

# McDonald's Corporation

1704 Galleria Blvd  
Galleria Commercial Complex

Lot 32 Development Plan

Tax Map 053 Parcel 127.02

Site Code 041-0369

DEVELOPER/OWNER: MCDONALD'S CORPORATION  
P.O. BOX 182571  
COLUMBUS, OH 43218  
(615) 517-0877

SURVEYOR: MARTIN ENGINEERING AND SURVEYING  
5226 MAIN STREET, SUITE C-3  
SPRING HILL, TN 37147  
(615) 812-2147  
DOUG KOONCE, RLS  
doug@martinengrg.com

ENGINEER: MARTIN CONSULTING & ENGINEERING, LLC.  
5226 MAIN STREET, SUITE 3  
SPRING HILL, TN 37174  
615-812-2147  
GARY MARTIN, P.E.  
gary@martinengrg.com

LANDSCAPE ARCHITECT: HEIBERT BALL LAND DESIGN  
1894 GENERAL GEORGE PATTON DRIVE  
SUITE 400  
FRANKLIN, TN 37067  
615-376-2438  
CONNOR BALL, RLA  
connor@hblanddesign.com



VICINITY MAP  
N.T.S.

## Revision #2 to Coolsprings Galleria Complex PUD Subdivision Development Plan

COF#6514

MCDONALD'S CORPORATION IS REQUESTING A DEVELOPMENT PLAN TO ALLOW FOR A REDUCTION IN THE REQUIRED PARKING RATIO FOR THE SITE FROM 0.67 TO 0.53 PER SEAT. THIS REDUCTION WILL ALLOW FOR THE CONSTRUCTION OF THE PROPOSED PLAYPLACE AT THE REAR OF THE BUILDING (SIDE FACING MOORES LANE IS CONSIDERED THE FRONT) WHICH WILL INCLUDE THE ADDITION OF 16 SEATS.

### SHEET SCHEDULE

C-0.0	COVER SHEET
C-1.0	EXISTING CONDITIONS PLAN
C-2.0	SITE PLAN
C-2.1	FIRE TRUCK MOVEMENT PLAN
C-3.0	GRADING PLAN
C-3.1	INITIAL EROSION CONTROL PLAN
C-3.2	INTERIM EROSION CONTROL PLAN
C-3.3	FINAL EROSION CONTROL PLAN
C-4.0	UTILITY PLAN
C-5.0	DETAIL SHEET
C-6.0	DEMOLITION PLAN
DT-1.0	DRIVE THRU LAYOUT
SD-2	DETAIL SHEET
SD-3	DETAIL SHEET
SD-4	DETAIL SHEET
SD-6	DETAIL SHEET

PURPOSE NOTE:  
MCDONALD'S CORPORATION IS REQUESTING A REVISION (#2) TO THE COOL SPRINGS GALLERIA COMPLEX PUD SUBDIVISION DEVELOPMENT PLAN ALONG WITH A MODIFICATION OF STANDARDS REQUEST FOR A REDUCTION IN THE PARKING REQUIREMENT AS REQUIRED BY THE CITY OF FRANKLIN ZONING ORDINANCE.

### NOTE:

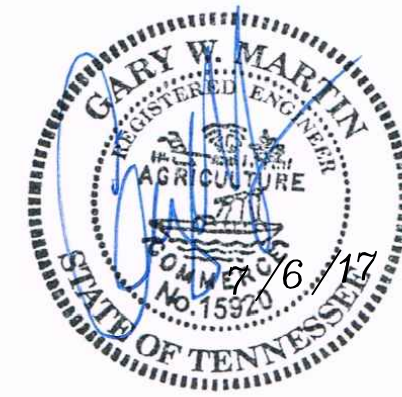
TOPOGRAPHIC BOUNDARY SURVEY, INCLUDING PROPERTY LINES, LEGAL DESCRIPTION, EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS WAS PROVIDED BY THE FOLLOWING COMPANY, AS A CONTRACTOR TO THE SELLER/OWNER:

BOUNDARY: MARTIN ENGINEERING AND SURVEYING  
5226 MAIN STREET, SUITE C-3  
SPRING HILL, TN 37147  
(615) 812-2147  
DOUG KOONCE, RLS

TOPOGRAPHY: MARTIN ENGINEERING AND SURVEYING  
5226 MAIN STREET, SUITE C-3  
SPRING HILL, TN 37147  
(615) 812-2147  
DOUG KOONCE, RLS

THIS PROPERTY IS LOCATED WITHIN AN UNSHADED SPECIAL FLOOD HAZARD AREA ZONE X AS SHOWN ON EFFECTIVE F.E.M.A. FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 47113C0114B, DATED MAY 18, 2009. A PORTION OF THIS PROPERTY IS LOCATED WITHIN A SHADED AREA ZONE A WHERE NO BASE FLOOD ELEVATION HAS BEEN DETERMINED AS SHOWN ON EFFECTIVE F.E.M.A. FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 47113C0114B, DATED MAY 18, 2009.

GENERAL NOTES		BY	ISSUE REF	DESCRIPTION	DATE	REV
1. MCDONALD'S ROAD SIGN AND BASE ARE BY THE SIGN CONTRACTOR. CONDUIT AND WIRING ARE BY THE GENERAL CONTRACTOR.						
2. BASES, ANCHOR BOLTS, CONDUIT, AND WIRING FOR ALL OTHER SIGNS ARE BY THE GENERAL CONTRACTOR.						
3. 3/4" EMPTY CONDUIT TO LOCATIONS SHOWN AT THE LOT PERIMETER FOR LOT LIGHTING IS BY THE GENERAL CONTRACTOR. LIGHTING FIXTURES, BASES, POLES, CONDUIT, AND WIRING ARE BY THE OWNER/OPERATOR. DIMENSION OF LIGHT POLE BASES BEHIND CURB AT 2'.						
4. BASES FOR FLAGPOLES ARE BY THE GENERAL CONTRACTOR. ANCHOR BOLTS ARE BY THE FLAGPOLE SUPPLIER.						
5. PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL INSTALLATION.						
6. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE POINT OF SERVICE CONNECTION OF EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING. CONSTRUCTION SHALL NOT START UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED FROM THE UTILITY COMPANY. A MINIMUM OF 48 HOURS IS REQUIRED FOR NOTIFICATION.						
7. ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GROUND BREAK.						
8. FINISH WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT.						
9. ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF ALL WALKS AND CURBS. FINISH GRADING, LANDSCAPING, AND SPRINKLER SYSTEMS ARE BY THE OWNER/OPERATOR.						
10. LOT LIGHTING CONCRETE FOOTINGS TO CONFORM WITH THE SOILS REPORT RECOMMENDATIONS FOR THIS PARTICULAR SITE.						
11. ALL PHASES OF SITE WORK SHALL MEET OR EXCEED MCDONALD'S SPECIFICATIONS.						
12. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.						
TYPE OF BUILDING : EXISTING BUILDING						
PAVING SPECIFICATION -----						
NOTE: MCDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF MCDONALD'S, OTHERWISE, D.C. WILL BE CHARGED.						
LOT LIGHTING RECOMMENDATION						
PARKING INFORMATION						
TOTAL SPACES	THIRTY-FOUR SPACES 9'-0" X 18'-0" @ 60 *					
42	SIX SPACES 9'-0" X 18'-0" @ 90 *					
	TWO (H) SPACES 8'-0" X 18'-0" @ 60 *					
	----- SPACES 9'-0" X 18'-0" @ 60 *					
UTILITY INFORMATION						
	SIZE TYPE LOCATION					
SANITARY SEWER	- GRAVITY ON SITE					
WATER	- - AT REAR OF PROPERTY					
STORM SEWER	- - ON SITE					
ELECTRIC	- - AT REAR OF PROPERTY					
GAS	- - -					
SURVEY INFORMATION						
PREPARED BY:	MARTIN ENGINEERING AND SURVEYING 5226 MAIN STREET, SUITE C-3 SPRING HILL, TN 37147					
TELEPHONE:	(615) 812-2147	DATE:	-			
FAX:		REV:	-			
LEGEND						
-SAN- SAN- SAN- WATER W- W- STORM SEWER ELECTRIC UGE- UGE- UGE- GAS G- G- G- TELEPHONE UGT- UGT- UGT- LOT LIGHT EXISTING ELEVATION 76.5 PROPOSED ELEVATION 77.0						
PLAN SCALE: 1" = 20'						
STREET ADDRESS 1704 GALLERIA BLVD						
CITY FRANKLIN	STATE TENNESSEE	STATUS PRELIMINARY	DATE 08-27-15	BY KAC		
COUNTY WILLIAMSON		PLAN CHECKED				
REGIONAL DWG. NO 49394	LOCATION CODE NUMBER 041-0369	AS-BUILT				
COVER SHEET C 0.0						



**McDonald's USA, LLC**  
These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without the written consent of McDonald's USA, LLC. The contractor shall be responsible for obtaining all necessary permits and approvals for this project. The contractor shall be responsible for obtaining all necessary permits and approvals for this project. The contractor shall be responsible for obtaining all necessary permits and approvals for this project.

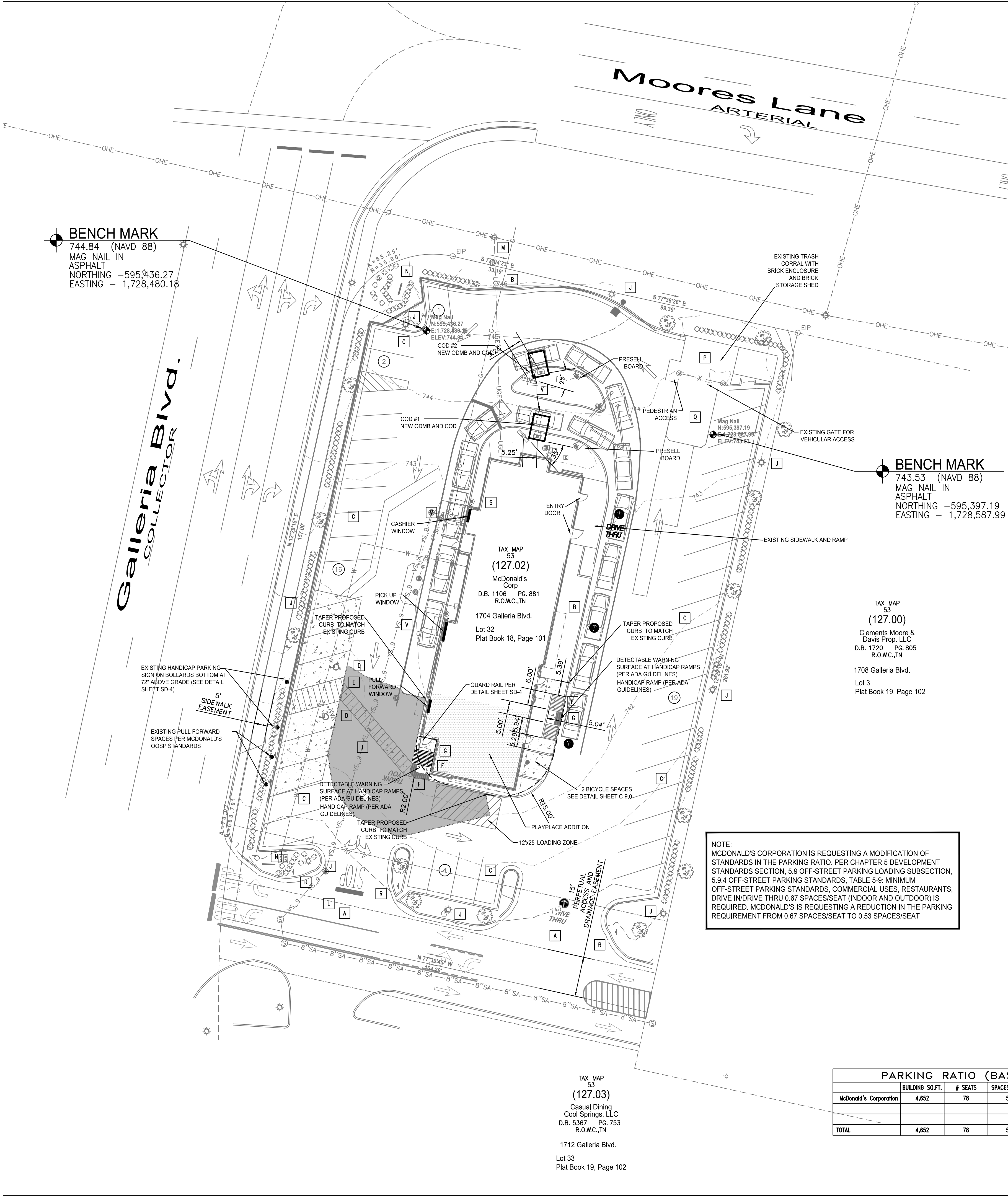
ADDRESS: 250 W. 96th STREET, SUITE 500, INDIANAPOLIS, IN 46260





COF #6514





SITE PLAN LEGEND		
A	EXISTING ACCESS DRIVE	
B	6"x18" STANDARD CURB PER MCDONALD'S SPECIFICATIONS	
C	9'x18' 60" AND 90" STANDARD PARKING SPACE MARKED WITH 4" WIDE WHITE PAINT STRIPE	
D	8'x18' 60" ACCESSIBLE PARKING SPACE WITH BLUE PAINTED GRAPHIC & SIGN AND 4" BLUE PAINT STRIPE	
E	8'x18' 60" ACCESSIBLE AISLE MARKED WITH 4" BLUE PAINT STRIPE	
F	SIDEWALK RAMP WITH NON-SLIP SURFACE (12:1 MAX SLOPE) PER ADA STANDARDS	
G	4" THICK FIBER REINFORCED CONCRETE SIDEWALK WITH MONOLITHIC CURB	
H	4" THICK FIBER REINFORCED CONCRETE SIDEWALK	
I	BITUMINOUS PAVEMENT 165#/SYD (1 1/2") BITUMINOUS SURFACE (#12) OVER 275#/SYD (2 3/4") BITUMINOUS BASE (#8) OVER 6" COMPACTED AGGREGATE BASE (#53)	
J	EXISTING SITE LIGHTING	
K	NOT USED	
L	12" WIDE x 10' LONG WHITE PAINTED STOP BAR	
M	POLE MOUNTED TRANSFORMER	
N	MCDONALD'S MONUMENT SIGN	
O	PAVEMENT MARKINGS PER MCDONALD'S STANDARDS	
P	EXISTING TRASH CORRAL	
Q	EXISTING CONCRETE DUMPSTER PAD	
R	DIRECTIONAL SIGN	
S	EXISTING PIPE BOLLARD	
T	HOSE BIBB	
U	NOT USED	
V	CONCRETE 10'-0" WIDE x 5" THICK 3,000 PSI WITH INTERGRAL LOOP DETECTOR AT CUSTOMER ORDER DISPLAY. SEE ELECTRICAL PLANS FOR DETECTOR SPECIFICATIONS.	

NOTE:  
1) REQUIREMENTS THAT ACCESSIBLE ROUTES NOT HAVE CROSS SLOPES OVER 2.0% OR RUNNING SLOPES GREATER THAN 5.0% WITH NO OFFSETS GREATER THAN 1/4".  
2) USE 7.5% AS MAXIMUM TARGET SLOPE FOR CURB RAMPS.  
3) USE MAXIMUM TARGET SLOPE OF 1.8% FOR HANDICAP PARKING PAD.  
4) GRADES TO REMAIN CONSTANT BETWEEN SPOT ELEVATIONS GIVEN FOR ACCESSIBLE SURFACES.

SITE DATA

PROJECT NAME: MCDONALD'S REMODEL  
COF #: 6514  
SUBDIVISION: GALLERIA COMMERCIAL COMPLEX  
LOT NUMBER: 32  
ADDRESS: 1704 GALLERIA BLVD  
CITY: FRANKLIN  
COUNTY: WILLIAMSON  
STATE: TENNESSEE  
CIVIL DISTRICT: 08  
EXISTING ZONING AND CHARACTER AREA OVERLAY : GENERAL COMMERCIAL (GC) MEWEN (MECO 4)  
OTHER APPLICABLE OVERLAYS: TRADITIONAL OR CONVENTIONAL  
DEVELOPMENT STANDARD: CONVENTIONAL  
APPLICABLE DEVELOPMENT STANDARD: CONVENTIONAL DEVELOPMENT STANDARD  
ACREAGE OF SITE: 1.00 ACRES EXISTING  
SQUARE FOOTAGE OF SITE: 43,619.89 SQFT EXISTING  
MINIMUM REQUIRED SETBACK LINES:  
YARD FRONTING ON ANY STREET: 30'  
SIDE YARD: 15'  
REAR YARD: 25'  
OWNER: MCDONALD'S CORPORATION (41-0369)  
ADDRESS: P.O.BOX 182571 COLUMBUS, OH 43215-2571  
PHONE NO.: 317-849-7950 (O), 615-517-0877 (C)  
FAX NO.: 317-596-6313  
E-MAIL ADDRESS: armen.parker@us.mcd.com  
CONTACT NAME: ARMEN PARKER

APPLICANT: MARTIN CONSULTING & ENGINEERING, LLC  
ADDRESS: 5226 MAIN STREET SUITE 3 SPRING HILL, TN 37147  
PHONE NO.: 615-812-2147  
FAX NO.: N/A  
E-MAIL ADDRESS: gary@martinegrg.com  
CONTACT NAME: GARY MARTIN

BUILDING SQUARE FOOTAGE: 4,652 SQFT  
BUILDING HEIGHT: 16.4'  
LANDSCAPE SURFACE RATIO: 0.15 EXISTING 0.15 PROPOSED  
MINIMUM LANDSCAPE SURFACE RATIO: 0.30  
INCOMPATIBLE-USE BUFFER REQUIRED: NO  
MAXIMUM FLOOR AREA RATIO: 0.50  
FLOOR AREA RATIO OF SITE: 0.075 EXISTING, 0.106 PROPOSED  
MINIMUM PARKING REQUIREMENT: 52 SPACES  
MAXIMUM PARKING LIMIT: 120% OF MINIMUM 80 SPACES  
PARKING PROVIDED: 42 SPACES  
EXISTING PARKING: 42 SPACES  
PROPOSED PARKING: 42 SPACES

THIS PROPERTY IS LOCATED IN AN UNSHADED AREA ZONE X AS SHOWN ON F.E.M.A. FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 47187C0208 F, DATED SEPTEMBER 29, 2006.

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LOT LIGHTING RECOMMENDATION				
PARKING INFORMATION				
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42	SIX	SPACES 9'-0" X 18'-0" @ 90'		
	TWO (H)	SPACES 8'-0" X 18'-0" @ 60'		
	-----	SPACES 9'-0" X 18'-0" @ 60'		
UTILITY INFORMATION				
SIZE	TYPE	LOCATION		
SANITARY SEWER	-	GRAVITY ON SITE		
WATER	-	AT REAR OF PROPERTY		
STORM SEWER	-	ON SITE		
ELECTRIC	-	AT REAR OF PROPERTY		
GAS	-	-		
SURVEY INFORMATION				
PREPARED BY:	MARTIN ENGINEERING AND SURVEYING 5226 MAIN STREET, SUITE C-3 SPRING HILL, TN 37147			
TELEPHONE:	(615) 812-2147	DATE: -		
FAX:	-	REV: -		
LEGEND				
SANITARY SEWER "SAN" WATER "W" STORM SEWER "UG" GAS "G" TELEPHONE "UGT" LOT LIGHT "L" EXISTING ELEVATION "76.5" PROPOSED ELEVATION "77.0"				
PLAN SCALE: 1" = 20'				
STREET ADDRESS 1704 GALLERIA BLVD				
CITY FRANKLIN	STATE TENNESSEE	STATUS PRELIMINARY	DATE 08-27-15	BY KAC
COUNTY WILLIAMSON		PLAN CHECKED		
REGIONAL DWG. NO. 49394		LOCATION CODE NUMBER 041-0369	AS-BUILT	
SIGNED			SIGNED	
REGIONAL MGR.			REGIONAL MGR.	
CONST. MGR.			CONST. MGR.	
OPERATIONS DEPT.			OPERATIONS DEPT.	
REAL ESTATE DEPT.			REAL ESTATE DEPT.	
CONTRACTOR			CONTRACTOR	
OWNER			OWNER	

McDonald's USA, LLC

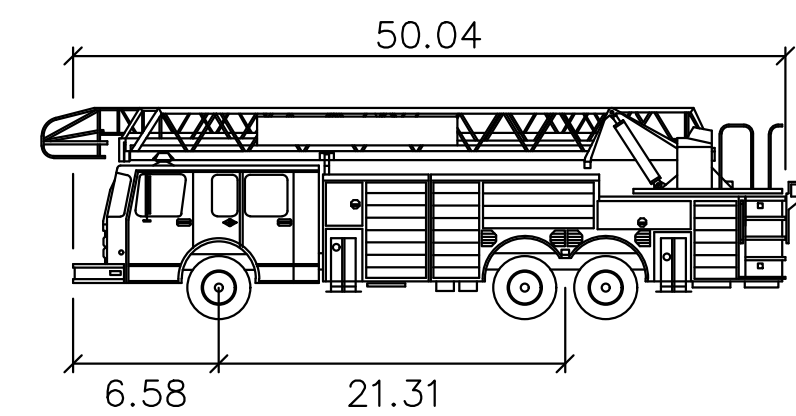
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ADDRESS 250 W. 96TH STREET, SUITE 500, INDIANAPOLIS, IN 46260

COF #6514

SITE PLAN  
C 2.0



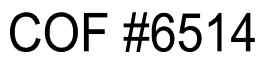


Fire Dept Tower 2	
	feet
Width	: 8.33
Track	: 8.00
Lock to Lock Time	: 6.0
Steering Angle	: 38.0
Number of Front Axles	: 1
Front Track Width	: 8.00
Wheels on Each Front Axle	: 2
Number of Rear Axles	: 2
Rear Track Width	: 8
Wheel Base	: 21.316
Rear Axle Spacing	: 4.417
Body Length	: 50.0417
Width	: 8.33
Rear Overhang	: 22.1424
Body Style	: Fire Truck
Turning Radius Wall to Wall	: 42
Design Speed	: 5mph

COF #6514

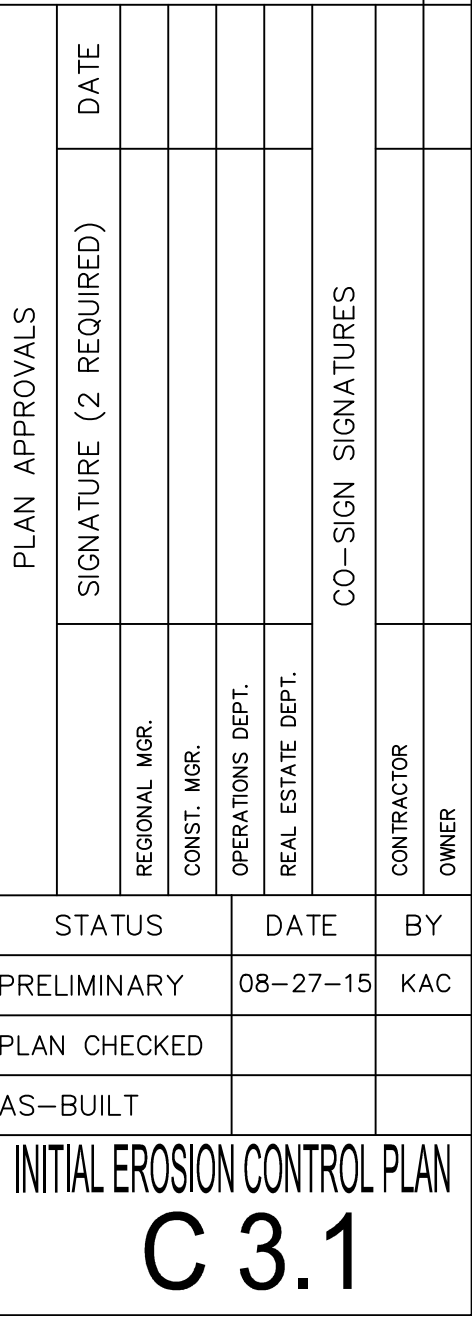
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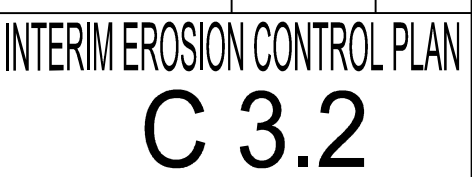


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LOT LIGHTING RECOMMENDATION									
PARKING INFORMATION									
TOTAL SPACES  42		THIRTY-FOUR	SPACES	9'-0"	X	18'-0"	@	60 *	
		SIX	SPACES	9'-0"	X	18'-0"	@	90 *	
		TWO (H)	SPACES	8'-0"	X	18'-0"	@	60 *	
		-----	SPACES	9'-0"	X	18'-0"	@	60 *	
UTILITY INFORMATION									
		SIZE	TYPE	LOCATION					
SANITARY SEWER		-	GRAVITY	ON SITE					
WATER		-	-	AT REAR OF PROPERTY					
STORM SEWER		-	-	ON SITE					
ELECTRIC		-	-	AT REAR OF PROPERTY					
GAS		-	-	-					
SURVEY INFORMATION									
PREPARED BY:		MARTIN ENGINEERING AND SURVEYING 5226 MAIN STREET, SUITE C-3 SPRING HILL, TN 37147							
TELEPHONE:		(615) 812-2147		DATE:		-			
FAX:				REV:		-			
LEGEND									
--SAN-- --SAN-- --SAN-- --SAN-- --W-- --W-- --W-- --STORM SEWER-- --ELECTRIC-- --UGE-- --UGE-- --UGE--		GAS --G-- --G-- --G-- TELEPHONE --UGT-- --UGT-- --UGT-- LOT LIGHT EXISTING ELEVATION 76.5 PROPOSED ELEVATION 77.0							
PLAN SCALE: 1" = 20'									
STREET ADDRESS 1704 GALLERIA BLVD									
CITY		STATE		STATUS		DATE		BY	
FRANKLIN		TENNESSEE		PRELIMINARY		08-27-15		KAC	
COUNTY WILLIAMSON						PLAN CHECKED			
REGIONAL DWG. NO						AS-BUILT			
49394		LOCATION CODE NUMBER		041-0369		GRADING PLAN C 3.0			













## LEGEND

GENERAL EROSION NOTES

A. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OF TENNESSEE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.

B. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING EQUIPMENT CLEANING, ETC.) SHALL BE DISPOSED OF IN A MANNER THAT PREVENTS CONTACT BETWEEN THESE MATERIALS AND STORM WATER THAT IS DISCHARGED FROM THE SITE. C. OF OTHER SITE WASTES SUCH AS DISCARDED BUILDING MATERIALS, LITTER, AND SANITARY WASTES THAT MAY CAUSE IMPACTS TO WATER QUALITY IS ALSO REQUIRED BY THE GRANT PERMITTEE.

C. MAINTAIN ON THE SITE OR HAVE READILY AVAILABLE SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.

D. DUST CONTROL ON THE SITE SHALL BE MINIMIZED BY SPRAYING WATER ON DRY AREAS OF THE SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.

E. NO RUBBISH, TRASH, GARBAGE, OR OTHER SUCH MATERIALS SHALL BE DISCHARGED INTO DRAINAGE DITCHES OR WATERS OF THE STATE.

F. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE.

G. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS STOPPED FOR AT LEAST 15 DAYS, SHALL BE TEMPORARILY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.

H. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.

I. TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.

J. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.

K. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.

L. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DISPOSED OF WITHIN 30 DAYS AFTER FINAL STABILIZATION. FINAL STABILIZATION HAS OCCURRED WHEN ALL SOIL DISTURBING ACTIVITIES ARE COMPLETED AND A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 70% OF THE COVER FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES HAS BEEN EMPLOYED.

## MAINTENANCE

ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST TWICE EVERY SEVEN CALENDAR DAYS AT LEAST 72 HOURS APART. IT SHALL ALSO BE INSPECTED WITHIN 24 HOURS OF THE END OF A RAINFALL EVENT, AND SHOULD BE CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING WITHIN 7 CALENDAR DAYS:

1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE FIXED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR SHALL BE REPLACED IF THEY SHOW SIGNS OF DETRIORATION.
2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED AND RESEEDED AS NEEDED.
3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-THIRD TO ONE-HALF THE HEIGHT OF THE SILT FENCE.
4. STEEP SLOPES (35% GRADE OR GREATER) SHALL BE TEMPORARILY STABILIZED NOT LATER THAN 7 DAYS AFTER CONSTRUCTION ACTIVITY ON THE SLOPE TEMPORARILY OR PERMANENTLY CEASED.

NOTE:  
CONTRACTOR TO PROVIDE AN AREA FOR CONCRETE WASH DOWN AND EQUIPMENT FUELING IN  
ACCORDANCE WITH CITY OF FRANKLIN'S STANDARDS. CONTRACTOR TO COORDINATE EXACT  
LOCATION WITH CITY OF FRANKLIN DURING PRECONSTRUCTION MEETING.

NOTE:  
ALL EROSION CONTROL MEASURES TO BE REMOVED PRIOR TO AS-BUILT APPROVAL

GENERAL NOTES

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2. BASES, ANCHOR BOLTS, CONDUIT, AND WIRING FOR ALL OTHER SIGNS ARE BY THE GENERAL CONTRACTOR.
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4. BASES FOR FLAGPOLES ARE BY THE GENERAL CONTRACTOR. ANCHOR BOLTS ARE BY THE FLAGPOLE SUPPLIER.
5. PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL INSTALLATION.
6. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE POINT OF SERVICE CONNECTION OF EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING. CONSTRUCTION SHALL NOT START UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED FROM THE UTILITY COMPANY. A MINIMUM OF 48 HOURS IS REQUIRED FOR NOTIFICATION.
7. ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GROUNDREAK.
8. FINISH WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVENT.
9. ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF ALL WALKS AND CURBS. FINISH GRADING, LANDSCAPING, AND SPRINKLER SYSTEMS ARE BY THE OWNER/OPERATOR.
10. LOT LIGHTING CONCRETE FOOTINGS TO CONFORM WITH THE SOLIS REPORT RECOMMENDATIONS FOR THIS PARTICULAR SITE.
11. ALL PHASES OF SITE WORK SHALL MEET OR EXCEED McDONALD'S SPECIFICATIONS.
12. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.

TYPE OF BUILDING :

## PAVING SPECIFICATION

NOTE: McDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF McDONALD'S, OTHERWISE, G.C. WILL BE CHARGED.

### LOT LIGHTING RECOMMENDATION

## PARKING INFORMATION

TOTAL SPACES  42	THIRTY-FOUR	SPACES	9'-0" X 18'-0"	⊗	60 °
	SIX	SPACES	9'-0" X 18'-0"	⊗	90 °
	TWO (H)	SPACES	8'-0" X 18'-0"	⊗	60 °
	-----	SPACES	9'-0" X 18'-0"	⊗	60 °

### UTILITY INFORMATION

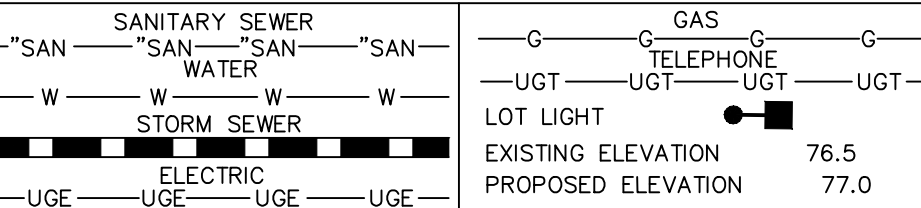
	SIZE	TYPE	LOCATION
SANITARY SEWER	—	GRAVITY	ON SITE
WATER	—	—	AT REAR OF PROPERTY
STORM SEWER	—	—	ON SITE
ELECTRIC	—	—	AT REAR OF PROPERTY
GAS	—	—	

## SURVEY INFORMATION

PREPARED BY: MARTIN ENGINEERING AND SURVEYING  
5226 MAIN STREET, SUITE C-3  
SPRING HILL, TN 37147

TELEPHONE: (615) 812-2147  
FAX: DATE: RE:

### LEGEND



PLAN SCALE: 1" = 20'

STREET ADDRESS  
4 GALLERIA BLVD

CITY	STATE
FRANKLIN	TENNESSEE

COUNTY  
**WILLIAMSON**

REGIONAL DWG. NO.

LOCATION CODE NUMBER

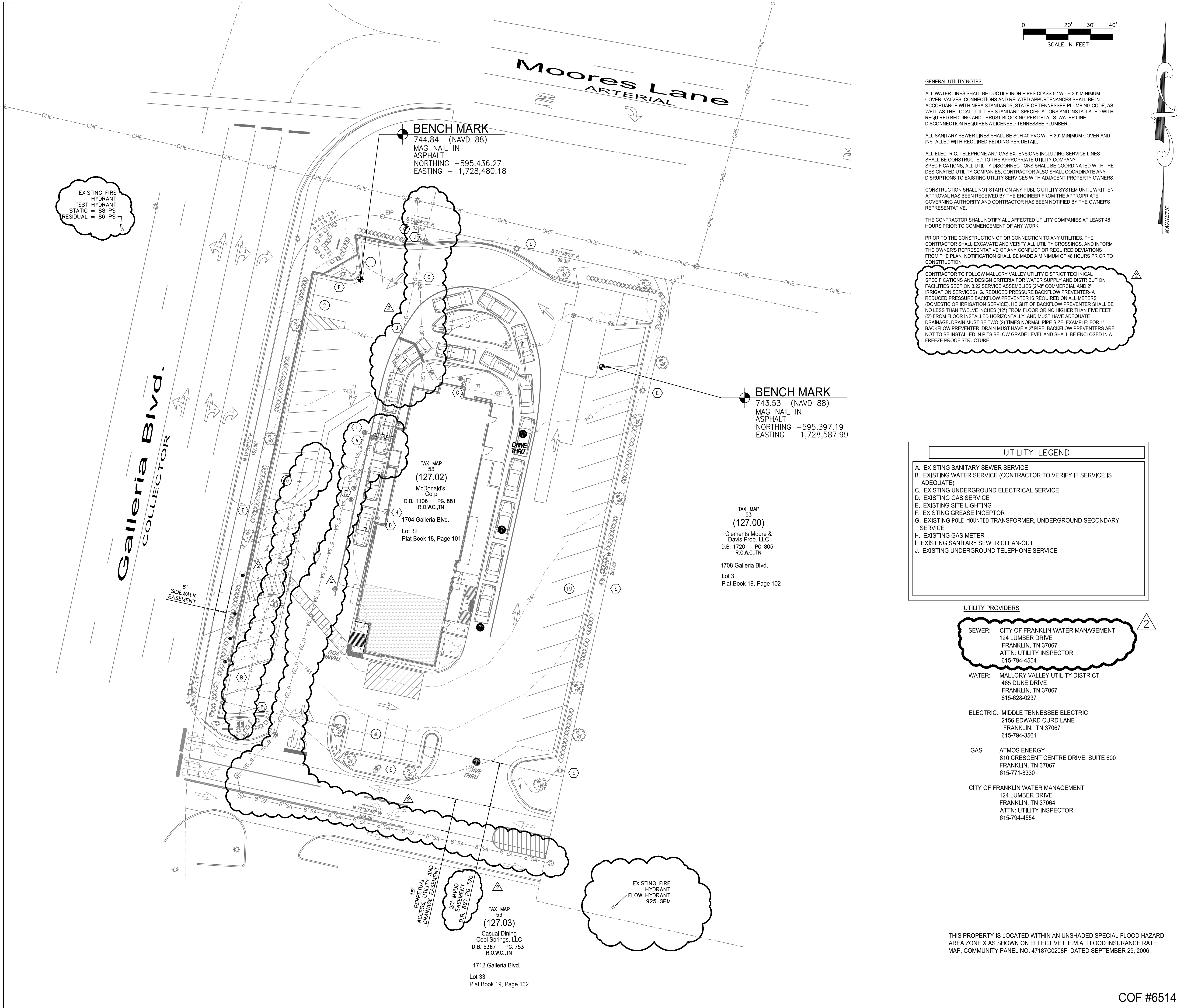
**McDonald's USA, LLC**

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ADDRESS	250 W. 96th STREET, SUITE 500, INDIANAPOLIS, IN 46260
---------	-------------------------------------------------------

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PLAN APPROVALS		SIGNATURE (2 REQUIRED)		DATE									
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CONST. MGR.													
OPERATIONS DEPT.													
REAL ESTATE DEPT.													
CO-SIGN SIGNATURES													
CONTRACTOR													
OWNER													
STATUS		DATE		BY									
PRELIMINARY		08-27-15		KAC									
PLAN CHECKED													
AS-BUILT													
FINAL EROSION CONTROL PLAN													
C 3.3													





**GENERAL UTILITY NOTES:**

ALL WATER LINES SHALL BE DUCTILE IRON PIPES CLASS 52 WITH 30" MINIMUM COVER, VALVES, CONNECTIONS AND RELATED APPURTENANCES SHALL BE IN ACCORDANCE WITH NFPA STANDARDS, STATE OF TENNESSEE PLUMBING CODE, AS WELL AS THE LOCAL UTILITIES STANDARD SPECIFICATIONS AND INSTALLED WITH REQUIRED BEDDING AND THRUST BLOCKING PER DETAILS. WATER LINE DISCONNECTION REQUIRES A LICENSED TENNESSEE PLUMBER.

ALL SANITARY SEWER LINES SHALL BE SCH-40 PVC WITH 30" MINIMUM COVER AND INSTALLED WITH REQUIRED BEDDING PER DETAIL.

ALL ELECTRIC, TELEPHONE AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES. CONTRACTOR ALSO SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.

CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE OWNERS REPRESENTATIVE.

THE CONTRACTOR SHALL NOTIFY ALL AFFECTED UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF ANY WORK.

PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY UTILITIES, THE CONTRACTOR SHALL EXCAVATE AND VERIFY ALL UTILITY CROSSINGS, AND INFORM THE OWNER'S REPRESENTATIVE OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION.

CONTRACTOR TO FOLLOW MALLORY VALLEY UTILITY DISTRICT TECHNICAL SPECIFICATIONS AND DESIGN CRITERIA FOR WATER SUPPLY AND DISTRIBUTION FACILITIES SECTION 3.22 SERVICE ASSEMBLIES (7"-8" COMMERCIAL AND 2" IRRIGATION SERVICES) G. REDUCED PRESSURE BACKFLOW PREVENTER. A REDUCED PRESSURE BACKFLOW PREVENTER IS REQUIRED ON ALL METERS (DOMESTIC OR IRRIGATION SERVICE). HEIGHT OF BACKFLOW PREVENTER SHALL BE NO LESS THAN TWELVE INCHES (12") FROM FLOOR OR NO HIGHER THAN FIVE FEET (5') FROM FLOOR INSTALLED HORIZONTALLY, AND MUST HAVE ADEQUATE DRAINAGE. DRAIN MUST BE TWO (2) TIMES NORMAL PIPE SIZE. EXAMPLE: FOR 1" BACKFLOW PREVENTER, DRAIN MUST HAVE A 2" PIPE. BACKFLOW PREVENTERS ARE NOT TO BE INSTALLED IN PITS BELOW GRADE LEVEL AND SHALL BE ENCLOSED IN A FREEZE PROOF STRUCTURE.

UTILITY LEGEND	
A.	EXISTING SANITARY SEWER SERVICE
B.	EXISTING WATER SERVICE (CONTRACTOR TO VERIFY IF SERVICE IS ADEQUATE)
C.	EXISTING UNDERGROUND ELECTRICAL SERVICE
D.	EXISTING GAS SERVICE
E.	EXISTING SITE LIGHTING
F.	EXISTING GREASE INCEPTOR
G.	EXISTING POLE MOUNTED TRANSFORMER, UNDERGROUND SECONDARY SERVICE
H.	EXISTING GAS METER
I.	EXISTING SANITARY SEWER CLEAN-OUT
J.	EXISTING UNDERGROUND TELEPHONE SERVICE

**UTILITY PROVIDERS**

**SEWER:** CITY OF FRANKLIN WATER MANAGEMENT  
124 LUMBER DRIVE  
FRANKLIN, TN 37067  
ATTN: UTILITY INSPECTOR  
615-794-4554

**WATER:** MALLORY VALLEY UTILITY DISTRICT  
465 DUKE DRIVE  
FRANKLIN, TN 37067  
615-628-0237

**ELECTRIC:** MIDDLE TENNESSEE ELECTRIC  
2156 EDWARD CURD LANE  
FRANKLIN, TN 37067  
615-794-3561

**GAS:** ATMOS ENERGY  
810 CRESCENT CENTRE DRIVE, SUITE 600  
FRANKLIN, TN 37067  
615-771-8330

**CITY OF FRANKLIN WATER MANAGEMENT:**  
124 LUMBER DRIVE  
FRANKLIN, TN 37064  
ATTN: UTILITY INSPECTOR  
615-794-4554

THIS PROPERTY IS LOCATED WITHIN AN UNSHADED SPECIAL FLOOD HAZARD AREA ZONE X AS SHOWN ON EFFECTIVE F.E.M.A. FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 47187C0208F, DATED SEPTEMBER 28, 2006.

GENERAL NOTES		BY	ISSUE REF
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12. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.			
TYPE OF BUILDING : EXISTING BUILDING			
PAVING SPECIFICATION -----			
LOT LIGHTING RECOMMENDATION			
PARKING INFORMATION			
TOTAL SPACES	THIRTY-FOUR	SPACES 9'-0" X 18'-0" @ 60'	
42	SIX	SPACES 9'-0" X 18'-0" @ 90'	
	TWO (H)	SPACES 8'-0" X 18'-0" @ 60'	
	-----	SPACES 9'-0" X 18'-0" @ 60'	
UTILITY INFORMATION			
	SIZE	TYPE	LOCATION
SANITARY SEWER	-	GRAVITY	ON SITE
WATER	-	-	AT REAR OF PROPERTY
STORM SEWER	-	-	ON SITE
ELECTRIC	-	-	AT REAR OF PROPERTY
GAS	-	-	-
SURVEY INFORMATION			
PREPARED BY:		MARTIN ENGINEERING AND SURVEYING 5226 MAIN STREET, SUITE C-3 SPRING HILL, TN 37147	
TELEPHONE:		(615) 812-2147	DATE: -
FAX:			REV: -
LEGEND			
SANITARY SEWER --SAN-- WATER --W-- STORM SEWER --UGE--		GAS --G-- TELEPHONE --UGT-- LOT LIGHT EXISTING ELEVATION PROPOSED ELEVATION	
PLAN SCALE: 1" = 20'			
STREET ADDRESS 1704 GALLERIA BLVD			
CITY FRANKLIN		STATE TENNESSEE	
COUNTY WILLIAMSON		STATUS PRELIMINARY	
REGIONAL DWG. NO 49394		LOCATION CODE NUMBER 041-0369	
DATE 08-27-15		BY KAC	
PLAN CHECKED		DATE	
AS-BUILT		DATE	
UTILITY PLAN C 4.0			



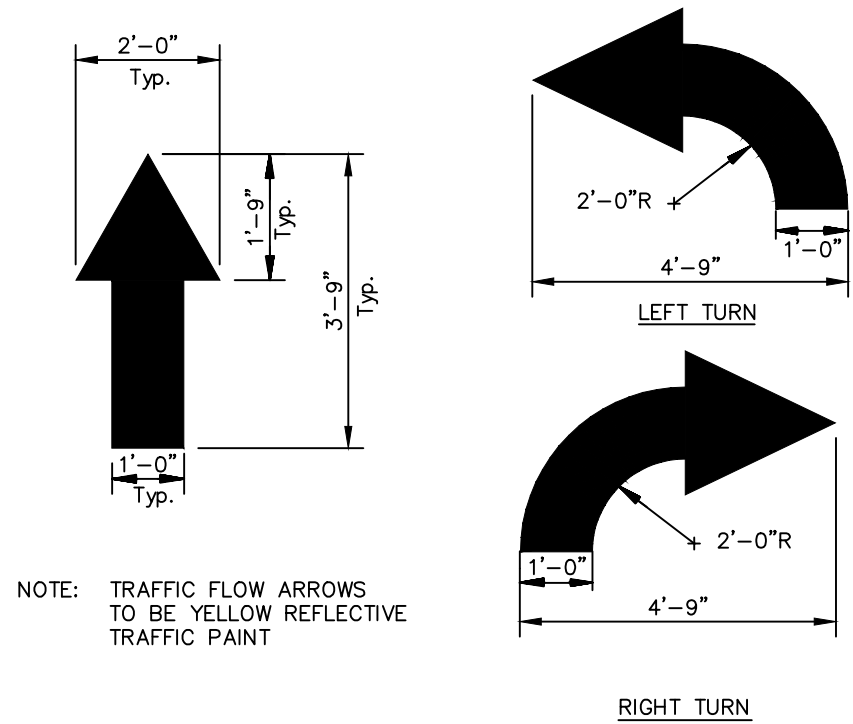
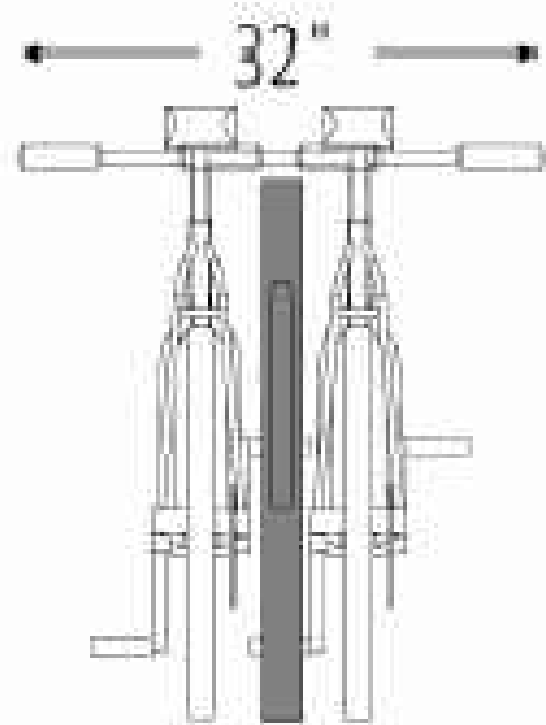
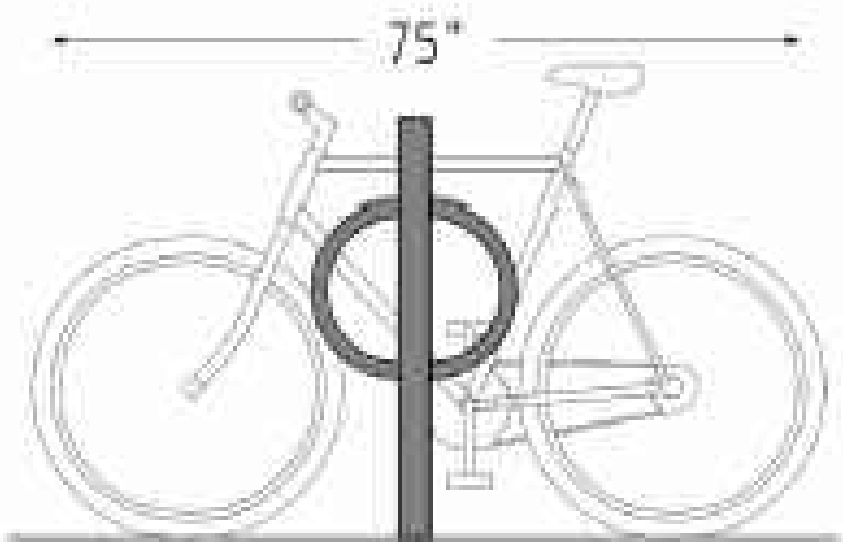
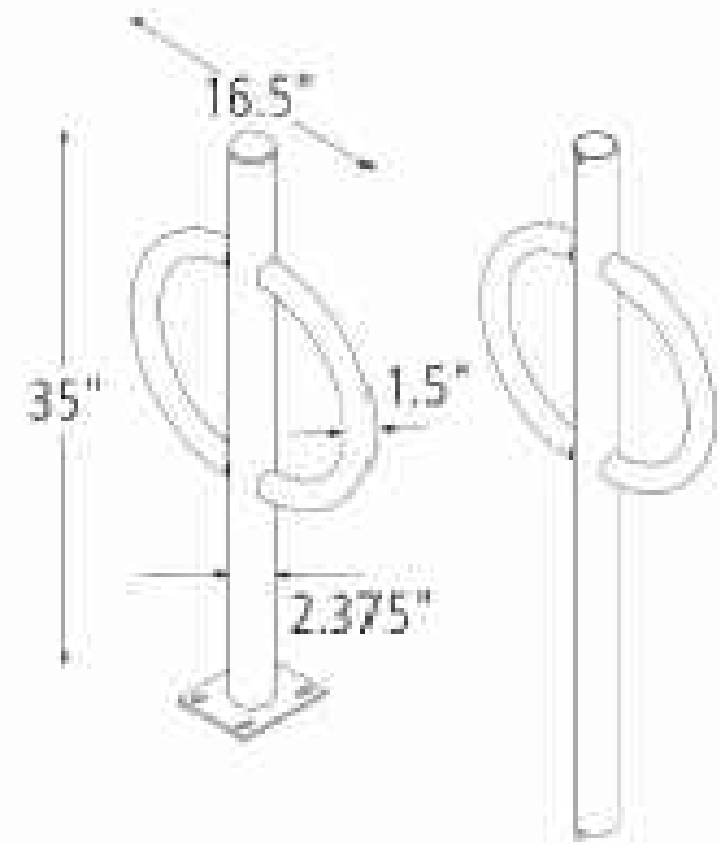
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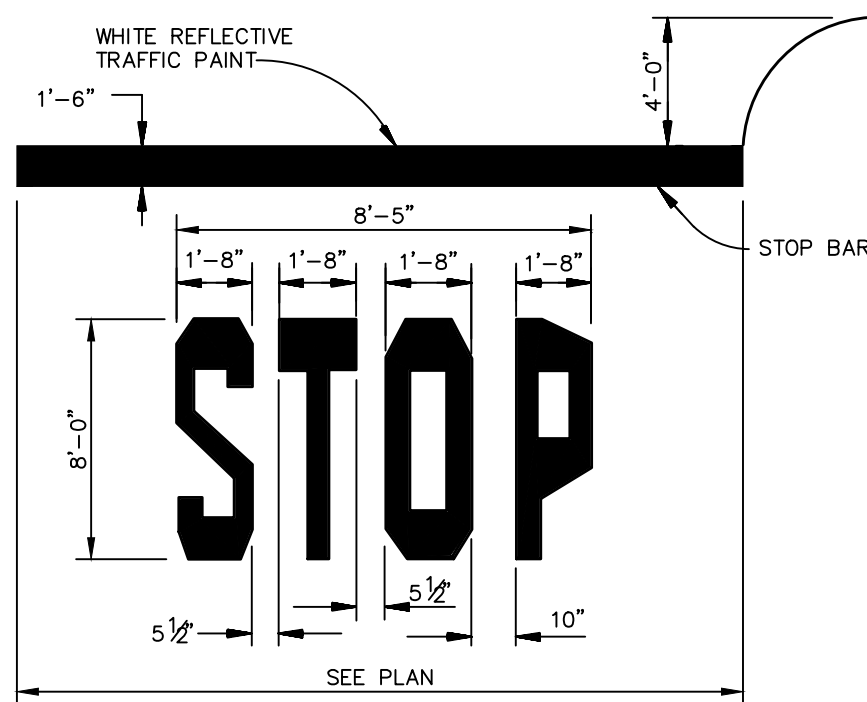
ADDRESS 250 W. 96th STREET, SUITE 500, INDIANAPOLIS, IN 46260

PLAN APPROVALS		DATE
SIGNATURE (2 REQUIRED)		
REGIONAL MGR.		
CONST. MGR.		
OPERATIONS DEPT.		
REAL ESTATE DEPT.		
CO-SIGN SIGNATURES		
CONTRACTOR		
OWNER		

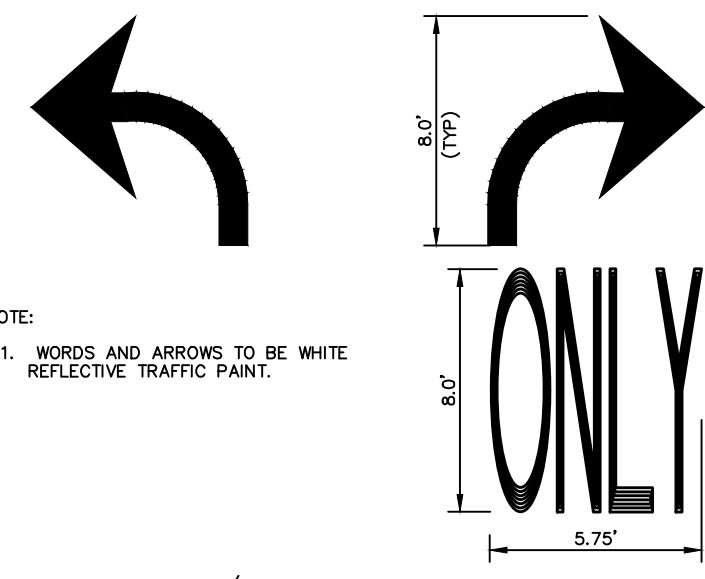




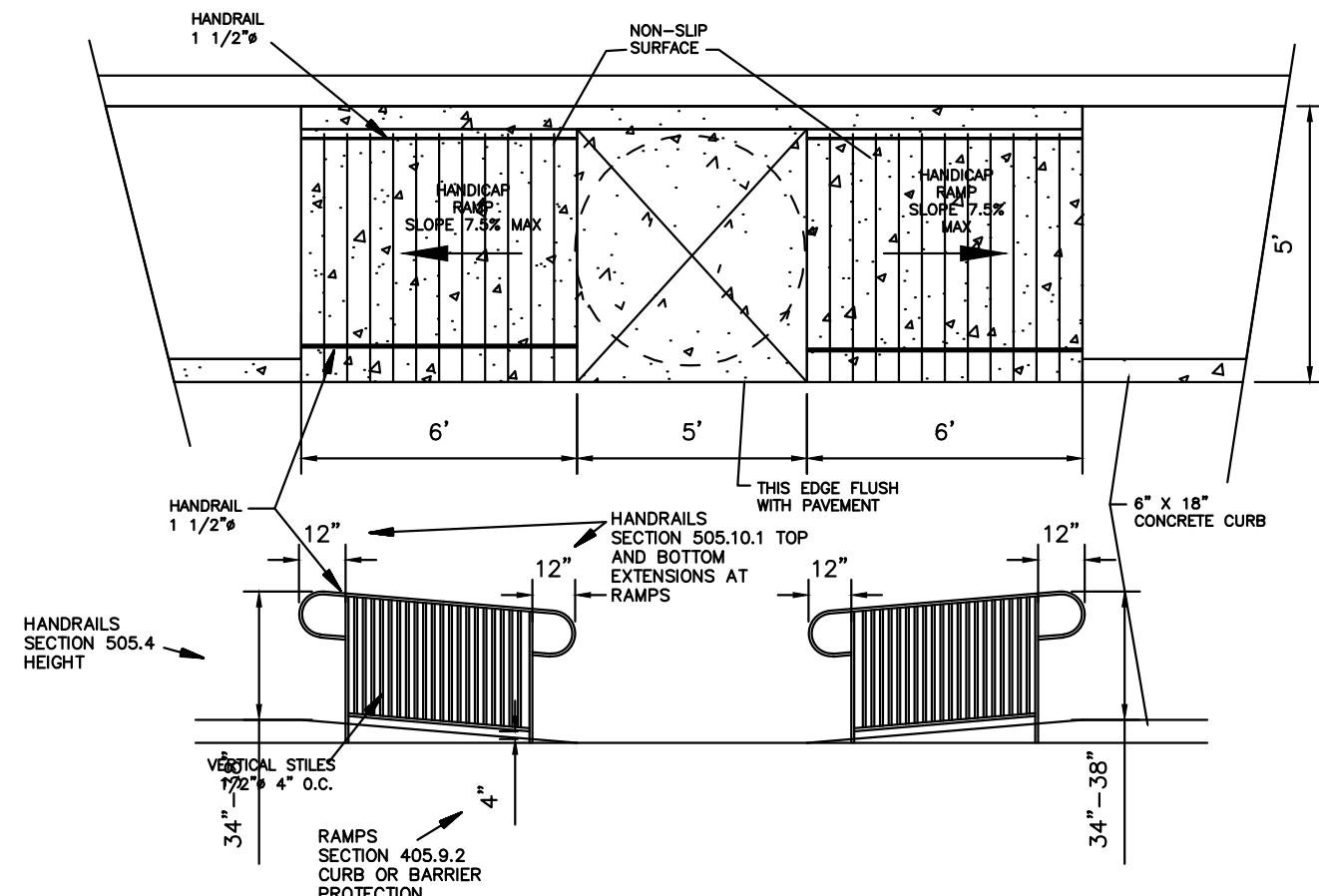
TRAFFIC FLOW ARROW  
N.T.S.



STOP BAR  
N.T.S.



RIGHT/LEFT TURN ONLY  
PAVEMENT MARKINGS  
N.T.S.



COF #6514

GENERAL NOTES

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TYPE OF BUILDING :

EXISTING BUILDING

PAVING SPECIFICATION

NOTE: McDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF McDONALD'S, OTHERWISE, G.C. WILL BE CHARGED.

LOT LIGHTING RECOMMENDATION

PARKING INFORMATION

TOTAL SPACES	THIRTY-FOUR	SPACES	9'-0" X 18'-0" @ 60'
	SIX	SPACES	9'-0" X 18'-0" @ 90'
	TWO (H)	SPACES	8'-0" X 18'-0" @ 60'
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UTILITY INFORMATION

	SIZE	TYPE	LOCATION
SANITARY SEWER	-	GRAVITY	ON SITE
WATER	-	-	AT REAR OF PROPERTY
STORM SEWER	-	-	ON SITE
ELECTRIC	-	-	AT REAR OF PROPERTY
GAS	-	-	-

SURVEY INFORMATION

PREPARED BY: MARTIN ENGINEERING AND SURVEYING  
5226 MAIN STREET, SUITE C-3  
SPRING HILL, TN 37147  
TELEPHONE: (615) 812-2147  
FAX: DATE: -  
REV: -

LEGEND

SANITARY SEWER	GAS
"SAN" "SAN" "SAN" "SAN"	G "G" "G" "G"
WATER	TELEPHONE
"W" "W" "W" "W"	"UGT" "UGT" "UGT" "UGT"
STORM SEWER	LOT LIGHT
"UGE" "UGE" "UGE" "UGE"	EXISTING ELEVATION 76.5
	PROPOSED ELEVATION 77.0

PLAN SCALE: 1" = 20'

STREET ADDRESS  
1704 GALLERIA BLVD

CITY STATE  
FRANKLIN TENNESSEE

COUNTY  
WILLIAMSON

REGIONAL DWG. NO

49394

LOCATION CODE NUMBER

041-0369



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ADDRESS 250 W. 96th STREET, SUITE 500, INDIANAPOLIS, IN 46260

PLAN APPROVALS

SIGNATURE (2 REQUIRED)

DATE

REGIONAL MGR.

CONST. MGR.

OPERATIONS DEPT.

REAL ESTATE DEPT.

CO-SIGN SIGNATURES

CONTRACTOR

OWNER

STATUS

PRELIMINARY

DATE

08-27-15

BY

KAC

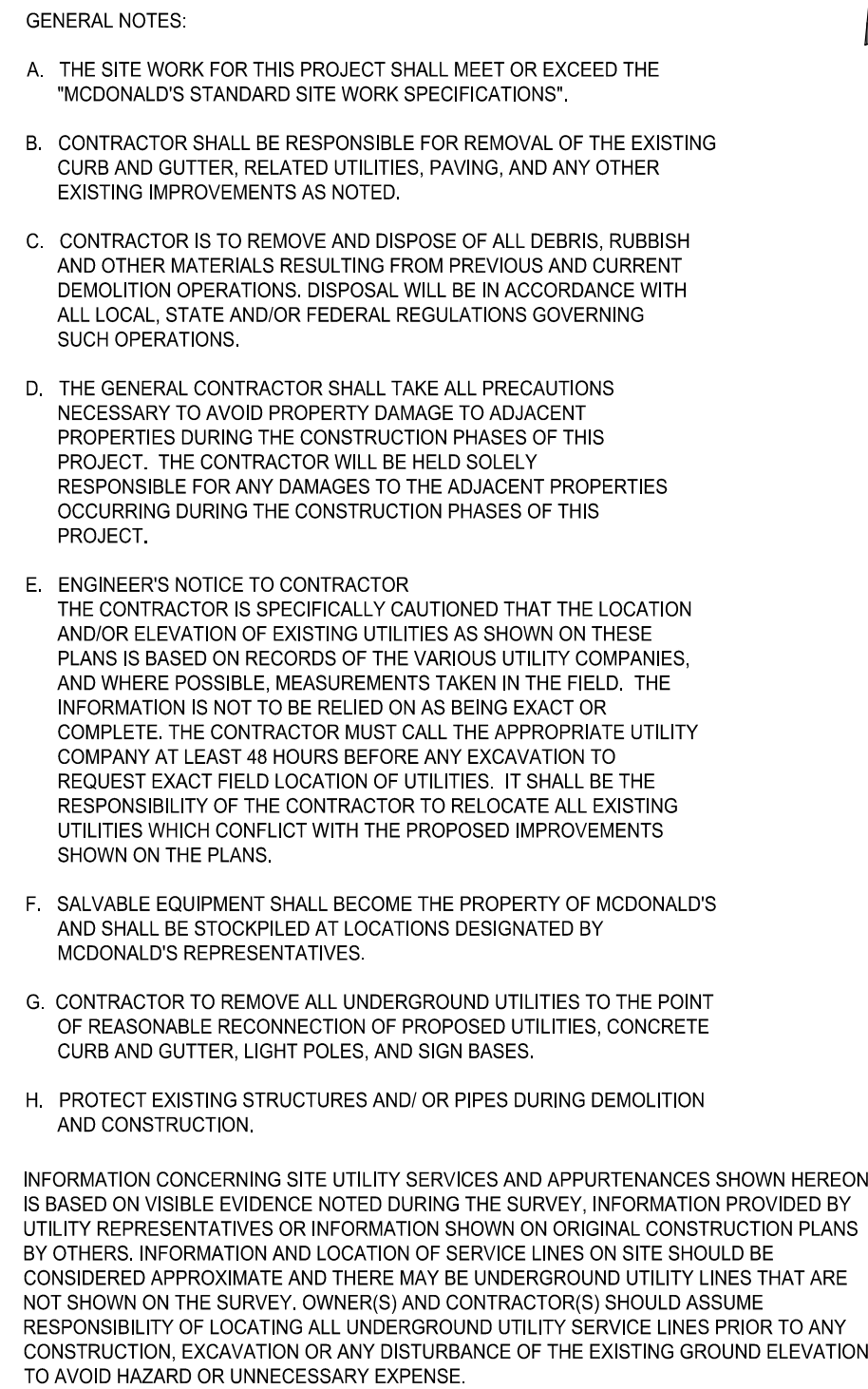
PLAN CHECKED

AS-BUILT

CONSTRUCTION DETAILS

C 5.0



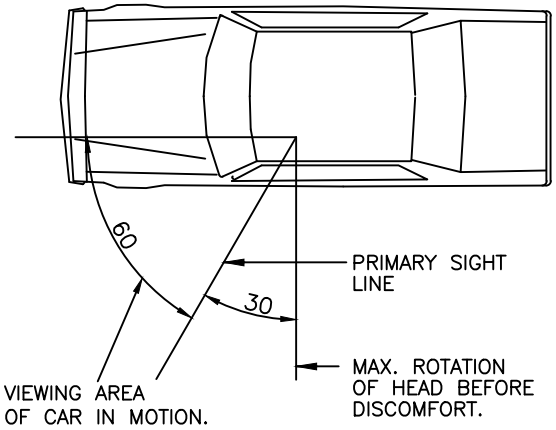


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TYPE OF BUILDING : EXISTING BUILDING			
PAVING SPECIFICATION -----			
NOTE: McDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF McDONALD'S; OTHERWISE, G.C. WILL BE CHARGED.			
LOT LIGHTING RECOMMENDATION			
PARKING INFORMATION			
TOTAL SPACES 42	THIRTY-FOUR SPACES 9'-0" X 18'-0" @ 60' * SIX SPACES 9'-0" X 18'-0" @ 90' * TWO (H) SPACES 8'-0" X 18'-0" @ 60' * ----- SPACES 9'-0" X 18'-0" @ 60' *		
UTILITY INFORMATION			
	SIZE TYPE LOCATION		
SANITARY SEWER	- GRAVITY ON SITE		
WATER	- - AT REAR OF PROPERTY		
STORM SEWER	- - ON SITE		
ELECTRIC	- - AT REAR OF PROPERTY		
GAS	- - -		
SURVEY INFORMATION			
PREPARED BY:	MARTIN ENGINEERING AND SURVEYING 5226 MAIN STREET, SUITE C-3 SPRING HILL, TN 37147		
TELEPHONE: (615) 812-2147	DATE: -		
FAX:	REV: -		
LEGEND			
-SAN- SANITARY SEWER -W- WATER -W- STORM SEWER -E- ELECTRIC -G- GAS -T- TELEPHONE -LOT LIGHT EXISTING ELEVATION 76.5 PROPOSED ELEVATION 77.0			
PLAN SCALE: 1" = 20'			
STREET ADDRESS 1704 GALLERIA BLVD			
CITY FRANKLIN	STATE TENNESSEE		
COUNTY WILLIAMSON			
REGIONAL DWG. NO 49394	LOCATION CODE NUMBER 041-0369		
DEMOLITION PLAN C 6.0			



NOTES:

1. THE REGIONAL CONSTRUCTION MANAGER IS TO REVIEW AND APPROVE ALL DRIVE-THRU LAYOUTS. A DRIVE-THRU IS FINAL, AND CONSIDERED "RED", ONCE APPROVED. NO CHANGES ARE TO BE MADE AFTER THIS POINT.
2. DUE TO THE EXACT GEOMETRY REQUIRED FOR THE EFFICIENT OPERATION OF THIS DRIVE-THRU LAYOUT, IT IS REQUIRED THAT ALL DRIVE-THRU EQUIPMENT AND PAVEMENT IMPROVEMENTS TO BE FIELD LOCATED BY A LICENSED SURVEYOR.
3. THE PLACEMENT OF THE CODs AND ANY ADDITIONAL EQUIPMENT SHOULD BE SUCH THAT IT PREVENTS BLOCKING THE CUSTOMER'S VIEW OF THE MENU BOARD WHILE ORDERING.
4. THIS SIDE BY SIDE DRIVE-THRU STANDARD D IS BASED ON THE PROTOTYPICAL McDONALD'S 4587 BUILDING
5. ALL DRIVE THRU EQUIPMENT SUPPLIED BY MCDONALDS APPROVED SUPPLIERS.



GENERAL NOTES:

1. THE LOCATION AND ORIENTATION OF MENU BOARDS AND PRE-SELLS WERE DETERMINED BY THE SIGHT LINES OF THE CARS SHOWN. THE CARS WERE POSITIONED ACCORDING TO THE MAX. AMOUNT OF CARS DURING A PEAK PERIOD. ALL DIMENSIONS SHOWN ARE BASED UPON PROTOTYPICAL LAYOUTS SHOWN. ACTUAL DIMENSIONS TO BE BASED ON SITE SPECIFIC CONFIGURATIONS AND THE REQUIREMENTS OF NOTE 2.
2. MENU BOARD IS ORIENTATED FOR VIEWING BY CAR 4 (PRIMARY USER) AND CAR 5 (SECONDARY USER).
3. NOT USED
4. NOT USED
5. NOT USED
6. PROVIDE TWO CIRCUITS FOR MENU BOARDS. ONE CIRCUIT FOR LIGHTS AND ONE CIRCUIT WITH LOCK FOR MOTOR AND AND CONTROLLER. REFER TO SHEET E1 FOR TERMINATION OF CONDUIT RUNS INSIDE BUILDING. MERCHANTSER TO HAVE ONE CIRCUIT FOR LIGHTS.
7. ALL GALVANIZED ANCHOR BOLTS TO BE SUPPLIED AND INSTALLED BY THE CONTRACTOR.

NOTE:  
THIS SHEET IS FOR CUSTOMER ORDER DISPLAY AND / OR SPEAKER POST INSTALLATIONS ONLY. THESE DETAILS ARE NOT FOR USE WITH THE FACE TO FACE DRIVE THRU OPERATING SYSTEM. VERIFY THE INSTALLATION OF CUSTOMER ORDER DISPLAY AND / OR SPEAKER POST WITH THE PROJECT MANAGER.

GENERAL NOTES

1. McDONALD'S ROAD SIGN AND BASE ARE BY THE SIGN CONTRACTOR. CONDUIT AND WIRING ARE BY THE GENERAL CONTRACTOR.
2. BASES, ANCHOR BOLTS, CONDUIT, AND WIRING FOR ALL OTHER SIGNS ARE BY THE GENERAL CONTRACTER.
3. 3/4" EMPTY CONDUIT TO LOCATIONS SHOWN AT THE LOT PERIMETER FOR LOT LIGHTING IS BY THE GENERAL CONTRACTOR. LIGHTING FIXTURES, BASES, POLES, CONDUIT, AND WIRING ARE BY THE OWNER/OPERATOR. DIMENSION OF LIGHT POLE BASES BEHIND CURB AT 2'.
4. BASES FOR FLAGPOLES ARE BY THE GENERAL CONTRACTOR. ANCHOR BOLTS ARE BY THE FLAGPOLE SUPPLIER.
5. PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL INSTALLATION.
6. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE POINT OF SERVICE CONNECTION OF EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING. CONSTRUCTION SHALL NOT START UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED FROM THE UTILITY COMPANY. A MINIMUM OF 48 HOURS IS REQUIRED FOR NOTIFICATION.
7. ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GROUND BREAK.
8. FINISH WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT.
9. ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF ALL WALKS AND CURBS. FINISH GRADING, LANDSCAPING, AND SPRINKLER SYSTEMS ARE BY THE OWNER/OPERATOR.
10. LOT LIGHTING CONCRETE FOOTINGS TO CONFORM WITH THE SOILS REPORT RECOMMENDATIONS FOR THIS PARTICULAR SITE.
11. ALL PHASES OF SITE WORK SHALL MEET OR EXCEED McDONALD'S SPECIFICATIONS.
12. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.

TYPE OF BUILDING :

EXISTING BUILDING

PAVING SPECIFICATION

-----

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LOT LIGHTING RECOMMENDATION

PARKING INFORMATION

TOTAL SPACES  42	THIRTY-FOUR	SPACES	9'-0" X 18'-0"	60 *
	SIX	SPACES	9'-0" X 18'-0"	90 *
	TWO (H)	SPACES	8'-0" X 18'-0"	60 *
	-----	SPACES	9'-0" X 18'-0"	60 *

UTILITY INFORMATION

	SIZE	TYPE	LOCATION
SANITARY SEWER	-	GRAVITY	ON SITE
WATER	-	-	AT REAR OF PROPERTY
STORM SEWER	-	-	ON SITE
ELECTRIC	-	-	AT REAR OF PROPERTY
GAS	-	-	-

SURVEY INFORMATION

PREPARED BY: OLEARY AND ASSOCIATES  
2558 NASHVILLE HIGHWAY  
COLUMBIA, TENNESSEE 38401

TELEPHONE: (931) 489-2088 DATE: -  
FAX: (931) 489-2089 REV: -

LEGEND

-S- SANITARY SEWER	-S- SANITARY SEWER	-G- GAS
-W- WATER	-W- WATER	-UGT- UTILITY
-ST- STORM SEWER	-ST- STORM SEWER	-LOT- LOT LIGHT
-E- ELECTRIC	-E- ELECTRIC	-EXIST- EXISTING ELEVATION
-UG- UG1	-UG- UG1	-PRO- PROPOSED ELEVATION

PLAN SCALE: 1" = 20'

STREET ADDRESS

1704 GALLERIA BLVD

CITY

FRANKLIN

STATE

TENNESSEE

COUNTY

WILLIAMSON

REGIONAL DWG. NO

49394

LOCATION CODE NUMBER

041-0369

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ADDRESS: 250 W. 96th STREET, SUITE 500, INDIANAPOLIS, IN 46260



REGIONAL MGR.	CONST. MGR.	OPERATIONS DEPT.	REAL ESTATE DEPT.	CO-SIGN SIGNATURES	CONTRACTOR	OWNER

STATUS

PRELIMINARY

DATE

08-27-15

BY

KAC

PLAN CHECKED

AS-BUILT

DRIVE THRU

DT 1.0

COORDINATES			
	X	Y	DESCRIPTION
EQUIPMENT			
△	30.42	14.37	TO CENTER OF FOUNDATION OF ODMB
△	31.26	19.43	TO CENTER OF FOUNDATION OF COD
△	30.53	34.41	TO CENTER OF FOUNDATION OF ODMB
△	51.43	11.88	TO CENTER OF FOUNDATION OF COD
△	54.90	15.65	TO CENTER OF PRE-BROWSE BOARD
△	56.51	29.01	TO CENTER OF PRE-BROWSE BOARD

PRE-BROWSE BOARD MUST BE MIN. 12" FROM FACE OF CURB. THE DISTANCE BETWEEN THE SECONDARY COD AND PRE-BROWSE BOARD IS TO BE 15' AS MEASURED ALONG FACE OF THE CURB. THIS IS MEASURED FROM THE POINT PERPENDICULAR TO THE CENTER OF THE PRE-BROWSE BOARD FOUNDATION TO THE POINT PERPENDICULAR TO THE CENTER OF THE COD FOUNDATION. THE ANGLE OF THE PRE-BROWSE BOARD SHOULD MAXIMIZE VISIBILITY TO THE SECOND CAR FROM COD (PREFERRED 35').

PRE-BROWSE BOARD MUST BE 18"-24" FROM FACE OF CURB. THE DISTANCE BETWEEN THE PRIMARY COD AND PRE-BROWSE BOARD IS TO BE 15' AS MEASURED ALONG THE CENTER LINE OF THE LANE. THIS IS MEASURED FROM THE CENTER OF THE PRE-BROWSE BOARD FOUNDATION TO THE CENTER OF THE COD FOUNDATION. THE ANGLE (APPROXIMATELY 50') OF THE PRE-BROWSE BOARD SHOULD MAXIMIZE VISIBILITY TO THE SECOND CAR FROM COD.

CRITICAL START POINT REAR OF BUILDING

THE CENTER OF THE SECONDARY MENU BOARD FOUNDATION SHALL BE 5'-3" (5'-0" MIN. AND 6'-0" MAX.) FROM CENTER OF THE COD FOUNDATION WITH THE END CAP OF THE SECONDARY MENU BOARD NOT BE LESS THAN 12" FROM FACE OF CURB.

THE CENTER OF THE PRIMARY MENU BOARD FOUNDATION IS TO BE 5'-3" (5'-0" MIN. AND 6'-0" MAX.) FROM THE CENTER OF THE COD FOUNDATION. THE PRIMARY MENU BOARD SHOULD BE AT AN ANGLE OF APPROXIMATELY 25' TO 35' ANGLE (35' PREFERRED) FROM A CAR POSITIONED AT THE COD AND WITH 100% VISIBILITY.

NOTE:

THE PLACEMENT OF THE CODs SHOULD BE SUCH THAT IT PREVENTS, OR MINIMIZES, BLOCKING THE CUSTOMER'S VIEW OF THE MENU BOARD WHILE ORDERING.

DRIVE THRU APPROACH

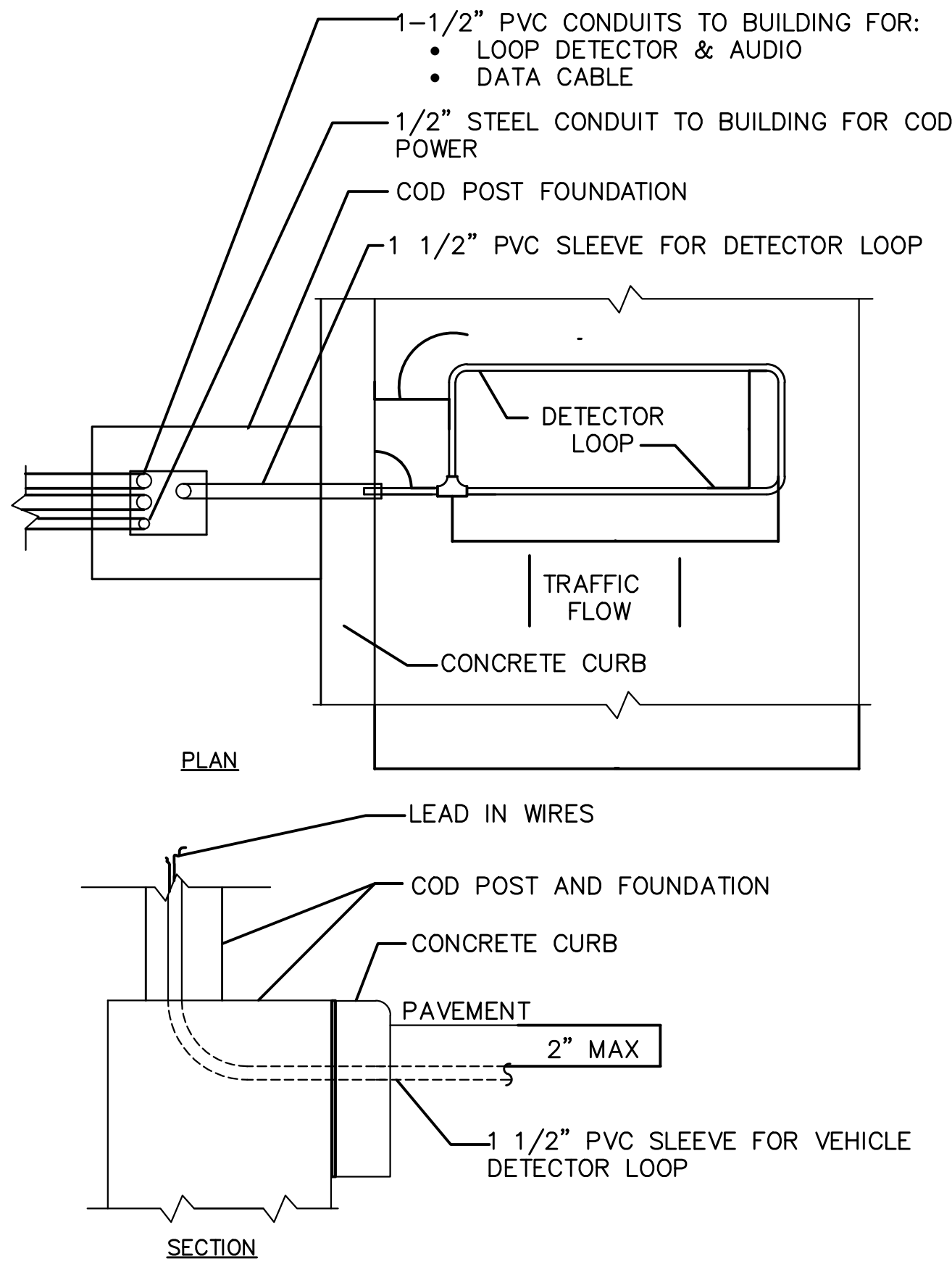
1" = 10'

COF #6514

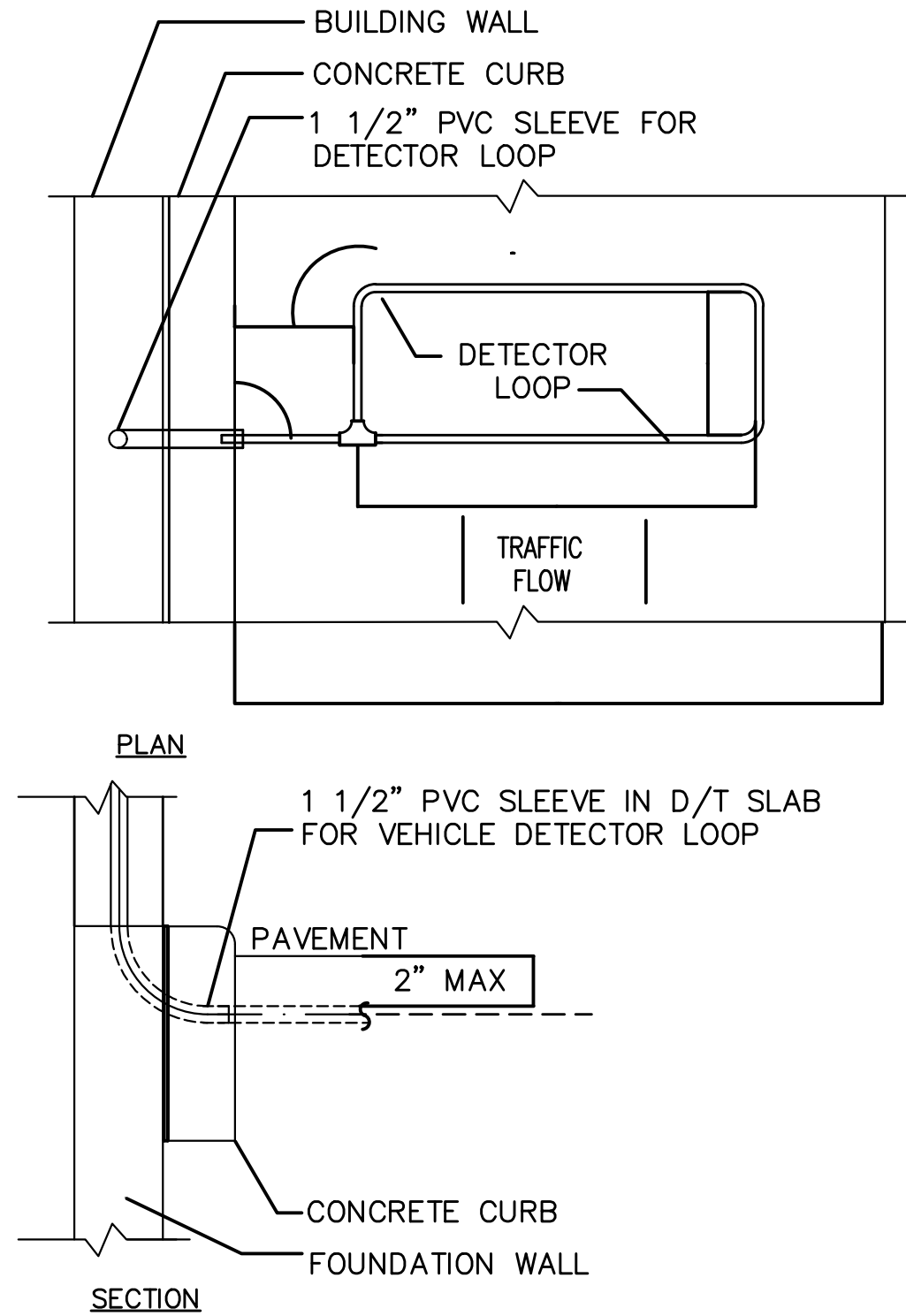


NOTES

1. VERIFY CONDUIT SIZES AND LAYOUT WITH DETECTOR LOOP MANUFACTURER.
2. CENTER VEHICLE DETECTOR LOOP IN DRIVE THRU LANE. INSTALL PER MFR. RECOMMENDATIONS.
3. NO STEEL (REBAR OR ELECTRICAL WIRE) SHALL BE USED WITHIN 2' OF LOOP.
4. DETECTOR LOOP MANUFACTURERS:  
DETECTOR LOOPS MAY BE BY ONE OF THE FOLLOWINGS COMPANIES OR EQUAL.  
3M: 1-800-328-0033  
HME: 1-800-848-4468
5. DETECTOR LOOP MATERIAL:  
PVC TUBING 1/2" I.D. 100 PSI LOOP MADE FROM ONE LENGTH OF THIN FOURTEEN GAUGE STRANDED WIRE. LEAD-IN IS PRE-TWISTED AT FACTORY.
6. DETECTOR LOOP CONSTRUCTION:  
FORMED WITH ONE CONTINUOUS LENGTH OF PVC WITH NO SHARP CORNERS AS DETAILED. WIRE LOOPED, FORMED, & PIGTAILED AS DETAILED.



A - C.O.D. DETECTOR LOOP



B - DT WINDOW DETECTOR LOOP

GENERAL NOTES		REV	DATE	DESCRIPTION	BY	ISSUE REF
1. McDONALD'S ROAD SIGN AND BASE ARE BY THE SIGN CONTRACTOR. CONDUIT AND WIRING ARE BY THE GENERAL CONTRACTOR.						
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3. 3/4" EMPTY CONDUIT TO LOCATIONS SHOWN AT THE LOT PERI-METER FOR LOT LIGHTING IS BY THE GENERAL CONTRACTOR. LIGHTING FIXTURES, BASES, POLES, CONDUIT, AND WIRING ARE BY THE OWNER/OPERATOR. DIMENSION OF LIGHT POLE BASES BEHIND CURB AT 2'.						
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5. PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL INSTALLATION.						
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TYPE OF BUILDING : EXISTING BUILDING						
PAVING SPECIFICATION -----						
NOTE: McDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF McDONALD'S, OTHERWISE, G.C. WILL BE CHARGED.						
LOT LIGHTING RECOMMENDATION						
PARKING INFORMATION						
TOTAL SPACES	THIRTY-FOUR	SPACES	9'-0" X 18'-0"	60 *		
42	SIX	SPACES	9'-0" X 18'-0"	90 *		
	TWO (H)	SPACES	8'-0" X 18'-0"	60 *		
	-----	SPACES	9'-0" X 18'-0"	60 *		
UTILITY INFORMATION						
	SIZE	TYPE	LOCATION			
SANITARY SEWER	-	GRAVITY	ON SITE			
WATER	-	-	AT REAR OF PROPERTY			
STORM SEWER	-	-	ON SITE			
ELECTRIC	-	-	AT REAR OF PROPERTY			
GAS	-	-	-			
SURVEY INFORMATION						
PREPARED BY: OLEARY AND ASSOCIATES 2558 NASHVILLE HIGHWAY COLUMBIA, TENNESSEE 38401						
TELEPHONE: (931) 489-2088 FAX: (931) 489-2089		DATE: - REV: -				
LEGEND						
-SAN- SANITARY SEWER -W- WATER -ST- STORM SEWER -E- ELECTRIC -G- GAS -T- TELEPHONE -L- LOT LIGHT -E- EXISTING ELEVATION -P- PROPOSED ELEVATION						
PLAN SCALE: N/A						
STREET ADDRESS 1704 GALLERIA BLVD						
CITY FRANKLIN		STATE TENNESSEE				
COUNTY WILLIAMSON		STATUS PRELIMINARY		DATE 08-27-15		BY KAC
REGIONAL DWG. NO. 49394		LOCATION CODE NUMBER 041-0369				
COF #6514		SD-2				



McDonald's USA, LLC

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ADDRESS 250 W. 96th STREET, SUITE 500, INDIANAPOLIS, IN 46260



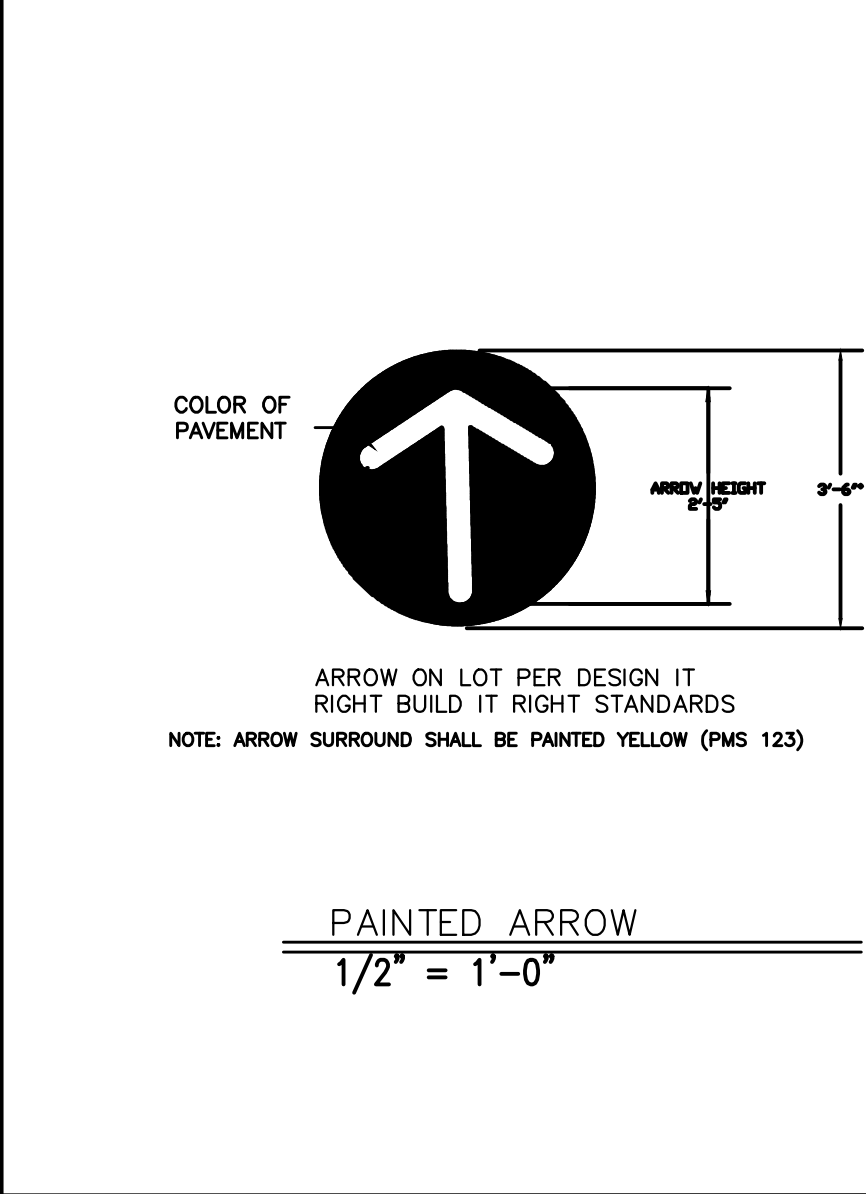
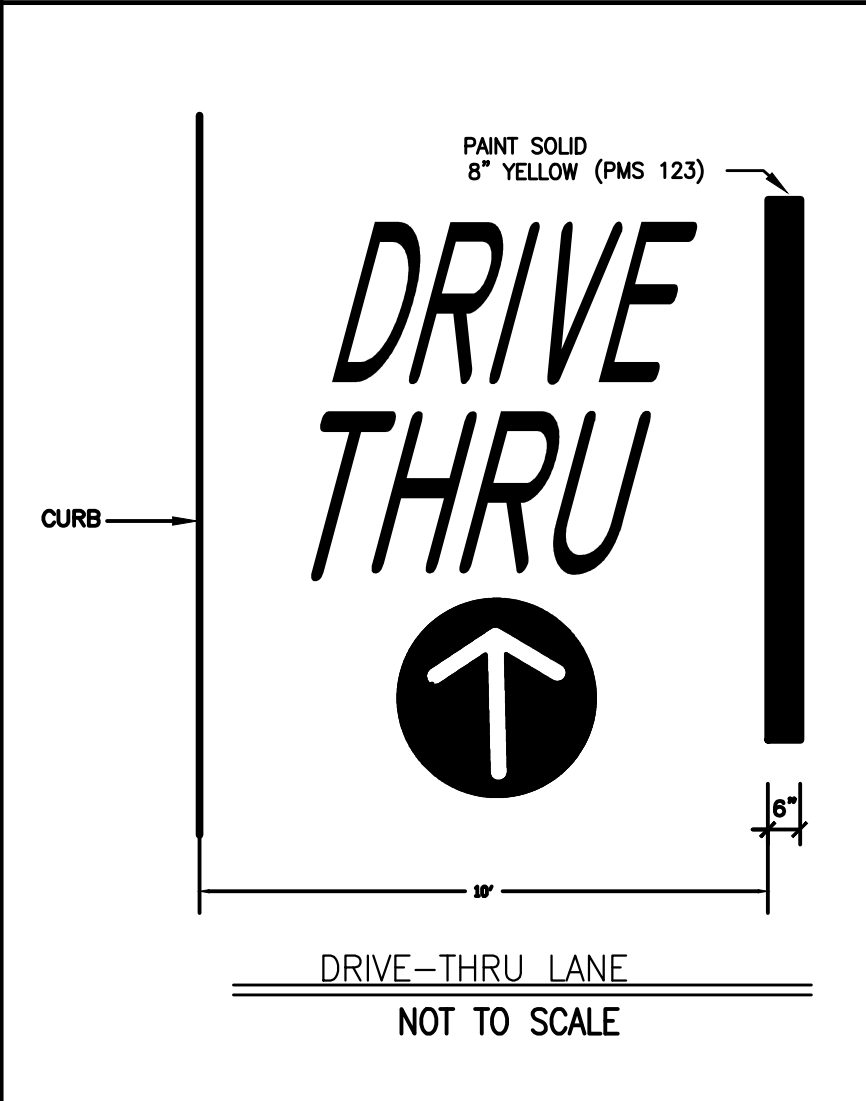
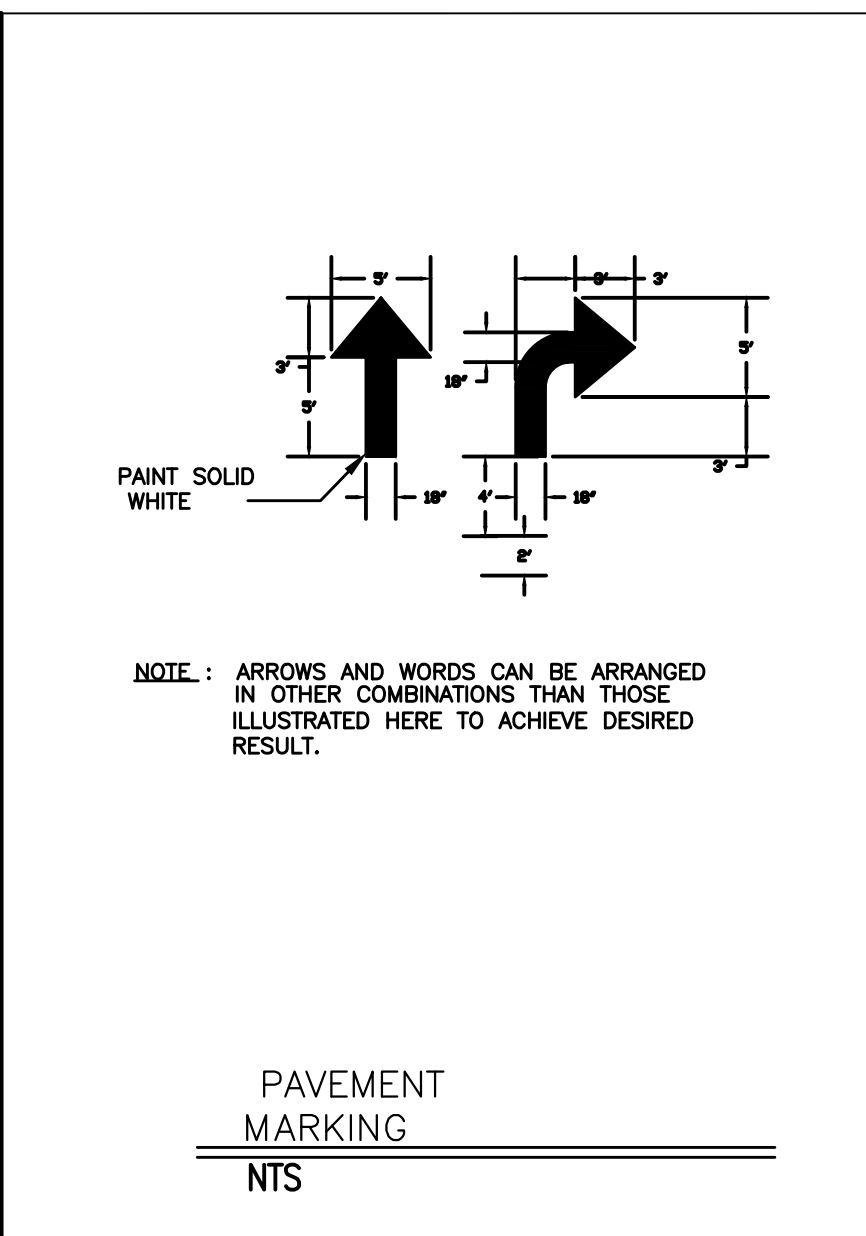


DRIVE THRU LANE DETAIL

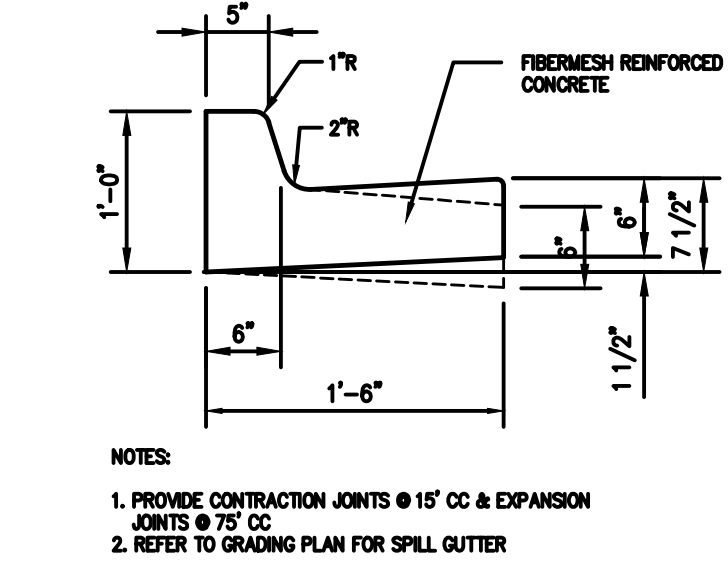
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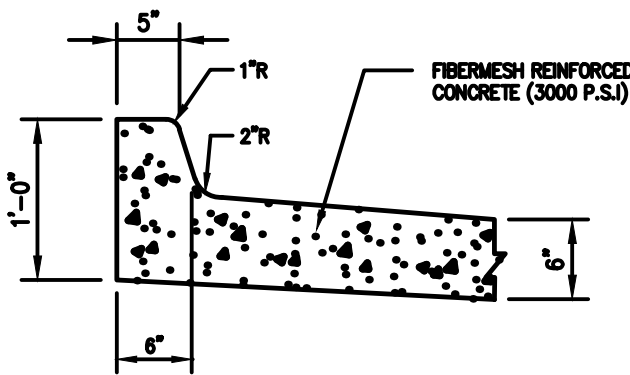




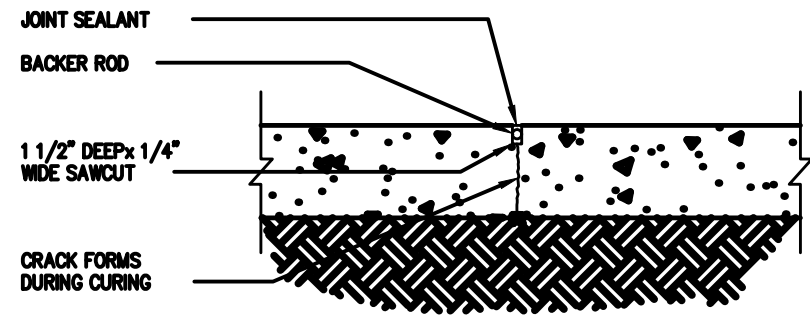




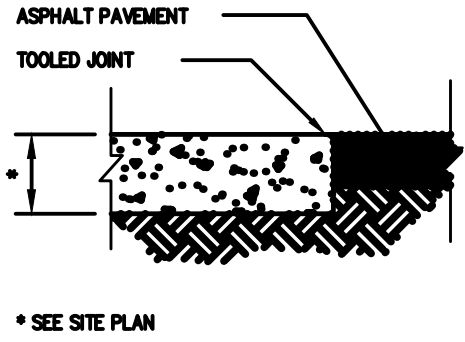
CONCRETE CURB AND GUTTER  
NTS



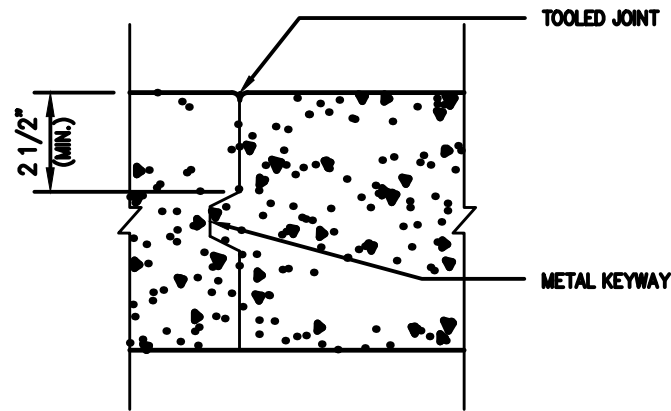
CONCRETE CURB AND GUTTER  
NTS



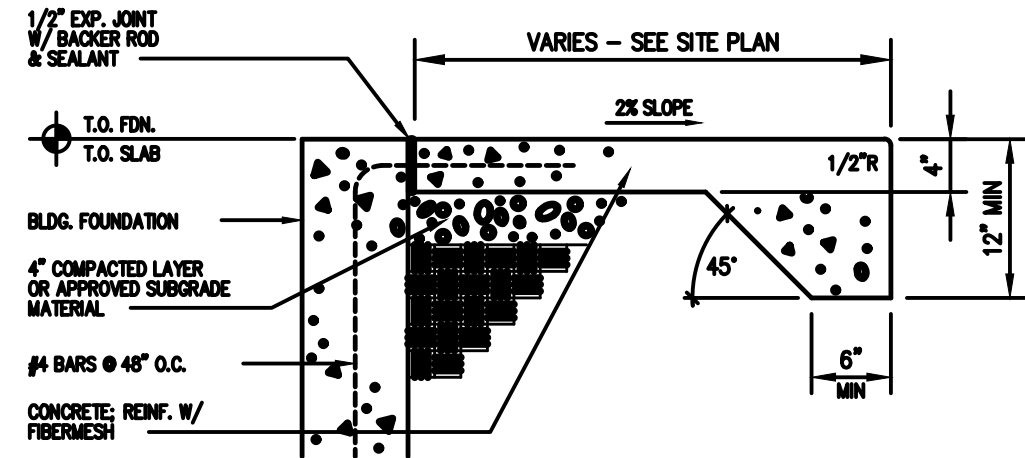
CONTRACTION JOINT  
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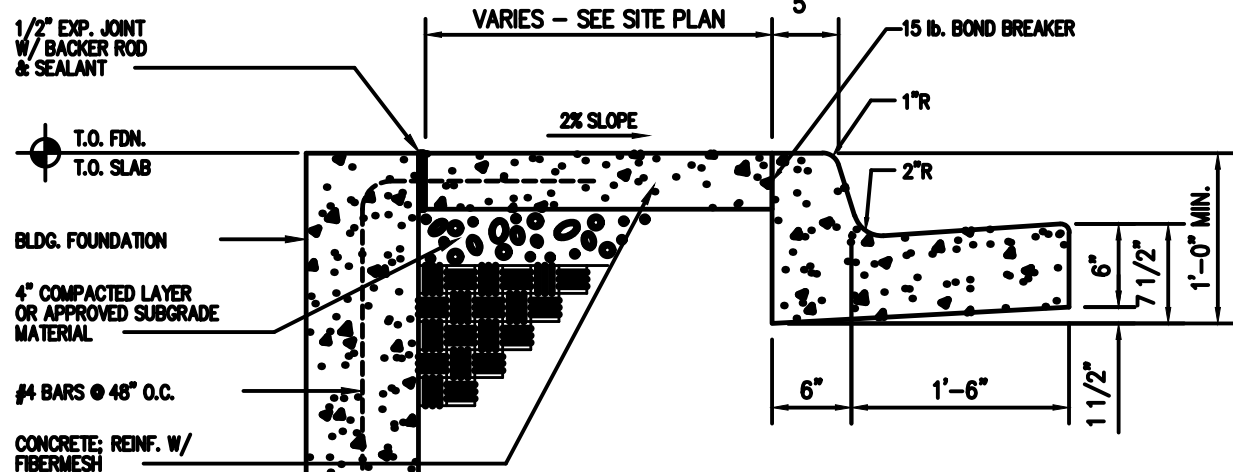
TERMINAL JOINT W/ ASPHALT PAV'T  
NTS



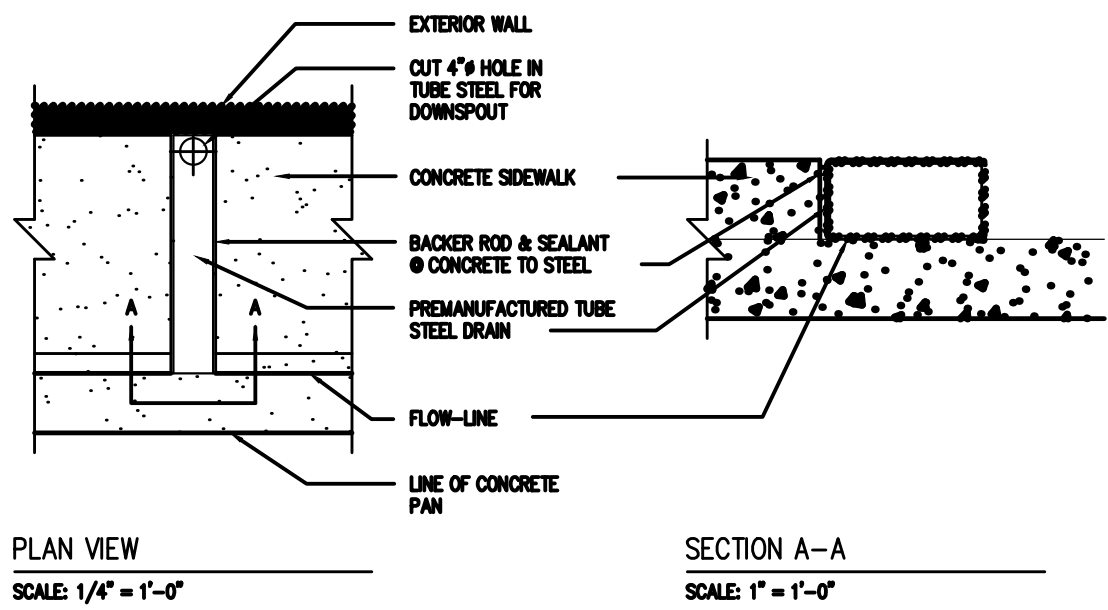
CONSTRUCTION JOINT  
NTS



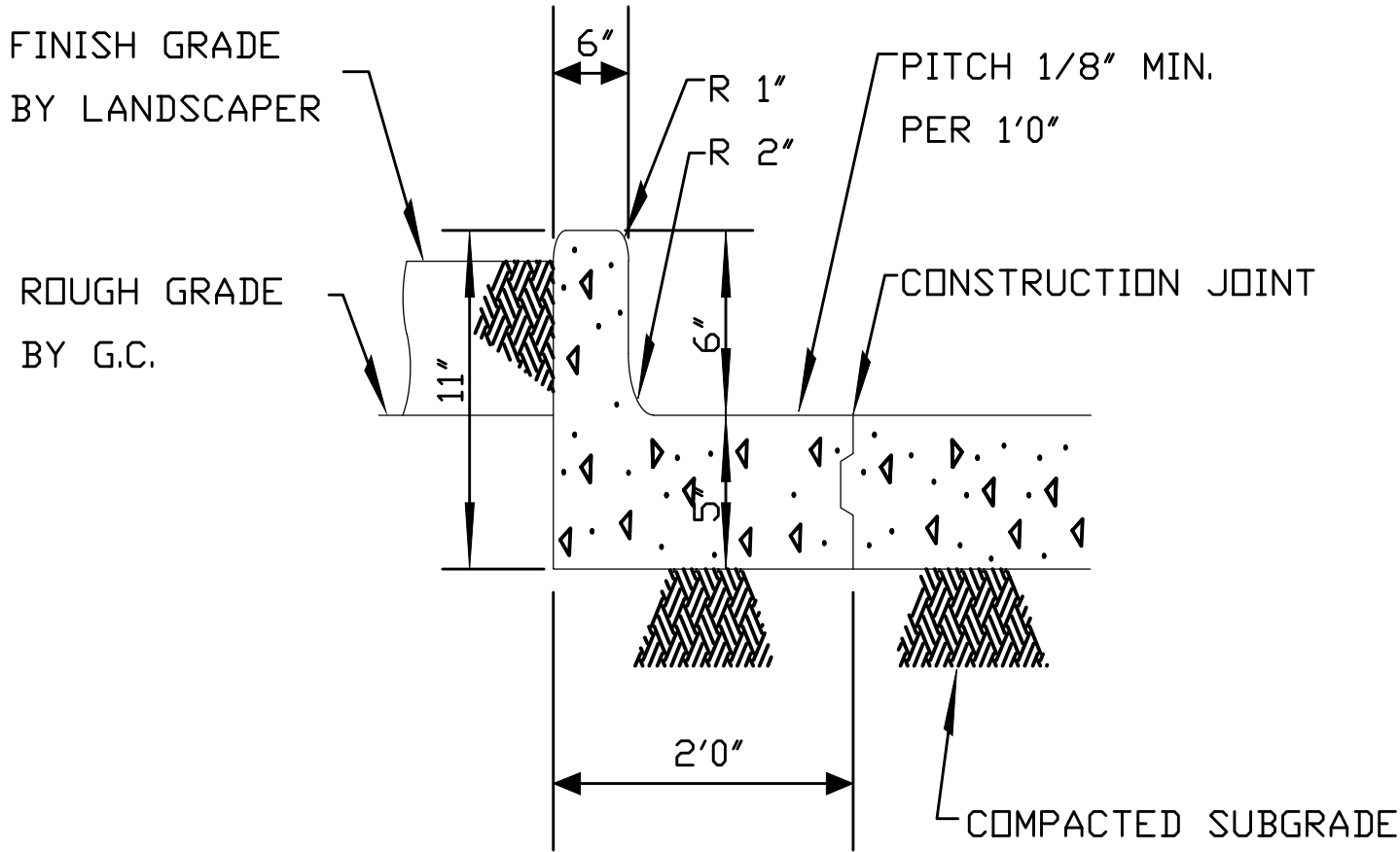
SIDEWALK AT BUILDING  
NTS



CONCRETE BUILDING WALK  
NTS



DOWNSPOUT THROUGH SIDEWALK  
NTS



NOTE: PROVIDE EXPANSION JOINTS  
@ 15'0" O.C. (MAX)

INTEGRAL CURB FOR CONCRETE LOTS

NOT TO SCALE

.017 C.Y. CONC. PER L.F. FOR 6"X11" UPRIGHT SECTION

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TYPE OF BUILDING :  
EXISTING BUILDING  
PAVING SPECIFICATION  
-----

NOTE: McDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE, IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION. TESTS WILL BE AT THE EXPENSE OF McDONALD'S, OTHERWISE, G.C. WILL BE CHARGED.

LOT LIGHTING RECOMMENDATION

PARKING INFORMATION

TOTAL SPACES  42	THIRTY-FOUR	SPACES	9'-0" X 18'-0" @ 60 °
	SIX	SPACES	9'-0" X 18'-0" @ 90 °
	TWO (H)	SPACES	8'-0" X 18'-0" @ 60 °
	-----	SPACES	9'-0" X 18'-0" @ 60 °

UTILITY INFORMATION

SIZE	TYPE	LOCATION
SANITARY SEWER	— GRAVITY	ON SITE
WATER	— —	AT REAR OF PROPERTY
STORM SEWER	— —	ON SITE
ELECTRIC	— —	AT REAR OF PROPERTY
GAS	— —	—

SURVEY INFORMATION

PREPARED BY:	MARTIN ENGINEERING AND SURVEYING 5226 MAIN STREET, SUITE C-3 SPRING HILL, TN 37147	DATE:	—
TELEPHONE:	(615) 812-2147	REV:	—
FAX:			

LEGEND

—SAN—	SANITARY SEWER	—G—	GAS
—W—	WATER	—UGT—	TELEPHONE
—W—	STORM SEWER	—UGT—	UGT
—E—	ELECTRIC	—	LOT LIGHT
—E—	UGT	—	EXISTING ELEVATION
—E—	UGT	—	PROPOSED ELEVATION

PLAN SCALE: N/A

STREET ADDRESS  
1704 GALLERIA BLVD

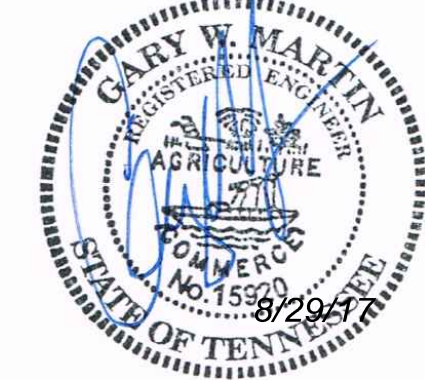
CITY  
FRANKLIN

STATE  
TENNESSEE

COUNTY  
WILLIAMSON

REGIONAL DWG. NO  
49394

LOCATION CODE NUMBER  
041-0369



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DATE	SIGNATURE (2 REQUIRED)	REGIONAL MGR.	CONST. MGR.	OPERATIONS DEPT.	REAL ESTATE DEPT.	CO-SIGN SIGNATURES	CONTRACTOR	OWNER

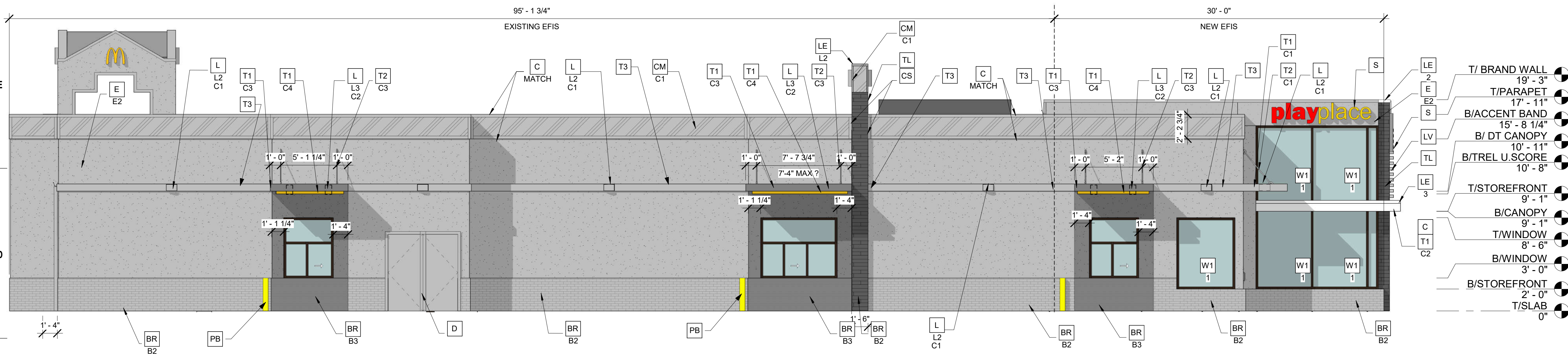
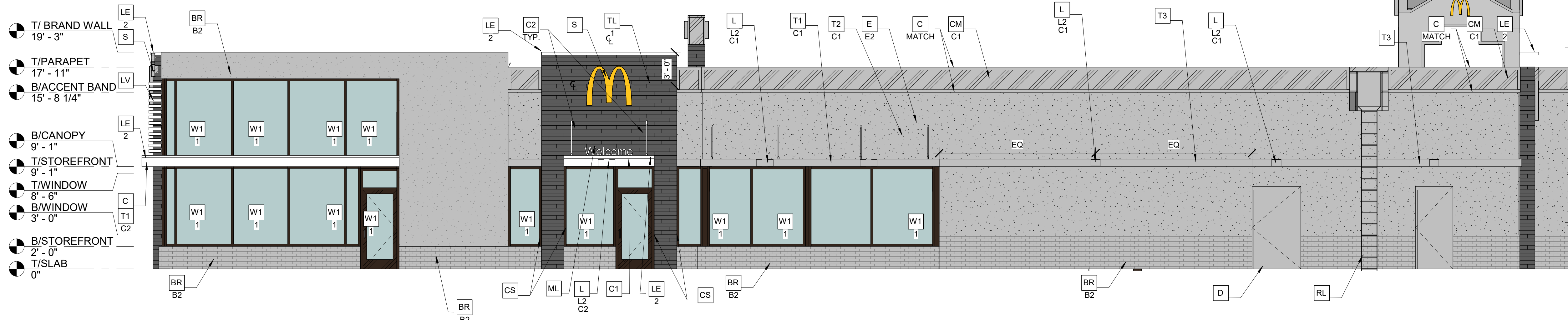
STATUS	DATE	BY
PRELIMINARY	08-27-15	KAC
PLAN CHECKED		
AS-BUILT		

SD-5

COF #6514



ELEVATION MATERIAL PERCENTAGES		
	SURFACE AREA	PERCENT
GROSS OF WALL	2310.80	NA
GLASS	545.12	23.59%
BRICK	257.05	11.12%
E.I.F.S	992.54	42.95%
MTL	332.51	14.39%
TILE	183.58	7.94%



ELEVATION MATERIAL PERCENTAGES				
	SURFACE AREA	PERCENT	ADD'L INFO	
			NEW	%
GROSS OF WALL	2362.91	NA		
GLASS	275.10	11.64%		
BRICK	331.45	14.03%		
E.I.F.S	EXISTING 1080.94	45.75%	221.35	9.37%
MTL	407.19	17.23%		
TILE	46.88	1.98%		

### Elevation Key Notes

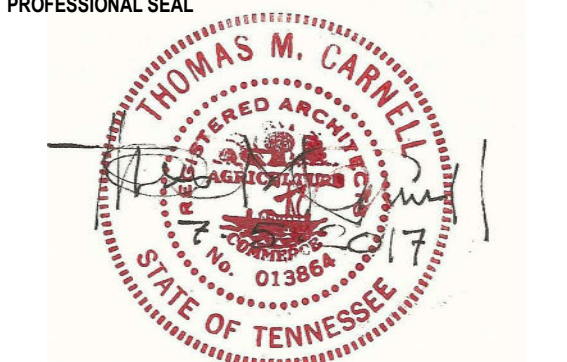
BR		FACE BRICK	GR		GUARDRAIL
XX		TYPE: (COLOR - SEE COLOR LEGEND)	L	XX	TYPE:
		E1 = EXISTING PAINTED MASONRY-COLOR BASE BUILDING			
		C1 = PAINTED MASONRY-COLOR BASE BUILDING			
		C2= PAINTED MASONRY-COLOR ACCENT BUILDING			
C		ALUMINUM CANOPY FASCIA SYSTEM (COLOR: WHITE)	L	XX	TYPE:
CJ		CONTROL JOINT			
C		METAL COPING - COLOR TO MATCH SURROUNDING MATERIAL			
MATCH					
CM		CORRUGATED METAL PANEL - SEE	LE	XX	LED LIGHT:
XX		COLOR			
		C1 = "CITYSCAPE" BY METAL			
D		HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL	LV	XX	METAL LOUVER PANEL BY TRELLIS VENDOR COLOR: CITYSCAPE
E		EXTERIOR INSULATION FINISH SYSTEM (E.I.F.S.) OUTSULATION PLUS MD <sup>®</sup> BY DRYBILT OF EQUAL HIGH IMPACT ZONES: PANZER 20' ULTRA HIGH IMPACT MESH ASSEMBLY FOR EIFS AREAS WITH IN 8'-0" OF GRADE FINISH: HYDROPHOPIC TEXTURE: SANDEBBLE	MF	X	TYPE:
XX		COLOR: STATOTONE HIGH PERFORMANCE COLORANT- MATCH TO BENJAMIN MOORE OR EQUAL			
		C1 = CHELSEA GRAY HC-168 BY BENJAMIN MOORE			
		C2= BM IRON MOUNTAIN 2134-30 BY BENJAMIN MOORE			
			ML	X	TYPE:
			MS	XX	TYPE:
			MS	XX	TYPE:

PT	PASS-THRU COIN COLLECTOR - OPTIONAL (RMHC)
RO	ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
S	MCDONALD'S SIGNAGE BY OTHERS - UNDER THE PERMIT. SEE SIGNAGE SUPPORT NOTE ON THIS SHEET
T1	ALUMINUM TRELLIS SYSTEM
XX	COLOR C1 = CITYSCAPE C2 = WHITE C3 = CHARCOAL C4 = GOLD
T2	ALUMINUM TRELLIS TIE-BACK SYSTEM
XX	COLOR C1 = CITYSCAPE C2 = WHITE C3 = CHARCOAL
T3	ALUMINUM TRELLIS 2x8 WALL FASCIA SYSTEM COLOR: CITYSCAPE
TL	TILE OPTIONAL - SEE COLOR LEGEND CONTACT: JAN DETER, (714) 937 - 7500
W1	NEW STOREFRONT AND
X	1 = NEW STOREFRONT AND GLAZING - SEE ASSEMBLY NOTES 2 = EXISTING WINDOW TO REMAIN

Color Legend		<u>All colors are per Benjamin Moore paints.</u>
MODERN SCHEME	BASE BUILDING	BM CHELSEA GRAY HC-168
	BRAND WALLS	BM IRON MOUNTAIN 2134-30 OPTIONAL SHOWN: EUROWEST eWOOD COLOR: R9 BLACK, SIZE: 6x36 PATTERN: 1/4 RUNNING BOND GROUT: MAPEI-47 CHARCOAL ACCESSORIES: CORNER TRIM- RONDEC RO100RSDA (DARK ANTHRACITE) BY SCHLUTER: MOVEMENT JOINT- DILEX BWB100GS (BLACK) BY SCHLUTER
	DT SURROUND	BM IRON MOUNTAIN 2134-30

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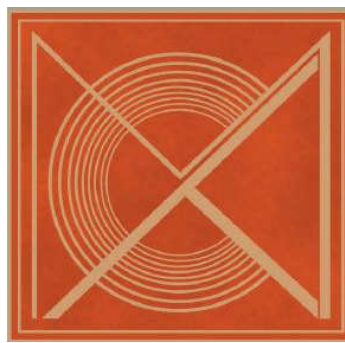
DRAWN BY:	MCWILLIAMS
CHECKED BY:	TMC
PROJECT #:	#041-0365
ISSUE DATE:	2017 5 -11
DRAWING ISSUE:	Project Status



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SHEET DESCRIPTION

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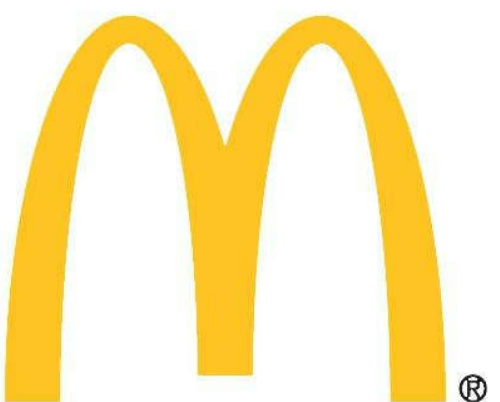
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615-244-9622

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PROJECT

McDonald's USA  
#041-0369  
1704 Galleria BLVD., Franklin TN



H

G

F

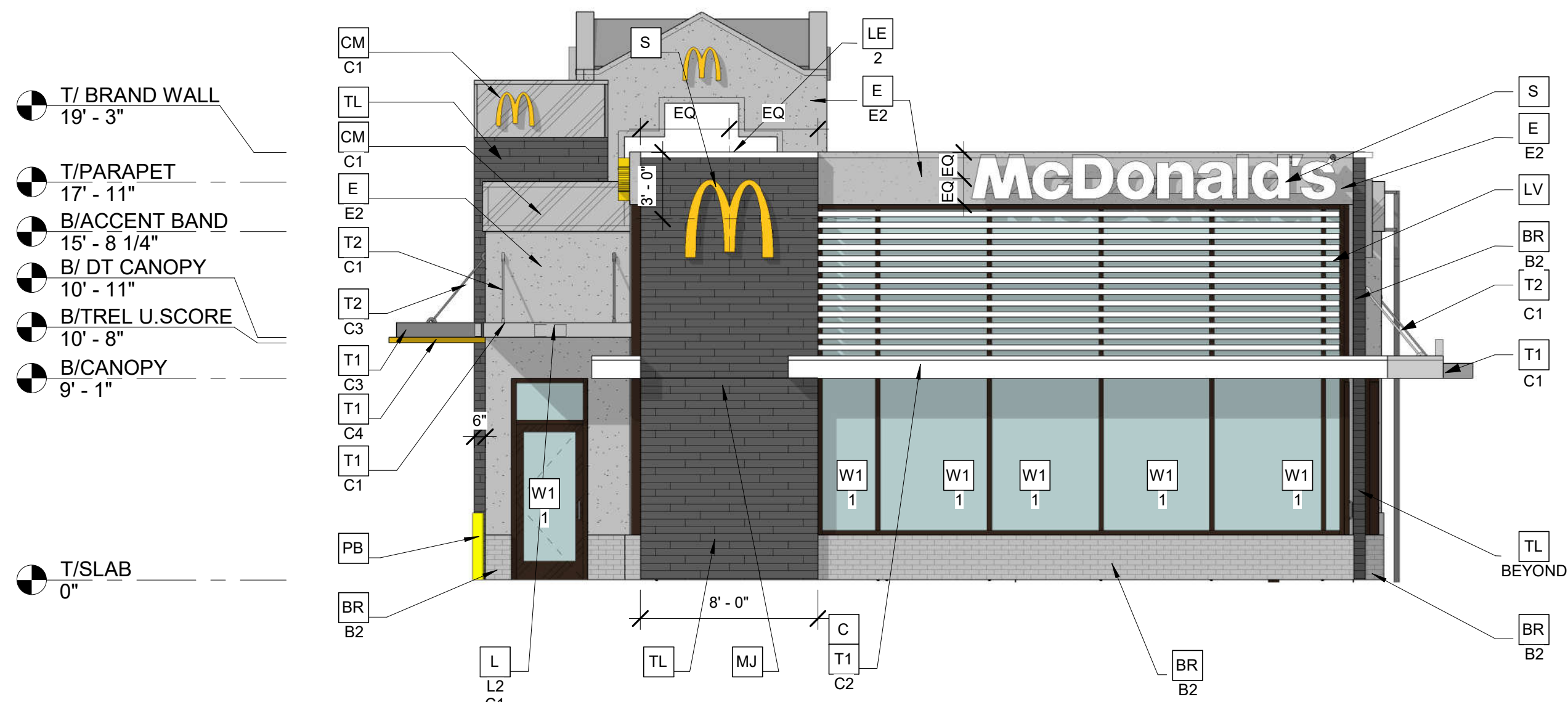
E

D

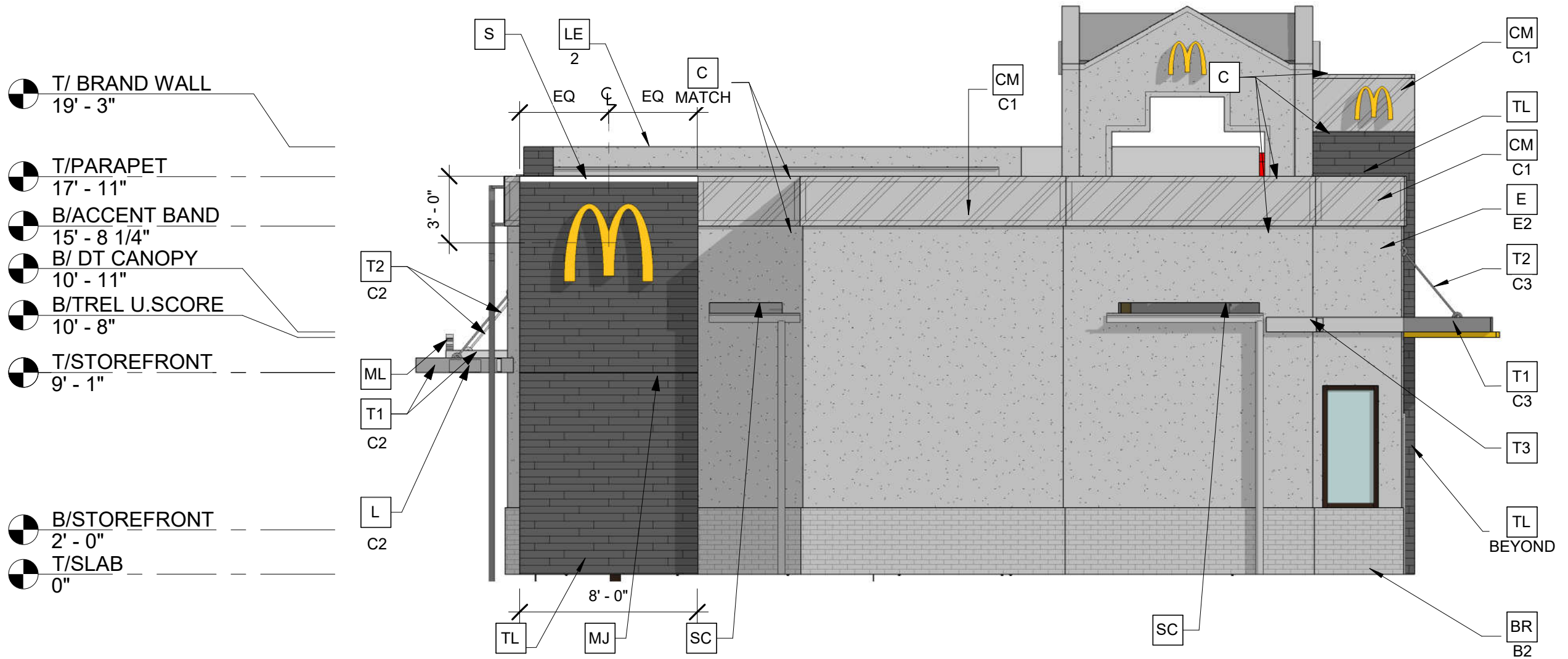
C

B

A



② Front Elevation  
3/16" = 1'-0"



① Rear Elevation  
3/16" = 1'-0"

ELEVATION MATERIAL PERCENTAGES		
	SURFACE AREA	PERCENT
GROSS OF WALL	783.44	NA
GLASS	282.21	36.02%
BRICK	55.38	7.07%
E.I.F.S	105.14	13.42%
MTL	168.43	21.5%
TILE	172.38	22.00%

4629.44 TOTAL BLDG SQFT

ELEVATION MATERIAL PERCENTAGES		
	SURFACE AREA	PERCENT
GROSS OF WALL	779.69	NA
GLASS	13.75	1.76%
BRICK	97.35	12.49%
E.I.F.S	431.14	55.3%
MTL	83.45	10.7%
TILE	154.00	19.75%

4629.44 TOTAL BLDG SQFT

## Elevation Key Notes

- BR** FACE BRICK  
**XX** TYPE: (COLOR -SEE COLOR LEGEND)  
E1 = EXISTING PAINTED MASONRY-COLOR BASE BUILDING  
C1 = PAINTED MASONRY-COLOR BASE BUILDING  
C2= PAINTED MASONRY-COLOR ACCENT BUILDING
- C** ALUMINUM CANOPY FASCIA SYSTEM (COLOR: WHITE)
- CJ** CONTROL JOINT
- C** METAL COPING -  
COLOR TO MATCH SURROUNDING MATERIAL
- CM** CORRUGATED METAL PANEL - SEE  
**XX** COLOR  
C1 = "CITYSCAPE" BY METAL
- D** HOLLOW METAL DOOR - PAINT TO MATCH  
COLOR OF SURROUNDING MATERIAL
- E** EXTERIOR INSULATION FINISH SYSTEM  
(E.I.F.S.) OUTSULATION PLUS MD BY DRYBIT  
OF EQUAL HIGH IMPACT ZONES: PANZER 20"  
ULTRA HIGH IMPACT MESH ASSEMBLY FOR  
EIFS AREAS WITH IN 8'-0" OF GRADE FINISH:  
HYDROPHOPIC TEXTURE: SANDEBBLE  
COLOR: STATOTONE HIGH PERFORMANCE  
COLORANT- MATCH TO BENJAMIN MOORE  
OR EQUAL  
C1 = CHELSEA GRAY HC-168 BY  
BENJAMIN MOORE  
C2= BM IRON MOUNTAIN 2134-30 BY  
BENJAMIN MOORE

- GR** GUARDRAIL
- L** LIGHT FIXTURE (WALL SCNCE) - SEE ELECTRICAL  
**XX** TYPE:  
L1 = UP AND DOWN  
L2 = DOWN ONLY  
L3 = RECESSED DOWN  
COLOR  
C1= SILVER  
C2= WHITE
- LE** ACCENT LIGHTING - SEE ELECTRICAL  
**XX** LED LIGHT:  
L1= UP AND DOWN FIXTURE  
L2 = DOWN ONLY FIXTURE  
L3 = INTEGRAL CANOPY FIXTURE
- LV** METAL LOUVER PANEL BY TRELLIS VENDOR  
COLOR: CITYSCAPE
- MF** METAL FASCIA (COLOR: CITYSCAPE)  
**X** TYPE:  
1 = PRE-FAB ANCHOR - TILE FASCIA  
2 = PRE-FAB CUSTOM ARCADE FASCIA
- ML** METAL LETTING - BY OTHERS (COLOR SILVER)  
**X** TYPE:  
1 = "WELCOME" - COLOR: SILVER  
2 = 24"H x 3/4" THICK METAL ARCH  
COLOR : PANTONE 123C
- MS** EXISTING MECHANICAL SCREEN
- PB** PIPE BOLLARD - PAINTED YELLOW

- PT** PASS-THRU COIN COLLECTOR - OPTIONAL (RMHC)
- RO** ROOF DRAIN OVERFLOW PIPE  
PAINT TO MATCH SURROUNDING MATERIAL
- S** McDONALD'S SIGNAGE BY OTHERS - UNDER  
SEPARATE PERMIT. SEE SIGNAGE SUPPORT  
NOTE ON THIS SHEET.
- T1** ALUMINUM TRELLIS SYSTEM  
**XX** COLOR  
C1 = CITYSCAPE  
C2 = WHITE  
C3 = CHARCOAL  
C4 = GOLD
- T2** ALUMINUM TRELLIS TIE-BACK SYSTEM  
**XX** COLOR  
C1 = CITYSCAPE  
C2 = WHITE  
C3 = CHARCOAL
- T3** ALUMINUM TRELLIS 2x8 WALL FASCIA SYSTEM  
COLOR: CITYSCAPE
- TL** TILE OPTIONAL - SEE COLOR LEGEND  
CONTACT: JAN DETER, (714) 937 - 7500
- W1** NEW STOREFRONT AND  
**X** 1 = NEW STOREFRONT AND GLAZING -  
SEE ASSEMBLY NOTES  
2 = EXISTING WINDOW TO REMAIN

## Color Legend

## MODERN SCHEME

All colors are per Benjamin Moore paints.

BASE BUILDING	BM CHELSEA GRAY HC-168
BRAND WALLS	BM IRON MOUNTAIN 2134-30 OPTIONAL SHOWN: EUROWEST eWOOD COLOR: R9 BLACK. SIZE: 6x36 PATTERN: 1/4 RUNNING BOND GROUT: MAPEI-47 CHARCOAL ACCESSORIES: CORNER TRIM- RONDEC RO100RSDA (DARK ANTHRACITE) BY SCHLUTER: MOVEMENT JOINT- DILEX BWB100GS (BLACK) BY SCHLUTER
DT SURROUND	BM IRON MOUNTAIN 2134-30



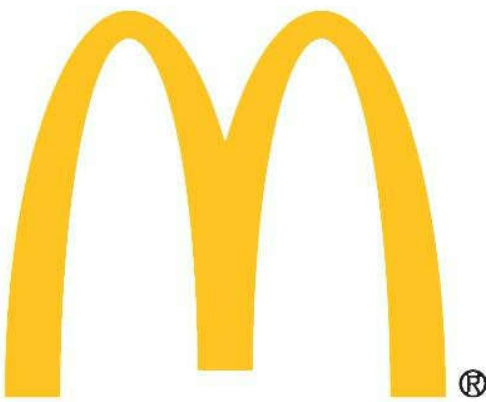
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615-244-9622

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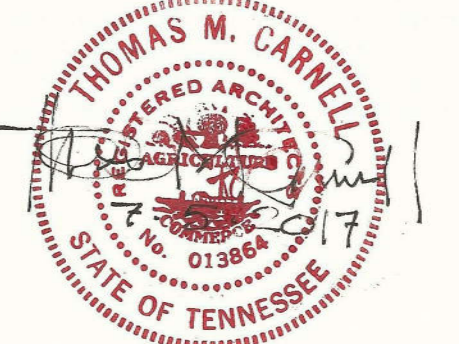
PROJECT

McDonald's USA  
#041-0369  
1704 Galleria BLVD., Franklin TN

No.	Description	Date

DRAWN BY: MCWIII  
CHECKED BY: TMC  
PROJECT #: #041-0369  
ISSUE DATE: 2017 5 -11  
DRAWING ISSUE: Project Status

PROFESSIONAL SEAL



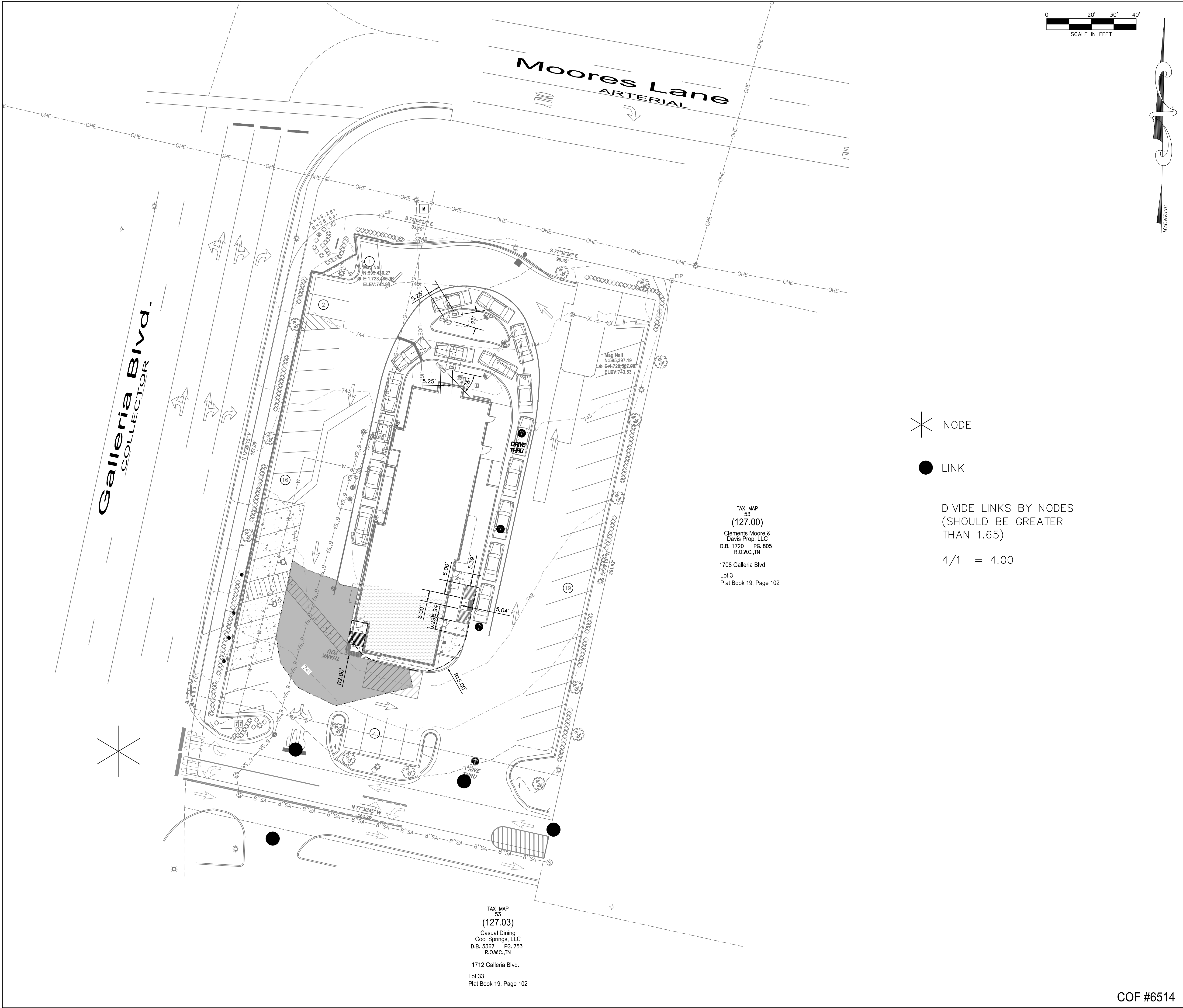
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SHEET DESCRIPTION  
Elevations

DRAWING NUMBER

A 2.1





GENERAL NOTES

1. McDONALD'S ROAD SIGN AND BASE ARE BY THE SIGN CONTRACTOR. CONDUIT AND WIRING ARE BY THE GENERAL CONTRACTOR.

2. BASES, ANCHOR BOLTS, CONDUIT, AND WIRING FOR ALL OTHER SIGNS ARE BY THE GENERAL CONTRACTOR.

3. 3/4" EMPTY CONDUIT TO LOCATIONS SHOWN AT THE LOT PERIMETER FOR LOT LIGHTING IS BY THE GENERAL CONTRACTOR. LIGHTING FIXTURES, BASES, POLES, CONDUIT, AND WIRING ARE BY THE OWNER/OPERATOR. DIMENSION OF LIGHT POLE BASES BEHIND CURB AT 2'.

4. BASES FOR FLAGPOLES ARE BY THE GENERAL CONTRACTOR. ANCHOR BOLTS ARE BY THE FLAGPOLE SUPPLIER.

5. PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL INSTALLATION.

6. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE POINT OF SERVICE CONNECTION OF EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING. CONSTRUCTION SHALL NOT START UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED FROM THE UTILITY COMPANY. A MINIMUM OF 48 HOURS IS REQUIRED FOR NOTIFICATION.

7. ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GROUND BREAK.

8. FINISH WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT.

9. ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF ALL WALKS AND CURBS. FINISH GRADING, LANDSCAPING, AND SPRINKLER SYSTEMS ARE BY THE OWNER/OPERATOR.

10. LOT LIGHTING CONCRETE FOOTINGS TO CONFORM WITH THE SOILS REPORT RECOMMENDATIONS FOR THIS PARTICULAR SITE.

11. ALL PHASES OF SITE WORK SHALL MEET OR EXCEED McDONALD'S SPECIFICATIONS.

12. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.

TYPE OF BUILDING :  
EXISTING BUILDING

PAVING SPECIFICATION  
-----

NOTE: McDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF McDONALD'S, OTHERWISE, G.C. WILL BE CHARGED.

LOT LIGHTING RECOMMENDATION

PARKING INFORMATION

TOTAL SPACES  42	THIRTY-FOUR	SPACES 9'-0" X 18'-0" @ 60'
	SIX	SPACES 9'-0" X 18'-0" @ 90'
	TWO (H)	SPACES 8'-0" X 18'-0" @ 60'
	-----	SPACES 9'-0" X 18'-0" @ 60'

UTILITY INFORMATION

	SIZE	TYPE	LOCATION
SANITARY SEWER	-	GRAVITY	ON SITE
WATER	-	-	AT REAR OF PROPERTY
STORM SEWER	-	-	ON SITE
ELECTRIC	-	-	AT REAR OF PROPERTY
GAS	-	-	-

SURVEY INFORMATION

PREPARED BY: MARTIN ENGINEERING AND SURVEYING  
5226 MAIN STREET, SUITE C-3  
SPRING HILL, TN 37147  
TELEPHONE: (615) 812-2147  
FAX: DATE: -  
REV: -

LEGEND

SANITARY SEWER	GAS
"SAN" "SAN" "SAN" "SAN"	G "G" "G" "G"
WATER	TELEPHONE
W "W" "W" "W"	UGT "UGT" "UGT" "UGT"
STORM SEWER	LOT LIGHT
W "W" "W" "W"	EXISTING ELEVATION
UGT "UGT" "UGT" "UGT"	PROPOSED ELEVATION

76.5  
77.0

PLAN SCALE: 1" = 20'

STREET ADDRESS  
1704 GALLERIA BLVD

CITY  
FRANKLIN

STATE  
TENNESSEE

COUNTY  
WILLIAMSON

REGIONAL DWG. NO  
49394

LOCATION CODE NUMBER  
041-0369

STATUS  
PRELIMINARY

DATE  
08-27-15

BY  
KAC

PLAN CHECKED

AS-BUILT

REGIONAL DWG. NO  
49394

LOCATION CODE NUMBER  
041-0369

CONNECTIVITY PLAN  
1 of 1

McDonald's USA, LLC

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ADDRESS 250 W. 96TH STREET, SUITE 500, INDIANAPOLIS, IN 46260

PLAN APPROVALS

SIGNATURE (2 REQUIRED)

DATE

REGIONAL MGR.

CONST. MGR.

OPERATIONS DEPT.

REAL ESTATE DEPT.

CO-SIGN SIGNATURES

CONTRACTOR

OWNER