505 OVERVIEW LN	FRANKLIN	TN	37064
089J-A00300	504 OVERVIEW LN	LONG BRENT L	504 OVERVIEW LN	FRANKLIN	TN	37064
089J-A00400	961 OAK MEADOW DR	HILDRETH JACK P	961 OAK MEADOW DR	FRANKLIN	TN	37064
089J-A00500	965 OAK MEADOW DR	TITUS CAMERON	965 OAK MEADOW DR	FRANKLIN	TN	37064
089K-G03500	220 MORAY CT	OAK DUCK GENERAL PTNRSH	205 POWELL PLACE	BRENTWOOD	TN	37027
089K-G05200	MORAY CT	LOCKWOOD GLEN HOMEOWNERS ASSOCIAT	50 VANTAGE WAY #100	NASHVILLE	TN	37228



BOUNDARY AND TOPOGRAPHY SURVEY PROVIDED BY:
WILLIAMSON COUNTY GIS



LOCKWOOD GLEN PUD SUBDIVISION
DEVELOPMENT PLAN, REVISION 5

FRANKLIN, Williamson County, Tennessee



Revision	Date
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△	_____
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OVERALL
EXISTING
CONDITIONS

C1.0

CDF#6994



SITE DATA

SUBDIVISION/DEVELOPMENT LOCKWOOD GLEN PUD SUBDIVISION

EXISTING ZONING/
CHARACTER AREA OVERLAY SD-R - McEWEN AREA 6

OTHER APPLICABLE OVERLAYS FLOODWAY FRINGE OVERLAY (FFO)
FLOODWAY OVERLAY DISTRICT (FWO)

DEVELOPMENT STANDARD CONVENTIONAL

(MINERAL RIGHTS FOR THIS PROPERTY ARE HELD BY OWNER OF RECORD.)

ACREAGE OF SITE
(PER THIS SECTION ONLY) +/- 32.93 ACRES

EXISTING TREE CANOPY
(SECTIONS 12, 16, 17 ONLY) +/- 8.92 ACRES (29% OF SECTION 12)

PRE-DEVELOPMENT STORMWATER NARRATIVE

SECTION 12 OF THE LOCKWOOD GLEN PUD SUBDIVISION IS APPROXIMATELY 28 ACRES. THE SITE IS IN THE NORTHEASTERN CORNER OF THE SUBDIVISION AND IS BOUNDED BY CAROTHERS ROAD TO THE NORTH AND EAST. THE PROPERTY IS MOSTLY GRASSED WITH SOME CLUSTERED TREES. THERE ARE SEVERAL EXISTING STRUCTURES WITH DRIVEWAY ON DIFFERENT PORTIONS OF THE SITE THAT WILL BE REMOVED DURING DEVELOPMENT.

THE PREDOMINANT SOILS IN THE AREA ACCORDING TO THE AVAILABLE NRSC SOIL RESOURCE REPORT FOR WILLIAMSON COUNTY, TENNESSEE ARE ROCKLAND (RC); STIVERSVILLE SILT LOAM, 5 TO 12 PERCENT SLOPES, ERODED (STC2); TALBOTT VERY ROCKY SOILS, 2 TO 15 PERCENT SLOPES (TVD); INMAN SILTY CLAY LOAM, 12 TO 20 PERCENT SLOPES, SEVERELY ERODED (IND3) AND STIVERSVILLE CLAY LOAM, 12 TO 20 PERCENT SLOPES, SEVERELY ERODED (SRD3).

THE SITE HAS BEEN DIVIDED INTO THREE (3) DRAINAGE BASINS. BASIN 1 DRAINS SOUTHWARDLY TO AN EXISTING 24" PIPE CONSTRUCTED AS PART OF SECTION 3 OF LOCKWOOD GLEN. BASIN 2 DRAINS TOWARD THE EAST TO AN EXISTING ELIPTICAL CMP UNDER CAROTHERS ROAD. BASIN 3 DRAINS TO THE ROADSIDE DITCH ALONG THE SOUTH SIDE OF CAROTHERS ROAD. RUNOFF FROM EACH OF THESE BASINS IS CONVEYED PRIMARILY VIA SHEET FLOW AND SHALLOW CONCENTRATED FLOW. THERE IS AN EXISTING FARM IN BASIN 1 THAT WILL BE MODIFIED AND CONVERTED INTO A DETENTION POND DURING CONSTRUCTION. THERE ARE NO EXISTING WATER QUALITY BMPs TO TREAT RUNOFF FROM THE EXISTING SITE. GRADING & DRAINAGE DATA CHARTS HAVE BEEN PREPARED AND ARE SHOWN FOR EACH BASIN.

SOILS LEGEND

ArB2 Armour Silt Loam, 2 To 5 Percent Slopes, Eroded
AtC2 Armour Silty Clay Loam, 5 to 12 Percent Slopes, Eroded
AtC3 Armour Silty Clay Loam, 5 to 12 Percent Slopes, Severely Eroded
CaA Caplina Silt Loam, Phosphatic, 0 to 2 Percent Slopes
CaB2 Caplina Silt Loam, Phosphatic, 2 to 5 Percent Slopes, Eroded
HeB2 Hampshire-Colbert Silt Loams, 2 to 5 Percent Slopes, Eroded
HeC2 Hampshire-Colbert Silt Loams, 5 to 12 Percent Slopes, Eroded
HeD2 Hampshire-Colbert Silt Loams, 12 to 20 Percent Slopes, Eroded
HnC3 Hampshire-Colbert Silty Clay Loams, 5 to 12 Percent Slopes, Severely Eroded
Hu Huntington Silt Loam, Phosphatic
InD3 Inman Silty Clay Loam, 12 to 20 Percent Slopes, Severely Eroded
Lp Lindsie Silt Loam, Phosphatic
Rc Rockland
Se Sequatchie Loam, Phosphatic
StB2 Stiversville Silt Loam, 2 to 5 Percent Slopes, Eroded
StC2 Stiversville Silt Loam, 5 to 12 Percent Slopes, Eroded
StD2 Stiversville Silt Loam, 12 to 20 Percent Slopes, Eroded
StD3 Stiversville Silt Loam, 12 to 20 Percent Slopes, Severely Eroded
Tvd Talbott Very Rocky Soils, 2 to 15 Percent Slopes

NOTES:

1. DEVELOPER TO RETAIN ALL MINERAL RIGHTS.

2. STRUCTURES CURRENTLY EXIST ON SITE - SEE PLAN

3. THERE ARE NO HISTORIC STRUCTURES WITHIN 500' OF THE SITE

SPECIMEN TREES

NO.	Size	Species	NO.	Size	Species
1	26"	OAK	36	24"	HACKBERRY
2	34"	SYCAMORE	37	28"	HACKBERRY
3	24"	ELM	38	24"	CEDAR
4	30"	ELM	39	42"	MAPLE
5	24"	ELM	40	26"	HACKBERRY
6	24"	HACKBERRY	41	24"	HACKBERRY
7	27"	ELM	42	24"	HACKBERRY
8	24"	ELM	43	39"	HACKBERRY
9	36"	OAK	44	27"	HACKBERRY
10	36"	OAK	45	36"	HACKBERRY
11	24"	ELM	46	36"	HACKBERRY
12	26"	CEDAR	47	24"	HACKBERRY
13	28"	HACKBERRY	48	36"	HACKBERRY
14	36"	HACKBERRY	49	30"	HACKBERRY
15	54"	OSAGE	50	36"	HACKBERRY
16	30"	HACKBERRY	51	35"	HACKBERRY
17	30"	HACKBERRY	52	35"	HACKBERRY
18	24"	CEDAR	53	24"	ELM
19	48"	OAK	54	40"	CEDAR
20	24"	HACKBERRY	55	24"	WALNUT
21	30"	ELM	56	24"	OAK
22	42"	MAPLE	57	35"	OAK
23	48"	HACKBERRY	58	28"	CEDAR
24	58"	OAK	59	27"	HACKBERRY
25	39"	OSAGE	60	24"	HACKBERRY
26	30"	HACKBERRY	61	27"	HACKBERRY
27	36"	SYCAMORE	62	30"	HONEYLOCUST
28	36"	HACKBERRY	63	30"	HACKBERRY
29	30"	HACKBERRY	64	56"	HACKBERRY
30	24"	WALNUT	65	24"	HACKBERRY
31	24"	ELM	66	36"	OAK
32	24"	HACKBERRY	67	24"	ASH
33	42"	HACKBERRY	68	24"	OAK
34	29"	HACKBERRY	69	24"	OAK
35	28"	HACKBERRY	70	24"	TREE
			71	24"	OAK

LEGEND

EXISTING TREE CANOPY

PRE-DEVELOPMENT BASINS

EXISTING SLOPES

14% - 19.99%

20% AND GREATER

TREE CANOPY DATA

EXISTING TREE CANOPY: 388,947 SF (31.7% OF SECTION 12)
REQUIRED CANOPY PRESERVATION = 48%

REQUIRED PRESERVATION = 186,695 SF (4.29 AC)

NOTE:
PER APPROVED DEVELOPMENT PLAN (COF #6120) THERE ARE NO TREE CANOPY PRESERVATION REQUIREMENTS ASSOCIATED WITH THIS SITE.



LOCKWOOD GLEN PUD SUBDIVISION
DEVELOPMENT PLAN, REVISION 5

FRNAKLIN, Williamson County, Tennessee



Revision Date

△

△

△

△

EXISTING
CONDITIONS

C1.1

COF #6994



SITE DATA

SUBDIVISION / DEVELOPMENT:	LOCKWOOD GLEN PUD SUBDIVISION
EXISTING ZONING / CHARACTER AREA OVERLAY:	REVISION #5
PROPOSED ZONING:	SD-R (5.03) / MCEWEN AREA 6
OTHER APPLICABLE OVERLAYS:	SD-R (5.25)
DEVELOPMENT STANDARD:	FLOODWAY FRINGE OVERLAY (FFO)
SITE ACREAGE:	FLOODWAY OVERLAY DISTRICT (FWO)
EXISTING TREE CANOPY:	CONVENTIONAL
TOTAL PERMITTED UNITS (NO CHANGE):	121.54 AC
SITE DENSITY:	10.32 AC (8% OF SITE)
CURRENT REMAINING PERMITTED UNITS:	638 UNITS
	5.25 DUA
	106 UNITS

SECTION	NUMBER OF RESIDENTIAL LOTS
1	46
2	13
3	38
4	44
5	27
6	26
7	28
8	50
9	21
10	239
11	0
12	11
13	0
14	1
15	REMOVED (REV 4)
16	41
17	50

NOTE: 4 LOTS STILL AVAILABLE IN PUD

TOTAL PROPOSED SITE AREA:	121.54 AC
TOTAL OPEN SPACE REQUIRED (15%):	18.23 AC
TOTAL OPEN SPACE PROVIDED:	20.76 AC (17.1%)

*NOTE: OPEN SPACE CALCULATIONS ARE FROM PREVIOUS DEVELOPMENT PLANS SUBMITTED BY OTHERS. DEVELOPMENT PLAN REVISION 5 DOES NOT REMOVE ANY PREVIOUSLY APPROVED OPEN SPACE LOTS (FORMAL OR INFORMAL).

TOWNHOMES LOTS (44 TOTAL):

TOWNHOMES ARE LOCATED ON LOTS:
330-345
354-381

GARDEN HOMES LOTS (8 TOTAL):

GARDEN HOMES ARE LOCATED ON LOTS:
346-353

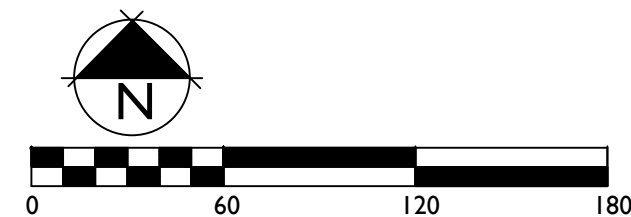
COTTAGE HOME LOTS (29 TOTAL):

COTTAGE HOMES ARE LOCATED ON LOTS:
383
385-388
390-393
396-403
403-417

MANOR HOME LOTS (20 TOTAL):

MANOR HOMES LOCATED ON LOTS:
316-329
382
384
389
394-395
402

- NOTES:
1. PARCEL LINES & TOPOGRAPHY PROVIDED BY CITY OF FRANKLIN G.I.S.
 2. AERIAL PHOTOGRAPH PROVIDED BY GOOGLE



STATEMENT OF IMPACTS:

STREET NETWORK:
SOUTH CAROTHERS ROAD IS A MINOR COLLECTOR. SOUTH CAROTHERS PARKWAY IS A MAJOR ARTERIAL. ALL ROADS WITHIN LOCKWOOD GLEN ARE LOCAL STREETS UNLESS OTHERWISE NOTED.

WATER:
WATER SERVICE WILL BE COORDINATED WITH THE MILLCROFTON UTILITY DISTRICT AND THE CITY OF FRANKLIN TO PROVIDE ADEQUATE FLOW AND CAPACITY. ALL WATER MAINS SHALL BE LOCATED IN A 15' PUBLIC UTILITY EASEMENT.

SEWER:
SEWER SERVICE WILL BE COORDINATED WITH THE CITY OF FRANKLIN TO PROVIDE ADEQUATE FLOW AND CAPACITY. ALL SANITARY SEWER LINES ARE INSIDE THE PROPOSED R.O.W.

RECLAIMED WATER FACILITIES:
THERE ARE NO REPIURED WATER FACILITIES CURRENTLY IN PROXIMITY TO THE SITE. THE CITY OF FRANKLIN HAS PROPOSED A ZERO DISCHARGE WASTEWATER TREATMENT PLANT NEARBY THAT COULD SERVE THIS DEVELOPMENT.

DRAINAGE FACILITIES:
STORM DRAINAGE TIES TO EXISTING STORM DRAINAGE IN ADJACENT, PREVIOUSLY APPROVED PHASES OF LOCKWOOD GLEN WHICH WERE SIZED TO ACCOMMODATE THE NUMBER OF LOTS SHOWN.

POLICE, FIRE AND RECREATIONAL FACILITIES:
POLICE - 900 COLUMBIA AVE., 4.3 MILES
FIRE - STATION #2, 907 MURFREESBORO ROAD, 2.5 MILES
RECREATIONAL - EASTERN FLANK BATTLE FIELD PARK, 2.9 MILES. PARKS ARE PLANNED DIRECTLY ACROSS CAROTHERS BLVD.

PROJECTED STUDENT POPULATION:
58 (90 HOMES x 0.64 STUDENTS PER HOME)

REFUSE COLLECTION:
REFUSE COLLECTION SERVICE WILL BE PROVIDED BY THE CITY OF FRANKLIN SOLID WASTE DEPARTMENT.

* CRITICAL LOTS

CONNECTIVITY INDEX

○ LINKS	7
* NODES	4
7 / 4 = 1.75 INDEX	



Revision Date

- △
- △
- △
- △

Grading & Drainage General Notes

1. Grading Permit is required for any project disturbing more than 10,000 sf, adding more than 5,000 sf of impervious surface or for any site grading requiring stockpiling of material.
2. The Developer shall provide the necessary labor and supervision required to support field testing by the independent testing firm and inspections by City officials at no cost to the City. Test reports of field testing if applicable shall be submitted directly to the Street Department. Defects disclosed by tests shall be rectified.
3. An authorized representative of the City shall make a final inspection of the project after completion to determine acceptability of the work and for release of performance bonds if required. Before this final inspection can be made, the Engineer responsible for the project shall certify in writing to the City Engineer that the work has been completed in accordance with approved plans and specifications.
4. Drainage facilities including, but not limited to, culverts, detention basins and ditches, as well as the roadway sub-grade, base stone and binder & surface coarse shall be inspected, tested and given approval at each stage of installation prior to proceeding to the next stage of construction. Final construction inspection for approval and acceptance of streets and drainage systems will not be granted until all work has been completed in accordance with the approved plans.
5. Locating and coordination for the relocation of existing utilities is the responsibility of the contractor. Tennessee's One-Call and the City of Franklin utility location service shall be utilized in addition to coordination with local utility owners. The contractor shall at all times protect existing utilities and will be responsible for costs due to damage caused to any utility lines.

POST-DEV STORMWATER NARRATIVE

Section 12, 16, & 17 of the Lockwood Glen PUD Subdivision is approximately 28 acres. The site has been divided into four (4) distinct drainage basins. Basin 1 drains southwardly to an existing 24" pipe constructed as part of Section 3 of Lockwood Glen. Runoff from this basin will be conveyed to a level 2 bio-retention basin. The hydrographs using the adjusted CN for this basin reflects a decrease in the runoff from the pre-development conditions. Basin 2 drains toward the north. Runoff from this basin will be conveyed to a level 2 bioretention basin. The hydrographs using the adjusted CN for this basin reflects a decrease in the runoff from the pre-development conditions. Basin 3 drains toward the east to an existing elliptical CMP under Carothers Road. Runoff from this basin will be conveyed to a level 1 bioretention basin and then to a dry detention basin to reduce the post-development runoff to below pre-development conditions. Basin 4 will bypass treatment. Grading & Drainage Data Charts have been prepared and are shown for each basin.

POST-DEV STORMWATER IMPACTS

The treated post-development Rv for the site meets the city's requirements (less than 0.20). This information will be reflected on the Post Construction / Final EPSC Plan in each Site Plan submittal. The total post-development runoff rate are less than the pre-development conditions.

SENSITIVE AREAS / STORMWATER BUFFERS

The existing ponds previously identified on the site have been reviewed and were determined to be manmade ponds and not to be Waters of the State. These findings were submitted to TDEC, and their concurrence was received and forwarded to the city during the Section 12 Site Plan resubmittal.

★ = Critical lots for grading. These lots will require submittal of a Critical Lot Site Plan with the Building Permit submittal.

Basin 1 Post-Dev Grading & Drainage Data Chart

• Site Area: 7.89 AC
• Impervious Area: 3.32 AC
• Disturbed Area: 7.89 AC
• Composite CN: 87
• Adjusted CN: 78
• Rv Value: 0.516
• Peak Flow Runoff
•• 2 year: 20.46 CFS
•• 5 year: 28.50 CFS
•• 10 year: 67.01 CFS
•• 25 year: 84.38 CFS
•• 50 year: 98.58 CFS
•• 100 year: 113.22 CFS

Basin 2 Post-Dev Grading & Drainage Data Chart

• Site Area: 5.85 AC
• Impervious Area: 3.08 AC
• Disturbed Area: 5.85 AC
• Composite CN: 89
• Adjusted CN: 74
• Rv Value: 0.595
• Peak Flow Runoff
•• 2 year: 12.64 CFS
•• 5 year: 18.16 CFS
•• 10 year: 22.83 CFS
•• 25 year: 29.71 CFS
•• 50 year: 35.41 CFS
•• 100 year: 41.35 CFS

Basin 3 (Pond Outflows) Post-Dev Grading & Drainage Data Chart

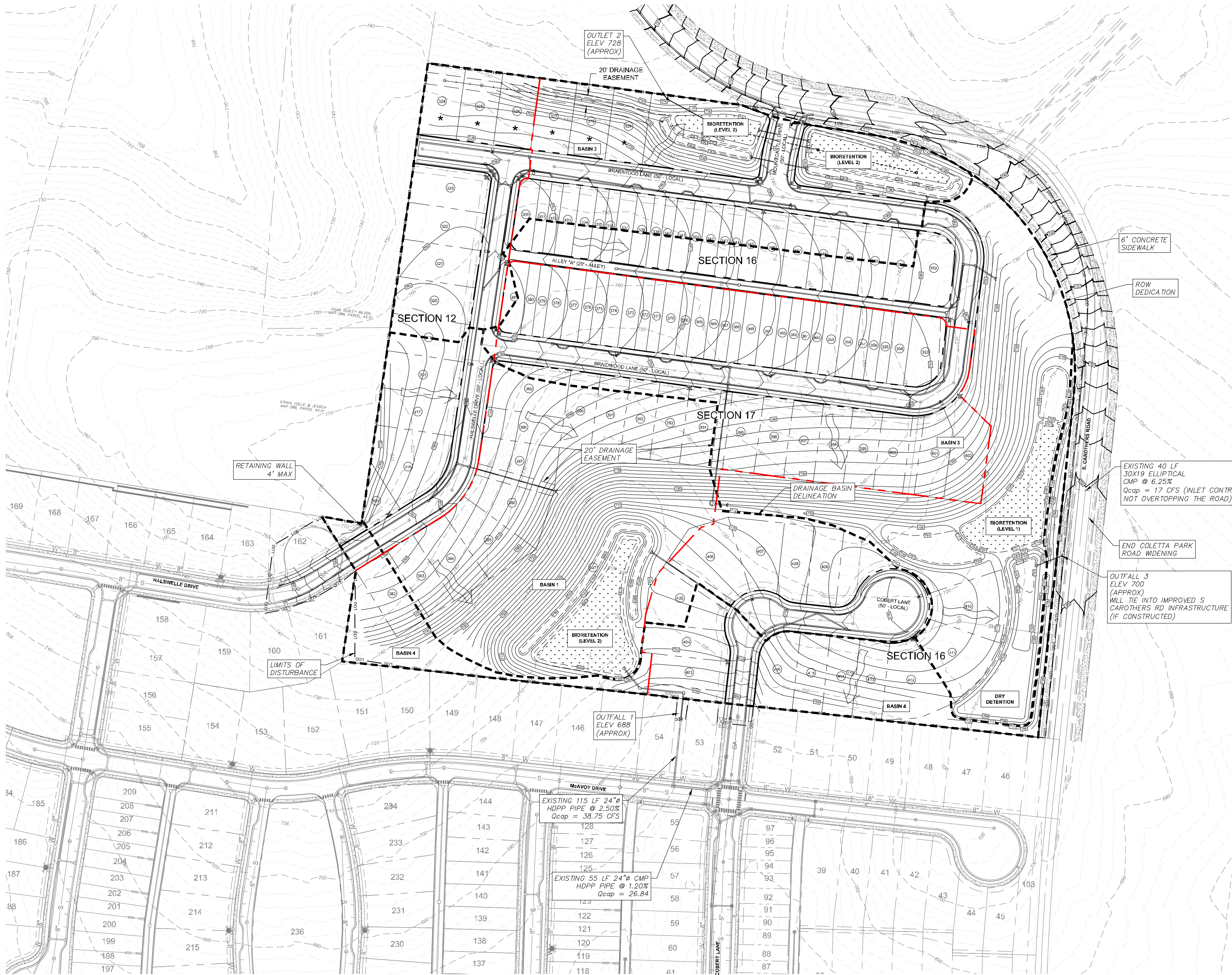
• Site Area: 10.80 AC
• Impervious Area: 4.37 AC
• Disturbed Area: 10.80 AC
• Composite CN: 87
• Adjusted CN: 79
• Rv Value: 0.503
• Peak Flow Runoff
•• 2 year: 7.10 CFS
•• 5 year: 8.87 CFS
•• 10 year: 11.37 CFS
•• 25 year: 12.59 CFS
•• 50 year: 19.08 CFS
•• 100 year: 35.91 CFS

Basin 4 Post-Dev Grading & Drainage Data Chart

• Site Area: 2.75 AC
• Impervious Area: 1.16 AC
• Disturbed Area: 2.75 AC
• Composite CN: 87
• Adjusted CN: 87
• Rv Value: 0.516
• Peak Flow Runoff
•• 2 year: 10.11 CFS
•• 5 year: 13.14 CFS
•• 10 year: 15.57 CFS
•• 25 year: 18.98 CFS
•• 50 year: 21.73 CFS
•• 100 year: 24.56 CFS

Total Post-Dev Grading & Drainage Data Chart

• Site Area: 27.29 AC
• Impervious Area: 12.61 AC
• Disturbed Area: 27.30 AC
• Composite CN: 87
• Adjusted CN: 78
• Rv Value: 0.528
• Peak Flow Runoff
•• 2 year: 48.37 CFS
•• 5 year: 66.66 CFS
•• 10 year: 81.15 CFS
•• 25 year: 103.07 CFS
•• 50 year: 121.06 CFS
•• 100 year: 138.77 CFS



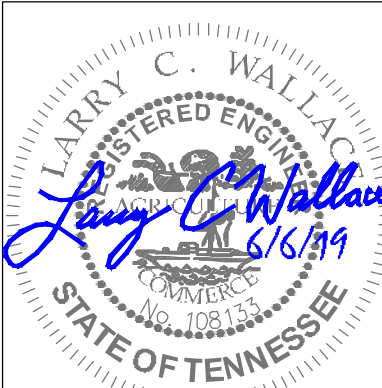
GAMBLE
DESIGN COLLABORATIVE
DEVELOPMENT PLANNING AND
LANDSCAPE ARCHITECTURE

ENERGY LAND & INFRASTRUCTURE
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OFFICE 615-383-6300 • WWW.ELI-LLC.COM
ENGINEERS • SURVEYORS • INFRASTRUCTURE • ENVIRONMENTAL



LOCKWOOD GLEN
PUD SUBDIVISION
DEVELOPMENT PLAN REVISION 5
CITY OF FRANKLIN PROJECT NO. 6994
FRANKLIN, TENNESSEE

Rev.	Date	Per City of Franklin Comments	Revision Description
1	6/6/19		



Issue Date: May 13, 2019
ELI Project No: 17-11-1104
Drafted By: RDP
Checked By: LCW

Sheet Title:
**OVERALL
GRADING
&
DRAINAGE
PLAN**

Sheet No.

C 3.0

Daily Trip Generation: N/A
Peak Hour Trip Generation: N/A
Traffic Impact Study Required: no
Circulation Plan Required: no

Stopping Sight Distance: 115 ft
Intersection/Driveway Sight Distance: 125

Min. Centerline Radius: 70 ft
Min. Tangent Between Curves/Intersections: 0
Min. Centerline Arc Length:

Crest / Sag Curve K-Value: 7 / 17

Min. Distance Between Intersection: 200'

Min. Distance Between high volume/alleys & Intersections: 150 ft

Min. Distance Between driveway & Intersections: 50 ft

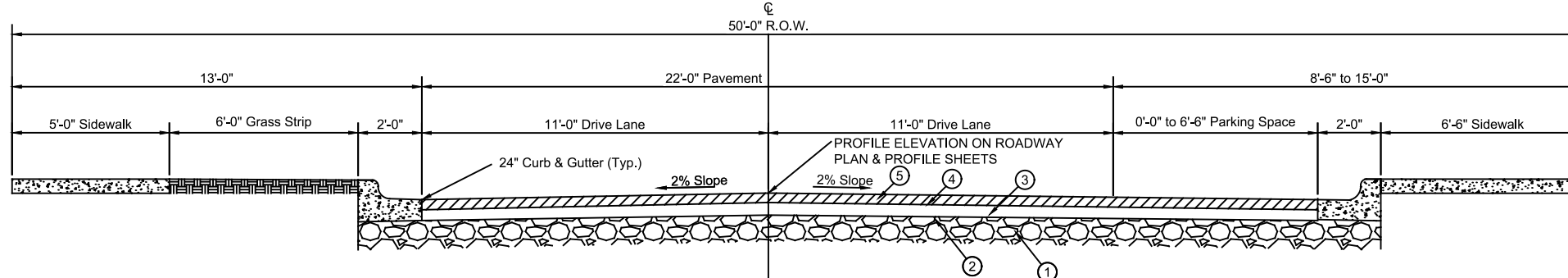
Driveway Width (two-way): 10-20

Driveway Approach Street Configuration: Radius Return

Residents will enter and leave the site via the existing road network in Lockwood Glen to the connection to Carothers Road or one of the two connections to Carothers Parkway.

The traffic generated by this section would be consistent with the typical traffic generated by 102 single family detached residential homes.

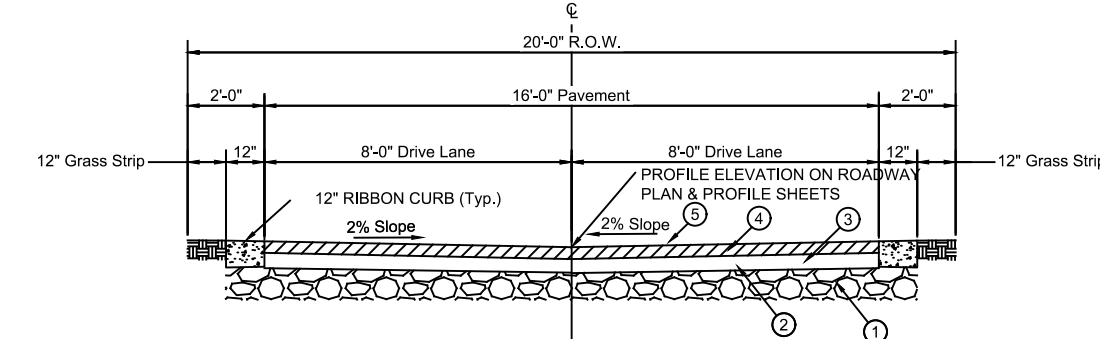
Rollaway bins will be utilized for refuse collection



50' TYPICAL CROSS SECTION W/ PARALLEL PARKING

N.T.S.

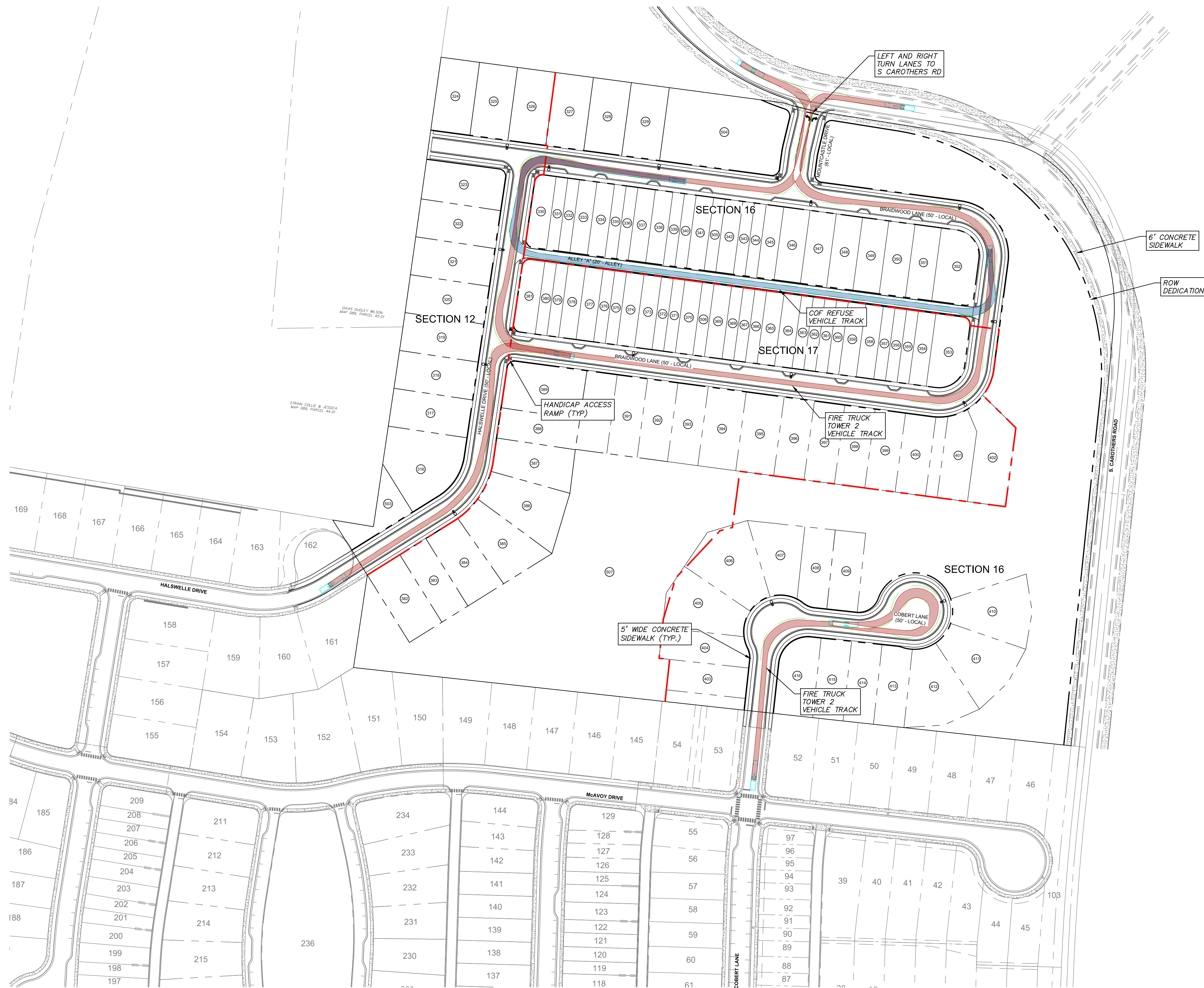
①	8" MINERAL AGGREGATE BASE 303-01 MINERAL 303-01 MINERAL AGGREGATE, TYPE "A" BASE, GRADING "D"
②	PRIME COAT
③	402-01 BITUMINOUS MATERIAL FOR PRIME COAT (PC) @ 0.30-0.35 GAL/SY
④	402-02 AGGREGATE FOR COVER MATERIAL (PC) @ 8-12 LBS/SY
⑤	3" - BITUMINOUS AGGREGATE BASE 307-01 08 ASPHALT CONCRETE MIX (PG64-22)(BPMH-JM) GRADING B-M2
⑥	TACK COAT
⑦	403-01 BITUMINOUS MATERIAL FOR TACK COAT (TC) @ 0.02 GAL/SY
⑧	1 1/2" - BITUMINOUS SURFACE COURSE 411 - 01, 11 ACS MIX (PG64-22) GRADING E RDWY



20' TYPICAL ALLEY CROSS SECTION

N.T.S.

- ① 8" MINERAL AGGREGATE BASE 303-01 MINERAL
303-01 MINERAL AGGREGATE, TYPE 'A' BASE, GRADING 'D'
- ② PRIME COAT
402-01 BITUMINOUS MATERIAL FOR PRIME COAT (PC) @ 0.30-0.35 GAL/SY
402-02 AGGREGATE FOR COVER MATERIAL (PC) @ 8-12 LB/SY
- ③ 3" - BITUMINOUS AGGREGATE BASE
307-01.08 ASPHALT CONCRETE MIX (PG64-22)(BPM6-HM) GRADING B-M2
- ④ TACK COAT
403-01 BITUMINOUS MATERIAL FOR TACK COAT (TC) @ 0.02 GAL/SY
- ⑤ 1 1/2" - BITUMINOUS SURFACE COURSE
411 - 01.11 ACS MIX (PG64-22) GRADING E RDWY



TN STATE PLANE CORD., ZONE 5301, FIPZONE 4100;
NAD83 DATUM

[illegible]

Issue Date: May 13, 20

FLI Project No:	17-11-11
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EEF Project No.	17-11-11
Drafted By	RE

Drawn by:	RL
Checked by:	RL

Checked By:	LC
-------------	----

Sheet Title:

OVERALL I

OVERALL
RQIAL 3

ROW &

ACCESS

ACCESS

PLAN

Sheet No.

C40

C 4.0

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Water & Sewer General Notes

- All persons who undertake the construction of water, sewer and/or reclaimed water lines located in, or affecting services provided by the City of Franklin shall comply with the requirements and regulations set forth in the "General Requirements & Technical Specifications, Water Management Department, City of Franklin, Tennessee" latest edition, along with any amendments, additions, or alteration that may thereafter be adopted by the board of mayor and aldermen by resolution.
- Contractor shall obtain Water & Sewer Infrastructure Installation Permit prior to scheduling required Pre-Construction Site Meeting. Contractor shall complete the Pre-Construction Site Meeting prior to commencing with construction.
- Contractor shall obtain and keep all of the following items on the jobsite at all times during construction:
 - Approved, Stamped and Signed Water and/or Sewer Plans
 - Water & Sewer Infrastructure Installation Permit, with all steps completed and signed by appropriate City employees.
 - Copy of approved availability request response letter.
 - A copy of all approved Cut Sheets.
- Acceptance of City of Franklin public water infrastructure, sanitary sewer infrastructure and/or reclaimed water infrastructure shall become the responsibility of the City of Franklin, TN following approval from the City of Franklin Inspectors and acceptance by the Franklin Municipal Planning Commission. The Acceptance date shall be based on the day maintenance sureties are established by the Franklin Municipal Planning Commission.
- Prior to the acceptance of City of Franklin public water infrastructure, sanitary sewer infrastructure and/or reclaimed water infrastructure the contractor shall be required to submit as-built drawings to the Planning and Sustainability Department.
- All off-site work within the public right-of-way shall require an approved traffic control plan which complies with the MUTCD. No off-site excavation may be undertaken in any street, road, alley or right-of-way of any utility or temporary construction easement of the City of Franklin by any entity unless 72-hour notice has been given to the City of Franklin Traffic Operations Center. The contractor shall have an approved traffic control plan onsite during construction.
- Any damages caused to existing utilities during construction shall, at his own expense, be replaced or repaired to original condition and quality, as approved by the owner and representative of the appropriate utility company, by the Contractor.

Water & Sewer Data Chart

Development Type: Single Family Residential
Unit Flow in GPD: 350 GPD
Number of Units: 102 (Single Family Residences)
Flow in GPD: 35,700 GPD

Utility Network Narrative

Existing utilities in the previous sections of Lockwood Glen will be extended to serve Sections 12, 16, & 17.

Utility Impact Statement

The anticipated demand for water and sewer is 35,700 GPD based on a 350 GPD unit flow and 105 single family homes. There are no reclaimed water lines in the vicinity.

Note

Where sanitary sewer lines cross proposed lot lines, no structures, patios, a/c equipment, utilities or drive lanes shall be constructed in COF sewer easement. All sewer easements are exclusive sewer easements and shall remain open for maintenance.

Note

All street lights shall have a LED light source.

Utility Providers

Electric

MTEMC
Gary Osburn
(615) 595-4677

Natural Gas

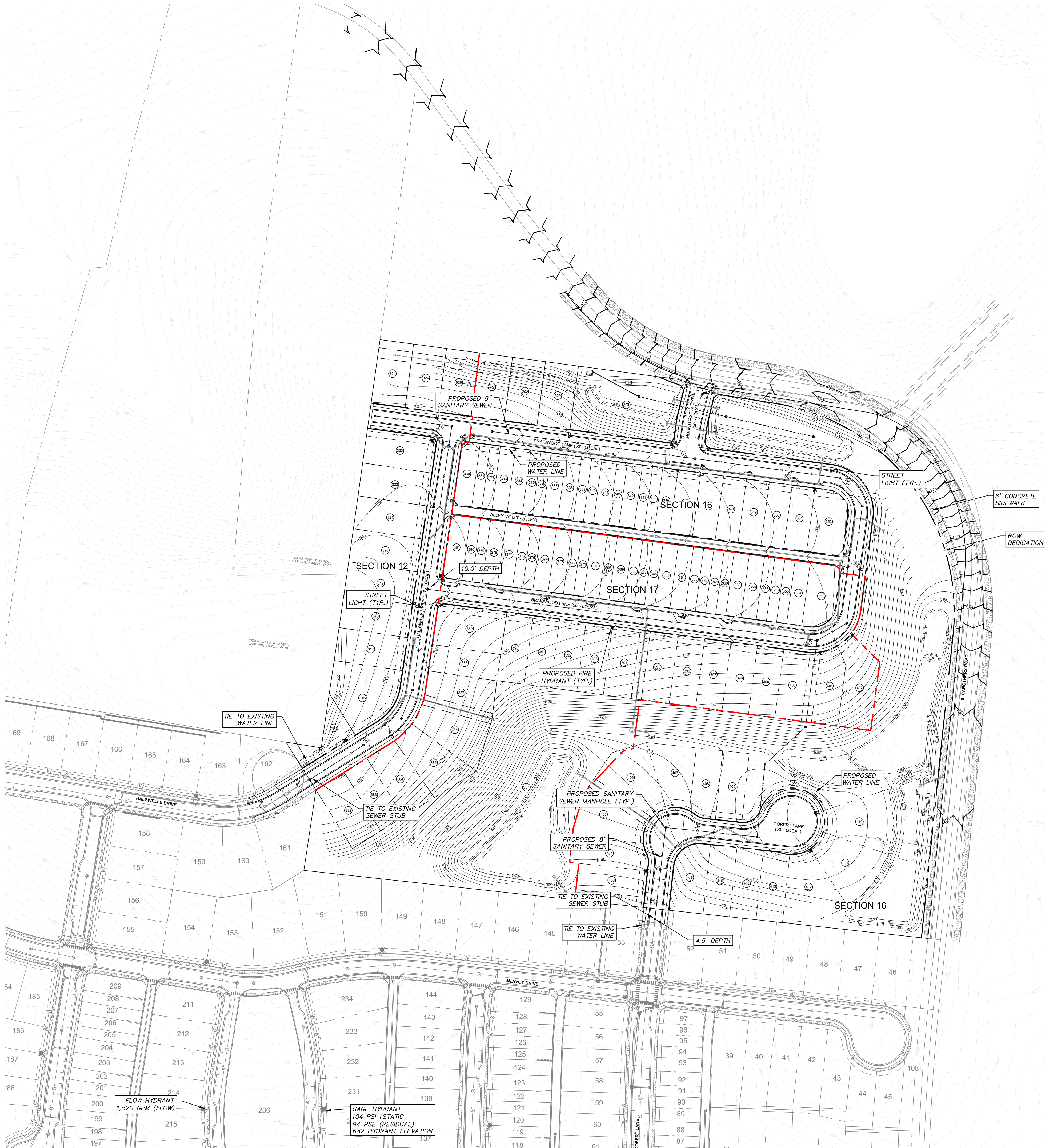
Atmos
(615) 771-8300

Sewer

Ben McNeil
City of Franklin Water & Sewer
124 Lumber Drive
Franklin, TN 37064
(615) 794-4554

Water

Milcrofton Utility District
Mike Jones
(615) 794-5947 ext 24



TN STATE PLANE COORD., ZONE 5301, FIPZONE 4100;
NAD83 DATUM
GRAPHIC SCALE (IN FEET)
1 inch = 100 ft.



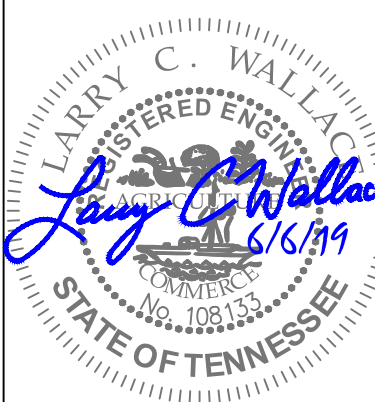
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LOCKWOOD GLEN
PUD SUBDIVISION
DEVELOPMENT PLAN REVISION 5
CITY OF FRANKLIN PROJECT NO. 6994
FRANKLIN, TENNESSEE

Rev.	Date	Per City of Franklin Comments	Revision Description
1	6/6/19		



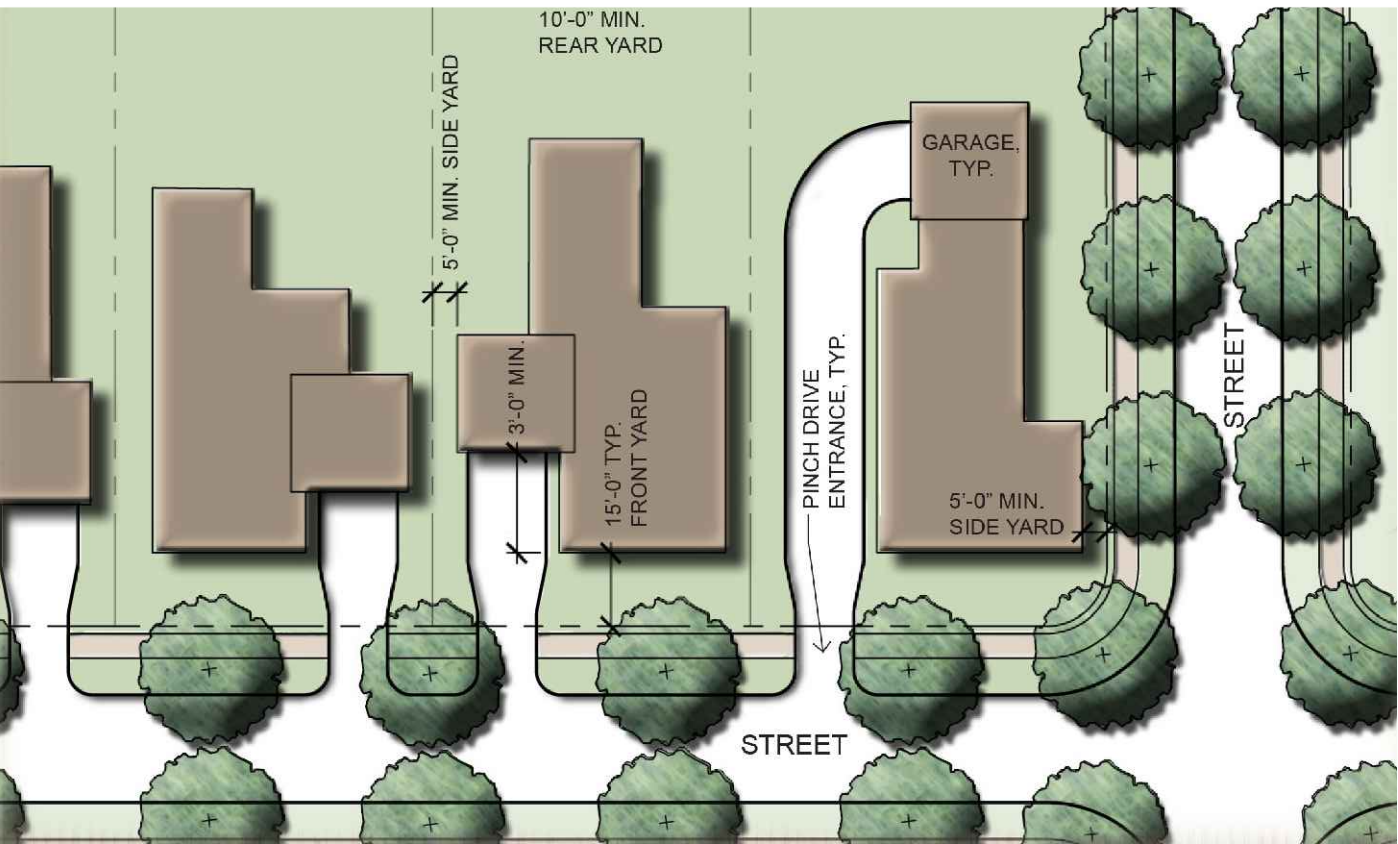
Issue Date: May 13, 2019
ELI Project No: 17-11-1104
Drafted By: RDP
Checked By: LCW
Sheet Title:

OVERALL
UTILITY
PLAN

Sheet No.

C 5.0

TYPICAL LOT DIAGRAM



- ATTENTION OWNER/INSTALLER
1. ARCHITECTURAL ELEVATIONS ARE REPRESENTATIVE OF LOCKWOOD GLEN AND COMPLY WITH THE APPROVED PATTERN BOOK.
 2. FINAL DESIGN PLANS SHALL BE SUBMITTED WITH THE REQUEST FOR BUILDING PERMITS AND SHALL INDICATE COMPLIANCE WITH THE APPROVED PATTERN BOOK AND APPLICABLE STANDARDS FROM THE CITY OF FRANKLIN'S ARCHITECTURAL DESIGN STANDARDS.
 3. LOCKWOOD GLEN IS COMPRISED OF TOWNHOMES AND SINGLE FAMILY DETACHED HOMES INCLUDING BOTH ATTACHED GARAGE ACCESS FROM FRONT-FACING STREET AND FROM ATTACHED GARAGE ACCESS FROM ALLEYS AT REAR OF HOME.
 4. ONE OR TWO STORIES IN HEIGHT.
 5. GARAGE IS SETBACK A MINIMUM OF 3 FEET FROM THE FRONT FACADE.
 6. MATERIALS INCLUDE BRICK, SIMULATED STONE, CEMENTATIONS SIDING AND ARCHITECTURAL SHINGLES.

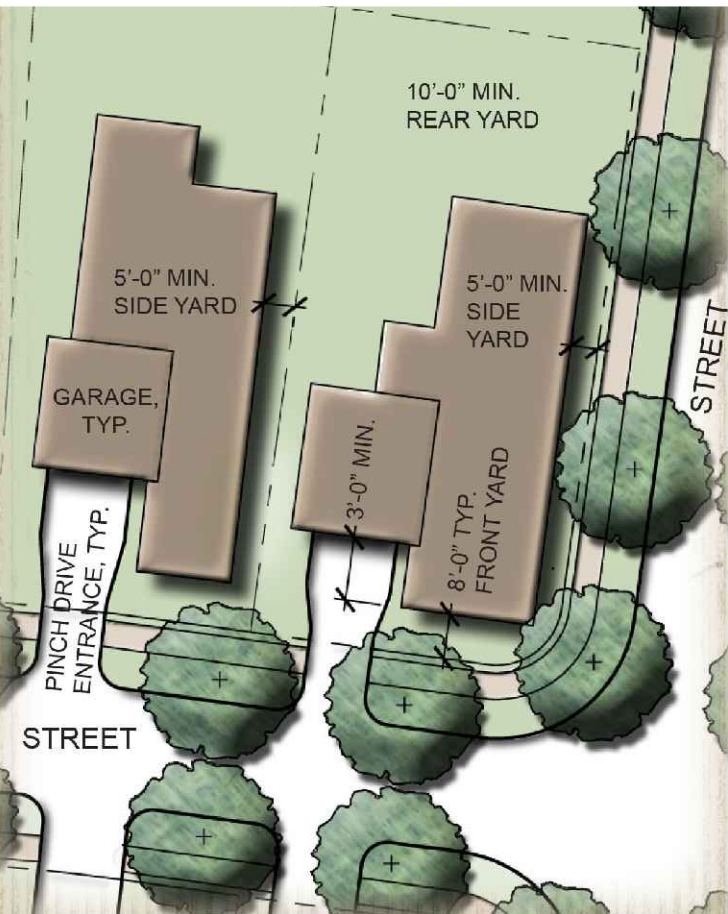
NOTE: THESE ELEVATIONS ARE CONCEPTUAL IN NATURE. INDIVIDUAL BUILDING ELEVATIONS MAY VARY BUT WILL BE REVIEWED AND APPROVED BY THE BNS DEPARTMENT ACCORDING TO CITY REQUIREMENTS AT TIME OF PERMITTING.

ARCHITECTURAL CHARACTER*:

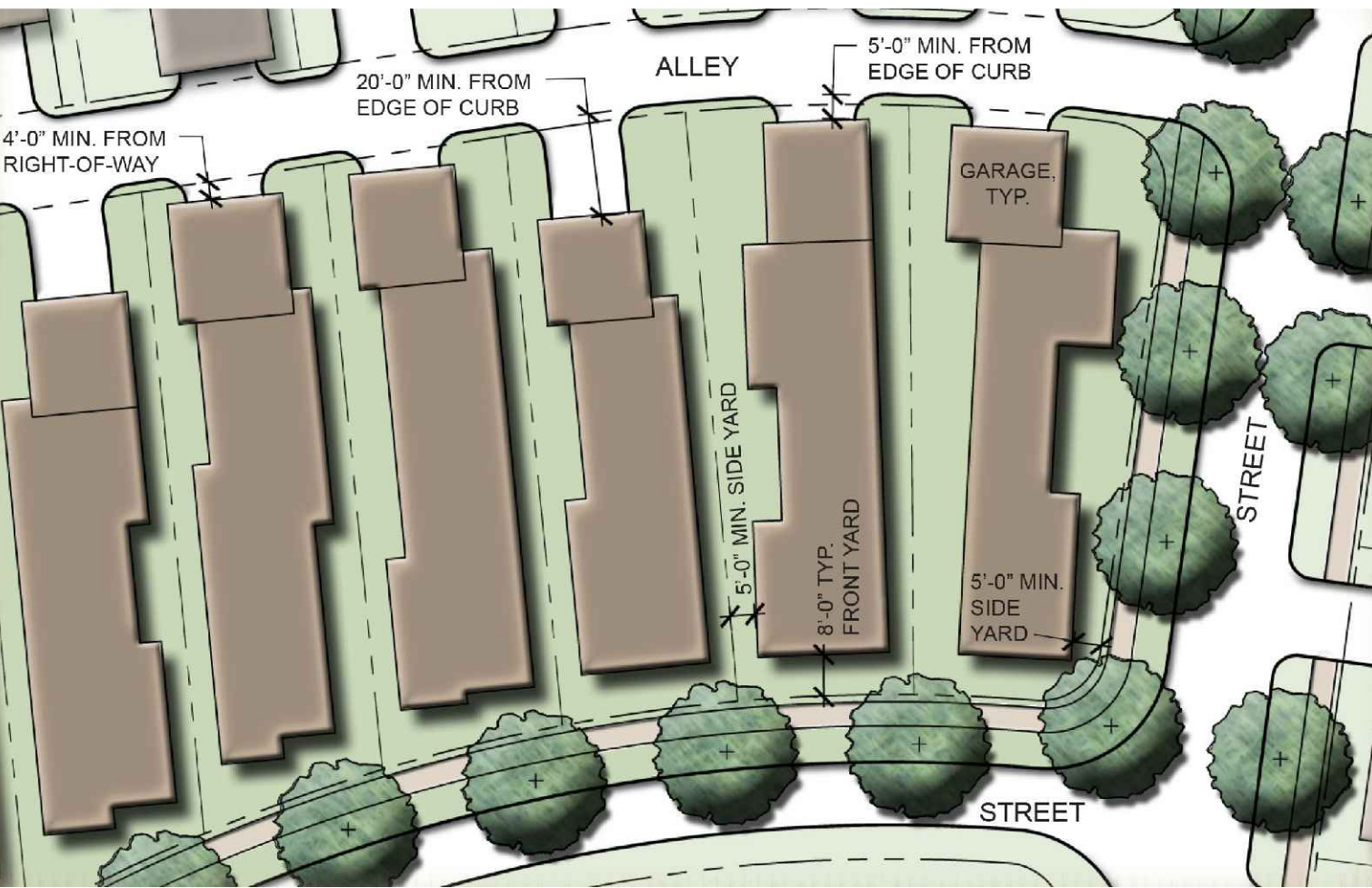
The homes in Lockwood Glen will be of an early 20th Century southern vernacular. Specifically, the styles that will influence the community are as follows:

*Architectural Character Images and Descriptions as depicted herein are per Approved Pattern Book.

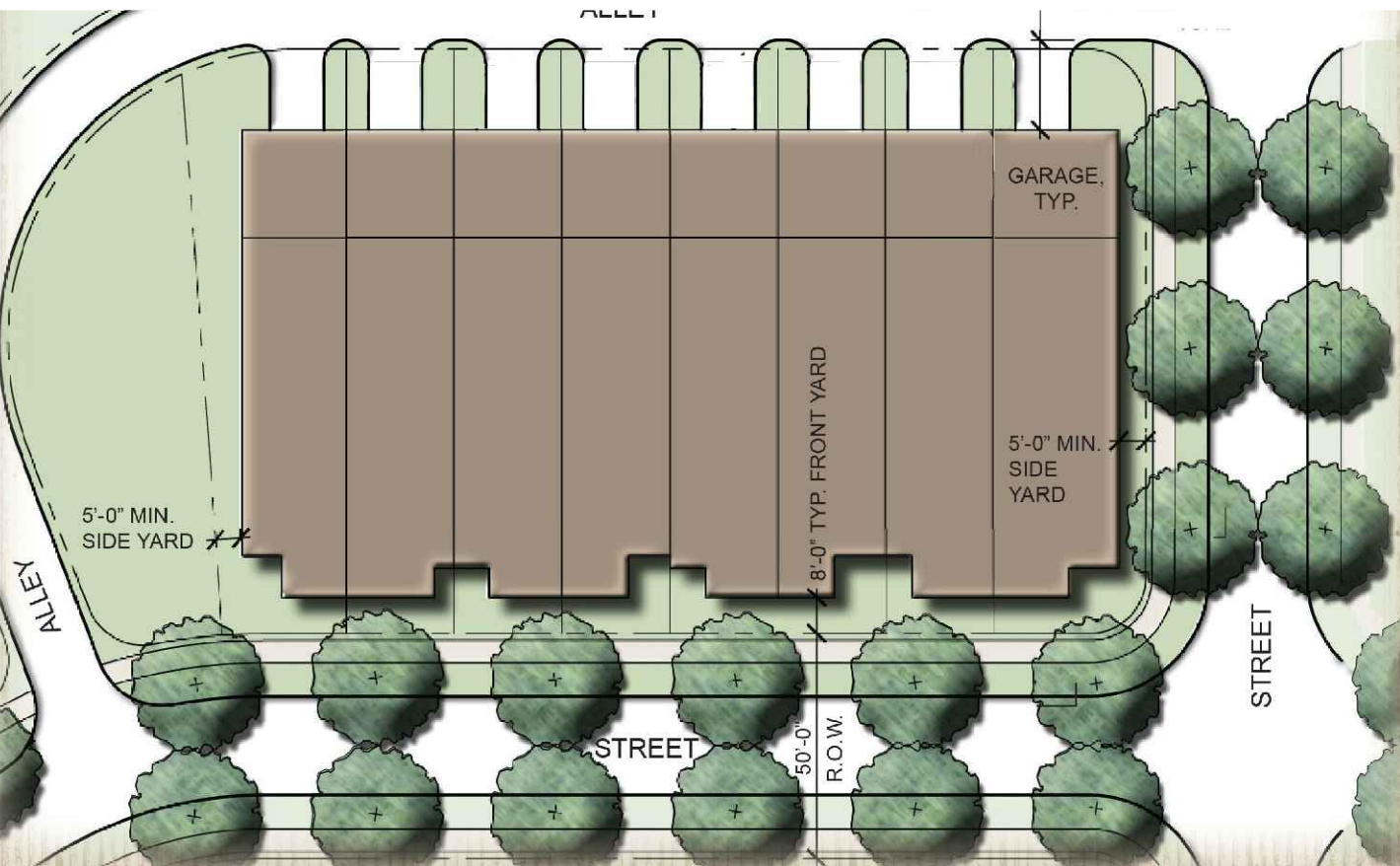
TYPICAL LOT DIAGRAM



TYPICAL LOT DIAGRAM



TYPICAL LOT DIAGRAM



MANOR HOMES (AS DEFINED IN APPROVED PATTERN BOOK:
SECTION 16 STREET ACCESS WITH FRONT LOADED GARAGES PER APPROVED PATTERN BOOK
TYPICAL HOME SQUARE FOOTAGE: 2,600 - 3,800 SF
LOT WIDTH: 65' MIN.
LOT DEPTH: 140' MIN.
STREET YARD SETBACKS:
FRONT: 15' MIN.
REAR: 10' MIN.
SIDE: 5' MIN.
FRONT PORCH DEPTH: 6' MIN.

COTTAGE HOMES STANDARDS:
STREET ACCESS WITH FRONT LOAD GARAGES PER C.O.F. DESIGN STANDARDS
TYPICAL HOME SQUARE FOOTAGE: 2,200 - 3,200 SF
LOT WIDTH: 52' MIN.
LOT DEPTH: 120' MIN.
STREET YARD SETBACKS:
FRONT: 8' MIN.
REAR: 10' MIN.
SIDE: 5' MIN.
FRONT PORCH DEPTH: 6' MIN.

GARDEN HOMES STANDARDS:
ALLEY ACCESS WITH REAR LOADED GARAGES PER C.O.F. DESIGN STANDARDS
TYPICAL HOME SQUARE FOOTAGE: 1,800 - 2800 SF
LOT WIDTH: 45' Min.*
*(MODIFIED FROM 38' MIN IN APPROVED PATTERN BOOK)
LOT DEPTH: 120' Min.
STREET YARD SETBACKS:
FRONT: 8' MIN.
REAR: 4' MIN. * (FROM RIGHT-OF-WAY)
SIDE: 5' MIN.
GARAGE SETBACK TO REAR: 5' or 20' MIN. (FROM CURB)
FRONT PORCH DEPTH: 6' MIN.

TOWNHOMES STANDARDS:
ALLEY ACCESS WITH REAR LOADED GARAGES PER C.O.F. DESIGN STANDARDS
TYPICAL HOME SQUARE FOOTAGE: 1,000 - 2500 SF
LOT WIDTH: 20'-30'
LOT DEPTH: 120' Min.
STREET YARD SETBACKS:
FRONT: 8' MIN.
SIDE: 5' MIN.
GARAGE SETBACK TO REAR: 20' MIN. (FROM ALLEY ROW)
FRONT PORCH DEPTH: 6' MIN.