

LOCKWOOD GLEN
PUD SUBDIVISION
DEVELOPMENT PLAN REVISION 2
SD-R (SPECIFIC DEVELOPMENT - RESIDENTIAL)
FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

SITE DATA

SUBDIVISION/DEVELOPMENT:
COF PROJECT NUMBER:
TAX MAP & PARCELS:
ADDRESS
CITY:
COUNTY:
STATE:
CIVIL DISTRICT:

LOCKWOOD GLEN PUD SUBDIVISION
6676
MAP 89 - PARCELS 48.01, 43.01, 43.06
SOUTH CAROTHERS ROAD
FRANKLIN
WILLIAMSON
TENNESSEE
14TH

EXISTING ZONING - CHARACTER OVERLAY
OTHER APPLICABLE OVERLAYS:

SD-R - McEWEN CHARACTER AREA 6
FLOODWAY FRINGE OVERLAY (FFO)
FLOODWAY OVERLAY DISTRICT (FWO)

APPLICABLE DEVELOPMENT STANDARDS:

CONVENTIONAL

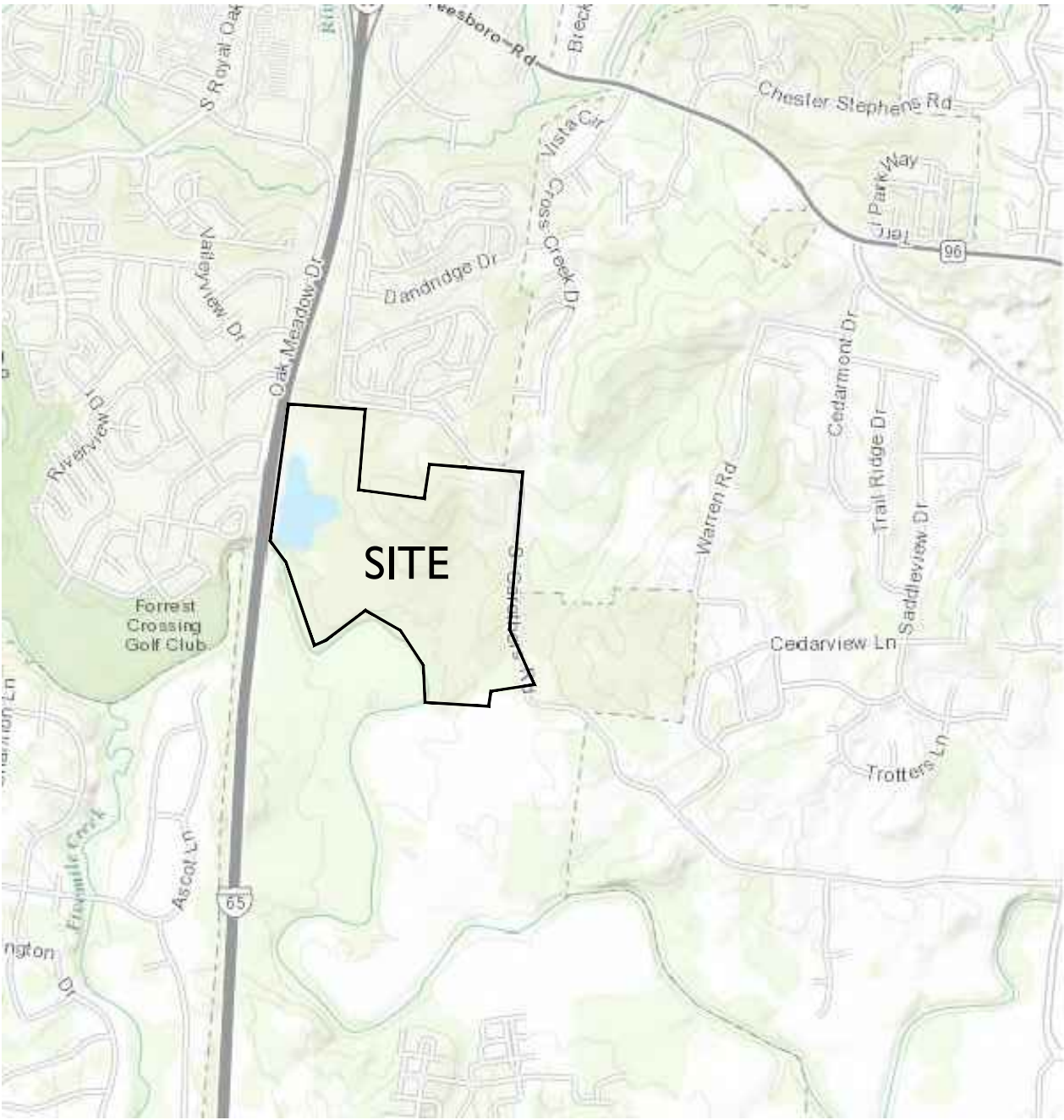
CIVIL DISTRICT:

14

DEVELOPER:
HDP LOCKWOOD GLEN, LLC
572 SAVANNAH HIGHWAY
CHARLESTON, SC 29407
843-573-9635
ted.terry@crescenthomes.net

APPLICANT & LANDSCAPE ARCHITECT:
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GREG GAMBLE
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ENGINEER:
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MICHAEL RAY
1420 DONELSON PIKE
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michael.ray@eli-llc.com



NOTE: THIS DEVELOPMENT PLAN REVISION DOES NOT SEEK TO REVISE ANY CONDITIONS OR PARAMETERS CONTAINED IN THE APPROVED LOCKWOOD GLEN DEVELOPMENT PATTERN BOOK. ALL CONDITIONS AND REGULATIONS SET FORTH SHALL REMAIN

SHEET INDEX

C0.1 CURRENTLY APPROVED DEVELOPMENT PLAN
C1.0 EXISTING CONDITIONS
C1.1 ENLARGED EXISTING CONDITIONS PLAN
C2.0 ENLARGED DEVELOPMENT PLAN
C3.0 OVERALL GRADING AND DRAINAGE PLAN
C4.0 OVERALL ROW AND ACCESS PLAN
C5.0 OVERALL UTILITY PLAN
A1.0 ARCHITECTURAL CHARACTER

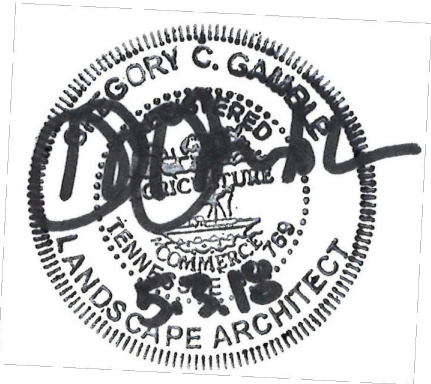
DEVELOPMENT SUMMARY

ORIGINAL PUD COF#1619
APPROVED 9/10/2008 AS NICHOLS BEND

LOCKWOOD GLEN DEVELOPMENT PLAN REVISION 1 COF#6120
APPROVED APRIL 2017
- ADDED KING PARCEL TO SECTION 12
- REMOVED 7.35 AC FROM PUD TO REZONE COMMERCIAL

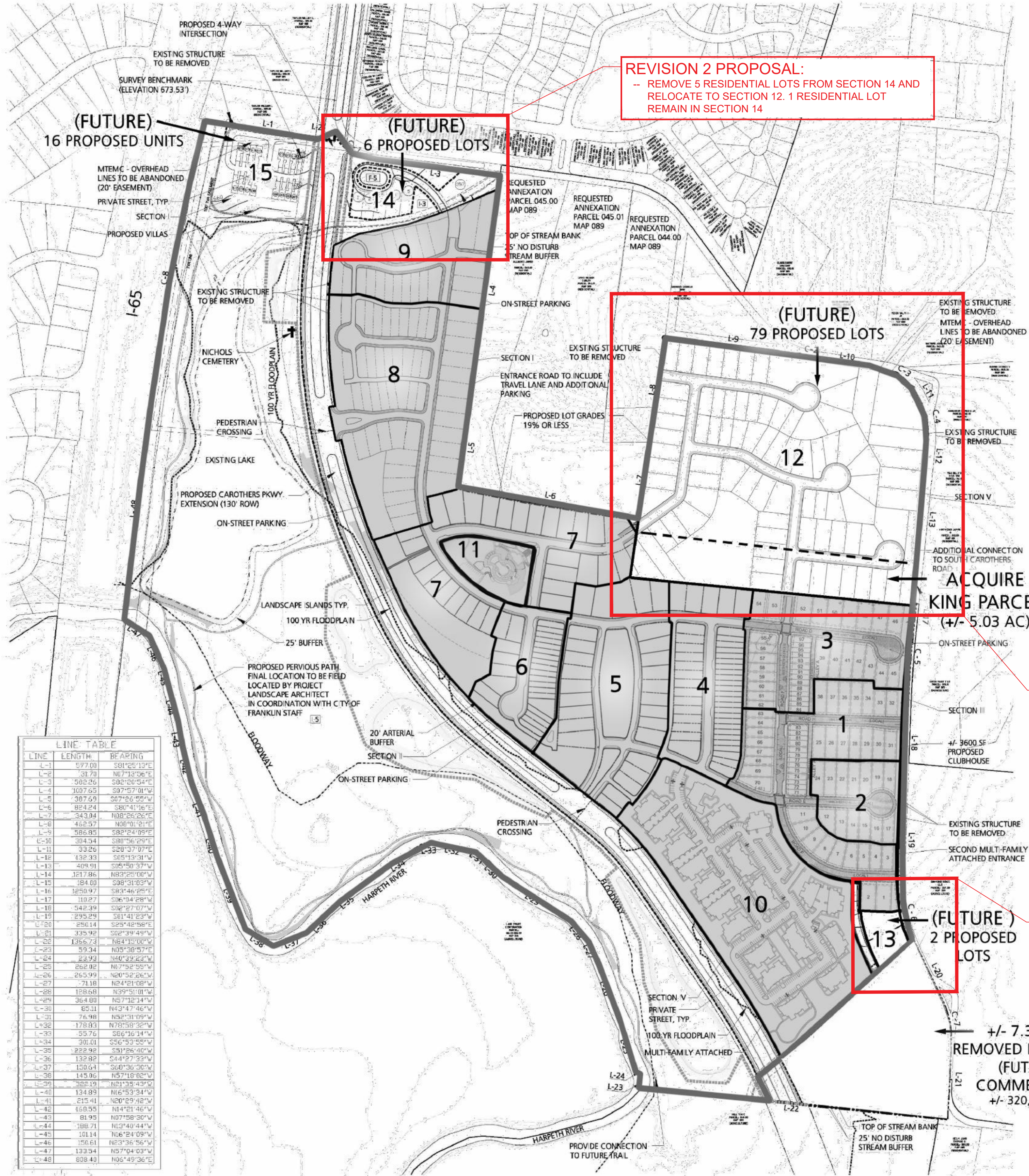
LOCKWOOD GLEN DEVELOPMENT PLAN REVISION 2 COF#XXXX
PROPOSED CHANGES:
SECTION 12 - 11 RESIDENTIAL LOTS (PREVIOUSLY 79 RESIDENTIAL LOTS)
SECTION 13 - 0 RESIDENTIAL LOTS (PREVIOUSLY 2 RESIDENTIAL LOTS)
SECTION 14 - 1 RESIDENTIAL LOTS (PREVIOUSLY 6 RESIDENTIAL LOTS)
SECTION 15 - 16 UNITS (NO CHANGE; NOT INCLUDED IN DEVT PLAN REVISION)
SECTION 16 - 50 RESIDENTIAL LOTS (NEW SECTION)
SECTION 17 - 28 RESIDENTIAL LOTS (NEW SECTION)

TOTAL - 106 RESIDENTIAL LOTS/UNITS (NO CHANGE)



PRE-APPLICATION SUBMITTAL: JANUARY 22, 2018
INITIAL SUBMITTAL: APRIL 9, 2018
RESUBMITTAL: MAY 3, 2018
COF# 6676

GDC
GAMBLE
DESIGN COLLABORATIVE
DEVELOPMENT PLANNING AND
LANDSCAPE ARCHITECTURE
greg.gamble@gdc-tn.com



REVISION 2 PROPOSAL:
-- REMOVE 5 RESIDENTIAL LOTS FROM SECTION 14 AND RELOCATE TO SECTION 12. 1 RESIDENTIAL LOT REMAIN IN SECTION 14

SITE DATA (PER APPROVED CONCEPT PLAN)
THIS SITE IS FOUND IN THE CITY OF FRANKLIN, WILLIAMSON COUNTY, TENNESSEE
MAP 89, PARCELS 43.01, 46, 47 & 48.

GROSS SITE AREA:	±220.90 AC.
EXISTING ZONING:	LR-LOW RESIDENTIAL
EXISTING LAND USE:	AGRICULTURAL
PROPOSED LAND USE:	RESIDENTIAL (PUD)
PROPOSED ZONING:	PR - PLANNED RESIDENTIAL (PR 2.82)
TOTAL PROPOSED DWELLING UNITS:	240 MULTI-FAMILY ATTACHED 384 SINGLE-FAMILY LOT (STREET ACCESS: 147) (ALLEY ACCESS: 221) (PRIVATE ACCESS: 16)
NET DENSITY:	± 220.90 AC.
GROSS ACREAGE:	(1) ± 73.61 AC
FLOODPLAIN:	(1) ± 5.17 AC
TVA EASEMENT:	(1) ± 14.76 AC SOUTH CAROTHERS PKWY. EXTENSION
PROPOSED F.O.W. DEDICATION:	(1) ± 20.53 AC
OPEN SPACE:	± 106.83 AC
PROPOSED NET DENSITY:	5.84 NET DU/AC
PROPOSED GROSS DENSITY:	2.82 DU/AC

REVISED SITE DATA

CURRENT LOCKWOOD GLEN SITE AREA	220.90 AC
PROPOSED COMMERCIAL AREA	- 7.35 AC
LOCKWOOD GLEN RESIDENTIAL AREA	213.55 AC
KING PARCEL ADDITION	+ 5.03 AC
TOTAL LOCKWOOD GLEN RESIDENTIAL AREA	218.58 AC
PROPOSED SITE DENSITY	2.92
TOTAL UNITS PROPOSED	638 UNITS
TOTAL UNITS UNDER REVIEW OR APPROVED THROUGH SITE PLAN:	533
TOTAL REMAINING UNITS	105

LOCKWOOD GLEN - RESIDENTIAL LAND USE DATA - DEVELOPMENT PLAN REVISION #1

DEVELOPMENT	SITE PLAN SUBMITTED	APPROVAL DATE	PREVIOUS ZONED ACRES	TOTAL SD-R ZONED ACRES PER PUD REVISION 04/11/16	APPROVED DWELLING UNITS	TOTAL DWELLING UNITS PER PUD REVISION 04/11/16	APPROVED REMAINING ACRES	TOTAL REMAINING SD-R ZONED ACRES PER PUD REVISION 04/11/16	APPROVED REMAINING DWELLINGS	TOTAL REMAINING DWELLING UNITS PER PUD REVISION 04/11/16
CONCEPT PLAN	N/A	SEPT. 2008	±220.90	±218.58	624	638 (+14)	±220.90	±218.58	624	638 (+14)
SECTION 1	X	MAY 2013	±19.80	±19.80	46	46	211.10	208.78	578	592
SECTION 2	X	MAY 2013	3.00	3.00	13	13	208.1	205.78	565	579
SECTION 3	X	MAY 2013	7.20	7.20	38	38	200.9	198.58	527	541
SECTION 4	X	APRIL 2014	6.59	6.59	44	44	194.31	191.99	483	497
SECTION 5	X	APRIL 2014	10.56	10.56	27	27	183.75	181.43	456	470
SECTION 6	X	APRIL 2014	4.03	4.03	26	26	179.72	177.40	430	444
SECTION 7	X	APRIL 2014	12.62	12.62	28	28	167.1	164.78	402	416
SECTION 8	X	JAN. 2016	12.35	12.35	50	50	154.75	152.43	352	366
SECTION 9	X	FEB 2016	5.63	5.63	21	21	149.12	146.80	331	345
SECTION 10	X	JULY 2016	15.56	15.56	239	239	133.56	131.24	92	106
SECTION 11	X	JUNE 2016	1.88	1.88	0	0	±133.56	±131.24	92	106
SECTION 12	*****		27.90	32.93	51	79	105.66	98.31	41	27
SECTION 13	*****		8.36	±10.1	10	2	97.30	97.30	31	25
SECTION 14	*****		3.81	3.81	6	6	93.49	93.49	25	19
SECTION 15	*****		4.41	4.41	16	16	89.08	89.08	9	3

* TOTAL SITE AREA FROM SURVEY = 220.90 AC

** INCLUDES 0.78 ACRES CAROTHERS ROAD R.O.W. DEDICATION

*** SECTION 11 IS THE SITE PLAN SUBMITTAL OF THE AMENITY CENTER - THIS ACREAGE IS INCLUDED IN SECTION 7

**** REVISED ACREAGE PER ACQUISITION OF +/- 5.35 ACRES AND THE REMOVAL OF +/- 7.35 ACRES TO MC ZONING

***** SECTION 13 - +/- 7.35 ACRES REZONED TO NEIGHBORHOOD COMMERCIAL (NC)

SEE SHEET C-0.4 "REVISED PUD BOUNDARY" FOR REVISED DEVELOPMENT PROPERTY, BOUNDARY CALLS, AND LEGAL DESCRIPTION

REVISION 2 PROPOSAL:
- CAPTURE (1) LOTS FROM PREVIOUSLY APPROVED SECTION 13
- CAPTURE (6) LOTS FROM PREVIOUSLY APPROVED SECTION 14
- CAPTURE (3) PREVIOUSLY APPROVED LOTS

89 TOTAL PROPOSED UNITS
-11 IN SECTION 12 (PREVIOUSLY 79)
-50 IN SECTION 16 (NEW PHASE)
-28 IN SECTION 17 (NEW PHASE)

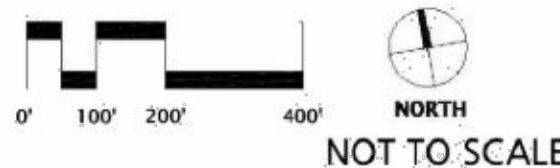
REVISION 2 PROPOSAL:
REMOVE (2) LOTS FROM SECTION 13 AND RELOCATE TO SECTION 12; NO RESIDENTIAL LOTS TO REMAIN. AREA TO REMAIN AS NON-BUILDABLE OPEN SPACE

+/- 7.35 AC
REMOVED FROM PUD
(FUTURE COMMERCIAL)
+/- 320,166 SF

LEGEND

- SECTIONS WITH SITE PLAN APPROVAL
- REVISED LOCKWOOD GLEN PUD AREA

- LEGEND
- EXISTING CONTOURS
 - PROPOSED CONTOURS
 - SLOPES 14-19%
 - SLOPES ±20%
 - SECT ON LINE
 - OPEN SPACE AREAS



SURVEY PROVIDED BY:
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ARCHITECTURE & GRAPHIC DESIGN
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EDGE
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Suite 202
Nashville, Tennessee 37203
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ENERGY LAND & INFRASTRUCTURE
HARD CONSTRUCTION & DESIGN INC. - NASHVILLE, TN 37203
ENGINEERS - PLANNERS - ARCHITECTS - INFRASTRUCTURE - ENVIRONMENTAL

CONSULTANTS

SEAL

PROJECT TITLE

LOCKWOOD GLEN PUD SUBDIVISION
DEVELOPMENT PLAN REVISION #1
C.O.F. #6120
FRANKLIN, TN

CLIENT

CRESCENT
LOCKWOOD LLC.
FRANKLIN, TN.

PROJECT NO. 6120

Date 04/11/16

Revisions

05/05/16 C.O.F. COMMENTS

COF RESUBMITTAL 04/20/17

Sheet Title

WORKING CONCEPT
PLAN

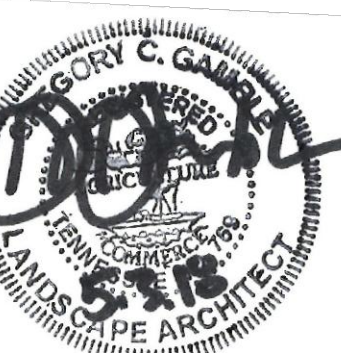
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DEVELOPMENT PLANNING AND
LANDSCAPE ARCHITECTURE

LOCKWOOD GLEN PUD SUBDIVISION
DEVELOPMENT PLAN, REVISION 2

FRANKLIN, Williamson County, Tennessee



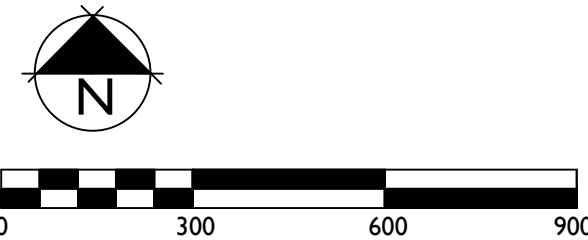
Revision Date
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APPROVED
DEVELOPMENT
PLAN

C0.1

COF #6676

CURRENT APPROVED DEVELOPMENT PLAN REVISION 1 - NTS
FOR REFERENCE ONLY



LINE TABLE		
LINE	LENGTH	BEARING
L-1	37.00	S81°25'13"E
L-2	81.00	N07°13'36"E
L-3	588.26	S82°20'54"E
L-4	1067.65	S07°57'04"E
L-5	387.69	S89°26'04"E
L-6	842.24	S80°41'16"E
L-7	34.34	S89°26'26"E
L-8	462.57	N80°01'21"E
L-9	686.85	S89°56'21"E
L-10	304.54	S89°56'21"E
L-11	33.26	S88°37'07"E
L-12	132.33	S05°19'31"E
L-13	409.91	S05°50'33"E
L-14	127.16	S04°00'00"E
L-15	183.00	S81°31'03"E
L-16	1250.97	S83°46'28"E
L-17	110.27	S05°04'28"E
L-18	548.39	S89°56'21"E
L-19	295.29	S01°41'23"E
L-20	250.14	S25°42'58"E
L-21	33.92	S02°39'49"E
L-22	1366.73	N04°14'00"E
L-23	39.34	N83°38'57"E
L-24	23.93	N40°39'23"E
L-25	262.02	N17°52'55"E
L-26	265.39	N20°52'26"E
L-27	71.18	N89°56'21"E
L-28	128.68	N39°51'51"E
L-29	36.40	N51°12'14"E
L-30	85.11	N43°47'46"E
L-31	76.98	N89°56'21"E
L-32	178.83	N75°38'32"E
L-33	55.76	S86°16'44"E
L-34	30.01	S56°53'55"E
L-35	222.92	S31°26'40"E
L-36	132.62	S44°12'34"E
L-37	150.64	S67°36'30"E
L-38	145.06	S15°18'02"E
L-39	322.19	N21°35'43"E
L-40	134.89	N89°56'21"E
L-41	215.41	N20°29'42"E
L-42	168.55	N14°21'45"E
L-43	81.95	N07°58'30"E
L-44	588.71	N89°56'21"E
L-45	101.14	N16°24'09"E
L-46	15.61	N23°36'56"E
L-47	133.54	N50°49'36"E
L-48	88.00	N06°49'03"E

[illegible]

LOCKWOOD GLEN PUD SUBDIVISION
DEVELOPMENT PLAN, REVISION 2

FRNAKLIN, Williamson County, Tennessee

FRNAKLIN, Williamson County, Tennessee



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△ _____

△ _____

△ _____

C1.0

COF#6676

BOUNDARY AND TOPOGRAPHY SURVEY PROVIDED BY
WILLIAMSON COUNTY GIS



LEGEND

EXISTING TREE CANOPY

PRE-DEVELOPMENT BASINS

EXISTING SLOPES

14% - 19.99%

20% AND GREATER

TREE CANOPY DATA

EXISTING TREE CANOPY: 388,947 SF (31.7% OF SECTION 12)
REQUIRED CANOPY PRESERVATION = 48%

REQUIRED PRESERVATION = 186,695 SF (4.29 AC)

NOTE:
PER APPROVED DEVELOPMENT PLAN (COF #6120) THERE ARE NO TREE CANOPY PRESERVATION REQUIREMENTS ASSOCIATED WITH THIS SITE.

SITE DATA

SUBDIVISION/DEVELOPMENT	LOCKWOOD GLEN PUD SUBDIVISION
EXISTING ZONING/ CHARACTER AREA OVERLAY	SD-R - McEWEN AREA 6
OTHER APPLICABLE OVERLAYS	FLOODWAY FRINGE OVERLAY (FFO) FLOODWAY OVERLAY DISTRICT (FWO)
DEVELOPMENT STANDARD	CONVENTIONAL
(MINERAL RIGHTS FOR THIS PROPERTY ARE HELD BY OWNER OF RECORD.)	
AGREAGE OF SITE (PER THIS SECTION ONLY)	+/- 32.93 ACRES
EXISTING TREE CANOPY (SECTIONS 12, 16, 17 ONLY)	+/- 8.92 ACRES (29% OF SECTION 12)

PRE-DEVELOPMENT STORMWATER NARRATIVE
SECTION 12 OF THE LOCKWOOD GLEN PUD SUBDIVISION IS APPROXIMATELY 28 ACRES. THE SITE IS IN THE NORTHEAST CORNER OF THE SUBDIVISION AND IS BOUNDED BY CAROTHERS ROAD TO THE NORTH AND EAST. THE PROPERTY IS MOSTLY GRASSED WITH SOME CLUSTERED TREES. THERE ARE SEVERAL EXISTING STRUCTURES WITH DRIVEWAY ON DIFFERENT PORTIONS OF THE SITE THAT WILL BE REMOVED DURING DEVELOPMENT. THE PREDOMINANT SOILS IN THE AREA ACCORDING TO THE AVAILABLE NRSC SOIL RESOURCE REPORT FOR WILLIAMSON COUNTY, TENNESSEE ARE ROCKLAND (RC); STIVERSVILLE SILT LOAM, 5 TO 12 PERCENT SLOPES, ERODED (STC2); TALBOTT VERY ROCKY SOILS, 2 TO 15 PERCENT SLOPES (TVD); INMAN SILTY CLAY LOAM, 12 TO 20 PERCENT SLOPES, SEVERELY ERODED (IND3) AND STIVERSVILLE CLAY LOAM, 12 TO 20 PERCENT SLOPES, SEVERELY ERODED (SRD3). THE SITE HAS BEEN DIVIDED INTO THREE (3) DRAINAGE BASINS. BASIN 1 DRAINS SOUTHWARDLY TO AN EXISTING 24" PIPE CONSTRUCTED AS PART OF SECTION 3 OF LOCKWOOD GLEN. BASIN 2 DRAINS TOWARD THE EAST TO AN EXISTING ELIPTICAL CMP UNDER CAROTHERS ROAD. BASIN 3 DRAINS TO THE ROADSIDE DITCH ALONG THE SOUTH SIDE OF CAROTHERS ROAD. RUNOFF FROM EACH OF THESE BASINS IS CONVEYED PRIMARILY VIA SHEET FLOW AND SHALLOW CONCENTRATED FLOW. THERE IS AN EXISTING FARM IN BASIN 1 THAT WILL BE MODIFIED AND CONVERTED INTO A DETENTION POND DURING CONSTRUCTION. THERE ARE NO EXISTING WATER QUALITY BMPs TO TREAT RUNOFF FROM THE EXISTING SITE. GRADING & DRAINAGE DATA CHARTS HAVE BEEN PREPARED AND ARE SHOWN FOR EACH BASIN.

SOILS LEGEND

ArB2	Armour Silt Loam, 2 To 5 Percent Slopes, Eroded
AtC2	Armour Silty Clay Loam, 5 to 12 Percent Slopes, Eroded
AtC3	Armour Silty Clay Loam, 5 to 12 Percent Slopes, Severely Eroded
CaA	Caplina Silt Loam, Phosphatic, 0 to 2 Percent Slopes
CaB2	Caplina Silt Loam, Phosphatic, 2 to 5 Percent Slopes, Eroded
HeB2	Hampshire-Colbert Silt Loams, 2 to 5 Percent Slopes, Eroded
HeC2	Hampshire-Colbert Silt Loams, 5 to 12 Percent Slopes, Eroded
HeD2	Hampshire-Colbert Silt Loams, 12 to 20 Percent Slopes, Eroded
HnC3	Hampshire-Colbert Silty Clay Loams, 5 to 12 Percent Slopes, Severely Eroded
HoC3	Hicks Silty Clay Loams, 5 to 12 Percent Slopes, Severely Eroded
Hu	Huntington Silt Loam, Phosphatic
InD3	Inman Silty Clay Loam, 12 to 20 Percent Slopes, Severely Eroded
Lp	Lindside Silt Loam, Phosphatic
Rc	Rockland
Se	Sequatchie Loam, Phosphatic
StB2	Stiversville Silt Loam, 2 to 5 Percent Slopes, Eroded
StC2	Stiversville Silt Loam, 5 to 12 Percent Slopes, Eroded
StD2	Stiversville Silt Loam, 12 to 20 Percent Slopes, Eroded
StD3	Stiversville Silt Loam, 12 to 20 Percent Slopes, Severely Eroded
TvD	Talbott Very Rocky Soils, 2 to 15 Percent Slopes

- NOTES:**
- DEVELOPER TO RETAIN ALL MINERAL RIGHTS.
 - STRUCTURES CURRENTLY EXIST ON SITE - SEE PLAN
 - THERE ARE NO HISTORIC STRUCTURES WITHIN 500' OF THE SITE

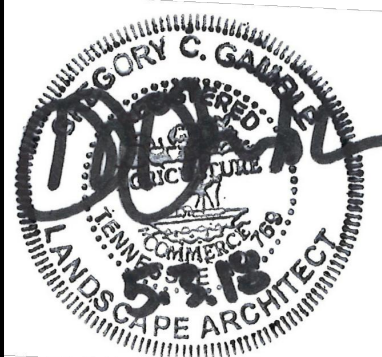
SPECIMEN TREES

NO.	Size	Species
1	26"	OAK
2	24"	SYCAMORE
3	24"	ELM
4	30"	ELM
5	24"	ELM
6	24"	HACKBERRY
7	27"	ELM
8	24"	ELM
9	18"	CEDAR
10	36"	OAK
11	24"	ELM
12	26"	CEDAR
13	28"	HACKBERRY
14	36"	HACKBERRY
15	54"	OSAGE
16	30"	HACKBERRY
17	30"	HACKBERRY
18	24"	CEDAR
19	48"	OAK
20	24"	HACKBERRY
21	30"	ELM
22	42"	MAPLE
23	48"	HACKBERRY
24	58"	OAK
25	39"	OSAGE
26	30"	HACKBERRY
27	36"	SYCAMORE
28	36"	HACKBERRY
29	30"	HACKBERRY
30	24"	WALNUT
31	24"	ELM
32	24"	HACKBERRY
33	42"	HACKBERRY
34	29"	HACKBERRY
35	28"	HACKBERRY
36	24"	HACKBERRY
37	28"	HACKBERRY
38	24"	CEDAR
39	42"	MAPLE
40	26"	HACKBERRY
41	24"	HACKBERRY
42	24"	HACKBERRY
43	39"	HACKBERRY
44	27"	HACKBERRY
45	36"	HACKBERRY
46	36"	HACKBERRY
47	24"	HACKBERRY
48	36"	HACKBERRY
49	30"	HACKBERRY
50	36"	HACKBERRY
51	30"	HACKBERRY
52	30"	HACKBERRY
53	24"	ELM
54	40"	CEDAR
55	24"	WALNUT
56	24"	OAK
57	30"	OAK



LOCKWOOD GLEN PUD SUBDIVISION
DEVELOPMENT PLAN, REVISION 2

FRNAKLIN, Williamson County, Tennessee

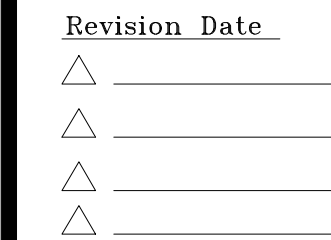
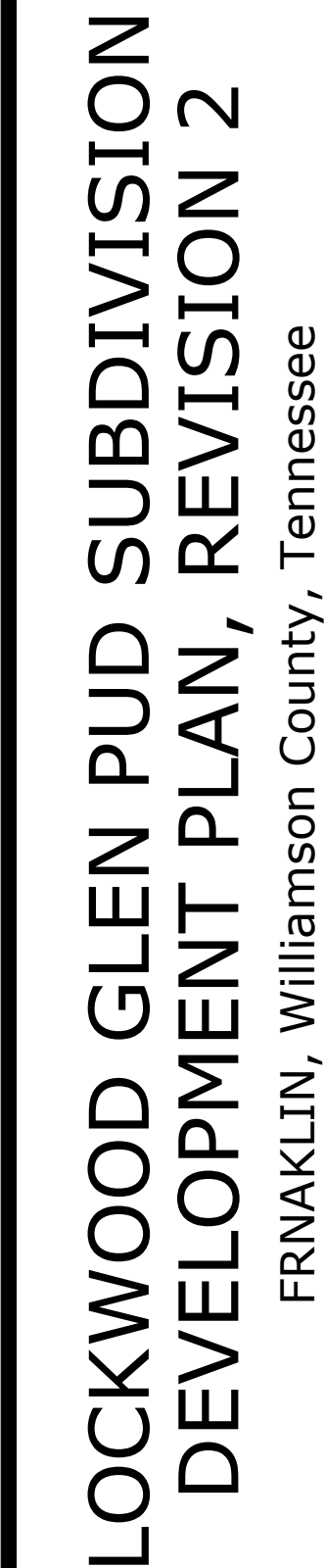


Revision	Date
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EXISTING
CONDITIONS

C1.1

COF #6676



C2.0

SITE DATA

SITE DATA:	LOCKWOOD GLEN PUD SUBDIVISION
SUBDIVISION / DEVELOPMENT:	REVISION #2
EXISTING ZONING / CHARACTER AREA OVERLAY:	SD-R / MCEVEN AREA 6
OTHER APPLICABLE OVERLAYS:	FLOODWAY FRINGE OVERLAY (FFO)
	FLOODWAY OVERLAY DISTRICT (FWO)
DEVELOPMENT STANDARD:	CONVENTIONAL
SITE ACREAGE (THIS SITE ONLY):	+/- 39.23 AC
EXISTING TREE CANOPY (THIS SECTION ONLY):	+/- 9.48 AC (29% OF SITE)

REVISED SITE DATA:

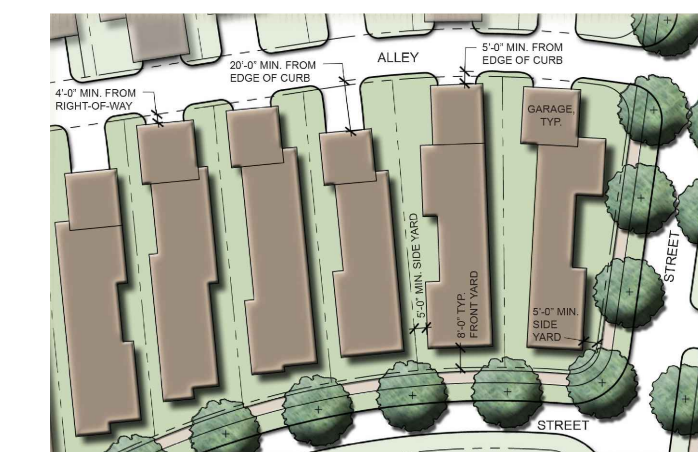
LOCKWOOD GLEN RESIDENTIAL AREA (DOES NOT CHANGE):	218.58 AC
TOTAL PERMITTED UNITS (NO CHANGE):	638 UNITS
PROPOSED SITE DENSITY (NO CHANGE):	2.92 DUA
TOTAL UNITS PREVIOUSLY SUBMITTED (NO CHANGE):	532 UNITS
CURRENT REMAINING PERMITTED UNITS (NO CHANGE):	106 UNITS

PROPOSED UNITS:	
PHASE 12 PREVIOUSLY APPROVED UNITS:	79 UNITS
+ SECTION 12 PROPOSED UNITS:	11 UNITS
SECTION 13: PREVIOUSLY APPROVED UNITS:	2 UNITS
+ SECTION 13 PROPOSED UNITS:	0 UNITS
SECTION 14: PREVIOUSLY APPROVED UNITS:	6 UNITS
+ PHASE 14 PROPOSED UNITS:	16 UNITS
+ PHASE 15 (NO CHANGE):	1 UNITS
+ SECTION 16 (NEW SECTION):	50 UNITS
+ SECTION 17 (NEW SECTION):	28 UNITS
+ TOTAL PROPOSED UNITS:	106 UNITS
PROPOSED REMAINING PERMITTED UNITS:	0 UNITS

GENERAL LIGHTING STANDARDS:
SECTION 12 WILL IMPLEMENT APPROVED LIGHTING FIXTURES CURRENTLY FOUND THROUGHOUT DEVELOPMENT.

SPECIMEN TREES:
SEE EXISTING CONDITIONS SHEET C1.1 FOR SPECIMEN TREE CHART

LOT STANDARDS:
LOT STANDARDS (INCLUDING LOT DIAGRAMS AND SETBACK STANDARDS LISTED BELOW) PER APPROVED PATTERN BOOK.



GARDEN HOMES LOTS (32 TOTAL):
GARDEN HOMES ARE LOCATED ON LOTS
330-361

GARDEN HOMES STANDARDS:

ALLEY ACCESS WITH REAR LOADED GARAGES PER C.O.F. DESIGN STANDARDS

TYPICAL HOME SQUARE FOOTAGE: 1,800 - 2,800 SF

LOT WIDTH: 45' Min.*

* (MODIFIED FROM 38' MIN IN APPROVED PATTERN BOOK)

LOT DEPTH: 120' Min.

STREET YARD SETBACKS:

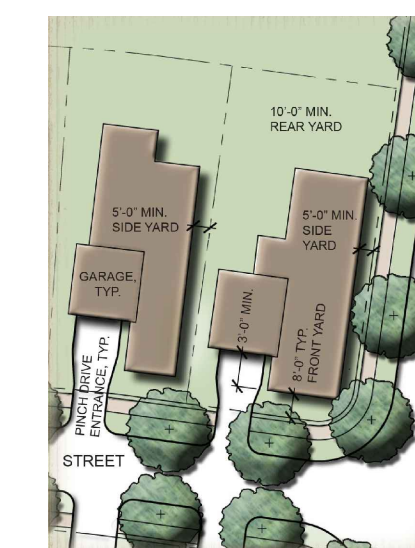
FRONT: 8' Min.

REAR: 4' MIN. * (FROM RIGHT-OF-WAY)

SIDE: 5' MIN.

GARAGE SETBACK TO REAR: 5' or 20' MIN. (FROM CURB)

FRONT PORCH DEPTH: 9' Min.



COTTAGE HOME LOTS (28 TOTAL):
COTTAGE HOMES ARE LOCATED ON LOTS:

COTTAGE HOMES STANDARDS:

STREET ACCESS WITH FRONT LOAD GARAGES PER C.O.F. DESIGN STANDARDS

TYPICAL HOME SQUARE FOOTAGE: 2,200 - 3,200 SF

LOT WIDTH: 52' MIN.

LOT DEPTH: 120' MIN.

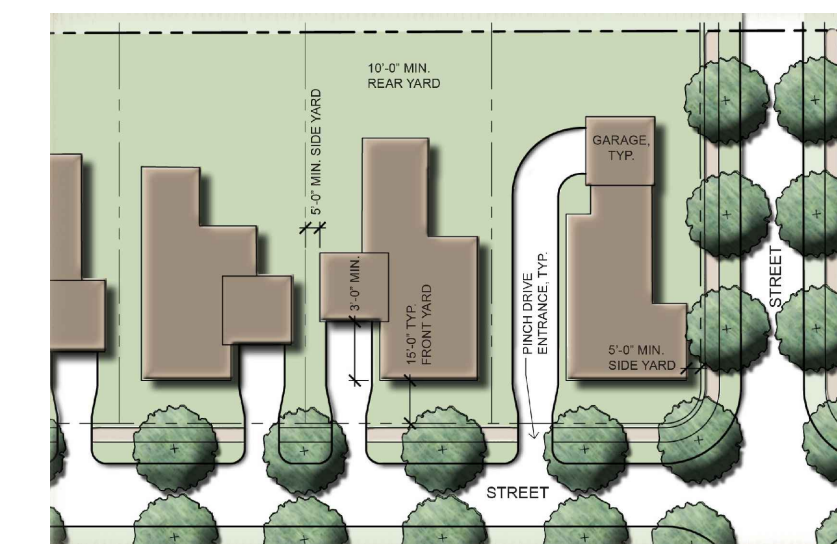
STREET YARD SETBACKS:

FRONT: 8' MIN.

REAR: 10' MIN.

SIDE: 5' MIN.

FRONT PORCH DEPTH: 6' MIN.



GARDEN HOMES LOTS (29 TOTAL):

MANOR HOMES LOCATED ON LOTS:

316-329
362
364
367
369
371
378
380-382
390
396
397
401
402
404

MANOR HOMES STANDARDS:

STREET ACCESS WITH FRONT LOAD GARAGES PER C.O.F. DESIGN STANDARDS

TYPICAL HOME SQUARE FOOTAGE: 2,600 - 3,800 SF

LOT WIDTH: 65' MIN.

LOT DEPTH: 140' MIN.

STREET YARD SETBACKS:

FRONT: 15' MIN.

REAR: 10' MIN.

SIDE: 5' MIN.

FRONT PORCH DEPTH: 6' Min.

* CRITICAL LOTS

CONNECTIVITY INDEX

○	LINKS	11
*	NODES	6

$11 / 6 = 1.83$ INDEX

20' DRAINAGE
EASEMENT

SECTION 12

SECTION 16

SECTION 17

OPEN SPACE

20' DRAINAGE

-20' DRAINAGE

OPEN SPACE EASEMENT

STATEMENT OF IMPACTS:

STREET NETWORK:
SOUTH CAROTHERS ROAD IS A MINOR COLLECTOR. SOUTH CAROTHERS PARKWAY IS A MAJOR ARTERIAL. ALL ROADS WITHIN LOCKWOOD GLEN ARE LOCAL STREETS UNLESS OTHERWISE NOTED

WATER:
WATER SERVICE WILL BE COORDINATED WITH THE MILLCROFTON UTILITY DISTRICT AND THE CITY OF FRANKLIN TO PROVIDE ADEQUATE FLOW AND CAPACITY. ALL WATER MAINS SHALL BE LOCATED IN A 15' PUBLIC UTILITY EASEMENT.

SEWER:
SEWER SERVICE WILL BE COORDINATED WITH THE CITY OF FRANKLIN TO PROVIDE ADEQUATE FLOW AND CAPACITY. ALL SANITARY SEWER LINES ARE INSIDE THE PROPOSED R.O.W.

RECLAIMED WATER FACILITIES:
THERE ARE NO REPURPOSED WATER FACILITIES CURRENTLY IN PROXIMITY TO THE SITE. THE CITY OF FRANKLIN HAS PROPOSED A ZERO DISCHARGE WASTEWATER TREATMENT PLANT NEARBY THAT COULD SERVE THIS DEVELOPMENT.

DRAINAGE FACILITIES:
STORM DRAINAGE TIES TO EXISTING STORM DRAINAGE IN ADJACENT, PREVIOUSLY APPROVED PHASES OF LOCKWOOD GLEN WHICH WERE SIZED TO ACCOMMODATE THE NUMBER OF LOTS SHOWN

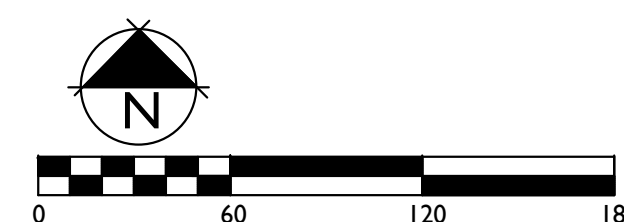
POLICE, FIRE AND RECREATIONAL FACILITIES:
POLICE - 900 COLUMBIA AVE., 4.3 MILES
FIRE - STATION #2, 907 MURFREESBORO ROAD, 2.5 MILES
RECREATIONAL - EASTERN FLANK BATTLE FIELD PARK, 2.9 MILES. PARKS ARE PLANNED DIRECTLY
ACROSS CAROTHERS BLVD.

PROJECTED STUDENT POPULATION:
58 (90 HOMES x 0.64 STUDENTS PER HOME)

REFUSE COLLECTION:
REFUSE COLLECTION SERVICE WILL BE PROVIDED BY THE CITY OF FRANKLIN SOLID WASTE DEPARTMENT.

NOTES:

1. PARCEL LINES & TOPOGRAPHY PROVIDED BY CITY OF FRANKLIN G.I.S.
2. AERIAL PHOTOGRAPH PROVIDED BY GOOGLE



Filename: W:\17-11-1104 Lockwood Glen, Section 12\3_CAD\Production\Development Plan\Resubmittal_9 April 2018\LockwoodGlen_Sect12_DevPlan.dwg
Layout Name: C 3.0 Overall Grading & Drainage Plan
By: 569w
Date: Thursday, May 03, 2018 1:43 pm

Grading & Drainage General Notes

1. Grading Permit is required for any project disturbing more than 10,000 sf, adding more than 5,000 sf of impervious surface or for any site grading requiring stockpiling of material.
2. The Developer shall provide the necessary labor and supervision required to support field testing by the independent testing firm and inspections by City officials at no cost to the City. Test reports of field testing if applicable shall be submitted directly to the Street Department. Defects disclosed by tests shall be rectified.
3. An authorized representative of the City shall make a final inspection of the project after completion to determine acceptability of the work and for release of performance bonds if required. Before this final inspection can be made, the Engineer responsible for the project shall certify in writing to the City Engineer that the work has been completed in accordance with approved plans and specifications.
4. Drainage facilities including, but not limited to, culverts, detention basins and ditches, as well as the roadway sub-grade, base stone and binder & surface coarse shall be inspected, tested and given approval at each stage of installation prior to proceeding to the next stage of construction. Final construction inspection for approval and acceptance of streets and drainage systems will not be granted until all work has been completed in accordance with the approved plans.
5. Locating and coordination for the relocation of existing utilities is the responsibility of the contractor. Tennessee's One-Call and the City of Franklin utility location service shall be utilized in addition to coordination with local utility owners. The contractor shall at all times protect existing utilities and will be responsible for costs due to damage caused to any utility lines.

POST-DEV STORMWATER NARRATIVE

Section 12 of the Lockwood Glen PUD Subdivision is approximately 28 acres. The site has been divided into four (4) distinct drainage basins (Basin 1 has been subdivided). Basin 1 drains southwardly to an existing 24" pipe constructed as part of Section 3 of Lockwood Glen. Runoff from this basin will be conveyed to a level 2 bio-retention basin and then a level 1 bio-retention basin. The hydrographs using the adjusted CN for this basin reflects a decrease in the runoff from the pre-development conditions. Basin 2 drains toward the north. Runoff from this basin will be conveyed to a level 2 bioretention basin. The hydrographs using the adjusted CN for this basin reflects a decrease in the runoff from the pre-development conditions. Basin 3 drains toward the east to an existing elliptical CMP under Carothers Road. Runoff from this basin will be conveyed to a level 2 bioretention basin and then to a dry detention basin to reduce the post-development runoff to below pre-development conditions. Basin 4 will bypass treatment. Grading & Drainage Data Charts have been prepared and are shown for each basin.

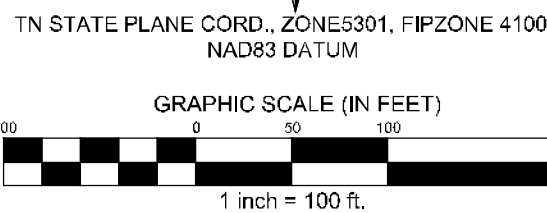
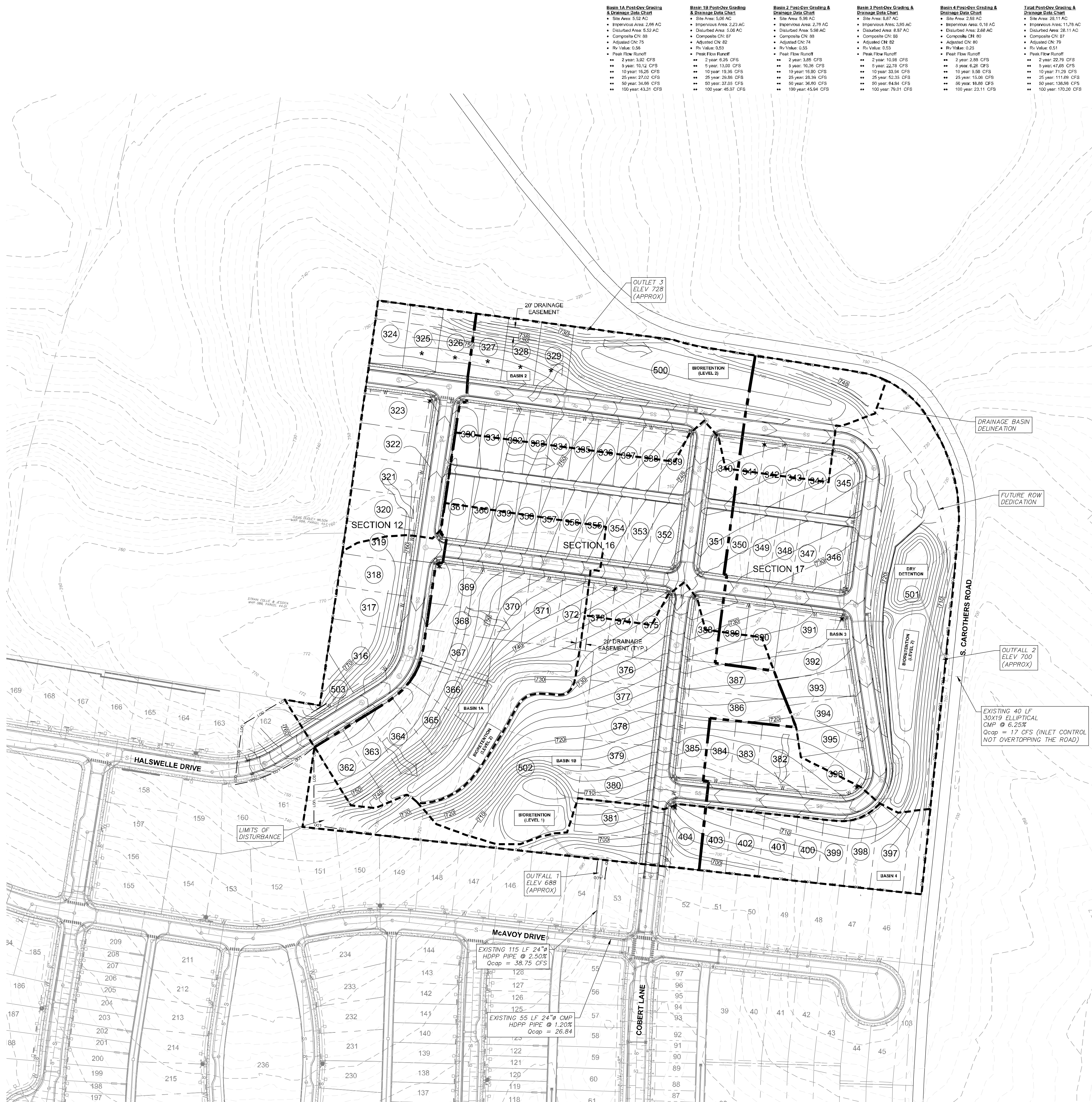
POST-DEV STORMWATER IMPACTS

The treated post-development Rv for the site meets the city's requirements (less than 0.20). This information will be reflected on the Post Construction / Final EPSC Plan in each Site Plan submittal. The total post-development runoff rate are less than the pre-development conditions.

SENSITIVE AREAS / STORMWATER BUFFERS

The existing ponds previously identified on the site have been reviewed and were determined to be manmade ponds and not to be Waters of the State. These findings were submitted to TDEC, and their concurrence was received and forwarded to the city during the Section 12 Site Plan resubmittal.

★ = Critical lots for grading. These lots will require submittal of a Critical Lot Site Plan with the Building Permit submittal.



Basin 1A Post-Dev Grading & Drainage Data Chart
• Site Area: 5.50 AC
• Impervious Area: 2.86 AC
• Disturbed Area: 5.52 AC
• Composite CN: 58
• Adjusted CN: 75
• Rv Value: 0.58
• Peak Flow Runoff:
• 2 year: 3.02 CFS
• 5 year: 10.12 CFS
• 10 year: 16.26 CFS
• 25 year: 27.02 CFS
• 50 year: 34.66 CFS
• 100 year: 43.31 CFS

Basin 1B Post-Dev Grading & Drainage Data Chart
• Site Area: 5.06 AC
• Impervious Area: 2.23 AC
• Disturbed Area: 5.06 AC
• Composite CN: 57
• Adjusted CN: 82
• Rv Value: 0.53
• Peak Flow Runoff:
• 2 year: 6.26 CFS
• 5 year: 13.80 CFS
• 10 year: 19.36 CFS
• 25 year: 29.36 CFS
• 50 year: 37.00 CFS
• 100 year: 45.07 CFS

Basin 2 Post-Dev Grading & Drainage Data Chart
• Site Area: 5.36 AC
• Impervious Area: 2.76 AC
• Disturbed Area: 5.36 AC
• Composite CN: 58
• Adjusted CN: 74
• Rv Value: 0.55
• Peak Flow Runoff:
• 2 year: 3.85 CFS
• 5 year: 10.36 CFS
• 10 year: 16.90 CFS
• 25 year: 26.36 CFS
• 50 year: 36.00 CFS
• 100 year: 45.94 CFS

Basin 3 Post-Dev Grading & Drainage Data Chart
• Site Area: 5.87 AC
• Impervious Area: 3.95 AC
• Disturbed Area: 5.87 AC
• Composite CN: 58
• Adjusted CN: 82
• Rv Value: 0.53
• Peak Flow Runoff:
• 2 year: 10.98 CFS
• 5 year: 22.78 CFS
• 10 year: 33.94 CFS
• 25 year: 52.33 CFS
• 50 year: 64.84 CFS
• 100 year: 79.01 CFS

Basin 4 Post-Dev Grading & Drainage Data Chart
• Site Area: 2.88 AC
• Impervious Area: 0.18 AC
• Disturbed Area: 2.88 AC
• Composite CN: 80
• Adjusted CN: 80
• Rv Value: 0.25
• Peak Flow Runoff:
• 2 year: 2.88 CFS
• 5 year: 6.26 CFS
• 10 year: 9.58 CFS
• 25 year: 13.06 CFS
• 50 year: 16.66 CFS
• 100 year: 23.11 CFS

Total Post-Dev Grading & Drainage Data Chart
• Site Area: 28.11 AC
• Impervious Area: 11.78 AC
• Disturbed Area: 28.11 AC
• Composite CN: 57
• Adjusted CN: 79
• Rv Value: 0.51
• Peak Flow Runoff:
• 2 year: 22.79 CFS
• 5 year: 47.68 CFS
• 10 year: 71.29 CFS
• 25 year: 111.89 CFS
• 50 year: 138.09 CFS
• 100 year: 170.20 CFS

Rev.	Date	Per City of Franklin Comments	Revision Description
1	5/3/18		



Issue Date: April 9, 2018
ELI Project No: 17-11-1104
Drafted By: RDP
Checked By: LCW

Sheet Title:
**OVERALL
GRADING
&
DRAINAGE
PLAN**

Sheet No.
C 3.0

Filename: W:\17-11-1104 Lockwood Glen Section 12\3_CAD\Production\Development Plan\Resubmittal_9 April 2018 LockwoodGlen_Sect12_Development Plan.dwg
Layout Name: C 4.0 Overall ROW & Access Plan
By: BOW
Date: Thursday, May 03, 2018 1:43 pm

Grading & Drainage General Notes

1. Grading Permit is required for any project disturbing more than 10,000 sf, adding more than 5,000 sf of impervious surface or for any site grading requiring stockpiling of material.
2. The Developer shall provide the necessary labor and supervision required to support field testing by the independent testing firm and inspections by City officials at no cost to the City. Test reports of field testing if applicable shall be submitted directly to the Street Department. Defects disclosed by tests shall be rectified.
3. An authorized representative of the City shall make a final inspection of the project after completion to determine acceptability of the work and for release of performance bonds if required. Before this final inspection can be made, the Engineer responsible for the project shall certify in writing to the City Engineer that the work has been completed in accordance with approved plans and specifications.
4. Drainage facilities including, but not limited to, culverts, detention basins and ditches, as well as the roadway sub-grade, base stone and binder & surface coarse shall be inspected, tested and given approval at each stage of installation prior to proceeding to the next stage of construction. Final construction inspection for approval and acceptance of streets and drainage systems will not be granted until all work has been completed in accordance with the approved plans.
5. Locating and coordination for the relocation of existing utilities is the responsibility of the contractor. Tennessee's One-Call and the City of Franklin utility location service shall be utilized in addition to coordination with local utility owners. The contractor shall at all times protect existing utilities and will be responsible for costs due to damage caused to any utility lines.

Lockwood Glen Section 12 R.O.W. & Access Data Chart

Daily Trip Generation: N/A
Peak Hour Trip Generation: N/A
Traffic Impact Study Required: no
Circulation Plan Required: no

Design Parameters

Franklin Transportation Street Technical Standards Edition: 2014
Design Vehicle: Passenger Cars, Single-Unit Trucks (SU-30) and Conventional School Buses using one lane ;
Combination trucks (WB-50) using full with
Design Speed / Posted Speed: 20 mph
Stopping Sight Distance: 115 ft
Intersection/Driveway Sight Distance: 125

Horizontal Alignment

Min. Centerline Radius: 70 ft
Min. Tangent Between Curves/Intersections: 0
Min. Centerline Arc Length:

Vertical Alignment

Min. / Max. Centerline Grade: 1% Min. / 10% Max.
Max. Approach Centerline Grade: 5% Max.
Crest / Sag Curve K-Value: 7 / 17

Access Management

Min. Distance Between Intersection: 200'
Min. Distance Between high volume/alleys & Intersections: 150 ft
Min. Distance Between driveway & Intersections: 50 ft
Driveway Width (two-way): 10-20
Driveway Approach Street Configuration: Radius Return

Roadway Network Narrative

Residents will enter and leave the site via the existing road network in Lockwood Glen to on of the two connections to Carothers Road or one of the two connections to Carothers Parkway.

Roadway Impact Statement

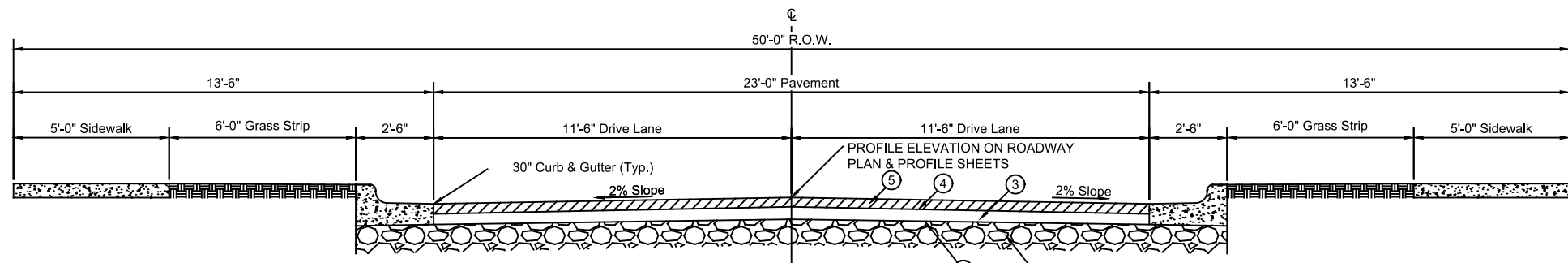
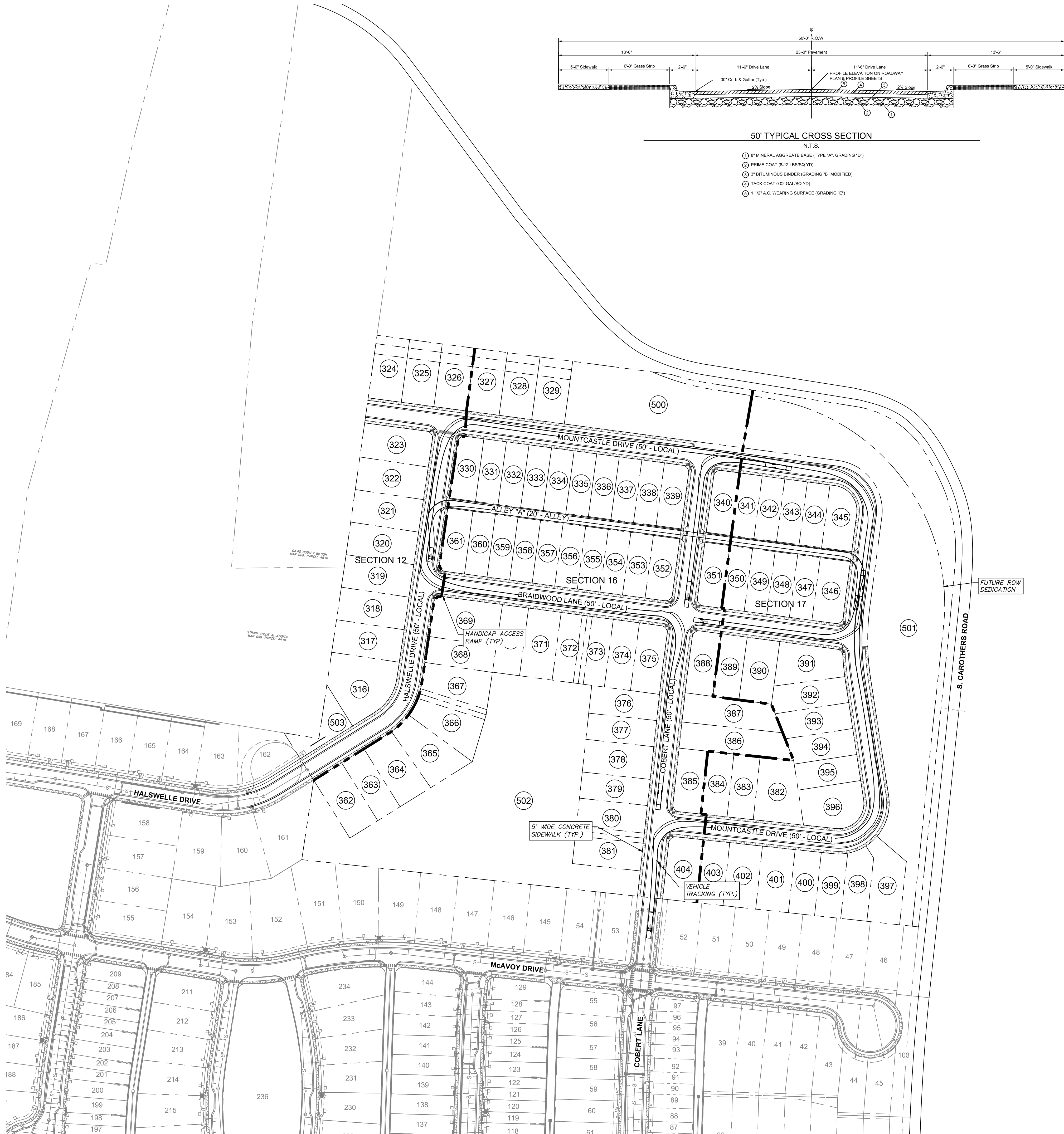
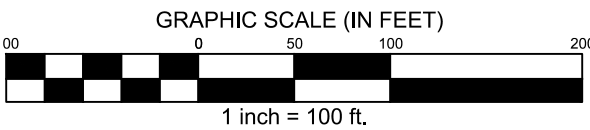
The traffic generated by this section would be consistent with the typical traffic generated by 79* single family detached residential homes.

Refuse Collection & Service Areas

Rollaway bins will be utilized for refuse collection



TN STATE PLANE COORD., ZONE 5301, FIPZONE 4100;
NAD83 DATUM



50' TYPICAL CROSS SECTION

N.T.S.

- ① 8" MINERAL AGGREGATE BASE (TYPE "A", GRADING "D")
- ② PRIME COAT (8-12 LBS/SQ YD)
- ③ 3" BITUMINOUS BINDER (GRADING "B" MODIFIED)
- ④ TACK COAT 0.02 GAL/SQ YD
- ⑤ 1 1/2" A.C. WEARING SURFACE (GRADING "E")



DESIGN COLLABORATIVE
DEVELOPMENT PLANNING AND
LANDSCAPE ARCHITECTURE

ENERGY LAND & INFRASTRUCTURE
1420 DONELSON PIKE, SUITE A12 • NASHVILLE, TN 37217
OFFICE 615-383-6300 • WWW.ELI-LLC.COM
ENGINEERS • SURVEYORS • INFRASTRUCTURE • ENVIRONMENTAL



LOCKWOOD GLEN
PUD SUBDIVISION
DEVELOPMENT PLAN REVISION 2
MAP 89, PARCELS 43.01 & 43.06
CITY OF FRANKLIN PROJECT NO. XXXX
FRANKLIN, TENNESSEE

Rev.	Date	Per City of Franklin Comments	Revision Description
1	5/3/18		



Issue Date: April 9, 2018
ELI Project No: 17-11-1104
Drafted By: RDP
Checked By: LCW

Sheet Title:

OVERALL
ROW &
ACCESS
PLAN

Sheet No.

C 4.0

Filename: W:\17-11-1104 Lockwood Glen Section 12\3_CAD\Production\Development Plan\Resubmittal_9 April 2018 LockwoodGlen Sect12 DevPlan.dwg
Layout Name: C 5.0 Overall Utility Plan
By: C. J. Wallace, May 03, 2018 - 1:43 pm
By: B. J. B. B. B.

Water & Sewer General Notes

1. All persons who undertake the construction of water, sewer and/or reclaimed water lines located in, or affecting services provided by the City of Franklin shall comply with the requirements and regulations set forth in the "General Requirements & Technical Specifications, Water Management Department, City of Franklin, Tennessee" latest edition, along with any amendments, additions, or alteration that may thereafter be adopted by the board of mayor and aldermen by resolution.
2. Contractor shall obtain Water & Sewer Infrastructure Installation Permit prior to scheduling required Pre-Construction Site Meeting. Contractor shall complete the Pre- Construction Site Meeting prior to commencing with construction.
3. Contractor shall obtain and keep all of the following items on the jobsite at all times during construction:
 - a. Approved, Stamped and Signed Water and/or Sewer Plans
 - b. Water & Sewer Infrastructure Installation Permit, with all steps completed and signed by appropriate City employees.
 - c. Copy of approved availability request response letter.
 - d. A copy of all approved Cut Sheets.
4. Acceptance of City of Franklin public water infrastructure, sanitary sewer infrastructure and/or reclaimed water infrastructure shall become the responsibility of the City of Franklin, TN following approval from the City of Franklin Inspectors and acceptance by the Franklin Municipal Planning Commission. The Acceptance date shall be based on the day maintenance sureties are established by the Franklin Municipal Planning Commission.
5. Prior to the acceptance of City of Franklin public water infrastructure, sanitary sewer infrastructure and/or reclaimed water infrastructure the contractor shall be required to submit as-built drawings to the Planning and Sustainability Department.
6. All off-site work within the public right-of-way shall require an approved traffic control plan which complies with the MUTCD. No off-site excavation may be undertaken in any street, road, alley or right-of-way of any utility or temporary construction easement of the City of Franklin by any entity unless 72-hour notice has been given to the City of Franklin Traffic Operations Center. The contractor shall have an approved traffic control plan onsite during construction.
7. Any damages caused to existing utilities during construction shall, at his own expense, be replaced or repaired to original condition and quality, as approved by the owner and representative of the appropriate utility company, by the Contractor.

Water & Sewer Data Chart

Development Type: Single Family Residential
Unit Flow in GPD: 350 GPD
Number of Units: 89 (Single Family Residences)
Flow in GPD: 31,150 GPD

Utility Network Narrative

Existing utilities in the previous sections of Lockwood Glen will be extended to serve Section 12.

Utility Impact Statement

The anticipated demand for water and sewer is 31,150 GPD based on a 350 GPD unit flow and 89 single family homes. There are no reclaimed water lines in the vicinity.

Note

Where sanitary sewer lines cross proposed lot lines, no structures, patios, a/c equipment, utilities or drive lanes shall be constructed in COF sewer easement. All sewer easements are exclusive sewer easements and shall remain open for maintenance.

Utility Providers

Electric

MTEMC
Gary Osburn
(615) 595-4677

Natural Gas

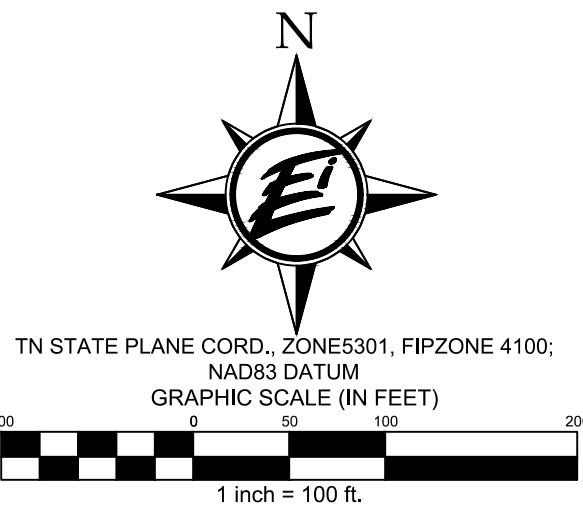
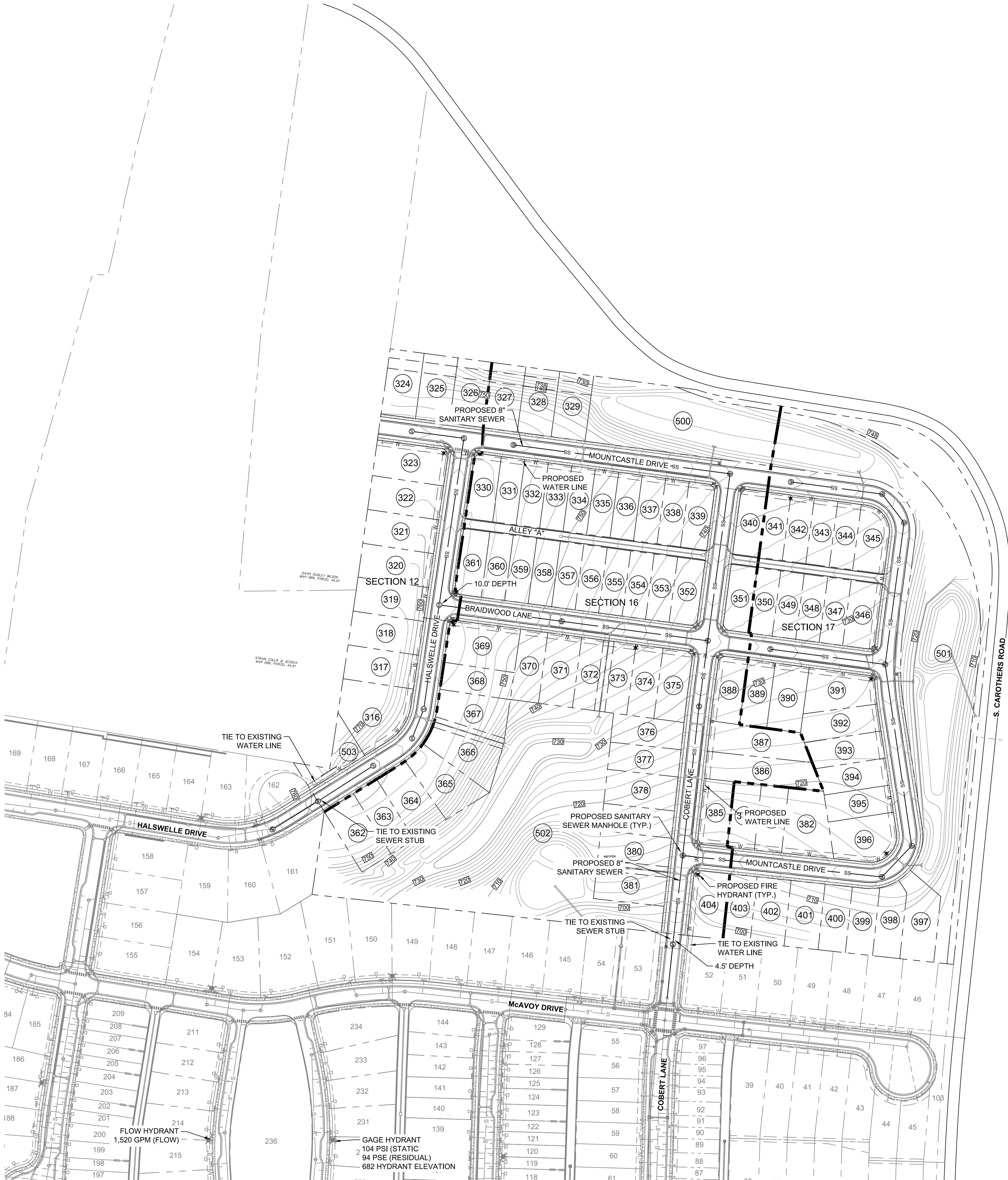
Atmos
(615) 771-8300

Sewer

Ben McNeil
City of Franklin Water & Sewer
124 Lumber Drive
Franklin, TN 37064
(615) 794-4554

Water

Milcrofton Utility District
Mike Jones
(615) 794-5947 ext 24



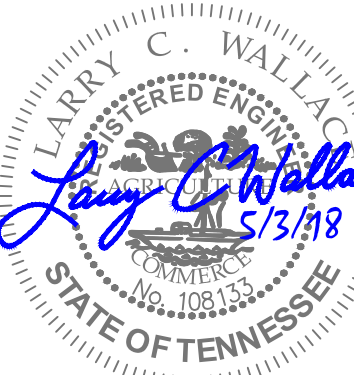
GAMBLE
DESIGN COLLABORATIVE
DEVELOPMENT PLANNING AND
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ENERGY LAND & INFRASTRUCTURE
1420 DONELSON PIKE, SUITE A12 • NASHVILLE, TN 37217
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LOCKWOOD GLEN
PUD SUBDIVISION
DEVELOPMENT PLAN REVISION 2
MAP 89, PARCELS 43.01 & 43.06
CITY OF FRANKLIN PROJECT NO. XXXX
FRANKLIN, TENNESSEE

Rev.	Date	Per City of Franklin Comments	Revision Description
1	5/3/18		



Issue Date: April 9, 2018
ELI Project No: 17-11-1104
Drafted By: RDP
Checked By: LCW

Sheet Title:

OVERALL
UTILITY
PLAN

Sheet No.

C 5.0

Revision	Date
△	_____
△	_____
△	_____
△	_____



CLASSICAL:

Colonial homes are predominantly very symmetrical in appearance and formal in pattern. Roofs are gently pitched, and give the impression of being heavy. Dominant gables are defined with substantial moldings and the eaves of the roofs are detailed to look like classical cornices. They are often differentiated from other architectural styles by their porches and columns or columns. Typically the facades of these homes are constructed of brick, siding, or stone.



FEDERAL:

Similar to Classical architecture, the Federal style is recognized by its simplicity and symmetry. They are most commonly found in two-story box form that features six-paneled windows and regular openings. Federal homes are sometimes characterized by a double chimney. Window heads are constructed of stone or soldier course, and the main facade of the home is generally brick.



CRAFTSMAN:

The craftsman home is distinguished by its comfortable and simple exterior details. They possess broad gables or hipped roofs with one or two large front dormers. Generally this style has prevalent chimneys, ornate rafters, and large open porches with heavy piers. These homes are constructed of siding with elements of brick, stucco, or stone and tend to be one and one-half stories in height.



FRENCH:

French homes are characterized by several elements. Roofs are steeply pitched with tall arched windows. Dormers or half dormers are a common feature with a roof line that extends approximately half way up the dormer. The facades of these homes are generally light colored stone or stucco but may also consist of white washed brick.



ENGLISH TUDOR:

These are differentiated by various features. Often the facade is characterized by one or more cross gables and steeply pitched. Large windows are frequently crowned by chimney pots. Tall narrow windows are commonly found in multiple bays. The facades of these homes are constructed of stone, brick, stone, or siding.



VICTORIAN:

This style home features facades with utilitarian detailing such as structural brackets and pronounced structural framework which resembles the Tudor half-timbering. The building itself is typically asymmetrical and it is common for the siding patterns to vary. Roofs tend to have a steep pitch and are often irregular in shape. Victorian homes may include single story porches that wrap around the home and the structure is generally constructed of wood.

ARCHITECTURAL CHARACTER:

The homes in Nichols Bend will be of an early 20th Century southern vernacular. Specifically, the styles that will influence the community are as follows:

*Architectural Character Images and Descriptions as depicted herein are per Approved Pattern Book.