

LOCKWOOD COMMERCIAL PARCEL
PRELIMINARY PLAT

FRANKLIN, TN
CITY OF FRANKLIN PROJECT NO. 6650

ISSUED: MARCH 12, 2018
REVISED: APRIL 5, 2018

PROPERTY OWNER

LEVI GRANTHAN, LLC
725 COOL SPRINGS BOULEVARD, SUITE 210
FRANKLIN, TN 37064
CONTACT: TERRY RASMUSSEN
PHONE: (615) 472-1823
E-MAIL: TERRY.RASMUSSEN@CRESCENTHOMES.NET

CIVIL ENGINEER

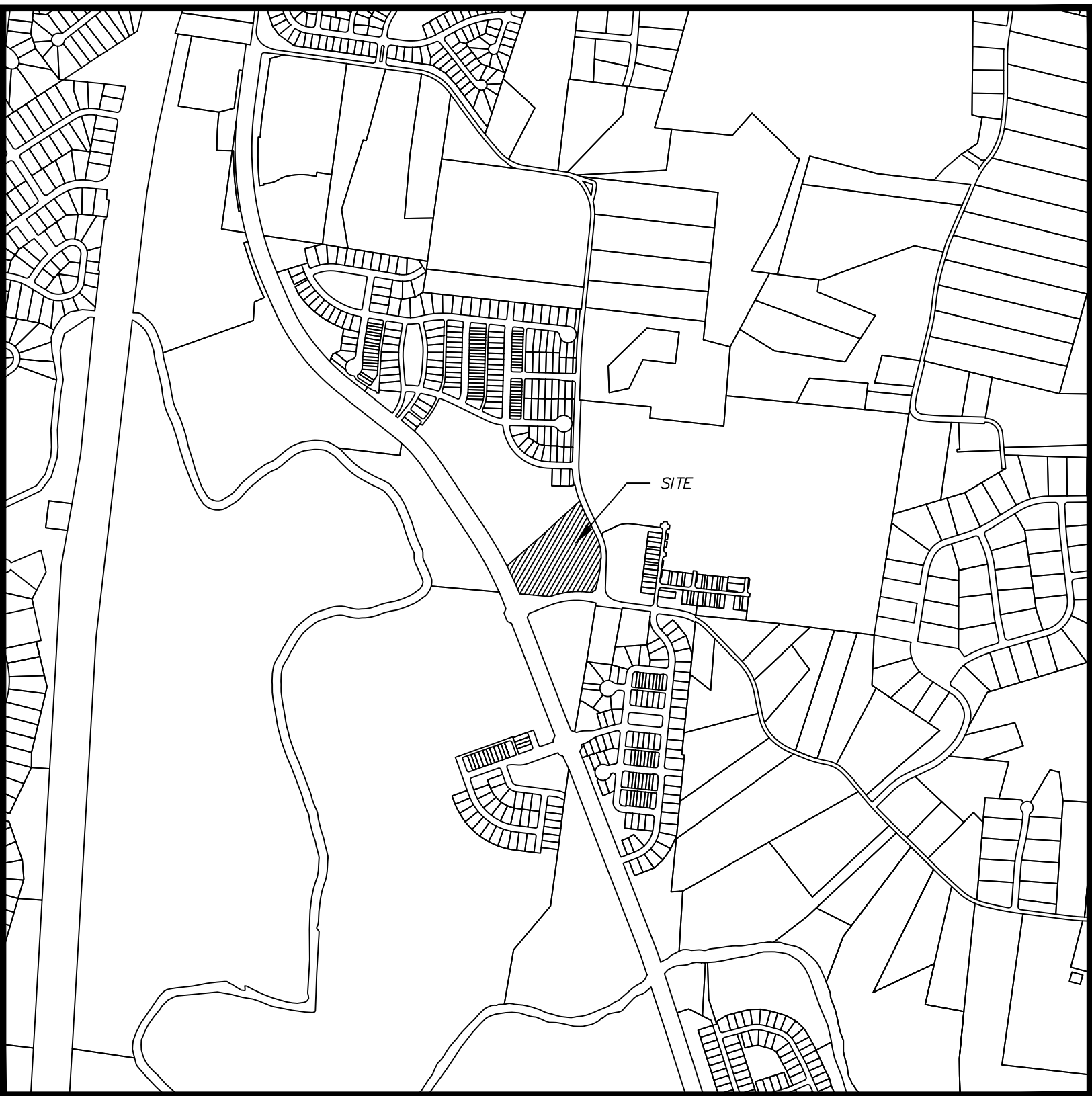
ENERGY LAND & INFRASTRUCTURE, LLC
1420 DONELSON PIKE, SUITE A-12
NASHVILLE, TN 37027
CONTACT: CLAY WALLACE
PHONE: (615) 383-6300
E-MAIL: CLAY.WALLACE@ELI-LLC.COM

SURVEYOR

ENERGY LAND & INFRASTRUCTURE, LLC
1420 DONELSON PIKE, SUITE A-12
NASHVILLE, TN 37027
CONTACT: BENNIE WHEELER
PHONE: (615) 383-6300
E-MAIL: BENNIE.WHEELER@ELI-LLC.COM

LANDSCAPE ARCHITECT

GAMBLE DESIGN COLLABORATIVE
114 SOUTHEAST PARKWAY, SUITE 200
FRANKLIN, TN 37064
CONTACT: GREG GAMBLE
PHONE: (615) 975-5765
E-MAIL: GREG.GAMBLE@GDC-TN.COM



VICINITY MAP
SCALE: 1" = 1,000'



Index of Drawings	
Sheet Number	Sheet Title
C 0.0	Cover
C 1.0	Overall Existing Conditions Plan
C 1.1	Enlarged Existing Conditions Plan
C 2.0	Preliminary Plat
C 3.0	Site Grading & Drainage Plan
C 4.0	Site ROW & Access Plan
C 5.0	Site Utility Plan

GDC

GAMBLE
DESIGN COLLABORATIVE
DEVELOPMENT PLANNING AND
LANDSCAPE ARCHITECTURE

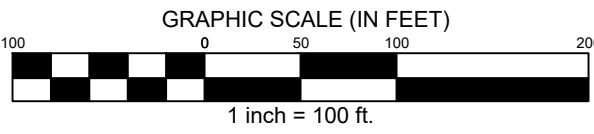


ENERGY LAND & INFRASTRUCTURE
1420 DONELSON PIKE, SUITE A12 • NASHVILLE, TN 37217
OFFICE 615-383-6300 • WWW.ELI-LLC.COM
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SITE IS REFERENCING TENNESSEE STATE
PLANE COORDINATE SYSTEM, ZONE 5301,
FIPS ZONE 4100; NAD 83 DATUM.



SITE DATA

MAP 89, PART OF PARCEL 48.01
CALLED "PORTION B"

BASE ZONING DISTRICT: NEIGHBORHOOD COMMERCIAL (NC)
CHARACTER AREA: MCEWEN
OVERLAY ZONING DISTRICT: FLOODWAY FRINGE OVERLAY (FFO)
DEVELOPMENT: CONVENTIONAL

ACREAGE OF SITE: 7.97± AC
CIVIL DISTRICT: 14TH



ADJACENT PARCELS

MAP 089K, PARCEL B00300
OWNER: SHAIK KALEESHA V
BASE ZONING DISTRICT: SPECIFIC DEVELOPMENT--RESIDENTIAL
OVERLAY ZONING DISTRICT: NONE
CHARACTER AREA: MCEWEN
EXISTING LAND USE: RESIDENTIAL
DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 089K, PARCEL B00400
OWNER: SWAN PUSPAK P
BASE ZONING DISTRICT: SPECIFIC DEVELOPMENT--RESIDENTIAL
OVERLAY ZONING DISTRICT: NONE
CHARACTER AREA: MCEWEN
EXISTING LAND USE: RESIDENTIAL
DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 089K, PARCEL B00500
OWNER: BALUSU ASHOK
BASE ZONING DISTRICT: SPECIFIC DEVELOPMENT--RESIDENTIAL
OVERLAY ZONING DISTRICT: NONE
CHARACTER AREA: MCEWEN
EXISTING LAND USE: RESIDENTIAL
DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 089K, PARCEL B00600
OWNER: RAINWATER LORI A
BASE ZONING DISTRICT: SPECIFIC DEVELOPMENT--RESIDENTIAL
OVERLAY ZONING DISTRICT: NONE
CHARACTER AREA: MCEWEN
EXISTING LAND USE: RESIDENTIAL
DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 089N, PARCEL A00100
OWNER: MCMILLAN SCOTT
BASE ZONING DISTRICT: SPECIFIC DEVELOPMENT--RESIDENTIAL
OVERLAY ZONING DISTRICT: NONE
CHARACTER AREA: MCEWEN
EXISTING LAND USE: RESIDENTIAL
DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 089N, PARCEL A00200
OWNER: COPE DOUGLAS
BASE ZONING DISTRICT: SPECIFIC DEVELOPMENT--RESIDENTIAL
OVERLAY ZONING DISTRICT: NONE
CHARACTER AREA: MCEWEN
EXISTING LAND USE: RESIDENTIAL
DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 089N, PARCEL A00300
OWNER: JOHNSON JERRY
BASE ZONING DISTRICT: SPECIFIC DEVELOPMENT--RESIDENTIAL
OVERLAY ZONING DISTRICT: NONE
CHARACTER AREA: MCEWEN
EXISTING LAND USE: RESIDENTIAL
DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 089N, PARCEL A00400
OWNER: SARENA SAMER
BASE ZONING DISTRICT: SPECIFIC DEVELOPMENT--RESIDENTIAL
OVERLAY ZONING DISTRICT: NONE
CHARACTER AREA: MCEWEN
EXISTING LAND USE: RESIDENTIAL
DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 089N, PARCEL A00500
OWNER: ISMAILI MOHAMMAD A
BASE ZONING DISTRICT: SPECIFIC DEVELOPMENT--RESIDENTIAL
OVERLAY ZONING DISTRICT: NONE
CHARACTER AREA: MCEWEN
EXISTING LAND USE: RESIDENTIAL
DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 089N, PARCEL A00600
OWNER: RODGERS NICOLE
BASE ZONING DISTRICT: SPECIFIC DEVELOPMENT--RESIDENTIAL
OVERLAY ZONING DISTRICT: NONE
CHARACTER AREA: MCEWEN
EXISTING LAND USE: RESIDENTIAL
DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 089N, PARCEL A00700
OWNER: POLLACK JOHATHAN P
BASE ZONING DISTRICT: SPECIFIC DEVELOPMENT--RESIDENTIAL
OVERLAY ZONING DISTRICT: NONE
CHARACTER AREA: MCEWEN
EXISTING LAND USE: RESIDENTIAL
DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 089N, PARCEL A04700
OWNER: LOCKWOOD GLEN HOMEOWNERS ASSOCIATION INC
BASE ZONING DISTRICT: SPECIFIC DEVELOPMENT--RESIDENTIAL
OVERLAY ZONING DISTRICT: NONE
CHARACTER AREA: MCEWEN
EXISTING LAND USE: RESIDENTIAL
DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 089K, PARCEL B01400
OWNER: LOCKWOOD GLEN HOMEOWNERS ASSOCIATION INC
BASE ZONING DISTRICT: SPECIFIC DEVELOPMENT--RESIDENTIAL
OVERLAY ZONING DISTRICT: NONE
CHARACTER AREA: MCEWEN
EXISTING LAND USE: RESIDENTIAL
DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 089N, PARCEL A04800
OWNER: LOCKWOOD GLEN HOMEOWNERS ASSOCIATION INC
BASE ZONING DISTRICT: SPECIFIC DEVELOPMENT--RESIDENTIAL
OVERLAY ZONING DISTRICT: NONE
CHARACTER AREA: MCEWEN
EXISTING LAND USE: RESIDENTIAL
DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 089M, PARCEL B00100
OWNER: FERGUSON MICHAEL A
BASE ZONING DISTRICT: SPECIFIC DEVELOPMENT--RESIDENTIAL
OVERLAY ZONING DISTRICT: NONE
CHARACTER AREA: MCEWEN
EXISTING LAND USE: RESIDENTIAL
DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 089M, PARCEL B00200
OWNER: SIMMONS RIDGE JOINT VENTURE
BASE ZONING DISTRICT: SPECIFIC DEVELOPMENT--RESIDENTIAL
OVERLAY ZONING DISTRICT: NONE
CHARACTER AREA: MCEWEN
EXISTING LAND USE: RESIDENTIAL
DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 089M, PARCEL B00300
OWNER: KUMAR ARVIND
BASE ZONING DISTRICT: SPECIFIC DEVELOPMENT--RESIDENTIAL
OVERLAY ZONING DISTRICT: NONE
CHARACTER AREA: MCEWEN
EXISTING LAND USE: RESIDENTIAL
DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 089M, PARCEL B00400
OWNER: KIRKPATRICK BRIAN S AND OLIVIA F
BASE ZONING DISTRICT: SPECIFIC DEVELOPMENT--RESIDENTIAL
OVERLAY ZONING DISTRICT: NONE
CHARACTER AREA: MCEWEN
EXISTING LAND USE: RESIDENTIAL
DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 089M, PARCEL B00500
OWNER: CLIFTON JOSHUA AND CHO HYUN SUK
BASE ZONING DISTRICT: SPECIFIC DEVELOPMENT--RESIDENTIAL
OVERLAY ZONING DISTRICT: NONE
CHARACTER AREA: MCEWEN
EXISTING LAND USE: RESIDENTIAL
DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 089M, PARCEL B00600
OWNER: CHIGUTIPATI NRUPEN C AND PATAS SWARNA
BASE ZONING DISTRICT: SPECIFIC DEVELOPMENT--RESIDENTIAL
OVERLAY ZONING DISTRICT: NONE
CHARACTER AREA: MCEWEN
EXISTING LAND USE: RESIDENTIAL
DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 089M, PARCEL B00700
OWNER: KIM BILLY J AND JANE M
BASE ZONING DISTRICT: SPECIFIC DEVELOPMENT--RESIDENTIAL
OVERLAY ZONING DISTRICT: NONE
CHARACTER AREA: MCEWEN
EXISTING LAND USE: RESIDENTIAL
DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 089M, PARCEL B00800
OWNER: FORMER DANE ANTHONY
BASE ZONING DISTRICT: SPECIFIC DEVELOPMENT--RESIDENTIAL
OVERLAY ZONING DISTRICT: NONE
CHARACTER AREA: MCEWEN
EXISTING LAND USE: RESIDENTIAL
DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 089M, PARCEL B00900
OWNER: STOVALL JULIA E
BASE ZONING DISTRICT: SPECIFIC DEVELOPMENT--RESIDENTIAL
OVERLAY ZONING DISTRICT: NONE
CHARACTER AREA: MCEWEN
EXISTING LAND USE: RESIDENTIAL
DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 089M, PARCEL B01000
OWNER: BROWN ALAN K AND MARY L
BASE ZONING DISTRICT: SPECIFIC DEVELOPMENT--RESIDENTIAL
OVERLAY ZONING DISTRICT: NONE
CHARACTER AREA: MCEWEN
EXISTING LAND USE: RESIDENTIAL
DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 089M, PARCEL B01100
OWNER: VISAGAMURTHY GURUCHARANN
BASE ZONING DISTRICT: SPECIFIC DEVELOPMENT--RESIDENTIAL
OVERLAY ZONING DISTRICT: NONE
CHARACTER AREA: MCEWEN
EXISTING LAND USE: RESIDENTIAL
DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 089M, PARCEL B01200
OWNER: CHEPURI YASHPAL AND GILLALA ARCHANA
BASE ZONING DISTRICT: SPECIFIC DEVELOPMENT--RESIDENTIAL
OVERLAY ZONING DISTRICT: NONE
CHARACTER AREA: MCEWEN
EXISTING LAND USE: RESIDENTIAL
DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 089M, PARCEL B01300
OWNER: ABRAMSKY KRIST
BASE ZONING DISTRICT: SPECIFIC DEVELOPMENT--RESIDENTIAL
OVERLAY ZONING DISTRICT: NONE
CHARACTER AREA: MCEWEN
EXISTING LAND USE: RESIDENTIAL
DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 089M, PARCEL B01400
OWNER: OLLETTE AURORA A
BASE ZONING DISTRICT: SPECIFIC DEVELOPMENT--RESIDENTIAL
OVERLAY ZONING DISTRICT: NONE
CHARACTER AREA: MCEWEN
EXISTING LAND USE: RESIDENTIAL
DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 089M, PARCEL B01500
OWNER: SIMMONS RIDGE JOINT VENTURE
BASE ZONING DISTRICT: SPECIFIC DEVELOPMENT--RESIDENTIAL
OVERLAY ZONING DISTRICT: NONE
CHARACTER AREA: MCEWEN
EXISTING LAND USE: RESIDENTIAL
DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 089M, PARCEL B02000
OWNER: SIMMONS RIDGE JOINT VENTURE
BASE ZONING DISTRICT: SPECIFIC DEVELOPMENT--RESIDENTIAL
OVERLAY ZONING DISTRICT: NONE
CHARACTER AREA: MCEWEN
EXISTING LAND USE: RESIDENTIAL
DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 089M, PARCEL B02100
OWNER: SIMMONS RIDGE JOINT VENTURE
BASE ZONING DISTRICT: SPECIFIC DEVELOPMENT--RESIDENTIAL
OVERLAY ZONING DISTRICT: NONE
CHARACTER AREA: MCEWEN
EXISTING LAND USE: RESIDENTIAL
DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 089M, PARCEL C00100
OWNER: RANGANI SHAILESHKUMAR D AND SANGEETABEN
BASE ZONING DISTRICT: SPECIFIC DEVELOPMENT--RESIDENTIAL
OVERLAY ZONING DISTRICT: NONE
CHARACTER AREA: MCEWEN
EXISTING LAND USE: RESIDENTIAL
DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 089M, PARCEL C00200
OWNER: HANTLE TRACIE K AND NATHANIEL J
BASE ZONING DISTRICT: SPECIFIC DEVELOPMENT--RESIDENTIAL
OVERLAY ZONING DISTRICT: NONE
CHARACTER AREA: MCEWEN
EXISTING LAND USE: RESIDENTIAL
DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 089M, PARCEL C00300
OWNER: OUELIN DANNE S AND LYNDIA CAROL
BASE ZONING DISTRICT: SPECIFIC DEVELOPMENT--RESIDENTIAL
OVERLAY ZONING DISTRICT: NONE
CHARACTER AREA: MCEWEN
EXISTING LAND USE: RESIDENTIAL
DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 089, PARCEL 05002
OWNER: HELM LILLIAN M
BASE ZONING DISTRICT: NEIGHBORHOOD COMMERCIAL
OVERLAY ZONING DISTRICT: FFO
CHARACTER AREA: MCEWEN
EXISTING LAND USE: VACANT
DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 089, PARCEL 05000
OWNER: HELM LILLIAN M
BASE ZONING DISTRICT: NEIGHBORHOOD COMMERCIAL
OVERLAY ZONING DISTRICT: FFO, FWO
CHARACTER AREA: MCEWEN
EXISTING LAND USE: VACANT
DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 089, PARCEL 04901
OWNER: CAROTHERS LAND CO LLC
BASE ZONING DISTRICT: NEIGHBORHOOD COMMERCIAL
OVERLAY ZONING DISTRICT: FFO
CHARACTER AREA: MCEWEN
EXISTING LAND USE: VACANT
DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 089, PARCEL 04900
OWNER: REAL ESTATE SOLUTIONS GROUP LLC
BASE ZONING DISTRICT: SPECIFIC DEVELOPMENT--RESIDENTIAL
OVERLAY ZONING DISTRICT: FFO
CHARACTER AREA: MCEWEN
EXISTING LAND USE: VACANT
DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 089, PARCEL 04801
OWNER: CRESCENT LOCKWOOD LLC
BASE ZONING DISTRICT: SPECIFIC DEVELOPMENT--RESIDENTIAL
OVERLAY ZONING DISTRICT: FFO
CHARACTER AREA: MCEWEN
EXISTING LAND USE: RESIDENTIAL
DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 089, PARCEL 048015
OWNER: CRESCENT LOCKWOOD MF LLC
BASE ZONING DISTRICT: SPECIFIC DEVELOPMENT--RESIDENTIAL
OVERLAY ZONING DISTRICT: FFO
CHARACTER AREA: MCEWEN
EXISTING LAND USE: RESIDENTIAL
DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 106D, PARCEL B05700
OWNER: LOCKWOOD GLEN HOMEOWNERS ASSOCIATION INC.
BASE ZONING DISTRICT: SPECIFIC DEVELOPMENT--RESIDENTIAL
OVERLAY ZONING DISTRICT: NONE
CHARACTER AREA: MCEWEN
EXISTING LAND USE: RESIDENTIAL
DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 106D, PARCEL B05800
OWNER: FORMER DANE ANTHONY
BASE ZONING DISTRICT: SPECIFIC DEVELOPMENT--RESIDENTIAL
OVERLAY ZONING DISTRICT: NONE
CHARACTER AREA: MCEWEN
EXISTING LAND USE: RESIDENTIAL
DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 106D, PARCEL B01400
OWNER: MIKE FORD CUSTOM BUILDERS LLC
BASE ZONING DISTRICT: SPECIFIC DEVELOPMENT--RESIDENTIAL
OVERLAY ZONING DISTRICT: NONE
CHARACTER AREA: MCEWEN
EXISTING LAND USE: RESIDENTIAL
DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 106D, PARCEL B01900
OWNER: GINSBURG MATTHEW A JR
BASE ZONING DISTRICT: SPECIFIC DEVELOPMENT--RESIDENTIAL
OVERLAY ZONING DISTRICT: NONE
CHARACTER AREA: MCEWEN
EXISTING LAND USE: RESIDENTIAL
DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 106D, PARCEL B02000
OWNER: BRENDAN BOLES
BASE ZONING DISTRICT: SPECIFIC DEVELOPMENT--RESIDENTIAL
OVERLAY ZONING DISTRICT: NONE
CHARACTER AREA: MCEWEN
EXISTING LAND USE: RESIDENTIAL
DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 106D, PARCEL B02300
OWNER: OAK DUCK GENERAL PARTNERSHIP
BASE ZONING DISTRICT: SPECIFIC DEVELOPMENT--RESIDENTIAL
OVERLAY ZONING DISTRICT: NONE
CHARACTER AREA: MCEWEN
EXISTING LAND USE: RESIDENTIAL
DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 106D, PARCEL B02400
OWNER: OAK DUCK GENERAL PARTNERSHIP
BASE ZONING DISTRICT: SPECIFIC DEVELOPMENT--RESIDENTIAL
OVERLAY ZONING DISTRICT: NONE
CHARACTER AREA: MCEWEN
EXISTING LAND USE: RESIDENTIAL
DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 106D, PARCEL B02400
OWNER: OAK DUCK GENERAL PARTNERSHIP
BASE ZONING DISTRICT: SPECIFIC DEVELOPMENT--RESIDENTIAL
OVERLAY ZONING DISTRICT: NONE
CHARACTER AREA: MCEWEN
EXISTING LAND USE: RESIDENTIAL
DEVELOPMENT STANDARDS: CONVENTIONAL



DESIGN COLLABORATIVE
LANDSCAPE ARCHITECTURE

ENERGY LAND & INFRASTRUCTURE
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LOCKWOOD COMMERCIAL PARCEL PRELIMINARY PLAT

MAP 89, PART OF PARCEL 48.01 CALLED "PORTION B"
CITY OF FRANKLIN PROJECT NO. 6650
FRANKLIN, TENNESSEE

Rev.	Date	Per City of Franklin Comments	Revision Description
1	4/15/18		



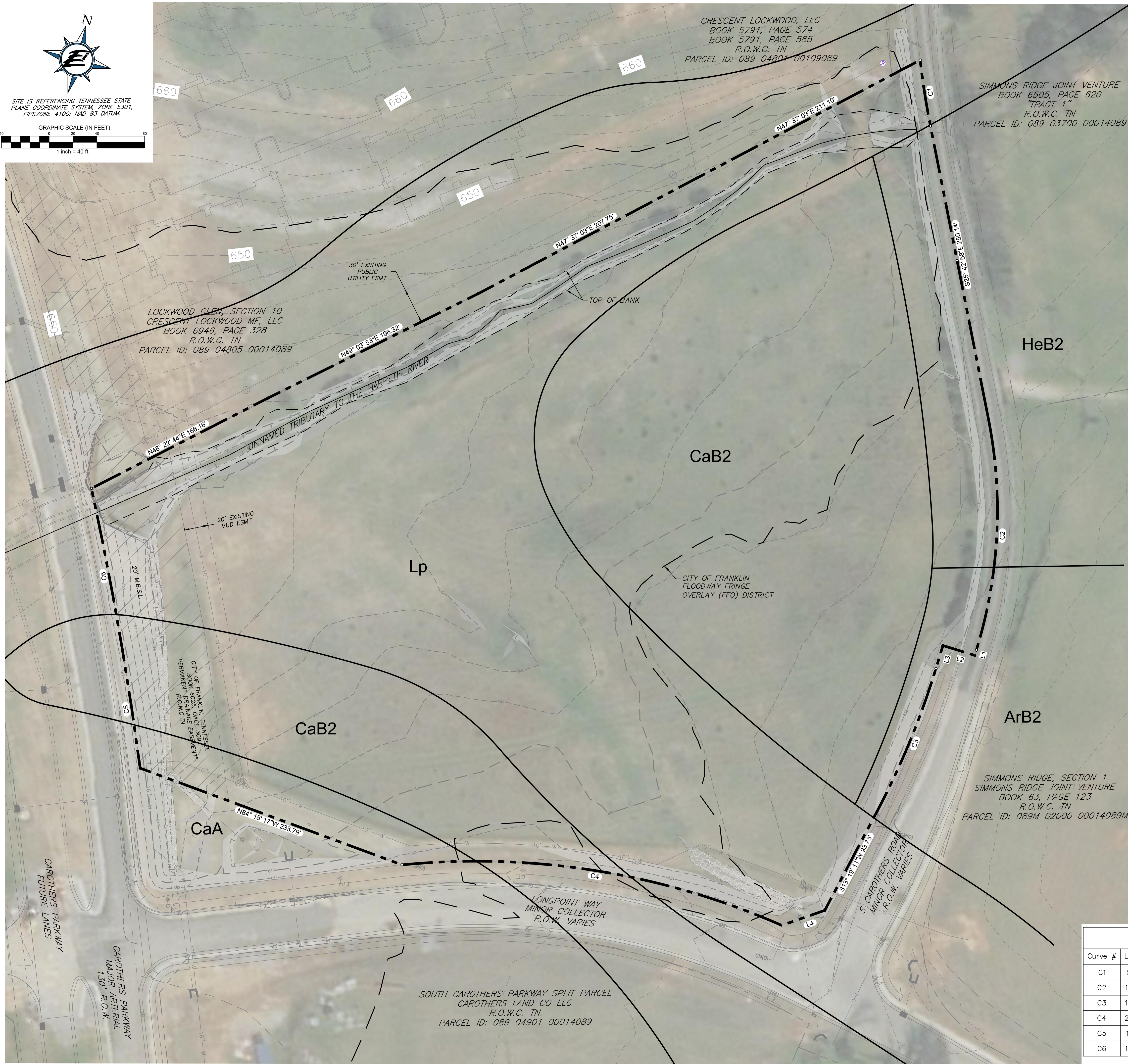
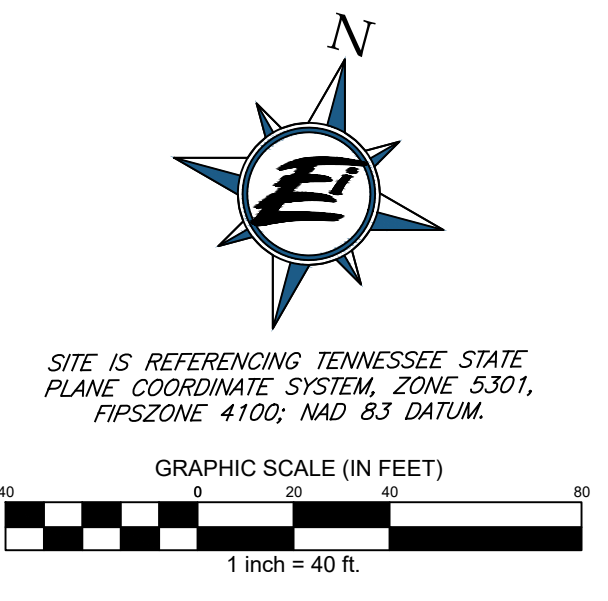
Issue Date: March 12, 2018
ELI Project No: 18-11-1104
Drafted By: RDP
Checked By: LCW

Sheet Title:

OVERALL
EXISTING
CONDITIONS
PLAN

Sheet No.

C 1.0



SITE DATA

MAP 89, PART OF PARCEL 48.01 CALLED "PORTION B"

BASE ZONING DISTRICT: NEIGHBORHOOD COMMERCIAL (NC)
CHARACTER AREA: MCEWEN
OVERLAY ZONING DISTRICT: FLOODWAY FRINGE OVERLAY (FFO)
DEVELOPMENT: CONVENTIONAL

ACREAGE OF SITE: 7.97± AC
CIVIL DISTRICT: 14TH

STATEMENT OF IMPACTS

WATER
WATER SERVICE WILL BE PROVIDED BY MILCROFTON UTILITY DISTRICT. ANTICIPATED DEMAND IS 9,400 GPD.

SEWER
SEWER SERVICE WILL BE PROVIDED BY THE CITY OF FRANKLIN. ANTICIPATED SEWER FLOW IS 9,400 GPD.

RECLAIMED WATER
RECLAIMED WATER IS NOT KNOWN TO THE PRESENT AT THIS SITE. EXTENSIONS ARE NOT PROPOSED.

STREET NETWORK
THIS SITE IS LOCATED NORTH OF LONGPOINT WAY (MINOR COLLECTOR) BETWEEN THE INTERSECTIONS OF CAROTHERS PARKWAY (MAJOR ARTERIAL) AND S CAROTHERS ROAD (MINOR COLLECTOR).

DRAINAGE FEATURES
SITE DRAINS TO AN UNNAMED TRIBUTARY TO THE HARPETH RIVER ALONG THE NORTHERN BOUNDARY. AN EXISTING DETENTION POND CONSTRUCTED WITH CAROTHERS PARKWAY IS IN THE R.O.W. OF THE INTERSECTION OF CAROTHERS PARKWAY AND LONGPOINT WAY. FOLLOWING THE DEDICATION OF THIS AREA TO THE DEVELOPER PER COF CONTRACT NO. 2016-0098, THIS POND WILL BE FILLED, AND THE STORAGE INCLUDED IN THE PROPOSED DETENTION POND ON SITE. THE ESTIMATED INCREASE IN IMPERVIOUS AREA IS APPROXIMATELY 2.25 ACRES. ANY INCREASES IN STORMWATER RUNOFF WILL BE TREATED AND DETAINED PER CITY OF FRANKLIN REQUIREMENTS.

MINERAL RIGHTS
NO THIRD PARTY MINERAL RIGHTS ARE ASSOCIATED WITH THIS PROPERTY.

TRIP GENERATION

LAND USE: SHOPPING CENTER/RETAIL AND SERVICE STATION
SIZE: 36,000± SF SHOPPING CENTER/RETAIL
4,500± SF SERVICE STATION

ESTIMATED AVG DAILY TRAFFIC: 7,209

EXISTING SLOPES

14% - 19.99%

20% AND GREATER

SOILS LEGEND

ArA Armour silt loam, 0 or 2 percent slopes
ArB Armour silt loam, 2 to 5 percent slopes
ArB2 Armour silt loam, 2 to 5 percent slopes, eroded
CaA Captina silt loam, phosphatic, 0 to 2 percent slopes
CaB2 Captina silt loam, phosphatic, 2 to 5 percent slopes, eroded
HeB2 Hampshire-cobert silt loams, 2 to 5 percent slopes, eroded
Hu Huntington silt loam, phosphatic
Lp Lindell silt loam, 0 to 2 percent slopes, occasionally flooded
Se Sequatchie loam, phosphatic

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	55.92	700.00	4.58	S23° 25' 39"E	55.91
C2	195.89	395.49	28.38	S11° 31' 35"E	193.90
C3	129.80	683.00	10.89	S7° 52' 31"W	129.61
C4	260.20	635.00	23.48	S87° 29' 11"W	258.38
C5	100.91	2929.79	1.97	N23° 02' 59"W	100.91
C6	137.02	2929.79	2.68	N25° 22' 34"W	137.01

Parcel Line Table		
Line #	Length	Direction
L1	4.59	S2° 39' 49"W
L2	27.86	N87° 20' 11"W
L3	20.00	S2° 25' 50"W
L4	38.16	N56° 16' 20"E

GDC

GAMBLE
DESIGN COLLABORATIVE
DEVELOPMENT PLANNING AND
LANDSCAPE ARCHITECTURE

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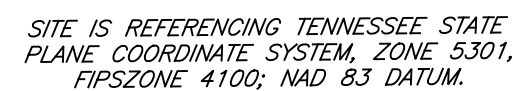
Issue Date: March 12, 2018
ELI Project No: 18-11-1104
Drafted By: RDP
Checked By: LCW

Sheet Title:

ENLARGED
EXISTING
CONDITIONS
PLAN

Sheet No.

C1.1



GRAPHIC SCALE (IN FEET)

A horizontal number line is shown with tick marks at intervals of 20, labeled 0, 20, 40, 60, 80, and 100. The region between the tick marks for 20 and 40 is shaded in black.

1 inch = 40 ft.

LOCKWOOD GLEN, SECTION 10
CRESGENT LOCKWOOD MF, LLC
BOOK 6946, PAGE 328
R.O.W.C. TN
PARCEL ID: 089 04805 00014089

CRESCENT LOCKWOOD, LLC
BOOK 5791, PAGE 574
BOOK 5791, PAGE 585
R.O.W.C. TN
PARCEL ID: 089 04801 00109089

SIMMONS RIDGE JOINT VENTURE
BOOK 6505, PAGE 620
"TRACT 1"
R.O.W.C. TN
PARCEL ID: 089 03700 00014089

PROPERTY DESCRIPTION

PROPERTY SITUATED IN THE CITY OF FRANKLIN, WILLIAMSON COUNTY, TENNESSEE, BEING SHOWN ON TAX MAP 089, AS A PORTION OF PARCEL 48.01, BEING BOUNDED ON THE NORTH BY CRESCENT LOCKWOOD MF, LLC AND P/O SAID PARCEL 48.01, ON THE WEST BY CAROTHERS PARKWAY, ON THE EAST BY SOUTH CAROTHERS ROAD, ON THE SOUTH BY LONGPOINT WAY ROAD AND BEING DESCRIBED MORE PARTICULARLY AS FOLLOWS:

COMMENCING AT A POINT ON THE WESTERLY MARGIN OF S. CAROTHERS ROAD, SAID POINT BEING THE SE CORNER OF LOT 28(OPEN SPACE 1) OF NICHOLS BEND PUD SUBDIVISION, S40°45'00"E OF 27'-00" IN PLAT BOOK 58, PAGE 64 R.O.W.C., TN; THENCE FROM SAID COMMENCING POINT S 27°-52'-43"E, S 123.70' TO A POINT IN THE CENTERLINE OF SAID S. CAROTHERS ROAD BEING THE TRUE POINT OF BEGINNING; THENCE FROM SAID POINT OF BEGINNING ALONG SAID CENTERLINE WITH A CURVE TO THE LEFT HAVING AN ARC LENGTH OF 55.92', A RADIUS OF 700.00', A CENTRAL ANGLE OF 04°-34'-38", A CHORD BEARING AND DISTANCE OF S 23°-25'-39"E, S 55.91'; THENCE S 25°-42'-58"E, S 250.14'; THENCE WITH A CURVE TO THE RIGHT HAVING AN ARC LENGTH OF 195.89', A RADIUS OF 395.49', A CENTRAL ANGLE OF 28°-22'-47"; A CHORD BEARING AND DISTANCE OF S 11°-31'-35"E, S 193.90'; THENCE S 02°-39'-49" W, 4.59'; THENCE LEAVING SAID CENTERLINE N 87°-11'-11" W, 27.86' TO A POINT ON THE AFOREMENTIONED WESTERLY MARGIN OF S. CAROTHERS ROAD; THENCE ALONG SAID MARGIN S 1°-50'-50" W, 150.00'; THENCE WITH A CURVE TO THE RIGHT HAVING AN ARC LENGTH OF 129.81', A RADIUS OF 683.00', A CENTRAL ANGLE OF 10°-53'-14"; A CHORD BEARING AND DISTANCE OF S 07°-52'-31" W, 129.61'; THENCE S 13°-19'-11" W, 93.73'; THENCE S 56°-16'-20" W, 38.16' TO A POINT ON NORTHERLY MARGIN OF THE LONGPOINT WAY ROAD; THENCE ALONG SAID NORTHERLY MARGIN WITH A CURVE TO THE LEFT HAVING AN ARC LENGTH OF 325.61', A RADIUS OF 635.00', A CENTRAL ANGLE OF 29°-22'-46"; A CHORD BEARING AND DISTANCE OF S 84°-32'-07" W, 322.05'; THENCE N 64°-15'-17" W, 233.79' TO A POINT ON THE NORTHEASTERLY MARGIN OF CAROTHERS PARKWAY; THENCE ALONG SAID MARGIN WITH A CURVE TO THE LEFT HAVING AN ARC OF 237.93', A RADIUS OF 2929.79', A CENTRAL ANGLE OF 04°-39'-11", A CHORD BEARING AND DISTANCE OF N 24°-23'-35" W, 237.87' TO AN IRON ROD (OLD), SAID IRON ROD BEING THE SOUTHWESTERLY CORNER OF THE CRESCENT LOCKWOOD MFG. LLC PROPERTY AND OF RECORD IN BOOK 6946, PAGE 128 R.O.W.C., TN; THENCE LEAVING SAID MARGIN AND ALONG THE SOUTHERLY MARGIN OF SAID CRESCENT LOCKWOOD MFG. LLC PROPERTY N 49°-48'-49" E, S 66.16' TO AN IRON ROD (OLD); THENCE N 49°-03'-53" E, 196.32' TO AN IRON ROD (OLD); THENCE N 47°-37'-03" E (PASSING AN IRON ROD (OLD) AT THE SE CORNER OF THE CRESCENT LOCKWOOD MFG. LLC PROPERTY AT 207.75') IN TOTAL 418.85' TO THE POINT OF BEGINNING;

CONTAINING 347243 SQ. FT. OR 7.97 ACRES +/-

GENERAL NOTES

1. TOPOGRAPHIC SURVEY INFORMATION SHOWN ON THIS SURVEY WAS OBTAINED BY THE TENNESSEE STATE PLANE COORDINATE SYSTEM, ZONE 5301, FIPSZONE 4100; NAD 83 DATUM.
 2. SUBJECT PROPERTY IS SHOWN ON WILLIAMSON COUNTY TAX MAP 89 AS A PORTION OF PARCEL #8.01, TOTAL ACRES = 8.31±
 3. SITE ADDRESS
0 CAROTHERS PARKWAY
FRANKLIN, TN 37064
14TH CIVIL DISTRICT
 4. SUBJECT PROPERTY IS CURRENTLY ZONED "NC" NEIGHBORHOOD COMMERCIAL DISTRICT.
 5. THE SURVEYOR HAS NOT PHYSICALLY LOCATED ALL UNDERGROUND UTILITIES. ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN HEREON WERE TAKEN FROM VISUAL APPEARANCES AT THE SITE, PUBLIC RECORDS, AND/OR MAPS PREPARED BY OTHERS. THIS SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION AS INDICATED. THEREFORE, RELIANCE UPON THE TYPE, SIZE, AND LOCATION OF ALL UNDERGROUND UTILITIES SHOULD BE DONE SO WITH THIS CIRCUMSTANCE CONSIDERED. DETAILED VERIFICATION OF EXISTENCE, LOCATION AND DEPTH SHOULD ALSO BE MADE, PRIOR TO ANY CONSTRUCTION. RELATIVE THERETO IS MADE. AVAILABILITY AND COST OF SERVICE SHOULD BE CONFIRMED WITH THE APPROPRIATE UTILITY COMPANY.
TENNESSEE ONE CALL 1-800-351-111 OR 1-615-366-1987.
 6. THIS SURVEYOR HAS NOT BEEN FURNISHED WITH A TITLE REPORT. THEREFORE, THIS SURVEY IS SUBJECT TO FINDINGS OF AN ACCURATE TITLE SEARCH.
 7. MINIMUM REQUIRED BUILDING SETBACKS ARE AS FOLLOWS:
FRONT: 20'
SIDE: 10'
REAR: 25'
- PROPERTY OWNERS: LEVI GRANTHAM, LLC
CONTACT: TERRY RASMUSSEN
ADDRESS: 225 COOL SPRINGS BLVD, SUITE 210
FRANKLIN, TN 37064
PHONE: (615) 472-1823
E-MAIL: TERRY.RASMUSSEN@CRESCENTHOMES.NET
9. SURVEYOR: ENERGY LAND & INFRASTRUCTURE, LLC
CONTACT: BENNIE O. WHEELER, RLS
ADDRESS: 1422 DOWNSVIEW PKW, SUITE A-12
NASHVILLE, TN 37217
PHONE: (615) 383-6300
E-MAIL: BENNIE.WHEELER@ELI-LLC.COM
 10. A PORTION OF THE WITHIN DESCRIBED TRACT OF LAND LIES WITHIN A SPECIAL FLOOD HAZARD AREA AS EVIDENCED ON FEMA MAP NUMBER 47187C0214C, ON THE FLOOD INSURANCE RATE MAPS FOR THE CITY OF FRANKLIN, WILLIAMSON COUNTY, TENNESSEE. (MAP DATED: REVISED DECEMBER 22, 2016).
 11. ALL DRIVE AISLE WILL BE PUBLIC UTILITY, DRAINAGE, & ACCESS EASEMENTS.

ANTICIPATED IMPACTS:

SANITARY SEWER
• CITY OF FRANKLIN SEWER DEPARTMENT
• 9,400 GPD ANTICIPATED DEMAND

DOMESTIC WATER

- MILCROFTON UTILITY DISTRICT
- 9,400 GPD ANTICIPATED DEMAND

RECLAIMED WATER
• NO RECLAIMED WATER

DRAINAGE

- *POST-DEVELOPMENT CONSTRUCTION FLOWS WILL NOT EXCEED PRE-DEVELOPMENT FLOWS*

STREETS

- 7,209 ANTICIPATED ADT

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	55.92	700.00	4.58	S23° 25' 39"E	55.91
C2	195.89	395.49	28.38	S11° 31' 35"E	193.90
C3	129.80	683.00	10.89	S7° 52' 31"W	129.61
C4	260.20	635.00	23.48	S87° 29' 11"W	258.38
C5	100.91	2929.79	1.97	N23° 02' 59"W	100.91
C6	137.02	2929.79	2.68	N25° 22' 34"W	137.01

Parcel Line Table		
Line #	Length	Direction
L1	4.59	S2° 39' 49"W
L2	27.86	N87° 20' 11"W
L3	20.00	S2° 25' 50"W
L4	38.16	N56° 16' 20"E

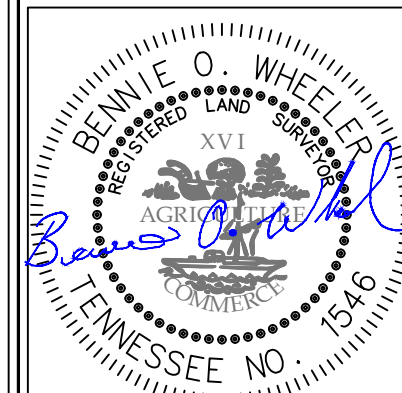


ENERGY LAND & INFRASTRUCTURE
420 DONELSON PIKE, SUITE A12 • NASHVILLE, TN 37217
OFFICE 615-383-6300 • WWW.ELI-LLC.COM
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**LOCKWOOD COMMERCIAL
PARCEL PRELIMINARY PLAT**

MAP 89, PART OF PARCEL 48.01 CALLED "PORTION B"
CITY OF FRANKLIN PROJECT NO. 6650
FRANKLIN, TENNESSEE

[illegible]

Issue Date: March 12, 2013

ELJ Project No:	18-11-110
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Drafted By:	BDI
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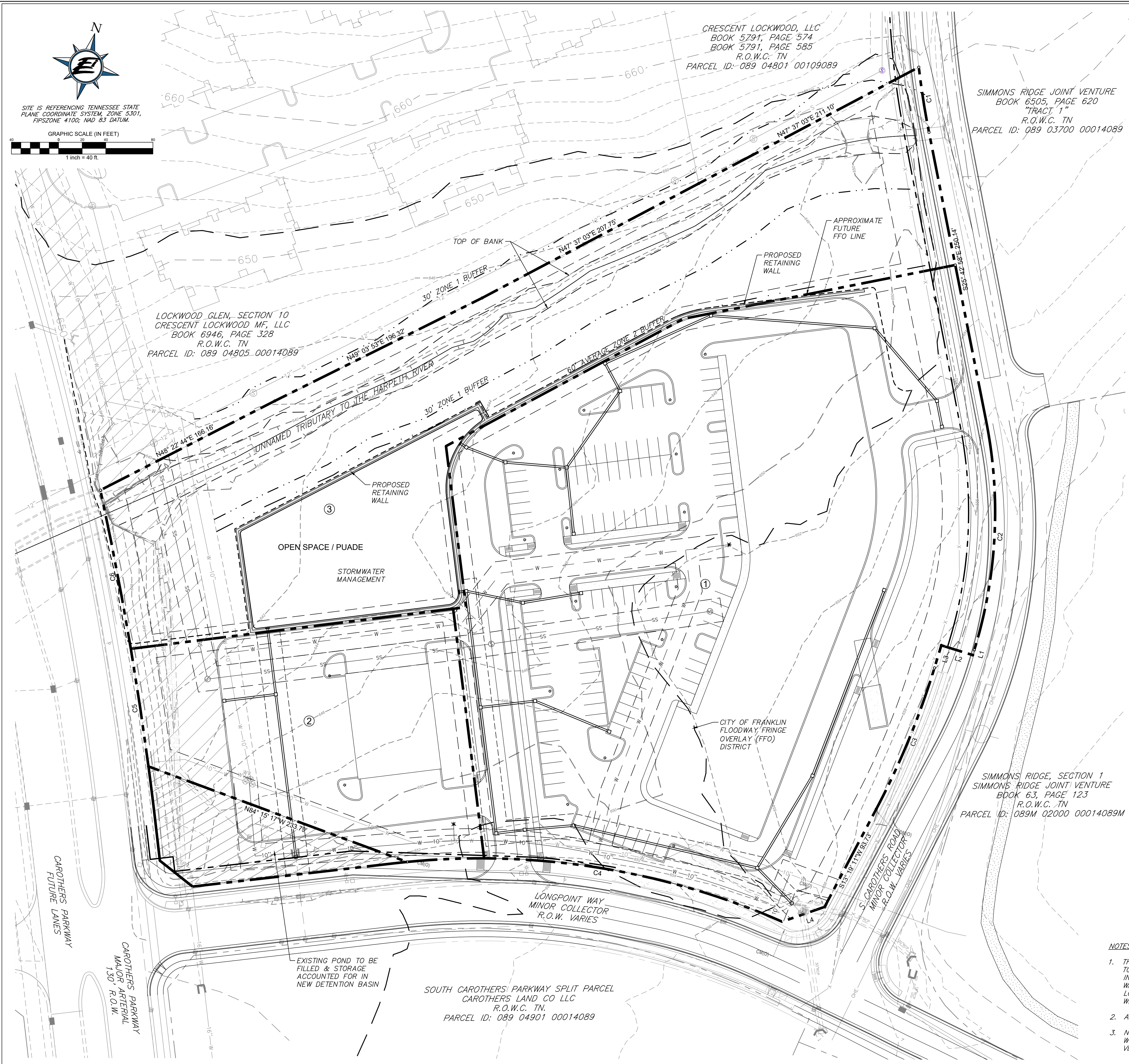
Checked By:	LCW
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Sheet Title


PRELIMINARY
PLAT

Sheet No.

C 2.0



- GRADING & DRAINAGE GENERAL NOTES**
1. GRADING PERMIT IS REQUIRED FOR ANY PROJECT DISTURBING MORE THAN 10,000 SF, ADDING MORE THAN 5,000 SF OF IMPERVIOUS SURFACE OR FOR ANY SITE GRADING REQUIRING STOCKPILING OF MATERIAL.
 2. THE DEVELOPER SHALL PROVIDE THE NECESSARY LABOR AND SUPERVISION REQUIRED TO SUPPORT FIELD TESTING BY THE INDEPENDENT TESTING FIRM AND INSPECTIONS BY CITY OFFICIALS AT NO COST TO THE CITY. TEST REPORTS OF FIELD TESTING IF APPLICABLE SHALL BE SUBMITTED DIRECTLY TO THE STREET DEPARTMENT. DEFECTS DISCLOSED BY TESTS SHALL BE RECTIFIED.
 3. AN AUTHORIZED REPRESENTATIVE OF THE CITY SHALL MAKE A FINAL INSPECTION OF THE PROJECT AFTER COMPLETION TO DETERMINE ACCEPTABILITY OF THE WORK AND FOR RELEASE OF PERFORMANCE BONDS IF REQUIRED. BEFORE THIS FINAL INSPECTION CAN BE MADE, THE ENGINEER RESPONSIBLE FOR THE PROJECT SHALL CERTIFY IN WRITING TO THE CITY ENGINEER THAT THE WORK HAS BEEN COMPLETED IN ACCORDANCE WITH APPROVED PLANS AND SPECIFICATIONS.
 4. DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, CULVERTS, DETENTION BASINS AND DITCHES, AS WELL AS THE ROADWAY SUB-GRADE, BASE STONE AND BINDER & SURFACE COARSE SHALL BE INSPECTED, TESTED AND GIVEN APPROVAL AT EACH STAGE OF INSTALLATION PRIOR TO PROCEEDING TO THE NEXT STAGE OF CONSTRUCTION. FINAL CONSTRUCTION INSPECTION FOR APPROVAL AND ACCEPTANCE OF STREETS AND DRAINAGE SYSTEMS WILL NOT BE GRANTED UNTIL ALL WORK HAS BEEN COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS.
 5. LOCATING AND COORDINATION FOR THE RELOCATION OF EXISTING UTILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR. TENNESSEE'S ONE-CALL AND THE CITY OF FRANKLIN UTILITY LOCATION SERVICE SHALL BE UTILIZED IN ADDITION TO COORDINATION WITH LOCAL UTILITY OWNERS. THE CONTRACTOR SHALL AT ALL TIMES PROTECT EXISTING UTILITIES AND WILL BE RESPONSIBLE FOR COSTS DUE TO DAMAGE CAUSED TO ANY UTILITY LINES.



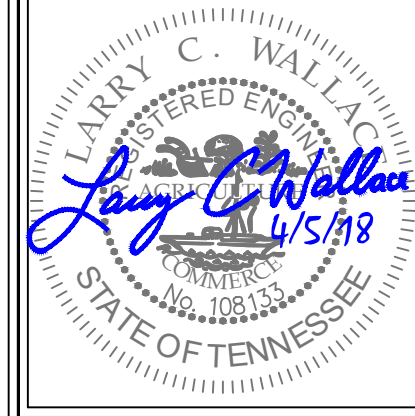
GDC
GAMBLE
DESIGN COLLABORATIVE
DEVELOPMENT PLANNING AND
LANDSCAPE ARCHITECTURE

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**LOCKWOOD COMMERCIAL
PARCEL PRELIMINARY PLAT**

MAP 89, PART OF PARCEL 48.01 CALLED "PORTION B"
CITY OF FRANKLIN PROJECT NO. 6650
FRANKLIN, TENNESSEE

Rev.	Date	Per City of Franklin Comments	Revision Description
1	4/5/18		

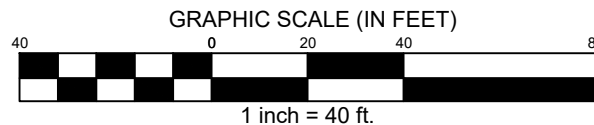


Issue Date: March 12, 2018
ELI Project No: 18-11-1104
Drafted By: RDP
Checked By: LCW
Sheet Title:

**SITE
GRADING &
DRAINAGE
PLAN**

Sheet No.
C 3.0

- NOTES**
1. THE ENTRANCE LOCATION ON LONGPOINT WAY SHALL BE LOCATED APPROPRIATELY TO PROVIDE ADEQUATE STORAGE FOR VEHICLES ENTERING THE SITE WITHOUT INTERFERING WITH THE OPERATION OF THE INTERSECTIONS OF LONGPOINT WAY/CAROTHERS PARKWAY AND LONGPOINT WAY/SOUTH CAROTHERS ROAD. THIS LOCATION SHALL BE DETERMINED BY A TRAFFIC IMPACT STUDY TO BE SUBMITTED WITH THE INITIAL SITE PLAN.
 2. ALL DRIVE AISLES WILL BE PUBLIC UTILITY, DRAINAGE, AND ACCESS EASEMENTS.
 3. NO STORMWATER FACILITIES SHALL BE ADJACENT TO PUBLIC RIGHT-OF-WAY WHERE FUTURE ROADWAY IMPROVEMENTS MAY ENDANGER THE LONG-TERM VIABILITY OF THOSE FEATURES.



LOCKWOOD GLEN, SECTION 10
CRESCENT LOCKWOOD MF, LLC
BOOK 6946, PAGE 328
R.O.W.C. TN
PARCEL ID: 089 04805 00014089

CRESCENT LOCKWOOD, LLC
BOOK 5791, PAGE 574
BOOK 5791, PAGE 585
R.O.W.C. TN
PARCEL ID: 089 04801 00109089

SIMMONS RIDGE JOINT VENTURE
BOOK 6505, PAGE 620
"TRACT 1"
R.O.W.C. TN
PARCEL ID: 089 03700 00014089

SIMMONS RIDGE, SECTION 1
SIMMONS RIDGE JOINT VENTURE
BOOK 63, PAGE 123
R.O.W.C. TN
PARCEL ID: 089M 02000 00014089M

R.O.W. & ACCESS GENERAL NOTES

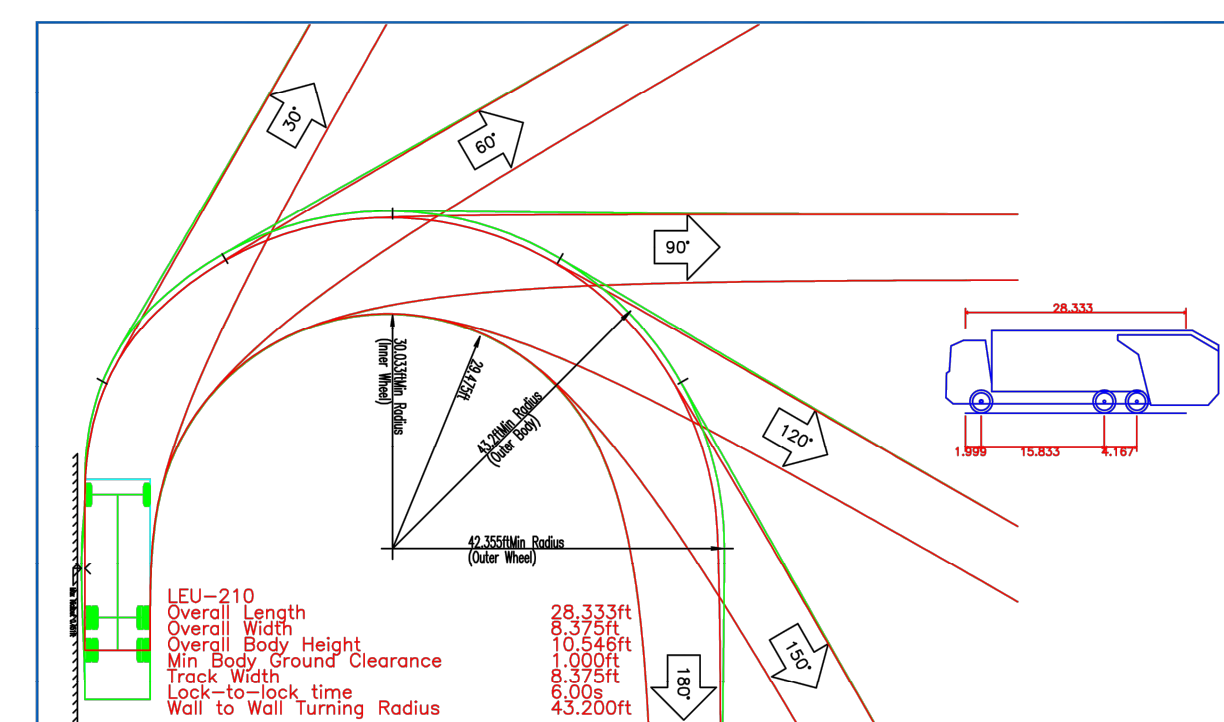
1. PRIOR TO BEGINNING ANY CONSTRUCTION, THE DEVELOPER AND/OR CONTRACTOR, SHALL OBTAIN ALL NECESSARY PERMITS AS REQUIRED BY LAW. SUCH PERMITS MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE REQUIRED BY STATE OF TENNESSEE, WILLAMSON COUNTY AND OTHER CITY OF FRANKLIN AGENCIES.
2. ALL OFF-SITE WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE AN APPROVED TRAFFIC CONTROL PLAN WHICH COMPLIES WITH THE MUTCD. NO OFF-SITE EXCAVATION MAY BE UNDERTAKEN IN ANY STREET, ROAD, ALLEY OR RIGHT-OF-WAY OF ANY UTILITY OR TEMPORARY CONSTRUCTION EASEMENT OF THE CITY OF FRANKLIN BY ANY ENTITY UNLESS 72-HOUR NOTICE HAS BEEN GIVEN TO THE CITY OF FRANKLIN TRAFFIC OPERATIONS CENTER. THE CONTRACTOR SHALL HAVE AN APPROVED TRAFFIC CONTROL PLAN ON-SITE DURING CONSTRUCTION.
3. CONSTRUCTION MATERIALS SHALL BE FULLY TESTED IN ACCORDANCE WITH THE DESIGNATIONS AND REQUIREMENTS WITHIN THE REFERENCED "TDOT STANDARD SPECIFICATIONS" SECTIONS, UNLESS OTHERWISE NOTED WITHIN THE "STANDARD SPECIFICATIONS" SECTION OF THE CITY OF FRANKLIN TRANSPORTATION & STREET TECHNICAL STANDARDS.
4. AN AUTHORIZED REPRESENTATIVE OF THE CITY SHALL MAKE A FINAL INSPECTION OF THE PROJECT AFTER COMPLETION TO DETERMINE ACCEPTABILITY OF THE WORK AND FOR RELEASE OF PERFORMANCE BONDS IF REQUIRED BEFORE THIS FINAL INSPECTION CAN BE MADE. THE ENGINEER RESPONSIBLE FOR THE PROJECT SHALL CERTIFY IN WRITING TO THE CITY ENGINEER THAT THE WORK HAS BEEN COMPLETED IN ACCORDANCE WITH APPROVED PLANS AND SPECIFICATIONS.
5. LOCATING AND COORDINATION FOR THE RELOCATION OF EXISTING UTILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR. TENNESSEE'S ONE-CALL AND THE CITY OF FRANKLIN UTILITY LOCATION SERVICE SHALL BE UTILIZED IN ADDITION TO COORDINATION WITH LOCAL UTILITY OWNERS. THE CONTRACTOR SHALL AT ALL TIMES PROTECT EXISTING UTILITIES AND WILL BE RESPONSIBLE FOR COSTS DUE TO DAMAGE CAUSED TO ANY UTILITY LINES.
6. ALL TEMPORARY STRIPING SHALL CONFORM TO "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION," PUBLISHED BY TDOT, THE LATEST REVISION EXCEPT AS HEREIN AMENDED. WHEN APPROVED, TEMPORARY STRIPING SHALL BE REQUIRED PRIOR TO THE OPENING OF A STREET FOR TRAVEL WHERE PAVEMENT AND/OR PERMANENT STRIPING CANNOT BE COMPLETED DUE TO WEATHER AND/OR TIME CONSTRAINTS.
7. THERMOPLASTIC PAVEMENT MARKINGS SHOULD BE USED ON ALL PUBLIC AND PRIVATE CITY STREET PROJECTS. THERMOPLASTIC TRAFFIC STRIPING AND PAVEMENT MARKINGS SHALL CONFORM TO SECTION 716.03 "THERMOPLASTIC PAVEMENT MARKINGS", OF THE TENNESSEE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS (TDOT), AND TO THE CITY OF FRANKLIN TRANSPORTATION & STREET TECHNICAL STANDARDS.

ACCESS MANAGEMENT

MIN. DISTANCE BETWEEN DRIVEWAY & INTERSECTIONS: 300 FT (MINOR COLLECTOR),
200 FT (MAJOR ARTERIAL)

DRIVEWAY WIDTH: 25 - 36 FT

DRIVEWAY APPROACH STREET CONFIGURATION: 25 FT RADIUS RETURN

[illegible]

Mack LEU Tandem Axle Automated Side Loader		CITY OF FRANKLIN ENGINEERING 109 THIRD AVE SOUTH FRANKLIN, TN 37064	
TITLE COF LEU - 1		CITY ENGINEER	
DWG. NO. 09/15/2015		DATE	
EFFECTIVE DATE		DIRECTOR OF ENGINEERING	
		DATE	

CITY OF FRANKLIN TOWER 2 (SUTPHEN SP 100 AERIAL PLATFORM)
 LENGTH: 51.25 FT
 FROM BUMPER TO CENTERLINE OF FRONT AXLE: 10 FT
 WHEELBASE (FRONT AXLE TO REAR AXLE): 22.25 FT
 WIDTH: 8.66 FT
 TRACK: 8.00 FT
 LOCK TO LOCK TIME: 6 SECONDS
 STEERING LOCK ANGLE: 42°
 APPROACH ANGLE: 13°
 DEPARTURE ANGLE: 8°
 TURNING RADIUS (INSIDE): 33 FT
 TURNING RADIUS (OUTSIDE): 36 FT 7 IN
 TURNING RADIUS (WALL TO WALL): 42 FT
 GROSS VEHICLE WEIGHT: 67,000 LBS

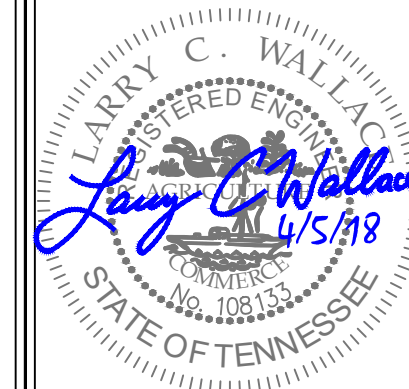
NOTES

1. THE ENTRANCE LOCATION ON LONGPOINT WAY SHALL BE LOCATED APPROPRIATELY TO PROVIDE ADEQUATE STORAGE FOR VEHICLES ENTERING THE SITE WITHOUT INTERFERING WITH THE OPERATION OF THE INTERSECTIONS OF LONGPOINT WAY/CAROTHERS PLACE AND LONGPOINT WAY/SOUTH CAROTHERS ROAD. THIS LOCATION SHALL BE DETERMINED BY A TRAFFIC IMPACT STUDY TO BE SUBMITTED WITH THE INITIAL SITE PLAN.
2. ALL DRIVE AISLES WILL BE PUBLIC UTILITY, DRAINAGE, AND ACCESS EASEMENTS.



**LOCKWOOD COMMERCIAL
PARCEL PRELIMINARY PLAT**

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FRANKLIN, TENNESSEE

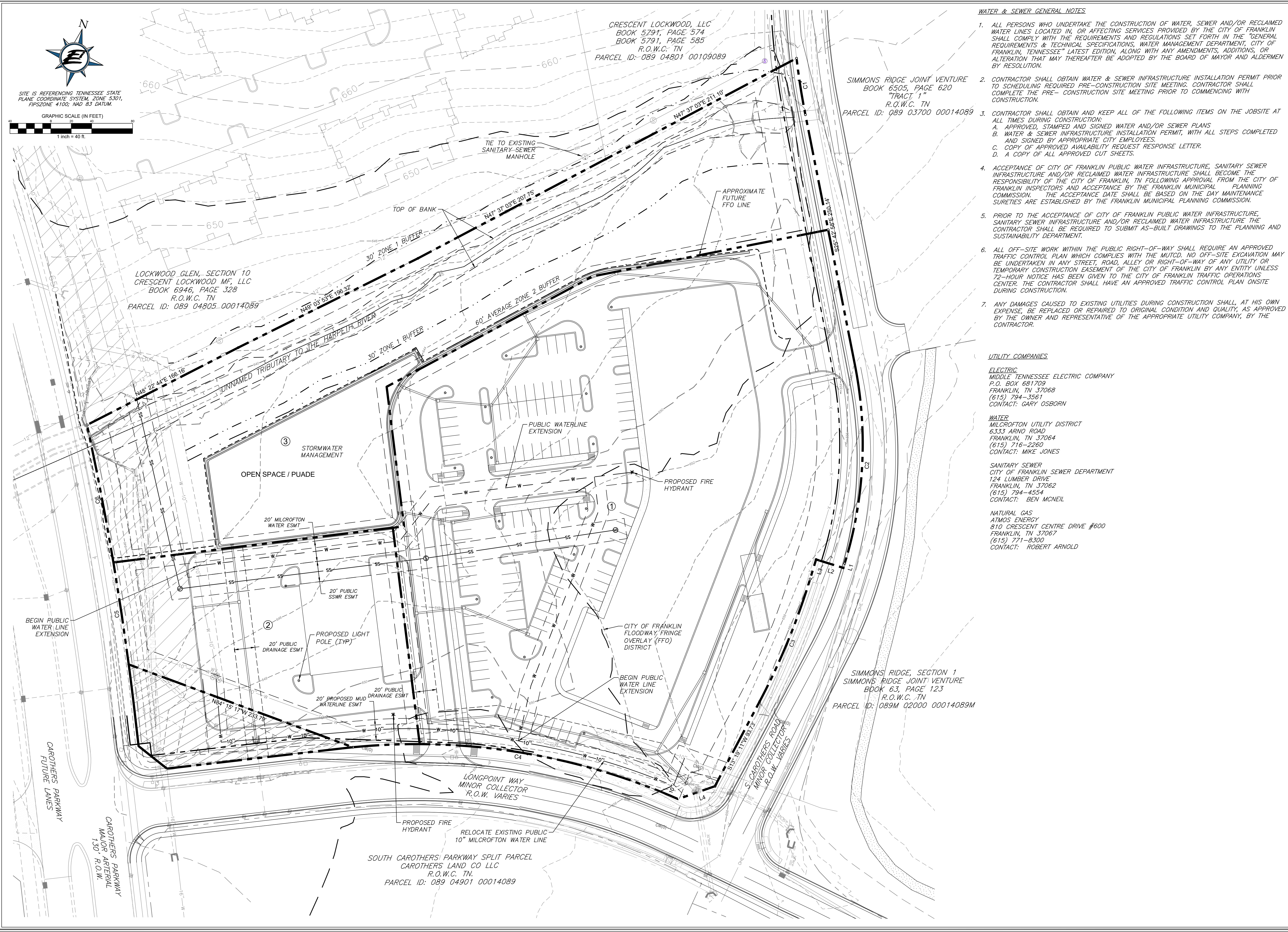
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Issue Date:	March 12, 2018
ELI Project No:	18-11-110
Drafted By:	RDI
Checked By:	LCW
Sheet Title:	

SITE ROW & ACCESS PLAN

Sheet No.

C 4.0



- WATER & SEWER GENERAL NOTES**
- ALL PERSONS WHO UNDERTAKE THE CONSTRUCTION OF WATER, SEWER AND/OR RECLAIMED WATER LINES LOCATED IN, OR AFFECTING SERVICES PROVIDED BY THE CITY OF FRANKLIN SHALL COMPLY WITH THE REQUIREMENTS AND REGULATIONS SET FORTH IN THE "GENERAL REQUIREMENTS & TECHNICAL SPECIFICATIONS, WATER MANAGEMENT DEPARTMENT, CITY OF FRANKLIN, TENNESSEE" LATEST EDITION, ALONG WITH ANY AMENDMENTS, ADDITIONS, OR ALTERATION THAT MAY THEREAFTER BE ADOPTED BY THE BOARD OF MAYOR AND ALDERMEN BY RESOLUTION.
 - CONTRACTOR SHALL OBTAIN WATER & SEWER INFRASTRUCTURE INSTALLATION PERMIT PRIOR TO SCHEDULING REQUIRED PRE-CONSTRUCTION SITE MEETING. CONTRACTOR SHALL COMPLETE THE PRE- CONSTRUCTION SITE MEETING PRIOR TO COMMENCING WITH CONSTRUCTION.
 - CONTRACTOR SHALL OBTAIN AND KEEP ALL OF THE FOLLOWING ITEMS ON THE JOBSITE AT ALL TIMES DURING CONSTRUCTION:
A. APPROVED, STAMPED AND SIGNED WATER AND/OR SEWER PLANS
B. WATER & SEWER INFRASTRUCTURE INSTALLATION PERMIT, WITH ALL STEPS COMPLETED AND SIGNED BY APPROPRIATE CITY EMPLOYEES.
C. COPY OF APPROVED AVAILABILITY REQUEST RESPONSE LETTER.
D. A COPY OF ALL APPROVED CUT SHEETS.
 - ACCEPTANCE OF CITY OF FRANKLIN PUBLIC WATER INFRASTRUCTURE, SANITARY SEWER INFRASTRUCTURE AND/OR RECLAIMED WATER INFRASTRUCTURE SHALL BECOME THE RESPONSIBILITY OF THE CITY OF FRANKLIN, TN FOLLOWING APPROVAL FROM THE CITY OF FRANKLIN INSPECTORS AND ACCEPTANCE BY THE FRANKLIN MUNICIPAL PLANNING COMMISSION. THE ACCEPTANCE DATE SHALL BE BASED ON THE DAY MAINTENANCE SURETIES ARE ESTABLISHED BY THE FRANKLIN MUNICIPAL PLANNING COMMISSION.
 - PRIOR TO THE ACCEPTANCE OF CITY OF FRANKLIN PUBLIC WATER INFRASTRUCTURE, SANITARY SEWER INFRASTRUCTURE AND/OR RECLAIMED WATER INFRASTRUCTURE THE CONTRACTOR SHALL BE REQUIRED TO SUBMIT AS-BUILT DRAWINGS TO THE PLANNING AND SUSTAINABILITY DEPARTMENT.
 - ALL OFF-SITE WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE AN APPROVED TRAFFIC CONTROL PLAN WHICH COMPLIES WITH THE MUTCD. NO OFF-SITE EXCAVATION MAY BE UNDERTAKEN IN ANY STREET, ROAD, ALLEY OR RIGHT-OF-WAY OF ANY UTILITY OR TEMPORARY CONSTRUCTION EASEMENT OF THE CITY OF FRANKLIN BY ANY ENTITY UNLESS 72-HOUR NOTICE HAS BEEN GIVEN TO THE CITY OF FRANKLIN TRAFFIC OPERATIONS CENTER. THE CONTRACTOR SHALL HAVE AN APPROVED TRAFFIC CONTROL PLAN ONSITE DURING CONSTRUCTION.
 - ANY DAMAGES CAUSED TO EXISTING UTILITIES DURING CONSTRUCTION SHALL, AT HIS OWN EXPENSE, BE REPLACED OR REPAIRED TO ORIGINAL CONDITION AND QUALITY, AS APPROVED BY THE OWNER AND REPRESENTATIVE OF THE APPROPRIATE UTILITY COMPANY, BY THE CONTRACTOR.


UTILITY COMPANIES

ELECTRIC
MIDDLE TENNESSEE ELECTRIC COMPANY
P.O. BOX 681709
FRANKLIN, TN 37068
(615) 794-3581
CONTACT: GARY OSBORN

WATER
MILCROFTON UTILITY DISTRICT
6333 ARNO ROAD
FRANKLIN, TN 37064
(615) 716-2260
CONTACT: MIKE JONES


SANITARY SEWER
CITY OF FRANKLIN SEWER DEPARTMENT
124 LUMBER DRIVE
FRANKLIN, TN 37062
(615) 794-4554
CONTACT: BEN MCNEIL

NATURAL GAS
ATMOS ENERGY
810 CRESCENT CENTRE DRIVE #600
FRANKLIN, TN 37067
(615) 771-8300
CONTACT: ROBERT ARNOLD



GAMBLE
DESIGN COLLABORATIVE
DEVELOPMENT PLANNING AND
LANDSCAPE ARCHITECTURE


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**LOCKWOOD COMMERCIAL
PARCEL PRELIMINARY PLAT**

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FRANKLIN, TENNESSEE

Rev.	Date	Per City of Franklin Comments	Revision Description
1	4/5/18		



Issue Date: March 12, 2018
ELI Project No: 18-11-1104
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Sheet Title:

**SITE
UTILITY
PLAN**

Sheet No.
C 5.0