

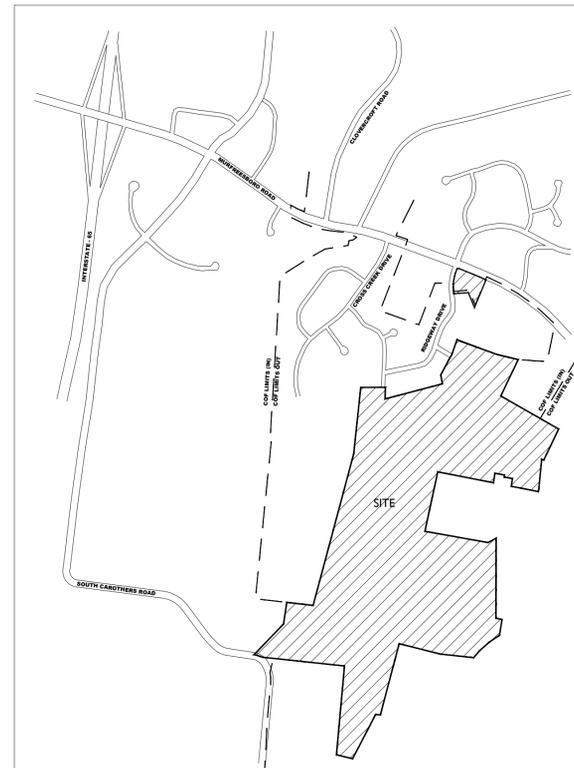
DEVELOPMENT PLAN

COLLETTA PARK PUD SUBDIVISION

COF 6491
 MAP 89, PARCEL 55.00
 MAP 79M B, PARCEL 28.00
 MAP 79M B, PARCEL 29.00
 MAP 089, PARCEL 43.03
 MAP 089, PARCEL 43.04
 FRANKLIN, TENNESSEE
 CIVIL DISTRICT 14

SHEET INDEX

- C 0.0 COVER SHEET
- C 1.0 NEIGHBORHOOD CONTEXT PLAN
- C 1.1 NEIGHBORHOOD CONTEXT PLAN
- C 1.2 OVERALL EXISTING CONDITIONS PLAN
- C 1.3 OVERALL EXISTING CONDITIONS PLAN
- C 2.0 DEVELOPMENT DEVELOPMENT PLAN
- C 2.1 DEVELOPMENT DEVELOPMENT PLAN
- C 2.3 TYPICAL ARCHITECTURE
- C 3.0 NORTH GRADING AND DRAINAGE PLAN
- C 3.1 SOUTH GRADING AND DRAINAGE PLAN
- C 4.0 NORTH ROW AND ACCESS PLAN
- C 4.1 SOUTH ROW AND ACCESS PLAN
- C 4.2 NORTH AUTOTURN PLAN
- C 4.3 SOUTH AUTOTURN PLAN
- C 5.0 NORTH UTILITY PLAN
- C 5.1 SOUTH UTILITY PLAN



MODIFICATION OF DESIGN STANDARDS REQUEST

THE APPLICANT REQUESTS A REDUCED CONNECTIVITY INDEX AS A RESULT OF THE ENVIRONMENTAL AND TOPOGRAPHICAL CONSTRAINTS OF THE NEIGHBORING PROPERTIES, AS WELL AS A LACK OF CONNECTION LOCATIONS TO EXISTING NEIGHBORHOODS ON THE REMAINING NEIGHBORING PROPERTIES.

REQUESTED MODIFICATIONS OF STANDARDS COLLETTA PUD SUBDIVISION

MOS 1

#1. Modification of Standards Request for Zoning Ordinance Section 3.5.10(2)(d)(iii) SWCO-3 Standards
 The applicant requests a Modification of Standards as it relates to the following item for the Seward Hall, Special Area 3: "New development shall be restricted to detached residential dwellings on lots with a minimum lot area of one to five acres." While this design criteria is appropriate for a portion of the proposed Colletta Park, it would not allow the development to appropriately transition to the high density development of the Carothers Parkway corridor. Approval of this MOS would allow the develop pattern in the proposed Colletta Park to transition between the two divergent, existing development patterns.
 The proposed Colletta Park PUD Development Plan is comprised of parcels in both the Seward Hall Special Area 3 Character Area and the McWen Special Area 6 Character Area. These two character areas support very different development patterns. The SWCO-3 contains several existing county subdivisions and has a suburban character. The MECC-6 area encompasses neighborhoods such as Lockwood Glen and promotes higher density development and the construction of both detached and attached homes. The previous Land Use Plan, in conjunction with this section of the Zoning Ordinance, attempted to define the neighborhood character and provide direction for future development. While language between these two documents was similar, it was not always exactly the same. For example, the previous Land Use Plan did not contain reference to the one acre minimum lot size item which is the subject of this MOS. The current Emission Franklin Design Concepts Map shows the portion of Colletta Park in the SWCO-3 as Single-Family Residential and the portion in MECC-6 as Mixed Residential. Both of these Design Concepts support the transition of lot size and development pattern between existing and proposed development.
 The design for the Colletta Park neighborhood relies heavily on providing transitions to existing, adjacent developments. Additionally, this same section of the ZO states that smaller lots "may be allowed if an applicant can demonstrate that a sufficient buffer will be provided between the two developments, or another method of mitigating potential conflicts will be provided." The northern portion of the development (furthest from MECC-6 boundary) is comprised of lots that are one acre or greater in size. And it should be noted that the density of the entire SWCO-3 portion of Colletta Park was held to 1 DUA. However, in order to meet the intent of the ZO requirement that "new development shall reflect lot area, setbacks, and scale of the surrounding developments," a transition zone was needed. As the development pattern extends south towards the MECC-6 area, the lot sizes also transition to smaller lots and a road network that more closely resembles a grid network. Large landscape buffers are provided on the perimeter of the new development as it transitions to lots less than one acre in size.

MOS 2

#2. Modification of Standards Request for Zoning Ordinance Section 5.10.4(2)(a) External Street Connectivity
 The applicant requests a Modification of Standards in order to exclude a roadway connection to Beacon Hill Drive, a County road that stubs to the proposed Colletta Park on a northern boundary. Approval of this MOS will allow the Colletta Park plan to be approved as designed: providing a cul-de-sac and open space adjacent to this stub road. If, at a time in the future, this roadway connection is desired, the road could be extended from the proposed cul-de-sac to the Beacon Hill Drive stub.
 During previous development proposals for the subject property, adjacent neighbors expressed concerns regarding connections to County roads.

OWNER: 089 05500
 ESTATE OF MARY ETTA ADAMS
 32 COLONEL WINSTEAD DRIVE
 BRENTWOOD, TN 37027
 JOHN E. ADAMS, JR EXECUTOR
 (615) 377-3219

OWNER: 079 MB 02800
 GLENN R. ADAMS
 PO BOX 680098
 FRANKLIN, TN 37067

OWNER: 079 MB 02900
 ROB G. ADAMS
 PO BOX 680098
 FRANKLIN, TN 37067

OWNER: 089 04303
 WATKINS PATTIE SUE
 4344 S CAROTHERS RD
 FRANKLIN, TN 37064

OWNER: 089 04304
 DURRIN GEORGE V
 4365 S CAROTHERS RD
 FRANKLIN, TN 37064

APPLICANT:
 GAMBLE DESIGN COLLABORATIVE
 144 SOUTHEAST PARKWAY
 SUITE 200
 FRANKLIN, TN 37064
 615.975.5765
 greggamble20@gmail.com
 GREG GAMBLE

ENGINEER:
 LAND SOLUTIONS COMPANY, LLC
 2925 BERRY HILL DRIVE
 NASHVILLE, TN 37204
 615.300.8496
 kevin@landsolutionsco.net
 KEVIN ESTES

NOTE: AERIAL PHOTO, PARCEL LINES AND TOPOGRAPHIC INFORMATION
 PROVIDED BY CITY OF FRANKLIN G.I.S.



LANDSCAPE ARCHITECT/PLANNER

GAMBLE DESIGN COLLABORATIVE
 144 SOUTHEAST PARKWAY SUITE 200
 FRANKLIN TN 37064
 GREG GAMBLE, RLA (615) 975-5765
 EMAIL ADDRESS: greggamble209@gmail.com



DEVELOPMENT PLAN

COLLETTA PARK PUD SUBDIVISION

COF # 6491
 FRANKLIN, TENNESSEE

SITE DATA:

PROJECT NAME:	COLLETTA PARK PUD SUBDIVISION
PROJECT NUMBER:	6491
SUBDIVISION:	NA
LOT NUMBER:	1101 RIDGEWAY DRIVE, MURFREESBORO ROAD
ADDRESS:	FRANKLIN
CITY:	WILLIAMSON
COUNTY:	TENNESSEE
STATE:	14TH CIVIL DISTRICT
CIVIL DISTRICT:	079 MB 002800
MAP, GROUP, PARCEL NUMBERS:	079 MB 02900 089 05500 089 04303 089 04304
EXISTING ZONING:	R-1
PROPOSED ZONING:	SD-R (1.31)
CHARACTER AREA OVERLAY:	MECC-6, SWCO-3
OTHER APPLICABLE OVERLAYS:	NONE
APPLICABLE DEVELOPMENT STANDARD:	CONVENTIONAL
TOTAL ACREAGE:	199 AC
TOTAL SQUARE FOOTAGE:	8,670,225

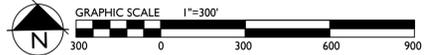
PRE-APPLICATION SUBMITTAL	JUNE 2, 2017
INITIAL SUBMITTAL	JULY 10, 2017
RESUBMITTAL	AUGUST 3, 2017
RESUBMITTAL	
REVISION	



Revision	Date
▲	08.03.2017
▲	
▲	
▲	

500' NEIGHBORS LIST:

PARCEL ID	OWNER ADDRESS	OWNER	CITY	STATE	ZIP	ZONE	CHARACTER AREA	LAND-USE	DEV STANDARD	
1	088-05500	MURFREESBORO RD	ADAMS JAMES E JR	Shelbywood	TN	37027	MGA-1	SWCO-3	Vacant	Conventional
2	079-09003	MURFREESBORO RD	FRENZEL G CHARLES S	Franklin	TN	37067	MGA-1	SWCO-3	Vacant	Conventional
3	079-09004	4091 MURFREESBORO RD	FRENZEL GERALD CHARLES JR	Franklin	TN	37067	MGA-1	SWCO-3	Residential	Conventional
4	079-09005	4095 MURFREESBORO RD	DODD WALTER EARLE SR	Franklin	TN	37067	MGA-1	SWCO-3	Residential	Conventional
5	079M-A03900	109 HOLLOW CT	HALBROOKS TRESA L	Franklin	TN	37067	NC	SWCO-3	Residential	Conventional
6	079M-A01000	113 HOLLOW CT	KENAWAY COLM	Franklin	TN	37067	NC	SWCO-3	Residential	Conventional
7	079M-A01100	115 HOLLOW CT	LUNA JONES W	Franklin	TN	37067	NC	SWCO-3	Residential	Conventional
8	079M-B02000	1104 RIDGEWAY DR	PFEIFFER LEONARD M	Franklin	TN	37067	NC	SWCO-3	Residential	Conventional
9	079M-B03000	1108 RIDGEWAY DR	BRADSHAW ANTHONY	Franklin	TN	37067	NC	SWCO-3	Residential	Conventional
10	079M-B02000	1112 RIDGEWAY DR	FERGUSON MATHEW ALLEN	Franklin	TN	37067	NC	SWCO-3	Residential	Conventional
11	079M-B00600	1114 RIDGEWAY DR	LAMBERT OLIVER J	Franklin	TN	37067	NC	SWCO-3	Residential	Conventional
12	079M-B00700	1200 RIDGEWAY DR	O'CONNELL PHILLIP	Franklin	TN	37067	NC	SWCO-3	Residential	Conventional
13	079M-B03800	1206 RIDGEWAY DR	RHEA KATHRYN L	Franklin	TN	37067	NC	SWCO-3	Residential	Conventional
14	079M-B03900	1210 RIDGEWAY DR	HANNIGAN PAUL D	Franklin	TN	37067	NC	SWCO-3	Residential	Conventional
15	079M-B01500	2001 BEACON HILL DR	WILLIS WADE A	Franklin	TN	37067	NC	SWCO-3	Residential	Conventional
16	079M-B01600	1995 BEACON HILL DR	PRUITT JAY R	Franklin	TN	37067	NC	SWCO-3	Residential	Conventional
17	079M-B01700	1991 BEACON HILL DR	CAPLEN BRIAN GEORGE	Franklin	TN	37067	NC	SWCO-3	Residential	Conventional
18	079M-B01800	1211 RIDGEWAY DR	SUNGER AND RUTH	Franklin	TN	37067	NC	SWCO-3	Residential	Conventional
19	079M-B01900	1209 RIDGEWAY DR	BRITTAIN THOMAS DAVID	Franklin	TN	37067	NC	SWCO-3	Residential	Conventional
20	079M-B02000	1207 RIDGEWAY DR	SHOEMAKE JULIUS S	Franklin	TN	37067	NC	SWCO-3	Residential	Conventional
21	079M-B02100	1205 RIDGEWAY DR	PACKARD DONALD A	Franklin	TN	37067	NC	SWCO-3	Residential	Conventional
22	079M-B02200	1203 RIDGEWAY DR	OWENS MICHAEL A	Franklin	TN	37067	NC	SWCO-3	Residential	Conventional
23	079M-B02300	1101 STANFORD DR	BURNS WILLIAM C JR	Franklin	TN	37067	NC	SWCO-3	Residential	Conventional
24	079M-B02400	1115 RIDGEWAY DR	MCEHLE MARK A	Franklin	TN	37067	NC	SWCO-3	Residential	Conventional
25	079M-B02500	1111 RIDGEWAY DR	RICH DALY	Franklin	TN	37067	NC	SWCO-3	Residential	Conventional
26	079M-B02600	1109 RIDGEWAY DR	BUSSELL MEFER NORMAN T III	Franklin	TN	37067	NC	SWCO-3	Residential	Conventional
27	079M-B02700	1105 RIDGEWAY DR	GOERZEN LAURIE	Franklin	TN	37067	NC	SWCO-3	Residential	Conventional
28	088-04900	4115 MURFREESBORO RD	WRIGHT GLEN EFFERSON	Franklin	TN	37067	MGA-1	SWCO-2	Residential	Either
29	088-05000	1980 CEDARHILL DR	MIZELL TROY A	Thompson Station	TN	37179	MGA-1	SWCO-3	Est Residential	Conventional
30	088-05001	4119 MURFREESBORO RD	CHURCH ST JOHNSTAIN EPISCOPAL	Franklin	TN	37219	MGA-1	SWCO-3	Residential	Either
31	088-05002	1972 CEDARHILL DR	MIZELL TROY A	Franklin	TN	37067	MGA-1	SWCO-2	Residential	Either
32	088-05006	1982 CEDARHILL DR	SLAUGHTER JAMES C	Franklin	TN	37067	MGA-1	SWCO-3	Residential	Conventional
33	088-05007	MURFREESBORO RD	CEMETERY HOLY CROSS-MARSHALL	Franklin	TN	37067	MGA-1	SWCO-3	Cmc	Conventional
34	088-05008	MURFREESBORO RD	CEMETERY MARSHALL	Franklin	TN	37067	MGA-1	SWCO-3	Cmc	Conventional
35	088A-A00500	4209 WARREN RD	POMEROY DAVE GLENN JR	Franklin	TN	37067	MGA-1	SWCO-3	Residential	Conventional
36	088A-A00600	4211 WARREN RD	DOSUNMU BASIL OLUMAJIDE	Franklin	TN	37067	MGA-1	SWCO-3	Residential	Conventional
37	088A-A00700	4213 WARREN RD	PORTER JERRI L	Franklin	TN	37067	MGA-1	SWCO-3	Residential	Conventional
38	088A-A00800	4215 WARREN RD	ROBERTS HAL M	Franklin	TN	37067	MGA-1	SWCO-3	Residential	Conventional
39	089-03000	4340 S CAROTHERS RD	GLASS JEAN MARIE GILES	Franklin	TN	37067	R-1 (COF)	MECO-6	Agriculture	Conventional
40	089-03001	4338 S CAROTHERS RD	GLASS HARRY GREGORY	Franklin	TN	37067	R-1 (COF)	MECO-6	Residential	Conventional
41	089-03100	4113 MURFREESBORO RD	MIZELL TROY A	Thompson Station	TN	37179	MGA-1	SWCO-3	Est Residential	Conventional
42	089-03200	4211 WARREN RD	HICKERSON LOU WILLE	Franklin	TN	37067	MGA-1	SWCO-3	Residential	Conventional
43	089-03300	4211 WARREN RD	HICKERSON ROBERT JR	Franklin	TN	37064	MGA-1	SWCO-3	Est Residential	Conventional
44	089-03301	4223 WARREN RD	HICKERSON LOU WILLE	Franklin	TN	37067	MGA-1	SWCO-3	Vacant	Conventional
45	089-03500	4269 WARREN RD	KING WILLIAM ROBERT	Franklin	TN	37067	MGA-1	SWCO-3	Agriculture	Conventional
46	089-03501	4240 WARREN RD	HUMPHREY ROALD	Franklin	TN	37067	MGA-1	SWCO-3	Est Residential	Conventional
47	089-03502	4244 WARREN RD	OFMAN LEE	Franklin	TN	37067	MGA-1	SWCO-3	Est Residential	Conventional
48	089-03503	4248 WARREN RD	LASTER KELLY D	Franklin	TN	37067	MGA-1	SWCO-3	Est Residential	Conventional
49	089-03504	4252 WARREN RD	SKAGGS FRANK P IV	Franklin	TN	37067	MGA-1	SWCO-3	Residential	Conventional
50	089-03505	4256 WARREN RD	KANDEL MARY E REVOCABLE TRUST	Franklin	TN	37067	MGA-1	SWCO-3	Est Residential	Conventional
51	089-03506	4260 WARREN RD	DESANTIS DEREK T	Franklin	TN	37067	MGA-1	SWCO-3	Est Residential	Conventional
52	089-03507	4264 WARREN RD	HOOD JONATHAN S	Franklin	TN	37067	MGA-1	SWCO-3	Est Residential	Conventional
53	089-03508	4268 WARREN RD	MCGRATH ROBERT PAUL	Franklin	TN	37067	MGA-1	SWCO-3	Est Residential	Conventional
54	089-03509	4272 WARREN RD	REGESUS JOSEPH A	Franklin	TN	37067	MGA-1	SWCO-3	Residential	Conventional
55	089-03600	4276 WARREN RD	HOOD JAMES ROBERT	Franklin	TN	37067	MGA-1	SWCO-3	Agriculture	Conventional
56	089-03602	4261 WARREN RD	PEREZ ANDRES	Franklin	TN	37067	MGA-1	SWCO-3	Est Residential	Conventional
57	089-03607	4267 WARREN RD	HOOD JAMES ROBERT JR	Franklin	TN	37067	MGA-1	SWCO-3	Est Residential	Conventional
58	089-03608	4263 WARREN RD	MOORE JERRY ADOPSON JR	Franklin	TN	37067	MGA-1	SWCO-3	Est Residential	Conventional
59	089-03700	4435 S CAROTHERS RD	SIMMONS RIDGE JOINT VENTURE	Franklin	TN	37067	R-2 (COF)	MECO-6	Agriculture	Conventional
60	089-03800	4378 S CAROTHERS RD	SMITH STERLING C	Franklin	TN	37067	MGA-1	SWCO-3	Open Space	Conventional
61	089-03801	S CAROTHERS RD	SMITH STERLING C	Franklin	TN	37064	MGA-1	SWCO-3	Vacant	Conventional
62	089-03900	4372 S CAROTHERS RD	RIEDEL BERNHARD	Franklin	TN	37064	MGA-1	SWCO-3	Residential	Conventional
63	089-04000	4364 S CAROTHERS RD	HETHCOCK JAMES G	Franklin	TN	37064	MGA-1	SWCO-3	MixedUse	Conventional
64	089-04200	4352 S CAROTHERS RD	ANDERSON WILMA JUNE TRUST	Franklin	TN	37064	MGA-1	SWCO-3	Est Residential	Conventional
65	089-04301	S CAROTHERS RD	LOCKWOOD DEXTER	Franklin	TN	37067	R-2 (COF)	MECO-6	Agriculture	Conventional
66	089-04302	4348 S CAROTHERS RD	PEDER RALPH H JR	Franklin	TN	37064	MGA-1	SWCO-3	Est Residential	Conventional
67	089-04303	4344 S CAROTHERS RD	WATKINS PATTI SUE	Franklin	TN	37064	MGA-1	SWCO-3	Est Residential	Conventional
68	089-04304	4350 S CAROTHERS RD	DURNIN GEORGE V	Franklin	TN	37064	MGA-1	SWCO-3	Agriculture	Conventional
69	089-04400	4341 S CAROTHERS RD	RUSSELL ROBERT	Franklin	TN	37067	ER	MECO-6	Agriculture	Conventional
70	089-05501	WARREN RD	MILCROFTON UTILITY DIST	Franklin	TN	37064	MGA-1	SWCO-3	Utilities	Conventional
71	089-05502	MURFREESBORO RD	MILCROFTON UTILITY DIST	Franklin	TN	37064	MGA-1	SWCO-3	Utilities	Conventional



LEGAL DESCRIPTION FOR PARCELS 079M-B02800 AND 079M-B02900

LAND LYING IN THE FOURTEENTH CIVIL DISTRICT OF WILLIAMSON COUNTY, BEING LOTS 127 AND 128 ON THE FINAL PLAT FOR SECTION 1 OF FRANKLIN EAST, OF RECORD IN PLAT BOOK 6, PAGE 91, REGISTER'S OFFICE OF WILLIAMSON COUNTY, TENNESSEE, AND CONTAINING 2.7 ACRES MORE OR LESS.

LEGAL DESCRIPTION FOR PARCELS 089-04303, 089-04304, & 089-05500

THE FOLLOWING LEGAL DESCRIPTION IS FOR LAND IN THE FOURTEENTH CIVIL DISTRICT OF WILLIAMSON COUNTY, LOCATED ON THE LANDS OF JAMES E. ADAMS, JR., OF RECORD IN DEED BOOK 2008, PAGE 702, R.O.W.C., TN, PATTI SUE WATKINS, OF RECORD IN DEED BOOK 6074, PAGE 249, R.O.W.C., TN, AND GEORGE V. DURRIN, OF RECORD IN DEED BOOK 1601, PAGE 1006, R.O.W.C., TN, AND MORE PARTICULARLY DESCRIBED IN AS FOLLOWS:

BEGINNING AT A POINT IN THE NORTH MARGIN OF SOUTH CAROTHERS ROAD, APPROXIMATELY 1650 FEET SOUTH-EAST OF THE INTERSECTION OF FALCON CREEK DRIVE AND SAID SOUTH CAROTHERS ROAD;

THENCE LEAVING THE NORTH MARGIN OF SAID SOUTH CAROTHERS ROAD, NORTH 44 DEGREES 04 MINUTES 29 SECONDS EAST, A DISTANCE OF 621.82 FEET TO A POINT;

THENCE NORTH 08 DEGREES 24 MINUTES 25 SECONDS EAST, A DISTANCE OF 222.13 FEET TO A POINT;

THENCE SOUTH 82 DEGREES 57 MINUTES 25 SECONDS EAST, A DISTANCE OF 297.62 FEET TO A POINT;

THENCE SOUTH 81 DEGREES 57 MINUTES 51 SECONDS EAST, A DISTANCE OF 10.49 FEET TO A POINT;

THENCE NORTH 15 DEGREES 32 MINUTES 59 SECONDS EAST, A DISTANCE OF 2,025.58 FEET TO A POINT;

THENCE NORTH 06 DEGREES 33 MINUTES 34 SECONDS EAST, A DISTANCE OF 861.42 FEET TO A POINT;

THENCE SOUTH 89 DEGREES 39 MINUTES 04 SECONDS WEST, A DISTANCE OF 319.84 FEET TO A POINT;

THENCE SOUTH 02 DEGREES 33 MINUTES 32 SECONDS WEST, A DISTANCE OF 149.73 FEET TO A POINT;

THENCE NORTH 75 DEGREES 48 MINUTES 17 SECONDS EAST, A DISTANCE OF 768.48 FEET TO A POINT;

THENCE NORTH 09 DEGREES 39 MINUTES 11 SECONDS WEST, A DISTANCE OF 117.87 FEET TO A POINT;

THENCE NORTH 29 DEGREES 14 MINUTES 05 SECONDS EAST, A DISTANCE OF 293.60 FEET TO A POINT;

THENCE NORTH 20 DEGREES 05 MINUTES 58 SECONDS EAST, A DISTANCE OF 210.10 FEET TO A POINT;

THENCE SOUTH 62 DEGREES 38 MINUTES 15 SECONDS EAST, A DISTANCE OF 48.00 FEET TO A POINT;

THENCE SOUTH 69 DEGREES 38 MINUTES 11 SECONDS EAST, A DISTANCE OF 509.70 FEET TO A POINT;

THENCE SOUTH 76 DEGREES 09 MINUTES 25 SECONDS EAST, A DISTANCE OF 277.18 FEET TO A POINT;

THENCE SOUTH 26 DEGREES 11 MINUTES 34 SECONDS WEST, A DISTANCE OF 520.34 FEET TO A POINT;

THENCE SOUTH 59 DEGREES 49 MINUTES 41 SECONDS EAST, A DISTANCE OF 862.61 FEET TO A POINT;

THENCE SOUTH 26 DEGREES 16 MINUTES 06 SECONDS WEST, A DISTANCE OF 444.04 FEET TO A POINT;

THENCE NORTH 70 DEGREES 59 MINUTES 36 SECONDS WEST, A DISTANCE OF 28.01 FEET TO A POINT;

THENCE SOUTH 06 DEGREES 10 MINUTES 51 SECONDS WEST, A DISTANCE OF 403.96 FEET TO A POINT;

THENCE SOUTH 20 DEGREES 12 MINUTES 18 SECONDS WEST, A DISTANCE OF 14.56 FEET TO A POINT;

THENCE NORTH 78 DEGREES 25 MINUTES 28 SECONDS WEST, A DISTANCE OF 356.81 FEET TO A POINT;

THENCE NORTH 09 DEGREES 56 MINUTES 19 SECONDS EAST, A DISTANCE OF 100.04 FEET TO A POINT;

THENCE NORTH 78 DEGREES 25 MINUTES 28 SECONDS WEST, A DISTANCE OF 110.05 FEET TO A POINT;

THENCE NORTH 09 DEGREES 56 MINUTES 27 SECONDS EAST, A DISTANCE OF 25.01 FEET TO A POINT;

THENCE NORTH 78 DEGREES 25 MINUTES 30 SECONDS WEST, A DISTANCE OF 125.05 FEET TO A POINT;

THENCE SOUTH 09 DEGREES 54 MINUTES 17 SECONDS WEST, A DISTANCE OF 125.05 FEET TO A POINT;

THENCE NORTH 78 DEGREES 25 MINUTES 29 SECONDS WEST, A DISTANCE OF 734.65 FEET TO A POINT;

THENCE SOUTH 12 DEGREES 44 MINUTES 58 SECONDS WEST, A DISTANCE OF 784.89 FEET TO A POINT;

THENCE SOUTH 79 DEGREES 24 MINUTES 14 SECONDS EAST, A DISTANCE OF 1,031.05 FEET TO A POINT;

THENCE NORTH 62 DEGREES 28 MINUTES 37 SECONDS EAST, A DISTANCE OF 119.56 FEET TO A POINT;

THENCE SOUTH 00 DEGREES 37 MINUTES 45 SECONDS WEST, A DISTANCE OF 1,031.05 FEET TO A POINT;

THENCE SOUTH 76 DEGREES 33 MINUTES 22 SECONDS EAST, A DISTANCE OF 81.00 FEET TO A POINT;

THENCE SOUTH 09 DEGREES 52 MINUTES 41 SECONDS WEST, A DISTANCE OF 206.49 FEET TO A POINT;

THENCE SOUTH 57 DEGREES 04 MINUTES 46 SECONDS WEST, A DISTANCE OF 151.05 FEET TO A POINT;

THENCE SOUTH 49 DEGREES 16 MINUTES 17 SECONDS WEST, A DISTANCE OF 170.39 FEET TO A POINT;

THENCE SOUTH 41 DEGREES 39 MINUTES 12 SECONDS WEST, A DISTANCE OF 123.05 FEET TO A POINT;

THENCE NORTH 83 DEGREES 17 MINUTES 12 SECONDS WEST, A DISTANCE OF 441.91 FEET TO A POINT;

THENCE NORTH 75 DEGREES 19 MINUTES 30 SECONDS WEST, A DISTANCE OF 540.96 FEET TO A POINT;

THENCE SOUTH 15 DEGREES 23 MINUTES 08 SECONDS WEST, A DISTANCE OF 951.14 FEET TO A POINT;

THENCE NORTH 82 DEGREES 39 MINUTES 38 SECONDS WEST, A DISTANCE OF 60.79 FEET TO A POINT;

THENCE SOUTH 28 DEGREES 07 MINUTES 56 SECONDS WEST, A DISTANCE OF 646.53 FEET TO A POINT;

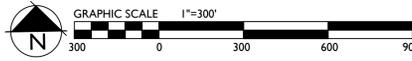
THENCE NORTH 75 DEGREES 15 MINUTES 25 SECONDS WEST, A DISTANCE OF 215.00 FEET TO A POINT;

THENCE NORTH 05 DEGREES 42 MINUTES 26 SECONDS EAST, A DISTANCE OF 1,148.85 FEET TO A POINT;

THENCE NORTH 83 DEGREES 34 MINUTES 21 SECONDS WEST, A DISTANCE OF 1,067.76 FEET TO A POINT, SAID POINT BEING IN THE NORTH MARGIN OF SAID SOUTH CAROTHERS ROAD;

THENCE WITH THE NORTH MARGIN OF SAID SOUTH CAROTHERS ROAD, NORTH 71 DEGREES 12 MINUTES 54 SECONDS WEST, A DISTANCE OF 37.65 FEET TO A POINT;

THENCE NORTH 73 DEGREES 51 MINUTES 47 SECONDS WEST, A DISTANCE OF 77.67 FEET TO THE POINT OF BEGINNING, AND CONTAINING 8,552,236.49 SQUARE FEET OR 196.33 ACRES MORE OR LESS.



NOTES:
 1. PARCEL LINES PROVIDED BY CITY OF FRANKLIN G.I.S.
 2. SITE BOUNDARY PROVIDED BY LAND SOLUTIONS COMPANY

Lot	Address	Owner	County	State	Parcel ID	SWCO	Residential	Conventional
72	1149 CROSS CREEK DR	CRANSTON WALTER KEITH	Franklin	TN	37067 NC	SWCO-3	Residential	Conventional
73	213 VANTAGE WAY	CHRISTOFFERSEN B MICHON	Franklin	TN	37067 NC	SWCO-3	Residential	Conventional
74	209 VANTAGE WAY	MURPHY JOHN L	Franklin	TN	37067 NC	SWCO-3	Residential	Conventional
75	205 VANTAGE WAY	WEL MICHAEL P	Franklin	TN	37067 NC	SWCO-3	Residential	Conventional
76	201 VANTAGE WAY	RANDS TIFFANY A	Franklin	TN	37067 NC	SWCO-3	Residential	Conventional
77	200 VANTAGE WAY	JORDAN MARGARET	Franklin	TN	37067 NC	SWCO-3	Residential	Conventional
78	204 VANTAGE WAY	JOHNSON VAIL	Franklin	TN	37067 NC	SWCO-3	Residential	Conventional
79	208 VANTAGE WAY	BEASLEY EVERETT L JR	Franklin	TN	37067 NC	SWCO-3	Residential	Conventional
80	1131 CROSS CREEK DR	HASSLER MICHAEL C	Franklin	TN	37067 NC	SWCO-3	Residential	Conventional
81	1133 CROSS CREEK DR	OKERSON C ALBERT	Franklin	TN	37067 NC	SWCO-3	Residential	Conventional
82	301 RIDGETOP CT	HILL SARAH	Franklin	TN	37067 NC	SWCO-3	Residential	Conventional
83	1153 CROSS CREEK DR	BRASEL MIKE T	Franklin	TN	37067 NC	SWCO-3	Residential	Conventional
84	1157 CROSS CREEK DR	CRASMAN ALAN R	Franklin	TN	37067 NC	SWCO-3	Residential	Conventional
85	1159 CROSS CREEK DR	YOUNG CLAYTON S	Franklin	TN	37067 NC	SWCO-3	Residential	Conventional
86	1163 CROSS CREEK DR	MINCHEW ALAN B	Franklin	TN	37067 NC	SWCO-3	Residential	Conventional
87	1162 CROSS CREEK DR	PRUITT TIMOTHY A	Franklin	TN	37067 NC	SWCO-3	Residential	Conventional
88	405 CROSS CREEK CT	CASE STEVEN H	Franklin	TN	37067 NC	SWCO-3	Residential	Conventional
89	409 CROSS CREEK CT	EVANS MICHAEL D	Franklin	TN	37067 NC	SWCO-3	Residential	Conventional
90	1174 CROSS CREEK DR	WOOD CHARLES A JR	Franklin	TN	37067 NC	SWCO-3	Residential	Conventional
91	404 CROSS CREEK CT	JOHNSON DAVID E	Franklin	TN	37067 NC	SWCO-3	Residential	Conventional
92	400 CROSS CREEK CT	DOHAJOE JOHN JR	Franklin	TN	37067 NC	SWCO-3	Residential	Conventional
93	4229 WARREN RD	HENSON HEATHER	Franklin	TN	37067 MGA-1	SWCO-3	Residential	Conventional
94	4233 WARREN RD	REINREDF DANA	Franklin	TN	37067 MGA-1	SWCO-3	Residential	Conventional
95	4237 WARREN RD	GILMORE JOE H	Franklin	TN	37067 MGA-1	SWCO-3	Residential	Conventional
96	4241 WARREN RD	EBBE DANIEL HENT	Franklin	TN	37067 MGA-1	SWCO-3	Residential	Conventional
97	4245 WARREN RD	KLEBER MICHAEL	Franklin	TN	37067 MGA-1	SWCO-3	Residential	Conventional
98	4249 WARREN RD	ALLINSON JOHN E	Franklin	TN	37067 MGA-1	SWCO-3	Residential	Conventional
99	4253 WARREN RD	THOMPSON TIMOTHY W	Franklin	TN	37067 MGA-1	SWCO-3	Residential	Conventional
100	4257 WARREN RD	POMERO CLAUDIO	Franklin	TN	37067 MGA-1	SWCO-3	Residential	Conventional
101	4261 WARREN RD	NEWMAN ANDREW J	Franklin	TN	37067 MGA-1	SWCO-3	Residential	Conventional
102	4265 WARREN RD	COGHLAN PATRICK W	Franklin	TN	37067 MGA-1	SWCO-3	Residential	Conventional
103	4201 WARREN CT	KRENDEL NORMAN K	Franklin	TN	37067 MGA-1	SWCO-3	Residential	Conventional
104	4210 WARREN CT	EDGE SARAUEL S	Franklin	TN	37067 MGA-1	SWCO-3	Residential	Conventional
105	4205 WARREN CT	BROWN ROBERT LEE	Franklin	TN	37067 MGA-1	SWCO-3	Residential	Conventional
106	4207 WARREN CT	REEVES TOMMY L	Franklin	TN	37067 MGA-1	SWCO-3	Residential	Conventional
107	4220 WARREN RD	CARLAND ROBERT MORGAN	Franklin	TN	37067 MGA-1	SWCO-3	Residential	Conventional
108	4218 WARREN RD	CAMERON JAMES	Franklin	TN	37067 MGA-1	SWCO-3	Residential	Conventional
109	4218 WARREN RD	NEWMAN ANDREW J	Franklin	TN	37067 MGA-1	SWCO-3	Residential	Conventional
110	1176 CROSS CREEK DR	SYBERT JAMES G	Franklin	TN	37067 NC	SWCO-3	Residential	Conventional
111	1178 CROSS CREEK DR	MONTEATH DAVID B	Franklin	TN	37067 NC	SWCO-3	Residential	Conventional
112	1182 CROSS CREEK DR	HELTON MICHAEL GLENN	Franklin	TN	37067 NC	SWCO-3	Residential	Conventional
113	504 BILTMORE CT	DEBOLT SHARON	Franklin	TN	37067 NC	SWCO-3	Residential	Conventional
114	505 BILTMORE CT	HORECKA DANIEL P	Franklin	TN	37067 NC	SWCO-3	Residential	Conventional
115	501 BILTMORE CT	JOSLIN REBECCA P	Franklin	TN	37064 NC	SWCO-3	Residential	Conventional
116	1190 CROSS CREEK DR	JAMESON ZACHARY	Franklin	TN	37067 NC	SWCO-3	Residential	Conventional
117	1191 CROSS CREEK DR	SYLVEIS LAWRENCE G	Franklin	TN	37067 NC	SWCO-3	Residential	Conventional
118	1187 CROSS CREEK DR	BYRNE DANIEL W	Franklin	TN	37067 NC	SWCO-3	Residential	Conventional
119	1183 CROSS CREEK DR	BARNES PHILIP H JR	Franklin	TN	37067 NC	SWCO-3	Residential	Conventional
120	1181 CROSS CREEK DR	WARDEN MARK ALAN	Franklin	TN	37067 NC	SWCO-3	Residential	Conventional
121	1177 CROSS CREEK DR	CAPRIELL LUDY M	Franklin	TN	37067 NC	SWCO-3	Residential	Conventional
122	1175 CROSS CREEK DR	HODGES D BROOKS III	Franklin	TN	37067 NC	SWCO-3	Residential	Conventional
123	1173 CROSS CREEK DR	COOTS EDWARD B	Franklin	TN	37067 NC	SWCO-3	Residential	Conventional
124	1169 CROSS CREEK DR	LARMORE CAROL S TR	Franklin	TN	37067 NC	SWCO-3	Residential	Conventional
125	1167 CROSS CREEK DR	CAULLI MAX T	Franklin	TN	37067 NC	SWCO-3	Residential	Conventional
126	1165 CROSS CREEK DR	MCGRAW DEREK S	Franklin	TN	37067 NC	SWCO-3	Residential	Conventional
127	MURFREESBORO RD	KRANTZ ANNE J FREEMAN	Franklin	TN	37067 MGA-1	SWCO-3	Vacant	Conventional
128	4356 S CAROTHERS RD	PIGG BILLY H TR	Franklin	TN	37064 MGA-1	SWCO-3	Est. Residential	Conventional
129	1110 RIDGEWAY DR	PINK SKYE ENTERTAINMENT LLC	Franklin	TN	37067 NC	SWCO-3	Residential	Conventional
130	4225 WARREN RD	CAROTHERS DANIEL T JR	Franklin	TN	37067 MGA-1	SWCO-3	Est. Residential	Conventional
131	1100 RIDGEWAY DR	OCTOBER PARK PARTNERS LLC	Franklin	TN	37067 SDR	SWCO-3	Residential	Conventional
132	MURFREESBORO RD	OCTOBER PARK PARTNERS LLC	Franklin	TN	37067 SDR	SWCO-3	Residential	Conventional
133	MURFREESBORO RD	OCTOBER PARK PARTNERS LLC	Franklin	TN	37067 SDR	SWCO-3	Residential	Conventional
134	4100 MURFREESBORO RD	FOUNDATIONS OF FRANKLIN LLC	Franklin	TN	37064 SDC	SWCO-3	Multi-Family	Conventional
135	4068 MURFREESBORO RD	BETTS CHRISTOPHER E	Franklin	TN	37067 R-1 (COF)	SWCO-3	Residential	Either
136	4072 MURFREESBORO RD	SALAZAR MARY ELLEN	Franklin	TN	37067 R-1 (COF)	SWCO-3	Residential	Either
137	4078 MURFREESBORO RD	BOJEMAN ANDREW W	Franklin	TN	37067 R-1 (COF)	SWCO-3	Residential	Either
138	107 CHESTER STEPHENS CT	CAVENDER DAVID O	Franklin	TN	37067 R-1 (COF)	SWCO-3	Residential	Either
139	111 CHESTER STEPHENS CT	MOGURE W GARY AND JANE M REV TRUST	Franklin	TN	37067 R-1 (COF)	SWCO-3	Residential	Either
140	115 CHESTER STEPHENS CT	TAYLOR ROBERT P AND JAN J TAYLOR REV TR	Franklin	TN	37067 R-1 (COF)	SWCO-3	Residential	Either
141	209 SPRINGHOUSE DR	AWAD GEORGE	Franklin	TN	37067 R-1 (COF)	SWCO-3	Residential	Either
142	CHESTER STEPHENS RD	CALDWELL EST HOMEOWNERS ASSOC INC	Nashville	TN	37202 R-1 (COF)	SWCO-3	Open Space	Either
143	102 CHESTER STEPHENS RD	BERRY THOMAS	Franklin	TN	37067 R-1 (COF)	SWCO-2	Residential	Either
144	CHESTER STEPHENS RD	CALDWELL EST HOMEOWNERS ASSOC INC	Nashville	TN	37067 R-1 (COF)	SWCO-2	Open Space	Either

**COLLETTA PARK PUD SUBDIVISION
 DEVELOPMENT PLAN**
 Franklin, Williamson County, Tennessee



Revision	Date
1	08.03.2017
2	
3	
4	



Revision	Date
△	08.03.2017
△	
△	
△	

NOTES:

1. THERE ARE NO FLOODPLAINS EXISTING ON THE SITE BASED ON FEMA MAP 47187C0220F & 47187C0214F.
2. AERIAL PHOTO, PARCEL LINES AND TOPOGRAPHIC INFORMATION PROVIDED BY CITY OF FRANKLIN G.I.S.
3. AERIAL PHOTO, PARCEL LINES AND TOPOGRAPHIC INFORMATION PROVIDED BY CITY OF FRANKLIN G.I.S.
4. SITE BOUNDARY CALLS PROVIDED BY LAND SOLUTIONS COMPANY.
5. NO THIRD PARTY MINERAL RIGHTS ARE ASSOCIATED WITH THIS PROPERTY.

EXISTING TREE CANOPY

BASED ON AERIAL PHOTOGRAPHS OF THE PROPERTY THE EXISTING TREE CANOPY IS APPROXIMATELY 138 ACRES WHICH IS 69.4% OF THE TOTAL SITE

TREE CANOPY DATA

TREE AREA	EXISTING
TREE A	20,501 SF
TREE B	184,595 SF
TREE C	5,661,025 SF
TREE D	152,235 SF
TOTAL SF	6,018,356 SF

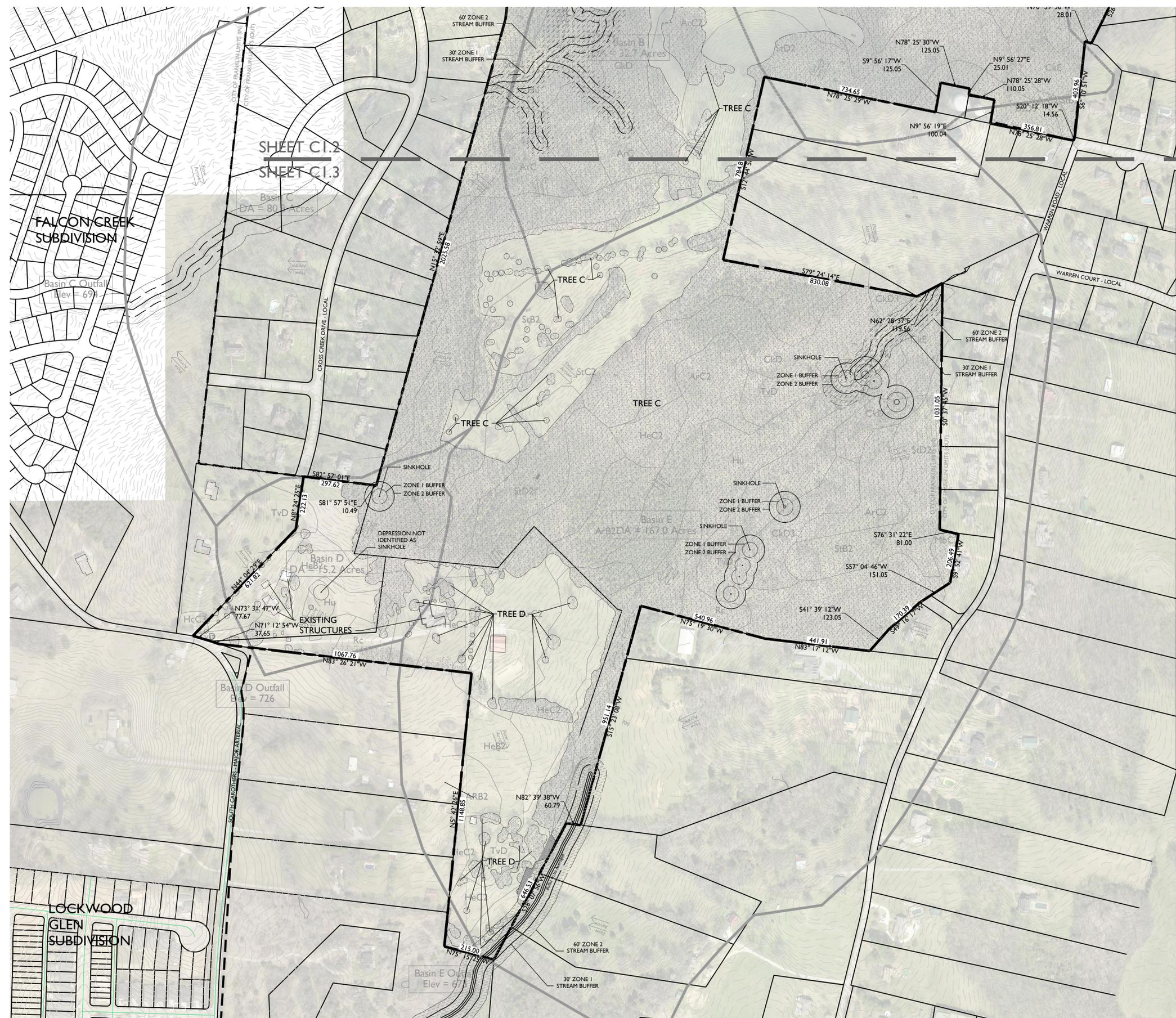
EXISTING TREE CANOPY: 6,018,356 SF
 6,018,356 SF / 8,670,225 SF = 69.4% (69.4%) OF TOTAL SITE

REQUIRED CANOPY PRESERVATION =
 36% OF TOTAL CANOPY
 6,018,356 SF * 36% = 2,166,608 SF

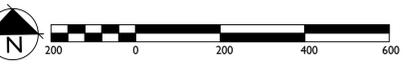
LEGEND

- SLOPES 14%-20%
- SLOPES >20%
- EXISTING TREE CANOPY
- STREAM BUFFER

Map Unit Symbol	Map Unit Name
ARB	Armour silt loam, 2 to 5 percent slopes
ARB2	Armour silt loam, 2 to 5 percent slopes, eroded
ARC	Armour silt loam, 5 to 12 percent slopes
ARC2	Armour silt loam, 5 to 12 percent slopes, eroded
BRB2	Braxton cherty silt loam, 2 to 5 percent slopes, eroded
BRC2	Braxton cherty silt loam, 5 to 12 percent slopes, eroded
BSC3	Braxton cherty silty clay loam, 5 to 12 percent slopes, severely eroded
BSD3	Braxton cherty silty clay loam, 12 to 20 percent slopes, severely eroded
CKC	Culleoka silt loam, 5 to 12 percent slopes
CKD	Culleoka silt loam, 12 to 20 percent slopes
CKD3	Culleoka silt loam, 12 to 20 percent slopes, severely eroded
CKE	Culleoka silt loam, 20 to 35 percent slopes
CKE3	Culleoka silt loam, 20 to 35 percent slopes, severely eroded
Eg	Egam silt loam, phosphatic
Gu	Gullied land
HcC3	Hampshire silty clay loam, 5 to 12 percent slopes, severely eroded
HeB2	Hampshire-colbert silt loams, 2 to 5 percent slopes, eroded
HeC2	Hampshire-colbert silt loams, 5 to 12 percent slopes, eroded
HhC3	Hampshire-colbert silty clay loams, 5 to 12 percent slopes, severely eroded
Hu	Huntington silt loam, phosphatic
Ind3	Inman silty clay loam, 12 to 20 percent slopes, severely eroded
Lp	Lindell silt loam, 0 to 2 percent slopes, occasionally flooded
MB2	Maury silt loam, 5 to 12 percent slopes, eroded
MNE	Mimosa-Rock outcrop complex, 20 to 40 percent slopes
MdD	Ashwood-Mimosa-Rock outcrop complex, 5 to 15 percent slopes
Rc	Rodland
SR3	Stiversville clay loam, 5 to 12 percent slopes, severely eroded
SRD3	Stiversville clay loam, 12 to 20 percent slopes, severely eroded
SB2	Stiversville silt loam, 2 to 5 percent slopes, eroded
SK2	Stiversville silt loam, 5 to 12 percent slopes, eroded
SD2	Stiversville silt loam, 12 to 20 percent slopes, eroded
TVD	Talbot very rocky soils, 2 to 15 percent slopes



SHEET C1.2
 SHEET C1.3





Revision	Date
1	08.03.2017
2	
3	
4	

**REQUESTED MODIFICATIONS OF STANDARDS
 COLLETTA PUD SUBDIVISION**

MOS 1

#1. Modification of Standards Request for Zoning Ordinance Section 3.5.10(2)(d)(iii) SWCO-3 Standards
 The applicant requests a Modification of Standards as it relates to the following item for the Seward Hall, Special Area 3: "new development shall be restricted to detached residential dwellings on lots with a minimum lot area of one to five acres." While this design criteria is appropriate for a portion of the proposed Colletta Park, it would not allow the development to appropriately transition to the high density development of the Carothers Parkway corridor. Approval of this MOS would allow the develop pattern in the proposed Colletta Park to transition between the two divergent, existing development patterns.
 The proposed Colletta Park PUD Development Plan is comprised of parcels in both the Seward Hall Special Area 3 Character Area and the McEwen Special Area 6 Character Area. These two character areas support very different development patterns. The SWCO-3 contains several existing county subdivisions and has a suburban character. The MECD-6 area encompasses neighborhoods such as Lockwood Glen and promotes higher density development and the construction of both detached and attached homes. The previous Land Use Plan, in conjunction with this section of the Zoning Ordinance, attempted to define the neighborhood character and provide direction for future development. While language between these two documents was similar, it was not always exactly the same. For example, the previous Land Use Plan did not contain reference to the one acre minimum lot size item which is the subject of this MOS. The current Envision Franklin Design Concepts Map shows the portion of Colletta Park in the SWCO-3 as Single-Family Residential and the portion in MECD-6 as Mixed Residential. Both of these Design Concepts support the transition of lot size and development pattern between existing and proposed development. The design for the Colletta Park neighborhood relies heavily on providing transitions to existing, adjacent developments. Additionally, this same section of the ZO states that smaller lots "may be allowed if an applicant can demonstrate that a sufficient buffer will be provided between the two developments, or another method of mitigating potential conflicts will be provided." The northern portion of the development (furthest from MECD-6 boundary) is comprised of lots that are one acre or greater in size. And it should be noted that the density of the entire SWCO-3 portion of Colletta Park was held to 1 DUA. However, in order to meet the intent of the ZO requirement that "new development shall reflect lot area, setbacks, and scale of the surrounding developments," a transition zone was needed. As the development pattern extends south towards the MECD-6 area, the lot sizes also transition to smaller lots and a road network that more closely resembles a grid network. Large landscape buffers are provided on the perimeter of the new development as it transitions to lots less than one acre in size.

MOS 2

#2. Modification of Standards Request for Zoning Ordinance Section 5.10.4(2)(a) External Street Connectivity
 The applicant requests a Modification of Standards in order to exclude a roadway connection to Bacon Hill Drive, a County road that stubs to the proposed Colletta Park on a northern boundary. Approval of this MOS will allow the Colletta Park plan to be approved as designed; providing a cul-de-sac and open space adjacent to this stub road. If, at a time in the future, this roadway connection is desired, the road could be extended from the proposed cul-de-sac to the Bacon Hill Drive stub.
 During previous development proposals for the subject property, adjacent neighbors expressed concerns regarding connections to County roads.

OPEN SPACE REQUIREMENT CHART:

MINIMUM OPEN SPACE REQUIREMENT: 15%
 SITE AREA: 199 AC
 OPEN SPACE ACREAGE REQUIRED: 29.85 AC
 FORMAL OPEN SPACE REQUIRED: 34% (10, 15 AC)
 INFORMAL OPEN SPACE REQUIRED: 66% (19, 70 AC)

KEY CLASSIFICATION	TYPE	AREA OF OPEN SPACE
500	INFORMAL GREEN BELT	47,860 SF (1.09 AC)
501	INFORMAL GREEN BELT	193,924 SF (4.45 AC)
502	INFORMAL GREEN BELT	101,543 SF (2.33 AC)
503	INFORMAL GREEN BELT	593,134 SF (13.62 AC)
504	INFORMAL GREEN BELT	1,213,037 SF (27.85 AC)
505	INFORMAL GREEN BELT	41,619 SF (0.96 AC)
506	INFORMAL GREEN BELT	7,668 SF (0.18 AC)
507	INFORMAL GREEN BELT	14,801 SF (0.34 AC)
508	INFORMAL GREEN BELT	57,175 SF (1.31 AC)
509	INFORMAL GREEN BELT	81,580 SF (1.87 AC)
601	FORMAL PARK	117,867 SF (2.71 AC)
602	FORMAL PARK	27,049 SF (0.62 AC)
603	FORMAL PARK	30,406 SF (0.70 AC)
604	FORMAL ALIENITY	117,062 SF (2.68 AC)
605	FORMAL PARK	48,935 SF (1.12 AC)
606	FORMAL PARK	33,676 SF (0.89 AC)
607	FORMAL PARK	5,594 SF (0.13 AC)
608	FORMAL PARK	76,341 SF (1.77 AC)

NON-BUILDABLE LOTS:

KEY AREA	AREA
1	42,564 SF (0.98 AC)
2	46,074 SF (1.06 AC)
3	38,115 SF (0.87 AC)
4	32,215 SF (0.74 AC)

TOTAL NON-BUILDABLE LOT AREA: 4.99 AC
 TOTAL FORMAL OPEN SPACE PROVIDED: 11.07 AC
 TOTAL INFORMAL OPEN SPACE PROVIDED: 54.00 AC
 TOTAL OPEN SPACE PROVIDED: 65.07 AC (32.6%)

LOCAL COMPATIBILITY:

COLLETTA PARK IS LOCATED IN THE SINGLE FAMILY CHARACTER AREA OF ENVISION FRANKLIN. THE CHARACTER OF THE SURROUNDING AREA IS ALSO SINGLE FAMILY HOMES.

CHARACTER AREA: SINGLE FAMILY
 APPLICABLE DEVELOPMENT STANDARD: CONVENTIONAL

- THE EXISTING USES ADJACENT TO THE PROPOSED NEIGHBORHOOD IN FRANKLIN EAST, CROSS CREEK, AND ON WARREN ROAD ARE SINGLE FAMILY DETACHED HOMES ON LARGE LOTS. THE EXISTING NEIGHBORHOODS ARE LOCATED OUTSIDE OF THE CITY OF FRANKLIN AND WERE DEVELOPED PRIOR TO PUBLIC SEWER BEING AVAILABLE. LOTS OF EQUAL SIZE ARE PROPOSED ADJACENT TO THESE SUBDIVISIONS.
- THE LAND USE PLAN FOR THIS SPECIAL AREA STATES THAT THERE ARE "MANY AREAS THAT ARE ENVIRONMENTALLY SENSITIVE". THE PROPOSED DEVELOPMENT PLAN PRESERVES SIGNIFICANT QUANTITIES OF OPEN SPACE BOTH AS A BUFFER TO ADJOINING USES AS WELL AS TO PROTECT ENVIRONMENTALLY SENSITIVE AREAS.
- THE LAND USE PLAN STATES THAT NEW GROWTH SHALL BE ENCOURAGED ONLY IN AREAS WHERE ADEQUATE PUBLIC WATER, SEWER AND STREETS ARE PLANNED. THE APPLICANT HAS PROPOSED EXTENDING THE PUBLIC SEWER TO THE SOUTH WHERE A MAIN INTERCEPTOR IS LOCATED IN THE CAROTHERS ROAD CORRIDOR, AND TO THE NORTH WHERE A MAIN INTERCEPTOR IS LOCATED ADJACENT TO OCTOBER PARK SUBDIVISION.
- THE LAND USE PLAN STIPULATES THAT SMALLER LOTS SHOULD NOT BE LOCATED ON THE EXTERIOR OF A PROPOSED DEVELOPMENT ADJACENT TO OR ACROSS THE STREET FROM LARGER LOTS OF AN EXISTING DEVELOPMENT. THE PROPOSED PLAN PROVIDES SINGLE FAMILY HOME LOTS ON LOTS COMPARABLE IN SIZE TO ADJOINING USES AND ARE SEPARATED FROM THEM BY OPEN SPACE BUFFERS. THE PROPOSED DEVELOPMENT TRANSITIONS SOUTH TO SMALLER LOTS IN PROXIMITY TO THE CAROTHERS ROAD CORRIDOR.
- THE PROPOSED DEVELOPMENT INCORPORATES A NUMBER OF OPEN SPACES THAT ARE PROPOSED TO BE DEVELOPED INTO ACTIVE USE SPACES AND WILL QUALIFY AS FORMAL OPEN SPACES.
- PRESERVED AREAS AT THE PERIMETER OF THE SITE WILL BE DEVELOPED WITH WALKING TRAILS OF VARYING DEGREES OF DIFFICULTY FOR USE BY THE RESIDENTS.
- THIS PLAN REFLECTS THE CONTEMPORARY DEVELOPMENT PATTERNS OF THE CITY OF FRANKLIN AND IS CONSISTENT WITH MANY SIMILAR NEIGHBORHOODS THAT HAVE OCCURRED IN PROXIMITY TO COUNTY SUBDIVISIONS BUILT PRIOR TO PUBLIC SEWER AVAILABILITY AS THE CITY HAS ANNEXED NEW AREAS FOR GROWTH.

LANDUSE PLAN COMPLIANCE/ DESIGN CONCEPTS AND STANDARDS:

COLLETTA PARK IS A SINGLE FAMILY DETACHED RESIDENTIAL SUBDIVISION WHICH OFFERS A VARIETY OF LOT SIZES AND HOUSING OPTIONS. ACCESSED IS PROPOSED FROM STANFORD DRIVE AT THE NORTH AND CAROTHERS ROAD AT THE SOUTH.

THE DESIGN STANDARDS PERMIT CONVENTIONAL DEVELOPMENT FORMS WITH TRANSITIONAL FEATURES TO MINIMIZE IMPACT ON THE EXISTING DEVELOPED PROPERTY. ENVISION FRANKLIN DESCRIBES THIS CHARACTER AREA AS SINGLE FAMILY. WITHIN THIS CHARACTER AREA, NEW LOTS ADJACENT TO EXISTING LOTS MUST BE OF EQUAL SIZE.

THE PROPOSED PLAN INCLUDES TRAFFIC CALMING SOLUTIONS ON STANFORD DRIVE AND RIDGEWAY DRIVE. THESE TRAFFIC CALMING CONCEPTS REQUIRE APPROVAL BY WILLIAMSON COUNTY. THESE INCLUDE REDUCING TRAFFIC SPEED, NARROWING THE TRAVEL LANES, PROVIDING PEDESTRIAN PATHS, AND INSTALLING SPEED HUMPS.

SMALLER LOTS ARE PLANNED TO THE SOUTH AS THE NEIGHBORHOOD APPROACHES CAROTHERS ROAD. THE LOTS ARE IN KEEPING WITH THE SIZE AND DENSITIES OF LOCKWOOD GLEN.

SITE DATA:

PROJECT NAME:	COLLETTA PARK PUD SUBDIVISION
PROJECT NUMBER:	6491
SUBDIVISION:	NA
LOT NUMBER:	1101 RIDGEWAY DRIVE, MURFREESBORO ROAD, FRANKLIN, WILLIAMSON, TENNESSEE
CITY:	14TH CIVIL DISTRICT
STATE:	079 MB 02900
CIVIL DISTRICT:	089 05500
MAP, GROUP, PARCEL NUMBERS:	089 04303
EXISTING ZONING:	089 04304
PROPOSED ZONING:	R-1
CHARACTER AREA OVERLAY:	SD-R (1.31)
OTHER APPLICABLE OVERLAYS:	MECO-6, SWCO-3
APPLICABLE DEVELOPMENT STANDARD:	NONE
TOTAL ACREAGE:	CONVENTIONAL
TOTAL SQUARE FOOTAGE:	199 AC
MINIMUM REQUIRED SETBACKS:	8,670,225 SF
FRONT YARD:	SEE LOT DIAGRAMS - SHEET C2.3
REAR YARD:	MINIMUM SETBACKS
SIDE YARD:	ARE ESTABLISHED AS PART OF THE P.U.D.
APPLICANT:	GAMBLE DESIGN COLLABORATIVE
ADDRESS:	144 SOUTHEAST PARKWAY SUITE 200
OFFICE PHONE:	FRANKLIN, TN 37064
EMAIL ADDRESS:	615.915.7765
CONTACT:	greggambledesign@gmail.com
BUILDING SQUARE FOOTAGE:	NA
BUILDING HEIGHT:	2 STORY
LANDSCAPE SURFACE RATIO:	0.40
MINIMUM LANDSCAPE SURFACE RATIO:	0.30
MINIMUM PARKING REQUIREMENT:	2 SPACES PER SINGLE FAMILY HOME
MAXIMUM PARKING LIMIT:	NA
EXISTING PARKING:	NA
RESIDENTIAL DENSITY:	1.31 DUA
TREE CANOPY:	138.1 AC, 69.4 % OF EXISTING SITE
PARKLAND DEDICATION:	FREE IN LIEU (179,400 SF)
OVERALL DENSITY:	35 @ 1200 SF/HOME = 42,000 SF
NET DENSITY (MINUS ROW AND STREAM BUFFERS):	226 @ 600 SF/HOME = 135,600 SF
NUMBER OF RESIDENTIAL UNITS BY USE TYPE:	29.85 AC (15%) TOTAL REQUIRED
NONRESIDENTIAL SQUARE FOOTAGE:	10.15 AC FORMAL REQ.
TOTAL ACREAGE BY USE, PER SECTION:	19.70 AC INFORMAL REQ.

TREE CANOPY RETENTION:

TREE AREA	EXISTING	REMOVED	RETAINED
TREE A	20,501 SF	0 SF	20,501 SF
TREE B	194,560 SF	136,759 SF	57,801 SF
TREE C	5,661,025 SF	3,591,124 SF	2,069,901 SF
TREE D	162,236 SF	115,430 SF	36,806 SF

TOTAL: 6,018,356 SF, 3,833,313 SF, 2,185,043 SF

TREE CANOPY DATA:

EXISTING TREE CANOPY:	6,018,356 SF
REMOVED TREE CANOPY:	6,018,356 SF / 8,670,225 SF = 69.4% (69.4% OF TOTAL SITE)
REMOVED TREE CANOPY:	36% OF TOTAL CANOPY
PROVIDED CANOPY PRESERVED:	2,185,043 SF (36.3% OF TOTAL EXISTING CANOPY)

30% OF TOTAL CANOPY PRESERVED

60% OF TOTAL CANOPY PRESERVED

STREAM BUFFER

60' STREAM BUFFER

STATEMENT OF IMPACTS:

WATER:
 WATER SERVICE WILL BE PROVIDED BY MILCROFTON UTILITY DISTRICT. 281 X 350 GPD = 91,350 GPD

SEWER:
 SEWER SERVICE WILL BE PROVIDED BY THE CITY OF FRANKLIN. FOR THE PORTION OF THE SITE IN THE MAYS CREEK BASIN, CONNECTION TO THE SEWER MAIN WILL BE MADE IN SIMMONS RIDGE TO THE SOUTH. FOR THE PORTION OF THE SITE IN THE WATKINS CREEK BASIN, CONNECTION WILL BE MADE TO THE NORTH TO THE SEWER MAIN IN OCTOBER PARK ON RIDGEWAY DRIVE.

REPURIFIED (REUSE) WATER FACILITIES:

NOT AVAILABLE

STREET NETWORK:

AS SHOWN ON THE MAJOR THOROUGHFARE PLAN - SEE SHEET C 4.0 OVERALL ROW AND ACCESS PLAN INCLUDING CONNECTIVITY ELEMENTS.

THE SITE IS LOCATED SOUTH OF HIGHWAY 98 EAST WHICH IS CLASSIFIED AS A MAJOR ARTERIAL ROAD TO THE NORTHERN PORTION OF COLLETTA PARK IS PROVIDED BY LOCAL STREETS VIA RIDGEWAY DRIVE AND STANFORD ROAD.

THE SOUTHERN PORTION OF COLLETTA PARK WILL HAVE CONNECTIONS TO SOUTH CAROTHERS ROAD.

FUTURE ROAD CONNECTIONS ARE PROVIDED. A FULL TRAFFIC IMPACT STUDY PREPARED BY FISCHBACH TRAFFIC GROUP, LLC AND REVIEWED BY A THIRD PARTY, VOLKERT ENGINEERING, PROVIDES GREATER DETAIL OF THE OVERALL IMPACT OF THE DEVELOPMENT ON THE EXISTING ROAD NETWORK.

DRAINAGE FACILITIES:

THE PROPERTY HAS THREE PRIMARY DRAINAGE BASINS. ONE DRAINS NORTH TO WATKINS CREEK. ONE DRAINS WEST THROUGH CROSS CREEK SUBDIVISION AND ONE DRAINS SOUTH TOWARDS SOUTH CAROTHERS ROAD.

POLICE AND FIRE DEPT:

FRANKLIN FIRE DEPT STATION #2 - 2.1 MILES DRIVING DISTANCE
 COLUMBIA AVE. POLICE STATION - 2.7 MILES DRIVING DISTANCE

RECREATIONAL FACILITIES:

LIBERTY PARK - 3.0 MILES DRIVING DISTANCE

PROJECTED STUDENT POPULATION:

261 HOMES X .64 STUDENTS = 168 PROJECTED STUDENTS

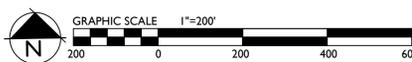
REFUSE COLLECTION:

PROVIDED BY THE CITY OF FRANKLIN SOLID WASTE.

RESTRICTIVE COVENANTS:

A HOME OWNERS ASSOCIATION WILL BE ESTABLISHED PRIOR TO THE FIRST OCCUPANCY OF RESIDENTS. THE HOA WILL REGULATE ARCHITECTURAL STANDARDS AND THE MAINTENANCE OF THE COMMUNITY. THE HOA WILL MAINTAIN ALL COMMON OPEN SPACE AND RECREATIONAL AREAS.

NOTE: AS ACCESS POINTS AND IMPACTS TO THE STREET NETWORK ARE DETERMINED, THE STATEMENT OF IMPACTS MAY NEED TO BE REVISED

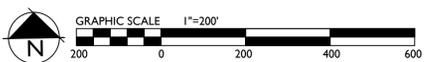




Revision	Date
1	08.03.2017
2	
3	
4	

DEVELOPMENT
 PLAN

C2.1
 COF 6491



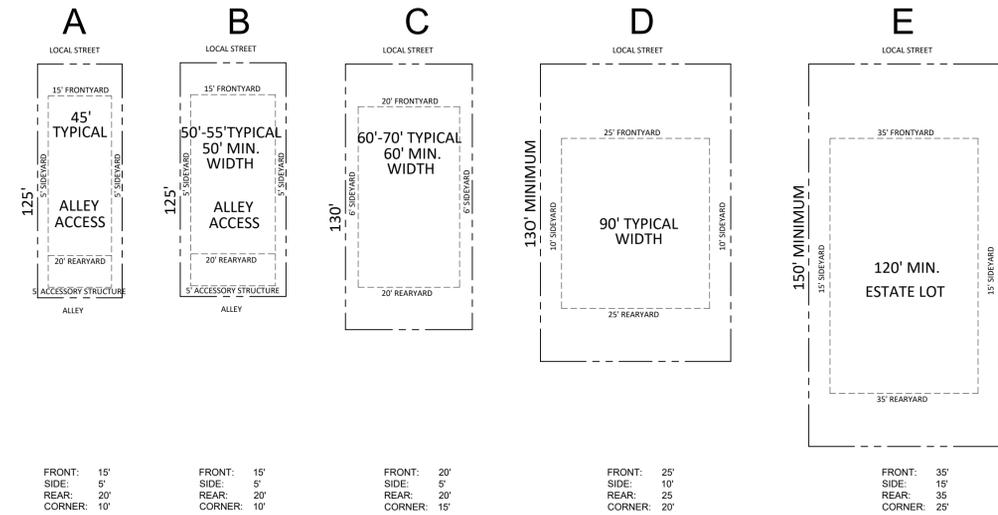
A



TYPICAL HOME ELEVATION 'A'

- HOME STYLE WITH GARAGE LOCATED AT THE REAR OF THE LOT THAT IS ACCESSED FROM AN ALLEY, OR FROM THE FRONT STREET WITH AN EXTENDED DRIVEWAY.
- ONE TO TWO STORIES IN HEIGHT.
- MATERIALS INCLUDE BRICK, SIMULATED STONE, CEMENTATIOUS SIDING, AND ARCHITECTURAL SHINGLES.
- THESE ELEVATIONS HAVE BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE CITY OF FRANKLIN'S ARCHITECTURAL DESIGN STANDARDS AND THE APPROVAL OF THE PLANNING COMMISSION/CITY OF FRANKLIN. CHANGES SHALL NOT BE MADE TO THE APPROVED ELEVATIONS UNLESS APPROVED BY EITHER THE CODES DIRECTOR OR THE PLANNING COMMISSION.
- ELEVATIONS SHOWN ARE TYPICAL FOR THIS DEVELOPMENT. FINAL DESIGN PLANS SHALL BE SUBMITTED WITH THE REQUEST FOR BUILDING PERMITS AND SHALL INDICATE COMPLIANCE WITH THE CITY OF FRANKLIN'S ARCHITECTURAL DESIGN STANDARDS; SPECIFICALLY THE REQUIREMENT FOR EXPOSED FOUNDATIONS OR WATER TABLES/ELEVATED FINISHED FLOORS AND GARAGE DOOR SEPARATION/MAXIMUM WIDTHS.
- BUILDINGS WITH SIDE ELEVATIONS FACING A PUBLIC RIGHT-OF-WAY SHALL HAVE WINDOWS AND ARCHITECTURAL FEATURES SIMILAR TO THE FRONT ELEVATION.
- SINGLE FAMILY HOME SQUARE FOOTAGE RANGE: 1500 SF TO 2200 SF
- THE FINISHED FLOOR ELEVATION OF THE FRONT FACADE TO BE A MINIMUM OF 18 INCHES ABOVE THE FINISHED GRADE.

TYPICAL LOT DIAGRAMS AND SETBACKS



C



TYPICAL HOME ELEVATION 'C'

- HOME STYLE WITH GARAGE ACCESSED FROM THE FRONT FACING STREET. GARAGE IS RECESSED A MINIMUM OF 10 FEET FROM THE FRONT ELEVATION AND DRIVEWAYS ARE A MINIMUM OF 22' FROM THE SIDEWALK.
- ONE TO TWO STORIES IN HEIGHT.
- MATERIALS INCLUDE BRICK, SIMULATED STONE, CEMENTATIOUS SIDING, AND ARCHITECTURAL SHINGLES.
- THESE ELEVATIONS HAVE BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE CITY OF FRANKLIN'S ARCHITECTURAL DESIGN STANDARDS AND THE APPROVAL OF THE PLANNING COMMISSION/CITY OF FRANKLIN. CHANGES SHALL NOT BE MADE TO THE APPROVED ELEVATIONS UNLESS APPROVED BY EITHER THE CODES DIRECTOR OR THE PLANNING COMMISSION.
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- BUILDINGS WITH SIDE ELEVATIONS FACING A PUBLIC RIGHT-OF-WAY SHALL HAVE WINDOWS AND ARCHITECTURAL FEATURES SIMILAR TO THE FRONT ELEVATION.
- SINGLE FAMILY HOME SQUARE FOOTAGE RANGE: 2200 SF TO 4500 SF
- THE FINISHED FLOOR ELEVATION OF THE FRONT FACADE TO BE A MINIMUM OF 18 INCHES ABOVE THE FINISHED GRADE.
- FRONT FACING GARAGES ARE REQUIRED TO HAVE GARAGE DOORS NO LARGER THAN 9' IN WIDTH WITH A 2' SEPARATION BETWEEN THE DOORS.

B



TYPICAL HOME ELEVATION 'B'

- HOME STYLE WITH GARAGE LOCATED AT THE REAR OF THE LOT THAT IS ACCESSED FROM AN ALLEY, OR FROM THE FRONT STREET WITH AN EXTENDED DRIVEWAY.
- ONE TO TWO STORIES IN HEIGHT.
- MATERIALS INCLUDE BRICK, SIMULATED STONE, CEMENTATIOUS SIDING, AND ARCHITECTURAL SHINGLES.
- THESE ELEVATIONS HAVE BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE CITY OF FRANKLIN'S ARCHITECTURAL DESIGN STANDARDS AND THE APPROVAL OF THE PLANNING COMMISSION/CITY OF FRANKLIN. CHANGES SHALL NOT BE MADE TO THE APPROVED ELEVATIONS UNLESS APPROVED BY EITHER THE CODES DIRECTOR OR THE PLANNING COMMISSION.
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- BUILDINGS WITH SIDE ELEVATIONS FACING A PUBLIC RIGHT-OF-WAY SHALL HAVE WINDOWS AND ARCHITECTURAL FEATURES SIMILAR TO THE FRONT ELEVATION.
- SINGLE FAMILY HOME SQUARE FOOTAGE RANGE: 1700 SF TO 3600 SF
- THE FINISHED FLOOR ELEVATION OF THE FRONT FACADE TO BE A MINIMUM OF 18 INCHES ABOVE THE FINISHED GRADE.



D



TYPICAL HOME ELEVATION 'D'

- HOME STYLE FOR LOTS WITH GARAGE ACCESSED FROM THE STREET WITH SIDE LOADED GARAGE.
- ONE TO TWO STORIES IN HEIGHT.
- MATERIALS INCLUDE BRICK, SIMULATED STONE, CEMENTATIOUS SIDING, AND ARCHITECTURAL SHINGLES.
- GARAGE IS SETBACK 10 FEET FROM THE FRONT FACADE.
- DRIVEWAY IS A MINIMUM OF 22' FROM THE SIDEWALK TO THE GARAGE DOORS.
- ALL TWO CAR GARAGES SHALL HAVE TWO GARAGE DOORS WITH A MAXIMUM WIDTH OF 9' WIDE WITH A 2 FOOT MINIMUM SEPARATION BETWEEN.
- THESE ELEVATIONS HAVE BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE CITY OF FRANKLIN'S ARCHITECTURAL DESIGN STANDARDS AND THE APPROVAL OF THE PLANNING COMMISSION/CITY OF FRANKLIN. CHANGES SHALL NOT BE MADE TO THE APPROVED ELEVATIONS UNLESS APPROVED BY EITHER THE CODES DIRECTOR OR THE PLANNING COMMISSION.
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- BUILDINGS WITH SIDE ELEVATIONS FACING A PUBLIC RIGHT-OF-WAY SHALL HAVE WINDOWS AND ARCHITECTURAL FEATURES SIMILAR TO THE FRONT ELEVATION.
- SINGLE FAMILY HOME SQUARE FOOTAGE RANGE: 2800 SF TO 5000 SF
- THE FINISHED FLOOR ELEVATION OF THE FRONT FACADE TO BE A MINIMUM OF 18 INCHES ABOVE THE FINISHED GRADE.

The home elevations shown here are representative of the homes planned for Colletta Park. They are the basis for design review by the City of Franklin at the time of Site Plan Submittal. Based on my professional experience, the plans presented meet or exceed the design standards set forth by the City of Franklin.

Greg Gamble, Registered Landscape Architect.

Revision	Date
△	08.03.2017
△	
△	
△	

PRELIMINARY STORMWATER MANAGEMENT SUMMARY

Total Property Area = 196.33 Acres
 Total Disturbed Area = 135.80 Acres

Soil Types: 54.6% Type A Soil
 25.8% Type B Soil
 17.2% Type C Soil
 0.0% Type D Soil
 0.4% Non-Soil Areas

AREA NO.	TOTAL (AC)	EST. IMP. (AC)	TREATMENT TYPE	PRELIM. SF	DETENTION
1	7.6	0.0	BYPASS	---	BYPASS
2	13.6	2.0	BIO 2	14,000	POND 1
3	26.2	2.0	BIO 3	8,500	POND 1
4	12.6	1.9	BIO 4	8,500	BYPASS
5	7.3	1.5	BIO 5	5,600	BYPASS
6	10.7	1.7	BIO 6	7,500	BYPASS



Grading & Drainage General Notes

- Grading Permit is required for any project disturbing more than 10,000 sq. ft. of impervious surface or for any site grading requiring stockpiling of material.
- The Developer shall provide the necessary labor and supervision required to support field testing by the independent testing firm and inspections by City officials at no cost to the City. Test reports of field testing if applicable shall be submitted directly to the Street Department. Defects disclosed by tests shall be rectified.
- An authorized representative of the City shall make a final inspection of the project after completion to determine acceptability of the work and for release of performance bonds if required. Before this final inspection can be made, the Engineer responsible for the project shall certify in writing to the City Engineer that the work has been completed in accordance with approved plans and specifications.
- Drainage facilities including, but not limited to, culverts, detention basins and ditches, as well as the roadway sub-grade, base stone and binder & surface course shall be inspected, tested and given approval at each stage of installation prior to proceeding to the next stage of construction. Final construction inspection for approval and acceptance of streets and drainage systems will not be granted until all work has been completed in accordance with the approved plans.
- Locating and coordination for the relocation of existing utilities is the responsibility of the contractor. Tennessee's One-Call and the City of Franklin utility location service shall be utilized in addition to coordination with local utility owners. The contractor shall at all times protect existing utilities and will be responsible for costs due to damage caused to any utility lines.

Post-Treatment Stormwater Narrative
 Stormwater to be treated via a combination of Bio-retention, and Detention Ponds and then released into a Stream or Wet Weather Conveyance.

Statement of Impact
 Post-Construction Stormwater will have no additional impact on the surrounding drainage basins. Stormwater BMPs will be used to maintain or decrease existing stormwater flows.

Stream Buffer Note:
 There shall be no mowing, clearing, grading, construction, storage, or disturbance of vegetation except as permitted by the City Engineer, or his designee.

Grading & Drainage Data Chart
 Site Area: 196.33 AC
 Impervious Area: 43.11 AC
 Disturbed Area: 135.80 AC

Impervious Area Calculations:
 The impervious area assumed for each lot type includes building, patio, & driveway.

90' Lot Type: 55 units x 5000 sq.ft. = 6.31 AC
 70' Lot Type: 120 units x 3800 sq.ft. = 10.47 AC
 40' Lot Type: 86 units x 2400 sq.ft. = 4.74 AC

ROW Area (includes road & sidewalks) = 21.59 AC.

Revisions:

Drawing Notes:



COLETTA PARK PUD SUBDIVISION
 DEVELOPMENT PLAN
 Franklin, Williamson County, Tennessee



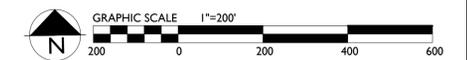
GAMBLE DESIGN COLLABORATIVE
 144 SOUTHEAST PARKWAY
 SUITE 230
 FRANKLIN, TENNESSEE 37064
 GREG GAMBLE
 greg@gamble209@gmail.com
 615.975.5745

NORTH
 GRADING &
 DRAINAGE
 PLAN

C 3.0

COF XXXX

Tennessee State Plane Coordinate System
 Zone 5301, Fipzone 4100; NAD 83 Datum



PRELIMINARY STORMWATER MANAGEMENT SUMMARY

Total Property Area = 196.33 Acres
 Total Disturbed Area = 135.80 Acres

Soil Types: 54.6% Type A Soil
 25.8% Type B Soil
 17.2% Type C Soil
 0.0% Type D Soil
 0.4% Non-Soil Areas

AREA NO.	TOTAL (AC)	EST. IMP. (AC)	TREATMENT TYPE	PRELIM. SF	DETENTION
7	7.1	1.9	BIO 7	6,000	POND 2
8	5.4	1.1	BIO 8	5,500	POND 2
9	6.4	1.7	BIO 9	6,000	POND 2
10	3.3	0.8	BIO 10	2,000	POND 2
11	6.5	1.8	BIO 11	5,500	POND 2
12	4.9	1.9	BIO 12	4,500	POND 2
13	7.4	1.9	BIO 7	6,500	BYPASS
14	6.3	2.3	BIO 8	6,000	POND 3
15	6.1	2.3	BIO 9	6,000	POND 3
16	6.5	2.5	BIO 10	6,000	POND 3
17	6.1	1.9	BIO 11	6,000	POND 3



Grading & Drainage General Notes

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 40' Lot Type: 86 units x 2400 sq.ft. = 4.74 Ac.

ROW Area (includes road & sidewalks) = 21.59 Ac.

Revisions:

Drawing Notes:



COLETTA PARK PUD SUBDIVISION
 DEVELOPMENT PLAN
 Franklin, Williamson County, Tennessee

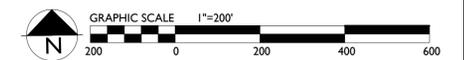


GAMBLE DESIGN COLLABORATIVE
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 GREG GAMBLE
 greggamble209@gmail.com
 615.975.5745

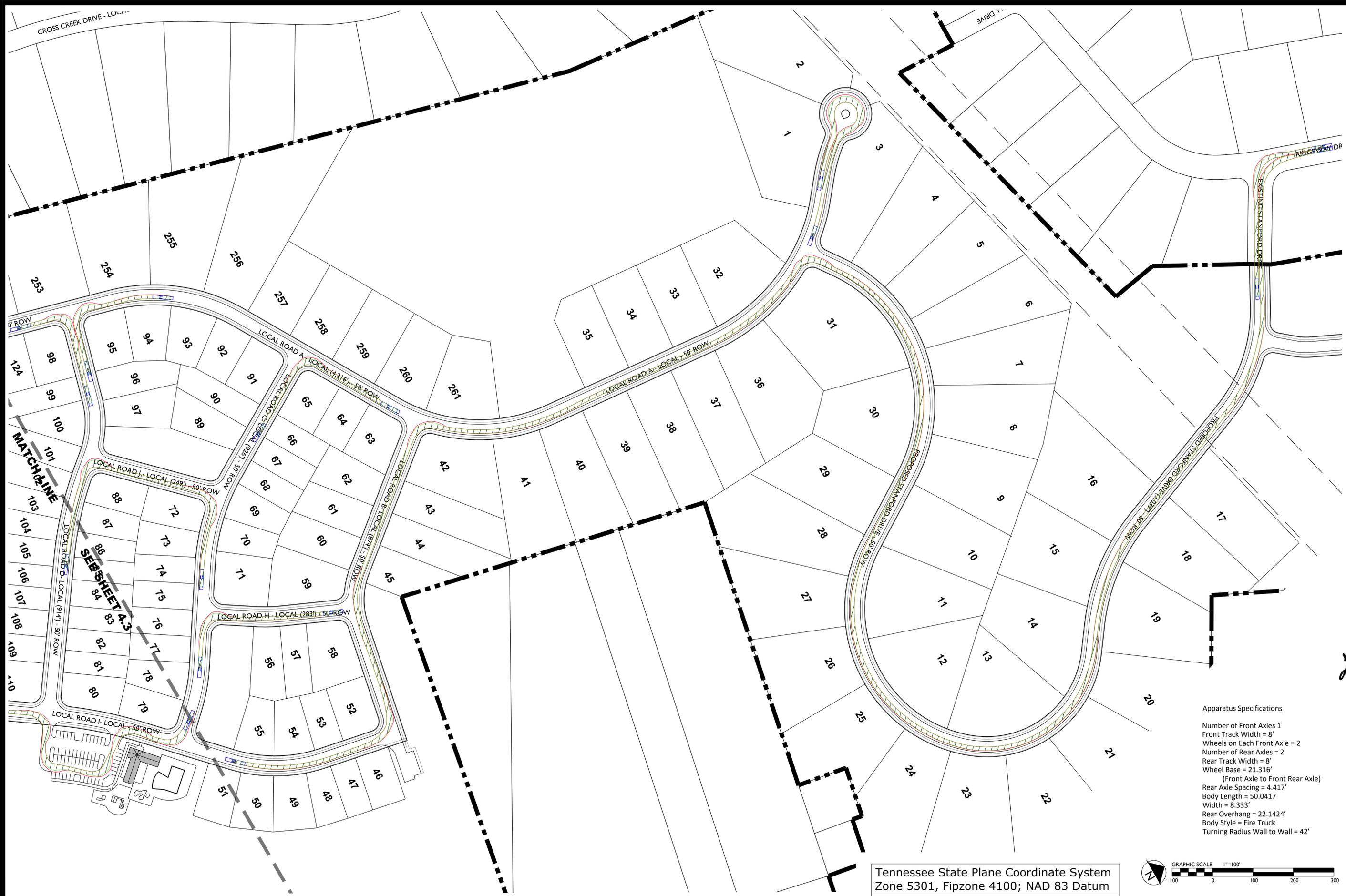
SOUTH
 GRADING &
 DRAINAGE
 PLAN

C 3.1

Tennessee State Plane Coordinate System
 Zone 5301, Fipzone 4100; NAD 83 Datum



COF XXXX

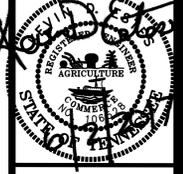


Revisions:

Drawing Notes:

GDC
GAMBLE
 DESIGN COLLABORATIVE
 DEVELOPMENT PLANNING AND
 LANDSCAPE ARCHITECTURE
 Date: JUNE 2, 2017

COLETTA PARK PUD SUBDIVISION
DEVELOPMENT PLAN
 Franklin, Williamson County, Tennessee



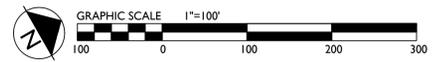
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NORTH TRAVEL PATH

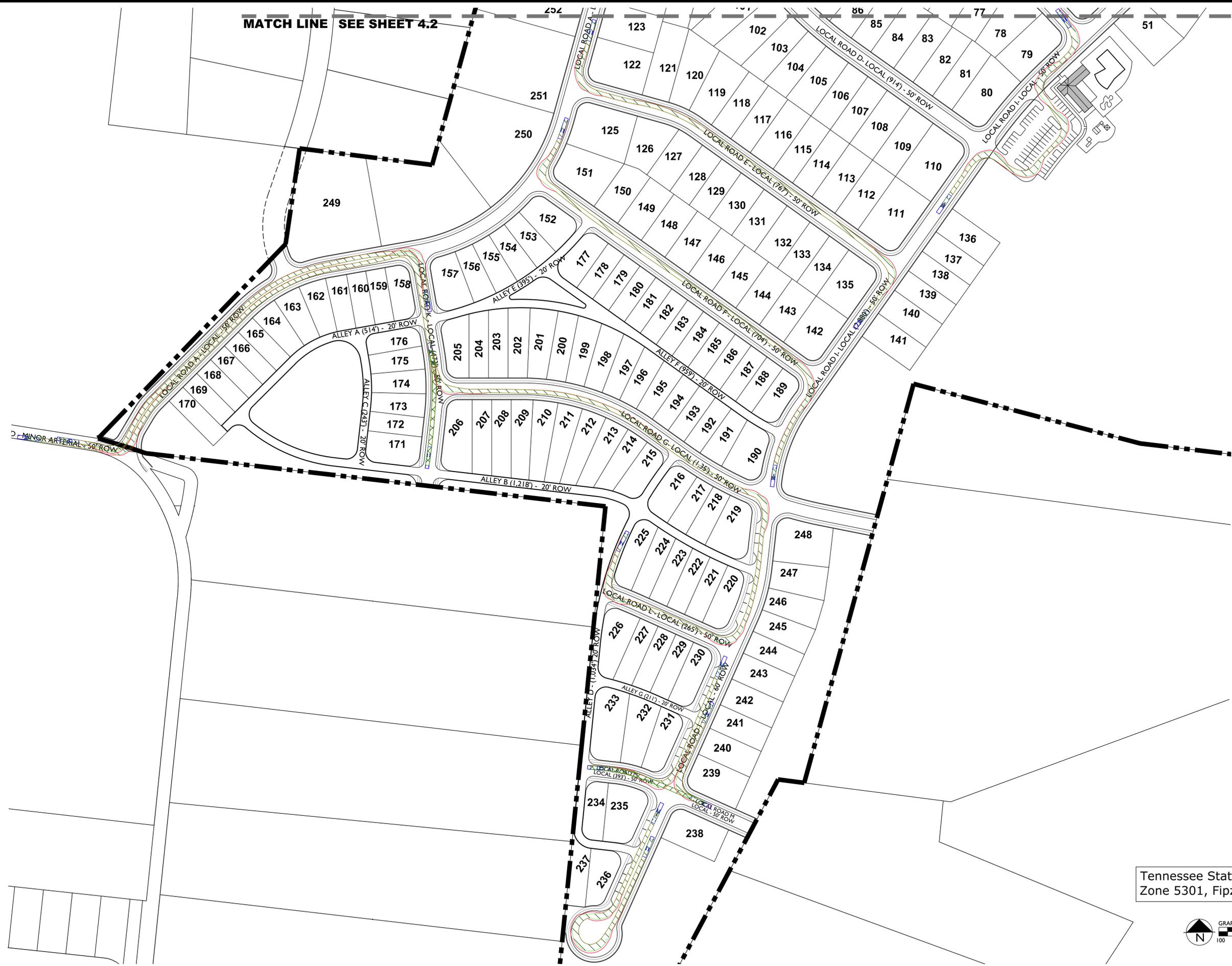
C 4.2

Apparatus Specifications
 Number of Front Axles = 1
 Front Track Width = 8'
 Wheels on Each Front Axle = 2
 Number of Rear Axles = 2
 Rear Track Width = 8'
 Wheel Base = 21.316'
 (Front Axle to Front Rear Axle)
 Rear Axle Spacing = 4.417'
 Body Length = 50.0417'
 Width = 8.333'
 Rear Overhang = 22.1424'
 Body Style = Fire Truck
 Turning Radius Wall to Wall = 42'

Tennessee State Plane Coordinate System
 Zone 5301, Fipzone 4100; NAD 83 Datum

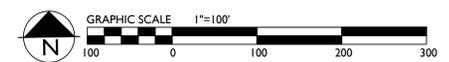


COF XXXX



MATCH LINE SEE SHEET 4.2

Tennessee State Plane Coordinate System
Zone 5301, Fipzone 4100; NAD 83 Datum



COF XXXX

Revisions:

Drawing Notes:



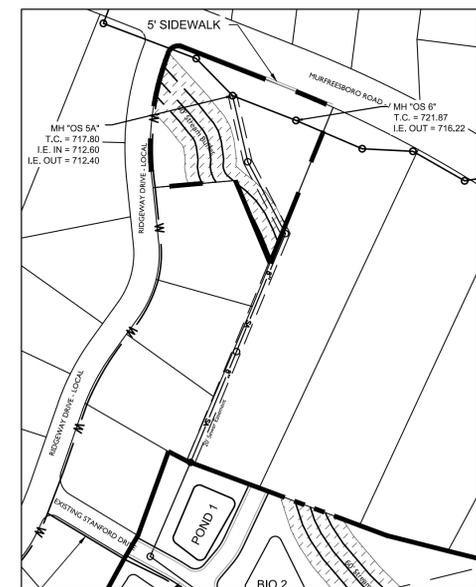
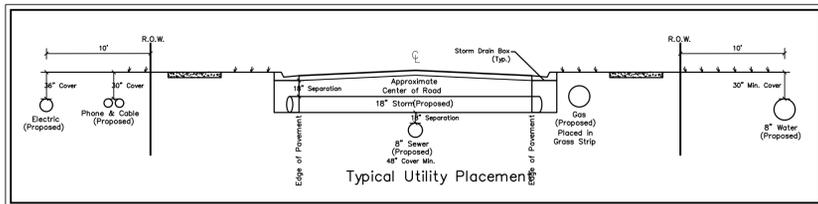
**COLETTA PARK PUD SUBDIVISION
DEVELOPMENT PLAN**
Franklin, Williamson County, Tennessee



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SOUTH
TRAVEL
PATH

C 4.3



- Water & Sewer General Notes**
- All persons who undertake the construction of water, sewer and/or reclaimed water lines located in, or affecting services provided by the City of Franklin shall comply with the requirements and regulations set forth in the "General Requirements & Technical Specifications, Water Management Department, City of Franklin, Tennessee" latest edition, along with any amendments, additions, or alteration that may thereafter be adopted by the board of mayor and aldermen by resolution.
 - Contractor shall obtain Water & Sewer Infrastructure Installation Permit prior to scheduling required Pre-Construction Site Meeting. Contractor shall complete the Pre-Construction Site Meeting prior to commencing with construction.
 - Contractor shall obtain and keep all of the following items on the jobsite at all times during construction:
 - Approved, Stamped and Signed Water and/or Sewer Plans
 - Water & Sewer Infrastructure Installation Permit, with all steps completed and signed by appropriate City employees.
 - Copy of approved availability request response letter.
 - A copy of all approved Cut Sheets.
 - Acceptance of City of Franklin public water infrastructure, sanitary sewer infrastructure and/or reclaimed water infrastructure shall become the responsibility of the City of Franklin, TN following approval from the City of Franklin Inspectors and acceptance by the Franklin Municipal Planning Commission. The Acceptance date shall be based on the day maintenance sureties are established by the Franklin Municipal Planning Commission.
 - Prior to the acceptance of City of Franklin public water infrastructure, sanitary sewer infrastructure and/or reclaimed water infrastructure the contractor shall be required to submit as-built drawings to the Water Management Department.
 - All off-site work within the public right-of-way shall require an approved traffic control plan which complies with the MUTCD. No off-site excavation may be undertaken in any street, road, alley or right-of-way of any utility or temporary construction easement of the City of Franklin by any entity unless 72-hour notice has been given to the City of Franklin Traffic Operations Center. The contractor shall have an approved traffic control plan onsite during construction.
 - Any damages caused to existing utilities during construction shall, at his own expense, be replaced or repaired to original condition and quality, as approved by the owner and representative of the appropriate utility company, by the Contractor.
 - Location of Water Line is approximate. True location of water line, fire hydrants, water valves, etc. to be designed by Microflon Utility District during sectional Site Plan phase of development.
 - When required, permanent, exclusive easements must be provided with a minimum width of 20 feet. Easement width requirements are as follows:
 - 0'-12' depth requires 20' easement.
 - 13'-20' depth requires 30' easement.
 - Depths greater than 20' requires prior approval.
 A minimum 10-foot wide temporary construction easement on each side of the permanent easement must also be provided. No trees shall be planted within the permanent easements.
- Water Service Provided by:
Microflon Utility District
633 Arno Road
Franklin, TN 37064
615-794-5947
- Sewer Service Provided by:
Water Management
124 Lumber Drive
Franklin, TN 37064
615-794-4554
- Water & Sewer Data Chart
Water: Unit Flow in GPD: 350 GPD per [unit]
Number of Units: 261
Total Flow in GPD: 91,350 GPD
- Sewer (to October Park) Unit Flow in GPD: 350 GPD per [unit]
Number of Units: 40
Total Flow in GPD: 14,000 GPD
- Sewer (Simmons Ridge) Unit Flow in GPD: 350 GPD per [unit]
Number of Units: 221
Total Flow in GPD: 77,350 GPD
- Stream Buffer Note:
There shall be no mowing, clearing, grading, construction, storage, or disturbance of vegetation except as permitted by the City Engineer, or his designee.

Revisions:

Drawing Notes:

DESIGN PLANNING AND LANDSCAPE ARCHITECTURE
Date: JUNE 2, 2017

**COLETTA PARK PUD SUBDIVISION
DEVELOPMENT PLAN**
Franklin, Williamson County, Tennessee

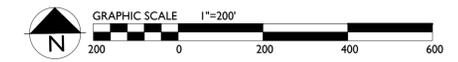


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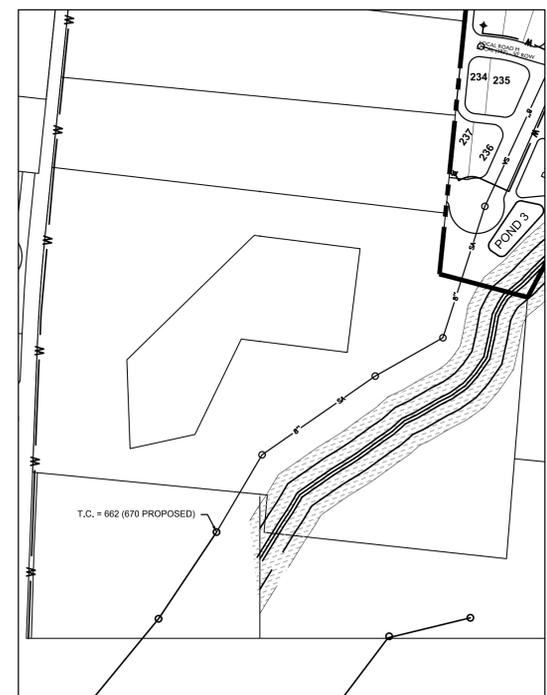
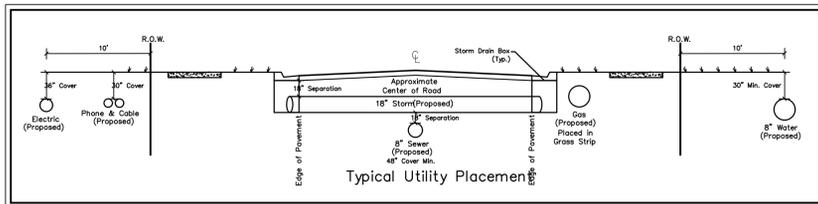
**NORTH
UTILITY
PLAN**

C 5.0

Tennessee State Plane Coordinate System
Zone 5301, Fipzone 4100; NAD 83 Datum



COF XXXX



- Water & Sewer General Notes**
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 - Acceptance of City of Franklin public water infrastructure, sanitary sewer infrastructure and/or reclaimed water infrastructure shall become the responsibility of the City of Franklin, TN following approval from the City of Franklin Inspectors and acceptance by the Franklin Municipal Planning Commission. The Acceptance date shall be based on the day maintenance sureties are established by the Franklin Municipal Planning Commission.
 - Prior to the acceptance of City of Franklin public water infrastructure, sanitary sewer infrastructure and/or reclaimed water infrastructure the contractor shall be required to submit as-built drawings to the Water Management Department.
 - All off-site work within the public right-of-way shall require an approved traffic control plan which complies with the MUTCD. No off-site excavation may be undertaken in any street, road, alley or right-of-way of any utility or temporary construction easement of the City of Franklin by any entity unless 72-hour notice has been given to the City of Franklin Traffic Operations Center. The contractor shall have an approved traffic control plan onsite during construction.
 - Any damages caused to existing utilities during construction shall, at his own expense, be replaced or repaired to original condition and quality, as approved by the owner and representative of the appropriate utility company, by the Contractor.
 - Location of Water Line is approximate. True location of water line, fire hydrants, water valves, etc. to be designed by Microton Utility District during sectional Site Plan phase of development.
 - When required, permanent, exclusive easements must be provided with a minimum width of 20 feet. Easement width requirements are as follows:
 - 0'-12' depth requires 20' easement.
 - 13'-20' depth requires 30' easement.
 - Depths greater than 20' requires prior approval.
 A minimum 10-foot wide temporary construction easement on each side of the permanent easement must also be provided. No trees shall be planted within the permanent easements.
- Water Service Provided by:
Microton Utility District
633 Arno Road
Franklin, TN 37064
615-794-5947
- Sewer Service Provided by:
Water Management
124 Lumber Drive
Franklin, TN 37064
615-794-4554
- Water & Sewer Data Chart
- | | |
|--------------------------|--------------------------------------|
| Water: | Unit Flow in GPD: 350 GPD per [unit] |
| | Number of Units: 261 |
| | Total Flow in GPD: 91,350 GPD |
| Sewer (to October Park): | Unit Flow in GPD: 350 GPD per [unit] |
| | Number of Units: 40 |
| | Total Flow in GPD: 14,000 GPD |
| Sewer (Simmons Ridge): | Unit Flow in GPD: 350 GPD per [unit] |
| | Number of Units: 221 |
| | Total Flow in GPD: 77,350 GPD |
- Stream Buffer Note:
There shall be no mowing, clearing, grading, construction, storage, or disturbance of vegetation except as permitted by the City Engineer, or his designee.

Revisions:

Drawing Notes:

DESIGN PLANNING AND LANDSCAPE ARCHITECTURE
Date: JUNE 2, 2017

COLETTA PARK PUD SUBDIVISION DEVELOPMENT PLAN
Franklin, Williamson County, Tennessee

GAMBLE DESIGN COLLABORATIVE
144 SOUTHEAST PARKWAY
SUITE 230
FRANKLIN, TENNESSEE 37064
GREG GAMBLE
gggamble209@gmail.com
615.975.5765

SOUTH UTILITY PLAN

C 5.1

