

- Plat Notes:
- The purpose of this plat is to create 50 lots (Lots 1935-1985), and 3 Open Space lots (5085-5087).
 - Subject property is shown as Section 50 located in Westhaven P.U.D. Subdivision, Fifth Civil District, City of Franklin, Williamson County, Tennessee.
 - Subject property is identified as a portion of Parcel 1 and a portion of Parcel 1.16, both on Property Map 77.
 - Zoning: SD-X (Special Development-Variety) (ML 1.8/Traditional/WHCO-1)
 - According to the Westhaven Pattern Book, the following building types would be permitted in the T4 and T5 transect zones - sideyard house, cottage, or house.
Minimum setback requirements (Section 50 lots):
Front yard - 10'
Side yard - 5' (min. 10' between buildings)
(Minimum 0' between townhome units)

Note: Projections shall not extend to a point closer than 4 feet from the property line. Any projections (including soffits) into the 5' sideyard setback shall have a one-hour fire-resistive construction on the underside. Refer to the 2004 IRC Supplement R302.1 Exterior Walls for further explanation.

Rear yard/Alley setback - 7' (minimum 18' wide x 22' deep parking apron is required from the front of the apron to the face of alley curb) except on street corner lots and lots that provide garages with a storage area of 50 square feet or greater.

Rear yard/Non-alley setback - 5' minimum to the property line; 10' minimum between buildings (for the main, back and ancillary buildings)

- All lots in Section 50 fall in the T4 and T5 Transect Zone as defined in the Westhaven Concept Plan (Revision 2) and Pattern Book, revised 05/08/07.

- Section 50 includes the following building types and sizes: sideyard houses, cottages, houses, courtyards, courtyard apartments, townhomes, and flex houses.

Dwelling unit living areas: Exclusive of open porches, garages, and ancillary apartments:
Minimum.....1,000 S.F.
Maximum.....10,000 S.F.
Maximum building heights.....2 stories

Lots 1962-1965 and Lots 1977-1980 (total 8 lots) are attached townhome lots.

- Bearings are based on Tennessee state plane coordinate system, Zone 5301, FIPS Zone 4100, NAD 83 Datum.
- Subject property is not within a Flood Hazard Area as per F.E.M.A. Flood Insurance Rate Map No. 47187CO195F, Revision Date September 29, 2006, Community No. 470206, Panel No. 195F.
- The developer acknowledges that all lots have adequate building envelopes and no variances will be required.
- All streets and alleys are designated as Public Right-of-Way; the City of Franklin is not responsible for the replacement or repair of any private structures within public easements should the structures be disturbed in the process of the City exercising its easement rights.
- Streets, drainage easements, structures, and culverts shall be maintained by the City of Franklin. Detention ponds and outlet structures within public drainage easements are to be maintained by the Westhaven Homeowners' Association.
- Stormwater quality shall be addressed with each site plan.
- Open space areas, roadway medians, brick pedestrian crosswalks, bike paths, sidewalks outside of right-of-ways, trails and detention facilities shall be maintained by the Westhaven Home Owners Association and shall be Public Utility, Drainage and Access Easements.
- Building Elements: Porches, stoops, chimneys, bay windows, and balconies may encroach into the front yard setbacks. Chimneys may encroach up to 1'-0" from the property line within the sideyard setbacks. Where chimneys encroach into the sideyard setback, the minimum separation between dwellings shall be reduced by the distance of the encroachment only at the width of the fireplace. The remainder of the sideyard setback shall be the stated minimum. Chimneys that encroach closer than 5'-0" to a property line must meet the fire rating requirements of the City of Franklin Building Codes.
- Within new developments and for off-site lines constructed as a result of, or to provide service to, the new development, all utilities, (including cable television, electrical, natural gas, sewer, telephone and water lines) shall be placed underground.
- All street light locations and quantities are approximate. Final positioning and quantity shall be at the direction of MTEMC. 17. Mineral rights are to be held by Westhaven Partners, LLC.
- Property numbers are indicated as such: Lot numbers are encircled and address numbers are enclosed by rectangular shape.
- At all temporary turnarounds, a sign shall be placed stating, "Street to be extended by authority of the City of Franklin."
- Street address numbers are assigned to the following street names: Lots 1935-1954 Championship Blvd., Lots 1960-1965 Erwin Street, and 1955-1959 Eliot Road.
- Maintenance of all stormwater management features shall be the responsibility of the property owner(s) or HOA.
- No obstructions or encroachments which impede the flow of stormwater shall be permitted within Public Drainage Easements between lots. The City of Franklin is not responsible for repair or replacement of any encroachments that are damaged or removed in the course of maintenance activity within easements.
- Sidewalks and trails outside of public right-of-way shall be public access easements and shall be maintained by the Homeowners' Association.
- Required Exterior Parking:
A. Single Family Detached Residence
2 spaces required except on street corner lots. Spaces must be on the same lot as the residence. Spaces shall be a minimum of 18' wide by 22' deep paved area (as measured from the face of the alley curb). Parking area may be garage apron or a separate parking pad.

Legend		Legend (cont.)	
Existing Iron Rod	○	Water Valve	⋈
Iron Rod Set	●	Fire Hydrant	⋈
Existing Concrete Monument	□	Street Light	⋈
Concrete Monument Set	■	Sidewalk Pattern	⋈
Storm Catchbasin	⊠	Public Utility & Drainage Esmt.	P.U.D.E.
Sewer Manhole	⊙	Public Drainage Esmt.	P.D.E.
Street Address	1234	Public Utility & Access Esmt.	P.U.A.E.

Certificate of Survey

I (we) hereby certify that the subdivision plat as shown hereon is correct and that all of the monuments shown hereon have been placed as indicated. This subdivision plat correctly represents a survey made under my supervision on the 28th day of February, 2018.

Keith Ryan Brotherton Tennessee RLS No. 2850
Wilson & Associates, P.C.
Engineering/Surveying/Environmental
108 Beasley Drive, Franklin, TN 37064
Office: 615.794.2275 FAX 615.794.2176
kbrotherton@wilsonpc.com

Owner/Subdivider: Westhaven Partners, LLC
Owners/Partners with 5% interest or more:

Westhaven Partners, LLC c/o Tim Downey - tim.downey@southernland.com 1550 W. McEwen Drive, Suite 200 Franklin, TN 37067 (615) 778-3150	
H. Rhodes Hart 612 10th Ave, North Nashville, TN 37203 (615) 259-4222	Frank Mastrapasqua 814 Church Street, #300 Nashville, TN 37203 (615) 244-8400
TPMC Limited Partnership c/o Pete Serodino P.O. Box 4539 Chattanooga, TN 37405 (423) 266-1855	Springlake, C.P. c/o Ron Pace 95 White Bridge Road, #504 Nashville, TN 37205 (615) 352-9600
Monica Smiley 1417 Heritage Landing Drive Chattanooga, TN 37405 (423) 266-1070	Frank J.B. Varallo Rone-Regency Jewelers Brainerd Village Chattanooga, TN 37411 (423) 894-1188

- The City of Franklin Water Management department has unrestricted access to its domestic water, sanitary sewer, reclaim water lines or system improvements located within its exclusive easements within the development. In the event landscaping, fencing, concrete or other structures are installed or placed within a City of Franklin easement, the City of Franklin shall have the right to remove such encroachments within the easement as may be necessary for the City of Franklin to repair, maintain or replace its infrastructure which is now or in the future may be located within the easement without obtaining any further permission from the property owner or HOA. The property owner or HOA shall be responsible for repairing and/or replacing any such landscaping, fencing, concrete, or other structures removed or disturbed by the City of Franklin in common open space lots and in areas owned by the property owner or HOA at no expense to the City of Franklin. Individual homeowners shall be responsible for structures removed or disturbed by the City of Franklin within an easement on the homeowners' lot at the homeowners' expense.

CERTIFICATE OF APPROVAL OF SUBDIVISION NAME, STREET NAMES, AND ADDRESSING

Subdivision name and street names approved by the Williamson County Emergency Management Agency.

Williamson County Emergency Management Agency _____ Date _____

CERTIFICATE OF APPROVAL OF WATER SYSTEMS

I hereby certify that:

- (1) the water system designated in Westhaven PUD Subdivision, Section 50 has been installed in accordance with City Specifications, or
- (2) a performance agreement and surety in the amount of \$ _____ for the water system has been posted with HB&TS Utility District to assure completion of such system.

HB&TS Utility District _____ Date _____

MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION

Middle Tennessee Electric Membership Corporation (MTEMC) will provide electric service to the subject property according to the normal operating practices of MTEMC as defined in the rules and regulations, bylaws, policy bulletins and operational bulletins of MTEMC, and in accordance with the plat approval checklist, tree planting guidelines and other regulations contained on the MTEMC website at www.mtemc.com (collectively the "Requirements"). No electric service will be provided until MTEMC's Requirements have been met and approved in writing by an authorized representative of MTEMC. Any approval is, at all times, contingent upon continuing compliance with MTEMC's Requirements.

_____ Date _____ Middle Tennessee Electric Membership Corporation

CERTIFICATE OF APPROVAL OF STREETS AND DRAINAGE AND SIDEWALKS

I hereby certify that:

- (1) the streets, drainage, and sidewalks designated in Westhaven PUD Subdivision, Section 50 have been installed in accordance with City Specifications, or
- (2) a performance agreement and surety in the amount of \$ _____ for streets, \$ _____ for drainage, and \$ _____ for sidewalks has been posted with the City of Franklin, Tennessee, to assure completion of such improvements.

Director, Streets Department _____ Date _____
City of Franklin, Tennessee

CERTIFICATE OF APPROVAL OF SEWER SYSTEMS

I hereby certify that:

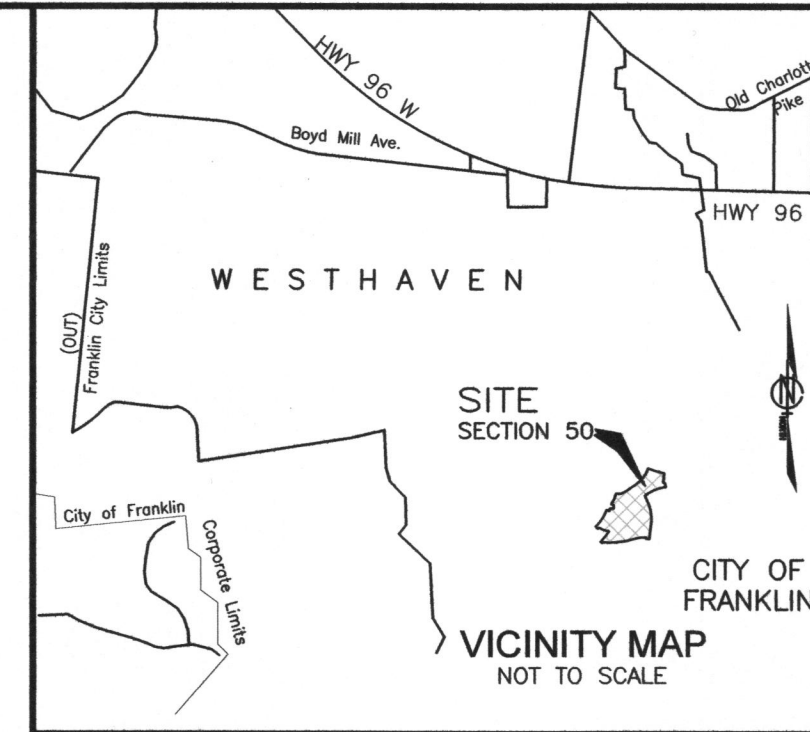
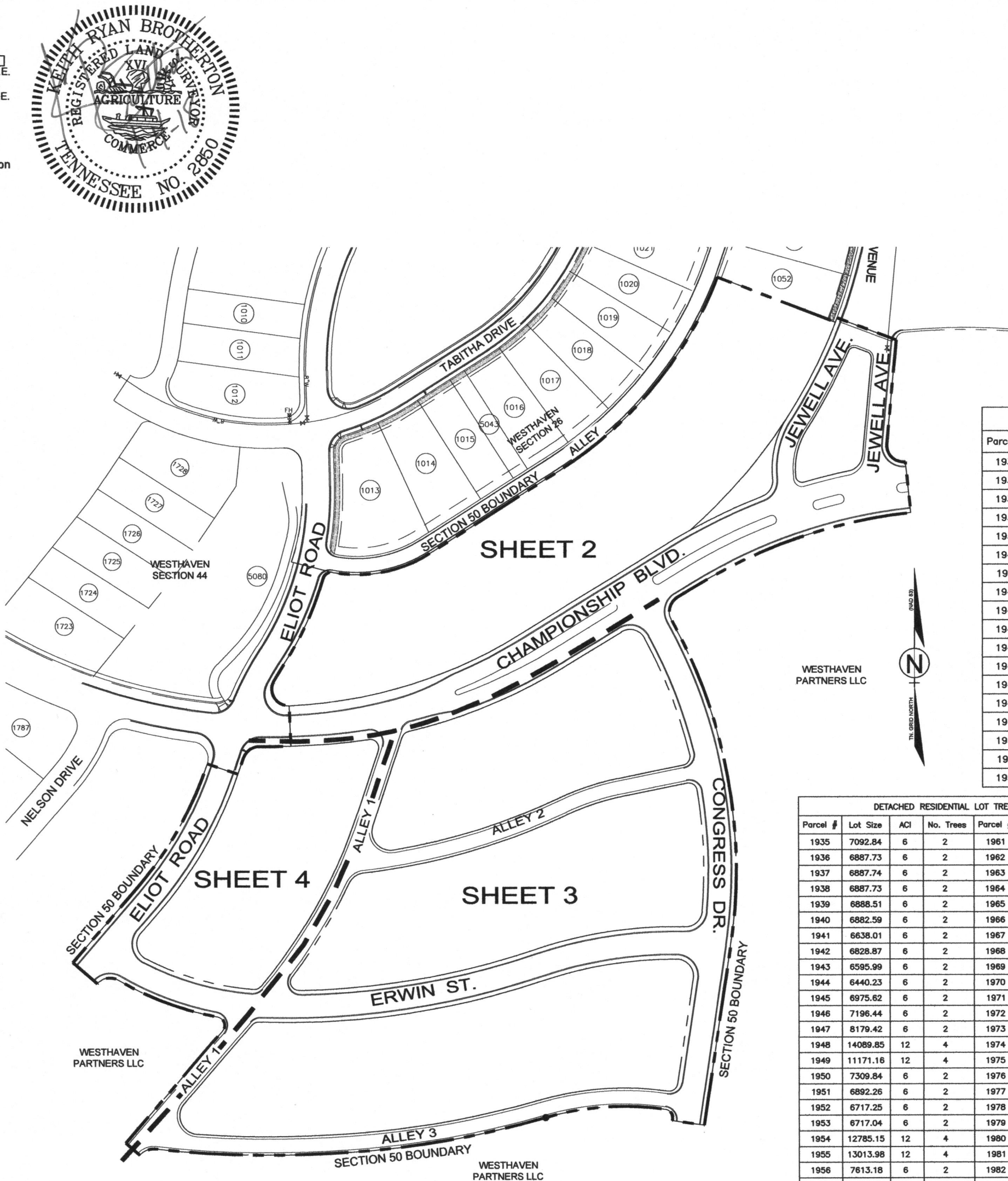
- (1) the sewer system designated in Westhaven PUD Subdivision, Section 50 has been installed in accordance with City specifications, or
- (2) a performance agreement and surety in the amount of \$ _____ for the sewer system has been posted with the City of Franklin, Tennessee to assure completion of such system.

Director Water Management Department _____ Date _____
City of Franklin, Tennessee

CERTIFICATE OF APPROVAL OF RECORDING

Approved by the Franklin Municipal Planning Commission, Franklin, Williamson County, Tennessee, with the exception of such conditions, if any, as are noted in the Planning Commission minutes for the _____ day of _____, 20____ and this plat has been approved for recording in the Register's Office of Williamson County, Tennessee.

Secretary _____ Date _____
Franklin Municipal Planning Commission



LOT AREAS			LOT AREAS			LOT AREAS		
Parcel #	Area (SF)	Area (Ac.)	Parcel #	Area (SF)	Area (Ac.)	Parcel #	Area (SF)	Area (Ac.)
1935	7092.84	0.16	1953	6717.04	0.15	1971	8941.53	0.21
1936	6887.73	0.16	1954	12785.15	0.29	1972	10232.36	0.23
1937	6887.74	0.16	1955	13013.98	0.30	1973	6789.84	0.16
1938	6887.73	0.16	1956	7613.18	0.17	1974	5054.45	0.12
1939	6888.51	0.16	1957	7687.17	0.18	1975	4729.23	0.11
1940	6882.59	0.16	1958	7313.48	0.17	1976	5067.47	0.12
1941	6638.01	0.15	1959	11452.27	0.26	1977	3917.61	0.09
1942	6828.87	0.16	1960	10526.13	0.24	1978	2970.23	0.07
1943	6595.99	0.15	1961	5135.96	0.12	1979	2970.23	0.07
1944	6440.23	0.15	1962	3918.73	0.09	1980	3917.61	0.09
1945	6975.62	0.16	1963	2970.32	0.07	1981	5066.00	0.12
1946	7196.44	0.16	1964	2970.34	0.07	1982	4694.99	0.11
1947	8179.42	0.19	1965	3918.85	0.09	1983	5833.32	0.13
1948	14089.85	0.32	1966	5053.91	0.12	1984	5845.12	0.13
1949	11171.16	0.26	1967	4997.97	0.12	1985	12784.23	0.29
1950	7309.84	0.17	1968	5286.50	0.12	5085	2827.89	0.06
1951	6892.26	0.16	1969	5652.32	0.13	5086	8627.27	0.20
1952	6717.25	0.15	1970	7368.96	0.17	5087	2661.76	0.06

DETACHED RESIDENTIAL LOT TREE CHART									
Parcel #	Lot Size	ACI	No. Trees	Parcel #	Area (SF)	ACI	No. Trees	Parcel #	Area (SF)
1935	7092.84	6	2	1961	5135.96	6	2	1971	8941.53
1936	6887.73	6	2	1962	3918.73	6	2	1972	10232.36
1937	6887.74	6	2	1963	2970.32	6	2	1973	6789.84
1938	6887.73	6	2	1964	2970.34	6	2	1974	5054.45
1939	6888.51	6	2	1965	3918.85	6	2	1975	4729.23
1940	6882.59	6	2	1966	5053.91	6	2	1976	5067.47
1941	6638.01	6	2	1967	4997.97	6	2	1977	3917.61
1942	6828.87	6	2	1968	5286.50	6	2	1978	2970.23
1943	6595.99	6	2	1969	5652.32	6	2	1979	2970.23
1944	6440.23	6	2	1970	7368.96	6	2	1980	3917.61
1945	6975.62	6	2	1971	8941.53	6	2	1981	5066.00
1946	7196.44	6	2	1972	10232.36	12	4	1982	4694.99
1947	8179.42	6	2	1973	6789.84	6	2	1983	5833.32
1948	14089.85	12	4	1974	5054.45	6	2	1984	5845.12
1949	11171.16	12	4	1975	4729.23	6	2	1985	12784.23
1950	7309.84	6	2	1976	5067.47	6	2	5085	2827.89
1951	6892.26	6	2	1977	3917.61	6	2	5086	8627.27
1952	6717.25	6	2	1978	2970.23	6	2	5087	2661.76
1953	6717.04	6	2	1979	2970.23	6	2		
1954	12785.15	12	4	1980	3917.61	6	2		
1955	13013.98	12	4	1981	5066.00	6	2		
1956	7613.18	6	2	1982	4694.99	6	2		
1957	7687.17	6	2	1983	5833.32	6	2		
1958	7313.48	6	2	1984	5845.12	6	2		
1959	11452.27	12	4	1985	12784.23	12	4		
1960	10526.13	12	4						

SOUTHERN LAND
COMPANY
WESTHAVEN
P.U.D. SUBDIVISION
SECTION 50

FINAL SUBDIVISION PLAT

FRANKLIN - WILLIAMSON COUNTY - TENNESSEE

TOTAL ACRES 11.96 TOTAL # OF LOTS 50
ACRES NEW RD/ST 3.65 (ROW) L.F. OF NEW RD/ST 4.645.57
ACRES OPEN SPACE 0.34 CIVIL DISTRICT 5th
DRAWN BY JAG CLOSURE ERROR < 1:10,000
SCALE = NO SCALE DATE = 03/12/2018

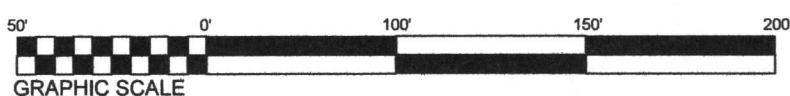
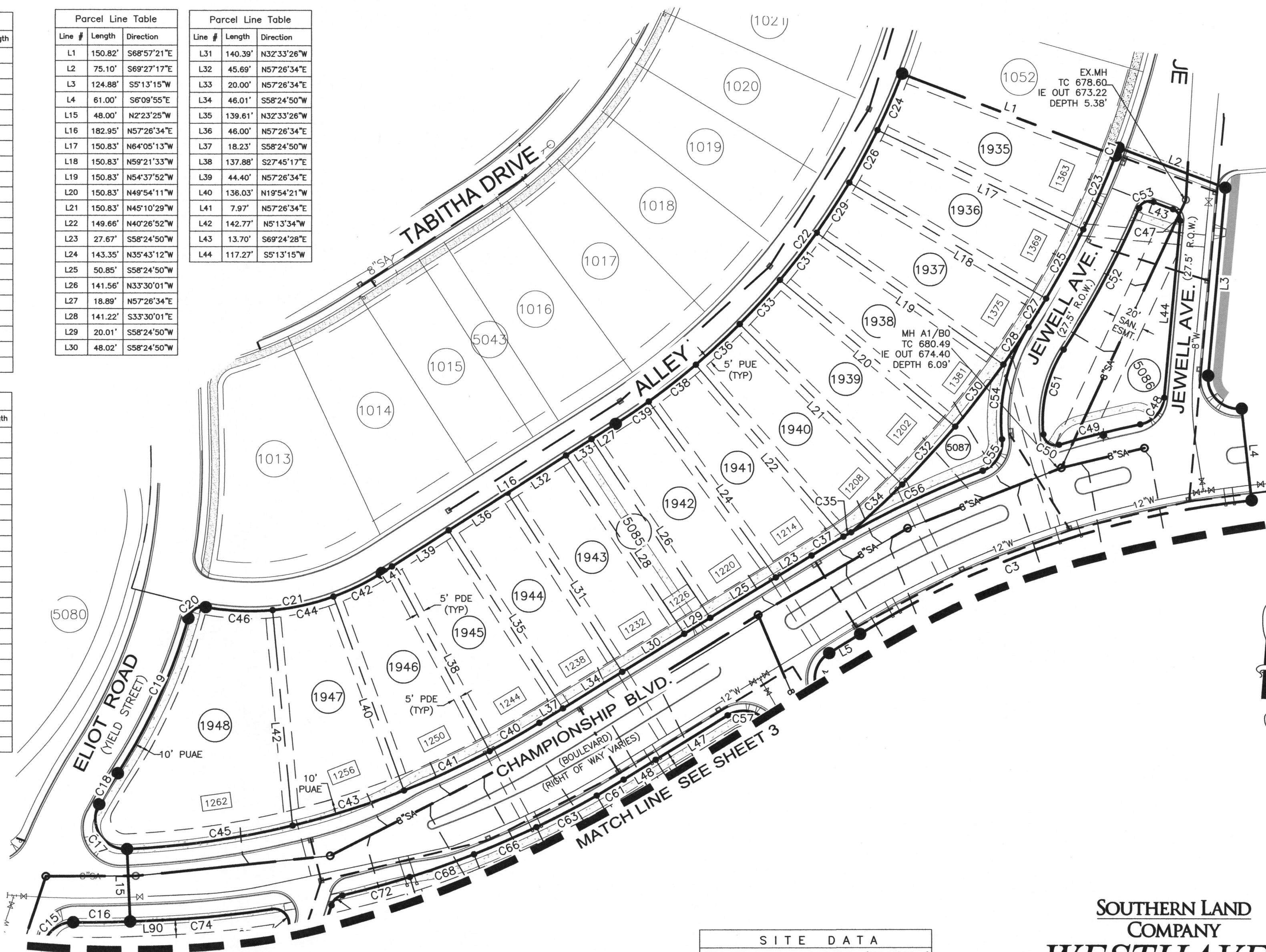
COF PROJECT # 6665

SHEET 1 OF 4

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	5.56'	600.00'	0°31'53"	N20° 48' 39"E	5.56'
C2	35.39'	20.00'	101°23'10"	S45° 28' 20"E	30.95'
C17	25.08'	12.00'	119°45'07"	N32° 04' 19"W	20.76'
C18	23.74'	330.75'	4°06'46"	N31° 05' 31"E	23.74'
C19	112.83'	372.54'	17°21'13"	N24° 28' 24"E	112.40'
C20	14.96'	10.00'	85°42'42"	N57° 37' 32"E	13.60'
C21	120.94'	161.00'	43°02'19"	N78° 57' 43"E	118.11'
C22	303.66'	478.00'	36°23'55"	N39° 14' 36"E	298.58'
C23	53.43'	628.83'	4°52'07"	N23° 28' 43"E	53.42'
C24	40.62'	478.00'	4°52'07"	N23° 28' 43"E	40.61'
C25	51.89'	628.83'	4°43'41"	S28° 16' 37"W	51.87'
C26	39.44'	478.00'	4°43'41"	N28° 16' 37"E	39.43'
C27	22.11'	628.83'	2°00'52"	S31° 38' 53"W	22.11'
C28	29.78'	628.83'	2°42'48"	S34° 00' 44"W	29.78'
C29	39.44'	478.00'	4°43'41"	N33° 00' 18"E	39.43'
C30	51.89'	628.83'	4°43'41"	N37° 43' 58"E	39.43'
C31	39.44'	478.00'	4°43'41"	N37° 43' 58"E	39.43'
C32	51.90'	628.83'	4°43'43"	S42° 27' 40"W	51.88'
C33	39.45'	478.00'	4°43'43"	N42° 27' 40"E	39.44'
C34	46.10'	628.83'	4°12'01"	S46° 55' 31"W	46.09'
C35	5.89'	681.00'	0°29'44"	S60° 42' 02"W	5.89'

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C36	39.43'	478.00'	4°43'36"	N47° 11' 19"E	39.42'
C37	24.23'	681.00'	2°02'20"	S59° 26' 00"W	24.23'
C38	39.44'	478.00'	4°43'41"	N51° 54' 58"E	39.43'
C39	26.38'	478.00'	3°09'46"	N55° 51' 41"E	26.38'
C40	37.78'	565.01'	3°49'52"	S60° 19' 47"W	37.77'
C41	62.10'	565.01'	6°17'52"	S65° 23' 39"W	62.07'
C42	35.55'	161.00'	12°39'05"	N63° 46' 07"E	35.48'
C43	77.10'	565.01'	7°49'08"	S72° 27' 09"W	77.04'
C44	41.25'	161.00'	14°40'46"	N77° 26' 03"E	41.14'
C45	110.21'	565.01'	11°10'33"	S81° 57' 00"W	110.03'
C46	44.14'	161.00'	15°42'27"	S87° 22' 21"E	44.00'
C47	9.77'	7.50'	74°37'43"	S32° 05' 37"E	9.09'
C48	25.45'	20.00'	72°55'11"	S41° 40' 50"W	23.77'
C49	55.33'	681.00'	4°39'19"	S75° 48' 46"W	55.32'
C50	14.05'	8.00'	100°37'52"	N56° 11' 57"W	12.31'
C51	58.86'	87.50'	38°32'21"	N13° 23' 09"E	57.75'
C52	106.08'	656.33'	9°15'38"	N28° 01' 31"E	105.96'
C53	11.41'	7.50'	87°11'50"	N66° 59' 37"E	10.34'
C54	77.67'	115.00'	38°41'56"	S13° 18' 22"W	76.21'
C55	26.20'	20.00'	75°03'36"	S31° 29' 12"W	24.37'
C56	95.90'	681.00'	8°04'05"	S64° 58' 57"W	95.82'

Parcel Line Table			Parcel Line Table		
Line #	Length	Direction	Line #	Length	Direction
L1	150.82'	S68°57'21"E	L31	140.39'	N32°33'26"W
L2	75.10'	S69°27'17"E	L32	45.69'	N57°26'34"E
L3	124.88'	S5°13'15"W	L33	20.00'	N57°26'34"E
L4	61.00'	S6°09'55"E	L34	46.01'	S58°24'50"W
L15	48.00'	N2°23'25"W	L35	139.61'	N32°33'26"W
L16	182.95'	N57°26'34"E	L36	46.00'	N57°26'34"E
L17	150.83'	N64°05'13"W	L37	18.23'	S58°24'50"W
L18	150.83'	N59°21'33"W	L38	137.88'	S27°45'17"E
L19	150.83'	N54°37'52"W	L39	44.40'	N57°26'34"E
L20	150.83'	N49°54'11"W	L40	136.03'	N19°54'21"W
L21	150.83'	N45°10'29"W	L41	7.97'	N57°26'34"E
L22	149.66'	N40°26'52"W	L42	142.77'	N5°13'34"W
L23	27.67'	S58°24'50"W	L43	13.70'	S69°24'28"E
L24	143.35'	N35°43'12"W	L44	117.27'	S5°13'15"W
L25	50.85'	S58°24'50"W			
L26	141.56'	N33°30'01"W			
L27	18.89'	N57°26'34"E			
L28	141.22'	S33°30'01"E			
L29	20.01'	S58°24'50"W			
L30	48.02'	S58°24'50"W			



SITE DATA	
TOTAL AREA =	± 11.96 Ac. (521,115.75 sf)
TOTAL ROW =	± 3.65 Ac. (158,858.57 sf)
TOTAL LOT AREA =	± 8.03 Ac. (349,966.50 sf)
OPEN SPACE =	± 0.34 Ac. (14,952.44 sf)

SOUTHERN LAND
COMPANY
WESTHAVEN
P.U.D. SUBDIVISION
SECTION 50

Certificate of Survey
I (we) hereby certify that the subdivision plat as shown hereon is correct and that all of the monuments shown hereon have been placed as indicated. This subdivision plat correctly represents a survey made under my supervision on the 28th day of February, 2018.
Keith Ryan Brotherton 4-4-18
Keith Ryan Brotherton, Tennessee RLS No. 2850
Wilson & Associates, P.C.
Engineering/Surveying/Environmental
108 Beasley Drive, Franklin, TN 37064
Office: 615.794.2275 FAX 615.794.2176
kbrotherton@wilsonpc.com



Legend		Legend (cont.)	
Existing Iron Rod	○	Water Valve	⊕
Iron Rod Set	●	Fire Hydrant	FH
Existing Concrete Monument	□	Street Light	*
Concrete Monument Set	■	Sidewalk Pattern	—
Storm Catchbasin	⊠	Public Utility & Drainage Esmt.	P.U.D.E.
Sewer Manhole	⊙	Public Drainage Esmt.	P.D.E.
Street Address	1234	Public Utility & Access Esmt.	P.U.A.E.

CERTIFICATE OF APPROVAL OF RECORDING
Approved by the Franklin Municipal Planning Commission, Franklin, Williamson County, Tennessee, with the exception of such conditions, if any, as are noted in the Planning Commission minutes for the _____ day of _____, 20____, and this plat has been approved for recording in the Register's Office of Williamson County, Tennessee.
Secretary _____ Date _____
Franklin Municipal Planning Commission

FINAL SUBDIVISION PLAT	
FRANKLIN - WILLIAMSON COUNTY - TENNESSEE	
TOTAL ACRES 11.96	TOTAL # OF LOTS 50
ACRES NEW RD/ST 3.65 (ROW)	L.F. OF NEW RD/ST 4,645.57
ACRES OPEN SPACE 0.34	CIVIL DISTRICT 5th
DRAWN BY JAG	CLOSURE ERROR < 1:10,000
SCALE = 1"=50'	DATE = 03/12/2018
COF PROJECT # 6665	SHEET 2 OF 4

Curve Table				
Curve #	Length	Radius	Delta	Chord Direction
C3	275.08'	620.00'	25°25'14"	S71° 07' 27"W
C4	30.45'	20.00'	87°13'42"	S14° 47' 59"W
C5	403.41'	619.25'	37°19'32"	S10° 09' 06"W
C6	15.73'	10.00'	90°06'12"	N36° 32' 26"W
C7	144.21'	339.00'	24°22'24"	S86° 13' 16"W
C8	264.91'	1117.50'	13°34'55"	S80° 49' 31"W
C9	182.63'	1161.50'	9°00'32"	N87° 52' 59"E
C10	21.40'	22.00'	55°43'24"	S68° 45' 35"W
C15	25.31'	20.00'	72°30'59"	N54° 32' 33"E
C16	37.54'	674.00'	3°11'28"	N89° 12' 19"E
C57	32.52'	20.00'	93°09'36"	S75° 05' 22"E
C58	149.81'	580.75'	14°46'48"	S21° 02' 10"E
C59	16.08'	10.00'	92°06'31"	S32° 24' 30"W
C60	11.54'	311.00'	2°07'33"	S77° 23' 59"W
C61	20.64'	630.00'	1°52'39"	S75° 21' 10"E
C62	55.61'	311.00'	10°14'42"	S71° 12' 51"W
C63	44.94'	630.00'	4°05'14"	N62° 20' 06"E
C64	6.61'	311.00'	1°13'06"	S65° 28' 58"W
C65	47.96'	765.00'	3°35'31"	S66° 40' 10"W
C66	44.94'	630.00'	4°05'14"	N66° 25' 19"E
C67	54.57'	765.00'	4°05'14"	S70° 30' 33"W
C68	44.94'	630.00'	4°05'14"	S70° 30' 33"W
C69	105.54'	765.00'	7°54'16"	S76° 30' 18"W

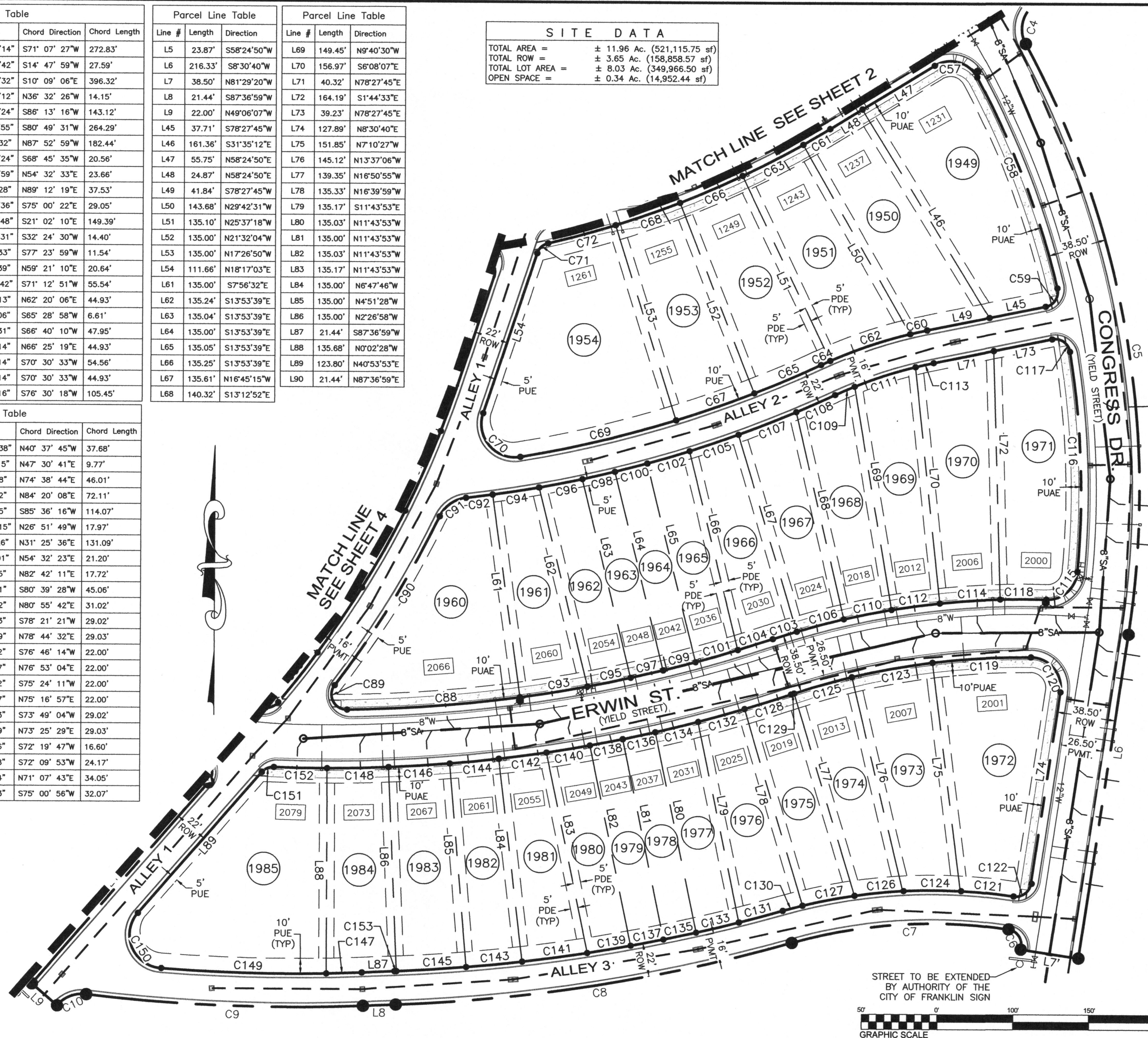
Parcel Line Table			Parcel Line Table		
Line #	Length	Direction	Line #	Length	Direction
L5	23.87'	S58°24'50"W	L69	149.45'	N9°40'30"W
L6	216.33'	S8°30'40"W	L70	156.97'	S6°08'07"E
L7	38.50'	N81°29'20"W	L71	40.32'	N78°27'45"E
L8	21.44'	S87°36'59"W	L72	164.19'	S1°44'33"E
L9	22.00'	N49°06'07"W	L73	39.23'	N78°27'45"E
L45	37.71'	S78°27'45"W	L74	127.89'	N8°30'40"E
L46	161.36'	S31°35'12"E	L75	151.85'	N7°10'27"W
L47	55.75'	N58°24'50"E	L76	145.12'	N1°37'06"W
L48	24.87'	N58°24'50"E	L77	139.35'	N16°50'55"W
L49	41.84'	S78°27'45"W	L78	135.33'	N16°39'59"W
L50	143.68'	N29°42'31"W	L79	135.17'	S11°43'53"E
L51	135.10'	N25°37'18"W	L80	135.03'	N11°43'53"W
L52	135.00'	N21°32'04"W	L81	135.00'	N11°43'53"W
L53	135.00'	N17°26'50"W	L82	135.03'	N11°43'53"W
L54	111.66'	N18°17'03"E	L83	135.17'	N11°43'53"W
L61	135.00'	S7°56'32"E	L84	135.00'	N6°47'46"W
L62	135.24'	S13°53'39"E	L85	135.00'	N4°51'28"W
L63	135.04'	S13°53'39"E	L86	135.00'	N2°26'58"W
L64	135.00'	S13°53'39"E	L87	21.44'	S87°36'59"W
L65	135.05'	S13°53'39"E	L88	135.68'	N0°02'38"W
L66	135.25'	S13°53'39"E	L89	123.80'	N40°53'53"E
L67	135.61'	N16°45'15"W	L90	21.44'	N87°36'59"E
L68	140.32'	S13°12'52"E			

SITE DATA	
TOTAL AREA =	± 11.96 Ac. (521,115.75 sf)
TOTAL ROW =	± 3.65 Ac. (158,858.57 sf)
TOTAL LOT AREA =	± 8.03 Ac. (349,966.50 sf)
OPEN SPACE =	± 0.34 Ac. (14,952.44 sf)

Curve Table				
Curve #	Length	Radius	Delta	Chord Direction
C70	45.24'	22.00'	117°49'38"	N40° 37' 45"W
C71	10.20'	10.00'	58°27'15"	N47° 30' 41"E
C72	46.02'	630.00'	4°11'08"	N74° 38' 44"E
C74	72.15'	630.00'	6°33'42"	N84° 20' 08"E
C88	114.14'	922.00'	7°05'35"	S85° 36' 16"W
C89	22.34'	10.00'	127°58'15"	N26° 51' 49"W
C90	131.31'	660.50'	11°23'26"	N31° 25' 36"E
C91	22.12'	22.00'	57°37'01"	N54° 32' 23"E
C92	17.72'	787.00'	1°17'25"	N82° 42' 11"E
C93	45.06'	922.00'	2°48'01"	S80° 39' 28"W
C94	31.03'	787.00'	2°15'32"	N80° 55' 42"E
C95	29.02'	922.00'	1°48'13"	S78° 21' 21"W
C96	29.03'	787.00'	2°06'49"	N78° 44' 32"E
C97	22.00'	922.00'	1°22'02"	S76° 46' 14"W
C98	22.00'	787.00'	1°36'07"	N76° 53' 04"E
C99	22.00'	922.00'	1°22'02"	S75° 24' 11"W
C100	22.00'	787.00'	1°36'07"	N75° 16' 57"E
C101	29.02'	922.00'	1°48'13"	S73° 49' 04"W
C102	29.03'	787.00'	2°06'49"	N73° 25' 29"E
C103	16.60'	519.25'	1°49'56"	S72° 19' 47"W
C104	24.17'	922.00'	1°30'08"	S72° 09' 53"W
C105	34.05'	787.00'	2°28'44"	N71° 07' 43"E
C106	32.08'	519.25'	3°32'23"	S75° 00' 56"W

Curve Table				
Curve #	Length	Radius	Delta	Chord Direction
C107	40.87'	787.00'	2°58'32"	N68° 24' 05"E
C108	28.02'	787.00'	2°02'24"	N65° 53' 37"E
C110	32.08'	519.25'	3°32'22"	S78° 33' 19"W
C111	42.25'	289.00'	8°22'34"	N71° 50' 19"E
C112	32.08'	519.25'	3°32'23"	S82° 05' 42"W
C113	12.29'	289.00'	2°26'09"	N77° 14' 41"E
C114	39.81'	519.25'	4°23'34"	S86° 03' 40"W
C115	30.24'	20.00'	86°38'42"	S48° 17' 53"W
C116	146.01'	580.75'	14°24'17"	S2° 13' 36"E
C117	16.08'	10.00'	92°06'31"	S55° 29' 00"E
C118	30.48'	519.25'	3°21'47"	N89° 56' 20"E
C119	65.01'	480.75'	7°44'52"	N86° 41' 58"E
C120	34.19'	20.00'	97°56'16"	S40° 27' 28"E
C121	35.37'	361.00'	5°36'49"	N74° 01' 14"W
C122	15.69'	10.00'	89°54'30"	S53° 27' 55"W
C123	54.07'	480.75'	6°26'39"	N79° 36' 13"E
C124	37.97'	361.00'	6°01'33"	S89° 47' 35"W
C125	39.55'	480.75'	4°42'49"	N74° 01' 29"E
C126	31.96'	361.00'	5°04'24"	S84° 14' 36"W
C127	34.94'	361.00'	5°32'41"	S78° 56' 04"W
C128	32.18'	960.50'	1°55'12"	N72° 22' 25"E
C129	2.13'	480.75'	0°15'16"	N71° 32' 27"E
C130	13.41'	361.00'	2°07'40"	S75° 05' 54"W

Curve Table				
Curve #	Length	Radius	Delta	Chord Direction
C131	29.94'	1095.50'	1°33'58"	S74° 49' 02"W
C132	31.71'	960.50'	1°53'29"	N74° 16' 45"E
C133	29.02'	1095.50'	1°31'03"	S76° 21' 33"W
C134	29.02'	960.50'	1°43'52"	N76° 05' 26"E
C135	22.00'	1095.50'	1°09'03"	S77° 41' 36"W
C136	22.00'	960.50'	1°18'45"	N77° 36' 45"E
C137	22.00'	1095.50'	1°09'03"	S78° 50' 38"W
C138	22.00'	960.50'	1°18'45"	N78° 55' 30"E
C139	29.02'	1095.50'	1°31'03"	S80° 10' 41"W
C140	29.02'	960.50'	1°43'52"	N80° 26' 48"E
C141	43.34'	1095.50'	2°15'59"	S82° 04' 14"W
C142	31.71'	960.50'	1°53'29"	N82° 15' 29"E
C143	37.06'	1095.50'	1°56'18"	S84° 10' 23"W
C144	32.49'	960.50'	1°56'18"	N84° 10' 23"E
C145	46.05'	1095.50'	2°24'30"	S86° 20' 47"W
C146	40.37'	960.50'	2°24'30"	N86° 20' 47"E
C147	23.36'	1139.50'	1°10'29"	S88° 11' 59"W
C148	40.37'	960.50'	2°24'30"	N88° 45' 17"E
C149	109.28'	1139.50'	5°29'41"	N88° 27' 56"W
C150	48.62'	22.00'	126°36'58"	N22° 24' 36"W
C151	8.93'	10.00'	51°09'21"	N66° 28' 33"E
C152	35.12'	960.50'	2°05'42"	S88° 59' 38"E
C153	1.26'	1095.50'	0°03'57"	S87° 35' 00"W

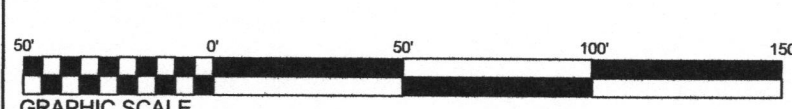


SOUTHERN LAND
COMPANY
WESTHAVEN
P.U.D. SUBDIVISION
SECTION 50

Certificate of Survey

I (we) hereby certify that the subdivision plat as shown hereon is correct and that all of the monuments shown hereon have been placed as indicated. This subdivision plat correctly represents a survey made under my supervision on the 28th day of February, 2018.

Keith Ryan Brotherton, Tennessee RLS No. 2850
Wilson & Associates, P.C.
Engineering/Surveying/Environmental
108 Beasley Drive, Franklin, TN 37064
Office: 615.794.2275 FAX 615.794.2176
kbrotherton@wilsonpc.com



Legend		Legend (cont.)	
Existing Iron Rod	○	Water Valve	⊕
Iron Rod Set	●	Fire Hydrant	⊕
Existing Concrete Monument	□	Street Light	⊕
Concrete Monument Set	■	Sidewalk Pattern	—
Storm Catchbasin	⊕	Public Utility & Drainage Esmt.	P.U.D.E.
Sewer Manhole	⊕	Public Drainage Esmt.	P.D.E.
Street Address	1234	Public Utility & Access Esmt.	P.U.A.E.

CERTIFICATE OF APPROVAL OF RECORDING

Approved by the Franklin Municipal Planning Commission, Franklin, Williamson County, Tennessee, with the exception of such conditions, if any, as are noted in the Planning Commission minutes for the day of 20, and this plat has been approved for recording in the Register's Office of Williamson County, Tennessee.

Secretary
Franklin Municipal Planning Commission
Date

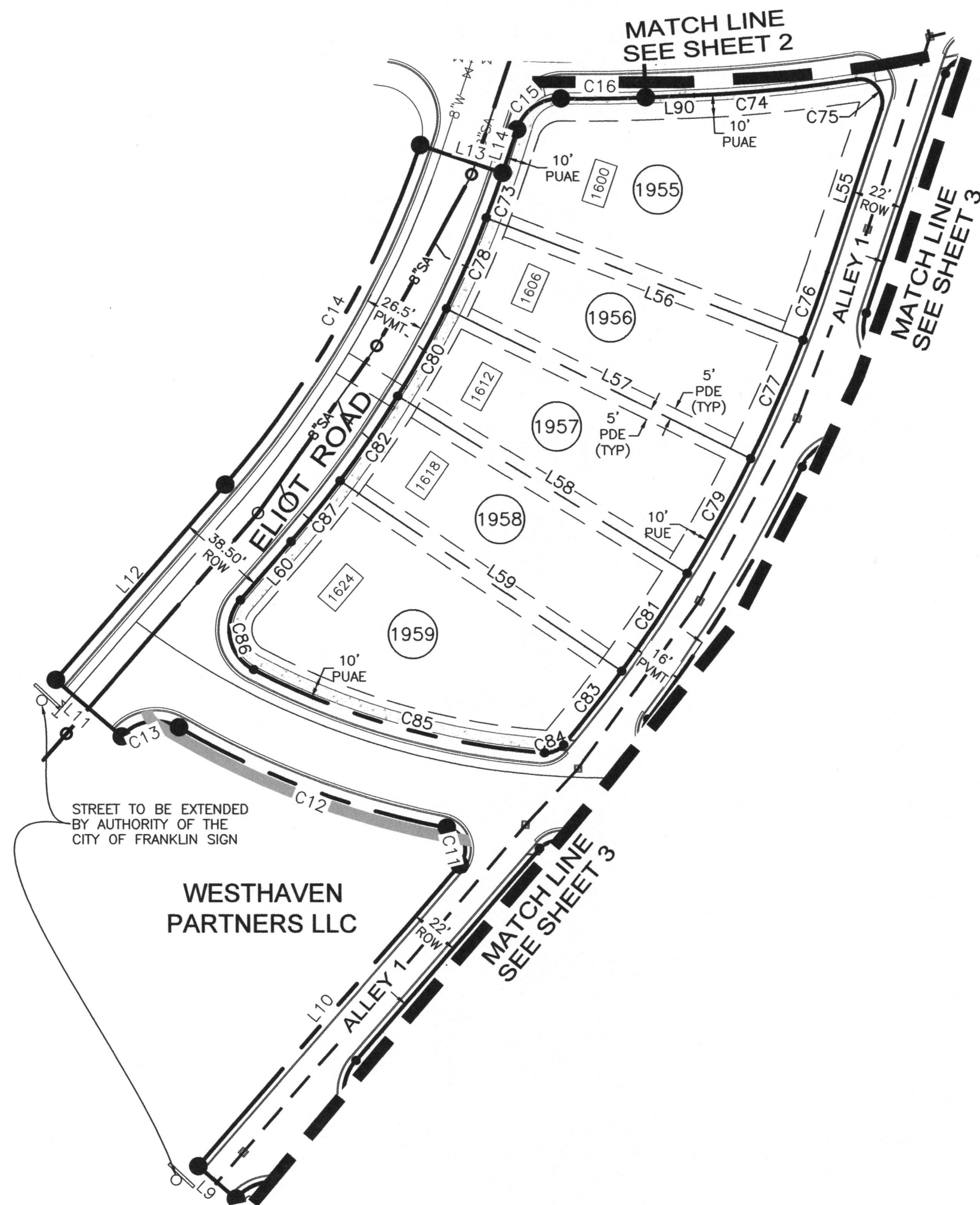
FINAL SUBDIVISION PLAT

FRANKLIN - WILLIAMSON COUNTY - TENNESSEE

TOTAL ACRES 11.96 TOTAL # OF LOTS 50
ACRES NEW RD/ST 3.65 (ROW) L.F. OF NEW RD/ST 4,645.57
ACRES OPEN SPACE 0.34 CIVIL DISTRICT 5th
DRAWN BY JAG CLOSURE ERROR < 1:10,000
SCALE = 1"=50' DATE = 03/12/2018

COF PROJECT # 6665

SHEET 3 of 4



Parcel Line Table		
Line #	Length	Direction
L9	22.00'	N49°06'07\"W
L10	176.60'	N40°53'53\"E
L11	38.50'	N49°06'07\"W
L12	114.40'	N40°53'53\"E
L13	38.50'	S71°18'49\"E
L14	20.19'	N18°19'06\"E
L55	76.05'	S18°17'03\"W
L56	150.00'	N68°50'45\"W
L57	150.00'	N63°40'38\"W
L58	150.00'	N58°27'59\"W
L59	150.13'	N55°50'56\"W
L60	34.23'	N40°53'53\"E
L90	21.44'	N87°36'59\"E

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C11	20.97'	10.00'	120°10'13\"	N19° 11' 14\"W	17.34'
C12	127.09'	369.25'	19°43'13\"	N69° 24' 43\"W	126.46'
C13	27.77'	20.00'	79°33'01\"	S80° 40' 23\"W	25.59'
C14	174.45'	450.00'	22°12'41\"	N28° 47' 32\"E	173.36'
C15	25.31'	20.00'	72°30'59\"	N54° 32' 33\"E	23.66'
C16	37.54'	674.00'	3°11'28\"	N89° 12' 19\"E	37.53'
C73	21.12'	488.50'	2°28'37\"	N19° 55' 30\"E	21.12'
C75	20.46'	10.00'	117°13'46\"	S40° 19' 50\"E	17.07'
C76	32.06'	638.50'	2°52'37\"	S19° 43' 22\"W	32.06'
C77	57.52'	638.50'	5°09'42\"	S23° 44' 32\"W	57.50'
C78	43.99'	488.50'	5°09'34\"	N23° 44' 36\"E	43.97'
C79	58.07'	638.50'	5°12'39\"	S28° 55' 42\"W	58.05'
C80	44.43'	488.50'	5°12'39\"	N28° 55' 42\"E	44.41'
C81	52.18'	638.50'	4°40'57\"	S33° 52' 30\"W	52.17'
C82	45.33'	488.50'	5°19'01\"	N34° 11' 32\"E	45.32'
C83	41.66'	638.50'	3°44'17\"	S38° 05' 07\"W	41.65'
C84	9.51'	10.00'	54°30'17\"	S67° 12' 24\"W	9.16'
C85	134.54'	330.75'	23°18'26\"	N73° 53' 15\"W	133.62'
C86	36.00'	20.00'	103°07'55\"	N10° 40' 05\"W	31.33'
C87	34.51'	488.50'	4°02'50\"	N38° 52' 28\"E	34.50'

SITE DATA	
TOTAL AREA =	± 11.96 Ac. (521,115.75 sf)
TOTAL ROW =	± 3.65 Ac. (158,858.57 sf)
TOTAL LOT AREA =	± 8.03 Ac. (349,966.50 sf)
OPEN SPACE =	± 0.34 Ac. (14,952.44 sf)

SOUTHERN LAND
COMPANY
WESTHAVEN
P.U.D. SUBDIVISION
SECTION 50

Certificate of Survey
I (we) hereby certify that the subdivision plat as shown hereon is correct and that all of the monuments shown hereon have been placed as indicated. This subdivision plat correctly represents a survey made under my supervision on the 28th day of February, 2018.
Keith Ryan Brotherton 4-4-18
Keith Ryan Brotherton, Tennessee RLS No. 2850
Wilson & Associates, P.C.
Engineering/Surveying/Environmental
108 Beasley Drive, Franklin, TN 37064
Office: 615.794.2275 FAX 615.794.2176
kbrotherton@wilsonpc.com



Legend	
Existing Iron Rod	○
Iron Rod Set	●
Existing Concrete Monument	□
Concrete Monument Set	■
Storm Catchbasin	⊠
Sewer Manhole	⊙
Street Address	1234

Legend (cont.)	
Water Valve	⋈
Fire Hydrant	FH
Street Light	*
Sidewalk Pattern	▤
Public Utility & Drainage Esmt.	P.U.D.E.
Public Drainage Esmt.	P.D.E.
Public Utility & Access Esmt.	P.U.A.E.

CERTIFICATE OF APPROVAL OF RECORDING
Approved by the Franklin Municipal Planning Commission, Franklin, Williamson County, Tennessee, with the exception of such conditions, if any, as are noted in the Planning Commission minutes for the _____ day of _____, 20____, and this plat has been approved for recording in the Register's Office of Williamson County, Tennessee.
Secretary _____ Date _____
Franklin Municipal Planning Commission

FINAL SUBDIVISION PLAT
FRANKLIN - WILLIAMSON COUNTY - TENNESSEE
TOTAL ACRES 11.96 TOTAL # OF LOTS 50
ACRES NEW RD/ST 3.65 (ROW) L.F. OF NEW RD/ST 4,645.57
ACRES OPEN SPACE 0.34 CIVIL DISTRICT 5th
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COF PROJECT # 6665 SHEET 4 OF 4