PARKLAND DEDICATION, HISTORIC STRUCTURE RESTORATION, ARBORETUM, AND MOUNTAIN BIKE TRAIL SYSTEM CONSTRUCTION AND MAINTENANCE AGREEMENT BETWEEN THE CITY OF FRANKLIN AND LEGACY, LLC COF CONTRACT NO. 2019-0096

PARKLAND DEDICATION, HISTORIC STRUCTURE RESTORATION, ARBORETUM AND MOUNTAIN BIKE TRAIL SYSTEM CONSTRUCTION AND MAINTENANCE AGREEMENT, ("Agreement"), made and entered into this _____ day of _____, 2019, by and between THE CITY OF FRANKLIN, TENNESSEE ("City") and LEGACY, LLC ("Legacy") as owner of that certain land consisting of approximately 988,812 square feet or 22.7 acres of undeveloped land located in Williamson County, Tennessee, as more particularly described in the Huffines Property PUD Subdivision Development Plan, Sheet C2.0, attached hereto, pursuant to Title 25, Chapter 4 of the City of Franklin Municipal Code.

WITNESSETH:

WHEREAS, Legacy is in the process of developing 1343 Huffines Ridge Drive (Map 62-Parcel 20) ("Property" or "Development Project"), consisting of four hundred twenty-six (426) apartment units, a one hundred seventy (170) room hotel, and an approximately 150,000 square foot office building, all as more particularly shown on the Huffines Property PUD Subdivision Development Plan, Sheet C2.0" ("Exhibit A"); and

WHEREAS, pursuant to Title 25, Chapter 4 of the City of Franklin Municipal Code, Legacy has agreed to design and construct an Arboretum and Mountain Bike Trail System, as well as restore the Historic Structure located on 10.03 areas of undeveloped land within the Huffines Property PUD Subdivision, to be zoned Civic Institutional (CI), which will include, but not be limited to, the mountain bike trail, trailheads, existing trees, shrubbery, and associated appurtenances such as signage, benches, and other associated amenities as approved by the City of Franklin, all as more particularly shown and described in the Letter of Intent ("Exhibit B") and on the Overall Master Plan ("Exhibit C") attached hereto; and

WHEREAS, Legacy desires to develop a plan, the Historic Structure Restoration Effort, and intends to restore the Carothers family home ("Home") to community center specifications to be provided by City as shown in the Architectural Restoration Plans (Exhibit D"); restore one (1) associated structure as a maintenance shed for the City of Franklin Parks Department; construct a trail storm shelter; demolish the other associated and unsound structures currently located on the property; restack the dry-stacked stone walls quarried and located in the area immediately surrounding the Home, all as more particularly described in Exhibit B and on Exhibit C attached hereto; and

WHEREAS, Legacy intends to develop an interpretive Arboretum in the area immediately surrounding the Home as a means to commemorate the historical use of the property as a homestead and farm as more particularly described on Exhibit C attached hereto; and

WHEREAS, Legacy and City intend for the entire area to be included in a Historic Preservation Overlay ("HPO") designation on the final plat; and

Law Dept. approved 04.22.19

WHEREAS, the HPO, Historic Structure Restoration, Arboretum, and Mountain Bike Trail System encompasses approximately 10.03 acres of land on the Property all as more particularly shown and described on Exhibit A attached hereto; and

WHEREAS, Legacy has requested to offset a portion of the costs of construction of these improvements against any Parkland Impact Fees due from the Development Project, and the estimated amount of such eligible costs, and the potential offset, was determined by the Parks Department Director on February 4, 2019, to be ONE MILLION EIGHT HUNDRED THIRTY-THREE THOUSAND FIVE HUNDRED FOUR and 00/100 Dollars ($1,833,504.00) as itemized in the Opinion of Cost ("Exhibit E"); and

WHEREAS, Legacy has agreed to plat and dedicate the HPO, Historic Structure Restoration, Arboretum, and Mountain Bike Trail System upon restoration and construction of the Home, Arboretum, and the Mountain Bike Trail System improvements as illustrated on Exhibits B and C, and described in detail below for the future enjoyment of the public, free of charge, subject to the terms and conditions set forth herein; and

WHEREAS, any approved fixed structures associated with the Home, Arboretum, or Mountain Bike Trail System (examples may include fencing, benches, off-street parking, signage, etc. as illustrated on the approved construction drawings on file with the City of Franklin Parks Department) shall not be altered, expanded, or in any way modified in any material way by Legacy with respect to the nature and intensity of its use without the written consent of the City (which shall not be unreasonably withheld, conditioned or delayed).

NOW, THEREFORE, in consideration of the terms, conditions and mutual agreements by and between the parties as hereinafter set forth in detail, the parties do hereby mutually agree as follows:

I. AGREEMENT OF DEDICATION AND CONSTRUCTION

1. The foregoing recitals are incorporated into this Agreement and made a part thereof.

2. Legacy agrees to provide City with a copy of the Certificate of Liability Insurance, which must show that the policy is active, prior to the signing of this agreement.

3. Legacy agrees to and has attached all pertinent exhibits to this contract prior to the first submittal of this agreement to the City for review. Legacy further understands that failure to provide all pertinent exhibits prior to the first submittal of this agreement for review will result in a potential delay in the agreement approval process.

4. Legacy and City agree that Legacy shall be eligible and shall receive an offset of applicable Parkland Impact Fees as hereafter set forth for the Historic Home restoration effort, Arboretum construction, and Mountain Bike Trail System, dedication of land and easements, and associated improvements as illustrated in Exhibit C and as allowed under Title 25, Chapter 4 of the City of Franklin Municipal Code.

5. The total estimated cost of land and/or easement dedication, design, and the cost of labor, equipment, supplies, and materials used to preserve the Historic Home, construct the Arboretum, and construct the Mountain Bike Trail improvement as illustrated in Exhibit C, is One Million Nine Hundred Seventy-Three Thousand Seventy-Four Dollars ($1,973,074) as indicated in Exhibit E, and the estimated total offset to Legacy is One Million Eight Hundred Thirty Three Thousand Five Hundred Four and 00/100 ($1,833,504.00), as indicated on Exhibit F, upon submittal and approval of supporting documentation. The following costs are specifically excluded and not eligible for an offset: fiscal cost, including interest on money borrowed to finance the construction, cost for utility relocations, and other improvements that benefit the development.

6. Pursuant to Title 25, Chapter 4 of the Franklin Municipal Code, the eligible offset does and shall not exceed the total Parkland Impact Fees due for the Development Project.

7. The Historic Home, Arboretum, and Mountain Bike Trail system as depicted in Exhibits C and D shall be constructed, inspected, approved, and accepted in its entirety within two (2) years from the date of approval or the issuance of the first building permit for the development. Legacy shall post a Letter of Credit or cash surety with the City for the cost of the outstanding improvements as reasonably determined by the City of Franklin Parks Department Director prior to additional Certificate of Occupancy Permits being issued. Once the project has been accepted by the City, Legacy agrees to provide all finalized and approved detailed costs to the City at the final plat, and accurate reimbursement will be calculated and executed by the City

8. Legacy will build, restore, and construct the Historic Home, Arboretum, and Mountain Bike Trail as depicted in Exhibit C and as approved in the construction drawings approved by the City. The HPO and parkland dedication area on the Property totals approximately 10.03 acres. Upon acceptance of the restoration and construction per the plans on file with the City by Certificate of Occupancy, City will accept title to the Historic Structures, Arboretum, and Mountain Bike Trail System in fee simple by warranty deed and the City shall be responsible for maintaining the Historic Structures, Arboretum, and Mountain Bike Trail System.

9. Legacy shall be responsible for the location and protection of all existing utilities in accordance with State and local laws while utilizing the right-of-way. There shall be no offsets or reimbursement for relocating or protecting public utilities.

10. Legacy shall be solely responsible for the maintenance of the retaining wall, fencing, and parking stalls bordering the public right of way. Barring force majeure or weather delays, Legacy agrees, upon thirty (30) days written notice from the City, to remove, repair or replace trees, landscaping, and damage as described herein that may require reasonable removal, repair or replacement. The City reserves its right to determine health of the trees, landscaping, and condition of the retention wall, fencing, and parking stalls and, whether trees, landscaping, retention wall, fencing, and parking stalls are to be replaced and maintained. If no remedy is made within the specified time, the City reserves the

right to remove all affected trees and landscaping and repair the retention wall, fencing, and parking stalls with notice to Legacy and at the sole cost and expense of Legacy. Legacy shall submit payment for full cost and expense incurred by the City within forty-five (45) days of the date of the invoice.

11. Naming Rights. The policy of the City is to reserve naming or renaming of city assets to those circumstances which tradition and practice have shown to best serve the interests of the City and assure a worthy and enduring legacy for the City.

12. Organized Events. Events require a Special Event Permit which may be obtained through the Franklin Parks Department. No entity shall sponsor, host or organize an event at the Historic Home, Arboretum, and Mountain Bike Trail without prior approval of the Special Event Permit.

13. All improvements, uses, and activities shall comply with the policies established by the City of Franklin Zoning Ordinance and Municipal Code with the terms and conditions of this Agreement.

14. Upon completion and prior to acceptance of the Historic Home restoration, Arboretum construction, and Mountain Bike Trail improvements, Legacy will provide reasonable documentation for all such costs and provide notarized release of liens.

15. Final as-built plans shall be submitted immediately following completion of construction activities. If the project is developed in phases, as-built plans for each phase shall be submitted once the work is complete in that phase. Acceptance of Parkland dedication and construction projects will not be issued until satisfactory as-built plans have been approved by the Parks Department Director or designee and the City Engineer's designee. All aspects of the project that have been affected by construction shall be verified and appear on the as-built plans. This would include, but is not limited to the following items:
    - All property lines and easements
    - New and Existing structures (include restrooms, playground equipment, trail/multi-use paths, trail heads, pavilions, pools, athletic fields, athletic courts, athletic venues, etc.)
    - Location of all "as-built" work with station and offsets
    - Height and location of all fences, walls, screens, trees, and hedges over 42" tall
    - All commercial driveways, paved areas, and required parking spaces
    - All concealed components with station and offsets (include known buried cables, utilities, drainage structures, etc.)
    - All utilities
    - File formats shall be in a *.PDF along with either *.DWG, *.DXF, *.DGN, or AutoDACr14
    - Two paper sets

*Note: on all sheets referencing the Tennessee State Plane Coordination System, Zone 5301, Fipszone 4100; NAD 83 datum.

Concealed components will require documented proof to be submitted with the as-built plans in the form of a certified construction log that has been generated by the design engineer. As-built plans are required to be endorsed by a Tennessee registered professional engineer and or a registered land surveyor.

16. In the case of emergency situations where unplanned disturbance of the trees, landscaping, Home, Arboretum, and Mountain Bike Trail system, occurs due to natural disaster, emergency infrastructure repairs, or public safety/emergency response, and the City must act swiftly for the purposes of public safety, health and welfare, the City agrees to minimize disturbance to the extent feasible. The City will bring the site back to substantially similar condition as soon as practicable subject to budgetary constraints; other priorities that serve the public health, safety, and welfare; seasonal limitations for replacement or planting; and weather delays.

17. The Agreement shall be effective as of the date of execution by both parties and shall terminate only as provided within this Agreement.

18. This Agreement is non-transferable to the successors or assigns of Legacy unless the successor assumes the same obligations of Legacy in writing. Such assignment shall be provided to the City within fifteen (15) days after the transfer of the Development Project. Upon transfer, Legacy shall be relieved from any and all further liability under this Agreement, including, without limitation, pursuant to Section 18 hereof. Legacy shall exercise the rights, privileges and permission granted herein at Legacy's own risk. Legacy shall not claim any damages from the City for any injuries or damages, including death, about or because the exercise of such rights, privileges or permission, the condition of the non-exclusive, all-access public easement or the use of the non-exclusive, all-access public easement excluding gross negligence or willful misconduct by the City and its Mayor, Aldermen, officers, employees, officials and agents. Legacy shall indemnify and hold harmless The City of Franklin, its officials and agents, its Mayor, Aldermen, officers, employees, officials and agents, from and against all claims, actual damages, actual losses and actual out-of-pocket expenses, including reasonable attorney's fees for outside counsel and costs, arising out of, resulting from, or in any way connected with the failure of Legacy to comply with any of the provisions specified herein or compliance with the approved plans. The City shall not be liable to Legacy should Legacy's use of the property be hindered or disturbed.

19. The City agrees that the terms and conditions contained herein shall be binding on and shall insure to its heirs, representatives, successors, and assigns and that there are no understandings or agreements between them except as contained in this instrument.

20. Applicable Law/Choice Forum and Venue. This Agreement is made under and will be construed in accordance with the laws of the State of Tennessee without giving effect to

that state's choice of law rules. The parties' choice for forum and venue shall be exclusively in the courts of Williamson County, Tennessee.

21. All notices required to be given by any party shall be in writing, addressed to all other parties, and delivered by certified mail or in person to:

In the case of the City:	In the case of Legacy:
City of Franklin Attn: Vernon J. Gerth, ACA 109 Third Ave. South P.O. Box 305 Franklin, TN 37065-0305	Goldberg Companies, Inc. Attn: Jordan Goldberg 25101 Chagrin Blvd., Suite 300 Beachwood, OH 44122 Goldberg Companies, Inc. Attn: Peter Nintcheff 25101 Chagrin Blvd., Suite 300 Beachwood, OH 44122

22. This Agreement shall be recorded with the Williamson County Register of Deeds with a copy maintained in the City Recorder's office in City Hall, Franklin, TN. Upon completion of this Agreement, the City agrees to cover the costs and responsibility associated with recording this Agreement.

23. This Agreement constitutes the entire agreement between parties. There are no further or other agreements or understandings, written or oral, in effect between the parties, relating to the subject matter hereof. This Agreement may be amended or modified only by an instrument of equal formality signed by the respective parties.

II. GENERAL TERMS AND CONDITIONS

1. **Personal Liability.**
No member, Mayor, Alderman, official, or employee of the City shall be personally liable to Legacy or any successor in interest, in the event of any default or breach by the City, or for any amount which may become due to Association or successor or on any obligations hereunder; provided, however, the City shall remain liable to Legacy for its gross negligence and willful misconduct. The City shall only look to Legacy and the Development Project for the enforcement of Legacy's obligations hereunder. None of the trustees, officers, directors, employees, members, owners, partners or shareholders of Legacy or any direct or indirect owner of Legacy shall have any personal liability for any of the liability or obligations of Legacy in connection herewith.

2. **Warranties/Limitation of Liability/Waiver.**
The City reserves all rights afforded to local governments under law for all general and implied warranties. The City does not waive any rights it may have to all remedies

provided by law and therefore any attempt by Legacy to limit its liability shall be void and unenforceable.

3. **Severability.**
If any term or provision of this Agreement is held to be illegal or unenforceable, the validity or enforceability of the remainder of this Agreement will not be affected.

[Signature pages follow next]

IN WITNESS WHEREOF the said parties have hereunto set their signatures, on this day and date first above written.

CITY OF FRANKLIN, TENNESSEE **Attest:**

By:_____ By: _____
Dr. Ken Moore, Mayor Eric S. Stuckey, City Administrator

Date:_____ Date:_____

STATE OF TENNESSEE)
)
COUNTY OF WILLIAMSON)

Before me, _____, a Notary Public of said State and County, personally appeared Dr. Ken Moore and Eric S. Stuckey, with whom I am personally acquainted (or proved to me on the basis of satisfactory evidence), and where, upon oath, Dr. Ken Moore acknowledged himself to be Mayor and Eric S. Stuckey acknowledged himself to be City Administrator of the City of Franklin, Tennessee, and that as such, being authorized to do so, have executed the foregoing instrument for the purposes therein contained.

Witness my hand and seal, at office, this _____ day of _____, 20___.

_____
NOTARY PUBLIC

My Commission Expires: _____

Approved as to form:

By: _____
Shauna R. Billingsley, City Attorney

LEGACY, LLC, an Ohio limited liability company

By:_____

Name: _____

Title: _____

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

STATE OF OHIO)
)
COUNTY OF_____)

On _____, before me, _____, Notary Public, personally appeared _____ who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

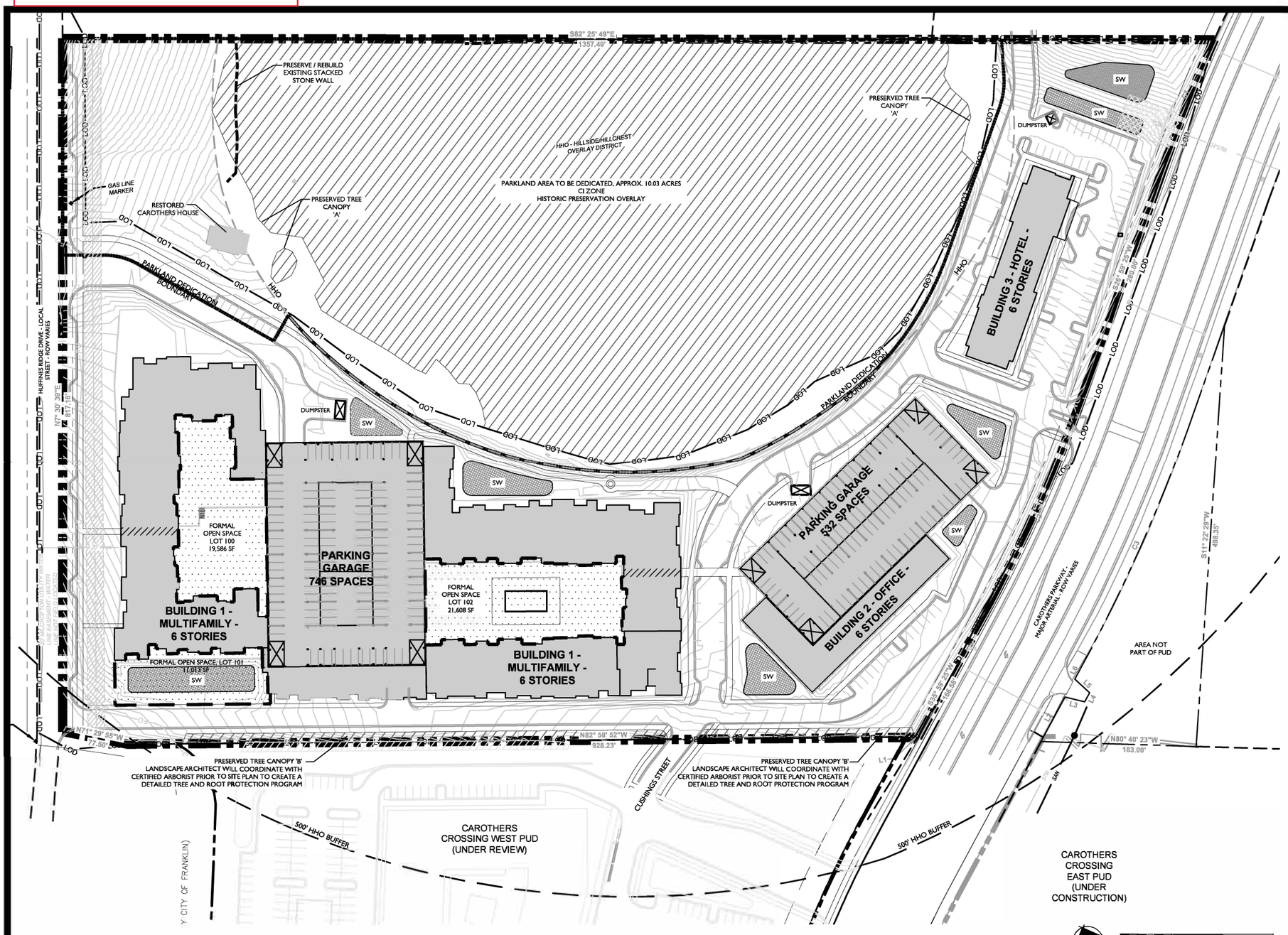
I certify under PENALTY OF PERJURY under the laws of the State of Ohio that the foregoing paragraph is true and correct.

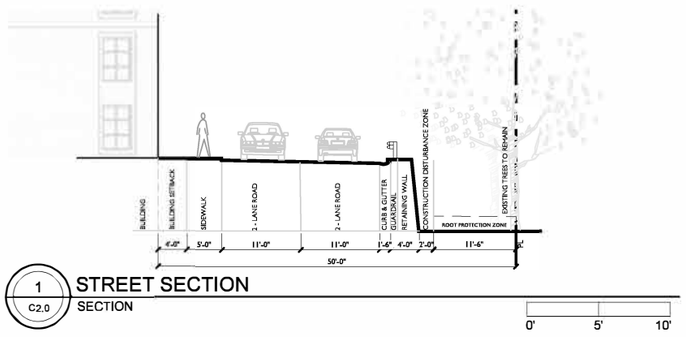
WITNESS my hand and official seal.

_____(seal)
Signature

Exhibit A

COF Contract No. 2019-00096





1 C2.0 STREET SECTION
SECTION

SITE DATA CHART

PROJECT NAME:	HUFFINES PROPERTY PUD SUBDIVISION
PROJECT #:	6876
SUBDIVISION:	N/A
LOT NUMBER:	N/A
ADDRESS:	1343 HUFFINES RIDGE DRIVE
CITY:	FRANKLIN
COUNTY	WILLIAMSON
STATE:	TENNESSEE
CIVIL DISTRICT:	9
EXISTING ZONING:	GC
PROPOSED ZONING:	SD-X (18.8/150000/170) CI
EXISTING CHARACTER AREA:	MECO-4
OTHER APPLICABLE OVERLAYS:	HHO, HHO BUFFER
APPLICABLE DEVELOPMENT STANDARD:	CONVENTIONAL
ACREAGE OF SITE:	22.70 AC
SD-X	12.67 AC
CI	10.03 AC
SQUARE FOOTAGE OF SITE:	988,770 SF
MINIMUM SETBACKS:	
FRONT YARD:	
SIDE YARD:	
REAR YARD:	
OWNER:	JOHN E. CAROTHERS
ADDRESS:	1343 HUFFINES RIDGE DRIVE
APPLICANT:	GAMBLE DESIGN COLLABORATIVE
ADDRESS:	324 LIBERTY PIKE SUITE 145
PHONE:	(615) 975-5765
EMAIL:	greg.gamble@gdc-tn.com
CONTACT:	GREG GAMBLE
BUILDING SQUARE FOOTAGE:	3 BUILDINGS - 726,706 SF TOTAL
BUILDING HEIGHT:	6 STORIES
RESIDENTIAL UNITS:	426
REQUIRED LSR:	0.20 SD-X 0.40 CI
PROVIDED LSR:	0.62
MINIMUM PARKING REQUIREMENT:	1,532
MAXIMUM PARKING LIMIT:	
EXISTING PARKING:	N/A
PROVIDED PARKING:	1,480
RESIDENTIAL DENSITY:	18.77 D.U.A.
TREE CANOPY:	13.61 AC (592,698 SF)
PARKLAND:	426 UNITS X $4,304 = $1,833,504
OPEN SPACE:	
REQUIRED 5% (ALL FORMAL):	1.14 AC (49,658 SF)
PROVIDED (ALL FORMAL):	1.20 AC (52,207 SF)

STATEMENT OF IMPACTS

WATER FACILITIES
WATER SERVICE WILL BE PROVIDED BY MALLORY VALLEY UTILITIES. THE WATER MAINS ARE LOCATED ALONG CAROTHERS PARKWAY AND LIBERTY PIKE.
426 UNITS * 350 GPD = 149,100 GPD
150,000 SF OFFICE * 0.2 GPD/SF = 30,000 GPD
170 HOTEL ROOMS * 130 GPD = 22,100 GPD

SEWER FACILITIES
SEWER SERVICE WILL BE PROVIDED BY THE CITY OF FRANKLIN. PROJECTED FLOW IS 431 SFUE.

REPURIFIED (REUSE) WATER FACILITIES
NOT PRESENT OR PROPOSED ON THIS SITE.

POLICE, FIRE, AND RECREATIONAL FACILITIES
NEAREST POLICE STATION: 2.1 MI (FRANKLIN POLICE DEPARTMENT)
NEAREST FIRE STATION: 2.2 MI (FRANKLIN FIRE DEPARTMENT STATION 6)
NEAREST RECREATIONAL FACILITY: 1.4 MI (LIBERTY PARK)

PROJECTED STUDENT POPULATION
426 * 0.64 = 273 STUDENTS

REFUSE STORAGE AND SANITATION COLLECTION FACILITIES
REFUSE COLLECTION FOR THE DEVELOPMENT SHALL BE PROVIDED BY PRIVATE COLLECTION

TREE CANOPY RETENTION

OVERALL PROPERTY AREA = 988,770 SF (22.70 AC)

TREE AREA	EXISTING	REMOVED	PRESERVED
A	567,230 SF	229,426 SF	337,804 SF
B	25,468 SF	16,439 SF	9,029 SF
TOTAL SF	592,698 SF	245,865 SF	346,833 SF
TOTAL ACRES	13.61 AC	5.64 AC	7.96 AC

TREE CANOPY DATA:

TOTAL EXISTING TREE CANOPY:	13.61 AC (60% OF SITE)
REQUIRED CANOPY PRESERVATION:	22%
22% X 13.61 AC TOTAL CANOPY:	2.99 AC (130,244 SF)
PROVIDED CANOPY PRESERVATION:	58% 7.96 AC (346,833 SF)

OPEN SPACE REQUIREMENT CHART

MINIMUM OPEN SPACE REQUIREMENT: 5%
5% * 22.70 AC = 1.14 AC / 49,658 SF
NOTE: ALL OPEN SPACE IS FORMAL
TOTAL OPEN SPACE PROVIDED: 1.20 SF / 52,207 SF

OPEN SPACE PROVIDED:

KEY	CLASSIFICATION	TYPE	AREA (SF)
100	FORMAL	COURTYARD	19,586 SF
101	FORMAL	PLAZA	11,013 SF
102	FORMAL	COURTYARD	21,608 SF

KEY

FORMAL OPEN SPACE

PRESERVED TREE CANOPY

BUILDING DATA

BUILDING	TYPE	# OF STORIES	SF
1	MULTIFAMILY	6	543,297
2	OFFICE	6	150,000
3	HOTEL	6	81,288

PARKING TAKEDOWN CHART

	Proposed Development		COF Required Parking		Requirements Based on Shared Parking Analysis	Provided Parking	
	Qty	Unit	Parking Ratio	Subtotal		Location	Qty
Phase I Residential							
	84 *	1BR	1.5/unit	126			
	106 *	2BR	2.5/unit	265		Garage	384
	23 *	3BR	3/unit	69		Surface	8
	213	**TOTAL**		**460**			**392**
Phase II Residential							
	84 *	1BR	1.5/unit	126			
	106 *	2BR	2.5/unit	265		Garage	362
	23 *	3BR	3/unit	69		Surface	15
	213	**TOTAL**		**460**			**377**
Hotel Phase							
	170	Rooms	1/room	170			
	18	Employee	1/ea	18		Surface	70
				188			**70**
Office Phase							
	132,500	SF	4/1000sf	530		Garage	532
						Surface	30
				530			**562**
Dedicated Park							
						Surface	15
TOTAL				**1638**	**1388**		**1416**

* UNIT MIX COUNT MAY VARY BY PHASE WITHIN THE 426 TOTAL PERMITTED USES

GDC
GAMBLE DESIGN COLLABORATIVE
DEVELOPMENT PLANNING AND LANDSCAPE ARCHITECTURE

HUFFINES PROPERTY PUD SUBDIVISION
DEVELOPMENT PLAN
Franklin, Williamson County, Tennessee

GREGORY C. GAMBLE
TENNESSEE
LICENSED
LANDSCAPE ARCHITECT
2-27-19

Issued: Dec. 10, 2018

Revision Date
△
△
△
△

DEVELOPMENT PLAN
SHEET
C2.0
COF # 6876

COF Contract No. 2019-0096

EXHIBIT B

Huffines Property PUD Subdivision Park Impact Fee Offset Narrative

The Legacy Cool Springs Apartments development plan proposes 426 residential units generating $1,833,504.00 in Parkland Impact Fees. The project team intends to offset these Parkland Impact Fees through a combination of **land dedication** and **constructed improvements** to the national historic registered John Henry Carothers Home site at Huffine's Ridge.

Proposed Land Dedication:

The proposed development plan (as re-submitted on February 7, 2019) shows a 10.03-acre parcel to be zoned Civic and Institutional (CI) with a Historic Preservation Overlay (HPO) which is home to the John Henry Carothers Home. These 10.03 acres are proposed to be dedicated to the City of Franklin as a park. This land has an offset value of $62,121.00 per acre as established in the parkland dedication ordinance.

Proposed Constructed Improvements:

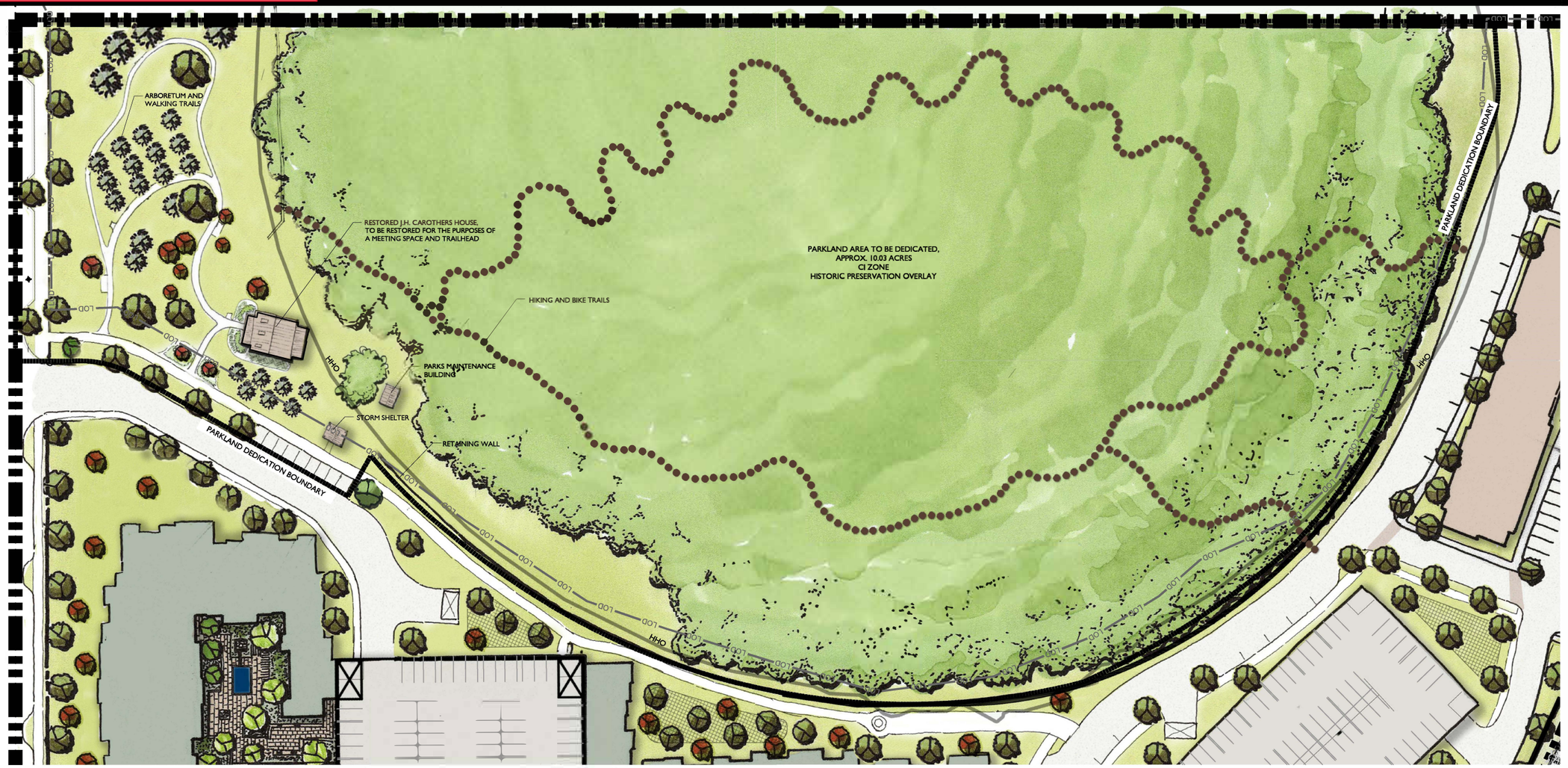
First and foremost, the project team intends to develop a mountain bike/hiking trail system as a continuation of trail systems proposed in development projects to the east. The J.H. Carothers house will be restored and will serve as a community meeting space and trailhead to the trail system. The team will work with COF parks staff to design and program this building to the standards required by the City.

The City of Franklin has expressed interest in additional improvements to the site of the historic home. The immediate surroundings of the home are proposed to be improved through the construction of an arboretum/community garden designed in partnership with Parks Staff. Additionally, a securable maintenance shed for park equipment and a covered storm shelter are to be built by using reused/recycled materials from the existing outbuildings on site to the greatest extent possible. Wayfinding and interpretive signage are also proposed.

The site is also intended to function as an extension of the trail network proposed on parcels to the east of Carothers Parkway. Mountain bike/hiking trails, a trailhead, wayfinding signage, and parking are all planned. The development team also proposes to restore and rebuild historic stone walls where possible and to re-use stone wall materials where walls cannot be rebuilt. The project additionally includes the construction of a four-rail horse fence with wire mesh to serve as a guardrail to proposed retaining walls.

Exhibit C

COF Contract No. 2019-00096



PROPOSED PARKLAND DEDICATION - CONCEPTUAL

PARK IMPACT FEE OFFSET NARRATIVE

The Huffines Property PUD Development Plan proposes 426 residential units generating $1,833,504 in Parkland Impact Fees. The project team intends to offset these Parkland Impact Fees through a combination of land dedication and constructed improvements to the national historic registered John Henry Carothers Home site on Huffines Ridge.

Proposed Land Dedication:

The proposed development plan (COF #6876) shows a 10.03-acre parcel to be zoned Civic and Institutional (CI) with a Historic Preservation Overlay (HPO) which is home to the John Henry Carothers Home. These 10.03 acres are proposed to be dedicated to the City of Franklin as a Park. This land has an offset value of $62,121 per acre as established in the parkland dedication ordinance.

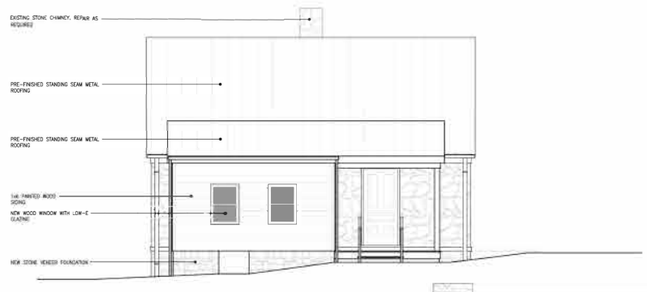
Proposed Constructed Improvements:

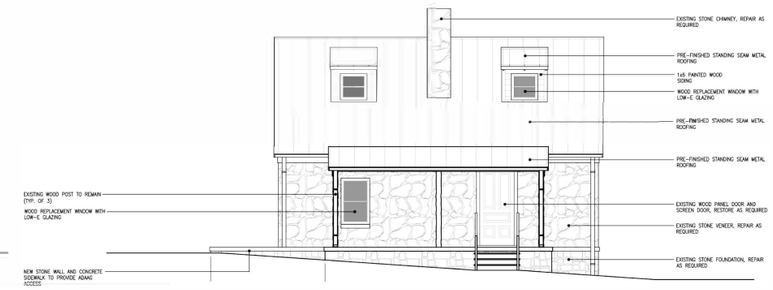
First and foremost, the project team intends to develop a mountain bike/hiking trail system as a continuation of trail systems proposed in development projects to the east of Carothers Parkway. In addition to trails, a trailhead, wayfinding signage, and parking are all planned. The J.H. Carothers house will be restored and will serve as a community meeting space and trailhead to the trail system. The team will work with COF parks staff to design and program this building to the standards required by the City.

The City of Franklin has expressed interest in additional improvements to the site of the historic home. The immediate surroundings of the home are proposed to be improved through the construction of an arboretum/community garden designed in partnership with Parks Staff. Additionally, a securable maintenance shed for park equipment and a covered storm shelter are to be built using reused/recycled materials from the existing outbuildings on site to the greatest extent possible. Also proposed are wayfinding and interpretive signage, and pedestrian lighting from the historic home to parking.

The development team also proposes to restore and rebuild historic stone walls where possible and to re-use stone wall materials where walls cannot be rebuilt. The project additionally includes the construction of a four-rail horse fence with wire mesh to serve as a guardrail to proposed retaining walls.

FINAL PLANS WILL BE PROVIDED AT SITE PLAN AND WILL REQUIRE HZC REVIEW.





NOTE: ELEVATIONS ARE PRELIMINARY

HISTORIC ZONING COMMISSION CERTIFICATE OF APPROPRIATENESS IS REQUIRED PRIOR TO APPROVAL

GDC
GAMBLE DESIGN COLLABORATIVE
DEVELOPMENT PLANNING AND LANDSCAPE ARCHITECTURE

HUFFINES PROPERTY PUD SUBDIVISION
DEVELOPMENT PLAN
Franklin, Williamson County, Tennessee

Issued: Dec. 10, 2018

Revision Date

PARKLAND DEDICATION PLAN
SHEET
C2.2
COF # 6876

COF Contract No. 2019-00096

DESIGN DEVELOPMENT

JOHN CAROTHERS PROPERTY
HOUSE RESTORATION AND RENOVATION

HUFFINES RIDGE DRIVE
FRANKLIN, TENNESSEE 37067

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A2.00 _____ LIFE SAFETY PLAN
A2.10 _____ ARCHITECTURAL FLOOR PLAN AND FINISH PLAN
A2.20 _____ ARCHITECTURAL CEILING PLAN AND ROOF PLAN
A4.00 _____ EXTERIOR ELEVATIONS
A4.10 _____ BUILDING SECTIONS
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GENERAL NOTES:

1. THE GENERAL CONTRACTOR IS RESPONSIBLE TO SUPPLY ALL SUBCONTRACTORS WITH CONSTRUCTION DRAWINGS AND SPECIFICATIONS NECESSARY TO BID AND/OR CONSTRUCT THIS PROJECT.
2. ALL DIMENSIONS ON THE FLOOR PLANS, UNLESS OTHERWISE NOTED, ARE TAKEN FROM FACES OF STUDS OF EXTERIOR WALLS AND INTERIOR WALLS.
3. THE OWNER SHALL BE RESPONSIBLE FOR NOTIFYING THE GENERAL CONTRACTOR OF ANY ADDITIONAL ITEMS TO BE INSTALLED THAT ARE NOT SHOWN ON THE DRAWINGS.
4. ANY PENETRATIONS OF, OR MODIFICATIONS TO CONCRETE MUST BE COORDINATED WITH ARCHITECT PRIOR TO CONSTRUCTION.
5. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE THE SAFETY OF THE PUBLIC AND/OR WORK PERSONS ON THE JOB AND TO PREVENT ACCIDENTS OR INJURY TO ANY PERSON ON, ABOUT OR ADJACENT TO THE PREMISES. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, CODES, RULES AND REGULATIONS RELATIVE TO SAFETY AND THE PREVENTION OF ACCIDENTS.
6. WHETHER OR NOT SPECIFICALLY INDICATED ON THE DRAWINGS, ALL CONTRACTORS SHALL BE RESPONSIBLE FOR REMOVING OR DEMOLISHING EXISTING CONSTRUCTION (INCLUDING UTILITIES) WHICH WILL INTERFERE WITH NEW WORK.
7. PRIOR TO THE SHUT-DOWN OR TYING INTO ANY UTILITY, APPROVAL SHALL BE OBTAINED FROM THE OWNER'S REPRESENTATIVE.
8. COORDINATE WITH OWNER'S REPRESENTATIVE, LOCATION OF CONTRACTORS' EQUIPMENT AND MATERIAL STORAGE.
9. ALL MECHANICAL WORK SHALL BE PERFORMED BY A LICENSED MECHANICAL CONTRACTOR AND IN ACCORDANCE WITH ALL APPLICABLE CODES AND STANDARDS.
10. ALL PLUMBING WORK SHALL BE PERFORMED BY A LICENSED PLUMBING CONTRACTOR ALL IN ACCORDANCE WITH ALL APPLICABLE CODES AND STANDARDS.
11. ALL ELECTRICAL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR AND IN ACCORDANCE WITH ALL APPLICABLE CODES AND STANDARDS.
12. ALL STRUCTURAL FRAMING WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES AND STANDARDS.

PROJECT INFORMATION:

OCCUPANCY CLASSIFICATION:
IBC: BUSINESS: GROUP B
NFPA: NEW BUSINESS: – CHAPTER 38

TYPE OF CONSTRUCTION:
IBC: TYPE V (B)
NFPA: TYPE V (000)

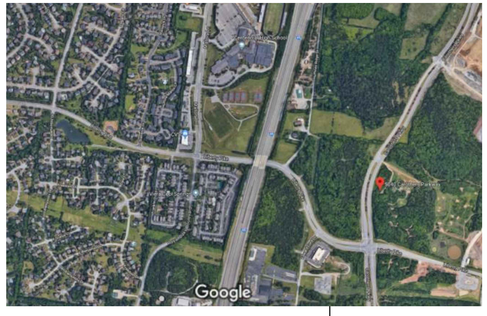
ALLOWABLE NO. OF STORIES: 2
NO. OF STORIES: 1
ALLOWABLE BUILDING HEIGHT: 40'-0"
BUILDING HEIGHT: 20'-0"
ALLOWABLE BUILDING AREA: 9,000 S.F.
BUILDING AREA: 1,068 S.F.

OCCUPANT LOAD: 44 OCCUPANTS
ASSEMBLY USE: 42 OCCUPANTS
KITCHEN USE: 2 OCCUPANTS

APPLICABLE BUILDING CODES AND STANDARDS:

2018 INTERNATIONAL BUILDING CODE INCLUDING APPENDICES D, G AND K
2018 INTERNATIONAL ENERGY CONSERVATION CODE (FOR BUILDINGS REVIEWED UNDER THE IBC)
2018 INTERNATIONAL FIRE CODE INCLUDING APPENDICES B, C AND D
2018 NFPA LIFE SAFETY CODE 101
2017 NATIONAL ELECTRIC CODE
2018 INTERNATIONAL PLUMBING CODE
2018 INTERNATIONAL MECHANICAL CODE
2018 INTERNATIONAL FUEL GAS CODE
2017 ICC A 117.1 ACCESSIBLE AND USEABLE BUILDINGS AND FACILITIES
2018 INTERNATIONAL EXISTING BUILDING CODE
2018 INTERNATIONAL RESIDENTIAL CODE INCLUDING APPENDICES G AND J
2009 INTERNATIONAL ENERGY CONSERVATION CODE (FOR BUILDINGS REVIEWED UNDER THE IRC)
2018 INTERNATIONAL PROPERTY MAINTENANCE CODE
2018 INTERNATIONAL SWIMMING POOL AND SPA CODE

VICINITY MAP:



N
PROJECT SITE
JOHN CAROTHERS HOUSE
HUFFINES RIDGE DRIVE
FRANKLIN, TENNESSEE 37067

PROJECT DESCRIPTION:

THIS PROJECT INVOLVES THE CONVERSION OF AN EXISTING SINGLE FAMILY RESIDENCE INTO A PUBLIC MEETING SPACE WITH RESTROOM FACILITIES AND WARMING KITCHEN. THIS CONVERSION INCLUDES ARCHITECTURAL, PLUMBING, MECHANICAL, AND ELECTRICAL WORK.

PROFESSIONAL OF RECORD:

ARCHITECT:

FUSION ARCHITECTURE, PC

116 MAJESTIC LANE
FRANKLIN, TENNESSEE 37064

VOICE: 615.454.3916

CONTACT: KYLE M. KRAMER, ARCHITECT
EMAIL: kkramer@fusionarchitecture.com

SYMBOLS LEGEND:

XXX ROOM NUMBER
XXX DOOR NUMBER
X WINDOW TAG
XX COLUMN GRID TAG
X-AX.XX ELEVATION TAG
X-AX.XX SECTION TAG
DETAIL TAG
X PHOTO TAG
X KEY NOTE
X KEY NOTE
X KEY NOTE
X KEY NOTE
P-X PARTITION TAG

CONSULTANTS:

HATCH LEGEND:

PLAN:
NEW WALL
BRICK
ELEVATION:
GYP. BD. / STUCCO
CLEAR GLASS
SPANDREL GLASS
SECTION:
BRICK
C.M.U.
CONCRETE
STEEL
INSULATION
PLYWOOD
RIGID INSULATION
GYP. BD. / M.D.F. / SAND
EARTH

FUSION ARCHITECTURE

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Scales as stated hereon are valid on the original drawing only.

These plans were prepared in this office under our personal supervision, and to the best of our knowledge comply with state and local codes. We will generally administer construction.

By:

PHASE | REVISION	DATE
SCHEMATIC DESIGN	01.11.2019
DESIGN DEVELOPMENT	03.08.2019
CONSTRUCTION DOCUMENTS	–

JOHN CAROTHERS PROPERTY
HOUSE RESTORATION AND RENOVATION
HUFFINES RIDGE DRIVE
FRANKLIN, TENNESSEE 37067

EXHIBIT D

PROJECT NUMBER
03-014-18

SHEET TITLE
TITLE SHEET

SHEET NUMBER
G1.00

COF Contract No. 2019-00096

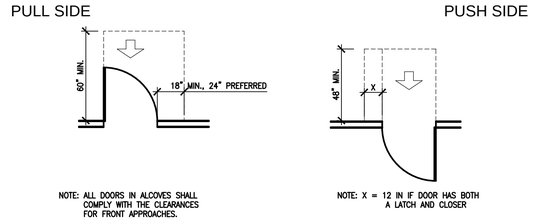
GENERAL NOTES:

1. DETAILS AND NOTES ON THIS SHEET SHALL GOVERN STANDARD DIMENSIONS ,CLEARANCES, AND MOUNTING LOCATIONS. CONTRACTOR SHALL IMMEDIATELY BRING TO ARCHITECT'S ATTENTION ANY DISCREPENCIES BETWEEN INFORMATION ON THIS SHEET AND ANY OTHER INFORMATION IN PLANS.

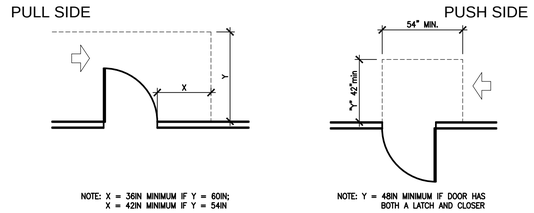
2. ALL NOTES, ABBREVIATIONS AND DETAILS MAY NOTE APPLY.

ABBREVIATIONS:

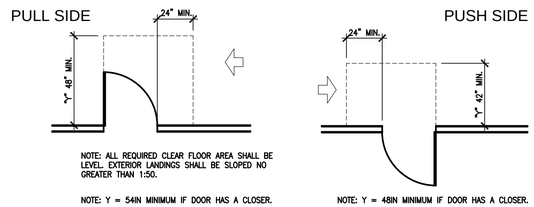
A	AMPERES	F.F.E.	FINISH FLOOR ELEVATION	OPNG.	OPENING
A.B.	ANCHOR BOLT	F.N.	FIELD NAILING	OPPO.	OPPOSITE
A.F.F.	ABOVE FINISHED FLOOR	F.O.	FACE OF	P.C.	PRECAST CONCRETE
A.F.G.	ABOVE FINISHED GRADE	F.S.	FLOOR SINK	P.L. or ℞	PROPERTY LINE
A/C	AIR CONDITIONING	F/G	FIBERGLASS	P.LAM.	PLASTIC LAMINATE
ABC	AGGREGATE BASE COURSE	FAB.	FABRICATE	P.O.C.	POINT OF CONNECTION
ABS	ACRYLONITRILE-BUTADIENE-STYRENE	FACP	FIRE ALARM CONTROL PANEL	PERF.	PERFORATED
ABV.	ABOVE	FDC	FIRE DEPARTMENT CONNECTION	PERP. or ⊥	PERPENDICULAR
ACB	ASBESTOS-CEMENT BOARD	FDN.	FOUNDATION	PH or #	PHASE
ACOU.	ACOUSTIC	FHC	FIRE HOSE CABINET	PL.	PLASTER
ACT	ACOUSTICAL CEILING TILE	FIN.	FINISH	PL. or ℞	PLATE
ADD.	ADDITION or ADDENDUM	FL	FLOOR	PLAS.	PLASTIC
AG	ABOVE GRADE	FLG.	FLOORING	PLUMB.	PLUMBING
AHU	AIR HANDLING UNIT	FLUOR.	FLUORESCENT	PLYWD.	PLYWOOD
AL. or ALUM.	ALUMINUM	FP	FIRE PROOF	PORC.	PORCELAIN
ALT.	ALTERNATE	FRP	FIBER REINFORCED PLASTIC	PREFAB.	PREFABRICATED
ANL	ANNEALED	FTG.	FOOTING	PSF	POUNDS PER SQUARE FOOT
ASPH.	ASPHALT	FURN.	FURNISH	PSI	POUNDS PER SQUARE INCH
AVG	AVERAGE	G.I.	GALVANIZED IRON	PTN.	PARTITION
AWG	AMERICAN WIRE GAUGE	GA.	GAUGE	PVC	POLYVINYLCLORIDE
∠	ANGLE	GALV.	GALVANIZED	PWR.	POWER
B.M.	BENCH MARK	GAR.	GARAGE	Q.T.	QUARRY TILE
B.N.	BOUNDARY NAILING	GFCI	GROUND FAULT CIRCUIT	QTY.	QUANTITY
B.O.	BOTTOM OF		INTERRUPTER	R	RADIUS
B.O.F.	BOTTOM OF FOOTING	GFI	GROUND FAULT INTERRUPTER	RCP	REINFORCED CONCRETE PIPE
B.U.	BUILT UP	GL	GLASS	R.D.L.	ROOF DRAIN LEADER
B/C	BACK OF CURB	GLB	GLUE LAMINATED BEAM	R.D.O.	ROOF DRAIN OVERFLOW
BD.	BOARD	GM	GRADE MARK	R.O.	ROUGH OPENING
BLDG	BUILDING	GV	GATE VALVE	R.O.W. or	RIGHT OF WAY
BLK.	BLOCK	GRC	GALVANIZED RIGID TUBING	R/W	
BLKG.	BLOCKING	GYP.	GYPSUM	REF	REFRIGERATOR
BM.	BEAM	GYP. BD.	GYPSUM BOARD	RE:	REFERENCE
BR	BRASS	H.B.	HOSE BIBB	REINF.	REINFORCED
BRG.	BEARING	H.C.	HOLLOW CORE	REQ'D.	REQUIRED
BRZ	BRONZE	H.M.	HOLLOW METAL	RET.	RETURN
C.A.P.	CONCRETE ASBESTOS PIPE	H/C	HANDICAPPED	REV.	REVISION
C.D.	CONSTRUCTION DOCUMENTS	HDBD.	HARDBOARD	RM	ROOM
C.I.P.	CAST IN PLACE	HDW	HARDWARE	RMV.	REMOVE
C.J.	CONTROL JOINT	HGT.	HEIGHT	S.C.	SOLID CORE
C.O.	CLEAN OUT	HOR.	HORIZONTAL	S.D.	SMOKE DETECTOR
C.T.	CERAMIC TILE	HTR	HEATER	S.O.V.	SHUT OFF VALVE
CAB	CABINET	HVAC	"HEATING, VENTILATING &	S/L	SKYLIGHT
CAM.	CAMBER		AIR CONDITIONING"	S/S	STAINLESS STEEL
CCTV	CLOSED CIRCUIT TELEVISION	HW	HOT WATER	SC	SELF CLOSING
CEM.	CEMENT	HYD.	HYDRAULIC	SCHED.	SCHEDULE
CER	CERAMIC	I.C.	INTERCOM OUTLET	SECT.	SECTION
CFM	CUBIC FEET PER MINUTE	I.D.	INSIDE DIAMETER	SES	SERVICE ENTRANCE SECTION
CH or ⊏	CHANNEL	I.F.	INSIDE FACE	SH	SHEET
CKT. BKR.	CIRCUIT BREAKER	ID	IDENTIFICATION	SHT'G.	SHEATHING
CL or ℄	CENTERLINE	IG	ISOLATED GROUND	SIM.	SIMILAR
CLG.	CEILING	IMC	INTERMEDIATE METALLIC CONDUIT	SPA.	SPACE
CLKG.	CAULKING	IMPG	IMPREGNATED	SPECS	SPECIFICATIONS
CLO.	CLOSET	INCL.	"INCLUDE, INCLUSIVE"	SPKR.	SPEAKER
CLR.	CLEAR	INSUL.	INSULATION	SQ.FT. or SF	SQUARE FEET
CMP	CORRUGATED METAL PIPE	INT.	INTERIOR	SQ. IN.	SQUARE INCHES
CMU	CONCRETE MASONRY UNIT	J-BOX	JUNCTION BOX	STC	SOUND TRANSMISSION CLASS
CNTRD.	CENTERED	JCT	JUNCTION	STD.	STANDARD
COL.	COLUMN	JST.	JOIST	STL.	STEEL
COMB.	COMBINATION	JT.	JOINT	SUSP.	SUSPENDED
CONC.	CONCRETE	K-D	KNOCK DOWN	SW	SWITCH
CONST.	CONSTRUCTION	KD	KILN DRIED	SYM	SYMMETRICAL
CONT.	CONTINUOUS	KO	KNOCK OUT	SYS.	SYSTEM
CONTR.	CONTRACTOR	L.E.D.	LIGHT EMITTING DIODE	T & G	TONGUE AND GROOVE
CU	COPPER	L.FT.	LINEAR FEET	T.B.	THROUGH BOLT
d	PENNY	LAM	LAMINATE	T.M.B.	TELEPHONE MOUNTING BOARD
D.F.	DRINKING FOUNTAIN	LAT.	LATERAL	T.O.	TOP OF
D.G.	DECOMPOSED GRANITE	LAV	LAVATORY	T.O.B.	TOP OF BEAM
D.S.	DOWN SPOUT	LD.	LEAD	T.O.C.	TOP OF CURB
D/W	DISHWASHER	LIN.	LINEAR	T.O.F.	TOP OF FOOTING
DBL.	DOUBLE	LINO.	LINOLEUM	T.O.J.	TOP OF JOIST
DEMO	DEMOLITION	LT.	LIGHT	T.O.M.	TOP OF MASONRY
DIA. or ø	DIAMETER	LTG.	LIGHTING	T.O.S.	TOP OF SLAB-TOP OF STEEL
DIAG.	DIAGONAL	LVL	LAMINATED VENEER LUMBER	T.O.W.	TOP OF WALL
DIM.	DIMENSION	M.B.	MACHINE BOLT	T.S.	TUBE STEEL
DL	DEAD LOAD	M.H.	MANHOLE	T.V.	TELEVISION OUTLET
DN.	DOWN	M.I.	MALLEABLE IRON	TEL.	TELEPHONE
DR	DOOR	M.O.	MASONRY OPENING	TH.	THRESHOLD
E.A.	EXPANSION ANCHOR	MAR.	MARBLE	THD.	THREADED
E.F.	EXHAUST FAN	MAS.	MASONRY	THK.	THICK
E.J.	EXPANSION JOINT	MAT'L	MATERIAL	THRU	THROUGH
E.N.	END NAILING	MAX.	MAXIMUM	TLT.	TOILET
E.W.	EACH WAY	MECH.	MECHANICAL	TRANS.	TRANSFORMER
EA.	EACH	MED.	MEDIUM	TYP.	TYPICAL
EL	ELEVATION	MFG.	MANUFACTURING	UNF.	UNFINISHED
ELECT.	"ELECTRIC, ELECTRICAL"	MFR.	MANUFACTURER	U.N.O.	UNLESS NOTED OTHERWISE
ELEV.	ELEVATOR	MIN.	MINIMUM	UR	URINAL
EMC	ELECTRICAL METALLIC CONDUIT	MISC.	MISCELLANEOUS	V.B.	VAPOR BARRIER
EMT	ELECTRICAL METALLIC TUBING	MOD	MODULAR	V.I.F.	VERIFY IN FIELD
ENT	ELECTRICAL NON-METALLIC TUBING	MTL.	METAL	VA	VOLT AMPERE
EQ.	EQUAL	MUL	MULLION	VCT	VINYL COMPOSITION TILE
EQUIP.	EQUIPMENT	N.I.C.	NOT IN CONTRACT	VERT.	VERTICAL
EST.	ESTIMATE	N.T.S.	NOT TO SCALE	V.O.J.	VERIFY ON JOB
EVAP.	EVAPORATIVE COOLER	NCM	NON-CORROSIVE METAL	W/C	WATER CLOSET
EWC	ELECTRIC DRINKING COOLER	NFC	NOT FOR CONSTRUCTION	WDW	WINDOW
EXC	EXCAVATE	NLR.	NAILER	WCT	WAINSCOT
EXH.	EXHAUST	NO.	NUMBER	WP	WEATHER PROOF
EXIST.	EXISTING	NOM.	NOMINAL	WT.	WEIGHT
EXT.	EXTERIOR	O.C.	ON CENTER	W/	WITH
F.A.	FIRE ALARM	O.D.	OUTSIDE DIAMETER	W/O	WITHOUT
F.C.	FAN COIL	O.H.	OVER HANG	WD.	WOOD
F.C.O.	FLOOR CLEAN OUT	O.I.	ORNAMENTAL IRON	W.I.	WROUGHT IRON
F.D.	FLOOR DRAIN	O.R.	OUTSIDE RADIUS	YD.	YARD
F.E.	FIRE EXTINGUISHER	OAI	OUTSIDE AIR INTAKE		
F.F.	FINISH FLOOR	OH	OVER HEAD		



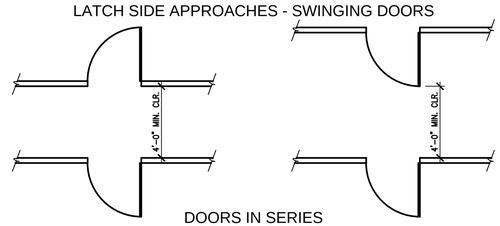
FRONT APPROACHES - SWINGING DOORS



HINGE SIDE APPROACHES - SWINGING DOORS

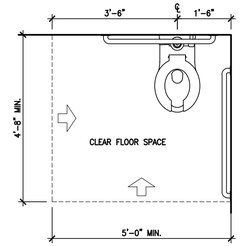


LATCH SIDE APPROACHES - SWINGING DOORS

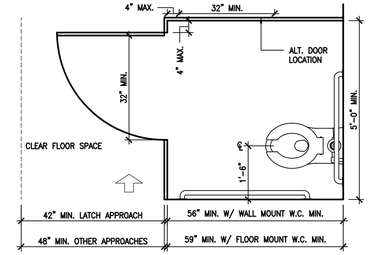


DOORS IN SERIES

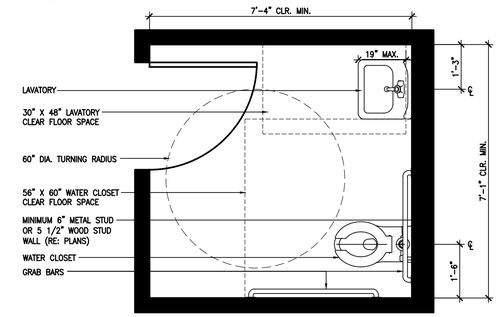
5 G2.00 DOOR CLEARANCES
SCALE: 1/4" = 1'-0"



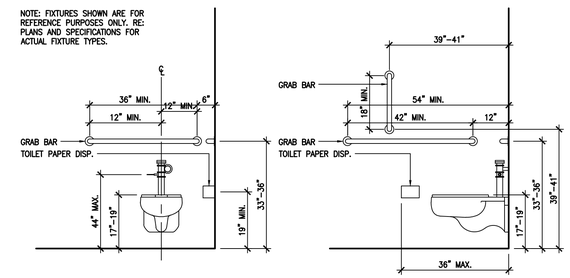
1 G2.00 CLEAR FLOOR SPACE AT ACCESSIBLE WATER CLOSETS
SCALE: 1/2" = 1'-0"



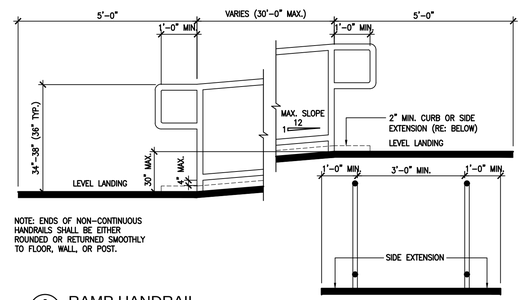
2 G2.00 ACCESSIBLE TOILET STALL
SCALE: 1/2" = 1'-0"



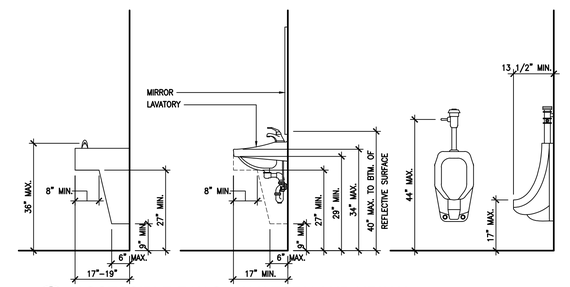
3 G2.00 STANDARD ACCESSIBLE SINGLE FIXTURE TOILET
SCALE: 1/2" = 1'-0"



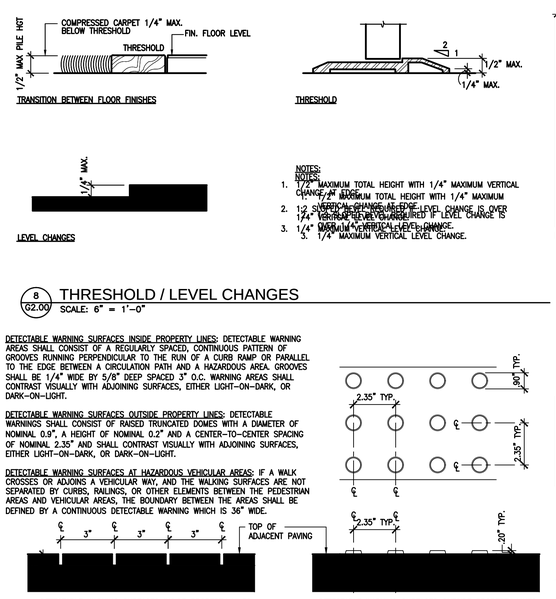
4 G2.00 MOUNTING HEIGHTS AT ACCESSIBLE WATER CLOSETS
SCALE: 1/2" = 1'-0"



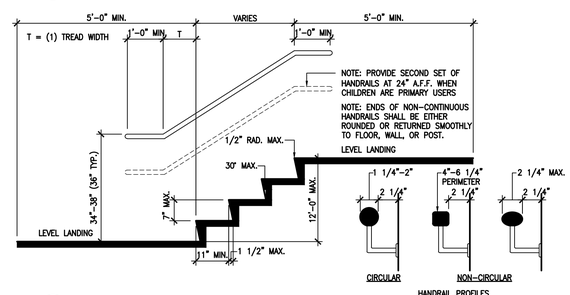
6 G2.00 RAMP HANDRAIL
SCALE: 1/2" = 1'-0"



7 G2.00 ACCESSIBLE E.W.C, LAVATORY AND URINAL
SCALE: 1/2" = 1'-0"



8 G2.00 THRESHOLD / LEVEL CHANGES
SCALE: 6" = 1'-0"



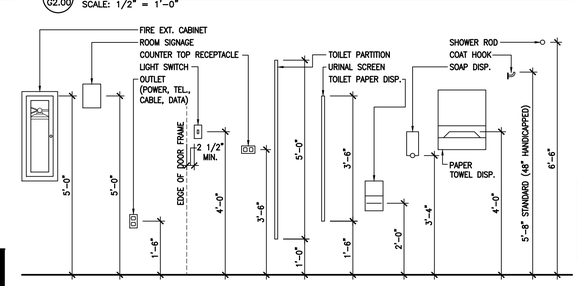
9 G2.00 STAIR HANDRAIL
SCALE: 1/2" = 1'-0"

DETECTABLE WARNING SURFACES INSIDE PROPERTY LINES: DETECTABLE WARNING AREAS SHALL CONSIST OF A REGULARLY SPACED, CONTINUOUS PATTERN OF GROOVES RUNNING PERPENDICULAR TO THE RUN OF A CURB RAMP OR PARALLEL TO THE EDGE BETWEEN A CIRCULATION PATH AND A HAZARDOUS AREA. GROOVES SHALL BE 1/4" WIDE BY 5/8" DEEP SPACED 3" O.C. WARNING AREAS SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK, OR DARK-ON-LIGHT.

DETECTABLE WARNING SURFACES OUTSIDE PROPERTY LINES: DETECTABLE WARNINGS SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9", A HEIGHT OF NOMINAL 0.2" AND A CENTER-TO-CENTER SPACING OF NOMINAL 2.35" AND SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK, OR DARK-ON-LIGHT.

DETECTABLE WARNING SURFACES AT HAZARDOUS VEHICULAR AREAS: IF A WALK CROSSES OR ADJOINS A VEHICULAR WAY, AND THE WALKING SURFACES ARE NOT SEPARATED BY CURBS, RAILINGS, OR OTHER ELEMENTS BETWEEN THE PEDESTRIAN AREAS AND VEHICULAR AREAS, THE BOUNDARY BETWEEN THE AREAS SHALL BE DEFINED BY A CONTINUOUS DETECTABLE WARNING WHICH IS 36" WIDE.

10 G2.00 DETECTABLE WARNING SURFACES
SCALE: 3" = 1'-0"



11 G2.00 STANDARD MOUNTING HEIGHTS
SCALE: 1/2" = 1'-0"

LETTERS AND NUMBERS:

1. LETTERS AND NUMBERS ON SIGNS SHALL BE RAISED 1/32" MINIMUM AND SHALL BE SANS-SERIF UPPERCASE CHARACTERS ACCOMPANIED BY GRADE 2 BRAILLE.
2. RAISED CHARACTERS OR SYMBOLS SHALL BE A MINIMUM OF 5/8" HIGH.
3. PICTORIAL SYMBOL SIGNS (PICTOGRAMS) SHALL BE ACCOMPANIED BY THE EQUIVALENT VERBAL DESCRIPTION PLACED DIRECLY BELOW THE PICTOGRAM. THE BORDER DIMENSION OF THE PICTOGRAM SHALL BE A MINIMUM OF 6" IN HEIGHT.
4. LETTERS AND NUMBERS ON SIGNS SHALL HAVE A WIDTH-TO-HEIGHT RATIO OF BETWEEN 3:5 AND 1:1 AND A STROKE WIDTH-TO-HEIGHT RATIO BETWEEN 1:5 AND 1:10.
5. CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND, EITHER LIGHT CHARACTERS ON A DARK BACKGROUND OR DARK CHARACTERS ON A LIGHT BACKGROUND.
6. CHARCTERS AND NUMBERS ON SIGNS SHALL BE SIZED ACCORDING TO THE VIEWING DISTANCE FROM WHICH THEY ARE TO BE READ. THE MINIMUM HEIGHT IS MEASURED USING AN UPPER CASE X. LOWER CASE CHARACTERS ARE PERMITTED. FOR SIGNS SUSPENDED OR PROJECTED GREATER THAN 80" ABOVE THE FINISH FLOOR, THE MINIMUM CHARACTER HEIGHT SHALL BE 3".
7. CONTRACTED GRADE 2 BRAILLE SHALL BE USED WHEREVER BRAILLE SYMBOLS ARE SPECIFICALLY REQUIRED IN OTHER PORTIONS OF THESE REGULATIONS. DOTS SHALL BE 1/10" ON CENTERS IN EACH CELL WITH 2/10" SPACE BETWEEN CELLS. DOTS SHALL BE RAISED A MINIMUM OF 1/40" ABOVE THE BACKGROUND.

SIGN LOCATIONS:

8. ALL BUILDING ENTRANCES THAT ARE ACCESSIBLE TO AND USABLE BY PERSONS WITH DISABILITIES AND AT EVERY MAJOR JUNCTION ALONG OR LEADING TO AN ACCESSIBLE ROUTE OF TRAVEL SHALL BE IDENTIFIED WITH A SIGN DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND WITH ADDITIONAL DIRECTIONAL SIGNS, AS REQUIRED, TO BE VISIBLE TO PERSONS ALONG APPROACHING PEDESTRIAN WAYS.
9. WHEN PERMANENT IDENTIFICATION IS PROVIDED FOR ROOMS AND SPACES, RAISED LETTERS SHALL BE PROVIDED AND SHALL BE ACCOMPANIED BY BRAILLE. SIGNS SHALL BE INSTALLED ON THE WALL ADJACENT TO THE LATCH OUTSIDE OF THE DOOR. WHERE THERE IS NO WALL SPACE ON THE LATCH SIDE, INCLUDING AT LEAF DOORS, SIGNS SHALL BE PLACE ON THE NEAREST ADJACENT WALL, PREFERABLY ON THE RIGHT. MOUNTING HEIGHT SHALL BE 60" ABOVE THE FINISH FLOOR TO THE CENTERLINE OF THE SIGN. MOUNTING LOCATION SHALL BE DETERMINED SO THAT THE PERSON MAY APPROACH WITHIN 3" OF THE SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF A DOOR.
10. ADDITIONAL DIRECTIONAL SIGNS ALONG ACCESSIBLE PATH OF TRAVEL ARE REQUIRED.
11. BUILDINGS REMODELED TO PROVIDE ACCESSIBLE SANITARY FACILITIES FOR PUBLIC USE SHALL HAVE INFORMATION POSTED IN THE LOBBY AS PART OF THE BUILDING DIRECTORY.

INTERNATIONAL SYMBOL OF ACCESSIBILITY:

12. STANDARD USED TO IDENTIFY ACCESSIBLE FACILITIES.
13. WHITE FIGURE ON BLUE BACKGROUND.
14. WHEN ENFORCING AGENCY DETERMINES, IF APPROPRIATE, SPECIAL DESIGNS AND COLORS MAY BE APPROVED.

BRAILLE:

15. USE CONTRASTED GRADE 2 BRAILLE. DOTS TO BE 0.1 INCH ON CENTER IN EACH CELL.
16. 0.2 INCH SPACE BETWEEN CELLS.
17. DOTS RAISED MINIMUM 0.025 INCH ABOVE BACKGROUND.

12 G2.00 ACCESSIBLE SIGNAGE
SCALE: NO SCALE

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DESIGN DEVELOPMENT	03.08.2019
CONSTRUCTION DOCUMENTS	-

JOHN CAROTHERS PROPERTY
HOUSE RESTORATION AND RENOVATION

HUFFINES RIDGE DRIVE
FRANKLIN, TENNESSEE 37067

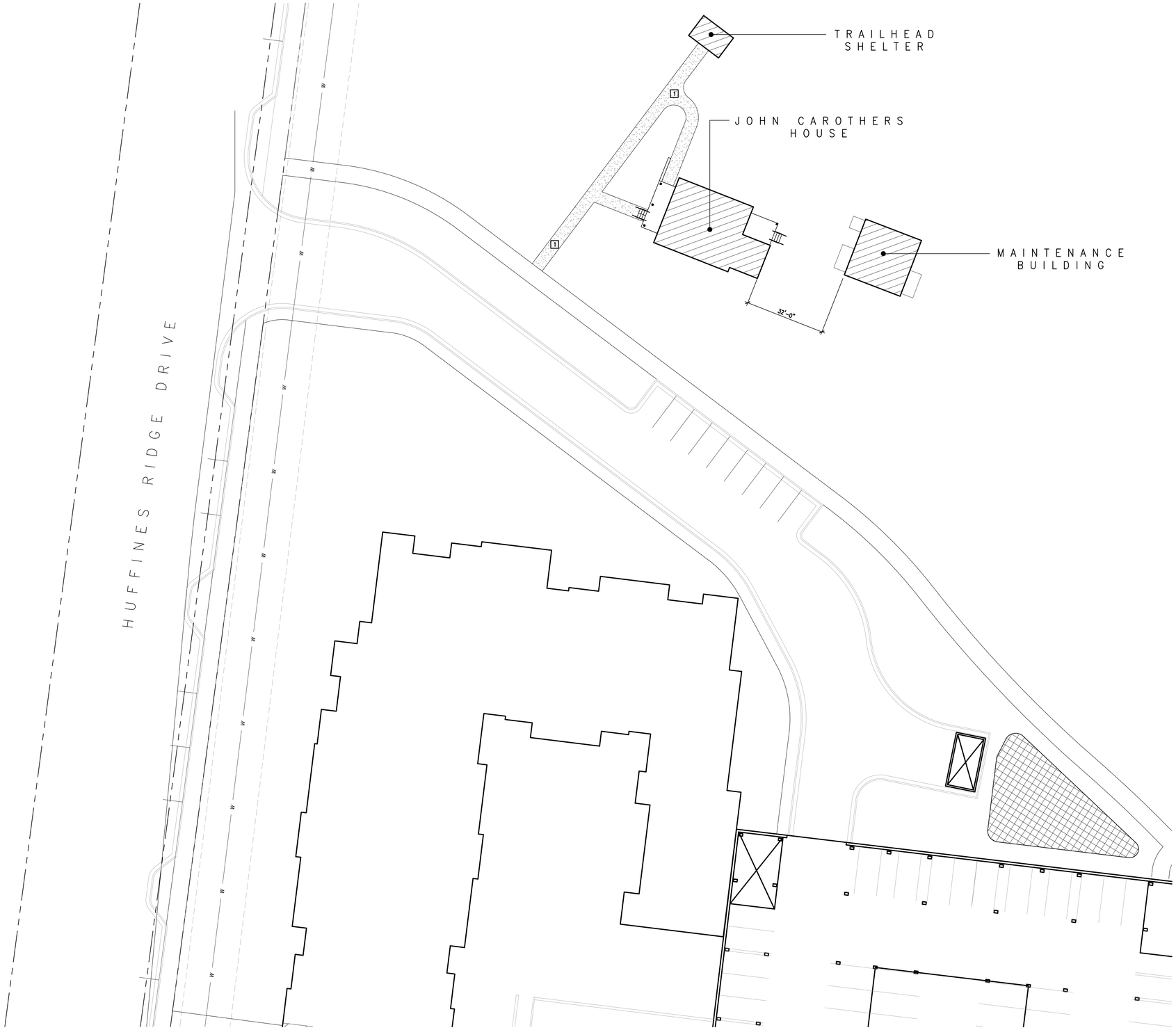
EXHIBIT D

PROJECT NUMBER
03-014-18

SHEET TITLE
STANDARDS

SHEET NUMBER
G2.00

COF Contract No. 2019-00096



ARCHITECTURAL SITE PLAN
SCALE: 1" = 20'-0"

LEGEND

- PROPERTY LINE (RE: SURVEY)
- BUILDING LINE
- POWER LINE (RE: SURVEY)
- IMPERVIOUS CONCRETE PAVING (RE: CIVIL DWGS.)
- CONCRETE SIDEWALK (RE: CIVIL DWGS.)
- SEWER MANHOLE
- WATER VALVE
- FIRE HYDRANT
- POWER POLE
- POLE LIGHT
- WATER METER
- GAS COCK AND METER
- ELECTRICAL METER
- ROOF DRAIN LINE

SITE PLAN GENERAL NOTES

1. COORDINATE ALL WORK SCHEDULING AND COMPLY WITH SAFETY PROCEDURES THAT PROTECT ALL OCCUPANTS IN CONSTRUCTION AREAS.
2. CONSTRUCTION DEBRIS SHALL BE REMOVED AND/OR STORED AWAY FROM THE BUILDING ON A DAILY BASIS. DISPOSE OF TRASH AS REQUIRED BY ORDINANCE OR CODE.
3. PROPER SITE DRAINAGE SHALL BE MAINTAINED AT ALL TIMES, DAMAGE CAUSED BY FAILING TO MAINTAIN SITE DRAINAGE SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
4. PROVIDE COMPACTED FILL AT RUTS OR HOLES CAUSED BY CONSTRUCTION ACTIVITIES. REPAIR ANY CONCRETE DAMAGED DURING CONSTRUCTION.
5. ALL NEW PAVING SHALL BE REINFORCED CONCRETE. THICKNESS AND REINFORCING SHALL BE AS DETAILED ON CIVIL DRAWINGS.
6. ACCESSIBLE PARKING SPACE TO BE DESIGNATED BY BLUE STRIPING AND EITHER A BLUE SYMBOL ON A WHITE BACKGROUND OR A WHITE SYMBOL ON A BLUE BCAKGROUND. ACCESSIBLE PARKING STALLS REQUIRE THE INSTALLATION OF THE PROPER SIGNAGE.
7. ALL PARKING SPACES SHALL BE LAID OUT IN ACCORDANCE WITH THE TYPICAL DETAIL AS SHOWN ON THIS PLAN, UNLESS OTHERWISE INDICATED ON THIS PLAN.
8. PRIOR TO INSTALLATION AND POURING OF CONCRETE PAVING, CONTRACTOR SHALL VERIFY AND COORDINATE ALL CONDUIT SIZES AND ROUTES.
9. REFERENCE LANDSCAPE DRAWINGS FOR PLANTING AND SEEDING SCOPE OF WORK.

PARKING SUMMARY

SITE PLAN KEYNOTES

1. NEW CONCRETE SIDEWALK
2. -
3. -
4. -
5. -

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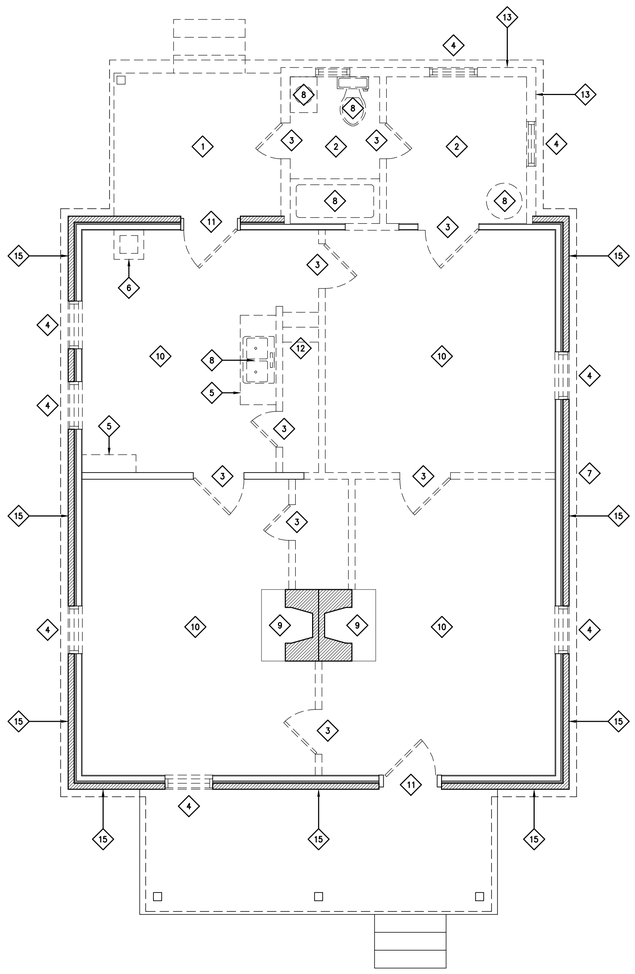
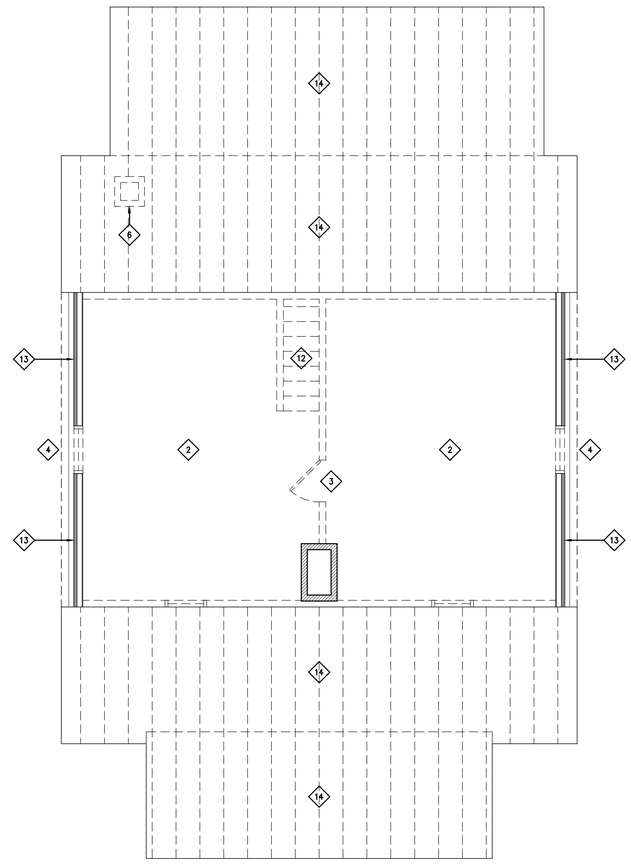
SHEET TITLE
ARCH. SITE PLAN

SHEET NUMBER
A1.00

COF Contract No. 2019-00096



1 A1.50 DEMOLITION FLOOR PLAN-FIRST FLOOR
SCALE: 1/4" = 1'-0"



2 A1.50 DEMOLITION FLOOR PLAN-SECOND FLOOR
SCALE: 1/4" = 1'-0"

LEGEND

EXISTING DOOR TO REMAIN

EXISTING WALL TO REMAIN

EXISTING DOOR TO BE REMOVED

EXISTING WALL TO BE REMOVED

DEMOLITION PLAN GENERAL NOTES

1. VERIFY FIELD CONDITIONS PRIOR TO COMMENCEMENT OF EACH PORTION OF WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
2. DIMENSIONS ARE TO STRUCTURAL GRID OR TO FINISH SURFACES, UNLESS NOTED OTHERWISE
3. WHERE PARTITION DEMOLITION OCCURS, PATCH AND REPAIR ADJACENT CEILINGS AND FLOORING CONDITIONS TO REMAIN FOR A UNIFORM APPEARANCE.
4. DO NOT DEMOLISH ANY LOAD BEARING WALLS OR CONSTRUCTION THAT WILL COMPROMISE THE STRUCTURAL INTEGRITY OF THE STRUCTURE. NOTIFY ARCHITECT OF ANY STRUCTURAL ISSUES ARISING FROM DEMOLITION.
5. REMOVE AND CAP ALL EXISTING ELECTRICAL CONDUIT/POWER OUTLETS THROUGHOUT PER ELECTRICAL CODE REQUIREMENTS.

DEMOLITION PLAN KEYNOTES

1. REMOVE EXISTING WOOD DECKING AND JOISTS.
2. REMOVE EXISTING FLOORING, SUB-FLOORING AND JOISTS.
3. REMOVE EXISTING DOOR AND FRAME.
4. REMOVE EXISTING WINDOW.
5. REMOVE EXISTING MILLWORK.
6. REMOVE EXISTING BRICK CHIMNEY.
7. EXISTING ELECTRICAL SERVICE TO BE REMOVED.
8. REMOVE EXISTING SINK. MODIFY WASTE, VENT AND WATER AS REQUIRED FOR NEW WORK.
9. EXISTING FIREPLACE TO REMAIN.
10. EXISTING WOOD FLOORS TO BE REMOVED AND RESTORED FOR REINSTALLATION.
11. EXISTING DOOR TO BE REMOVED AND RESTORED FOR REINSTALLATION.
12. EXISTING STAIRS TO BE REMOVED.
13. REMOVE EXISTING ASBESTOS SIDING.
14. REMOVE EXISTING METAL ROOFING.
15. EXISTING STONE VENEER TO BE REPAIRED AS REQUIRED.

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EXHIBIT
D

PROJECT NUMBER

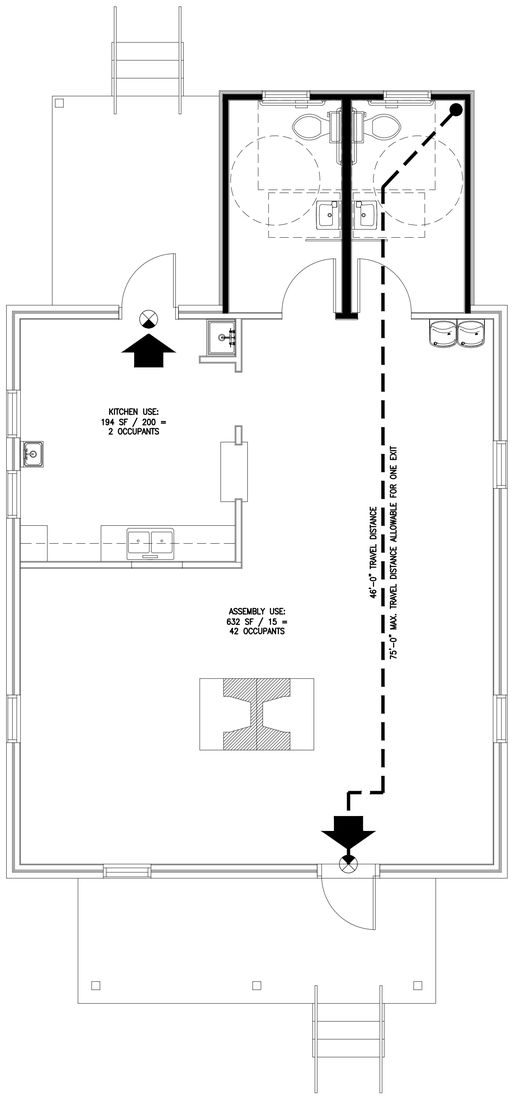
03-014-18

SHEET TITLE

DEMO. FLOOR PLAN

SHEET NUMBER

A1.50



1 A2.00 LIFE SAFETY PLAN
SCALE: 1/4" = 1'-0"

LEGEND:

- EXIT ACCESS CORRIDORS
- TRAVEL DISTANCE
- RATED FIRE BARRIER
- EXIT — REQUIRED EXIT (PANIC DEVICE AS NOTED)
- FCP — FIRE ALARM CONTROL PANEL
- FEC — FIRE EXTINGUISHER AND CABINET
- 20 — INDICATES 20 MIN. FIRE RATED DOOR AND FRAME
- 45 — INDICATES 45 MIN. FIRE RATED DOOR AND FRAME
- 60 — INDICATES 60 MIN. FIRE RATED DOOR AND FRAME
- S — INDICATES SMOKE PARTITION
- 1/2 — INDICATES 1/2-HOUR FIRE BARRIER
- 1 — INDICATES 1-HOUR FIRE BARRIER
- F — FIRE ALARM PULL STATION
- F — FIRE ALARM HORN AND STROBE DEVICE
- EXIT SIGN AND EMERGENCY LIGHT

LIFE SAFETY PLAN GENERAL NOTES:

1. ALL ROOMS SHALL HAVE SIGNAGE TO COMPLY WITH THE AMERICANS WITH DISABILITIES ACT AS REQUIRED.
2. PROVIDE 2A-10B-C FIRE EXTINGUISHERS AS SHOWN ON PLANS. (REFER TO FLOOR PLAN SYMBOL FOR PROPER LOCATION OF NEW EXTINGUISHERS) TOP OF EXTINGUISHERS SHALL BE MOUNTED @ 60" AFF (FOR EXTINGUISHERS WEIGHING LESS THAN 40 LBS.) (LAC: 55V: 303D / NFPA 10) NEW EXTINGUISHER CABINETS SHALL BE SEMI-RECESSED.
4. REFERENCE ELECTRICAL DRAWINGS FOR ALL EMERGENCY AND REQUIRED EXIT LIGHTING.
5. 101:6.2.2.3 CONTENTS OF THIS BUILDING SHALL BE CLASSIFIED AS ORDINARY HAZARD.

BUILDING AREA-OCCUPANT LOAD:

TOTAL BUILDING AREA:	1,015 SF
ASSEMBLY OCCUPANCY AREA:	632 SF / 15 = 42 OCCUPANTS
STORAGE OCCUPANCY AREA:	194 SF / 200 = 2 OCCUPANTS
TOTAL OCCUPANT LOAD:	44 OCCUPANTS

REQUIRED EXIT WIDTH:

NFPA 101, LIFE SAFETY CODE (2018 EDITION): TABLE 7.3.3.1:

FIRST FLOOR EXIT WIDTH (LEVEL):	44 OCCUPANTS (0.2) = 8.8 INCHES 72 INCHES PROVIDED

REQUIRED SEPARATIONS:

NFPA 101 (2018 EDITION), BUSINESS OCCUPANCY (CHAPTER 38):
NONE.
IBC (2018 EDITION)
NONE.

PROTECTION FROM HAZARDS:

NFPA 101 (2018 EDITION)
NONE

IBC (2018 EDITION) TABLE 509
NONE

PROTECTION OF EXIT ACCESS CORRIDORS:

NFPA 101 (2018 EDITION)
NONE

IBC (2018 EDITION) TABLE 1018.1
NONE

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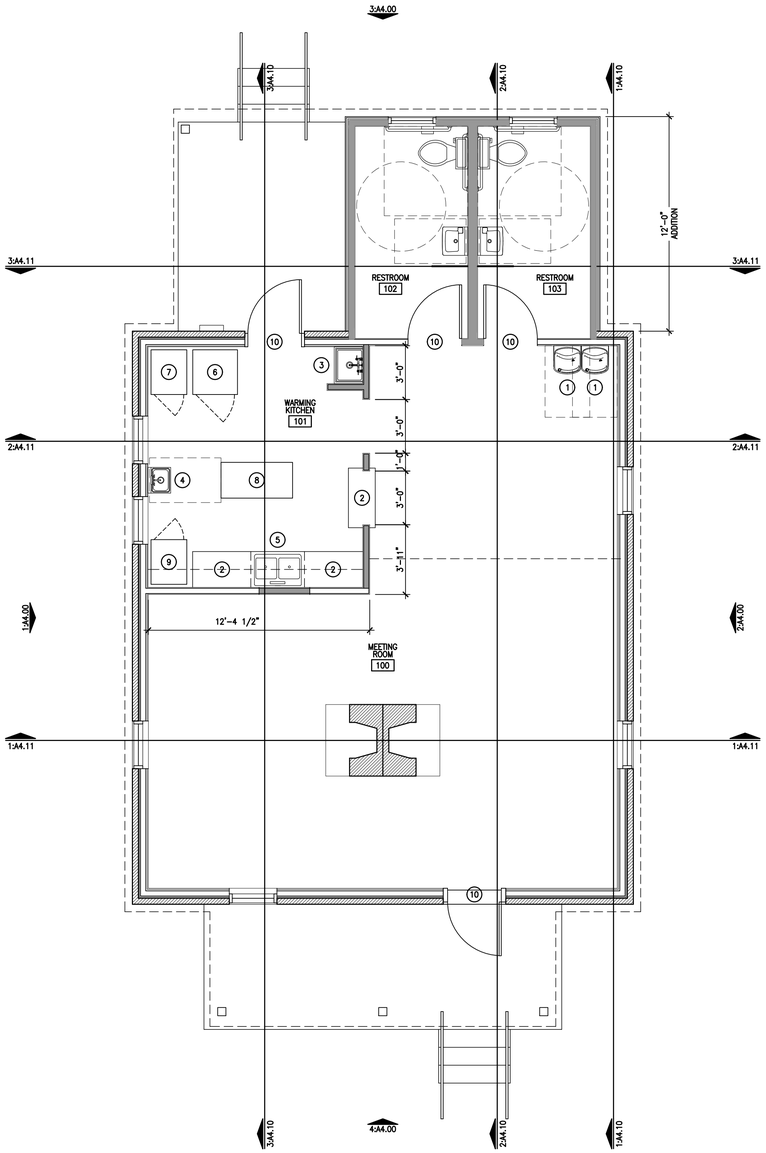
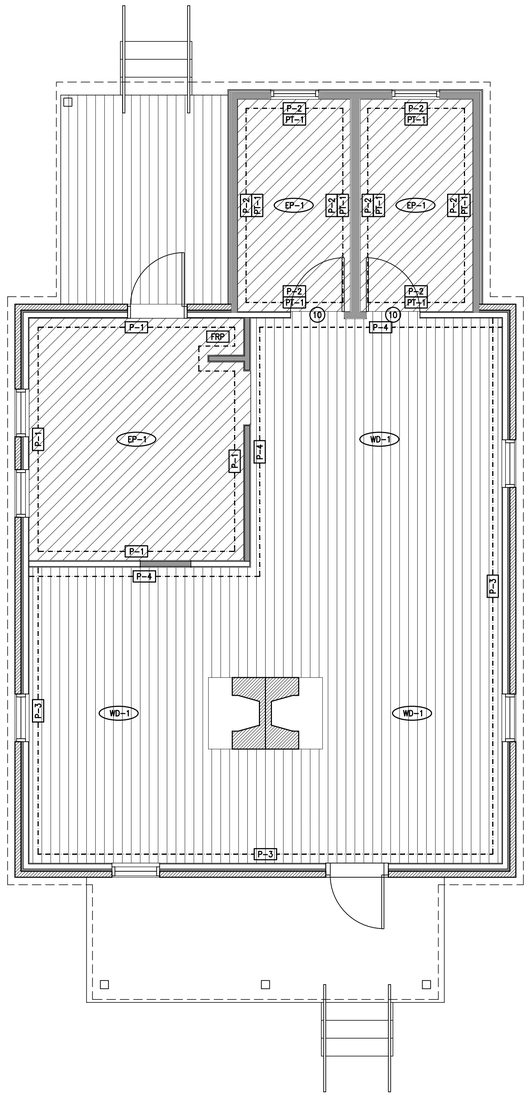
SHEET TITLE
LIFE SAFETY PLAN

SHEET NUMBER
A2.00



1 A2.10 ARCHITECTURAL FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 A2.10 ARCHITECTURAL FINISH PLAN
SCALE: 1/4" = 1'-0"

LEGEND

EXISTING DOOR TO REMAIN

NEW DOOR AS SCHEDULED

EXISTING WALL TO REMAIN

NEW WALL AS SCHEDULED

FLOOR PLAN GENERAL NOTES

1. INTERIOR FINISHES SHALL COMPLY WITH NFPA 101:36.3.3 (0-75) FLAMESPREAD WITH SMOKE DEVELOPMENT OF (0-450).
2. LOOSELY HANGING FURNISHINGS AND DECORATIONS SHALL BE FLAME RESISTANT AS DEMONSTRATED BY TESTING IN ACCORDANCE WITH NFPA 701.
3. ALL DIMENSIONS, UNLESS NOTED OTHERWISE, ARE TAKEN FROM FACE OF FRAMING.
4. INSULATION ASSEMBLIES SHALL MEET THE REQUIREMENTS OF SECTION 708, INTERNATIONAL BUILDING CODE, 2012 EDITION.

FLOOR PLAN KEYNOTES

1. ADAAG DRINKING FOUNTAIN.
2. MILLWORK AS SCHEDULED.
3. MOP SINK.
4. HAND SINK.
5. DOUBLE SINK.
6. REFRIGERATOR.
7. WARMING OVEN.
8. WORK TABLE.
9. FREEZER.
10. NEW DOOR.

FINISH PLAN LEGEND

EP-1 DURAQUARTZ EPOXY FLOOR SYSTEM

WD-1 STAINED WOOD FLOORING

P-1 PAINTED GYPSUM BOARD

P-2 PAINTED GYPSUM BOARD

P-3 PAINTED GYPSUM BOARD

P-4 PAINTED GYPSUM BOARD

FRP FIBERGLASS REINFORCED PANELS: WHITE

PT-1 PORCELAIN TILE AND EPOXY GROUT

FINISH PLAN GENERAL NOTES

1. INTERIOR FINISHES SHALL COMPLY WITH NFPA 101:36.3.3 (0-75) FLAMESPREAD WITH SMOKE DEVELOPMENT OF (0-450).
2. INTERIOR FLOOR FINISHES SHALL COMPLY WITH NFPA 101 18.3.3.3.
3. LOOSELY HANGING FURNISHINGS AND DECORATIONS SHALL BE FLAME RESISTANT AS DEMONSTRATED BY TESTING IN ACCORDANCE WITH NFPA 701.
4. ALL DIMENSIONS, UNLESS NOTED OTHERWISE, ARE TAKEN FROM FACE OF FRAMING.
5. INSULATION ASSEMBLIES SHALL MEET THE REQUIREMENTS OF SECTION 708, INTERNATIONAL BUILDING CODE, 2012 EDITION.
6. PROVIDE TRANSITION STRIPS AS PER MANUFACTURER'S RECOMMENDATION AT ALL DISSIMILAR FINISH ABUTMENTS AND THRESHOLDS.

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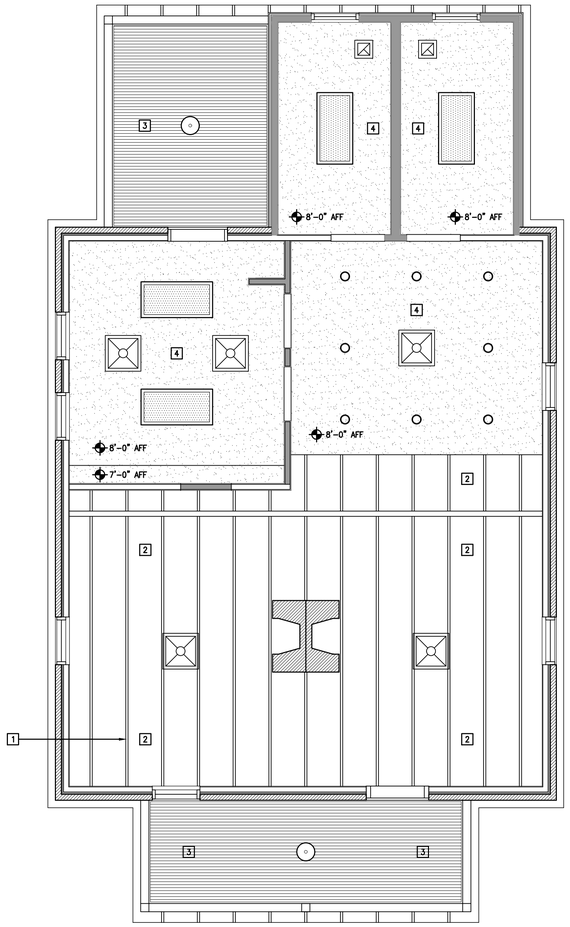
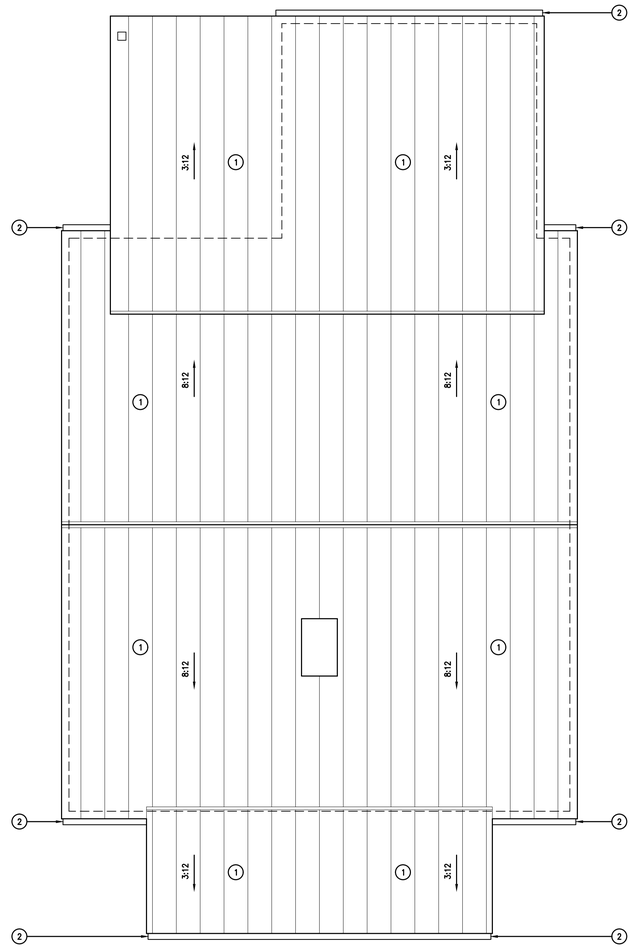
ARCH. FLOOR PLAN

SHEET NUMBER
A2.10

COF Contract No. 2019-00096



1 A2.20 ARCHITECTURAL CEILING PLAN
SCALE: 1/4" = 1'-0"



2 A2.20 ARCHITECTURAL ROOF PLAN
SCALE: 1/4" = 1'-0"

LEGEND

GYP-1	PAINTED GYPSUM BOARD:
	2'-0"x2'-0" SUPPLY DIFFUSER (RE: MECHANICAL)
	2'-0"x2'-0" RETURN AIR GRILLE (RE: MECHANICAL)
	2'-0" x 2'-0" FLUORESCENT LIGHT WITH ACRYLIC LENS (RE: ELECTRICAL)
	2'-0" x 4'-0" FLUORESCENT LIGHT WITH ACRYLIC LENS (RE: ELECTRICAL)
	RECESSED CAN DOWNLIGHT (RE: ELECTRICAL)
	EXIT LIGHT (RE: ELECTRICAL)
X'-X" AFF	ELEVATION INDICATES CLEAR HEIGHT FROM FINISHED FLOOR TO FINISHED CEILING. ALL CEILING HEIGHTS = 9'-0" U.N.O.

CEILING PLAN GENERAL NOTES

1. REFER TO ELECTRICAL DRAWINGS FOR EXIT LIGHTING.
2. REFER TO ELECTRICAL DRAWINGS FOR ALL FIXTURE TYPES AND DESCRIPTIONS. SEE ELECTRICAL PLANS/ SPECIFICATIONS FOR ADDITIONAL ITEMS INCLUDING, BUT NOT LIMITED TO: LIGHT FIXTURE TYPES, SWITCHING, EXIT SIGNAGE, AND SECURITY LIGHTING.
3. ACOUSTICAL CEILING TILE GRID LAYOUT SHOWN IS ARCHITECTS INSTALLATION INTENT. NOTIFY ARCHITECT IMMEDIATELY OF ANY CONFLICTS IN THE FIELD.
4. REFER TO FINISH SCHEDULE FOR ALL CEILING HEIGHTS NOT INDICATED AND ADDITIONAL CEILING MATERIAL INFORMATION.
5. SEE ARCHITECT'S SPECIFICATIONS FOR MATERIAL INFORMATION.
6. CONTRACTOR SHALL REUSE AS MANY EXISTING LIGHTS AS POSSIBLE.
7. ALL NEW HVAC GRILLES SHALL BE PAINTED TO MATCH CEILING TILE AND/OR PAINTED GYPSUM BOARD CEILINGS AS SCHEDULED.

CEILING PLAN KEYNOTES

1. 2x WOOD JOISTS
2. OPEN TO ROOF DECK
3. PAINTED BEAD BOARD CEILING
4. PAINTED GYPSUM BOARD CEILING

ROOF PLAN KEYNOTES

1. PRE-FINISHED STANDING SEAM METAL ROOFING
2. PRE-FINISHED METAL GUTTER

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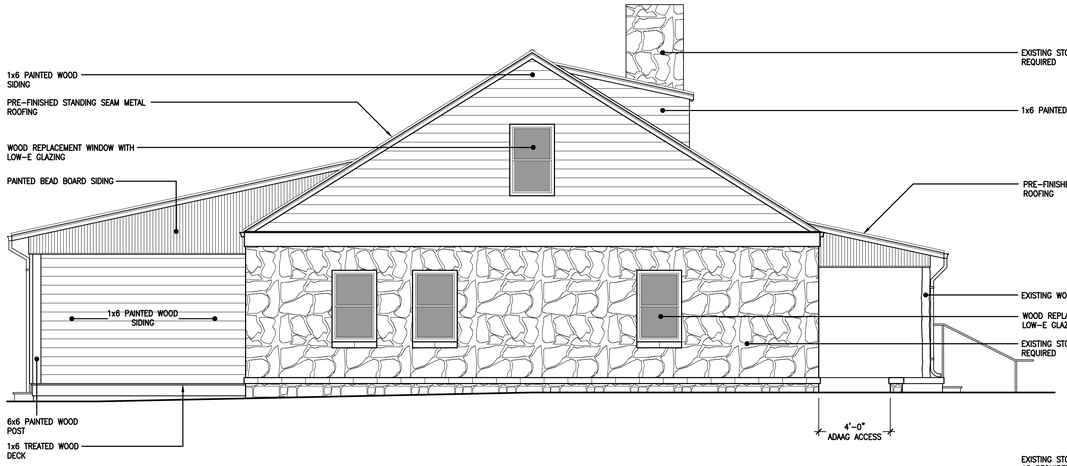

1 A4.00 NORTH ELEVATION
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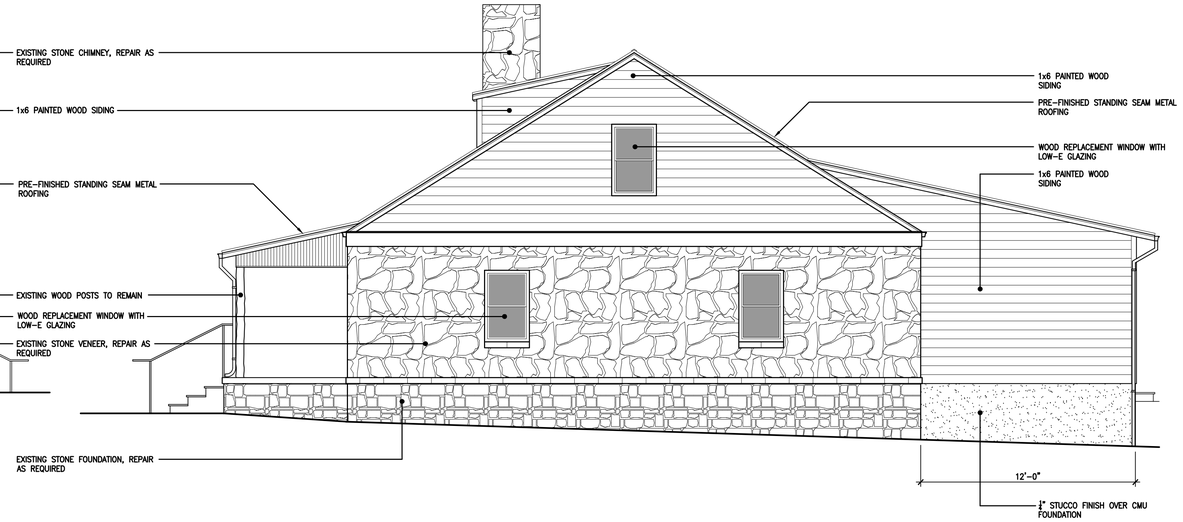
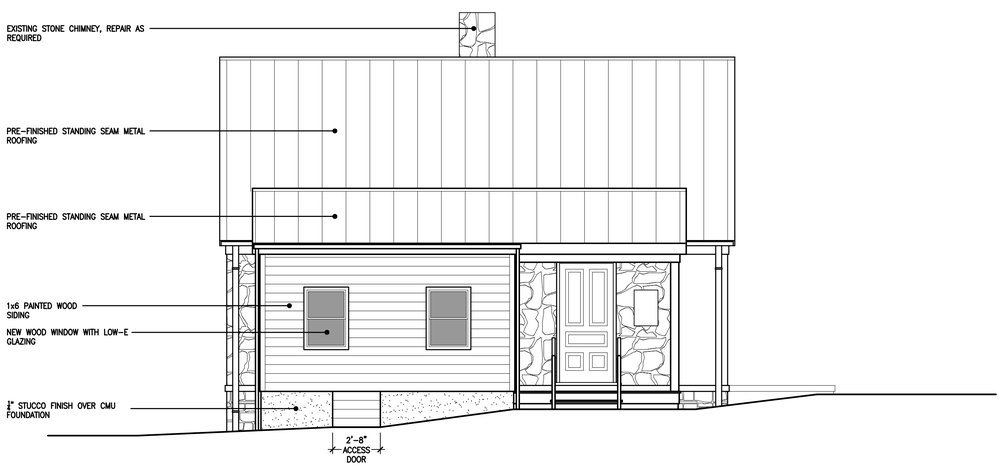
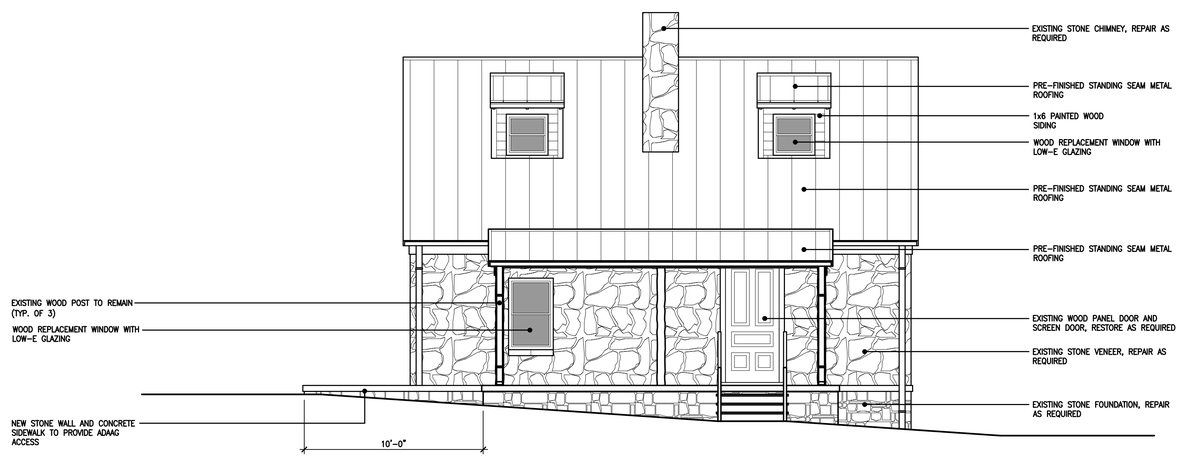


2 A4.00 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



3 A4.00 EAST ELEVATION
SCALE: 1/4" = 1'-0"



4 A4.00 WEST ELEVATION
SCALE: 1/4" = 1'-0"

FUSION ARCHITECTURE

FUSION ARCHITECTURE, PC
116 MAJESTIC LANE
FRANKLIN, TENNESSEE 37064
V: 615.454.3916
W: FUSIONARCHITECTURE.COM

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By:

PHASE | REVISION	DATE
SCHEMATIC DESIGN	01.11.2019
DESIGN DEVELOPMENT	03.08.2019
CONSTRUCTION DOCUMENTS	–

JOHN CAROTHERS PROPERTY
HOUSE RESTORATION AND RENOVATION

HUFFINES RIDGE DRIVE
FRANKLIN, TENNESSEE 37067

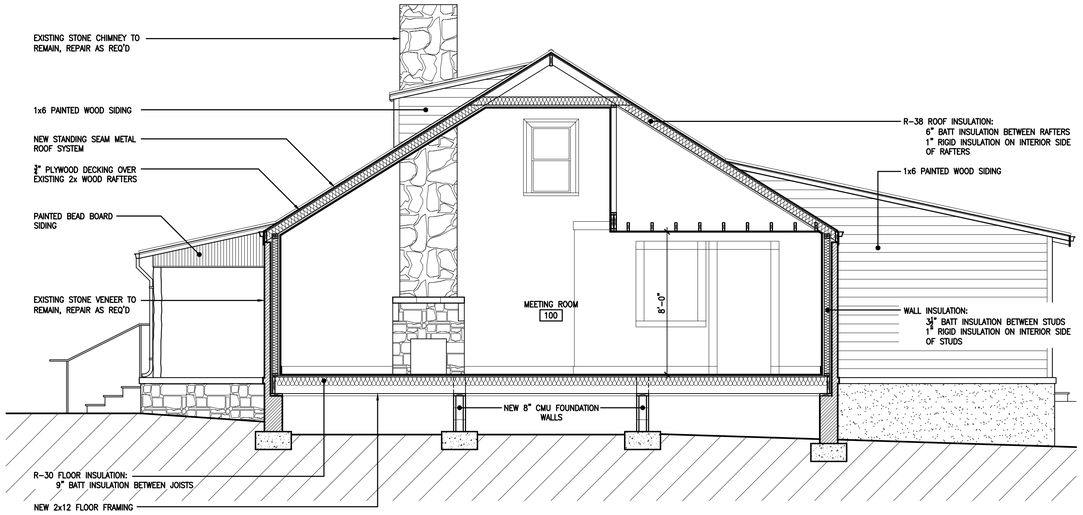
EXHIBIT D

PROJECT NUMBER
03-014-18

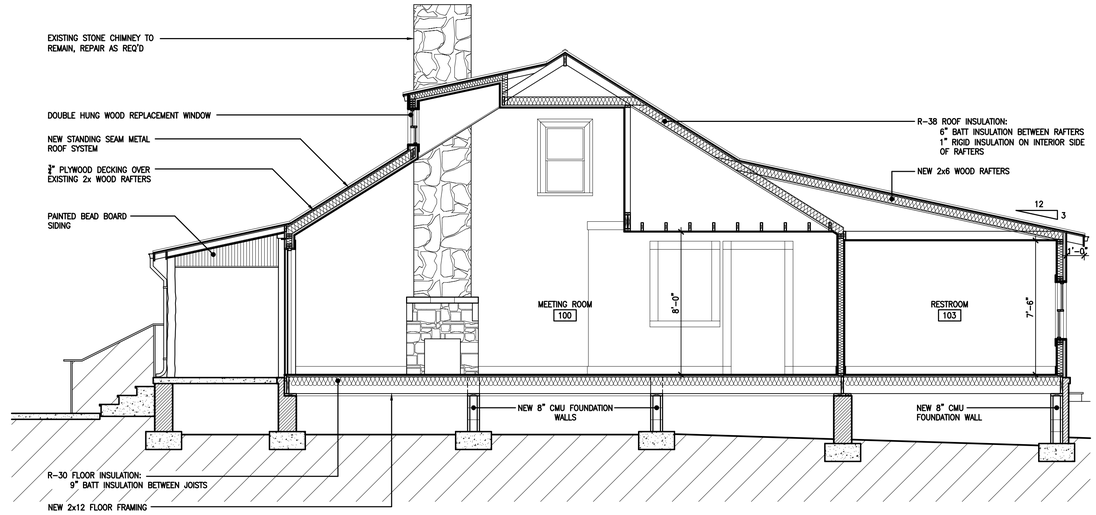
SHEET TITLE
ARCH. FLOOR PLAN

SHEET NUMBER
A4.00

COF Contract No. 2019-00096



1 A4.10 BUILDING SECTION
SCALE: 1/4" = 1'-0"



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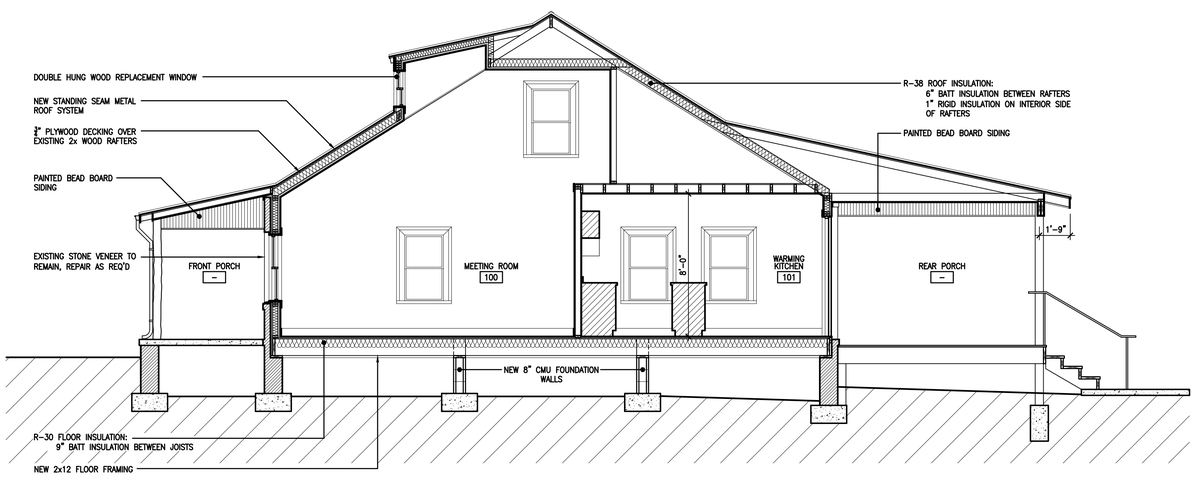

3 A4.10 BUILDING SECTION
SCALE: 1/4" = 1'-0"

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JOHN CAROTHERS PROPERTY
HOUSE RESTORATION AND RENOVATION

HUFFINES RIDGE DRIVE
FRANKLIN, TENNESSEE 37067

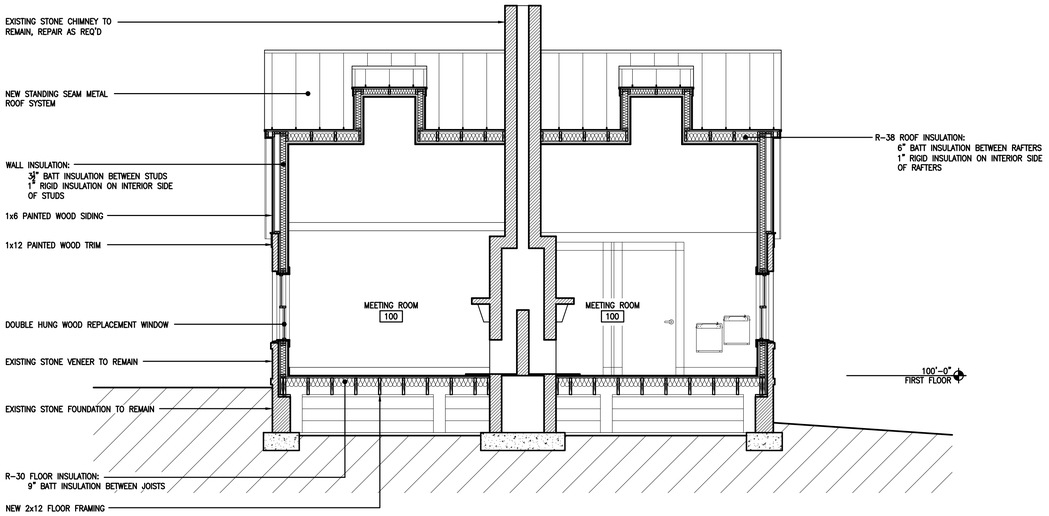
EXHIBIT D

PROJECT NUMBER
03-014-18

SHEET TITLE
BUILDING SECTIONS

SHEET NUMBER
A4.10

COF Contract No. 2019-00096



1 A4.11 BUILDING SECTION
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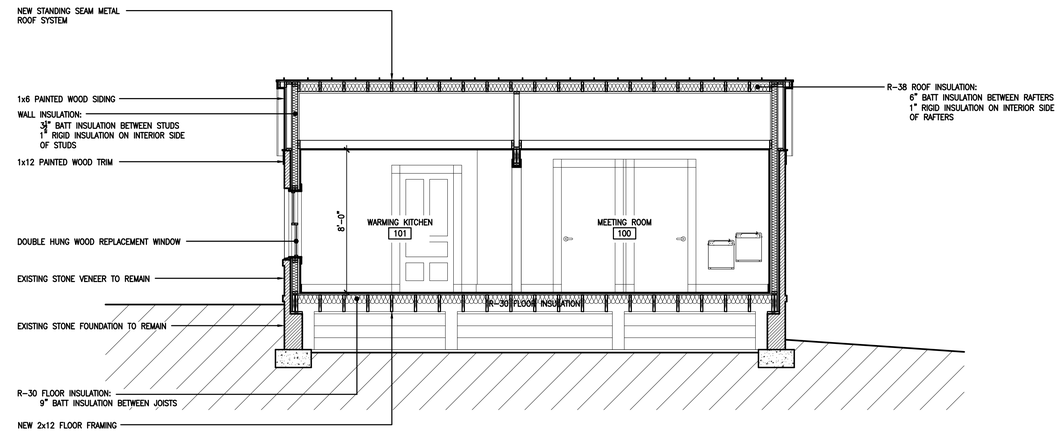

2 A4.11 BUILDING SECTION
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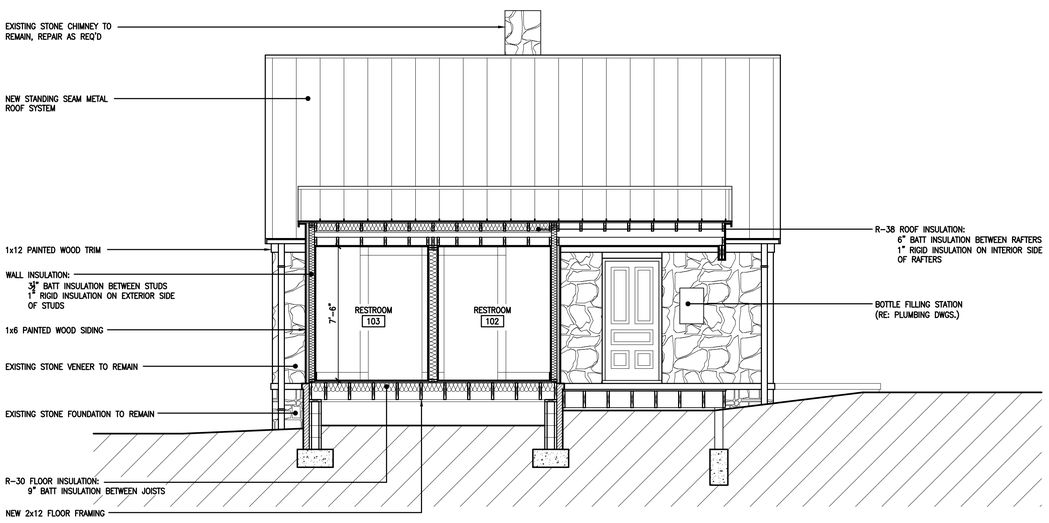

3 A4.11 BUILDING SECTION
SCALE: 1/4" = 1'-0"

FUSION ARCHITECTURE

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JOHN CAROTHERS PROPERTY
HOUSE RESTORATION AND RENOVATION

HUFFINES RIDGE DRIVE
FRANKLIN, TENNESSEE 37067

EXHIBIT D

PROJECT NUMBER
03-014-18

SHEET TITLE
BUILDING SECTIONS

SHEET NUMBER
A4.11

COF Contract No. 2019-00096

DESIGN DEVELOPMENT

JOHN CAROTHERS PROPERTY MAINTENANCE BUILDING

HUFFINES RIDGE DRIVE
FRANKLIN, TENNESSEE 37067

INDEX OF DRAWINGS:

GENERAL (2)

G1.00 _____ TITLE SHEET, GENERAL INFORMATION
G2.00 _____ STANDARDS

ARCHITECTURAL (3)

A1.00 _____ ARCHITECTURAL SITE PLAN
A2.10 _____ ARCHITECTURAL FLOOR PLAN, CEILING PLAN AND ROOF PLAN
A4.00 _____ EXTERIOR ELEVATIONS AND BUILDING SECTIONS

GENERAL NOTES:

1. THE GENERAL CONTRACTOR IS RESPONSIBLE TO SUPPLY ALL SUBCONTRACTORS WITH CONSTRUCTION DRAWINGS AND SPECIFICATIONS NECESSARY TO BID AND/OR CONSTRUCT THIS PROJECT.
2. ALL DIMENSIONS ON THE FLOOR PLANS, UNLESS OTHERWISE NOTED, ARE TAKEN FROM FACES OF STUDS OF EXTERIOR WALLS AND INTERIOR WALLS.
3. THE OWNER SHALL BE RESPONSIBLE FOR NOTIFYING THE GENERAL CONTRACTOR OF ANY ADDITIONAL ITEMS TO BE INSTALLED THAT ARE NOT SHOWN ON THE DRAWINGS.
4. ANY PENETRATIONS OF, OR MODIFICATIONS TO CONCRETE MUST BE COORDINATED WITH ARCHITECT PRIOR TO CONSTRUCTION.
5. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE THE SAFETY OF THE PUBLIC AND/OR WORK PERSONS ON THE JOB AND TO PREVENT ACCIDENTS OR INJURY TO ANY PERSON ON, ABOUT OR ADJACENT TO THE PREMISES. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, CODES, RULES AND REGULATIONS RELATIVE TO SAFETY AND THE PREVENTION OF ACCIDENTS.
6. WHETHER OR NOT SPECIFICALLY INDICATED ON THE DRAWINGS, ALL CONTRACTORS SHALL BE RESPONSIBLE FOR REMOVING OR DEMOLISHING EXISTING CONSTRUCTION (INCLUDING UTILITIES) WHICH WILL INTERFERE WITH NEW WORK.
7. PRIOR TO THE SHUT-DOWN OR TYING INTO ANY UTILITY, APPROVAL SHALL BE OBTAINED FROM THE OWNER'S REPRESENTATIVE.
8. COORDINATE WITH OWNER'S REPRESENTATIVE, LOCATION OF CONTRACTORS' EQUIPMENT AND MATERIAL STORAGE.
9. ALL MECHANICAL WORK SHALL BE PERFORMED BY A LICENSED MECHANICAL CONTRACTOR AND IN ACCORDANCE WITH ALL APPLICABLE CODES AND STANDARDS.
10. ALL PLUMBING WORK SHALL BE PERFORMED BY A LICENSED PLUMBING CONTRACTOR ALL IN ACCORDANCE WITH ALL APPLICABLE CODES AND STANDARDS.
11. ALL ELECTRICAL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR AND IN ACCORDANCE WITH ALL APPLICABLE CODES AND STANDARDS.
12. ALL STRUCTURAL FRAMING WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES AND STANDARDS.

PROJECT INFORMATION:

OCCUPANCY CLASSIFICATION:
IBC: STORAGE: GROUP S-1
NFPA: NEW STORAGE: - CHAPTER 42
TYPE OF CONSTRUCTION:
IBC: TYPE V (B)
NFPA: TYPE V (000)

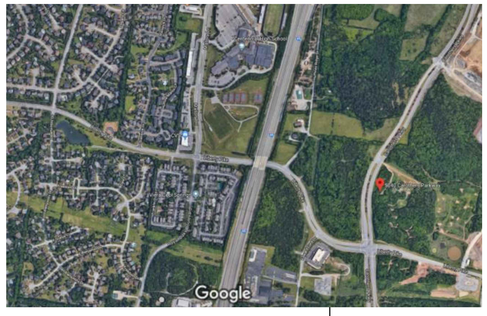
OCCUPANT LOAD: 2 OCCUPANTS

ALLOWABLE NO. OF STORIES: 1
NO. OF STORIES: 1
ALLOWABLE BUILDING HEIGHT: 40'-0"
BUILDING HEIGHT: 14'-10"
ALLOWABLE BUILDING AREA: 9,000 S.F.
BUILDING AREA: 576 S.F.

APPLICABLE BUILDING CODES AND STANDARDS:

2018 INTERNATIONAL BUILDING CODE INCLUDING APPENDICES D, G AND K
2018 INTERNATIONAL ENERGY CONSERVATION CODE (FOR BUILDINGS REVIEWED UNDER THE IBC)
2018 INTERNATIONAL FIRE CODE INCLUDING APPENDICES B, C AND D
2018 NFPA LIFE SAFETY CODE 101
2017 NATIONAL ELECTRIC CODE
2018 INTERNATIONAL PLUMBING CODE
2018 INTERNATIONAL MECHANICAL CODE
2018 INTERNATIONAL FUEL GAS CODE
2017 ICC A 117.1 ACCESSIBLE AND USEABLE BUILDINGS AND FACILITIES
2018 INTERNATIONAL EXISTING BUILDING CODE
2018 INTERNATIONAL RESIDENTIAL CODE INCLUDING APPENDICES G AND J
2009 INTERNATIONAL ENERGY CONSERVATION CODE (FOR BUILDINGS REVIEWED UNDER THE IRC)
2018 INTERNATIONAL PROPERTY MAINTENANCE CODE
2018 INTERNATIONAL SWIMMING POOL AND SPA CODE

VICINITY MAP:



N
PROJECT SITE
JOHN CAROTHERS HOUSE
HUFFINES RIDGE DRIVE
FRANKLIN, TENNESSEE 37067

PROJECT DESCRIPTION:

THIS PROJECT INVOLVES THE CONSTRUCTION OF A NEW MAINTENANCE BUILDING FOR THE PARKS DEPARTMENT. THIS BUILDING SHALL INCLUDE A RESTROOM, FURNITURE STORAGE AND EQUIPMENT STORAGE AREAS.

PROFESSIONAL OF RECORD:

ARCHITECT:

FUSION ARCHITECTURE, PC

116 MAJESTIC LANE
FRANKLIN, TENNESSEE 37064

VOICE: 615.454.3916

CONTACT: KYLE M. KRAMER, ARCHITECT
EMAIL: kkramer@fusionarchitecture.com

SYMBOLS LEGEND:

XXX	ROOM NUMBER		DETAIL TAG	X	KEY NOTE
XXX	DOOR NUMBER			P-X	PARTITION TAG
X	WINDOW TAG	X	PHOTO TAG		
XX	COLUMN GRID TAG	X	KEY NOTE		
X:AX.XX	ELEVATION TAG	X	KEY NOTE		
X:AX.XX	SECTION TAG	X	KEY NOTE		

CONSULTANTS:

HATCH LEGEND:

PLAN:	SPANDREL GLASS	INSULATION
NEW WALL	SECTION:	PLYWOOD
BRICK	BRICK	RIGID INSULATION
ELEVATION:	C.M.U.	GYP. BD. / M.D.F. / SAND
GYP. BD. / STUCCO	CONCRETE	EARTH
CLEAR GLASS	STEEL	

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By:

PHASE | REVISION	DATE
SCHEMATIC DESIGN	01.11.2019
DESIGN DEVELOPMENT	03.08.2019
CONSTRUCTION DOCUMENTS	-

JOHN CAROTHERS PROPERTY
MAINTENANCE BUILDING
HUFFINES RIDGE DRIVE
FRANKLIN, TENNESSEE 37067

EXHIBIT D

PROJECT NUMBER
03-014-18

SHEET TITLE
TITLE SHEET

SHEET NUMBER
G1.00

COF Contract No. 2019-00096

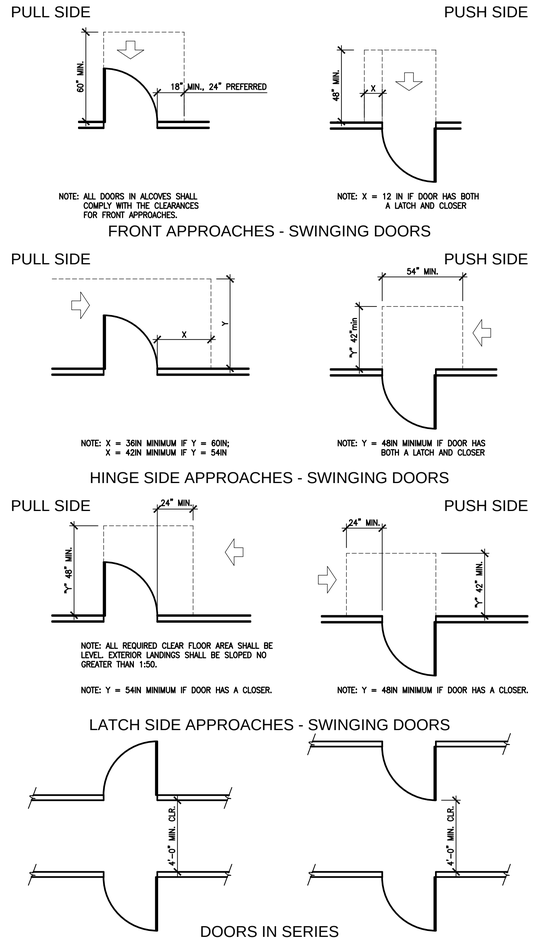
GENERAL NOTES:

1. DETAILS AND NOTES ON THIS SHEET SHALL GOVERN STANDARD DIMENSIONS ,CLEARANCES, AND MOUNTING LOCATIONS. CONTRACTOR SHALL IMMEDIATELY BRING TO ARCHITECT'S ATTENTION ANY DISCREPENCIES BETWEEN INFORMATION ON THIS SHEET AND ANY OTHER INFORMATION IN PLANS.

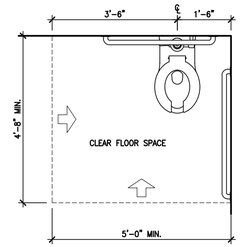
2. ALL NOTES, ABBREVIATIONS AND DETAILS MAY NOTE APPLY.

ABBREVIATIONS:

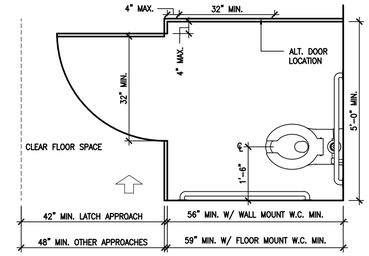
A	AMPERES	F.F.E.	FINISH FLOOR ELEVATION	OPNG.	OPENING
A.B.	ANCHOR BOLT	F.N.	FIELD NAILING	OPPO.	OPPOSITE
A.F.F.	ABOVE FINISHED FLOOR	F.O.	FACE OF	P.C.	PRECAST CONCRETE
A.F.G.	ABOVE FINISHED GRADE	F.S.	FLOOR SINK	P.L. or ℞	PROPERTY LINE
A/C	AIR CONDITIONING	F/G	FIBERGLASS	P.LAM.	PLASTIC LAMINATE
ABC	AGGREGATE BASE COURSE	FAB.	FABRICATE	P.O.C.	POINT OF CONNECTION
ABS	ACRYLONITRILE-BUTADIENE-STYRENE	FACP	FIRE ALARM CONTROL PANEL	PERF.	PERFORATED
ABV.	ABOVE	FDC	FIRE DEPARTMENT CONNECTION	PERP. or ⊥	PERPENDICULAR
ACB	ASBESTOS-CEMENT BOARD	FDN.	FOUNDATION	PH or #	PHASE
ACOU.	ACOUSTIC	FHC	FIRE HOSE CABINET	PL.	PLASTER
ACT	ACOUSTICAL CEILING TILE	FIN.	FINISH	PL. or ℞	PLATE
ADD.	ADDITION or ADDENDUM	FL	FLOOR	PLAS.	PLASTIC
AG	ABOVE GRADE	FLG.	FLOORING	PLUMB.	PLUMBING
AHU	AIR HANDLING UNIT	FLUOR.	FLUORESCENT	PLYWD.	PLYWOOD
AL. or ALUM.	ALUMINUM	FP	FIRE PROOF	PORC.	PORCELAIN
ALT.	ALTERNATE	FRP	FIBER REINFORCED PLASTIC	PREFAB.	PREFABRICATED
ANL	ANNEALED	FTG.	FOOTING	PSF	POUNDS PER SQUARE FOOT
ASPH.	ASPHALT	FURN.	FURNISH	PSI	POUNDS PER SQUARE INCH
AVG	AVERAGE	G.I.	GALVANIZED IRON	PTN.	PARTITION
AWG	AMERICAN WIRE GAUGE	GA.	GAUGE	PVC	POLYVINYLCLORIDE
∠	ANGLE	GALV.	GALVANIZED	PWR.	POWER
B.M.	BENCH MARK	GAR.	GARAGE	Q.T.	QUARRY TILE
B.N.	BOUNDARY NAILING	GFCI	GROUND FAULT CIRCUIT	QTY.	QUANTITY
B.O.	BOTTOM OF		INTERRUPTER	R	RADIUS
B.O.F.	BOTTOM OF FOOTING	GFI	GROUND FAULT INTERRUPTER	RCP	REINFORCED CONCRETE PIPE
B.U.	BUILT UP	GL	GLASS	R.D.L.	ROOF DRAIN LEADER
B/C	BACK OF CURB	GLB	GLUE LAMINATED BEAM	R.D.O.	ROOF DRAIN OVERFLOW
BD.	BOARD	GM	GRADE MARK	R.O.	ROUGH OPENING
BLDG	BUILDING	GV	GATE VALVE	R.O.W. or	RIGHT OF WAY
BLK.	BLOCK	GRC	GALVANIZED RIGID TUBING	R/W	
BLKG.	BLOCKING	GYP.	GYPSUM	REF	REFRIGERATOR
BM.	BEAM	GYP. BD.	GYPSUM BOARD	RE:	REFERENCE
BR	BRASS	H.B.	HOSE BIBB	REINF.	REINFORCED
BRG.	BEARING	H.C.	HOLLOW CORE	REQ'D.	REQUIRED
BRZ	BRONZE	H.M.	HOLLOW METAL	RET.	RETURN
C.A.P.	CONCRETE ASBESTOS PIPE	H/C	HANDICAPPED	REV.	REVISION
C.D.	CONSTRUCTION DOCUMENTS	HDBD.	HARDBOARD	RM	ROOM
C.I.P.	CAST IN PLACE	HDW	HARDWARE	RMV.	REMOVE
C.J.	CONTROL JOINT	HGT.	HEIGHT	S.C.	SOLID CORE
C.O.	CLEAN OUT	HOR.	HORIZONTAL	S.D.	SMOKE DETECTOR
C.T.	CERAMIC TILE	HTR	HEATER	S.O.V.	SHUT OFF VALVE
CAB	CABINET	HVAC	"HEATING, VENTILATING &	S/L	SKYLIGHT
CAM.	CAMBER		AIR CONDITIONING"	S/S	STAINLESS STEEL
CCTV	CLOSED CIRCUIT TELEVISION	HW	HOT WATER	SC	SELF CLOSING
CEM.	CEMENT	HYD.	HYDRAULIC	SCHED.	SCHEDULE
CER	CERAMIC	I.C.	INTERCOM OUTLET	SECT.	SECTION
CFM	CUBIC FEET PER MINUTE	I.D.	INSIDE DIAMETER	SES	SERVICE ENTRANCE SECTION
CH or ⊏	CHANNEL	I.F.	INSIDE FACE	SH	SHEET
CKT. BKR.	CIRCUIT BREAKER	ID	IDENTIFICATION	SHT'G.	SHEATHING
CL or ℄	CENTERLINE	IG	ISOLATED GROUND	SIM.	SIMILAR
CLG.	CEILING	IMC	INTERMEDIATE METALLIC CONDUIT	SPA.	SPACE
CLKG.	CAULKING	IMPG	IMPREGNATED	SPECS	SPECIFICATIONS
CLO.	CLOSET	INCL.	"INCLUDE, INCLUSIVE"	SPKR.	SPEAKER
CLR.	CLEAR	INSUL.	INSULATION	SQ.FT. or SF	SQUARE FEET
CMP	CORRUGATED METAL PIPE	INT.	INTERIOR	SQ. IN.	SQUARE INCHES
CMU	CONCRETE MASONRY UNIT	J-BOX	JUNCTION BOX	STC	SOUND TRANSMISSION CLASS
CNTRD.	CENTERED	JCT	JUNCTION	STD.	STANDARD
COL.	COLUMN	JST.	JOIST	STL.	STEEL
COMB.	COMBINATION	JT.	JOINT	SUSP.	SUSPENDED
CONC.	CONCRETE	K-D	KNOCK DOWN	SW	SWITCH
CONST.	CONSTRUCTION	KD	KILN DRIED	SYM	SYMMETRICAL
CONT.	CONTINUOUS	KO	KNOCK OUT	SYS.	SYSTEM
CONTR.	CONTRACTOR	L.E.D.	LIGHT EMITTING DIODE	T & G	TONGUE AND GROOVE
CU	COPPER	L.FT.	LINEAR FEET	T.B.	THROUGH BOLT
d	PENNY	LAM	LAMINATE	T.M.B.	TELEPHONE MOUNTING BOARD
D.F.	DRINKING FOUNTAIN	LAT.	LATERAL	T.O.	TOP OF
D.G.	DECOMPOSED GRANITE	LAV	LAVATORY	T.O.B.	TOP OF BEAM
D.S.	DOWN SPOUT	LD.	LEAD	T.O.C.	TOP OF CURB
D/W	DISHWASHER	LIN.	LINEAR	T.O.F.	TOP OF FOOTING
DBL.	DOUBLE	LINO.	LINOLEUM	T.O.J.	TOP OF JOIST
DEMO	DEMOLITION	LT.	LIGHT	T.O.M.	TOP OF MASONRY
DIA. or #	DIAMETER	LTG.	LIGHTING	T.O.S.	TOP OF SLAB-TOP OF STEEL
DIAG.	DIAGONAL	LVL	LAMINATED VENEER LUMBER	T.O.W.	TOP OF WALL
DIM.	DIMENSION	M.B.	MACHINE BOLT	T.S.	TUBE STEEL
DL	DEAD LOAD	M.H.	MANHOLE	T.V.	TELEVISION OUTLET
DN.	DOWN	M.I.	MALLEABLE IRON	TEL.	TELEPHONE
DR	DOOR	M.O.	MASONRY OPENING	TH.	THRESHOLD
E.A.	EXPANSION ANCHOR	MAR.	MARBLE	THD.	THREADED
E.F.	EXHAUST FAN	MAS.	MASONRY	THK.	THICK
E.J.	EXPANSION JOINT	MAT'L	MATERIAL	THRU	THROUGH
E.N.	END NAILING	MAX.	MAXIMUM	TLT.	TOILET
E.W.	EACH WAY	MECH.	MECHANICAL	TRANS.	TRANSFORMER
EA.	EACH	MED.	MEDIUM	TYP.	TYPICAL
EL	ELEVATION	MFG.	MANUFACTURING	UNF.	UNFINISHED
ELECT.	"ELECTRIC, ELECTRICAL"	MFR.	MANUFACTURER	U.N.O.	UNLESS NOTED OTHERWISE
ELEV.	ELEVATOR	MIN.	MINIMUM	UR	URINAL
EMC	ELECTRICAL METALLIC CONDUIT	MISC.	MISCELLANEOUS	V.B.	VAPOR BARRIER
EMT	ELECTRICAL METALLIC TUBING	MOD	MODULAR	V.I.F.	VERIFY IN FIELD
ENT	ELECTRICAL NON-METALLIC TUBING	MTL.	METAL	VA	VOLT AMPERE
EQ.	EQUAL	MUL	MULLION	VCT	VINYL COMPOSITION TILE
EQUIP.	EQUIPMENT	N.I.C.	NOT IN CONTRACT	VERT.	VERTICAL
EST.	ESTIMATE	N.T.S.	NOT TO SCALE	V.O.J.	VERIFY ON JOB
EVAP.	EVAPORATIVE COOLER	NCM	NON-CORROSIVE METAL	W/C	WATER CLOSET
EWC	ELECTRIC DRINKING COOLER	NFC	NOT FOR CONSTRUCTION	WDW	WINDOW
EXC	EXCAVATE	NLR.	NAILER	WCT	WAINSCOT
EXH.	EXHAUST	NO.	NUMBER	WP	WEATHER PROOF
EXIST.	EXISTING	NOM.	NOMINAL	WT.	WEIGHT
EXT.	EXTERIOR	O.C.	ON CENTER	W/	WITH
F.A.	FIRE ALARM	O.D.	OUTSIDE DIAMETER	W/O	WITHOUT
F.C.	FAN COIL	O.H.	OVER HANG	WD.	WOOD
F.C.O.	FLOOR CLEAN OUT	O.I.	ORNAMENTAL IRON	W.I.	WROUGHT IRON
F.D.	FLOOR DRAIN	O.R.	OUTSIDE RADIUS	YD.	YARD
F.E.	FIRE EXTINGUISHER	OAI	OUTSIDE AIR INTAKE		
F.F.	FINISH FLOOR	OH	OVER HEAD		



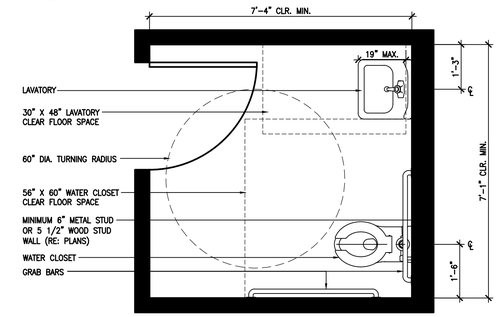
5 G2.00 DOOR CLEARANCES
SCALE: 1/4" = 1'-0"



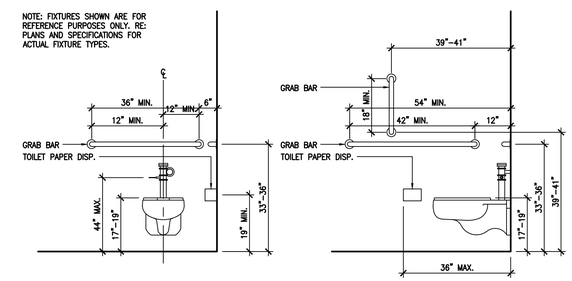
1 G2.00 CLEAR FLOOR SPACE AT ACCESSIBLE WATER CLOSETS
SCALE: 1/2" = 1'-0"



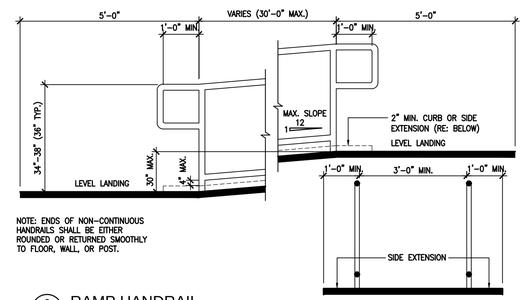
2 G2.00 ACCESSIBLE TOILET STALL
SCALE: 1/2" = 1'-0"



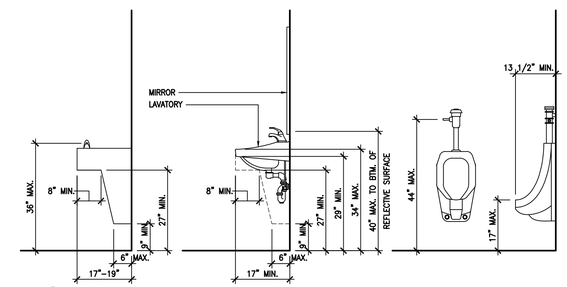
3 G2.00 STANDARD ACCESSIBLE SINGLE FIXTURE TOILET
SCALE: 1/2" = 1'-0"



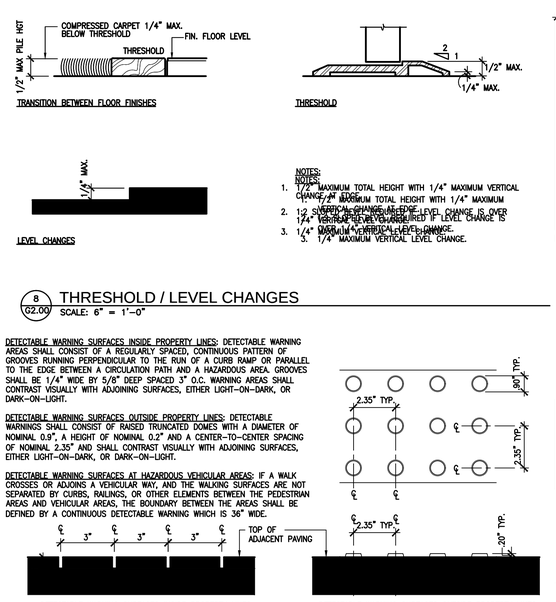
4 G2.00 MOUNTING HEIGHTS AT ACCESSIBLE WATER CLOSETS
SCALE: 1/2" = 1'-0"



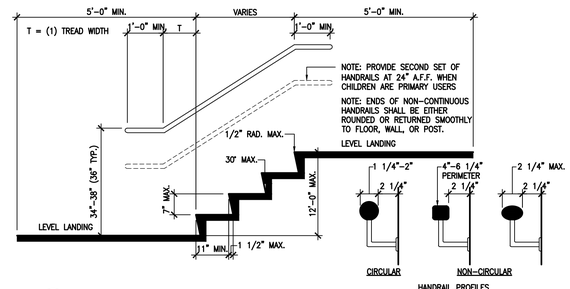
6 G2.00 RAMP HANDRAIL
SCALE: 1/2" = 1'-0"



7 G2.00 ACCESSIBLE E.W.C, LAVATORY AND URINAL
SCALE: 1/2" = 1'-0"

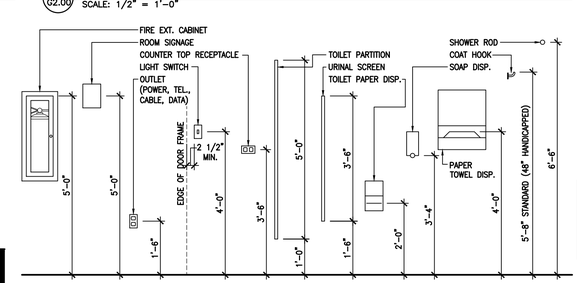


8 G2.00 THRESHOLD / LEVEL CHANGES
SCALE: 6" = 1'-0"



9 G2.00 STAIR HANDRAIL
SCALE: 1/2" = 1'-0"

10 G2.00 DETECTABLE WARNING SURFACES
SCALE: 3" = 1'-0"



11 G2.00 STANDARD MOUNTING HEIGHTS
SCALE: 1/2" = 1'-0"

LETTERS AND NUMBERS:

1. LETTERS AND NUMBERS ON SIGNS SHALL BE RAISED 1/32" MINIMUM AND SHALL BE SANS-SERIF UPPERCASE CHARACTERS ACCOMPANIED BY GRADE 2 BRAILLE.
2. RAISED CHARACTERS OR SYMBOLS SHALL BE A MINIMUM OF 5/8" HIGH.
3. PICTORIAL SYMBOL SIGNS (PICTOGRAMS) SHALL BE ACCOMPANIED BY THE EQUIVALENT VERBAL DESCRIPTION PLACED DIRECLY BELOW THE PICTOGRAM. THE BORDER DIMENSION OF THE PICTOGRAM SHALL BE A MINIMUM OF 6" IN HEIGHT.
4. LETTERS AND NUMBERS ON SIGNS SHALL HAVE A WIDTH-TO-HEIGHT RATIO OF BETWEEN 3:5 AND 1:1 AND A STROKE WIDTH-TO-HEIGHT RATIO BETWEEN 1:5 AND 1:10.
5. CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND, EITHER LIGHT CHARACTERS ON A DARK BACKGROUND OR DARK CHARACTERS ON A LIGHT BACKGROUND.
6. CHARCTERS AND NUMBERS ON SIGNS SHALL BE SIZED ACCORDING TO THE VIEWING DISTANCE FROM WHICH THEY ARE TO BE READ. THE MINIMUM HEIGHT IS MEASURED USING AN UPPER CASE X. LOWER CASE CHARACTERS ARE PERMITTED. FOR SIGNS SUSPENDED OR PROJECTED GREATER THAN 80" ABOVE THE FINISH FLOOR, THE MINIMUM CHARACTER HEIGHT SHALL BE 3".
7. CONTRACTED GRADE 2 BRAILLE SHALL BE USED WHEREVER BRAILLE SYMBOLS ARE SPECIFICALLY REQUIRED IN OTHER PORTIONS OF THESE REGULATIONS. DOTS SHALL BE 1/10" ON CENTERS IN EACH CELL WITH 2/10" SPACE BETWEEN CELLS. DOTS SHALL BE RAISED A MINIMUM OF 1/40" ABOVE THE BACKGROUND.

SIGN LOCATIONS:

8. ALL BUILDING ENTRANCES THAT ARE ACCESSIBLE TO AND USABLE BY PERSONS WITH DISABILITIES AND AT EVERY MAJOR JUNCTION ALONG OR LEADING TO AN ACCESSIBLE ROUTE OF TRAVEL SHALL BE IDENTIFIED WITH A SIGN DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND WITH ADDITIONAL DIRECTIONAL SIGNS, AS REQUIRED, TO BE VISIBLE TO PERSONS ALONG APPROACHING PEDESTRIAN WAYS.
9. WHEN PERMANENT IDENTIFICATION IS PROVIDED FOR ROOMS AND SPACES, RAISED LETTERS SHALL BE PROVIDED AND SHALL BE ACCOMPANIED BY BRAILLE. SIGNS SHALL BE INSTALLED ON THE WALL ADJACENT TO THE LATCH OUTSIDE OF THE DOOR. WHERE THERE IS NO WALL SPACE ON THE LATCH SIDE, INCLUDING AT LEAF DOORS, SIGNS SHALL BE PLACE ON THE NEAREST ADJACENT WALL. PREFERABLY ON THE RIGHT. MOUNTING HEIGHT SHALL BE 60" ABOVE THE FINISH FLOOR TO THE CENTERLINE OF THE SIGN. MOUNTING LOCATION SHALL BE DETERMINED SO THAT THE PERSON MAY APPROACH WITHIN 3" OF THE SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF A DOOR.
10. ADDITIONAL DIRECTIONAL SIGNS ALONG ACCESSIBLE PATH OF TRAVEL ARE REQUIRED.
11. BUILDINGS REMODELED TO PROVIDE ACCESSIBLE SANITARY FACILITIES FOR PUBLIC USE SHALL HAVE INFORMATION POSTED IN THE LOBBY AS PART OF THE BUILDING DIRECTORY.

INTERNATIONAL SYMBOL OF ACCESSIBILITY:

12. STANDARD USED TO IDENTIFY ACCESSIBLE FACILITIES.
13. WHITE FIGURE ON BLUE BACKGROUND.
14. WHEN ENFORCING AGENCY DETERMINES, IF APPROPRIATE, SPECIAL DESIGNS AND COLORS MAY BE APPROVED.

BRAILLE:

15. USE CONTRASTED GRADE 2 BRAILLE. DOTS TO BE 0.1 INCH ON CENTER IN EACH CELL.
16. 0.2 INCH SPACE BETWEEN CELLS.
17. DOTS RAISED MINIMUM 0.025 INCH ABOVE BACKGROUND.

12 G2.00 ACCESSIBLE SIGNAGE
SCALE: NO SCALE

FUSION ARCHITECTURE

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By:

PHASE | REVISION	DATE
SCHEMATIC DESIGN	01.11.2019
DESIGN DEVELOPMENT	03.08.2019
CONSTRUCTION DOCUMENTS	-

JOHN CAROTHERS PROPERTY
MAINTENANCE BUILDING

HUFFINES RIDGE DRIVE
FRANKLIN, TENNESSEE 37067

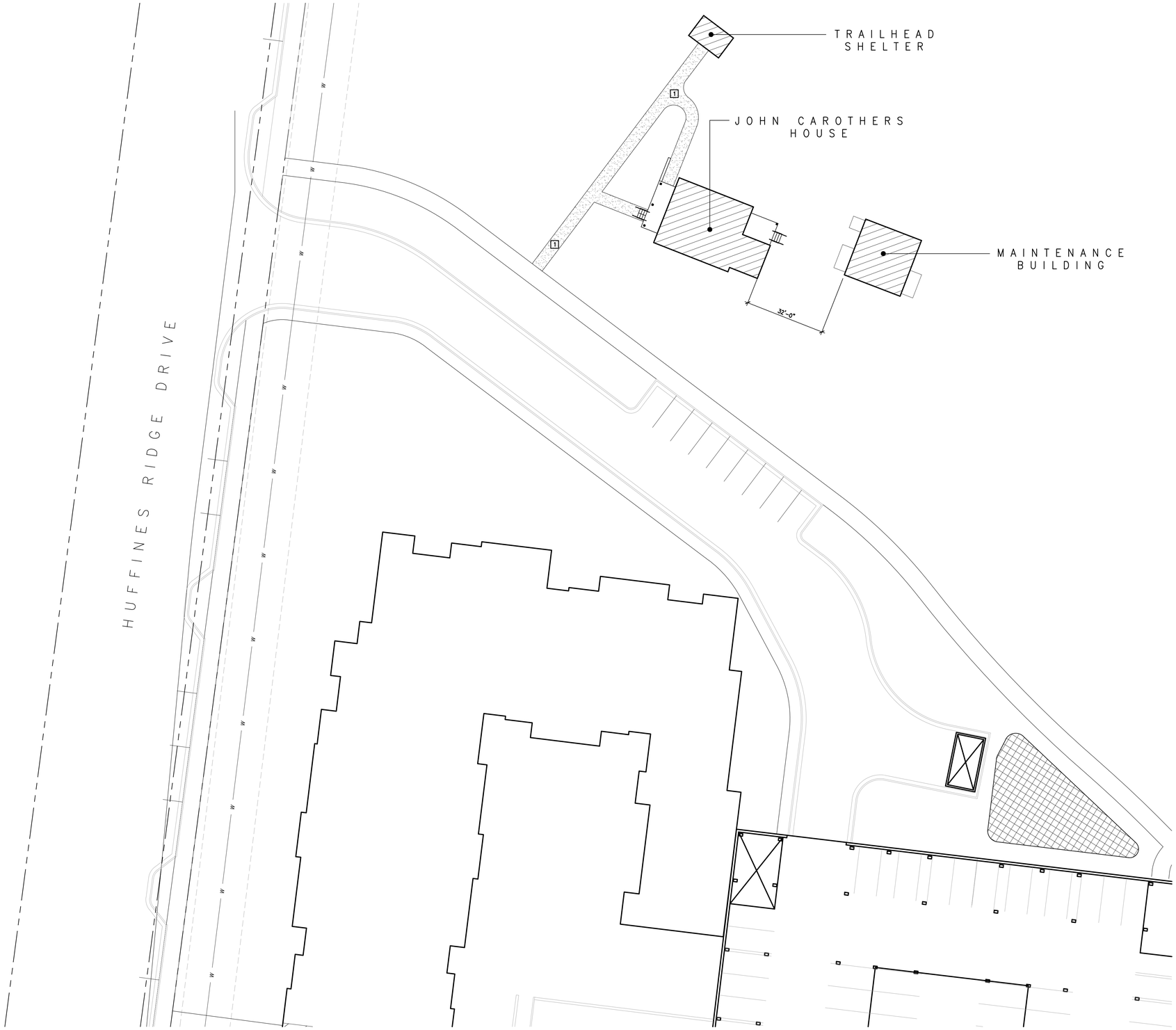
EXHIBIT D

PROJECT NUMBER
03-014-18

SHEET TITLE
STANDARDS

SHEET NUMBER
G2.00

COF Contract No. 2019-00096



ARCHITECTURAL SITE PLAN
SCALE: 1" = 20'-0"

LEGEND

- PROPERTY LINE (RE: SURVEY)
- BUILDING LINE
- POWER LINE (RE: SURVEY)
- IMPERVIOUS CONCRETE PAVING (RE: CIVIL DWGS.)
- CONCRETE SIDEWALK (RE: CIVIL DWGS.)
- SEWER MANHOLE
- WATER VALVE
- FIRE HYDRANT
- POWER POLE
- POLE LIGHT
- WATER METER
- GAS COCK AND METER
- ELECTRICAL METER
- ROOF DRAIN LINE

SITE PLAN GENERAL NOTES

1. COORDINATE ALL WORK SCHEDULING AND COMPLY WITH SAFETY PROCEDURES THAT PROTECT ALL OCCUPANTS IN CONSTRUCTION AREAS.
2. CONSTRUCTION DEBRIS SHALL BE REMOVED AND/OR STORED AWAY FROM THE BUILDING ON A DAILY BASIS. DISPOSE OF TRASH AS REQUIRED BY ORDINANCE OR CODE.
3. PROPER SITE DRAINAGE SHALL BE MAINTAINED AT ALL TIMES, DAMAGE CAUSED BY FAILING TO MAINTAIN SITE DRAINAGE SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
4. PROVIDE COMPACTED FILL AT RUTS OR HOLES CAUSED BY CONSTRUCTION ACTIVITIES. REPAIR ANY CONCRETE DAMAGED DURING CONSTRUCTION.
5. ALL NEW PAVING SHALL BE REINFORCED CONCRETE. THICKNESS AND REINFORCING SHALL BE AS DETAILED ON CIVIL DRAWINGS.
6. ACCESSIBLE PARKING SPACE TO BE DESIGNATED BY BLUE STRIPING AND EITHER A BLUE SYMBOL ON A WHITE BACKGROUND OR A WHITE SYMBOL ON A BLUE BCAKGROUND. ACCESSIBLE PARKING STALLS REQUIRE THE INSTALLATION OF THE PROPER SIGNAGE.
7. ALL PARKING SPACES SHALL BE LAID OUT IN ACCORDANCE WITH THE TYPICAL DETAIL AS SHOWN ON THIS PLAN, UNLESS OTHERWISE INDICATED ON THIS PLAN.
8. PRIOR TO INSTALLATION AND POURING OF CONCRETE PAVING, CONTRACTOR SHALL VERIFY AND COORDINATE ALL CONDUIT SIZES AND ROUTES.
9. REFERENCE LANDSCAPE DRAWINGS FOR PLANTING AND SEEDING SCOPE OF WORK.

PARKING SUMMARY

SITE PLAN KEYNOTES

1. NEW CONCRETE SIDEWALK
2. -
3. -
4. -
5. -

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JOHN CAROTHERS PROPERTY
MAINTENANCE BUILDING

HUFFINES RIDGE DRIVE
FRANKLIN, TENNESSEE 37067

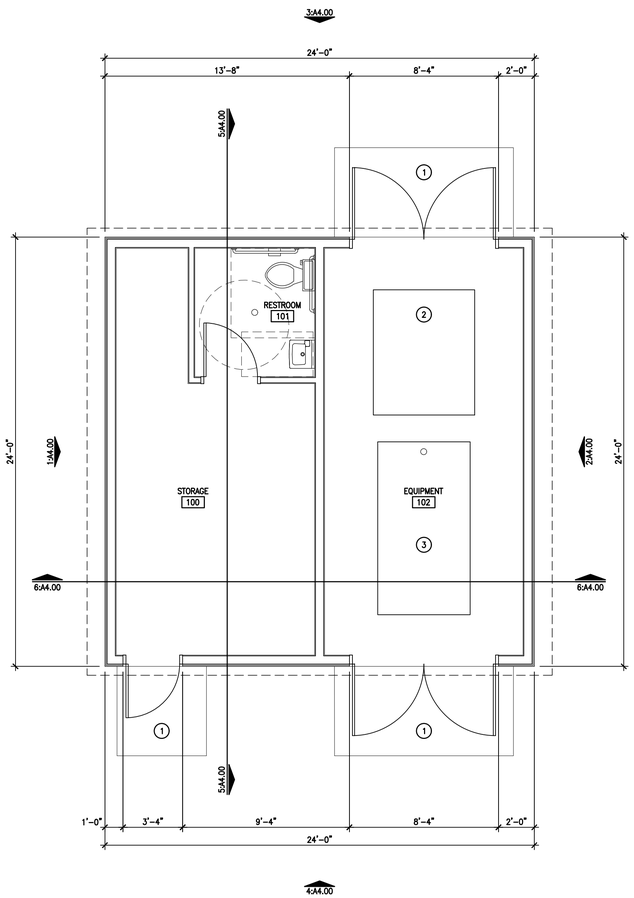
EXHIBIT D

PROJECT NUMBER
03-014-18

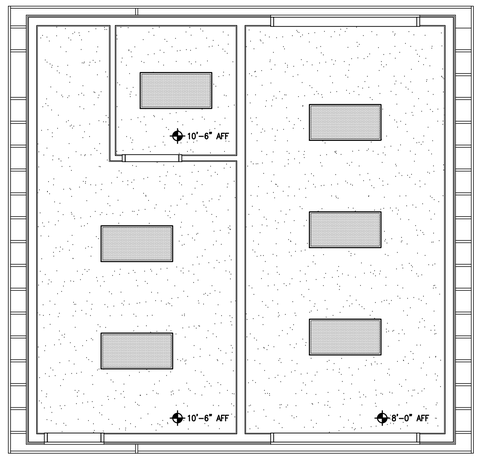
SHEET TITLE
ARCH. SITE PLAN

SHEET NUMBER
A1.00

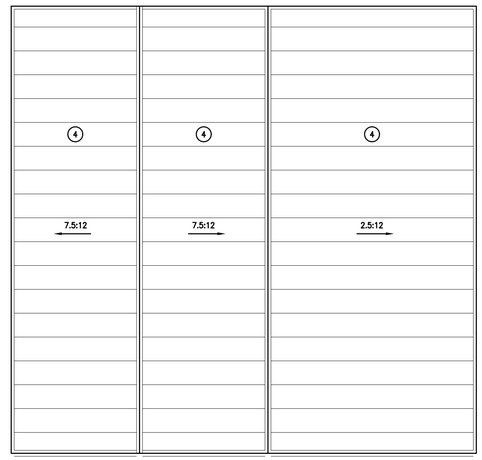
COF Contract No. 2019-00096



1 A2.10 ARCHITECTURAL FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 A2.10 ARCHITECTURAL CEILING PLAN
SCALE: 1/4" = 1'-0"



3 A2.10 ARCHITECTURAL ROOF PLAN
SCALE: 1/4" = 1'-0"

LEGEND

NEW DOOR AS SCHEDULED

NEW WALL AS SCHEDULED

GYP-1 — PAINTED GYPSUM BOARD:

2'-0" x 4'-0" LED LIGHT WITH ACRYLIC LENS (RE: ELECTRICAL)

RECESSED CAN DOWNLIGHT (RE: ELECTRICAL)

EXIT LIGHT (RE: ELECTRICAL)

X'-X" AFF — ELEVATION INDICATES CLEAR HEIGHT FROM FINISHED FLOOR TO FINISHED CEILING. ALL CEILING HEIGHTS = 9'-0" U.N.O.

GENERAL NOTES

1. INTERIOR FINISHES SHALL COMPLY WITH NFPA 101:36.3.3 (0-75) FLAMESPREAD WITH SMOKE DEVELOPMENT OF (0-450).
2. LOOSELY HANGING FURNISHINGS AND DECORATIONS SHALL BE FLAME RESISTANT AS DEMONSTRATED BY TESTING IN ACCORDANCE WITH NFPA 701.
3. ALL DIMENSIONS, UNLESS NOTED OTHERWISE, ARE TAKEN FROM FACE OF FRAMING.
4. INSULATION ASSEMBLIES SHALL MEET THE REQUIREMENTS OF SECTION 708, IBC, 2018 EDITION.

KEYNOTES

1. CONCRETE LANDING
2. LAWN MOWER
3. ALL TERRAIN VEHICLE
4. PRE-FINISHED STANDING SEAM METAL ROOF
5. -
6. -
7. -
8. -
9. -
10. -

FUSION ARCHITECTURE

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CONSTRUCTION DOCUMENTS	-

JOHN CAROTHERS PROPERTY MAINTENANCE BUILDING

HUFFINES RIDGE DRIVE
FRANKLIN, TENNESSEE 37067

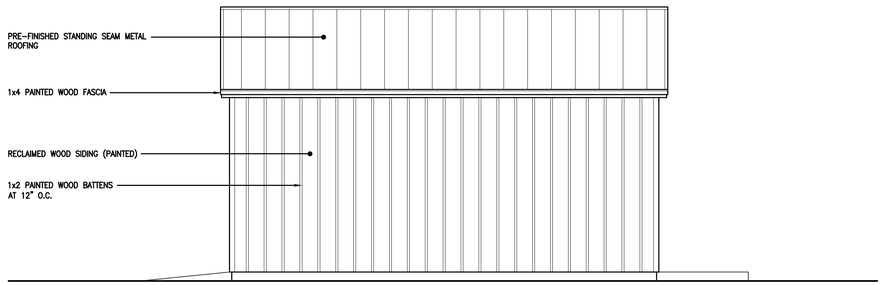
EXHIBIT D

PROJECT NUMBER
03-014-18

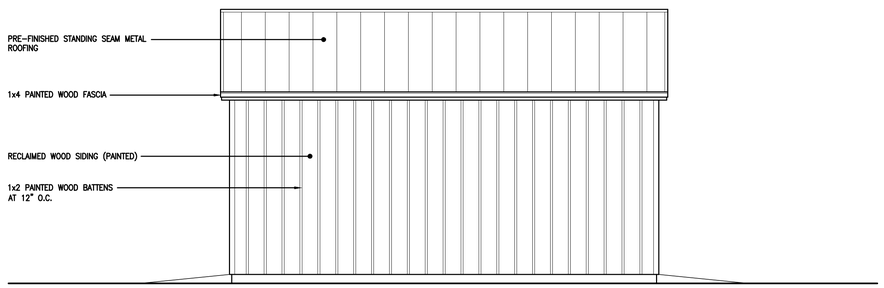
SHEET TITLE
ARCH. PLANS

SHEET NUMBER
A2.10

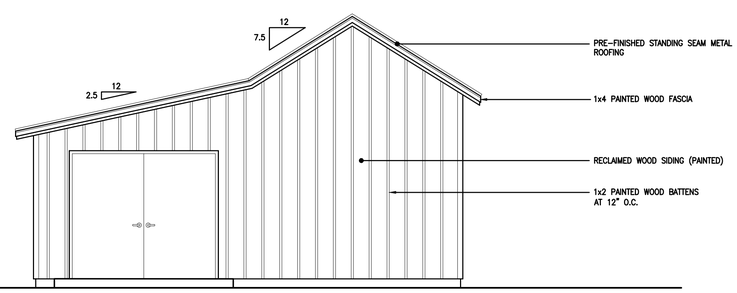
COF Contract No. 2019-00096



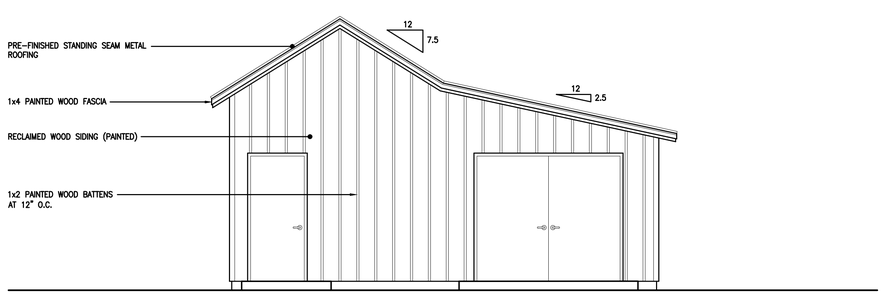
1 A4.00 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



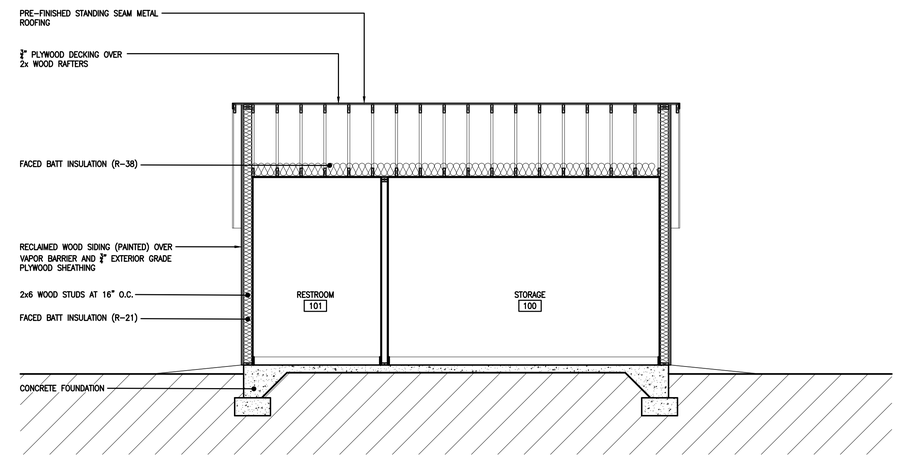
2 A4.00 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



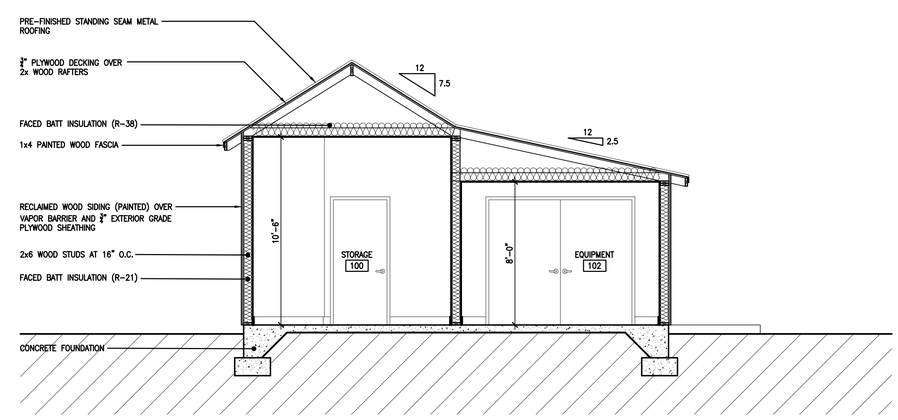
3 A4.00 EAST ELEVATION
SCALE: 1/4" = 1'-0"



4 A4.00 WEST ELEVATION
SCALE: 1/4" = 1'-0"



5 A4.00 BUILDING SECTION
SCALE: 1/4" = 1'-0"



6 A4.00 BUILDING SECTION
SCALE: 1/4" = 1'-0"

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JOHN CAROTHERS PROPERTY
MAINTENANCE BUILDING

HUFFINES RIDGE DRIVE
FRANKLIN, TENNESSEE 37067

EXHIBIT
D

PROJECT NUMBER
03-014-18

SHEET TITLE
ELEVS AND SECTIONS

SHEET NUMBER
A4.00

DESIGN DEVELOPMENT

JOHN CAROTHERS PROPERTY
TRAILHEAD SHELTER

HUFFINES RIDGE DRIVE
FRANKLIN, TENNESSEE 37067

INDEX OF DRAWINGS:

GENERAL (2)

G1.00 _____ TITLE SHEET, GENERAL INFORMATION
G2.00 _____ STANDARDS

ARCHITECTURAL (2)

A1.00 _____ ARCHITECTURAL SITE PLAN
A2.10 _____ ARCHITECTURAL FLOOR PLAN, CEILING PLAN, ROOF PLAN, EXTERIOR ELEVATIONS AND SECTIONS

GENERAL NOTES:

1. THE GENERAL CONTRACTOR IS RESPONSIBLE TO SUPPLY ALL SUBCONTRACTORS WITH CONSTRUCTION DRAWINGS AND SPECIFICATIONS NECESSARY TO BID AND/OR CONSTRUCT THIS PROJECT.
2. ALL DIMENSIONS ON THE FLOOR PLANS, UNLESS OTHERWISE NOTED, ARE TAKEN FROM FACES OF STUDS OF EXTERIOR WALLS AND INTERIOR WALLS.
3. THE OWNER SHALL BE RESPONSIBLE FOR NOTIFYING THE GENERAL CONTRACTOR OF ANY ADDITIONAL ITEMS TO BE INSTALLED THAT ARE NOT SHOWN ON THE DRAWINGS.
4. ANY PENETRATIONS OF, OR MODIFICATIONS TO CONCRETE MUST BE COORDINATED WITH ARCHITECT PRIOR TO CONSTRUCTION.
5. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE THE SAFETY OF THE PUBLIC AND/OR WORK PERSONS ON THE JOB AND TO PREVENT ACCIDENTS OR INJURY TO ANY PERSON ON, ABOUT OR ADJACENT TO THE PREMISES. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, CODES, RULES AND REGULATIONS RELATIVE TO SAFETY AND THE PREVENTION OF ACCIDENTS.
6. WHETHER OR NOT SPECIFICALLY INDICATED ON THE DRAWINGS, ALL CONTRACTORS SHALL BE RESPONSIBLE FOR REMOVING OR DEMOLISHING EXISTING CONSTRUCTION (INCLUDING UTILITIES) WHICH WILL INTERFERE WITH NEW WORK.
7. PRIOR TO THE SHUT-DOWN OR TYING INTO ANY UTILITY, APPROVAL SHALL BE OBTAINED FROM THE OWNER'S REPRESENTATIVE.
8. COORDINATE WITH OWNER'S REPRESENTATIVE, LOCATION OF CONTRACTORS' EQUIPMENT AND MATERIAL STORAGE.
9. ALL MECHANICAL WORK SHALL BE PERFORMED BY A LICENSED MECHANICAL CONTRACTOR AND IN ACCORDANCE WITH ALL APPLICABLE CODES AND STANDARDS.
10. ALL PLUMBING WORK SHALL BE PERFORMED BY A LICENSED PLUMBING CONTRACTOR ALL IN ACCORDANCE WITH ALL APPLICABLE CODES AND STANDARDS.
11. ALL ELECTRICAL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR AND IN ACCORDANCE WITH ALL APPLICABLE CODES AND STANDARDS.
12. ALL STRUCTURAL FRAMING WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES AND STANDARDS.

PROJECT INFORMATION:

OCCUPANCY CLASSIFICATION:
IBC: UTILITY: GROUP U
NFPA: SPECIAL STRUCTURES: – CHAPTER 11
TYPE OF CONSTRUCTION:
IBC: TYPE V (B)
NFPA: TYPE V (000)

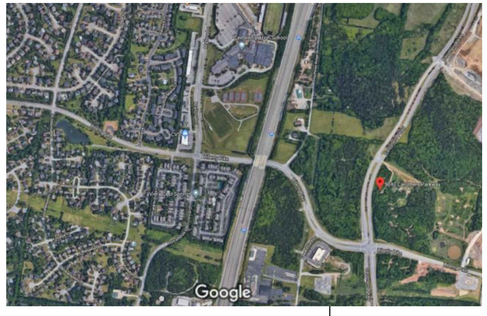
OCCUPANT LOAD: 44 OCCUPANTS

ALLOWABLE NO. OF STORIES:	1
NO. OF STORIES:	1
ALLOWABLE BUILDING HEIGHT:	40'-0"
BUILDING HEIGHT:	12'-1"
ALLOWABLE BUILDING AREA:	5,000 S.F.
BUILDING AREA:	150 S.F.

APPLICABLE BUILDING CODES AND STANDARDS:

2018 INTERNATIONAL BUILDING CODE INCLUDING APPENDICES D, G AND K
2018 INTERNATIONAL ENERGY CONSERVATION CODE (FOR BUILDINGS REVIEWED UNDER THE IBC)
2018 INTERNATIONAL FIRE CODE INCLUDING APPENDICES B, C AND D
2018 NFPA LIFE SAFETY CODE 101
2017 NATIONAL ELECTRIC CODE
2018 INTERNATIONAL PLUMBING CODE
2018 INTERNATIONAL MECHANICAL CODE
2018 INTERNATIONAL FUEL GAS CODE
2017 ICC A 117.1 ACCESSIBLE AND USEABLE BUILDINGS AND FACILITIES
2018 INTERNATIONAL EXISTING BUILDING CODE
2018 INTERNATIONAL RESIDENTIAL CODE INCLUDING APPENDICES G AND J
2009 INTERNATIONAL ENERGY CONSERVATION CODE (FOR BUILDINGS REVIEWED UNDER THE IRC)
2018 INTERNATIONAL PROPERTY MAINTENANCE CODE
2018 INTERNATIONAL SWIMMING POOL AND SPA CODE

VICINITY MAP:



N
PROJECT SITE
JOHN CAROTHERS HOUSE
HUFFINES RIDGE DRIVE
FRANKLIN, TENNESSEE 37067

PROJECT DESCRIPTION:

THIS PROJECT INVOLVES THE CONSTRUCTION OF AN OPEN TRAILHEAD SHELTER STRUCTURE.

PROFESSIONAL OF RECORD:

ARCHITECT:

FUSION ARCHITECTURE, PC

116 MAJESTIC LANE
FRANKLIN, TENNESSEE 37064

VOICE: 615.454.3916

CONTACT: KYLE M. KRAMER, ARCHITECT
EMAIL: kkramer@fusionarchitecture.com

SYMBOLS LEGEND:

XXX	ROOM NUMBER
XXX	DOOR NUMBER
X	WINDOW TAG
XX	COLUMN GRID TAG
X.AX.XX	ELEVATION TAG
X.AX.XX	SECTION TAG
	DETAIL TAG
X	PHOTO TAG
X	KEY NOTE
X	KEY NOTE
X	KEY NOTE
X	KEY NOTE
P-X	PARTITION TAG

CONSULTANTS:

HATCH LEGEND:

PLAN:
NEW WALL
BRICK
ELEVATION:
GYP. BD. / STUCCO
CLEAR GLASS
SPANDREL GLASS
SECTION:
BRICK
C.M.U.
CONCRETE
STEEL
INSULATION
PLYWOOD
RIGID INSULATION
GYP. BD. / M.D.F. / SAND
EARTH

FUSION ARCHITECTURE

FUSION ARCHITECTURE, PC
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These plans were prepared in this office under our personal supervision, and to the best of our knowledge comply with state and local codes. We will generally administer construction.

By:

PHASE | REVISION	DATE
SCHEMATIC DESIGN	01.11.2019
DESIGN DEVELOPMENT	03.08.2019
CONSTRUCTION DOCUMENTS	–

JOHN CAROTHERS PROPERTY
TRAILHEAD SHELTER
HUFFINES RIDGE DRIVE
FRANKLIN, TENNESSEE 37067

EXHIBIT D

PROJECT NUMBER
03-014-18

SHEET TITLE
TITLE SHEET

SHEET NUMBER
G1.00

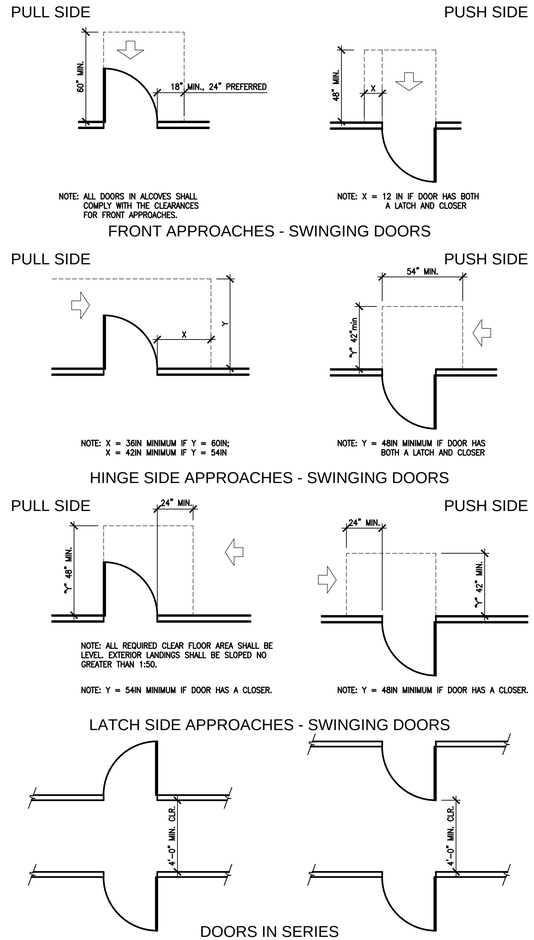
GENERAL NOTES:

1. DETAILS AND NOTES ON THIS SHEET SHALL GOVERN STANDARD DIMENSIONS ,CLEARANCES, AND MOUNTING LOCATIONS. CONTRACTOR SHALL IMMEDIATELY BRING TO ARCHITECT'S ATTENTION ANY DISCREPENCIES BETWEEN INFORMATION ON THIS SHEET AND ANY OTHER INFORMATION IN PLANS.

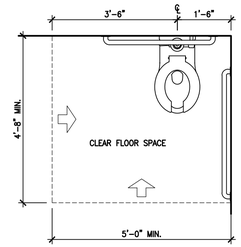
2. ALL NOTES, ABBREVIATIONS AND DETAILS MAY NOTE APPLY.

ABBREVIATIONS:

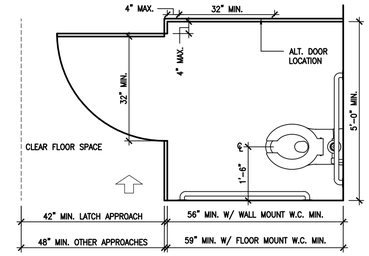
A	AMPERES	F.F.E.	FINISH FLOOR ELEVATION	OPNG.	OPENING
A.B.	ANCHOR BOLT	F.N.	FIELD NAILING	OPPO.	OPPOSITE
A.F.F.	ABOVE FINISHED FLOOR	F.O.	FACE OF	P.C.	PRECAST CONCRETE
A.F.G.	ABOVE FINISHED GRADE	F.S.	FLOOR SINK	P.L. or ℞	PROPERTY LINE
A/C	AIR CONDITIONING	F/G	FIBERGLASS	P.LAM.	PLASTIC LAMINATE
ABC	AGGREGATE BASE COURSE	FAB.	FABRICATE	P.O.C.	POINT OF CONNECTION
ABS	ACRYLONITRILE-BUTADIENE-STYRENE	FACP	FIRE ALARM CONTROL PANEL	PERF.	PERFORATED
ABV.	ABOVE	FDC	FIRE DEPARTMENT CONNECTION	PERP. or ⊥	PERPENDICULAR
ACB	ASBESTOS-CEMENT BOARD	FDN.	FOUNDATION	PH or #	PHASE
ACOU.	ACOUSTIC	FHC	FIRE HOSE CABINET	PL.	PLASTER
ACT	ACOUSTICAL CEILING TILE	FIN.	FINISH	PL. or ℞	PLATE
ADD.	ADDITION or ADDENDUM	FL	FLOOR	PLAS.	PLASTIC
AG	ABOVE GRADE	FLG.	FLOORING	PLUMB.	PLUMBING
AHU	AIR HANDLING UNIT	FLUOR.	FLUORESCENT	PLYWD.	PLYWOOD
AL. or ALUM.	ALUMINUM	FP	FIRE PROOF	PORC.	PORCELAIN
ALT.	ALTERNATE	FRP	FIBER REINFORCED PLASTIC	PREFAB.	PREFABRICATED
ANL	ANNEALED	FTG.	FOOTING	PSF	POUNDS PER SQUARE FOOT
ASPH.	ASPHALT	FURN.	FURNISH	PSI	POUNDS PER SQUARE INCH
AVG	AVERAGE	G.I.	GALVANIZED IRON	PTN.	PARTITION
AWG	AMERICAN WIRE GAUGE	GA.	GAUGE	PVC	POLYVINYLCLORIDE
∠	ANGLE	GALV.	GALVANIZED	PWR.	POWER
B.M.	BENCH MARK	GAR.	GARAGE	Q.T.	QUARRY TILE
B.N.	BOUNDARY NAILING	GFCI	GROUND FAULT CIRCUIT	QTY.	QUANTITY
B.O.	BOTTOM OF		INTERRUPTER	R	RADIUS
B.O.F.	BOTTOM OF FOOTING	GFI	GROUND FAULT INTERRUPTER	RCP	REINFORCED CONCRETE PIPE
B.U.	BUILT UP	GL	GLASS	R.D.L.	ROOF DRAIN LEADER
B/C	BACK OF CURB	GLB	GLUE LAMINATED BEAM	R.D.O.	ROOF DRAIN OVERFLOW
BD.	BOARD	GM	GRADE MARK	R.O.	ROUGH OPENING
BLDG	BUILDING	GV	GATE VALVE	R.O.W. or	RIGHT OF WAY
BLK.	BLOCK	GRC	GALVANIZED RIGID TUBING	R/W	
BLKG.	BLOCKING	GYP.	GYPSUM	REF	REFRIGERATOR
BM.	BEAM	GYP. BD.	GYPSUM BOARD	RE:	REFERENCE
BR	BRASS	H.B.	HOSE BIBB	REINF.	REINFORCED
BRG.	BEARING	H.C.	HOLLOW CORE	REQ'D.	REQUIRED
BRZ	BRONZE	H.M.	HOLLOW METAL	RET.	RETURN
C.A.P.	CONCRETE ASBESTOS PIPE	H/C	HANDICAPPED	REV.	REVISION
C.D.	CONSTRUCTION DOCUMENTS	HDBD.	HARDBOARD	RM	ROOM
C.I.P.	CAST IN PLACE	HDW	HARDWARE	RMV.	REMOVE
C.J.	CONTROL JOINT	HGT.	HEIGHT	S.C.	SOLID CORE
C.O.	CLEAN OUT	HOR.	HORIZONTAL	S.D.	SMOKE DETECTOR
C.T.	CERAMIC TILE	HTR	HEATER	S.O.V.	SHUT OFF VALVE
CAB	CABINET	HVAC	"HEATING, VENTILATING &	S/L	SKYLIGHT
CAM.	CAMBER		AIR CONDITIONING"	S/S	STAINLESS STEEL
CCTV	CLOSED CIRCUIT TELEVISION	HW	HOT WATER	SC	SELF CLOSING
CEM.	CEMENT	HYD.	HYDRAULIC	SCHED.	SCHEDULE
CER	CERAMIC	I.C.	INTERCOM OUTLET	SECT.	SECTION
CFM	CUBIC FEET PER MINUTE	I.D.	INSIDE DIAMETER	SES	SERVICE ENTRANCE SECTION
CH or ⊏	CHANNEL	I.F.	INSIDE FACE	SH	SHEET
CKT. BKR.	CIRCUIT BREAKER	ID	IDENTIFICATION	SHT'G.	SHEATHING
CL or ℄	CENTERLINE	IG	ISOLATED GROUND	SIM.	SIMILAR
CLG.	CEILING	IMC	INTERMEDIATE METALLIC CONDUIT	SPA.	SPACE
CLKG.	CAULKING	IMPG	IMPREGNATED	SPECS	SPECIFICATIONS
CLO.	CLOSET	INCL.	"INCLUDE, INCLUSIVE"	SPKR.	SPEAKER
CLR.	CLEAR	INSUL.	INSULATION	SQ.FT. or SF	SQUARE FEET
CMP	CORRUGATED METAL PIPE	INT.	INTERIOR	SQ. IN.	SQUARE INCHES
CMU	CONCRETE MASONRY UNIT	J-BOX	JUNCTION BOX	STC	SOUND TRANSMISSION CLASS
CNTRD.	CENTERED	JCT	JUNCTION	STD.	STANDARD
COL.	COLUMN	JST.	JOIST	STL.	STEEL
COMB.	COMBINATION	JT.	JOINT	SUSP.	SUSPENDED
CONC.	CONCRETE	K-D	KNOCK DOWN	SW	SWITCH
CONST.	CONSTRUCTION	KD	KILN DRIED	SYM	SYMMETRICAL
CONT.	CONTINUOUS	KO	KNOCK OUT	SYS.	SYSTEM
CONTR.	CONTRACTOR	L.E.D.	LIGHT EMITTING DIODE	T & G	TONGUE AND GROOVE
CU	COPPER	L.FT.	LINEAR FEET	T.B.	THROUGH BOLT
d	PENNY	LAM	LAMINATE	T.M.B.	TELEPHONE MOUNTING BOARD
D.F.	DRINKING FOUNTAIN	LAT.	LATERAL	T.O.	TOP OF
D.G.	DECOMPOSED GRANITE	LAV	LAVATORY	T.O.B.	TOP OF BEAM
D.S.	DOWN SPOUT	LD.	LEAD	T.O.C.	TOP OF CURB
D/W	DISHWASHER	LIN.	LINEAR	T.O.F.	TOP OF FOOTING
DBL.	DOUBLE	LINO.	LINOLEUM	T.O.J.	TOP OF JOIST
DEMO	DEMOLITION	LT.	LIGHT	T.O.M.	TOP OF MASONRY
DIA. or #	DIAMETER	LTG.	LIGHTING	T.O.S.	TOP OF SLAB-TOP OF STEEL
DIAG.	DIAGONAL	LVL	LAMINATED VENEER LUMBER	T.O.W.	TOP OF WALL
DIM.	DIMENSION	M.B.	MACHINE BOLT	T.S.	TUBE STEEL
DL	DEAD LOAD	M.H.	MANHOLE	T.V.	TELEVISION OUTLET
DN.	DOWN	M.I.	MALLEABLE IRON	TEL.	TELEPHONE
DR	DOOR	M.O.	MASONRY OPENING	TH.	THRESHOLD
E.A.	EXPANSION ANCHOR	MAR.	MARBLE	THD.	THREADED
E.F.	EXHAUST FAN	MAS.	MASONRY	THK.	THICK
E.J.	EXPANSION JOINT	MAT'L	MATERIAL	THRU	THROUGH
E.N.	END NAILING	MAX.	MAXIMUM	TLT.	TOILET
E.W.	EACH WAY	MECH.	MECHANICAL	TRANS.	TRANSFORMER
EA.	EACH	MED.	MEDIUM	TYP.	TYPICAL
EL	ELEVATION	MFG.	MANUFACTURING	UNF.	UNFINISHED
ELECT.	"ELECTRIC, ELECTRICAL"	MFR.	MANUFACTURER	U.N.O.	UNLESS NOTED OTHERWISE
ELEV.	ELEVATOR	MIN.	MINIMUM	UR	URINAL
EMC	ELECTRICAL METALLIC CONDUIT	MISC.	MISCELLANEOUS	V.B.	VAPOR BARRIER
EMT	ELECTRICAL METALLIC TUBING	MOD	MODULAR	V.I.F.	VERIFY IN FIELD
ENT	ELECTRICAL NON-METALLIC TUBING	MTL.	METAL	VA	VOLT AMPERE
EQ.	EQUAL	MUL	MULLION	VCT	VINYL COMPOSITION TILE
EQUIP.	EQUIPMENT	N.I.C.	NOT IN CONTRACT	VERT.	VERTICAL
EST.	ESTIMATE	N.T.S.	NOT TO SCALE	V.O.J.	VERIFY ON JOB
EVAP.	EVAPORATIVE COOLER	NCM	NON-CORROSIVE METAL	W/C	WATER CLOSET
EWC	ELECTRIC DRINKING COOLER	NFC	NOT FOR CONSTRUCTION	WDW	WINDOW
EXC	EXCAVATE	NLR.	NAILER	WCT	WAINSCOT
EXH.	EXHAUST	NO.	NUMBER	WP	WEATHER PROOF
EXIST.	EXISTING	NOM.	NOMINAL	WT.	WEIGHT
EXT.	EXTERIOR	O.C.	ON CENTER	W/	WITH
F.A.	FIRE ALARM	O.D.	OUTSIDE DIAMETER	W/O	WITHOUT
F.C.	FAN COIL	O.H.	OVER HANG	WD.	WOOD
F.C.O.	FLOOR CLEAN OUT	O.I.	ORNAMENTAL IRON	W.I.	WROUGHT IRON
F.D.	FLOOR DRAIN	O.R.	OUTSIDE RADIUS	YD.	YARD
F.E.	FIRE EXTINGUISHER	OAI	OUTSIDE AIR INTAKE		
F.F.	FINISH FLOOR	OH	OVER HEAD		



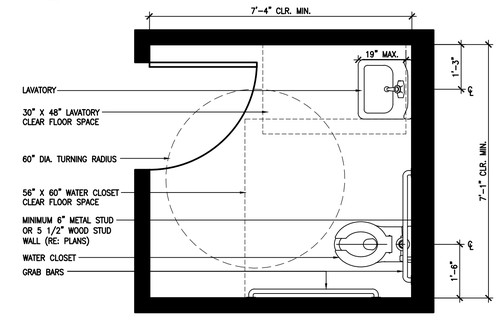
5 G2.00 DOOR CLEARANCES
SCALE: 1/4" = 1'-0"



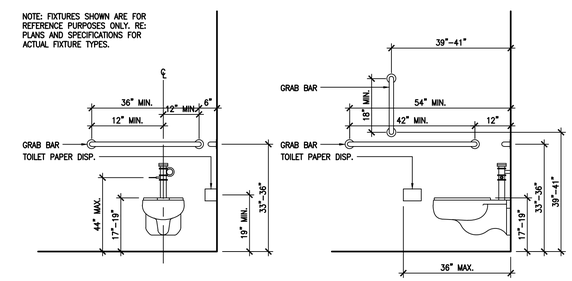
1 G2.00 CLEAR FLOOR SPACE AT ACCESSIBLE WATER CLOSETS
SCALE: 1/2" = 1'-0"



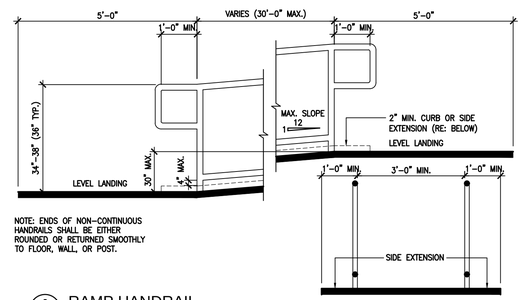
2 G2.00 ACCESSIBLE TOILET STALL
SCALE: 1/2" = 1'-0"



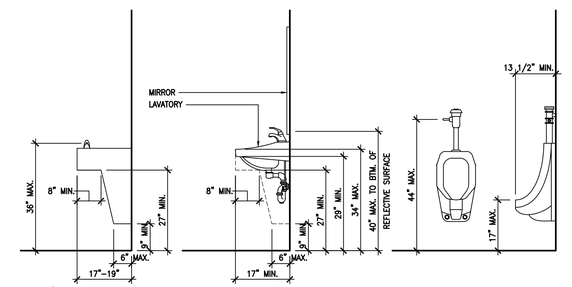
3 G2.00 STANDARD ACCESSIBLE SINGLE FIXTURE TOILET
SCALE: 1/2" = 1'-0"



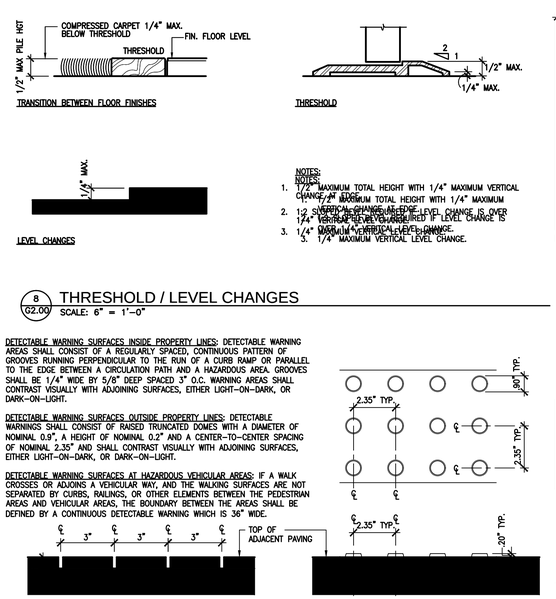
4 G2.00 MOUNTING HEIGHTS AT ACCESSIBLE WATER CLOSETS
SCALE: 1/2" = 1'-0"



6 G2.00 RAMP HANDRAIL
SCALE: 1/2" = 1'-0"



7 G2.00 ACCESSIBLE E.W.C, LAVATORY AND URINAL
SCALE: 1/2" = 1'-0"



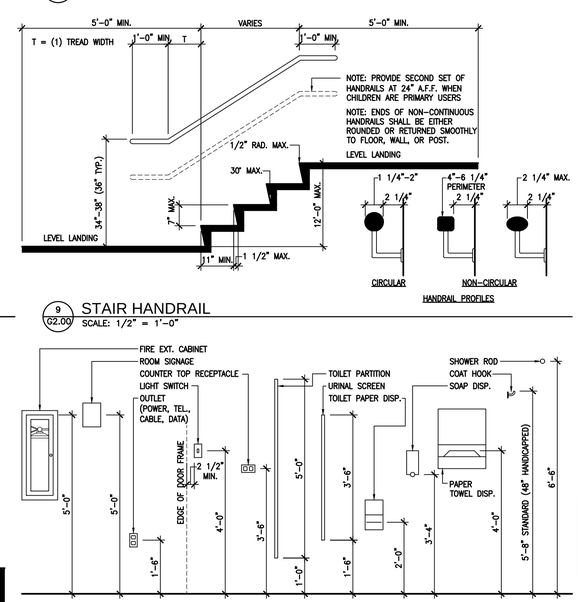
8 G2.00 THRESHOLD / LEVEL CHANGES
SCALE: 6" = 1'-0"

DETECTABLE WARNING SURFACES INSIDE PROPERTY LINES: DETECTABLE WARNING AREAS SHALL CONSIST OF A REGULARLY SPACED, CONTINUOUS PATTERN OF GROOVES RUNNING PERPENDICULAR TO THE RUN OF A CURB RAMP OR PARALLEL TO THE EDGE BETWEEN A CIRCULATION PATH AND A HAZARDOUS AREA. GROOVES SHALL BE 1/4" WIDE BY 5/8" DEEP SPACED 3" O.C. WARNING AREAS SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK, OR DARK-ON-LIGHT.

DETECTABLE WARNING SURFACES OUTSIDE PROPERTY LINES: DETECTABLE WARNINGS SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9", A HEIGHT OF NOMINAL 0.2" AND A CENTER-TO-CENTER SPACING OF NOMINAL 2.35" AND SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK, OR DARK-ON-LIGHT.

DETECTABLE WARNING SURFACES AT HAZARDOUS VEHICULAR AREAS: IF A WALK CROSSES OR ADJOINS A VEHICULAR WAY, AND THE WALKING SURFACES ARE NOT SEPARATED BY CURBS, RAILINGS, OR OTHER ELEMENTS BETWEEN THE PEDESTRIAN AREAS AND VEHICULAR AREAS, THE BOUNDARY BETWEEN THE AREAS SHALL BE DEFINED BY A CONTINUOUS DETECTABLE WARNING WHICH IS 36" WIDE.

10 G2.00 DETECTABLE WARNING SURFACES
SCALE: 3" = 1'-0"



9 G2.00 STAIR HANDRAIL
SCALE: 1/2" = 1'-0"

11 G2.00 STANDARD MOUNTING HEIGHTS
SCALE: 1/2" = 1'-0"

LETTERS AND NUMBERS:

1. LETTERS AND NUMBERS ON SIGNS SHALL BE RAISED 1/32" MINIMUM AND SHALL BE SANS-SERIF UPPERCASE CHARACTERS ACCOMPANIED BY GRADE 2 BRAILLE.
2. RAISED CHARACTERS OR SYMBOLS SHALL BE A MINIMUM OF 5/8" HIGH.
3. PICTORIAL SYMBOL SIGNS (PICTOGRAMS) SHALL BE ACCOMPANIED BY THE EQUIVALENT VERBAL DESCRIPTION PLACED DIRECLY BELOW THE PICTOGRAM. THE BORDER DIMENSION OF THE PICTOGRAM SHALL BE A MINIMUM OF 6" IN HEIGHT.
4. LETTERS AND NUMBERS ON SIGNS SHALL HAVE A WIDTH-TO-HEIGHT RATIO OF BETWEEN 3:5 AND 1:1 AND A STROKE WIDTH-TO-HEIGHT RATIO BETWEEN 1:5 AND 1:10.
5. CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND, EITHER LIGHT CHARACTERS ON A DARK BACKGROUND OR DARK CHARACTERS ON A LIGHT BACKGROUND.
6. CHARCTERS AND NUMBERS ON SIGNS SHALL BE SIZED ACCORDING TO THE VIEWING DISTANCE FROM WHICH THEY ARE TO BE READ. THE MINIMUM HEIGHT IS MEASURED USING AN UPPER CASE X. LOWER CASE CHARACTERS ARE PERMITTED. FOR SIGNS SUSPENDED OR PROJECTED GREATER THAN 80" ABOVE THE FINISH FLOOR, THE MINIMUM CHARACTER HEIGHT SHALL BE 3".
7. CONTRACTED GRADE 2 BRAILLE SHALL BE USED WHEREVER BRAILLE SYMBOLS ARE SPECIFICALLY REQUIRED IN OTHER PORTIONS OF THESE REGULATIONS. DOTS SHALL BE 1/10" ON CENTERS IN EACH CELL WITH 2/10" SPACE BETWEEN CELLS. DOTS SHALL BE RAISED A MINIMUM OF 1/40" ABOVE THE BACKGROUND.

SIGN LOCATIONS:

8. ALL BUILDING ENTRANCES THAT ARE ACCESSIBLE TO AND USABLE BY PERSONS WITH DISABILITIES AND AT EVERY MAJOR JUNCTION ALONG OR LEADING TO AN ACCESSIBLE ROUTE OF TRAVEL SHALL BE IDENTIFIED WITH A SIGN DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND WITH ADDITIONAL DIRECTIONAL SIGNS, AS REQUIRED, TO BE VISIBLE TO PERSONS ALONG APPROACHING PEDESTRIAN WAYS.
9. WHEN PERMANENT IDENTIFICATION IS PROVIDED FOR ROOMS AND SPACES, RAISED LETTERS SHALL BE PROVIDED AND SHALL BE ACCOMPANIED BY BRAILLE. SIGNS SHALL BE INSTALLED ON THE WALL ADJACENT TO THE LATCH OUTSIDE OF THE DOOR. WHERE THERE IS NO WALL SPACE ON THE LATCH SIDE, INCLUDING AT LEAF DOORS, SIGNS SHALL BE PLACE ON THE NEAREST ADJACENT WALL. PREFERABLY ON THE RIGHT. MOUNTING HEIGHT SHALL BE 60" ABOVE THE FINISH FLOOR TO THE CENTERLINE OF THE SIGN. MOUNTING LOCATION SHALL BE DETERMINED SO THAT THE PERSON MAY APPROACH WITHIN 3" OF THE SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF A DOOR.
10. ADDITIONAL DIRECTIONAL SIGNS ALONG ACCESSIBLE PATH OF TRAVEL ARE REQUIRED.
11. BUILDINGS REMODELED TO PROVIDE ACCESSIBLE SANITARY FACILITIES FOR PUBLIC USE SHALL HAVE INFORMATION POSTED IN THE LOBBY AS PART OF THE BUILDING DIRECTORY.

INTERNATIONAL SYMBOL OF ACCESSIBILITY:

12. STANDARD USED TO IDENTIFY ACCESSIBLE FACILITIES.
13. WHITE FIGURE ON BLUE BACKGROUND.
14. WHEN ENFORCING AGENCY DETERMINES, IF APPROPRIATE, SPECIAL DESIGNS AND COLORS MAY BE APPROVED.

BRAILLE:

15. USE CONTRASTED GRADE 2 BRAILLE. DOTS TO BE 0.1 INCH ON CENTER IN EACH CELL.
16. 0.2 INCH SPACE BETWEEN CELLS.
17. DOTS RAISED MINIMUM 0.025 INCH ABOVE BACKGROUND.

12 G2.00 ACCESSIBLE SIGNAGE
SCALE: NO SCALE

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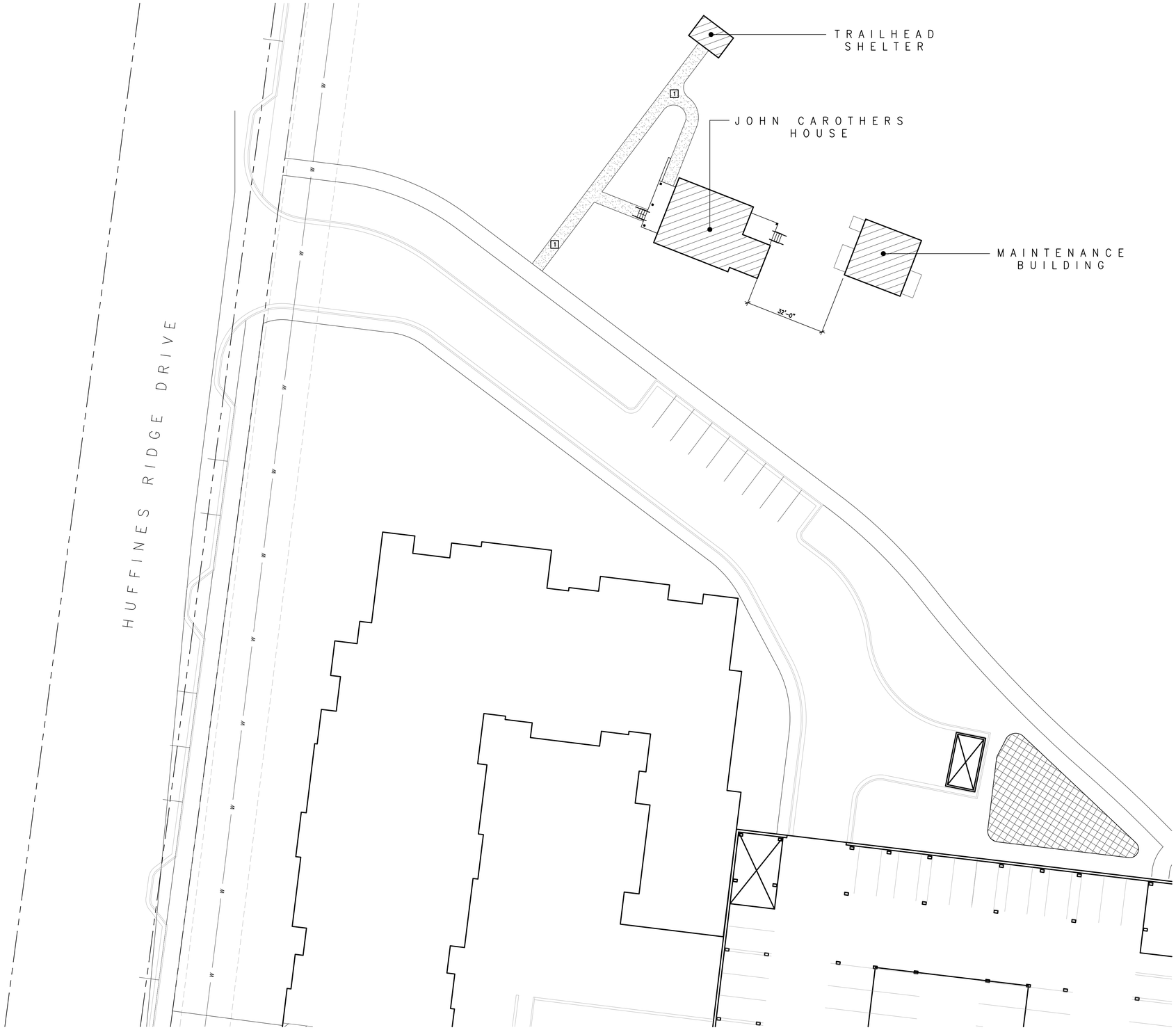

ARCHITECTURAL SITE PLAN
SCALE: 1" = 20'-0"

LEGEND

- PROPERTY LINE (RE: SURVEY)
- BUILDING LINE
- POWER LINE (RE: SURVEY)
- IMPERVIOUS CONCRETE PAVING (RE: CIVIL DWGS.)
- CONCRETE SIDEWALK (RE: CIVIL DWGS.)
- SEWER MANHOLE
- WATER VALVE
- FIRE HYDRANT
- POWER POLE
- POLE LIGHT
- WATER METER
- GAS COCK AND METER
- ELECTRICAL METER
- ROOF DRAIN LINE

SITE PLAN GENERAL NOTES

1. COORDINATE ALL WORK SCHEDULING AND COMPLY WITH SAFETY PROCEDURES THAT PROTECT ALL OCCUPANTS IN CONSTRUCTION AREAS.
2. CONSTRUCTION DEBRIS SHALL BE REMOVED AND/OR STORED AWAY FROM THE BUILDING ON A DAILY BASIS. DISPOSE OF TRASH AS REQUIRED BY ORDINANCE OR CODE.
3. PROPER SITE DRAINAGE SHALL BE MAINTAINED AT ALL TIMES, DAMAGE CAUSED BY FAILING TO MAINTAIN SITE DRAINAGE SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
4. PROVIDE COMPACTED FILL AT RUTS OR HOLES CAUSED BY CONSTRUCTION ACTIVITIES. REPAIR ANY CONCRETE DAMAGED DURING CONSTRUCTION.
5. ALL NEW PAVING SHALL BE REINFORCED CONCRETE. THICKNESS AND REINFORCING SHALL BE AS DETAILED ON CIVIL DRAWINGS.
6. ACCESSIBLE PARKING SPACE TO BE DESIGNATED BY BLUE STRIPING AND EITHER A BLUE SYMBOL ON A WHITE BACKGROUND OR A WHITE SYMBOL ON A BLUE BCAKGROUND. ACCESSIBLE PARKING STALLS REQUIRE THE INSTALLATION OF THE PROPER SIGNAGE.
7. ALL PARKING SPACES SHALL BE LAID OUT IN ACCORDANCE WITH THE TYPICAL DETAIL AS SHOWN ON THIS PLAN, UNLESS OTHERWISE INDICATED ON THIS PLAN.
8. PRIOR TO INSTALLATION AND POURING OF CONCRETE PAVING, CONTRACTOR SHALL VERIFY AND COORDINATE ALL CONDUIT SIZES AND ROUTES.
9. REFERENCE LANDSCAPE DRAWINGS FOR PLANTING AND SEEDING SCOPE OF WORK.

PARKING SUMMARY

SITE PLAN KEYNOTES

1. NEW CONCRETE SIDEWALK
2. -
3. -
4. -
5. -

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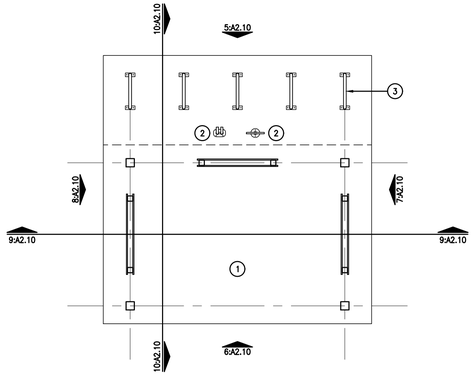
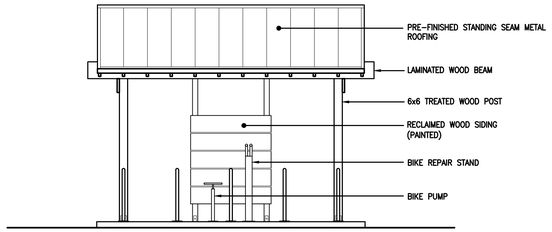
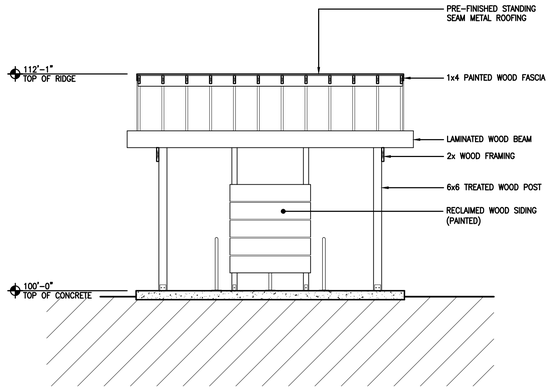
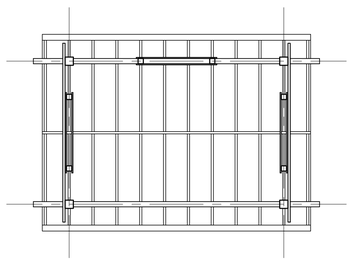


1 A2.10 ARCHITECTURAL FLOOR PLAN
SCALE: 1/4" = 1'-0"

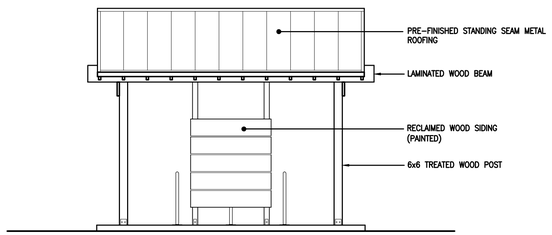


5 A2.10 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



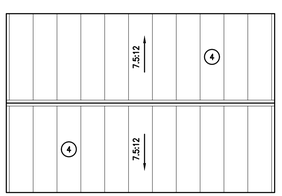


2 A2.10 ARCHITECTURAL CEILING PLAN
SCALE: 1/4" = 1'-0"

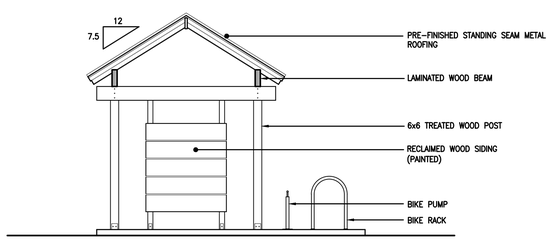


6 A2.10 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

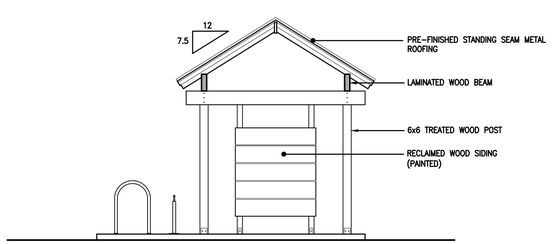
9 A2.10 SECTION
SCALE: 1/4" = 1'-0"



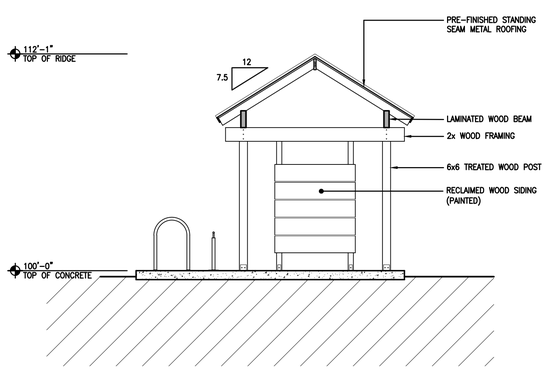
3 A2.10 ARCHITECTURAL ROOF PLAN
SCALE: 1/4" = 1'-0"



7 A2.10 EAST ELEVATION
SCALE: 1/4" = 1'-0"



8 A2.10 WEST ELEVATION
SCALE: 1/4" = 1'-0"



10 A2.10 SECTION
SCALE: 1/4" = 1'-0"

LEGEND

NEW DOOR AS SCHEDULED

NEW WALL AS SCHEDULED

GYP-1 PAINTED GYPSUM BOARD:

2'-0" x 4'-0" LED LIGHT WITH ACRYLIC LENS (RE: ELECTRICAL)

RECESSED CAN DOWNLIGHT (RE: ELECTRICAL)

EXIT LIGHT (RE: ELECTRICAL)

X'-X" AFF ELEVATION INDICATES CLEAR HEIGHT FROM FINISHED FLOOR TO FINISHED CEILING. ALL CEILING HEIGHTS = 9'-0" U.N.O.

GENERAL NOTES

1. INTERIOR FINISHES SHALL COMPLY WITH NFPA 101:36.3.3 (0-75) FLAMESPREAD WITH SMOKE DEVELOPMENT OF (0-450).
2. LOOSELY HANGING FURNISHINGS AND DECORATIONS SHALL BE FLAME RESISTANT AS DEMONSTRATED BY TESTING IN ACCORDANCE WITH NFPA 701.
3. ALL DIMENSIONS, UNLESS NOTED OTHERWISE, ARE TAKEN FROM FACE OF FRAMING.
4. INSULATION ASSEMBLIES SHALL MEET THE REQUIREMENTS OF SECTION 708, IBC, 2018 EDITION.

KEYNOTES

1. CONCRETE PAVING
2. BIKE TOOLS
3. BIKE RACK
4. PRE-FINISHED STANDING SEAM METAL ROOF
5. -
6. -
7. -
8. -
9. -
10. -

FUSION ARCHITECTURE

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Scales as stated hereon are valid on the original drawing only.

These plans were prepared in this office under our personal supervision, and to the best of our knowledge comply with state and local codes. We will generally administer construction.

By:

PHASE | REVISION	DATE
SCHEMATIC DESIGN	01.11.2019
DESIGN DEVELOPMENT	03.08.2019
CONSTRUCTION DOCUMENTS	-

JOHN CAROTHERS PROPERTY
TRAILHEAD SHELTER

HUFFINES RIDGE DRIVE
FRANKLIN, TENNESSEE 37067

EXHIBIT D

PROJECT NUMBER
03-014-18

SHEET TITLE
ARCH. PLANS

SHEET NUMBER
A2.10

EXHIBIT E

PARKLAND IMPACT FEE OFFSET - COST ESTIMATE

PARKLAND IMPACT FEES					
Parkland dedication fee	$4,304	426	EA	$1,833,504	

OFFSET COSTS					
Cost Line Item	UNIT COST	QTY	UNIT	ALLOWANCE*	NOTES
House Renovation, unsafe structure demo	$350	1068	SF	$373,800	Assumption-based, architect and contractor engaged to provide estimates
Trail Construction	$300,000	1	LS	$300,000	OE compiling a custom estimate for Legacy Cool Springs
Arboretum / Pavilion	$75,000	1	LS	$75,000	Assumption
Trail Head Storm Shelter	$150	150	SF	$22,500	
Maintenance Shed	$150	576	SF	$86,400	
Historic Stone Wall Restoration	$200,000	1	LS	$200,000	
Parking Lot - 10 spaces	$150,000	1	LS	$150,000	
Park Signage	$25,000	1	LS	$25,000	
Design Fees	$17,500	1	LS	$17,500	
Land Dedication	$62,121	10.03	AC	$623,074	
				$1,873,274	

*Allowance indicates known project cost/exposure but an unquantifiable amount given current data.

COF Contract No. 2019-0096

Exhibit F: Opinion of Cost

Based on the City of Franklin's Parkland Dedication Ordinance (Ordinance 2016-25, Franklin Municipal Code §25-405, and hereinafter, "Ordinance"), the opinion of cost is as follows. Legacy, LLC (hereinafter, "Legacy") will be developing the property known as Huffines Ridge, which is located at 1343 Huffines Ridge Drive, Franklin, Williamson County, Tennessee. The development is proposed to include four hundred twenty-six (426) apartment units, a one hundred seventy (170) room hotel, and an office building consisting of approximately 150,000 square feet. The total number of dwelling units on the property is proposed to be four hundred twenty-six (426) units. The Total Parkland Impact Fee Obligation Per Dwelling Unit fee, as listed in Appendix A, Chapter 25, of the Franklin Municipal Code (hereinafter, "Appendix"), is $4,304.00.

The total obligation for Huffines Ridge, based on the four hundred twenty-six (426) dwelling units at the assessed price of $4,304.00 is $1,833,504.00. According to the Ordinance, this amount must be paid "at the same time the fees that are due for recording of the final plat, or for issuance of a building permit, whichever occurs first, or in accordance with the provisions of the City of Franklin Charter or a Contract for Parkland Impact Fees, Parkland Dedication and/or Construction of Park Improvements approved by the BOMA, when applicable." The amount may be reimbursed in part or in full based on the Parks Department's assessment of any parkland construction on the development's property.

Legacy intends to dedicate 10.03 acres of land to the City and construct a mountain bike trail system, arboretum, and restore the property's historic home on the Huffines Ridge property. The Appendix states, Off-sets for Private Parkland set-aside available for Public use when in an all access public easement will be "calculated at 100% of the Parkland Dedication in Lieu of Parkland Impact Fee Off-Set amount if the parkland improvement is a project consistent with the Comprehensive Parks and Recreation Master Plan." Based on this calculation, Legacy is eligible for a one hundred (100) percent off-set of the parkland impact fees in the amount of $1,833,504.00 for the dedication of land, construction of the mountain bike trail and arboretum, and the restoration of the property's historic home. This is the maximum off-set amount available for this project, and it will be reimbursed to Legacy at the completion of the project.

The table below is a summary of the above information.

Total Parkland Impact Fee for 426 units @ $4,304/unit	$1,833,504.00
Eligible amount of off-set based on 100% of total Parkland Impact Fee	$1,833,504.00