

FAMILY LEGACY SUBDIVISION DEVELOPMENT PLAN, REVISION I

WILLIAMSON COUNTY, TENNESSEE

OWNER
FRANKLIN FUNERAL HOME
RODNEY EDWARDS
7427 CHARLOTTE PIKE

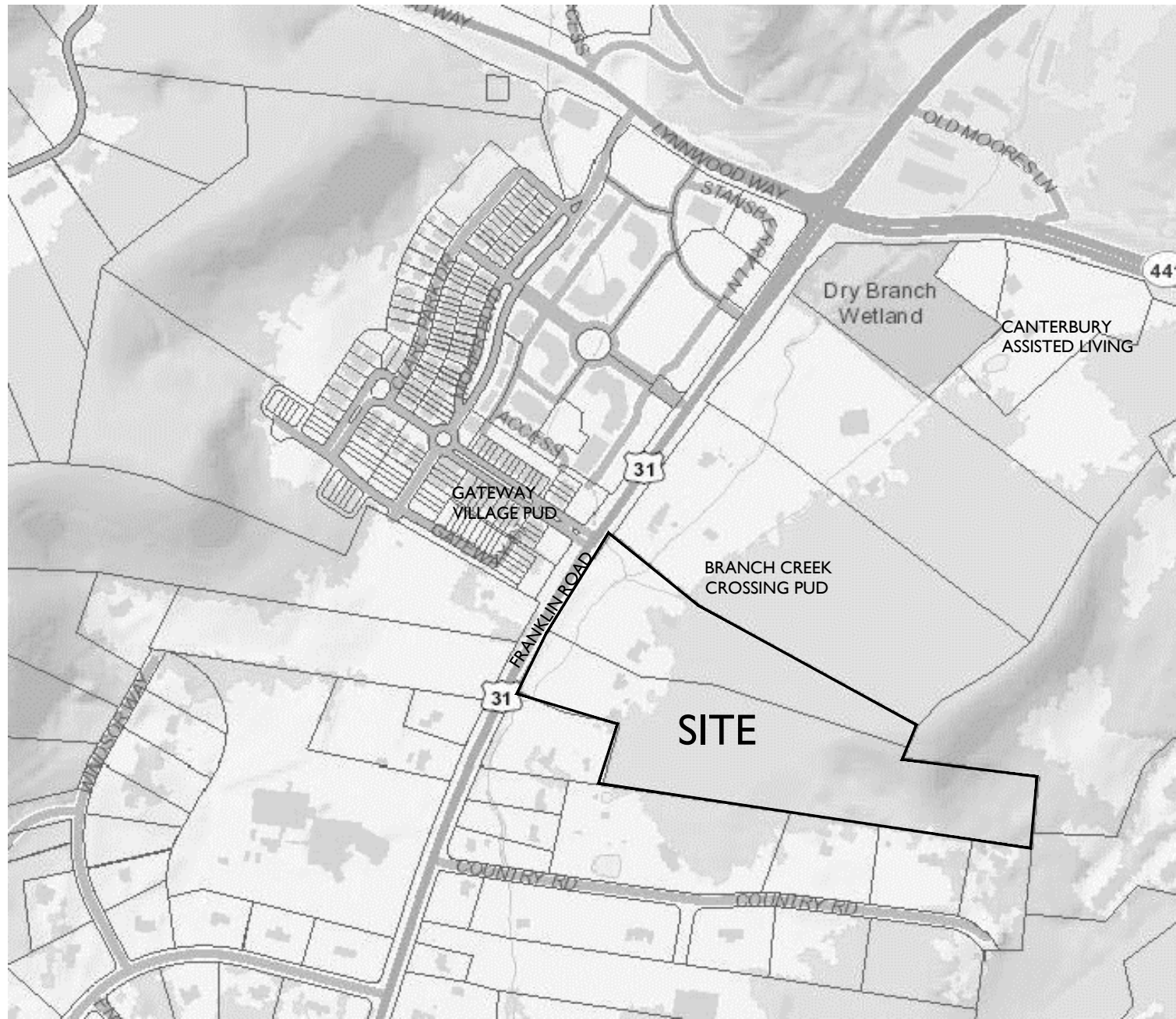
APPLICANT & LANDSCAPE ARCHITECT:
GAMBLE DESIGN COLLABORATIVE
GREG GAMBLE
144 SOUTHEAST PARKWAY
SUITE 200
FRANKLIN, TN 37064

ENGINEER:
LAND SOLUTIONS COMPANY, LLC
LYNN EALEY
2925 BERRY HILL DRIVE, 2ND FLOOR
NASHVILLE, TN 37204

DEVELOPER LOT 1
FORD CUSTOM CLASSIC HOMES
MIKE FORD
390 MALLORY STATION ROAD
SUITE 100
FRANKLIN, TN 37067

DEVELOPER LOT 2
THE POOL
DAWN CRAWFORD
5100 MARYLAND WAY

MAP 053, PARCEL 73
MAP 053, PARCEL 74.01



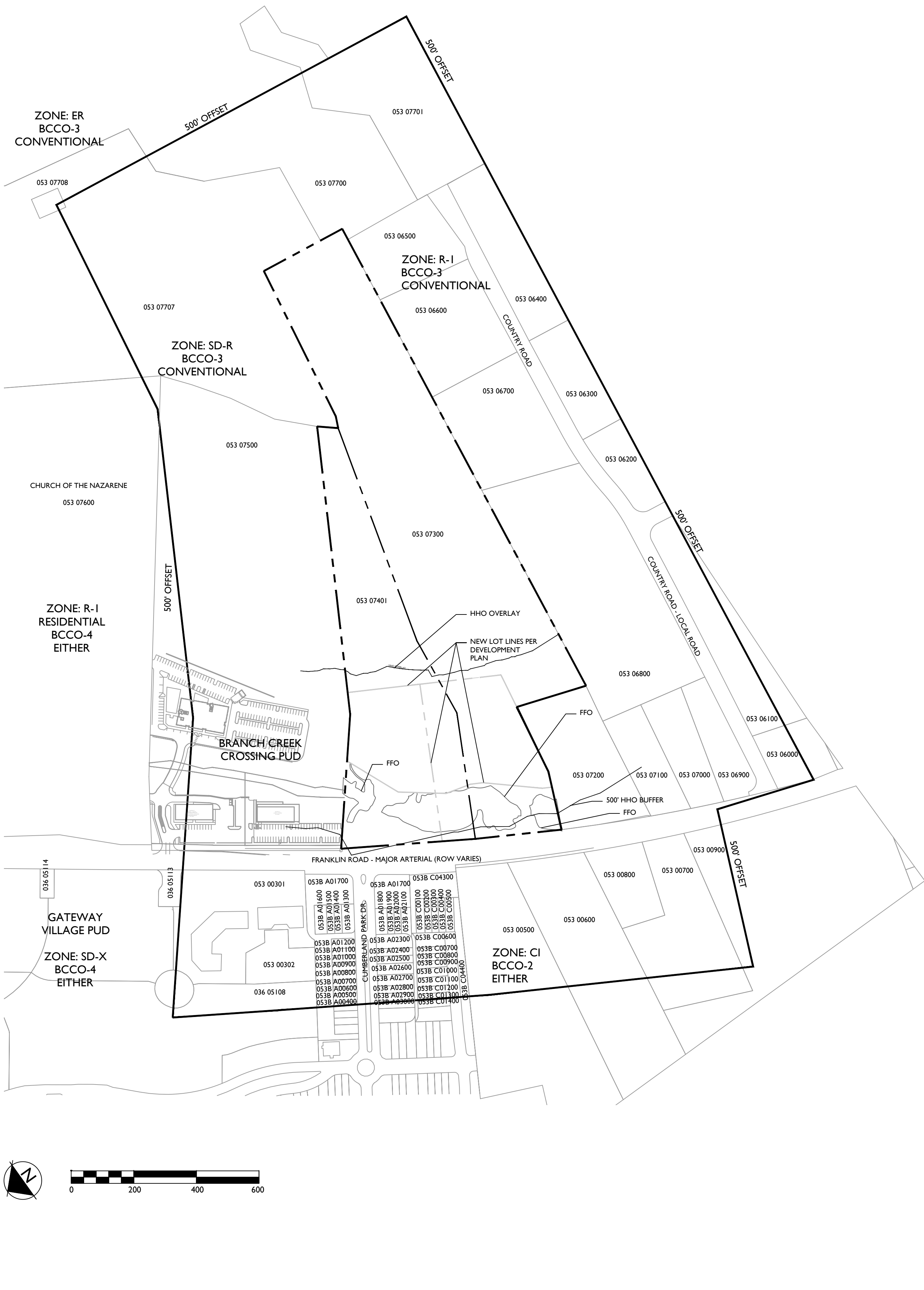
SHEET INDEX	
C1.0	OVERALL EXISTING CONDITIONS
C1.1	ENLARGED EXISTING CONDITIONS
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DEVELOPMENT SUMMARY	
REVISION 1: SUBMITTED JANUARY 2018	
• LOT 1 APPROVED USE CHANGES FROM A FUNERAL HOME TO OFFICE	
• NO CHANGE PROPOSED FOR LOT 2 (SITE PLAN UNDER REVIEW)	
ORIGINAL DEVELOPMENT PLAN: APPROVED OCTOBER 2015	
• LOT 1, FUNERAL HOME (10,500 SF)	
• LOT 2, 3 STORY OFFICE (24,000 SF)	



GDC
GAMBLE
DESIGN COLLABORATIVE
DEVELOPMENT PLANNING AND
LANDSCAPE ARCHITECTURE
greggamble209@gmail.com

PRE-APPLICATION SUBMITTAL: NOVEMBER 14, 2017
FIRST SUBMITTAL: JANUARY 8, 2018
SECOND SUBMITTAL: FEBRUARY 1, 2018



LEGAL DESCRIPTION

The following legal description is for two tracts of land in the Eighth Civil District of Williamson County, City of Franklin, Tennessee, located on the lands of Stephen Rogers, of record in Deed Book 1062, Page 272, R.O.W.C., TN., and James Holloway, of record in Deed Book 2405, Page 354, R.O.W.C., TN.

Tract A

Beginning at a Point located approximately 690 feet northwest of the intersection of Franklin Road and Country Road, along the east margin of Franklin Road right of way, said point being the southwestern corner of said Rogers and the northwestern corner of Amy Jenkins Smith, of record in Plat Book 60, Page 91, R.O.W.C., TN;

Thence, with the east margin of said Franklin Road, along a curve to the right, having a delta of 05 degrees 11 minutes 49 seconds, a radius of 2906.80 feet, a tangent of 131.92 feet, an arc of 263.66 feet, a chord bearing of North 22 degrees 54 minutes 31 seconds East, and a chord length of 263.57 feet to a point, said point being the southwest corner said Holloway;

Thence, leaving the east margin of said Franklin Road and following the south line of said Holloway, South 67 degrees 05 minutes 29 seconds East, a distance of 427.77 feet to a point;

Thence South 89 degrees 34 minutes 42 seconds East, a distance of 268.73 feet to a point;

Thence South 73 degrees 35 minutes 30 seconds East, passing the southeast corner of said Holloway and following the west line of VR Landings at Brentwood LP, of record in Plat book 10, Page 68, R.O.W.C., TN along the way, for a total distance of 762.47 feet to a point;

Thence South 88 degrees 01 minutes 17 seconds East, a distance of 509.59 feet to a point;

Thence South 01 degrees 21 minutes 43 seconds West, a distance of 276.48 feet to a point, said point being the northeast corner of Jeffery Parris, of record in Deed Book 1124, Page 282;

Thence, leaving the west line of said VR Landings and following the north line of said Parris, North 85 degrees 46 minutes 29 seconds West, passing by the lands of Huirong Zhu, of record in Deed Book 3710, Page 181, R.O.W.C., TN, John Jason Rovenstine, of record in Deed Book 5974, Page 532, R.O.W.C., TN, and Teresa Brooks Hughes, of record in Deed Book 5267, Page 316, R.O.W.C., TN, along the way for a total distance of 1658.10 feet to a point, said point being the southeast corner of said Smith;

Thence, leaving the north line of said Hughes and following the east line of said Smith, North 15 degrees 23 minutes 12 seconds East, a distance of 232.18 feet to a point, said point being the northeast corner of said Smith;

Thence, with the north line of said Smith, North 83 degrees 40 minutes 25 seconds West, a distance of 231.00 feet to a point;

Thence North 70 degrees 19 minutes 31 seconds West, a distance of 188.93 feet to the Point of Beginning and containing 626,507.73 square feet or 14.38 acres more or less.

500' ADJACENT PROPERTY OWNERS:

PROPERTY STREET ADDRESS	OWNER1	OWNER2	STREET ADDRESS	CITY	STATE	ZIP	LEGAL DESCRIPTION	ZONING	LAND USE	CHARACTER	DEV
1340 MOHER BLVD	BELL FUND IV FRANKLIN GATEWAY LLC		PO BOX 56607	ATLANTA	GA	30343	Subd GATEWAY VILLAGE SEC3 PB 53 Pg 121 Lot 0138	SD-X	VACANT	BCCO-4	T
121 DAVENPORT BLVD 1	CAMDEN COMMONS I LLC		5042 THOROUGHRED LN STE 200	BRENTWOOD	TN	37027	Subd CAMDEN COMMONS PB 6240 Pg 673 Unit 1	SD-X		BCCO-4	T
AMBLESIDE WAY	BELL FUND IV FRANKLIN GATEWAY LLC		PO BOX 56607	ATLANTA	GA	30343	Subd GATEWAY VILLAGE SEC3 PB 53 Pg 121 Lot OPEN SPACE 140	SD-X	OPEN SPACE	BCCO-4	T
557 FRANKLIN RD	CHURCH CLEARVIEW BAPTIST		537 FRANKLIN RD	FRANKLIN	TN	37069		CI	CHURCH	BCCO-3	C
553 FRANKLIN RD	CHURCH CLEARVIEW BAPTIST INC		537 FRANKLIN RD	FRANKLIN	TN	37069		CI	CHURCH	BCCO-3	C
549 FRANKLIN RD	CHURCH CLEARVIEW BAPTIST		537 FRANKLIN RD	FRANKLIN	TN	37069		CI	CHURCH	BCCO-3	C
541 FRANKLIN RD	MASTER PLANS LLC		1228 LAKEVIEW DR	FRANKLIN	TN	37064		CI	CHURCH	BCCO-3	C
537 FRANKLIN RD	CHURCH CLEARVIEW BAPTIST		537 FRANKLIN RD	FRANKLIN	TN	37069		CI	CHURCH	BCCO-3	C
1211 COUNTRY RD	BROOKS JOY T REV TRUST		1228 COUNTRY RD	FRANKLIN	TN	37069	Subd COUNTRY ROADS PB 5 Pg 43 Lot 0002	R1	SINGLE FAMILY	BCCO-3	C
1215 COUNTRY RD	MOORE BOB L	MOORE KITTRA MARY	1215 COUNTRY RD	FRANKLIN	TN	37069	Subd COUNTRY ROADS PB 5 Pg 43 Lot 0004	R1	SINGLE FAMILY	BCCO-3	C
1219 COUNTRY RD	DEMONBREUN TROY S	MASSEY-DEMONBREUN LORI	1219 COUNTRY RD	FRANKLIN	TN	37069	Subd COUNTRY ROADS PB 5 Pg 43 Lot 0006	R1	SINGLE FAMILY	BCCO-3	C
1223 COUNTRY RD	MCKEEHAN KEVIN M		227 3RD AVE N	FRANKLIN	TN	37064	Subd COUNTRY ROADS PB 5 Pg 43 Lot 0008	R1	SINGLE FAMILY	BCCO-3	C
1226 COUNTRY RD	PARRIS JEFFREY S	PARRIS CINDY B	1226 COUNTRY RD	FRANKLIN	TN	37069	Subd COUNTRY ROADS PB 5 Pg 43 Lot 0009	R1	SINGLE FAMILY	BCCO-3	C
1222 COUNTRY RD	ZHU HUIRONG	ZHOU TINA	731 W LA CANADA AVE	MOUNTAIN HOUSE	CA	95391	Subd COUNTRY ROADS PB 5 Pg 43 Lot 0007	R1	SINGLE FAMILY	BCCO-3	C
1218 COUNTRY RD	ROVENSTINE JOHN JASON	ROVENSTINE USA	1218 COUNTRY RD	FRANKLIN	TN	37069	Subd COUNTRY ROADS PB 22 Pg 98 Lot 0005	R1	SINGLE FAMILY	BCCO-3	C
1208 COUNTRY RD	HUGHES TERESA BROOKS		1208 COUNTRY RD	FRANKLIN	TN	37069	Subd COUNTRY ROADS PB 5 Pg 43 Lot 0003	R1	SINGLE FAMILY	BCCO-3	C
536 FRANKLIN RD	BROOKS JOY T TR		1208 COUNTRY RD	FRANKLIN	TN	37069	Subd COUNTRY ROADS PB 5 Pg 43 Lot 0001	R1	SINGLE FAMILY	BCCO-3	C
540 FRANKLIN RD	MARCHESI CECILIA C		407 HORSESHOE LANE	NASHVILLE	TN	37221		R1	SINGLE FAMILY	BCCO-3	C
544 FRANKLIN RD	GARRETSON ROBERTA NELL		544 FRANKLIN RD	FRANKLIN	TN	37069		R1	SINGLE FAMILY	BCCO-3	C
548 FRANKLIN RD	SMITH AMY JENKINS		548 FRANKLIN RD	FRANKLIN	TN	37069	Subd SMITH AMY JENKINS PB 60 Pg 91	R1	SINGLE FAMILY	BCCO-4	T
554 FRANKLIN RD	ROGERS STEPHEN T	DETCH ETHEL R	554 FRANKLIN RD	FRANKLIN	TN	37069		R1	SINGLE FAMILY	BCCO-4	T
562 - 68 FRANKLIN RD	HOLLOWAY JAMES F	HOLLOWAY EVELYN A	562 FRANKLIN RD	FRANKLIN	TN	37069		R1	SINGLE FAMILY	BCCO-4	T
574 FRANKLIN RD	FAGAN GARY DWAYNE		545 LITTLESTONE DR	BRENTWOOD	TN	37027		SD-X	SINGLE FAMILY	BCCO-4	T
580 FRANKLIN RD	FAGAN MARY R	FAGAN LEONARD B	580 FRANKLIN RD	FRANKLIN	TN	37069		SD-X	SINGLE FAMILY	BCCO-4	T
584 FRANKLIN RD	CHURCH BRENTWOOD OF THE NAZARENE		584 FRANKLIN RD	FRANKLIN	TN	37069		R1	CHURCH	BCCO-4	T
MCKAYS CT	VR LANDINGS AT BRENTWOOD LP		2195 N HWY 83 #11	FRANKTOWN	CO	80116	Subd LANDINGS THE PB 22 Pg 15 Lot 0001 Subd REV 2	SD-R	APARTMENTS	BCCO-3	C
LANDINGS DR	VR LANDINGS AT BRENTWOOD LP		2195 N HWY 83 #11	FRANKTOWN	CO	80116	Subd LANDINGS THE PB 10 Pg 68 Lot 0005 Subd REV	SD-R	APARTMENTS	BCCO-3	C
LANDINGS DR	VR LANDINGS AT BRENTWOOD LP		2195 N HWY 83 #11	FRANKTOWN	CO	80116	Subd LANDINGS THE PB 10 Pg 68 Lot 0006 Subd REV	SD-R	APARTMENTS	BCCO-3	C
1024 CUMBERLAND PARK DR	BROOKS LAUREN MICHELLE	BROOKS WALTER BRYAN	1024 CUMBERLAND PARK DR	FRANKLIN	TN	37069	Subd GATEWAY VILLAGE SEC 1 PB 42 Pg 38 Lot 0029	SD-X	SINGLE FAMILY	BCCO-4	T
1022 CUMBERLAND PARK DR	FRASER DOUGLAS DAVID		1022 CUMBERLAND PARK DR	FRANKLIN	TN	37069	Subd GATEWAY VILLAGE SEC 1 PB 42 Pg 38 Lot 0028	SD-X	SINGLE FAMILY	BCCO-4	T
1020 CUMBERLAND PARK DR	HIDDEN HILLS FAMILY LTD PRTNSSH		1126 BEECHES TAVERN TRL	FRANKLIN	TN	37069	Subd GATEWAY VILLAGE SEC 1 PB 42 Pg 38 Lot 0027	SD-X	SINGLE FAMILY	BCCO-4	T
1018 CUMBERLAND PARK DR	DOMAN FRANK P	DOMAN JESSICA R	1018 CUMBERLAND PARK DR	FRANKLIN	TN	37069	Subd GATEWAY VILLAGE SEC 1 PB 42 Pg 38 Lot 0026	SD-X	SINGLE FAMILY	BCCO-4	T
1016 CUMBERLAND PARK DR	LEPPER BOBBY	LEPPER MARY K	1016 CUMBERLAND PARK DR	FRANKLIN	TN	37069	Subd GATEWAY VILLAGE SEC 1 PB 42 Pg 38 Lot 0025	SD-X	SINGLE FAMILY	BCCO-4	T
1014 CUMBERLAND PARK DR	WYUKE SUZANNE F		1006 SCRAMBLERS KNOB	FRANKLIN	TN	37069	Subd GATEWAY VILLAGE SEC 1 PB 42 Pg 38 Lot 0024	SD-X	SINGLE FAMILY	BCCO-4	T
1012 CUMBERLAND PARK DR	VAN VICKIE JOHN HAYES		1012 CUMBERLAND PARK DR	FRANKLIN	TN	37069	Subd GATEWAY VILLAGE SEC 1 PB 42 Pg 38 Lot 0023	SD-X	SINGLE FAMILY	BCCO-4	T
1010 CUMBERLAND PARK DR	THORNTON DON TYLER		1010 CUMBERLAND DR	FRANKLIN	TN	37069	Subd GATEWAY VILLAGE SEC 1 PB 42 Pg 38 Lot 0022	SD-X	SINGLE FAMILY	BCCO-4	T
1000 CUMBERLAND PARK DR	YOUNG KIMBERLY W		1000 CUMBERLAND PARK DR	FRANKLIN	TN	37069	Subd GATEWAY VILLAGE SEC 1 PB 42 Pg 38 Lot 0004	SD-X	SINGLE FAMILY	BCCO-4	T
1002 CUMBERLAND PARK DR	JONES CHRISTINA ANNE	JONES BRETT THAYER	1002 CUMBERLAND PARK DR	FRANKLIN	TN	37069	Subd GATEWAY VILLAGE SEC 1 PB 42 Pg 38 Lot 0003	SD-X	SINGLE FAMILY	BCCO-4	T
1004 CUMBERLAND PARK DR	COMBES BEGFORD M	JONES MELISSA J	1004 CUMBERLAND PARK DR	FRANKLIN	TN	37069	Subd GATEWAY VILLAGE SEC 1 PB 42 Pg 38 Lot 0002	SD-X	SINGLE FAMILY	BCCO-4	T
1006 CUMBERLAND PARK DR	TAAFFE PAULINE		1046 HOLLY TREE GAP RD	BRENTWOOD	TN	37027	Subd GATEWAY VILLAGE SEC 1 PB 42 Pg 38 Lot 0001	SD-X	SINGLE FAMILY	BCCO-4	T
CUMBERLAND PARK DR	GATEWAY VILLAGE DEV INC		5042 THOROUGHRED LN # 200	BRENTWOOD	TN	37027	Subd GATEWAY VILLAGE SEC 1 PB 42 Pg 38	SD-X	SINGLE FAMILY	BCCO-4	T
1001 CUMBERLAND PARK DR	CAMERON DARELL C	CAMERON SHARON W	1001 CUMBERLAND PARK DR	FRANKLIN	TN	37069	Subd GATEWAY VILLAGE SEC 1 PB 42 Pg 38 Lot 0005	SD-X	SINGLE FAMILY	BCCO-4	T
1003 CUMBERLAND PARK DR	KEENAN THOMAS C		1003 CUMBERLAND PARK DR	FRANKLIN	TN	37069	Subd GATEWAY VILLAGE SEC 1 PB 42 Pg 38 Lot 0006	SD-X	SINGLE FAMILY	BCCO-4	T
1005 CUMBERLAND PARK DR	REYNOLDS SALLY M		1360 HOLLY TREE GAP RD	BRENTWOOD	TN	37027	Subd GATEWAY VILLAGE SEC 1 PB 42 Pg 38 Lot 0007	SD-X	SINGLE FAMILY	BCCO-4	T
1007 CUMBERLAND PARK DR	AILOR RACHEL R	AILOR JAMES J	1007 CUMBERLAND PARK DR	FRANKLIN	TN	37069	Subd GATEWAY VILLAGE SEC 1 PB 42 Pg 38 Lot 0008	SD-X	SINGLE FAMILY	BCCO-4	T
FRANKLIN RD	GATEWAY VILLAGE RESIDENTIAL LLC		113 SEABOARD LN #A-105	FRANKLIN	TN	37067	Subd GATEWAY VILLAGE SEC 1 PB 42 Pg 38	SD-X	SINGLE FAMILY	BCCO-4	T
1011 CUMBERLAND PARK DR	TELFER GEORGE CURTISS		PO BOX 50586	NASHVILLE	TN	37205	Subd GATEWAY VILLAGE SEC 1 PB 42 Pg 38 Lot 0009	SD-X	SINGLE FAMILY	BCCO-4	T
1013 CUMBERLAND PARK DR	HINE GEORGE ALLEN		1013 CUMBERLAND PARK DR	FRANKLIN	TN	37069	Subd GATEWAY VILLAGE SEC 1 PB 42 Pg 38 Lot 0010	SD-X	SINGLE FAMILY	BCCO-4	T
1015 CUMBERLAND PARK DR	MISSIRIAN RAPHAEL A & ANAHID REV INT		1015 CUMBERLAND PARK LN	FRANKLIN	TN	37069	Subd GATEWAY VILLAGE SEC 1 PB 42 Pg 38 Lot 0011	SD-X	SINGLE FAMILY	BCCO-4	T
1017 CUMBERLAND PARK DR	BULLARO FRANCESCA		1017 CUMBERLAND PARK LN	FRANKLIN	TN	37069	Subd GATEWAY VILLAGE SEC 1 PB 42 Pg 38 Lot 0012	SD-X	SINGLE FAMILY	BCCO-4	T
1019 CUMBERLAND PARK DR	ROSS RICHARD F	ROSS NANCY L	563 MIDWAY CIR	BRENTWOOD	TN	37027	Subd GATEWAY VILLAGE SEC 1 PB 42 Pg 38 Lot 0013	SD-X	SINGLE FAMILY	BCCO-4	T
1021 CUMBERLAND PARK DR	WIENCEK TOM C	WIENCEK BONNIE A	1021 CUMBERLAND PARK DR	FRANKLIN	TN	37069	Subd GATEWAY VILLAGE SEC 1 PB 42 Pg 38 Lot 0014	SD-X	SINGLE FAMILY	BCCO-4	T
1023 CUMBERLAND PARK DR	MATRAVERS LAURIE M		215 DEER PARK CIR	NASHVILLE	TN	37205	Subd GATEWAY VILLAGE SEC 1 PB 42 Pg 38 Lot 0015	SD-X	SINGLE FAMILY	BCCO-4	T
201 GATEWAY CT	CUMBERLAND PARK LLC		3100 WEST END AVE STE 700	NASHVILLE	TN	37203	Subd COMMONS @ GATEWAY PB 60 Pg 101 Lot 0001	SD-X	VACANT	BCCO-4	T
207 GATEWAY CT	CUMBERLAND PARK LLC		3100 WEST END AVE STE 700	NASHVILLE	TN	37203	Subd COMMONS @ GATEWAY PB 60 Pg 101 Lot 0002	SD-X	VACANT	BCCO-4	T
213 GATEWAY CT	CUMBERLAND PARK LLC		3100 WEST END AVE STE 700	NASHVILLE	TN	37203	Subd COMMONS @ GATEWAY PB 60 Pg 101 Lot 0003	SD-X	VACANT	BCCO-4	T
219 GATEWAY CT	CUMBERLAND PARK LLC		3100 WEST END AVE STE 700	NASHVILLE	TN	37203	Subd COMMONS @ GATEWAY PB 60 Pg 101 Lot 0004	SD-X	VACANT	BCCO-4	T
225 GATEWAY CT	CUMBERLAND PARK LLC		3100 WEST END AVE STE 700	NASHVILLE	TN	37203	Subd COMMONS @ GATEWAY PB 60 Pg 101 Lot 0005	SD-X	VACANT	BCCO-4	T
232 GATEWAY CT	CUMBERLAND PARK LLC		3100 WEST END AVE STE 700	NASHVILLE	TN	37203	Subd COMMONS @ GATEWAY PB 60 Pg 101 Lot 0006	SD-X	VACANT	BCCO-4	T
238 GATEWAY CT	CUMBERLAND PARK LLC		3100 WEST END AVE STE 700	NASHVILLE	TN	37203	Subd COMMONS @ GATEWAY PB 60 Pg 101 Lot 0007	SD-X	VACANT	BCCO-4	T
242 GATEWAY CT	CUMBERLAND PARK LLC		3100 WEST END AVE STE 700	NASHVILLE	TN	37203	Subd COMMONS @ GATEWAY PB 60 Pg 101 Lot 0008	SD-X	VACANT	BCCO-4	T
248 GATEWAY CT	CUMBERLAND PARK LLC		3100 WEST END AVE STE 700	NASHVILLE	TN	37203	Subd COMMONS @ GATEWAY PB 60 Pg 101 Lot 0009	SD-X	VACANT	BCCO-4	T
254 GATEWAY CT	CUMBERLAND PARK LLC		3100 WEST END AVE STE 700	NASHVILLE	TN	37203	Subd COMMONS @ GATEWAY PB 60 Pg 101 Lot 0010	SD-X	VACANT	BCCO-4	T
260 GATEWAY CT	CUMBERLAND PARK LLC		3100 WEST END AVE STE 700	NASHVILLE	TN	37203	Subd COMMONS @ GATEWAY PB 60 Pg 101 Lot 0011	SD-X	VACANT	BCCO-4	T
266 GATEWAY CT	CUMBERLAND PARK LLC		3100 WEST END AVE STE 700	NASHVILLE	TN	37203	Subd COMMONS @ GATEWAY PB 60 Pg 101 Lot 0012	SD-X	VACANT	BCCO-4	T
272 GATEWAY CT	CUMBERLAND PARK LLC		3100 WEST END AVE STE 700	NASHVILLE	TN	37203	Subd COMMONS @ GATEWAY PB 60 Pg 101 Lot 0013	SD-X	OPEN SPACE	BCCO-4	T
GATEWAY CT	CUMBERLAND PARK LLC		3100 WEST END AVE STE 700	NASHVILLE	TN	37203	Subd COMMONS @ GATEWAY PB 60 Pg 101 Lot OPEN SPACE 43	SD-X	OPEN SPACE	BCCO-4	T
GATEWAY CT	CUMBERLAND PARK LLC		3100 WEST END AVE STE 700	NASHVILLE	TN	37203	Subd COMMONS @ GATEWAY PB 60 Pg 101 Lot OPEN SPACE 44	SD-X	OPEN SPACE	BCCO-4	T

BOUNDARY AND TOPOGRAPHY SURVEY PROVIDED BY:
HARRAH & ASSOCIATES
ROGER HARRAH
1722 GENERAL GEORGE PATTON DRIVE
#400
BRENTWOOD, TN 37027



ISSUED: 01.08.2018

Revision Date

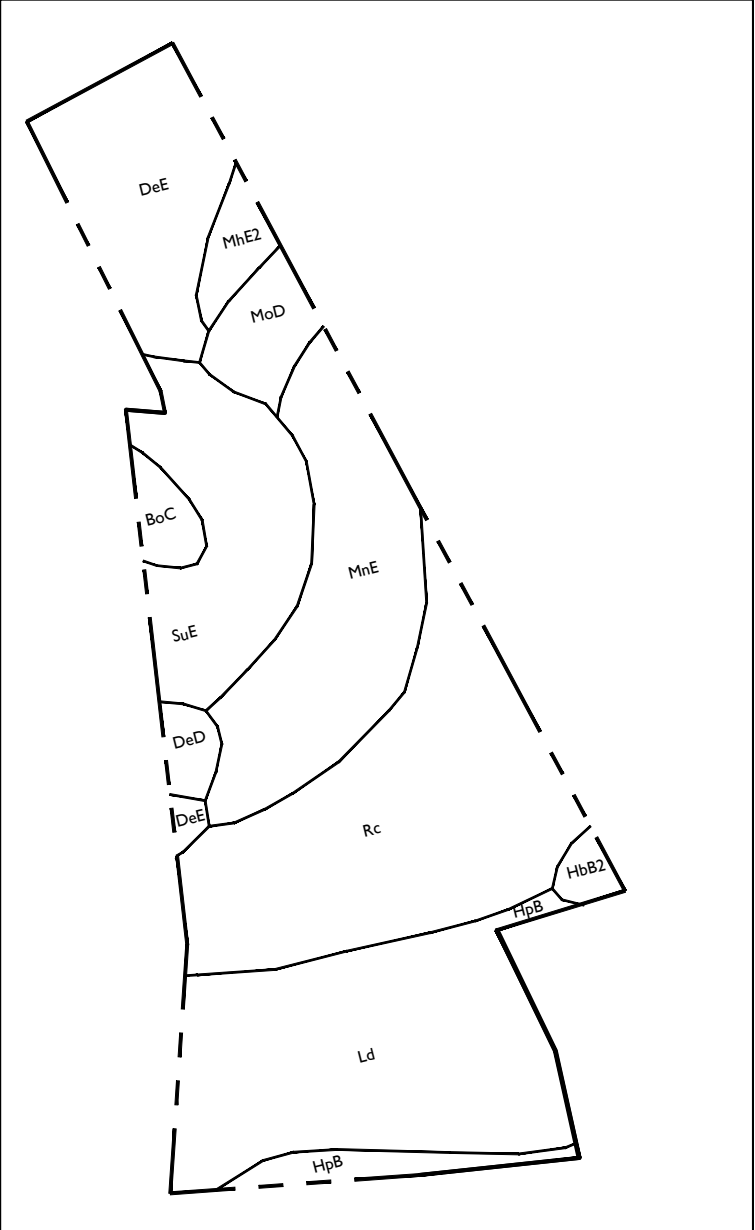
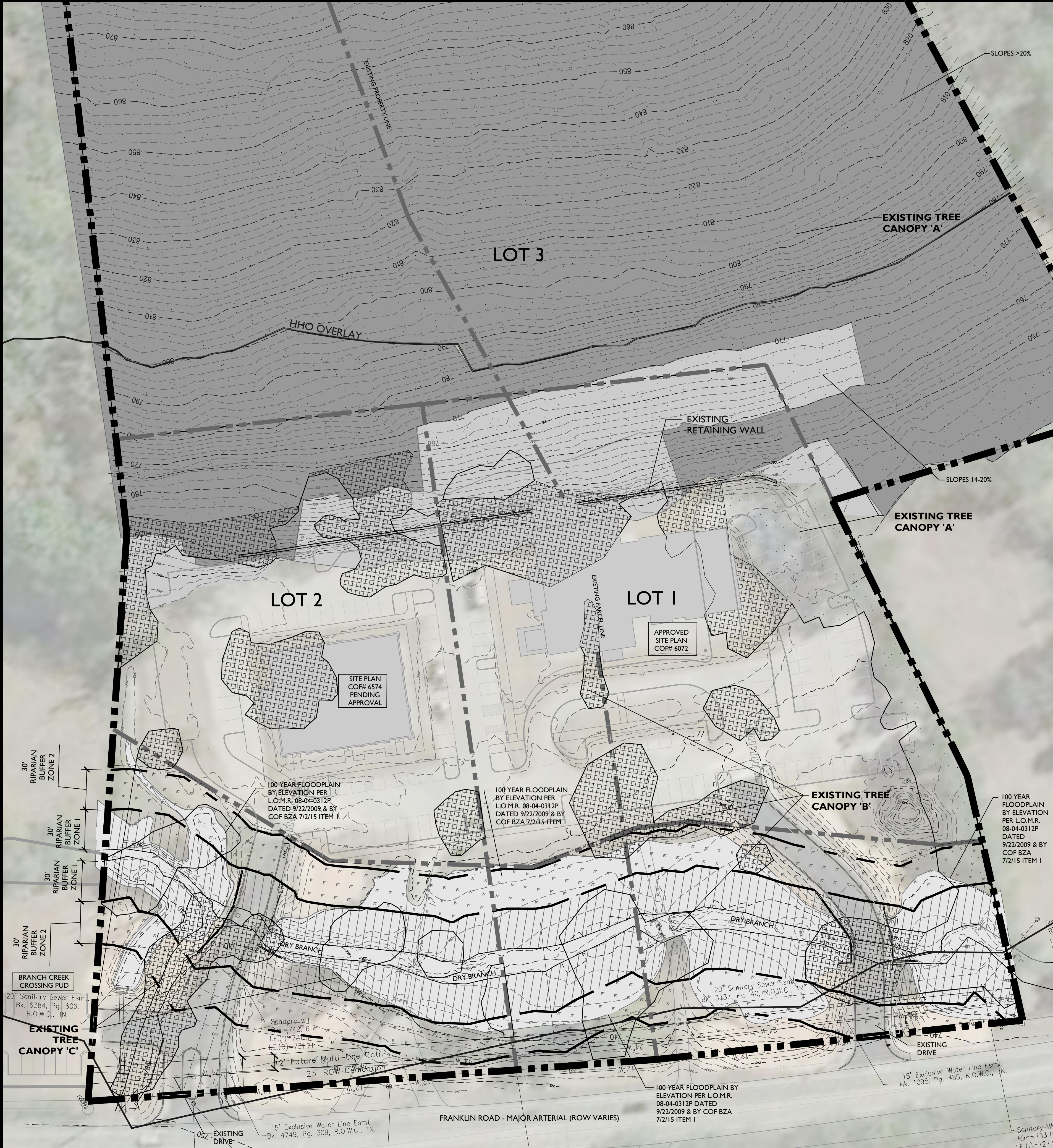
02.01.2018

OVERALL EXISTING
CONDITIONS

SHEET

C1.0

COF # 6612



SOIL KEY	
BoC	BODINE GRAVELLY SILT LOAM, 5 TO 12 PERCENT SLOPES
DeD	DELRIDGE GRAVELLY SILT LOAM, 12 TO 20 PERCENT SLOPES, ERODED
DnE	DELRIDGE GRAVELLY SILT LOAM, 20 TO 30 PERCENT SLOPES, ERODED
HbB2	HAMPSHIRE SILT LOAM, 2 TO 5 PERCENT SLOPES, ERODED
HpB	HUMPHREYS GRAVELLY SILT LOAM, 2 TO 5 PERCENT SLOPES
Ld	LINDSIDE CHERTY SILT LOAM, PHOSPHATIC
MhE2	MIMOSA GRAVELLY SILT LOAM, 20 TO 35 PERCENT SLOPES, ERODED
MoD	ASHWOOD-MIMOSA-ROCK OUTCROP COMPLEX, 5 TO 15 PERCENT SLOPES
MnE	MIMOSA-ROCK OUTCROP COMPLEX, 20 TO 40 PERCENT SLOPES
Rc	ROCKLAND
SuE	SULPHURA CHERTY SILT LOAM, 20 TO 50 PERCENT SLOPES

SLOPES KEY:

	SLOPES >20%
	SLOPES 14-20%

RIPARIAN ZONES KEY:

	RIPARIAN ZONE 1
	RIPARIAN ZONE 2

FLOODPLAIN KEY:

	100 YEAR FLOODPLAIN
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TREE CANOPY RETENTION				
TREE AREA	EXISTING CANOPY	REMOVED CANOPY SP LOT 1 (COF # 6072)	REMOVED CANOPY SP LOT 2 (COF TBD)	REMAINING CANOPY
TREE 'A'	763,507 SF	17,736 SF	24,231 SF	735,069 SF
TREE 'B'	17,549 SF	9,423 SF	----- SF	8,126 SF
TREE 'C'	23,135 SF	----- SF	14,126 SF	9,009 SF
TOTAL SF	804,191 SF	27,159 SF	38,357 SF	752,204 SF
TOTAL ACRES	18.46 AC	0.62 AC	0.88 AC	17.27 AC

TREE CANOPY DATA	
EXISTING TREE CANOPY: 804,191 SF (81.3% OF TOTAL SITE)	
REQUIRED CANOPY PRESERVATION = 15%	
REQUIRED PRESERVATION = 120,629 SF (2.8 AC)	
TOTAL CANOPY REMOVED WITH SITE PLAN 1 & 2: 65,516 SF	
TOTAL REMAINING TREE CANOPY: 752,204 SF	

TREE CANOPY KEY:

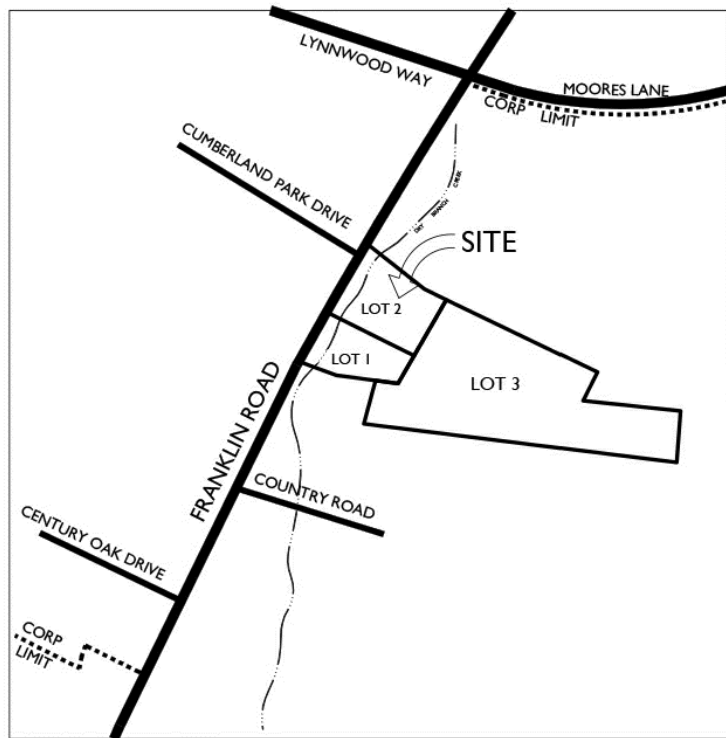
	EXISTING TREE CANOPY
	TREE CANOPY REMOVED WITH PREVIOUS SITE PLANS

BOUNDARY AND TOPOGRAPHY SURVEY PROVIDED BY:
HARRAH & ASSOCIATES
ROGER HARRAH
1722 GENERAL GEORGE PATTON DRIVE
#400
BRENTWOOD, TN 37027

MINERAL RIGHTS:
NO THIRD PARTY MINERAL RIGHTS ARE ASSOCIATED WITH THIS PROPERTY



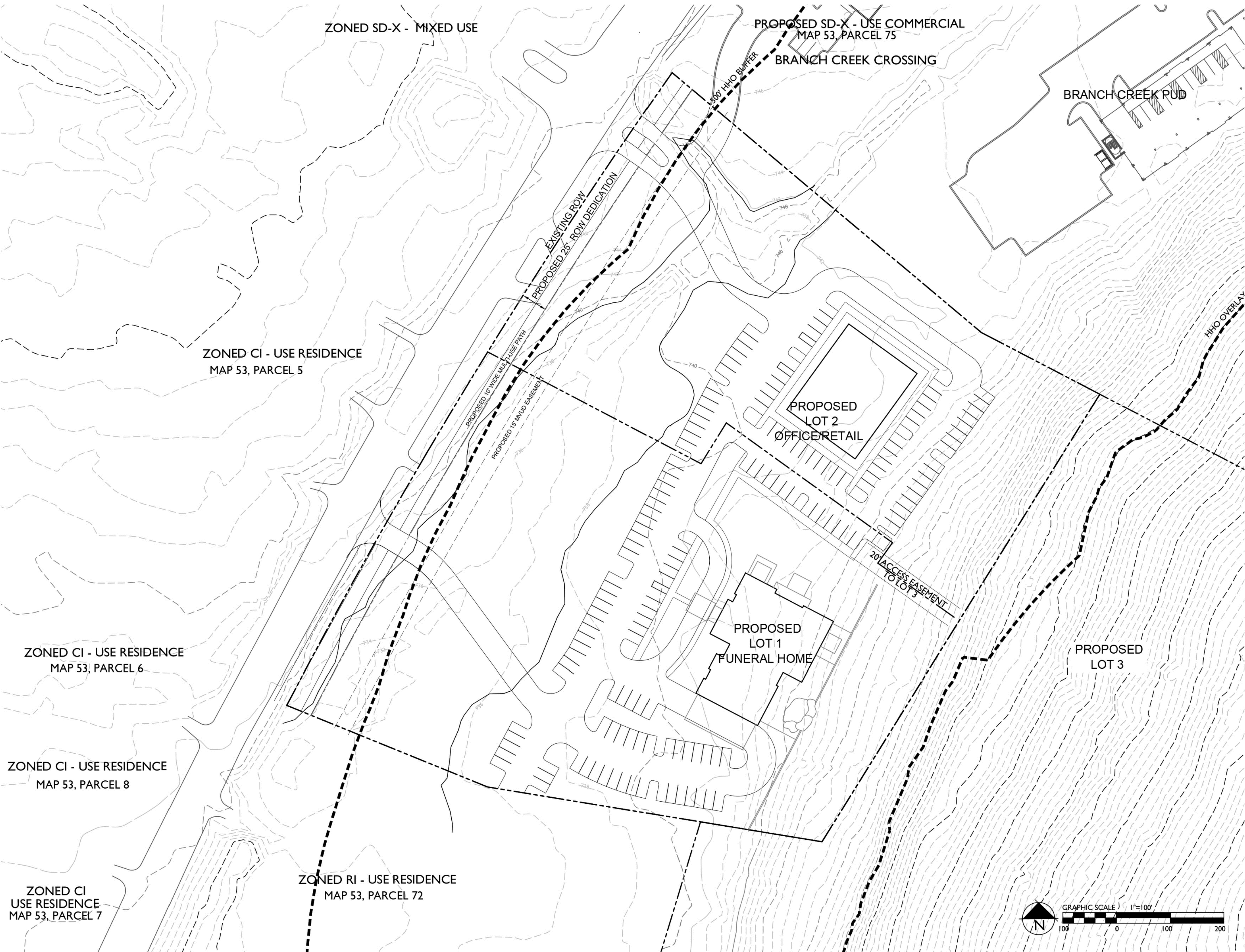
ISSUED: 01.08.2018	
Revision	Date
Δ	02.01.2018
Δ	
Δ	
Δ	



VICINITY MAP

TRIP GENERATION TABLE

LAND USE	SIZE	DAILY TRAFFIC	GENERATED TRAFFIC					
			AM PEAK HOUR		MID PEAK HOUR		PM PEAK HOUR	
			ENTER	EXIT	ENTER	EXIT	ENTER	EXIT
Funeral Home	10,500 sq.ft.	undefined	20	20	20	20	20	20
Office (LUC 210)	24,000 sq.ft.	444	54	7	16	16	18	87
TOTAL	35,500 sq.ft.	undefined	74	27	36	36	38	107



NOTE: AERIAL PHOTO, PARCEL LINES AND TOPOGRAPHIC INFORMATION PROVIDED BY CITY OF FRANKLIN G.I.S.

SITE DATA:

PROJECT NAME: FAMILY LEGACY SUBDIVISION
PROJECT NUMBER: 5849
SUBDIVISION: NOT APPLICABLE
LOT NUMBER: NOT APPLICABLE
ADDRESS: 554 FRANKLIN ROAD
CITY: FRANKLIN
COUNTY: WILLIAMSON
STATE: TENNESSEE
CIVIL DISTRICT: 6TH CIVIL DISTRICT
MAP, GROUP, PARCEL NUMBERS: MAP 53, PARCEL 73.00
EXISTING ZONING: R1
PROPOSED ZONING: SD-X 0/34,500
CHARACTER AREA OVERLAY: BERRYS CHAPEL BC-4
OTHER APPLICABLE OVERLAYS: HHO - HILLSIDEHILLCREST OVERLAY
FLOOD - FLOODWAY OVERLAY
APPLICABLE DEVELOPMENT STANDARD: TRADITIONAL
PARCEL ACREAGE: 22.72 ACRES OR 989,504 SF
TOTAL ACREAGE/SQUARE FOOTAGE: AS ESTABLISHED BY P.U.D. PLAN
MINIMUM REQUIRED SETBACKS: 22.72 ACRES OR 989,504 SF
AS ESTABLISHED BY P.U.D. PLAN
OWNER PARCEL 73: STEPHEN T. ROGERS
ETHEL R. DETCH
554 FRANKLIN ROAD
FRANKLIN TN 37069
OWNER PARCEL 74.01: JAMES F. HOLLOWAY
EVELYN A. HOLLOWAY
562 FRANKLIN ROAD
FRANKLIN TN 37069
APPLICANT: WILLIAM GREGORY
7627 CHARLOTTE PIKE
NASHVILLE TN 37209
(615) 390-7724 WGregory@familylegacy.com
PLANNER/LANDSCAPE ARCHITECT: GAMBLE DESIGN COLLABORATIVE
ADDRESS: 144 SOUTHEAST PARKWAY
SUITE 200
FRANKLIN, TN 37064
615.975.5765
greggambled209@gmail.com
GREG GAMBLE
OFFICE PHONE: 615.975.5765
EMAIL ADDRESS: greggambled209@gmail.com
CONTACT: GREG GAMBLE
PROPOSED LOT 1: 165,588 SF or 3.80 ACRES
PROPOSED LOT SIZE: FUNERAL HOME
BUILDING SQUARE FOOTAGE: 10,500 SF
BUILDING HEIGHT: ONE STORY
MINIMUM L.S.R.: 20
L.S.R. PROVIDED: 668
INCOMPATIBLE BUFFER REQUIRED: NONE
MINIMUM PARKING REQUIRED BY CODE: 200
MAXIMUM PARKING PERMITTED: 220
PARKING REQUESTED BY M.O.S.: 86
PARKING PROVIDED: 89
BIKE PARKING PROVIDED: 5
PROPOSED LOT 2: 143,331 SF or 3.29 ACRES
PROPOSED LOT SIZE: 8,000 SF RETAIL + 16,000 OFFICE
PROPOSED USE: 24,000 SF
BUILDING HEIGHT: THREE STORY
MINIMUM L.S.R.: 20
L.S.R. PROVIDED: 641
INCOMPATIBLE BUFFER REQUIRED: NONE
MINIMUM PARKING REQUIRED BY CODE: 66
MAXIMUM PARKING PERMITTED: 83
PARKING PROVIDED: 67
BIKE PARKING PROVIDED: 4
PROPOSED LOT 3: 680,787 SF or 15.63 ACRES
PROPOSED USE: UNDEVELOPED
STATEMENT OF IMPACTS
WATER: WATER SERVICE WILL BE PROVIDED BY MALLORY VALLEY UTILITY DISTRICT
ADEQUATE SUPPLY EXISTS AND THERE IS NO ADVERSE IMPACT ANTICIPATED.
SEWER: SEWER SERVICE WILL BE PROVIDED BY THE CITY OF FRANKLIN. SEWER MAIN
EXISTS ON THE PROPERTY AND THERE ARE EXISTING TAPS THAT WILL BE RE-PURPOSED
THE EXISTING MAIN LINE IS OF SUFFICIENT SIZE AND NO ADVERSE IMPACTS ARE ANTICIPATED
DRAINAGE FACILITIES: THE PROPERTY DRAINS TO THE SOUTH VIA DRY BRANCH CREEK TO JACKSON LAKE
PROPOSED SITE DETENTION WILL PREVENT ADDITIONAL VOLUME TO THE CONVEYANCE
AND THEREFORE NO ADVERSE IMPACT IS ANTICIPATED.
POLICE AND FIRE PROTECTION: FRANKLIN FIRE DEPT STATION #3 - 1.5 MILES
COLUMBIA AVE. POLICE STATION - 4.7 MILES
RECREATION FACILITIES: THE PROJECT IS A NON-RESIDENTIAL DEVELOPMENT
THE PROJECT IS A NON-RESIDENTIAL DEVELOPMENT
PROJECTED STUDENT POPULATION: THE PROJECT IS A NON-RESIDENTIAL DEVELOPMENT
REFUSE COLLECTION: REFUSE COLLECTION SERVICE WILL BE PROVIDED BY THE CITY OF FRANKLIN. SOLID WASTE.
RESTRICTIVE COVENANTS: THIS IS A PRIVATELY OWNED DEVELOPMENT WITH NO PROPERTY OWNERS ASSOCIATION
MINERAL RIGHTS: NO THIRD PARTY MINERAL RIGHTS ARE ASSOCIATED WITH THIS PROPERTY.
PLANNED ROAD NETWORK: THE ONLY STREET WITHIN 1500' OF THE SITE THAT APPEARS ON THE MAJOR
THOROUGHFARE PLAN IS FRANKLIN ROAD CLASSIFIED AS A MAJOR ARTERIAL &
ALTHOUGH THE IMPACT WILL BE TO INCREASE TRAFFIC, IT WILL BE NEGLIGIBLE.
THERE ARE TWO SINGLE FAMILY RESIDENCES ON THE PROPERTY THAT WILL BE MOVED/DEMOLISHED.
THERE ARE NO RAILROADS OR ASSOCIATED RAILROAD RIGHTS OF WAY ON THE PROPERTY.
UTILITY EASEMENTS: THERE ARE NO KNOWN HISTORIC PROPERTIES WITHIN 500' OF THE SITE.
CONNECTIVITY INDEX: NOT APPLICABLE
PARKLAND DEDICATION: NOT APPLICABLE
LAND USE PLAN COMPLIANCE
CHARACTER AREA OVERLAY: BERRYS CHAPEL BC-4
APPLICABLE DEVELOPMENT STANDARD: TRADITIONAL
THE EXISTING SINGLE FAMILY HOMES WILL BE REMOVED AND REPLACED WITH COMMERCIAL
STRUCTURES BETWEEN THE DRY BRANCH CREEK STREAM BUFFER AND THE PRESERVED TREE AREA.
THIS IS CONSISTENT WITH THE CHARACTER OF OTHER DEVELOPED PROPERTIES LOCATED ON THE
EAST SIDE OF FRANKLIN IN THIS CHARACTER AREA. THIS SUPPORTS THE LAND USE PLAN THAT CALLS
FOR MIXED USE CENTERS TO MIRROR THE USES ON THE WEST SIDE OF FRANKLIN ROAD. IT ALSO
FOR SIGNIFICANT SETBACKS TO MAINTAIN THE RURAL CHARACTER OF FRANKLIN ROAD AND THE
PROTECTION OF ENVIRONMENTAL FEATURES.
LOCAL COMPATIBILITY
IN ADDITION TO THE MIXED USE DEVELOPMENT OF GATEWAY VILLAGE LOCATED ON THE WEST
SIDE OF FRANKLIN ROAD, A COMMERCIAL DEVELOPMENT, BRANCH CREEK CROSSING AND THE
CANTERFIELD ASSISTED LIVING CENTER ARE PROPOSED FOR THE EAST SIDE OF FRANKLIN ROAD
NORTH OF THIS PROPOSED DEVELOPMENT.
FRONT SETBACKS ON FRANKLIN ROAD WILL BE CONSISTENT ALONG THE EAST SIDE DUE TO THE
REQUIRED BUFFER AREAS ALONG DRY BRANCH CREEK.

MODIFICATION OF STANDARDS

I. TABLE 5-9 STIPULATES THAT A FUNERAL HOME MUST HAVE 25 PARKING SPACES/ PERSON OF MAXIMUM OCCUPANCY. THE PROPOSED STRUCTURE HAS A MAXIMUM OCCUPANCY OF 800 PERSONS WHICH WOULD EQUATE TO 200 PARKING SPACES. AT 10,500 SQUARE FEET, THIS WOULD BE EQUAL TO 19+ SPACES PER ONE THOUSAND SQUARE FEET.
THE APPLICANT IS REQUESTING A MODIFICATION OF STANDARDS FOR THE PARKING REQUIREMENT BASED ON THE FOLLOWING REASONS. THE TWO PRIMARY PUBLIC FUNCTIONS CARRIED OUT AT THE FACILITY ARE CHAPEL AND VISITATION FACILITIES. IF A SERVICE WAS BEING CONDUCTED CONCURRENT WITH A VISITATION THE MAXIMUM OCCUPANCY OF THE CHAPEL IS 200 PEOPLE AND THE VISITATION IS 128 PEOPLE. BASED ON THE PROJECTED 25 SPACES PER PERSON THIS WOULD BE EQUAL TO 82 SPACES. IT IS ANTICIPATED THAT THERE WOULD BE 2-3 STAFF PERSONNEL IN THIS INSTANCE. THIS YIELDS A PARKING DEMAND OF 84-85 SPACES. GIVEN THE ADJOINING FACILITY, A SURPLUS OF SPACES EXISTS WITHIN THE OVERALL SITE AND THIS COULD SATISFY THE DEMAND IN ALL FORESEEABLE INSTANCES.



DEVELOPMENT PLAN
FAMILY LEGACY SUBDIVISION
FRANKLIN, TENNESSEE

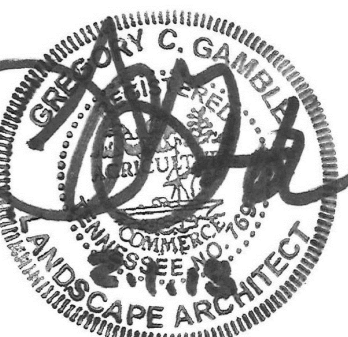
GAMBLES DESIGN COLLABORATIVE
144 SOUTHEAST PARKWAY
SUITE 200
FRANKLIN, TENNESSEE 37064
GREG GAMBLES
greggambled209@gmail.com
615.975.5765

DEVELOPMENT PLAN
COF # 5849

C 3.0



FAMILY LEGACY PUD SUBDIVISION
DEVELOPMENT PLAN, REVISION 1
Franklin, Williamson County, Tennessee



ISSUED: 01.08.2018
Revision Date
02.01.2018
△
△
△
△

PREVIOUSLY APPROVED
DEVELOPMENT PLAN
SHEET
C2.0
COF # 6612

PREVIOUSLY APPROVED DEVELOPMENT
PLAN FOR REFERENCE (COF # 5849) - N.T.S.



ISSUED: 01.08.2018

Revision Date

02.01.2018

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OVERALL
DEVELOPMENT PLAN

SHEET

C2.1

COF # 6612

DEVELOPMENT SUMMARY

REVISION 1: SUBMITTED JANUARY 2018

- LOT 1 APPROVED USE CHANGES FROM A FUNERAL HOME TO OFFICE
- NO CHANGE PROPOSED FOR LOT 2 (SITE PLAN UNDER REVIEW)

ORIGINAL DEVELOPMENT PLAN: APPROVED OCTOBER 2015

- LOT 1, FUNERAL HOME (10,500 SF)
- LOT 2, 3 STORY OFFICE (24,000 SF)

TREE CANOPY RETENTION

TREE AREA	EXISTING CANOPY	REMOVED CANOPY SF LOT 1	REMOVED CANOPY SF LOT 2	REMOVED CANOPY DEV. PLAN REV 1	REMAINING CANOPY
TREE 'A'	763,507 SF	17,736 SF	24,231 SF	12,796 SF	722,273 SF
TREE 'B'	17,549 SF	9,423 SF	----- SF	----- SF	8,126 SF
TREE 'C'	23,135 SF	----- SF	14,126 SF	----- SF	9,009 SF
TOTAL SF	804,191 SF	27,159 SF	38,357 SF	12,796 SF	739,408 SF
TOTAL ACRES	18.46 AC	0.62 AC	0.88 AC	0.29 AC	16.97 AC

TREE CANOPY DATA

EXISTING TREE CANOPY: 804,191 SF (81.3% OF TOTAL SITE)
REQUIRED CANOPY PRESERVATION = 15%
REQUIRED PRESERVATION = 120,629 SF (2.8 AC)

TOTAL CANOPY REMOVED WITH SITE PLAN 1 & 2: 65,516 SF
TOTAL CANOPY REMOVED WITH DEVELOPMENT PLAN REVISION 2: 12,796 SF

TOTAL CANOPY REMOVED: 78,312 SF (1.80 AC)

REMAINING TREE CANOPY TO BE PRESERVED: 739,408 SF (16.97 AC)
(91.9% OF ORIGINAL EXISTING CANOPY)

TREE CANOPY PRESERVATION AREA

PARKING CHART

PARKING RATIO FOR TRADITIONAL OFFICE: 2.85 SPACES/1,000.
TOTAL OFFICE SF: 57,900 SF
SUBDIVISION: 1
TOTAL PARKING REQUIRED: 166 SPACES
TOTAL PARKING PROVIDED: 199 SPACES

LOT 1:
TOTAL OFFICE SF: 35,000 SF
TOTAL PARKING PROVIDED: 122 SPACES
LOT 2:
TOTAL OFFICE SF: 22,900 SF
TOTAL PARKING PROVIDED: 77 SPACES

OPEN SPACE REQUIREMENT CHART

MINIMUM OPEN SPACE REQUIREMENT: 3% OF TOTAL SITE

3% * 22.72 AC = 0.68 AC / 29,690 SF

NOTE: 100% OF OPEN SPACE IS FORMAL

OPEN SPACE PROVIDED:

KEY	CLASSIFICATION	TYPE	AREA
OS1 (LOT 1)	FORMAL	PLAZA	12,662 SF
OS2 (LOT 2)	FORMAL	PLAZA	9,189 SF
OS3 (LOT 1)	FORMAL	GREENBELT	5,327 SF
OS4 (LOT 2)	FORMAL	GREENBELT	1,465 SF

TOTAL REQUIRED OPEN SPACE PROVIDED:
FORMAL = 0.69 AC / 29,843 SF (3.0%)

FLOODPLAIN KEY:

100 YEAR FLOOD PLAIN

FORMAL OPEN SPACE KEY:

FORMAL OPEN SPACE

RIPARIAN BUFFER ZONE KEY:

30' RIPARIAN BUFFER ZONE 1

30' RIPARIAN BUFFER ZONE 2

SITE DATA:

PROJECT NAME: FAMILY LEGACY (PUD), DEVELOPMENT PLAN REVISION 1
PROJECT NUMBER: XXXX
SUBDIVISION: FAMILY LEGACY PUD
LOT NUMBER: NA
ADDRESS: 554 & 562 FRANKLIN ROAD
CITY: FRANKLIN
COUNTY: WILLIAMSON
STATE: TENNESSEE
CIVIL DISTRICT: 8TH CIVIL DISTRICT
MAP 53, PARCELS 73.00 & 74.01

EXISTING ZONING: SD-X 0 / 34,500
PROPOSED ZONING: SD-X 0 / 57,900
CHARACTER AREA OVERLAY: BCCO-4
OTHER APPLICABLE OVERLAYS: HHO, HHO BUFFER, FFO
APPLICABLE DEVELOPMENT STANDARD: TRADITIONAL
TOTAL ACREAGE: 22.72 AC
TOTAL SQUARE FOOTAGE: 988,971 +/- SF

MINIMUM REQUIRED SETBACKS: AS ESTABLISHED BY P.U.D.

OWNER: FRANKLIN FUNERAL HOME
RODNEY EDWARDS
7427 CHARLOTTE PIKE

DEVELOPER: MIKE FORD
LOT 1
FORD CUSTOM CLASSIC HOMES
390 MALLORY STATION ROAD
SUITE 100
FRANKLIN, TN 37067
(615) 503-9727

DEVELOPER: THE POOL
LOT 2
DAWN CRAWFORD
5100 MARYLAND WAY
(615) 371-0049

APPLICANT: GAMBLE DESIGN COLLABORATIVE
144 SOUTHEAST PARKWAY
SUITE 200
FRANKLIN, TN 37064
615.975.5765
greggambles200@gmail.com
GREG GAMBLE

BUILDING SQUARE FOOTAGE: TOTAL - 57,900 SF
LOT 1 - 35,000 SF
LOT 2 - 22,900 SF
LOT 1 - 3 & 2 STORIES
LOT 2 - 3 STORIES

LANDSCAPE SURFACE RATIO: 0.87/ 19.9 AC PROVIDED
MINIMUM LANDSCAPE SURFACE RATIO: 0.2/ 4.5 AC REQUIRED
MINIMUM PARKING REQUIREMENT: 2.85 SPACES / 1,000 SF (166 SPACES)

MAXIMUM PARKING LIMIT: 200 SPACES (120% OF MINIMUM)
EXISTING PARKING: N/A
PARKING PROVIDED: 199 SPACES

RESIDENTIAL DENSITY: N/A
TREE CANOPY: 804,191 SF (81% OF TOTAL SITE)

PARKLAND DEDICATION: N/A
OPEN SPACE: 3% REQ. (0.68AC) FOR TRADITIONAL MIXED-USE ZONE, ALL FORMAL PROVIDED LOT 1: 0.44 AC
PROVIDED LOT 2: 0.25 AC
TOTAL PROVIDED: 0.69 AC

OVERALL DENSITY: N/A
NET DENSITY: N/A

RESIDENTIAL UNITS BY USE TYPE: N/A
NON-RESIDENTIAL SF: TOTAL: 57,900 SF
LOT 1 - 35,000 SF OFFICE
LOT 2 - 22,900 SF - OFFICE

STATEMENT OF IMPACTS:

WATER: COMMERCIAL (DEVELOPMENT PLAN REVISION 1)
WATER SERVICE PROVIDED BY MALLORY VALLEY UTILITY DISTRICT
3,658 GPD

SEWER: COMMERCIAL (DEVELOPMENT PLAN REVISION 1)
SEWER PROVIDED BY THE CITY OF FRANKLIN

REPURIFIED (REUSE) WATER FACILITIES:
NONE WITHIN THE DEVELOPMENT

STREET NETWORK:
THE PROPERTY HAS FRONTAGE ON FRANKLIN ROAD, CLASSIFIED AS A MAJOR ARTERIAL. TWO SITE ACCESS POINTS, PREVIOUSLY APPROVED HAVE BEEN INSTALLED. A 25' ROW DEDICATION, PREVIOUSLY REQUESTED BY THE CITY, HAS BEEN PROVIDED.

DRAINAGE FACILITIES:
STORMWATER TO BE TREATED VIA PERVIOUS PAVERS AND THEN RELEASED INTO A STREAM OR WET WEATHER CONVEYANCE

POLICE, FIRE AND RECREATIONAL FACILITIES:
POLICE - 900 COLUMBIA AVE, 4.0 MILES
FIRE - STATION #3, 370 MALLORY STATION ROAD, 1.9 MILES
RECREATIONAL - DRY BRANCH WETLANDS, 0.2 MILES

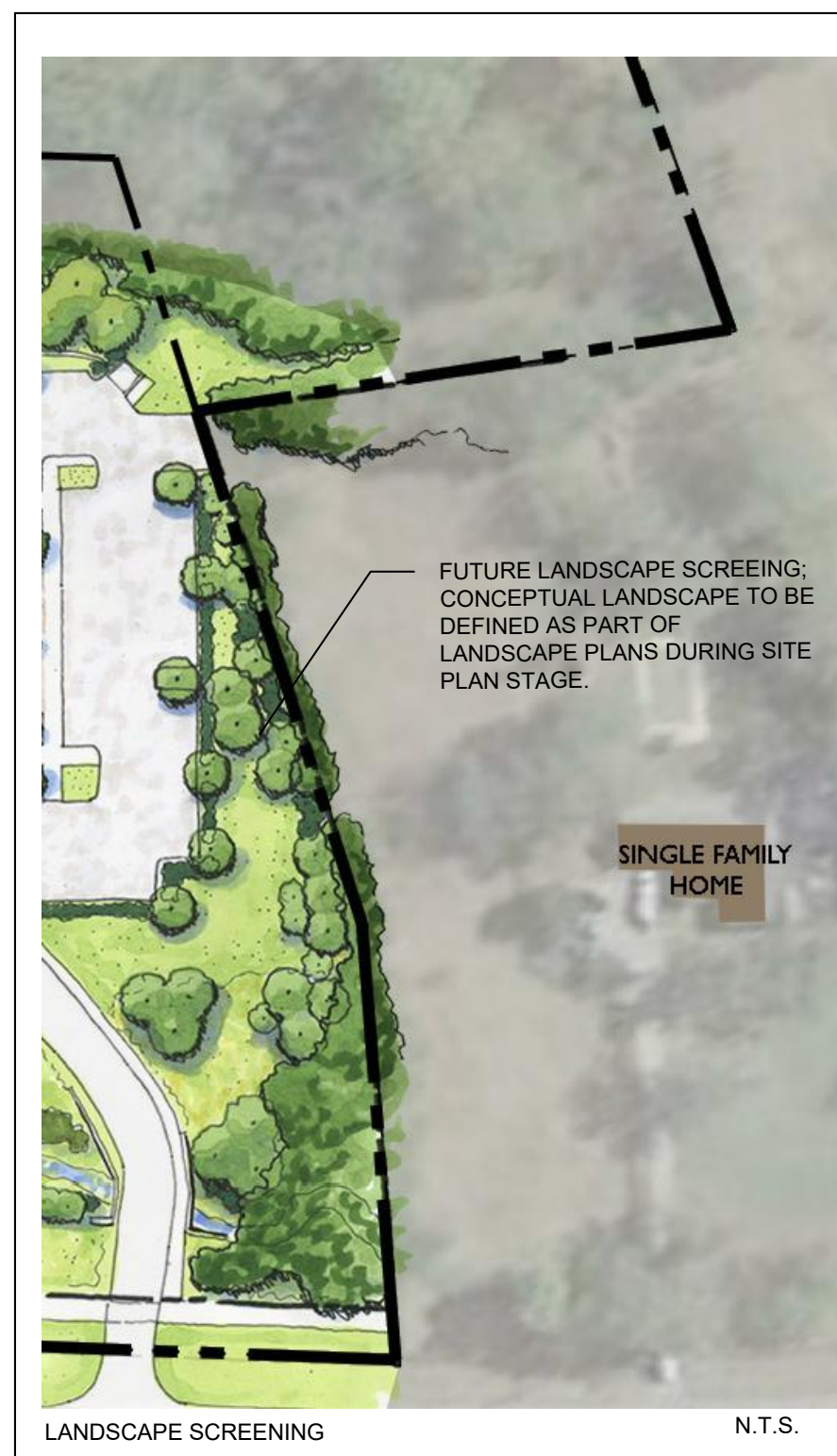
PROJECTED STUDENT POPULATION:
NO STUDENTS

REFUSE COLLECTION:
DEVELOPMENT WILL PROVIDE SCREENED DUMPSTERS.

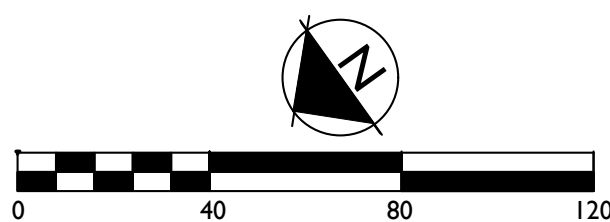
LAND USE PLAN COMPLIANCE & DESIGN CONCEPTS:

ENVISION FRANKLIN: NEIGHBORHOOD MIXED USE
PROFESSIONAL OFFICE IS AN APPROVED USE.

OFFICE USE IS LISTED AS A PRIMARY USE. BUILDING ENTRANCES ARE ORIENTED TO THE STREET; HOWEVER THE BUILDINGS WILL SIT BEHIND A CREEK AND STREAM BUFFER. SIDEWALKS WILL CONNECT BACK TO THE MULTI-USE PATH ALONG FRANKLIN ROAD. FORMAL OPEN SPACE WILL BE PEDESTRIAN PLAZAS AROUND THE BUILDING. OFFICE BUILDINGS ARE AT 3 STORIES IN HEIGHT (AS ENVISION FRANKLIN PROPOSES OUTSIDE OF MACK HATCHER PARKWAY.) HOWEVER, THE LOT 1 OFFICE STEPS DOWN TO TWO-STORY TO TRANSITION TO THE SOUTH.



STREAM BUFFER NOTE:
THERE SHALL BE NO MOWING, CLEARING, GRADING, CONSTRUCTION, STORAGE, OR DISTURBANCE OF VEGETATION IN RIPARIAN BUFFERS EXCEPT AS PERMITTED BY THE CITY ENGINEER, OR HIS/HER DESIGNEE.



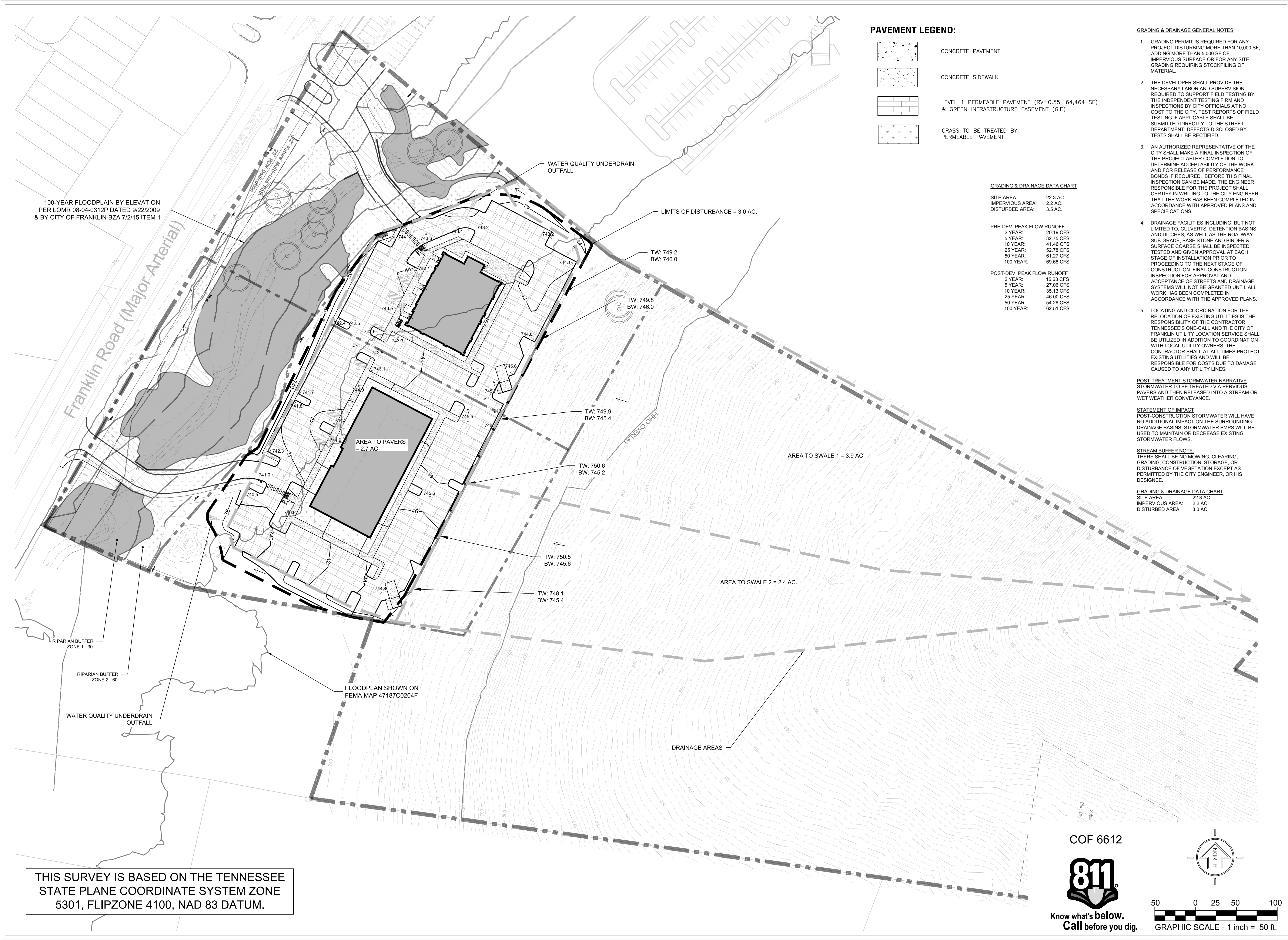


PREVIOUSLY APPROVED DEVELOPMENT PLAN FOR REFERENCE (COF # 5849) - N.T.S.



DEVELOPMENT PLAN CHANGE:
REMOVE FUNERAL HOME USE AND
REPLACE WITH OFFICE BUILDING

DEVELOPMENT PLAN REVISION 1



PAVEMENT LEGEND:

- CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- LEVEL 1 PERMEABLE PAVEMENT (RV=0.55, 64,464 SF) & GREEN INFRASTRUCTURE EASEMENT (GIE)
- GRASS TO BE TREATED BY PERMEABLE PAVEMENT

GRADING & DRAINAGE DATA CHART

SITE AREA:	22.3 AC.
IMPERVIOUS AREA:	2.2 AC.
DISTURBED AREA:	3.5 AC.

PRE-DEV. PEAK FLOW RUNOFF	
2 YEAR:	20.19 CFS
5 YEAR:	32.75 CFS
10 YEAR:	41.46 CFS
25 YEAR:	52.78 CFS
50 YEAR:	61.27 CFS
100 YEAR:	69.68 CFS

POST-DEV. PEAK FLOW RUNOFF	
2 YEAR:	15.63 CFS
5 YEAR:	27.06 CFS
10 YEAR:	35.13 CFS
25 YEAR:	46.00 CFS
50 YEAR:	54.26 CFS
100 YEAR:	62.51 CFS

GRADING & DRAINAGE GENERAL NOTES

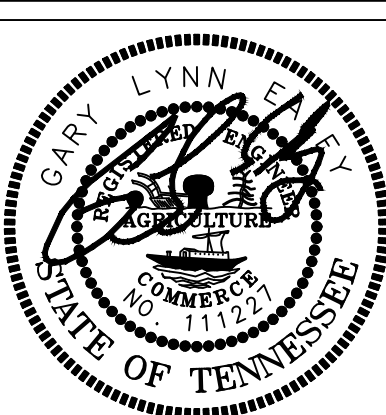
1. GRADING PERMIT IS REQUIRED FOR ANY PROJECT DISTURBING MORE THAN 10,000 SF, ADDING MORE THAN 5,000 SF OF IMPERVIOUS SURFACE OR FOR ANY SITE GRADING REQUIRING STOCKPILING OF MATERIAL.
2. THE DEVELOPER SHALL PROVIDE THE NECESSARY LABOR AND SUPERVISION REQUIRED TO SUPPORT FIELD TESTING BY THE INDEPENDENT TESTING FIRM AND INSPECTIONS BY CITY OFFICIALS AT NO COST TO THE CITY. TEST REPORTS OF FIELD TESTING IF APPLICABLE SHALL BE SUBMITTED DIRECTLY TO THE STREET DEPARTMENT. DEFECTS DISCLOSED BY TESTS SHALL BE RECTIFIED.
3. AN AUTHORIZED REPRESENTATIVE OF THE CITY SHALL MAKE A FINAL INSPECTION OF THE PROJECT AFTER COMPLETION TO DETERMINE ACCEPTABILITY OF THE WORK AND FOR RELEASE OF PERFORMANCE BONDS IF REQUIRED. BEFORE THIS FINAL INSPECTION CAN BE MADE, THE ENGINEER RESPONSIBLE FOR THE PROJECT SHALL CERTIFY IN WRITING TO THE CITY ENGINEER THAT THE WORK HAS BEEN COMPLETED IN ACCORDANCE WITH APPROVED PLANS AND SPECIFICATIONS.
4. DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, CULVERTS, DETENTION BASINS AND DITCHES, AS WELL AS THE ROADWAY SUB-GRADE, BASE STONE AND BINDER & SURFACE COARSE SHALL BE INSPECTED, TESTED AND GIVEN APPROVAL AT EACH STAGE OF INSTALLATION PRIOR TO PROCEEDING TO THE NEXT STAGE OF CONSTRUCTION. FINAL CONSTRUCTION INSPECTION FOR APPROVAL AND ACCEPTANCE OF STREETS AND DRAINAGE SYSTEMS WILL NOT BE GRANTED UNTIL ALL WORK HAS BEEN COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS.
5. LOCATING AND COORDINATION FOR THE RELOCATION OF EXISTING UTILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR. TENNESSEE'S ONE-CALL AND THE CITY OF FRANKLIN UTILITY LOCATION SERVICE SHALL BE UTILIZED IN ADDITION TO COORDINATION WITH LOCAL UTILITY OWNERS. THE CONTRACTOR SHALL AT ALL TIMES PROTECT EXISTING UTILITIES AND WILL BE RESPONSIBLE FOR COSTS DUE TO DAMAGE CAUSED TO ANY UTILITY LINES.

POST-TREATMENT STORMWATER NARRATIVE
STORMWATER TO BE TREATED VIA PERVIOUS PAVERS AND THEN RELEASED INTO A STREAM OR WET WEATHER CONVEYANCE.

STATEMENT OF IMPACT
POST-CONSTRUCTION STORMWATER WILL HAVE NO ADDITIONAL IMPACT ON THE SURROUNDING DRAINAGE BASINS. STORMWATER BMPs WILL BE USED TO MAINTAIN OR DECREASE EXISTING STORMWATER FLOWS.

STREAM BUFFER NOTE:
THERE SHALL BE NO MOWING, CLEARING, GRADING, CONSTRUCTION, STORAGE, OR DISTURBANCE OF VEGETATION EXCEPT AS PERMITTED BY THE CITY ENGINEER, OR HIS DESIGNEE.

GRADING & DRAINAGE DATA CHART	
SITE AREA:	22.3 AC.
IMPERVIOUS AREA:	2.2 AC.
DISTURBED AREA:	3.0 AC.



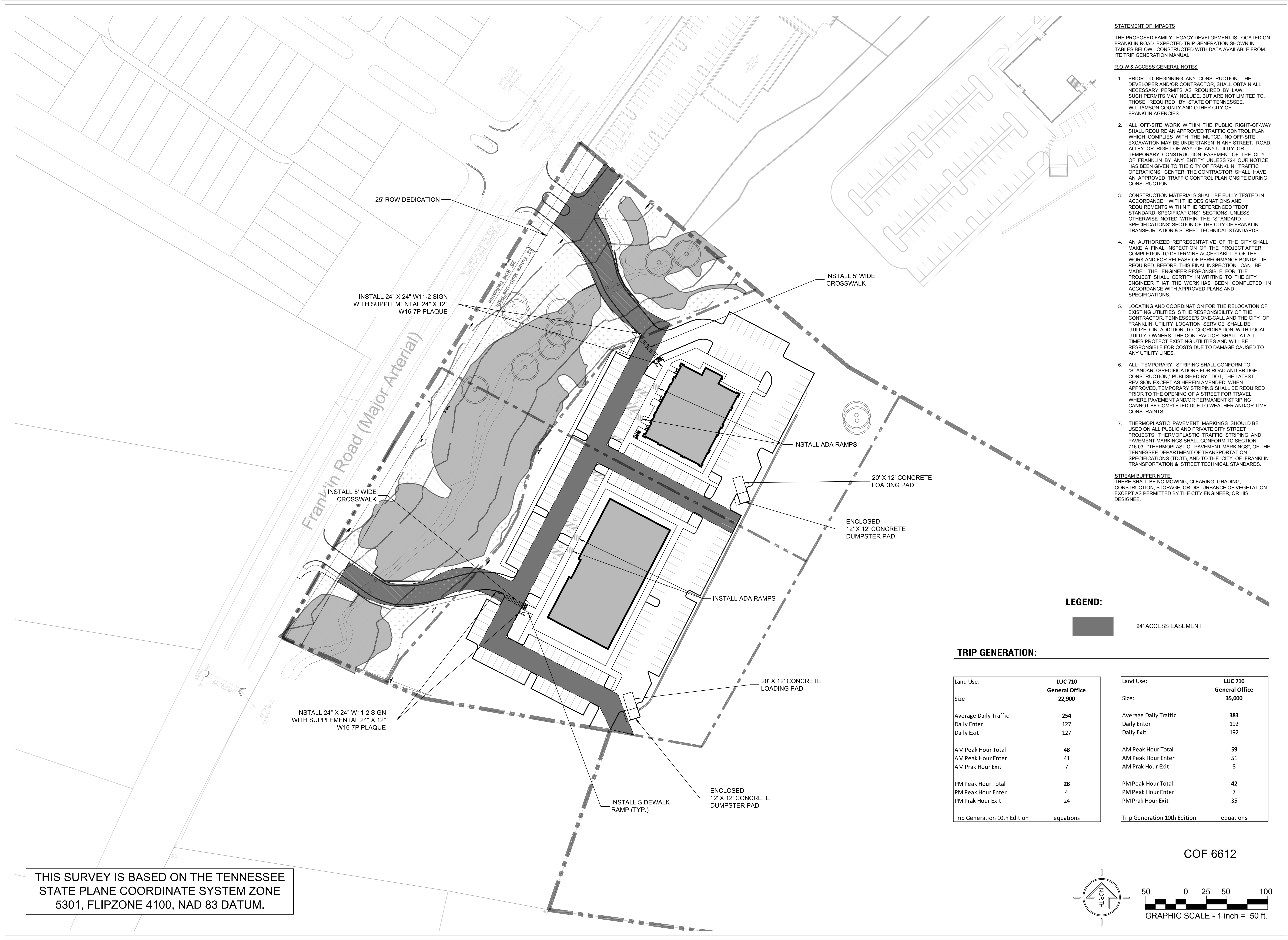
ISLAND SOLUTIONS
2925 Berry Hill Drive, Nashville, TN 37204

FAMILY LEGACY FORD OFFICE BUILDING
DEVELOPMENT PLAN
BEING PARCELS 73.00 & 74.01 ON TAX MAP 53
FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

ISSUANCE/REVISION NOTES:
- PLAN DATE: OCTOBER 12, 2017

- A NONE
- B NONE
- C NONE
- D NONE

GRADING & DRAINAGE PLAN
C3.0
LSC 17021



STATEMENT OF IMPACTS

THE PROPOSED FAMILY LEGACY DEVELOPMENT IS LOCATED ON FRANKLIN ROAD. EXPECTED TRIP GENERATION SHOWN IN TABLES BELOW - CONSTRUCTED WITH DATA AVAILABLE FROM ITE TRIP GENERATION MANUAL.

R.O.W & ACCESS GENERAL NOTES

1. PRIOR TO BEGINNING ANY CONSTRUCTION, THE DEVELOPER AND/OR CONTRACTOR, SHALL OBTAIN ALL NECESSARY PERMITS AS REQUIRED BY LAW. SUCH PERMITS MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE REQUIRED BY STATE OF TENNESSEE, WILLIAMSON COUNTY AND OTHER CITY OF FRANKLIN AGENCIES.
2. ALL OFF-SITE WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE AN APPROVED TRAFFIC CONTROL PLAN WHICH COMPLIES WITH THE MUTCD. NO OFF-SITE EXCAVATION MAY BE UNDERTAKEN IN ANY STREET, ROAD, ALLEY OR RIGHT-OF-WAY OF ANY UTILITY OR TEMPORARY CONSTRUCTION EASEMENT OF THE CITY OF FRANKLIN BY ANY ENTITY UNLESS 72-HOUR NOTICE HAS BEEN GIVEN TO THE CITY OF FRANKLIN TRAFFIC OPERATIONS CENTER. THE CONTRACTOR SHALL HAVE AN APPROVED TRAFFIC CONTROL PLAN ONSITE DURING CONSTRUCTION.
3. CONSTRUCTION MATERIALS SHALL BE FULLY TESTED IN ACCORDANCE WITH THE DESIGNATIONS AND REQUIREMENTS WITHIN THE REFERENCED "TDOT STANDARD SPECIFICATIONS" SECTIONS, UNLESS OTHERWISE NOTED WITHIN THE "STANDARD SPECIFICATIONS" SECTION OF THE CITY OF FRANKLIN TRANSPORTATION & STREET TECHNICAL STANDARDS.
4. AN AUTHORIZED REPRESENTATIVE OF THE CITY SHALL MAKE A FINAL INSPECTION OF THE PROJECT AFTER COMPLETION TO DETERMINE ACCEPTABILITY OF THE WORK AND FOR RELEASE OF PERFORMANCE BONDS IF REQUIRED. BEFORE THIS FINAL INSPECTION CAN BE MADE, THE ENGINEER RESPONSIBLE FOR THE PROJECT SHALL CERTIFY IN WRITING TO THE CITY ENGINEER THAT THE WORK HAS BEEN COMPLETED IN ACCORDANCE WITH APPROVED PLANS AND SPECIFICATIONS.
5. LOCATING AND COORDINATION FOR THE RELOCATION OF EXISTING UTILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR. TENNESSEE'S ONE-CALL AND THE CITY OF FRANKLIN UTILITY LOCATION SERVICE SHALL BE UTILIZED IN ADDITION TO COORDINATION WITH LOCAL UTILITY OWNERS. THE CONTRACTOR SHALL AT ALL TIMES PROTECT EXISTING UTILITIES AND WILL BE RESPONSIBLE FOR COSTS DUE TO DAMAGE CAUSED TO ANY UTILITY LINES.
6. ALL TEMPORARY STRIPING SHALL CONFORM TO STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, PUBLISHED BY TDOT, THE LATEST REVISION EXCEPT AS HEREIN AMENDED. WHEN APPROVED, TEMPORARY STRIPING SHALL BE REQUIRED PRIOR TO THE OPENING OF A STREET FOR TRAVEL WHERE PAVEMENT AND/OR PERMANENT STRIPING CANNOT BE COMPLETED DUE TO WEATHER AND/OR TIME CONSTRAINTS.
7. THERMOPLASTIC PAVEMENT MARKINGS SHOULD BE USED ON ALL PUBLIC AND PRIVATE CITY STREET PROJECTS. THERMOPLASTIC TRAFFIC STRIPING AND PAVEMENT MARKINGS SHALL CONFORM TO SECTION 716.03 "THERMOPLASTIC PAVEMENT MARKINGS", OF THE TENNESSEE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS (TDOT), AND TO THE CITY OF FRANKLIN TRANSPORTATION & STREET TECHNICAL STANDARDS.

STREAM BUFFER NOTE:
THERE SHALL BE NO MOWING, CLEARING, GRADING, CONSTRUCTION, STORAGE, OR DISTURBANCE OF VEGETATION EXCEPT AS PERMITTED BY THE CITY ENGINEER, OR HIS DESIGNEE.

LEGEND:

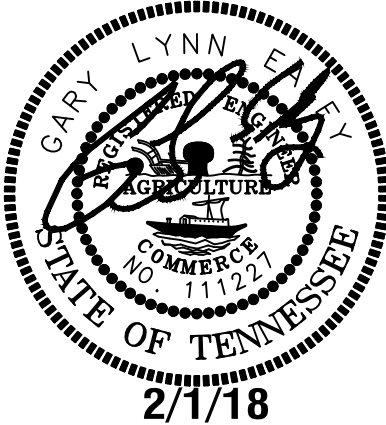
24' ACCESS EASEMENT

TRIP GENERATION:

Land Use:	LUC 710
Size:	General Office 22,900
Average Daily Traffic	254
Daily Enter	127
Daily Exit	127
AM Peak Hour Total	48
AM Peak Hour Enter	41
AM Peak Hour Exit	7
PM Peak Hour Total	28
PM Peak Hour Enter	4
PM Peak Hour Exit	24
Trip Generation 10th Edition equations	

Land Use:	LUC 710
Size:	General Office 35,000
Average Daily Traffic	383
Daily Enter	192
Daily Exit	192
AM Peak Hour Total	59
AM Peak Hour Enter	51
AM Peak Hour Exit	8
PM Peak Hour Total	42
PM Peak Hour Enter	7
PM Peak Hour Exit	35
Trip Generation 10th Edition equations	

THIS SURVEY IS BASED ON THE TENNESSEE STATE PLANE COORDINATE SYSTEM ZONE 5301, FLIPZONE 4100, NAD 83 DATUM.



FAMILY LEGACY FORD OFFICE BUILDING

DEVELOPMENT PLAN
BEING PARCELS 73.00 & 74.01 ON TAX MAP 53
FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

ISSUANCE/REVISION NOTES:
- PLAN DATE: OCTOBER 12, 2017

- A NONE
- B NONE
- C NONE
- D NONE

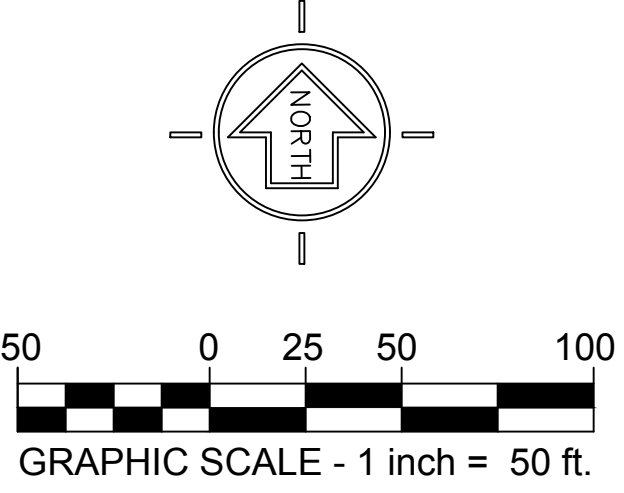
ROW &
ACCESS PLAN

C4.0



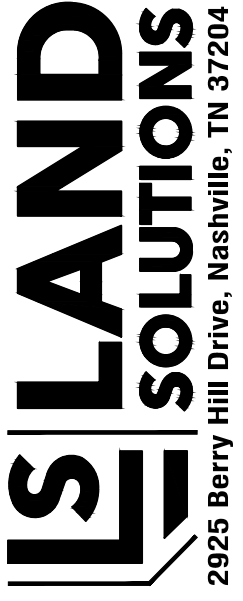
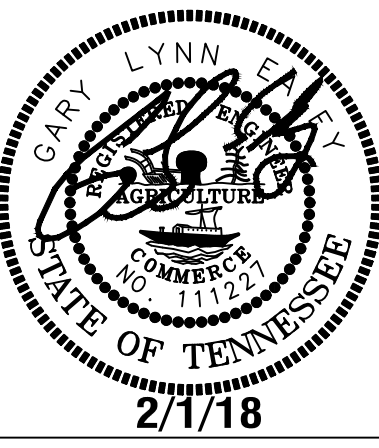
THIS SURVEY IS BASED ON THE TENNESSEE
STATE PLANE COORDINATE SYSTEM ZONE
5301, FLIPZONE 4100, NAD 83 DATUM.

COF 6612



TOWER 2 APPARATUS AUTOTURN

Apparatus Specifications
Number of Front Axles = 1
Front Track Width = 8'
Wheels on Each Front Axle = 2
Number of Rear Axles = 2
Rear Track Width = 8'
Wheel Base = 21.316'
(Front Axle to Front Rear Axle)
Rear Axle Spacing = 4.417'
Body Length = 50.0417'
Width = 8.333'
Rear Overhang = 22.1424'
Body Style = Fire Truck
Turning Radius Wall to Wall = 42'

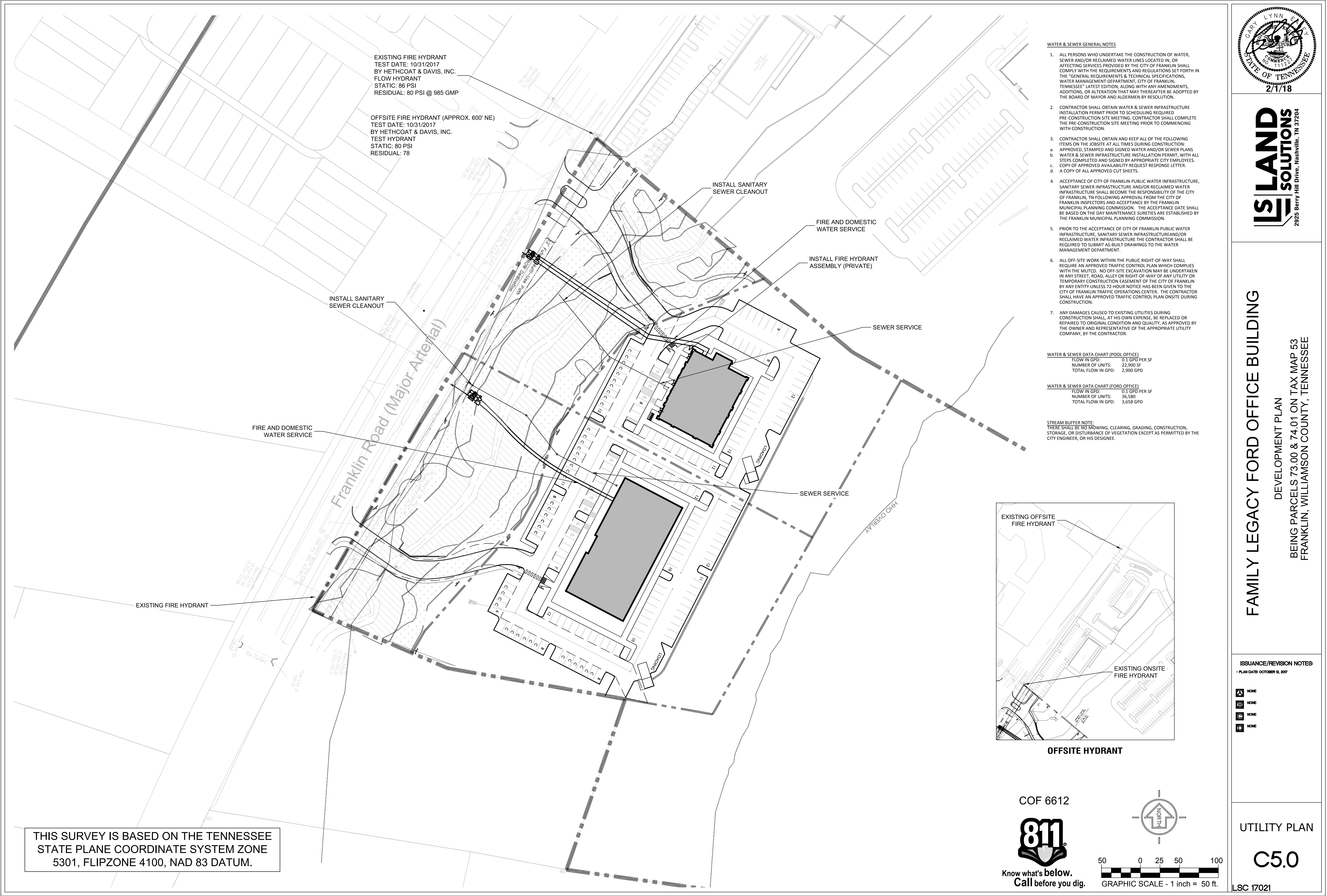


FAMILY LEGACY FORD OFFICE BUILDING
DEVELOPMENT PLAN
BEING PARCELS 73.00 & 74.01 ON TAX MAP 53
FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

ISSUANCE/REVISION NOTES:
- PLAN DATE: OCTOBER 12, 2017

- A NONE
- B NONE
- C NONE
- D NONE

AUTOTURN
PLAN
C4.1
LSC 17021



THIS SURVEY IS BASED ON THE TENNESSEE
STATE PLANE COORDINATE SYSTEM ZONE
5301, FLIPZONE 4100, NAD 83 DATUM.

- WATER & SEWER GENERAL NOTES**
1. ALL PERSONS WHO UNDERTAKE THE CONSTRUCTION OF WATER, SEWER AND/OR RECLAIMED WATER LINES LOCATED IN, OR AFFECTING SERVICES PROVIDED BY THE CITY OF FRANKLIN SHALL COMPLY WITH THE REQUIREMENTS AND REGULATIONS SET FORTH IN THE "GENERAL REQUIREMENTS & TECHNICAL SPECIFICATIONS, WATER MANAGEMENT DEPARTMENT, CITY OF FRANKLIN, TENNESSEE" LATEST EDITION, ALONG WITH ANY AMENDMENTS, ADDITIONS, OR ALTERATION THAT MAY THEREAFTER BE ADOPTED BY THE BOARD OF MAYOR AND ALDERMEN BY RESOLUTION.
 2. CONTRACTOR SHALL OBTAIN WATER & SEWER INFRASTRUCTURE INSTALLATION PERMIT PRIOR TO SCHEDULING REQUIRED PRE-CONSTRUCTION SITE MEETING. CONTRACTOR SHALL COMPLETE THE PRE-CONSTRUCTION SITE MEETING PRIOR TO COMMENCING WITH CONSTRUCTION.
 3. CONTRACTOR SHALL OBTAIN AND KEEP ALL OF THE FOLLOWING ITEMS ON THE JOBSITE AT ALL TIMES DURING CONSTRUCTION:
 - a. APPROVED, STAMPED AND SIGNED WATER AND/OR SEWER PLANS
 - b. WATER & SEWER INFRASTRUCTURE INSTALLATION PERMIT, WITH ALL STEPS COMPLETED AND SIGNED BY APPROPRIATE CITY EMPLOYEES.
 - c. COPY OF APPROVED AVAILABILITY REQUEST RESPONSE LETTER.
 - d. A COPY OF ALL APPROVED CUT SHEETS.
 4. ACCEPTANCE OF CITY OF FRANKLIN PUBLIC WATER INFRASTRUCTURE, SANITARY SEWER INFRASTRUCTURE AND/OR RECLAIMED WATER INFRASTRUCTURE SHALL BECOME THE RESPONSIBILITY OF THE CITY OF FRANKLIN, TN FOLLOWING APPROVAL FROM THE CITY OF FRANKLIN INSPECTORS AND ACCEPTANCE BY THE FRANKLIN MUNICIPAL PLANNING COMMISSION. THE ACCEPTANCE DATE SHALL BE BASED ON THE DAY MAINTENANCE SURETIES ARE ESTABLISHED BY THE FRANKLIN MUNICIPAL PLANNING COMMISSION.
 5. PRIOR TO THE ACCEPTANCE OF CITY OF FRANKLIN PUBLIC WATER INFRASTRUCTURE, SANITARY SEWER INFRASTRUCTURE AND/OR RECLAIMED WATER INFRASTRUCTURE THE CONTRACTOR SHALL BE REQUIRED TO SUBMIT AS-BUILT DRAWINGS TO THE WATER MANAGEMENT DEPARTMENT.
 6. ALL OFF-SITE WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE AN APPROVED TRAFFIC CONTROL PLAN WHICH COMPLIES WITH THE MUTCD. NO OFF-SITE EXCAVATION MAY BE UNDERTAKEN IN ANY STREET, ROAD, ALLEY OR RIGHT-OF-WAY OF ANY UTILITY OR TEMPORARY CONSTRUCTION EASEMENT OF THE CITY OF FRANKLIN BY ANY ENTITY UNLESS 72-HOUR NOTICE HAS BEEN GIVEN TO THE CITY OF FRANKLIN TRAFFIC OPERATIONS CENTER. THE CONTRACTOR SHALL HAVE AN APPROVED TRAFFIC CONTROL PLAN ONSITE DURING CONSTRUCTION.
 7. ANY DAMAGES CAUSED TO EXISTING UTILITIES DURING CONSTRUCTION SHALL, AT HIS OWN EXPENSE, BE REPLACED OR REPAIRED TO ORIGINAL CONDITION AND QUALITY, AS APPROVED BY THE OWNER AND REPRESENTATIVE OF THE APPROPRIATE UTILITY COMPANY, BY THE CONTRACTOR.

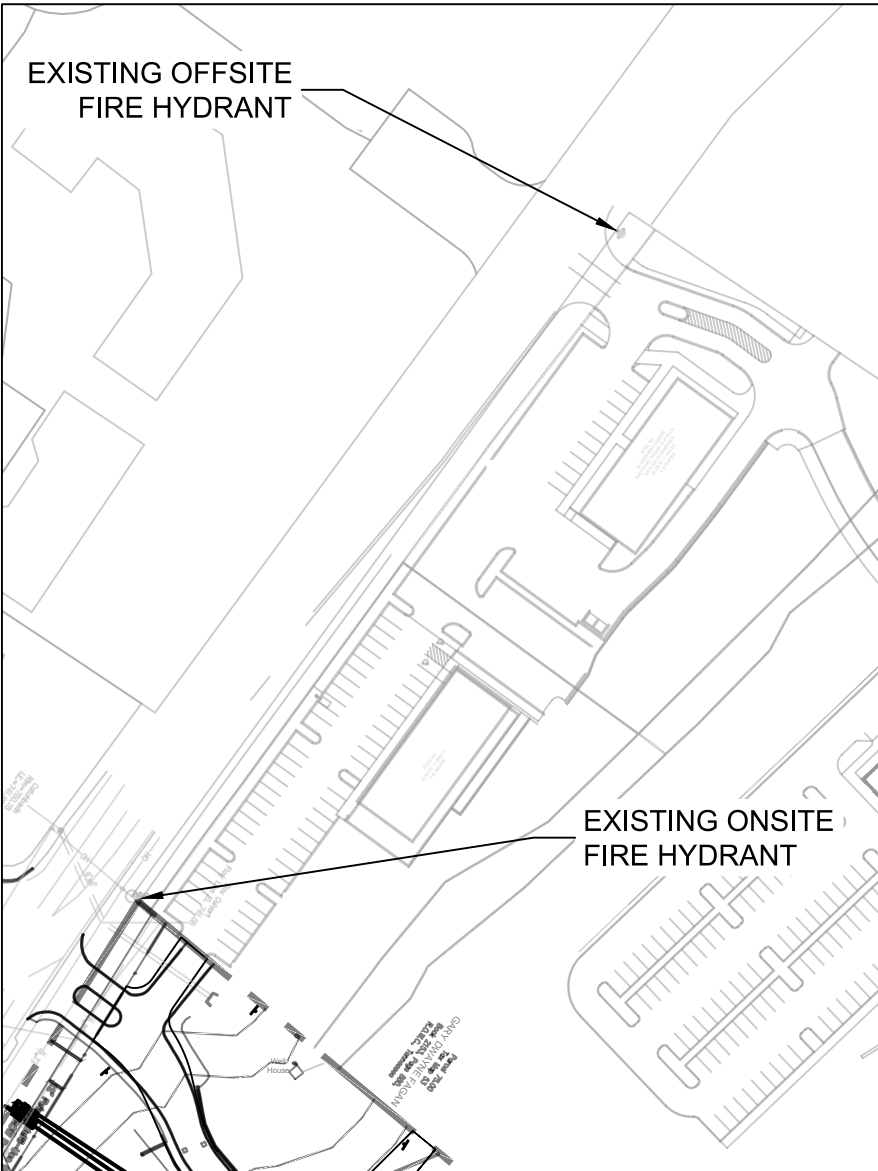
WATER & SEWER DATA CHART (POOL OFFICE)

FLOW IN GPD:	0.1 GPD PER SF
NUMBER OF UNITS:	22,900 SF
TOTAL FLOW IN GPD:	2,900 GPD

WATER & SEWER DATA CHART (FORD OFFICE)

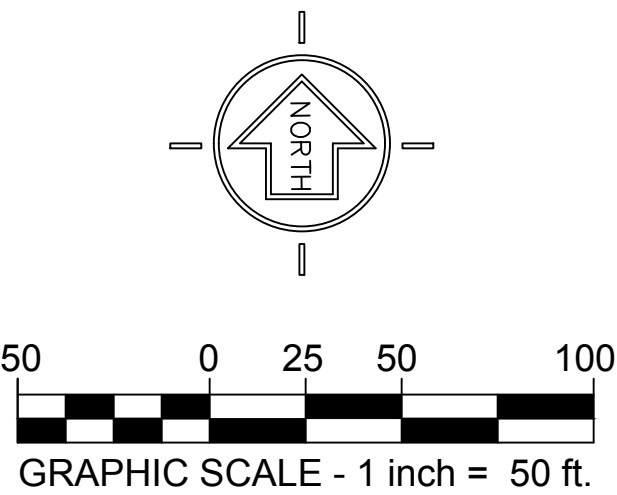
FLOW IN GPD:	0.1 GPD PER SF
NUMBER OF UNITS:	36,580
TOTAL FLOW IN GPD:	3,658 GPD

STREAM BUFFER NOTE:
THERE SHALL BE NO MOWING, CLEARING, GRADING, CONSTRUCTION, STORAGE, OR DISTURBANCE OF VEGETATION EXCEPT AS PERMITTED BY THE CITY ENGINEER, OR HIS DESIGNEE.



OFFSITE HYDRANT

COF 6612



FAMILY LEGACY FORD OFFICE BUILDING

DEVELOPMENT PLAN
BEING PARCELS 73.00 & 74.01 ON TAX MAP 53
FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

ISSUANCE/REVISION NOTES:
- PLAN DATE: OCTOBER 12, 2017

- A NONE
- B NONE
- C NONE
- D NONE

UTILITY PLAN

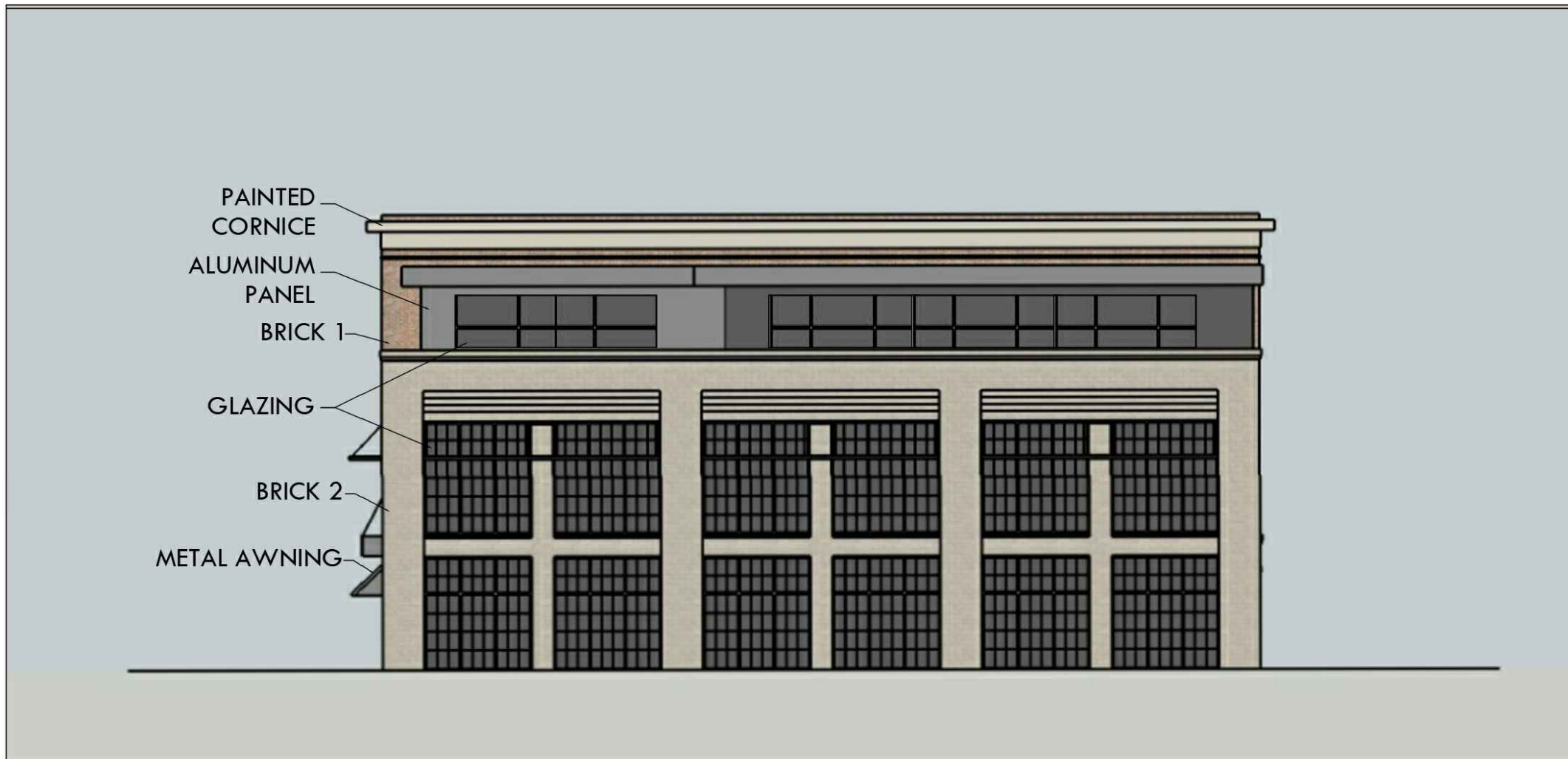
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LSC 17021



1 FRONT ELEVATION
N.T.S.

4 LEFT ELEVATION
N.T.S.



2 REAR ELEVATION
N.T.S.

3 RIGHT ELEVATION
N.T.S.

PROPOSED ARCHITECTURE LOT 1



PROPOSED ARCHITECTURE LOT 2 SUBMITTED WITH SITE PLAN COF# 6574



ISSUED: 01.08.2018

Revision Date

Δ 02.01.2018

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Δ

Δ

ARCHITECTURE

SHEET

A1.0

COF # 6612