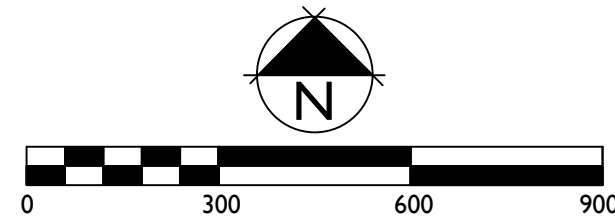
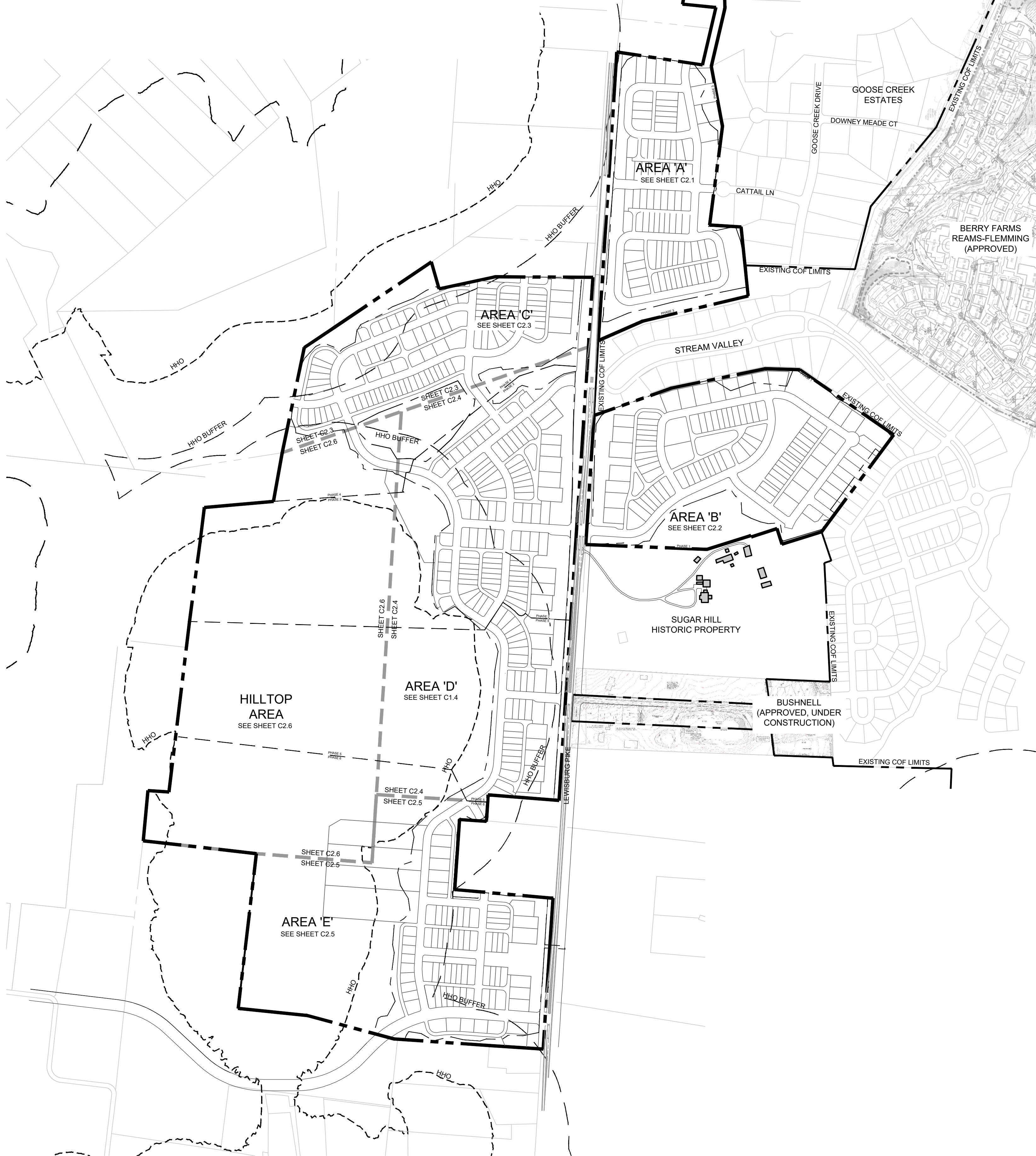


LOT BREAKDOWN

	DETACHED					TOTAL DETACHED	ATTACHED			TOTAL ATTACHED	AREA TOTAL
	34'-40'	41'-45'	45'-55'	56'-60'	61'+		24' (2-3 UNIT)	60' (4-UNIT)	90' (4-UNIT)		
AREA 'A'	19	13	21	10	19	82	0	0	0	0	82
AREA 'B'	23	22	5	5	21	76	47	0	0	47	123
AREA 'C'	28	15	12	1	4	60	10	76	40	126	186
AREA 'D'	30	20	14	18	11	93	50	68	0	118	211
AREA 'E'	16	17	10	0	4	47	28	36	36	100	147
UNIT TOTAL	116	87	62	34	59	358	135	180	76	391	749
			155								



OPEN SPACE REQUIREMENT

MINIMUM OPEN SPACE REQUIREMENT (PER ZO): 15% REQUIRED: 15% TOTAL = 2,083,598 SF 34% FORMAL = 708,423 SF 66% INFORMAL = 1,375,178 PROVIDED: 2,670,230 SF TOTAL FORMAL: 724,689 SF INFORMAL: 1,945,541 SF*	OPEN SPACE REQUIREMENT (PER ENVISION FRANKLIN): 50% REQUIRED: 6,945,325 SF PROVIDED: 7,993,240 SF
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LOT	CLASSIFICATION	TYPE	AREA (SF)
1000	INFORMAL	EXISTING QUARRY	121,521
1001	FORMAL	LINEAR PARK	16,379
1002	INFORMAL	WATER QUALITY	40,322
1003	FORMAL	PARK	16,940
1004	INFORMAL	BUFFER / STORMWATER	32,635
1005	INFORMAL	BUFFER / STORMWATER	240,619
1006	FORMAL	PARK	8,443
1007	FORMAL	PARK	14,891
1008	FORMAL	PARK	67,209
1009	INFORMAL	WATER QUALITY	19,187
1010	INFORMAL	WATER QUALITY	11,720
1011	INFORMAL	BUFFER	119,310
1012	INFORMAL	BUFFER	2,561
1013	FORMAL	PARK	8,379
1014	FORMAL	PARK	7,800
1015	FORMAL	PARK	26,989
1016	FORMAL	PARK	26,016
1017	INFORMAL	STREAM BUFFER	238,945
1018	FORMAL	AMENITY	55,488
1019	INFORMAL	WATER QUALITY	98,799
1020	INFORMAL	BUFFER	146,650
1021	FORMAL	PARK	29,058
1022	INFORMAL	BUFFER	321,418
1023	INFORMAL	OPEN AREA	3,633
1024	INFORMAL	WATER QUALITY	1,884
1025	FORMAL	PARK	7,620
1026	FORMAL	PARK	65,005
1027	INFORMAL	BUFFER	136,049
1028	INFORMAL	WATER QUALITY	42,238
1029	INFORMAL	PARKING	9,434
1030	FORMAL	PARK	47,133
1031	INFORMAL	WATER QUALITY	50,259
1032	FORMAL	AMENITY	157,864
1033	FORMAL	PARK	61,087
1034	INFORMAL	WATER QUALITY	56,217
1035	INFORMAL	PARKING	2,722
1036	INFORMAL	PARKING	5,040
1037	INFORMAL	WATER QUALITY	3,175
1038	INFORMAL	WATER QUALITY	3,317
1039	INFORMAL	WATER QUALITY	31,766
1040	FORMAL	PARK	27,382
1041	FORMAL	PARK	25,771
1042	INFORMAL	BUFFER	15,464
1043	INFORMAL	BUFFER	32,351
1044	FORMAL	PARK	9,157
1045	INFORMAL	OPEN AREA	3,196
1046	INFORMAL	BUFFER	48,185
1047	FORMAL	PARK	18,252
1048	INFORMAL	WATER QUALITY	51,654
1049	FORMAL	PARK	15,510
1050	INFORMAL	PARKING	1,653
1051	INFORMAL	PARKING	1,646
1052	INFORMAL	BUFFER	45,943
1053	FORMAL	PARK	12,410
1054	INFORMAL	PARKLAND DEDICATION	5,323,010*

*NOTE: OS CALCULATIONS PER ZONING ORDINANCE DO NOT INCLUDE PARKLAND DEDICATION LOT #1054 (±122 AC)
THE 50% OS REQUIREMENT PER ENVISION FRANKLIN INCLUDES PARKLAND DEDICATION LOT 1049

TREE CANOPY RETENTION

OVERALL SITE AREA = 13,890,650 SF (318.88 AC)		
TREE AREA	EXISTING	PRESERVED
A	291,328 SF	165,086 SF
B	109,070 SF	24,927 SF
C	1,312,343 SF	122,699 SF
D	654,961 SF	466,252 SF
E	925,028 SF	816,201 SF
HILLTOP	2,225,060 SF	2,165,476 SF
TOTAL SF	5,417,690 SF	3,750,641 SF
TOTAL ACRES	124.37 AC	86.10 AC
TREE CANOPY DATA:		
TOTAL EXISTING TREE CANOPY:	5,417,690 SF; 124.37 AC (39% OF SITE)	
REQUIRED CANOPY PRESERVATION:	48% (2,600,491 SF; 59.92 AC)	
PROVIDED CANOPY PRESERVATION:	3,750,641 SF; 86.10 AC (143% OF REQUIRED)	

TOTAL ACREAGE BY USE, PER PHASE:

PHASE 1
41.92 AC TOTAL
19.54 AC RESIDENTIAL (123 UNITS - 76 DETACHED, 47 ATTACHED)
13.47 AC OPEN SPACE

PHASE 2
39.40 AC TOTAL
15.39 AC RESIDENTIAL (161 UNITS - 68 DETACHED, 93 ATTACHED)
8.94 AC OPEN SPACE

PHASE 3
33.03 AC TOTAL
13.73 AC RESIDENTIAL (82 UNITS - 82 DETACHED)
11.18 AC OPEN SPACE

PHASE 4
30.62 AC TOTAL
13.14 AC RESIDENTIAL (186 UNITS - 60 DETACHED, 126 ATTACHED)
15.78 AC OPEN SPACE

PHASE 5
15.61 AC TOTAL
6.78 AC RESIDENTIAL (50 UNITS - 25 DETACHED - 25 ATTACHED)
15.78 AC OPEN SPACE

PHASE 6
30.90 AC TOTAL
21.2 AC RESIDENTIAL (147 UNITS - 47 DETACHED - 100 ATTACHED)
6.56 AC OPEN SPACE

SITE DATA CHART

PROJECT NAME:	SOUTHBROOKE
PROJECT #:	6975
SUBDIVISION:	SOUTHBROOKE
ADDRESS:	LEWISBURG PIKE
CITY:	FRANKLIN
COUNTY:	WILLIAMSON
STATE:	TENNESSEE
CIVIL DISTRICT:	10
EXISTING ZONING:	MGA-1 (WILLIAMSON COUNTY)
PROPOSED ZONING:	SD-R (2.35)
EXISTING CHARACTER AREA:	GCCO-5 & MLCO-2
OTHER APPLICABLE OVERLAYS:	HHO & HHO BUFFER
APPLICABLE DEVELOPMENT STANDARD:	EITHER (CONVENTIONAL APPLIED)
ACREAGE OF SITE:	318.88 AC
SQUARE FOOTAGE OF SITE:	13,890,650 SF
MINIMUM SETBACKS:	SEE ARCHITECTURE SHEETS A1.0 & A1.1 MINIMUM SETBACKS ARE ESTABLISHED AS PART OF THE PUD
OWNERS:	
117---01200	FLORENCE E.H. MCKEITHAN 4416 BEEKMAN DRIVE NASHVILLE, TN 37215
117---01300 & 118---04900	DWIGHT STACEY 1490 LEWISBURG PIKE FRANKLIN, TN 37064
117---01400, 118---04901, 118---05001, 118---05002, 133---00100	THE HILLS TENNESSEE, LLC CHARLES L. COLLUM 2381 EAST VINA DEL MAR BLVD ST. PETE BEACH, FL 33706
117---01901 & 117---01902	MARVIN PRATT LIMITED PARTNERSHIP MARY BUSH GENERAL PARTNER 3824 NEW HIGHWAY 96 WEST FRANKLIN, TN 37064
APPLICANT:	GAMBLE DESIGN COLLABORATIVE
ADDRESS:	324 LIBERTY PIKE SUITE 145 (615) 975-5765 greg.gamble@gdc-tn.com GREG GAMBLE
TOTAL UNITS:	749
ATTACHED:	391 (211 3BR+, 180 2BR)
DETACHED:	358
BUILDING HEIGHT:	1 - 2.5 STORIES
REQUIRED LSR:	0.2
PROVIDED LSR:	0.2 *NOTE- PROPOSED COF PARK NOT INCLUDED IN LSR CALCULATION
MINIMUM PARKING REQUIREMENT:	2 / SF DETACHED: 716 1.5 / 1BR ATTACHED: 0 2.5 / 2 BR ATTACHED: 450 3.5 / 3BR+ ATTACHED: 739 TOTAL: 1,905
EXISTING PARKING:	NONE
PROVIDED PARKING:	3,211
RESIDENTIAL DENSITY:	2.35 D.U.A.
NET DENSITY* (MINUS ROW):	2.91 D.U.A.
NET DENSITY* (MINUS ROW & HHO):	4.85 D.U.A.
TREE CANOPY:	3,937,245 SF (AC)
PARKLAND DEDICATION FEE:	\$3,223.696

STATEMENT OF IMPACTS

WATER FACILITIES
WATER SERVICE WILL BE PROVIDED BY HB & TS. THE WATER MAINS ARE LOCATED ALONG CAROTHERS PARKWAY AND LIBERTY PIKE.
749 UNITS x 350 GPD = 262,150 GPD

SEWER FACILITIES
SEWER SERVICE WILL BE PROVIDED BY THE CITY OF FRANKLIN.

REPURIFIED (REUSE) WATER FACILITIES
NOT AVAILABLE TO THIS SITE.

POLICE, FIRE, AND RECREATIONAL FACILITIES
NEAREST POLICE STATION: 5.5 MI (FRANKLIN POLICE DEPARTMENT)
NEAREST FIRE STATION: 1.9 MI (FRANKLIN FIRE DEPARTMENT STATION 7)
NEAREST RECREATIONAL FACILITY: 0.8 MI (HUGHES MILL PARK)

PROJECTED STUDENT POPULATION
749 x 0.64 = 480 STUDENTS

REFUSE STORAGE AND SANITATION COLLECTION FACILITIES
REFUSE COLLECTION FOR THE DEVELOPMENT SHALL BE PROVIDED BY COF

RESTRICTIVE COVENANTS:
A HOME OWNER'S ASSOCIATION WILL BE ESTABLISHED PRIOR TO THE FIRST OCCUPANCY OF RESIDENTS. THE HOA WILL REGULATE ARCHITECTURAL STANDARDS AND THE MAINTENANCE OF THE COMMUNITY. THE HOA WILL MAINTAIN ALL COMMON OPEN SPACE AND RECREATIONAL AREAS.



GAMBLE
DESIGN COLLABORATIVE
DEVELOPMENT PLANNING AND
LANDSCAPE ARCHITECTURE

SOUTHBROOKE PUD SUBDIVISION
DEVELOPMENT PLAN
Franklin, Williamson County, Tennessee



Revision Date	
△	
△	
△	
△	

OVERALL
DEVELOPMENT
PLAN
SHEET
C2.0
COF 6975