

CONDITIONS OF APPROVAL:

Open Issues: 7 These issues are currently being filtered

Engineering - PUD Plan Checklist

General Issues

21. B. General Information

lance.fittro@franklintn.gov The provided parking study applies ULI reduction factors to base parking rates established per the McEwen Town Center Pattern Book. As discussed in the meeting on 2/26/28, in order to use ULI methodology for shared parking going forward in the development, the ULI reduction factors shall be applied to ULI base rates in order to arrive at the total parking to be provided for each block.

While it is understood that specific parking counts needed will be evaluated with each Site Plan, the methodology used to arrive at those counts shall be established with the Development Plan, and shall be either all ULI methodology or all per the Pattern Book.
[Edited By Lance Fittro]

22. F. Development Plan

lance.fittro@franklintn.gov The previous comment, "In order to evaluate the proposed mid-block access into Block A from Aspen Grove Dr., applicant shall provide projected traffic information for the full build-out of the block including projected stacking in the eastbound through lane of Aspen Grove Dr due to vehicles making a left turn through the median cut at this location." has not been addressed.

As indicated on the previous approved Development Plan, the internal access points to the development are subject to change, and are to be evaluated with each successive block submittal. This was been indicated by the note below for those "future development" blocks whose internal layout has yet to be determined, making the appropriate access locations uncertain.



Applicant shall provide the requested evaluation in order for staff to evaluate the proposed internal access location.

23. B. General Information

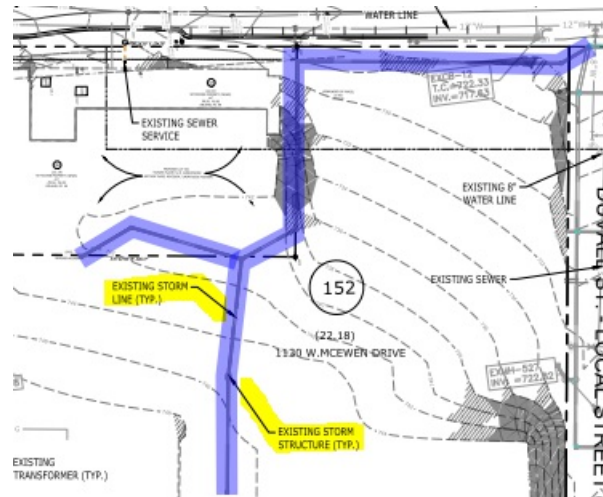
lance.fittro@franklintrn.gov The previous comment, "Applicant shall include Phasing schedule, including expected commencement date by phase, anticipated rate of development, and estimated date of completion by phase. Development milestones such as dwelling units, nonresidential building square footage, or significant off-site improvements are appropriate substitutions for dates. Clarify on the Development Plan the previously discussed phasing of the parking for Block A." has not been appropriately addressed.

Applicant shall identify the development milestones which will dictate the phasing of the parking for Block A and the construction of the proposed parking garage. "As dictated by market conditions" is not an acceptable development milestone for this purpose.

27. E. Existing Conditions Plan

joe.marlo@franklintrn.gov The following is a newcomment based on newinformation.

The storm information highlighted below has been determined by the Applicant to not exist. Applicant to revise all affected sheets accordingly.



28. Sidewalk

joe.marlo@franklintrn.gov The following is a newcomment that was overlooked in the initial review.

Applicant to show a sidewalk around the entire block.



Planning

20170022 2018-03-26 Dev Plan Pre App Dwgs.pdf

7. Parking

josh.king@franklinton.gov The provided parking study applies ULI reduction factors to base parking rates established per the McEwen Town Center Pattern Book. As discussed in the meeting on 2/26/28, in order to use ULI methodology for shared parking going forward in the development, the ULI reduction factors shall be applied to ULI base rates in order to arrive at the total parking to be provided for each block.

While it is understood that specific parking counts needed will be evaluated with each Site Plan, the methodology used to arrive at those counts shall be established with the Development Plan, and shall be either all ULI methodology or all per the Pattern Book.

Applicant shall at individual site plan build out submit updated shared parking analysis(s) showing the updated parking counts and sharing. This shall not hinder approval of the Development Plan revision.

[Edited By Joshua King]

Water/Sewer

General Issues

20. Sanitary sewer

ben.mcneil@franklinton.gov Applicant failed to address the issue, applicant shall add the existing utility lines that are shown in Aspen Grove to the Development plan.

