

CERTIFICATE OF APPROVAL OF SUBDIVISION NAME, STREET NAMES, AND ADDRESSING

Subdivision name and street names approved by the Williamson County Emergency Management Agency.

Williamson County Emergency Management Agency

Date

City of Franklin

Date

CERTIFICATE OF OWNERSHIP

I (we) hereby certify that I am (we are) the owner(s) of the property shown hereon as of record in Book 6207, Page 653, 651, 649, 647, 645, R.O.W.C., Tennessee, and adopt the plan of subdivision of the property as shown hereon and dedicate all public ways and easements as noted. No lot(s) as shown hereon shall again be subdivided, resubdivided, altered, or changed so as to produce less area than is hereby established until otherwise approved by the Franklin Municipal Planning Commission, and under no condition shall such lot(s) be made to produce less area than is prescribed by the restrictive covenants as of record in Book _____ Page _____ R.O.W.C., Tennessee, running with the title to the property. I (we) further certify that there are no liens on this property, except as follows: Book _____ Page _____ R.O.W.C.

Owner E. Ray Morris

Date

CERTIFICATE OF APPROVAL OF WATER AND SEWER SYSTEMS

I hereby certify that:
(1) the water and sewer systems designated in Resubdivision of Lot 2 Revision Three of The Carothers Development Property has been installed in accordance with City Specifications, or
(2) a performance agreement and surety in the amount of \$ _____ for the water system and \$ _____ for the sewer system has been posted with the City of Franklin, Tennessee, to assure completion of such system.
Director Water (Sewer Management Department)
City of Franklin, Tennessee

Date

CERTIFICATE OF APPROVAL OF STREETS AND DRAINAGE AND SIDEWALKS

I hereby certify that:
(1) the streets, drainage, and sidewalks designated in Resubdivision of Lot 2 Revision Three of The Carothers Development Property has been installed in accordance with City Specifications, or
(2) a performance agreement and surety in the amount of \$ _____ for streets, \$ _____ for drainage, and \$ _____ for sidewalks has been posted with the City of Franklin, Tennessee, to assure completion of such improvements.
Director, Streets Department
City of Franklin, Tennessee

Date

MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION

Middle Tennessee Electric Membership Corporation (MTEMC) will provide electric service to the subject property according to the normal operating practices of MTEMC as defined in the rules and regulations, bylaws, policy bulletins and operational orders of MTEMC and as approved by the Tennessee Public Service Commission and the Tennessee Public Service Commission's Rules and Regulations. The MTEMC website at www.mtemc.com (collectively the "Requirements"). No electric service will be provided until MTEMC's Requirements have been met and approved in writing by an authorized representative of MTEMC. Any approval is, at all times, contingent upon continuing compliance with MTEMC's Requirements.
Date _____ Middle Tennessee Electric Membership Corporation

CERTIFICATE OF APPROVAL OF MILLCROFTON WATER SYSTEMS

I hereby certify that:
(1) the water system designated in Resubdivision of Lot 2 Revision Three of The Carothers Development Property has been installed in accordance with City Specifications, or
(2) a performance agreement and surety in the amount of \$ _____ for the water system and \$ _____ for the sewer system has been posted with the City of Franklin, Tennessee, to assure completion of such system.
Milcrofton Utility District

Date

CERTIFICATE OF APPROVAL OF RECORDING

Approved by the Franklin Municipal Planning Commission, Franklin, Williamson County, Tennessee, with the exception of such conditions, if any, as are noted in the Planning Commission minutes for the _____ day of _____, 20____, and this plat has been approved for recording in the Register's Office of Williamson County, Tennessee.
Secretary
Franklin Municipal Planning Commission

Date

GRAPHIC SCALE

0' 20' 40' 80'

Legend

Existing Iron Rod
Water Valve
Storm Catchbasin
Storm Manhole
Sewer Manhole
Street Address

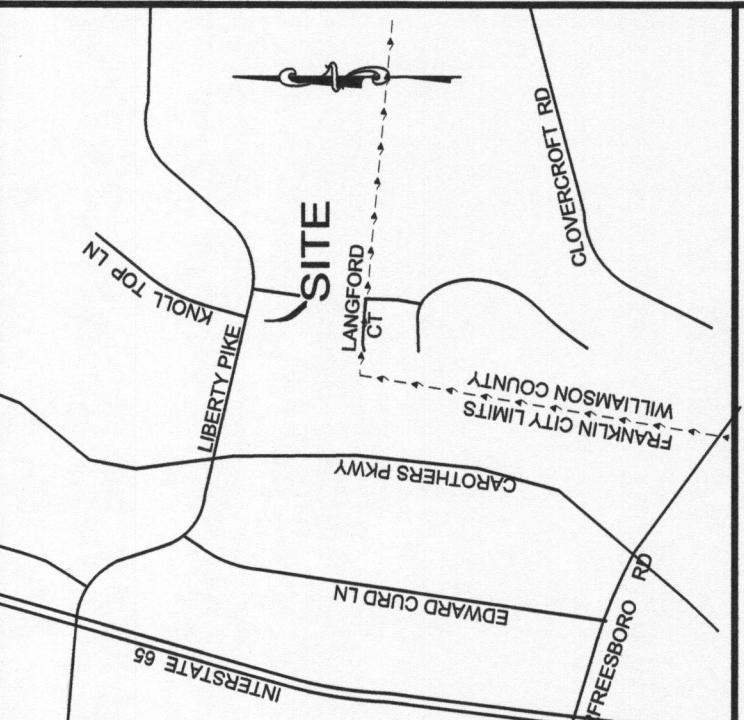
Legend (cont.)

Water Valve
Storm Catchbasin
Storm Manhole
Sewer Manhole
Street Address

Certificate of Survey

I (we) hereby certify that the subdivision plat as shown hereon is correct and that all of the monuments shown hereon have been placed as indicated. This subdivision plat correctly represents a survey made under my supervision on the 7th day of July, 2016.
Joey C. Wilson, II, P.E., RLS Tennessee RLS No. 20869
Wilson & Associates, P.C.
Engineering/Surveying/Environmental
108 Beasley Drive, Franklin, TN 37064
Office: 615.794.2275 FAX 615.794.2176
jwilson@wilsonpc.com

OWNER:
E. RAY MORRIS
P. O. BOX 4175
5660 PEACHTREE IND. BLVD.
NORCROSS, GA. 30071



- PLAT NOTES:**
- The purpose of this plat is to resubdivide Lot 2 of Revision Two of the Carothers Development Property into two lots; and, to record new easements (Sheet 1) and abandon old easements (Sheet 2).
 - Site is located in Franklin, Williamson County, TN, and is identified as Parcel 40.10 on Williamson County Property Map 79, Subject property address is 1217 Liberty Pike.
 - The recording of this plat, voids, vacates, and supercedes the recording of the Lot 2 on the Resubdivision of Revision Two of the Carothers Development Property, of record in Book P62, Page 46, R.O.W.C.T.
 - Subject property is zoned GO. Building setbacks are:
Front and side street 50'
Side yard 25'
Rear yard 40'
 - Bearings are based on TN grid system (NAD 83 Datum, Zone 5301, FIPS Zone 4100).
 - Subject property is not within a flood hazard area as per F.E.M.A. flood insurance rate map no. 47187C0212F, revision date September 29, 2006, community no. 470206, panel no. 0212, Suffix F.
 - Within new developments and for off-site lines constructed as a result of, or to provide service to, the new development, all utilities (including cable, electrical, natural gas, sewer, telephone, and water lines) shall be placed underground.
 - No obstructions or encroachments which impede the flow of stormwater shall be permitted within public drainage easements. The City of Franklin is not responsible for repair or replacement of any encroachments that are damaged or removed in the course of maintenance activity within easements.
 - This surveyor has not physically located the underground utilities. Above-grade and underground utilities shown were taken from visible appearances at the site. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities are in the exact location indicated. Therefore, reliance upon the type, size, and location of utilities shown should be done so with this circumstance considered. Detailed verification of existence, location, and depth should also be made prior to any decision relative thereto is made. Availability and cost of service should be confirmed with the appropriate utility company. In Tennessee it is a requirement, per the "Underground Utility Damage Prevention Act", that anyone who engages in excavation must notify all known underground utility owners no less than three (3) nor more than ten (10) working days prior to the date of their intent to excavate and also to avoid any possible hazard or conflict. Tennessee One Call 1-800-351-1111.
 - Without the benefit of a current and accurate title search, this surveyor is unable to verify the type or location of any existing easements that may or may not exist. Surveyor has no knowledge of any proposed easements.
 - Maintenance of all stormwater management features shall be the responsibility of the property owner(s) or HOA.
 - The 24'-wide access easement across the site has been modified. This plat is abandoning the entire easement and replacing it with the new 24'-wide access easement shown on Sheet 1.

CAROTHERS DEVELOPMENT
PROPERTY SUBDIVISION
FINAL PLAT, REVISION 3
(RESUB OF LOT 2)
1217 LIBERTY PIKE

FINAL SUBDIVISION PLAT			
FRANKLIN - WILLIAMSON COUNTY - TENNESSEE			
TOTAL ACRES	13.655	TOTAL # OF LOTS	2
ACRES NEW RD/ST	0.00	L.F. OF NEW RD/ST	0.00
ACRES OPEN SPACE	0.00	CIVIL DISTRICT	9
DRAWN BY	JAG	CLOSURE ERROR	<1:10,000
SCALE	1"=100'		
		DATE	08/11/17
COF PROJECT # 6510			SHEET 1 OF 2

PLAT NOTES (CONT):

12. The City of Franklin Water Management department has unrestricted access to its domestic water, sanitary sewer, reclaim water lines or system improvements located within its exclusive easements within the development. In the event of landscaping, fencing, concrete or other structures are installed or placed within a City of Franklin easement, the City of Franklin shall have the right to remove such encroachments within the easement as may be necessary for the City of Franklin to repair, maintain or replace its infrastructure which is now or in the future may be located within the easement without obtaining any further permission from the property owner or HOA. The property owner or HOA shall be responsible for repairing and/or replacing any such landscaping, fencing, concrete or other structures removed or disturbed by the City of Franklin in common open space lots and in areas owned by the property owner or HOA at no expense to the City of Franklin. Individual homeowners shall be responsible for structures removed or disturbed by the City of Franklin within an easement on the homeowners' lot at the homeowners' expense.

CERTIFICATE OF APPROVAL OF SUBDIVISION NAME, STREET NAMES, AND ADDRESSING

Subdivision name and street names approved by the Williamson County Emergency Management Agency.

Williamson County Emergency Management Agency

Date

City of Franklin

Date

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Owner

E. Ray Morris

Date

CERTIFICATE OF APPROVAL OF WATER AND SEWER SYSTEMS

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(2) a performance agreement and surety in the amount of \$ _____ for the sewer system has been posted with the City of Franklin, Tennessee to assure completion of such system.

Director, Water Sewer Management Department

City of Franklin, Tennessee

Date

CERTIFICATE OF APPROVAL OF STREETS AND DRAINAGE AND SIDEWALKS

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Director, Streets Department

City of Franklin, Tennessee

Date

MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION

Middle Tennessee Electric Membership Corporation (MTEMC) will provide electric service to the property shown hereon in accordance with the normal operating policies and operational bulletins of MTEMC, and in accordance with the plat approval checklist, tree planting guidelines and other regulations contained on the MTEMC website at www.mtemc.com (collectively the "Requirements"). No electric service will be provided until MTEMC's Requirements are met and applicable fees are paid in full. MTEMC's Requirements are available at www.mtemc.com and shall be read in conjunction with the Requirements of MTEMC. Any failure to comply with the Requirements shall be at all times, contingent upon continuing compliance with MTEMC's Requirements.

Date

Middle Tennessee Electric Membership Corporation

CERTIFICATE OF APPROVAL OF MILCROFTON WATER SYSTEMS

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(1) the water system designated in Resubdivision of Lot 2 Revision Three of The Carothers Development Property has been installed in accordance with City Specifications, or
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Milcrofton Utility District

Date

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Approved by the Franklin Municipal Planning Commission, Franklin, Williamson County, Tennessee, with the exception of such conditions, if any, as are noted in the Remarks section of this plat, and this plat has been approved for recording in the Registrar's Office of Williamson County, Tennessee.

Secretary

Franklin Municipal Planning Commission

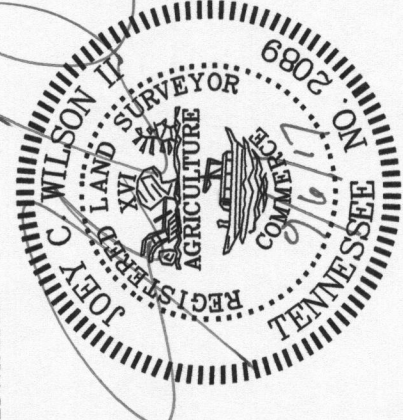
Date



Legend	Legend (cont.)
Existing Iron Rod	Water Valve
Iron Rod	Fire Hydrant
Storm Manhole	Power Pole
Storm Manhole	Sidewalk Pattern
Street Address	Public Utility & Drainage Easmt.
	Public Utility & Access Easmt.
	P.U.D.E.
	P.U.A.E.

Certificate of Survey
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Joy C. Wilson, II, PE, RLS Tennessee RLS No. 2089
Wilson & Associates, P.C.
Engineering/Surveying/Environmental
108 Beasley Drive, Franklin, TN 37064
Office: 615.784.2275 FAX 615.794.2176
jwilson@wilsonpc.com



CERTIFICATE OF APPROVAL OF MALLORY VALLEY UTILITY DISTRICT

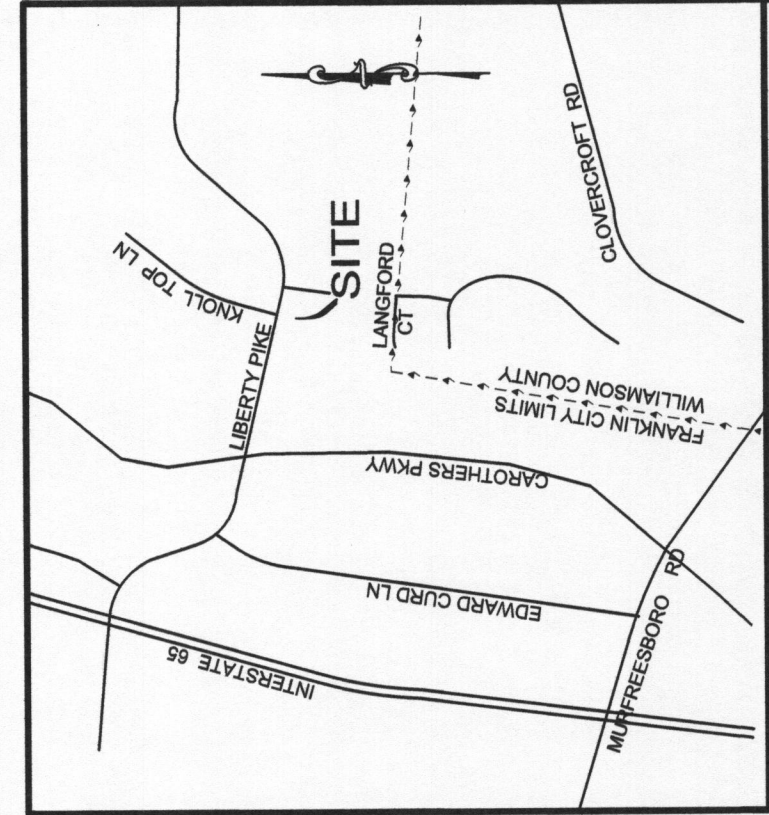
I hereby certify that:

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Mallory Valley Utility District

Date

OWNER:
E. RAY MORRIS
P. O. BOX 4175
5660 PEACHTREE IND. BLVD.
NORCROSS, GA. 30071



VICINITY MAP
NOT TO SCALE

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SCALE =	1"=100'	DATE =	08/11/17
COF PROJECT # 6510			
SHEET 2 OF 2			



PLAT NOTES (CONT):

- The City of Franklin Water Management department has unrestricted access to its domestic water, sanitary sewer, reclaim water lines or system improvements located within its exclusive easements within the development. In the event of landscaping, fencing, concrete or other structures are installed or placed within a City of Franklin easement, the City of Franklin shall have the right to remove such encroachments within the easement as may be necessary for the City of Franklin to repair, maintain or replace its infrastructure which is now or in the future may be located within the easement without obtaining any further permission from the property owner or HOA. The property owner or HOA shall be responsible for repairing and/or replacing any such landscaping, fencing, concrete or other structures removed or disturbed by the City of Franklin in common open space lots and in areas owned by the property owner or HOA at no expense to the City of Franklin. Individual homeowners shall be responsible for structures removed or disturbed by the City of Franklin within an easement on the homeowners' lot at the homeowners' expense.