

THIS DRAWING IS THE PROPERTY OF HEREFORD DOOLEY ARCHITECTS. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT. IT SHALL BE RETURNED UPON REQUEST. COPYRIGHT AS DATED HEREFORD DOOLEY ARCHITECTS. NOT VALID UNLESS SIGNED AND SEALED.

CAROTHERS DEVELOPMENT SUBDIVISION, SITE PLAN, LOT 2, REVISION 1 (PRIME HEALTH)

1219 LIBERTY PIKE
FRANKLIN, TN 37067

SITE DATA

PROJECT NAME PRIME HEALTH OFFICE BUILDING

ADDRESS: 1219 LIBERTY PIKE
CITY: FRANKLIN
COUNTY: WILLIAMSON
STATE: TENNESSEE
CIVIL DISTRICT: 9TH
MAP, GROUP AND PARCEL NUMBERS: WILLIAMSON CO. TAX MAP 79, 0401.0
EXISTING ZONING: GO
(GENERAL OFFICE DISTRICT)
MECO 4
CHARACTER AREA OVERLAY: N/A
OTHER APPLICABLE OVERLAYS: N/A
APPLICABLE DEVELOPMENT STANDARD: CONVENTIONAL
ACREAGE OF SITE: 3.53 ACRES
SQUARE FOOTAGE OF SITE: 153,597 SQUARE FEET
MINIMUM REQUIRED SETBACK LINES: OFFICE USE
YARD FRONTING ON ANY STREET: 50'
SIDE YARD: 25'
REAR YARD: 40'
OWNER/MINERAL RIGHTS HOLER: RAY MORRIS
ADDRESS: 5660 PEACHTREE INDUSTRIAL BLVD. NORCROSS, GA 30071
PHONE NO.: 770-441-7202
E-MAIL ADDRESS: KATHIH@VENTURECONSTRUCTION.COM

APPLICANT: CRUNK ENGINEERING LLC
ADDRESS: 1894 GENERAL GEORGE PATTON DRIVE SUITE 600
FRANKLIN, TN 37067
PHONE NO.: 615-873-1795
E-MAIL ADDRESS: adam@crunkeng.com
CONTACT NAME: MR. ADAM CRUNK, P.E.

BUILDING SQUARE FOOTAGE:
GENERAL OFFICE - PARKING GARAGE 20,658 S.F.
GENERAL OFFICE - 1ST FLOOR 20,658 S.F.
GENERAL OFFICE - 2ND FLOOR 20,658 S.F.
TOTAL 61,974 S.F.

BUILDING HEIGHT
ALLOWABLE 6 STORIES MAXIMUM
PROPOSED OFFICE 2 STORIES
FLOOR AREA RATIO OF SITE: 0.27

PROPOSED LANDSCAPE SURFACE RATIO: 0.30
MINIMUM LANDSCAPE SURFACE RATIO:

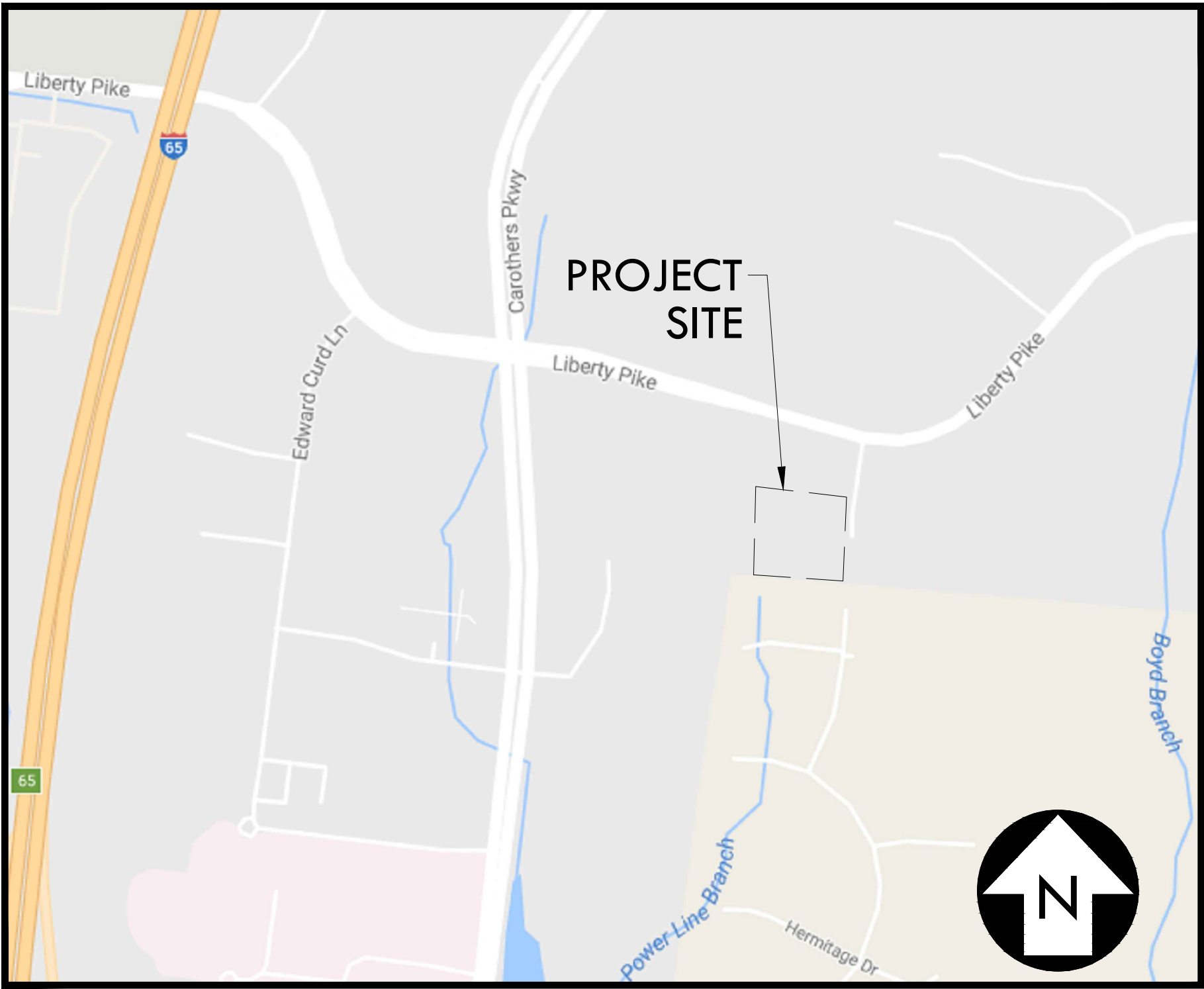
PARKING
EXISTING 0
REQUIRED (4 SPACES PER 1000SF GEN OFFICE AT 41,300 S.F.) 168
MAXIMUM PARKING 202
PROPOSED 218
REGULAR SPACES 100
GARAGE SPACES 63
COMPACT SPACES (0 % OF TOTAL PROVIDED) 0
ADA SPACES 7
PERVIOUS SPACES 32
EXCESS SPACES (PERVIOUS) 16

BICYCLE FACILITIES
REQUIRED (1 SPOT PER 20 PARKING SPACES) 4
PROVIDED 4

RESIDENTIAL DENSITY: N/A

TREE CANOPY: 22% PRESERVED TREE CANOPY SHOWN
PARKLAND DEDICATION: NOT APPLICABLE

OPEN SPACE: 7688 SF
FORMAL OPEN SPACE REQ'D (5% OF 3.53 AC.) 9400 SF
FORMAL OPEN SPACE PROPOSED
USE BUFFER: 75FT BUFFER AGAINST SINGLE FAMILY
BUILDING OCCUPANCY: GROUP B, BUSINESS
CONSTRUCTION TYPE: TYPE IIB



LOCATION MAP NOT TO SCALE

Design Modification Request: To allow the main entrance of the building to not face Liberty Pike, but instead face the neighboring building.

Responses to the four (4) findings:

- I. The request to locate the main entrance to the east, toward the Jones Company office building, will not be detrimental to the public safety, health, or welfare to other properties in the surrounding neighborhood. We believe that the design is consistent with section 5.3.6 (1) (b) (i) that states the facade shall be parallel to the street they front unless an alternative orientation is consistent with existing adjacent development.
- II. Due to the fact that this 3.5 acre lot being created is not technically adjacent to Liberty Pike, and it will be the only property adjacent to the Jones Company building, we feel that this is a unique situation that will not apply to other properties on this site. A site plan had been approved for an office building in the northeast corner of Lot 2 that faced Liberty Pike. Keep in mind that the rear of the previously approved office building would be directly in front of a main entrance to this proposed building that faced Liberty Pike. This site is also very unique with the steep grades that slope east to west, making it very difficult to provide a flat parking area at a location that would act as the main entrance on the north side of the building. The adjacent high voltage power lines and poles would mean that a north facing entrance would be looking directly toward the unsightly power lines.
- III. The future tenant of this building, Prime Health Services, is a business that handles highly sensitive information. They have a strong desire for only one primary entrance into this building. They do not want to have a faux entrance on the Liberty Pike side of the building that would remain locked and potentially confuse visitors to the property. Therefore, if it were required to have an entrance on the Liberty Pike side of the building, or a faux entrance, it would make this site undevelopable for this future business looking to relocate from Brentwood to Franklin.
- IV. Based on our understanding of the Franklin Land Use Plan, our proposed design modification does not create conflict with the land use plan.

We understand the concerns that this design standard is seeking to eliminate. It is our belief that our building entrance location is in keeping with the zoning ordinance because it is adjacent to a road that is accessible to this property, and it is oriented similar to a neighboring development.

DEVELOPMENT SUMMARY

PLAN PREPARATION DATE: MAY 4, 2017
DESIGN PROFESSIONALS:
CIVIL ENGINEER: CRUNK ENGINEERING LLC
1894 GEN. GEORGE PATTON DR.
SUITE 600
FRANKLIN, TN
615-873-1795
CONTACT: ADAM CRUNK, PE
adam@crunkeng.com
ARCHITECT: HEREFORD DOOLEY ARCHITECTS
1720 WEST END AVE. SUITE 300
NASHVILLE, TN 37203
US FEMA FIRM: MAP NO. 47187C0212F
EFFECTIVE DATE - SEPTEMBER 29, 2006
ZONE X - NO FLOOD HAZARD

SHEET INDEX:

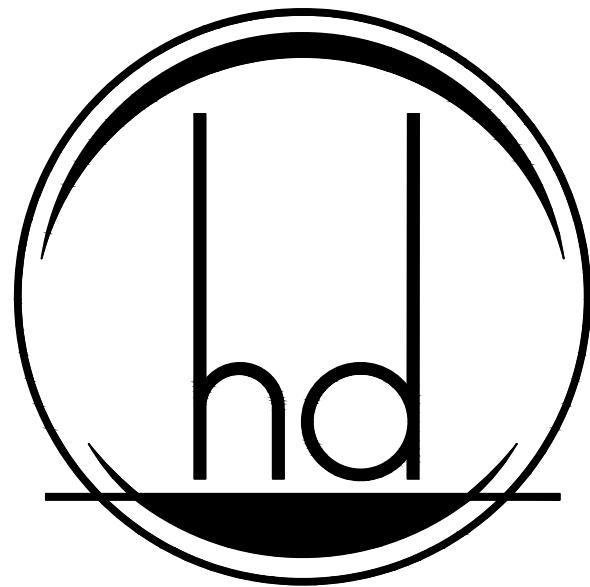
- C0.0 COVER
- C1.0 NOTES
- C2.0 EXISTING CONDITIONS PLAN
- C3.0 DEMOLITION PLAN
- C4.0 INITIAL ESCP & WATER QUALITY PLAN
- C4.1 INTERIM ESCP & WATER QUALITY PLAN
- C4.2 FINAL ESCP & WATER QUALITY PLAN
- C4.3 ESCP & WATER QUALITY DETAILS
- C5.0 OVERALL SITE LAYOUT PLAN
- C5.1 SITE LAYOUT PLAN
- C5.2 ACCESS PLAN
- C5.3 EASEMENT PLAN
- C6.0 SITE GRADING & DRAINAGE PLAN
- C6.1 EAST ACCESS DRIVE PROFILE
- C6.2 DOWNSTREAM GRADING & DRAINAGE PLAN
- C6.3 LOT 2 FRONTAGE SIDEWALK GRADING
- C7.0 UTILITY PLAN
- C7.1 UTILITY PROFILE
- C8.0 DETAILS
- C8.1 DETAILS
- C8.2 DETAILS
- C8.3 DETAILS
- C8.4 DETAILS
- C8.5 DETAILS
- L1.0 LANDSCAPE PLAN
- L2.0 LANDSCAPE DETAILS
- L3.0 TREE PRESERVATION PLAN
- L3.1 SPECIMEN TREE PRESERVATION PLAN
- E100 SITE PLAN - LIGHTING CALCS
- A200 EXTERIOR ELEVATIONS
- A201 EXTERIOR ELEVATIONS



CRUNK ENGINEERING LLC

1894 GENERAL GEORGE PATTON DR.
SUITE 600
FRANKLIN, TN 37067
(615) 873-1795

WWW.CRUNKENG.COM



HEREFORD · DOOLEY ARCHITECTS

1720 WEST END AVE · SUITE 300
NASHVILLE · TENNESSEE · 37203

P · 615 · 244 · 7399
F · 615 · 244 · 6697

WWW.HDARCHITECTS.COM

05/04/17

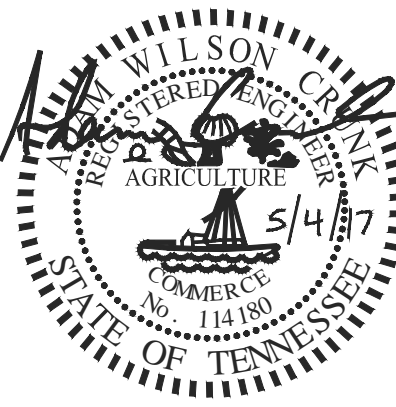
PROJECT
216042.00

LOCATION
1217 Liberty Pike
Franklin TN 37067

CLIENT
Prime Health Services

Carothers
Development
Subdivision, Site
Plan, Revision 1
(Prime Health)
C.O.F. # 6323

CONSTRUCTION DOCUMENTS



05/04/17

DATES OF ISSUANCE
△

TITLE
COVER

SHEET
C0.0

THIS DRAWING IS THE PROPERTY OF HEREFORD DOOLEY ARCHITECTS. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT SHALL BE RETURNED UPON REQUEST. COPYRIGHT AS DATED HEREFORD DOOLEY ARCHITECTS. NOT VALID UNLESS SIGNED AND SEALED.

GENERAL NOTES:

1. BASE INFORMATION WAS TAKEN FROM A PARTIAL BOUNDARY & TOPOGRAPHIC SURVEY PERFORMED BY WEATHERFORD & ASSOCIATES WITH SOME BASE INFORMATION TAKEN FROM A PARTIAL BOUNDARY & TOPOGRAPHIC SURVEY PERFORMED BY WILSON & ASSOCIATES. CRUNK ENGINEERING LLC SHALL NOT BE RESPONSIBLE FOR ERRORS AND OMISSIONS RESULTING FROM THIS INFORMATION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL AND LABOR TO CONSTRUCT THE PROJECT AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES, SPECIFICATIONS AND REQUIREMENTS.
3. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONSTRUCTION DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, AND SPECIAL CONDITIONS AND COPIES OF ANY REQUIRED CONSTRUCTION PERMITS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL QUANTITIES, TAKE-OFF MEASUREMENTS, MATERIALS, ETC., DURING THE BID PROCESS. ANY QUANTITIES PROVIDED ON PLANS ARE PROVIDED AS A COURTESY. WHEN DISCREPANCIES OCCUR, THE PHYSICAL PLAN TAKES PRECEDENCE.
5. A COPY OF THE ELECTRONIC DRAWING FILE MAY BE REQUESTED FROM ENGINEER BY CONTRACTOR TO PROVIDE COORDINATES FOR LOCATION IN FIELD. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REQUEST ELECTRONIC FILES AFTER ANY REVISIONS TO PLANS, IF ANY OCCUR.
6. THE CONTRACTOR SHALL CHECK ALL EXISTING CONDITIONS, UTILITY INVERTS, UTILITY ROUTINGS, UTILITY CROSSINGS, AND DIMENSIONS IN THE FIELD PRIOR TO COMMENCEMENT OF WORK. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO INSTALLATION.
7. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY. THE CONTRACTOR SHALL CALL NATIONAL ONE CALL (811) 72 HOURS PRIOR TO PROCEEDING WITH ANY EXCAVATION. THE CONTRACTOR SHALL REPAIR ANY DAMAGED UTILITIES ACCORDING TO LOCAL STANDARDS AT THE CONTRACTOR'S EXPENSE.
8. THE CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES AND RECEIVE APPROVAL WHERE NECESSARY BEFORE CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR DOCUMENTING AND MAINTAINING AS-BUILT INFORMATION WHICH SHALL BE RECORDED AS CONSTRUCTION PROGRESSES OR AT THE COMPLETION OF APPROPRIATE CONSTRUCTION INTERVALS. ALL AS-BUILTS SHALL BE PREPARED IN ACCORDANCE WITH LOCAL AGENCY(S) REQUIREMENTS. IF A CERTIFIED AS-BUILT SURVEY IS REQUIRED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A STAMPED SURVEY AND SUBMITTING TO ENGINEER.
9. THE CONTRACTOR SHALL LIMIT CONSTRUCTION OPERATIONS TO WITHIN THE LIMITS OF CONSTRUCTION. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ANY DAMAGES OUTSIDE THE LIMITS OF CONSTRUCTION. CARE SHALL BE TAKEN TO PROTECT ANY UTILITIES, TREES, BUILDINGS ETC. WHICH ARE TO REMAIN AND NOT TO BE DISTURBED BY THE CONSTRUCTION.
10. EXISTING PAVEMENT OF PUBLIC ROADWAYS SHALL BE PATCHED IN ACCORDANCE WITH LOCAL AGENCY STANDARDS WHEREVER UTILITY INSTALLATION REQUIRES REMOVAL OF THE EXISTING PAVEMENT. COORDINATE PAVEMENT TRENCHING LOCATIONS WITH SITE CIVIL, PLUMBING AND ELECTRICAL PLANS.
11. DIMENSIONS AND COORDINATES PROVIDED ARE TO FACE OF CURB AND/OR EXTERIOR FACE OF BUILDING UNLESS OTHERWISE NOTED.
12. THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE MANUAL OF ACCIDENT PREVENTION AND CONSTRUCTION ISSUED BY AGC OF AMERICA, INC. AND THE SAFETY AND HEALTH REGULATIONS OF CONSTRUCTION ISSUED BY THE U.S. DEPARTMENT OF LABOR.
13. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY WORKS SUCH AS BRACING, SHEETING AND SHORING, BLASTING PROTECTION, WARNING LIGHTS AND BARRICADES, ETC. AS MAY BE NECESSARY FOR THE PROTECTION OF LIFE AND PROPERTY FOR HIS OWN EMPLOYEES AND THE GENERAL PUBLIC.
14. PORTIONS OF THE WORK SHOWN ON THESE PLANS MAY REQUIRE TRENCH AND/OR MASS EXCAVATION. IN SOME CASES, THIS WILL REQUIRE THE REMOVAL OF ROCK. IN THE USE OF EXPLOSIVES FOR THE SUBSEQUENT EXCAVATION OF ROCK MATERIAL, ALL APPLICABLE LOCAL AND STATE REQUIREMENTS REGARDING THE USE AND STORAGE OF EXPLOSIVE MATERIAL SHALL BE FOLLOWED. THE PROPER PERMITS MUST BE SECURED AND PRE-BLAST SURVEYS WILL BE CONDUCTED IN AREAS WHERE ADJACENT PROPERTIES OR IMPROVEMENTS OFF OF THE PROJECT PROPERTY COULD BE IMPACTED. IN PORTIONS OF THE PROJECT WHERE TRENCH EXCAVATION IS REQUIRED, THE CONTRACTOR WILL BECOME FAMILIAR WITH ALL APPLICABLE TRENCH SAFETY REQUIREMENTS AND REGULATIONS AND TAKE THE NECESSARY MEASURES TO INSURE THE SAFETY OF HIS EMPLOYEES AND ANY OTHER INDIVIDUALS HAVING A NEED TO BE IN AND AROUND THE WORK.
15. ANY WORK UNACCEPTABLE TO THE OWNER'S REPRESENTATIVE OR TO THE LOCAL AGENCY(S) SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

1. THE CONTRACTOR SHALL VERIFY THE LIMITS OF DEMOLITION WITH THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF WORK.
2. THE CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS UNLESS OTHERWISE INDICATED, REMOVING TREES, STUMPS, ROOTS, MUCK, EXISTING PAVEMENT AND ALL OTHER DELETERIOUS MATERIAL. UPON REMOVAL NO ROOT GREATER THAN THREE INCHES IN DIAMETER SHALL REMAIN WITHIN FIVE FEET OF AN UNDERGROUND STRUCTURE OR UTILITY LINE OR UNDER PAVED FOOTINGS OR PAVED AREAS.
3. IN AREAS WHERE EXISTING PAVEMENT, WALKS, OR CURBS ARE TO BE REMOVED, SAW CUT TO PROVIDE A CLEAN EDGE. COORDINATE EXTENT OF PAVEMENT DEMOLITION WITH THE LIMIT OF IMPROVEMENTS ON THE SITE LAYOUT PLAN AND UTILITY PLAN.
4. THE CONTRACTOR SHALL COORDINATE PHASING OF THE DEMOLITION WITH THE OWNER'S REPRESENTATIVE AND UTILITY PROVIDERS PRIOR TO BEGINNING WORK. DISRUPTION OF EXISTING UTILITY SERVICES AND TRAFFIC PATTERNS SHALL BE MINIMIZED TO THE EXTENT POSSIBLE AND INITIATED ONLY AFTER APPROVAL BY THE LOCAL AGENCY(S) AND UTILITY PROVIDER(S).
5. NO UTILITY OR STORM SEWER LINES SHALL BE DEMOLISHED UNTIL THE NEW LINES HAVE BEEN INSTALLED AND ARE PLACED INTO OPERATION.
6. THE CONTRACTOR SHALL INCORPORATE INTO HIS WORK ANY ISOLATION VALVES OR TEMPORARY PLUGS REQUIRED TO CONSTRUCT NEW UTILITY LINES AND DEMOLISH EXISTING UTILITY LINES.
7. WHERE WATER LINE AND SEWER LINE ABANDONMENT IS PLANNED, THE CONTRACTOR MAY ABANDON WATER LINES AND SEWER LINES IN PLACE WHERE THEY OCCUR AT LEAST 24 INCHES (TO TOP OF PIPE) BELOW FINAL SUBGRADE ELEVATIONS AND OUTSIDE THE BUILDING FOOT PRINT. ALL UTILITY LINES BEING ABANDONED IN PLACE SHALL HAVE ALL ENDS PERMANENTLY CLOSED USING A CONCRETE PLUG.
8. CAVITIES AND TRENCHES LEFT BY DEMOLITION WORK SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS.
9. ALL MATERIALS BEING REMOVED AND NOT RELOCATED UNDER THE NEW CONSTRUCTION, INCLUDING TREES AND SHRUBS, SIGNS, LIGHT POLES, UTILITY STRUCTURES, ETC., SHALL BE FIRST OFFERED TO THE OWNER'S REPRESENTATIVE AND IF NOT ACCEPTED SHALL THEN BE PROPERLY DISPOSED OF BY THE CONTRACTOR.

SITE GRADING NOTES:

1. BASE INFORMATION WAS TAKEN FROM A PARTIAL BOUNDARY & TOPOGRAPHIC SURVEY PERFORMED BY WEATHERFORD & ASSOCIATES WITH SOME BASE INFORMATION TAKEN FROM A PARTIAL BOUNDARY & TOPOGRAPHIC SURVEY PERFORMED BY WILSON & ASSOCIATES. BENCHMARK LOCATION AND ELEVATIONS ARE AS REPRESENTED BY THE SURVEYOR AT THE TIME OF THE SURVEY. THE CONTRACTOR SHALL VERIFY ITS CORRECTNESS PRIOR TO CONSTRUCTION.
2. THE DISTURBED AREA FOR THIS PROJECT IS APPROXIMATELY 4.60 ACRES.
3. THE SUBJECT PROPERTY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE ACCORDING TO PANEL No. 47187C0212F OF THE F.E.M.A. FLOOD INSURANCE RATE MAPS FOR WILLIAMSON COUNTY, TENNESSEE, DATED 9/29/2006.
4. MULCH AND SEED ALL DISTURBED AREAS AS SOON AS POSSIBLE AFTER FINAL GRADING IS COMPLETED, UNLESS OTHERWISE INDICATED. CONTRACTOR SHALL TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
5. THE CONTRACTOR SHALL CHECK EXISTING GRADES AND DIMENSIONS PRIOR TO BEGINNING WORK AND REPORT ANY DISCREPANCIES TO THE ENGINEER. THIS GRADING & DRAINAGE PLAN IS NOT A DETERMINATION OR GUARANTEE OF THE SUITABILITY OF THE SUBSURFACE CONDITIONS FOR THE WORK INDICATED. A GEOTECHNICAL SOILS REPORT HAS BEEN PREPARED AND IS AVAILABLE FROM THE OWNER. DETERMINATION OF THE SUBSURFACE CONDITIONS FOR THE WORK INDICATED IS THE CONTRACTOR'S SOLE RESPONSIBILITY.
6. IF ANY SPRINGS OR UNDERGROUND STREAMS ARE EXPOSED DURING CONSTRUCTION THE OWNER'S REPRESENTATIVE AND ENGINEER SHALL BE NOTIFIED IMMEDIATELY. PERMANENT MEDIATION MAY BE REQUIRED, THE LOCATION AND SPECIFICATION OF WHICH WILL BE DETERMINED BY THE CONDITIONS WHICH ARE ENCOUNTERED.
7. THE PROPOSED GRADING AND DRAINAGE PLAN CONTAIN CONTOUR LINES AND SPOT ELEVATIONS RESULTING FROM AN ENGINEERED DESIGN AND REFLECT A PLANNED INTENT WITH REGARD TO DRAINAGE AND MOVEMENT OF MATERIALS. SHOULD THE CONTRACTOR HAVE ANY QUESTION OF THE INTENT OR ANY PROBLEM WITH THE CONTINUITY OF GRADES, THE ENGINEER SHALL BE CONTACTED IMMEDIATELY.
8. ALL CUT AND FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE INDICATED ON PLANS. FILL SLOPES OF 3:1 AND GREATER SHALL BE PLACED AND COMPACTED A MINIMUM OF 5 FEET BEYOND THE PROPOSED SLOPE LIMITS AND THEN EXCAVATED BACK TO THE PROPOSED LOCATION.
9. THE MAXIMUM SLOPE WITHIN ACCESSIBLE PARKING SPACES SHALL BE 2.0% IN ANY DIRECTION. THE MINIMUM GRADE ON ASPHALT OR CONCRETE PAVING SHALL BE 1.0% UNLESS OTHERWISE INDICATED ON PLANS.
10. PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. SLIGHT FIELD ADJUSTMENT MAY BE REQUIRED. THE CONTRACTOR WILL BE REQUIRED TO ADJUST GRADES OF INTERSECTING STREETS, ALLEYS, PUBLIC ENTRANCES AND PRIVATE DRIVES AS DIRECTED BY THE ENGINEER.
11. THE CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AT ALL TIMES DURING AND AFTER CONSTRUCTION. SOIL AFFECTED BY PERCHED WATER IN FOUNDATION AND PAVEMENT AREAS MUST BE UNDERCUT AND REPLACED WITH SUITABLE FILL MATERIALS APPROVED BY A GEOTECHNICAL ENGINEER. GROUNDWATER INFILTRATION INTO EXCAVATIONS SHOULD BE EXPECTED, AND THE WATER SHALL BE REMOVED USING GRAVITY DRAINAGE OR PUMPING.
12. THE CONTRACTOR SHALL TAKE SPECIAL CARE TO COMPACT FILL SUFFICIENTLY AROUND AND OVER ALL PIPES, STRUCTURES, VALVE STEMS, ETC., INSIDE THE PROPOSED PAVED AREAS TO AVOID SETTLEMENT. ANY SETTLEMENT DURING THE WARRANTY PERIOD SHALL BE RESTORED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
13. THE CONTRACTOR SHALL NOT DISTURB VEGETATION OR REMOVE ANY TREES EXCEPT WHEN NECESSARY FOR GRADING PURPOSES.
14. THE CONTRACTOR SHALL STRIP TOPSOIL FROM ALL CUT AND FILL AREAS AND STOCKPILE. UPON COMPLETION OF GENERAL GRADING THE TOPSOIL SHALL BE PLACED OVER ALL DISTURBED AREAS TO A MINIMUM DEPTH OF 6". CONTRACTOR SHALL PROVIDE ADDITIONAL TOPSOIL IF INSUFFICIENT QUANTITIES EXIST ON SITE. THE CONTRACTOR SHALL PROVIDE MEASURES TO PREVENT SEDIMENT FROM STOCKPILED TOPSOIL OR FILL MATERIAL FROM CONTAMINATING SURROUNDING AREAS OR ENTERING NEARBY STREAMS.
15. ALL FILL MATERIAL SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT. THIS MATERIAL SHALL BE PLACED IN LIFTS AND COMPACTED AS DIRECTED BY THE GEOTECHNICAL ENGINEER (TO 95% STANDARD PROCTOR).
16. THE CONTRACTOR IS RESPONSIBLE FOR PERMITTING ANY SITE USED FOR DISPOSAL AND/OR STOCKPILE OF ANY MATERIAL FOR SUCH ACTIVITY. A COPY OF THE APPROVED PERMIT MUST BE PROVIDED TO THE INSPECTOR PRIOR TO COMMENCEMENT OF WORK ON ANY PROPERTY. FAILURE TO DO SO MAY RESULT IN THE CONTRACTOR REMOVING ANY ILLEGALLY PLACED MATERIAL AT HIS OWN EXPENSE.
17. ANY EXCESS EARTH MATERIAL AS A RESULT FROM GRADING ACTIVITIES SHALL BE FIRST OFFERED TO THE OWNER. IF NOT ACCEPTED BY THE OWNER, THE CONTRACTOR SHALL DISPOSE OF EARTH MATERIAL OFF SITE AT NO ADDITIONAL COST TO THE OWNER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO IMPORT SUITABLE MATERIAL FOR GRADING ACTIVITIES IF SUFFICIENT AMOUNTS OF EARTH MATERIAL ARE NOT AVAILABLE ON SITE AT NO ADDITIONAL COST TO THE OWNER.
18. SEGMENTAL WALLS SHALL BE PROVIDED BY THE CONTRACTOR ON A DESIGN BUILD BASIS. WALL DESIGN PLANS STAMPED BY A REGISTERED ENGINEER IN THE STATE OF THE PROJECT SHALL BE SUBMITTED TO THE ENGINEER AS A SHOP DRAWING AND INCLUDED IN THE CONSTRUCTION DOCUMENTS.
19. TOP OF GRATE ELEVATIONS FOR DRAINAGE STRUCTURES SHALL BE AS SHOWN ON THE DETAIL AND GRADING PLAN, UNLESS NOTED OTHERWISE. THE GRATES SHALL SLOPE WITH THE PAVEMENT AND/OR CURB AND GUTTER GRADES. LOCATION OF DRAINAGE STRUCTURES IS AS SHOWN ON THE GRADING PLAN.
20. THE CONTRACTOR SHALL COORDINATE EXACT LOCATION OF STORM DRAIN CONNECTIONS AT THE BUILDING WITH THE PLUMBING PLANS.
21. REINFORCED CONCRETE STORM PIPE SHALL MEET ASTM 76CLASS III, WALL TYPE "B" MESH REINFORCEMENT. HIGH DENSITY POLYETHYLENE PIPE (HDPE) SHALL MEET ASTM F 2648. POLYVINYLCHLORIDE PIPE (PVC) SHALL MEET ASTM D3034, SDR 35.

EROSION CONTROL NOTES:

1. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE AND FUNCTIONAL BEFORE GRADING ACTIVITIES BEGIN AND MUST BE CONSTRUCTED AND MAINTAINED THROUGH THE DURATION OF THE PROJECT. TEMPORARY MEASURES MAY BE REMOVED AT THE BEGINNING OF THE WORKDAY BUT MUST BE REPLACED AT THE END OF THE WORKDAY.
2. THE CONTRACTOR SHALL SEQUENCE CONSTRUCTION TO MINIMIZE THE EXPOSURE TIME OF GRADED OR DENUDED AREAS.
3. CONSTRUCT SILT BARRIERS BEFORE BEGINNING GRADING OPERATIONS.
4. PROVIDE TEMPORARY CONSTRUCTION ACCESS(IES) AT THE POINT(S) WHERE CONSTRUCTION VEHICLES EXIT THE CONSTRUCTION AREA. MAINTAIN PUBLIC ROADWAYS FREE OF TRACKED MUD AND DIRT.
5. EXISTING VEGETATION AND GROUND COVER SHALL NOT BE DESTROYED, REMOVED OR DISTURBED MORE THAN 10 DAYS PRIOR TO GRADING OR EARTH MOVING UNLESS THE AREA IS SEEDD AND/OR MULCHED OR OTHER TEMPORARY COVER IS INSTALLED.
6. USE TEMPORARY VEGETATION AND/OR MULCH TO PROTECT BARE AREAS FROM EROSION DURING CONSTRUCTION.
7. INSPECTION AND MAINTENANCE OF EROSION CONTROL DEVICES SHALL BE PERFORMED ON A REGULAR BASIS. IF AT ANY TIME DURING CONSTRUCTION, THE EROSION AND SEDIMENT CONTROL MEASURES INSTALLED FAIL TO FUNCTION PROPERLY, NEED MAINTENANCE OR REPAIR, OR NEED NEW REPLACEMENT IN KIND, THE CONTRACTOR WILL EFFECT SUCH ACTIONS AS ARE NEEDED TO CORRECT THE SITUATION AT NO ADDITIONAL COST TO THE OWNER.
8. THE CONTRACTOR SHALL USE WATER SPRINKLING AND OTHER SUITABLE METHODS AS NECESSARY TO CONTROL DUST AND DIRT CAUSED BY CONSTRUCTION ACTIVITY. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST CONTROL ARE PROHIBITED.
9. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
10. STABILIZATION PRACTICES SHOULD BE INITIATED AS SOON AS PRACTICAL, BUT IN NO CASE MORE THAN 7 DAYS WHERE CONSTRUCTION HAS TEMPORARILY OR PERMANENTLY CEASED. DISTURBED AREAS WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY STABILIZED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRED.
11. SEDIMENT SHOULD BE REMOVED FROM SEDIMENT AND EROSION CONTROL DEVICES AS NECESSARY AND MUST BE REMOVED WHEN DESIGN CAPACITY HAS BEEN REDUCED BY 50% OR AS DIRECTED BY OWNER'S REPRESENTATIVE.
12. THE CONTRACTOR SHALL REMOVED SEDIMENT BUILD UP FROM ALL DRAINAGE STRUCTURES BEFORE ACCEPTANCE BY LOCAL GOVERNING AGENCY OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
13. THE CONTRACTOR SHALL REMOVE THE TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES ONLY AFTER A GOOD STAND OF VEGETATIVE COVER HAS BEEN ESTABLISHED ON GRADED AREAS AND WHEN IN THE OPINION OF THE OWNER'S REPRESENTATIVE, THEY ARE NO LONGER NEEDED.

UTILITY NOTES:

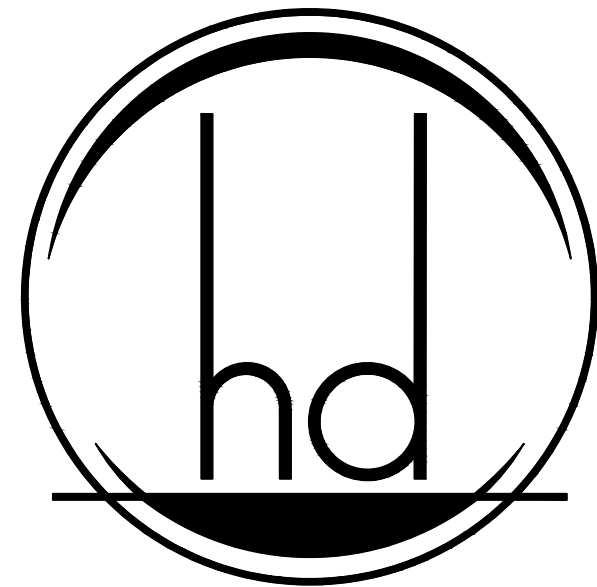
1. ALL WATER LINES, SEWER LINES AND APPURTENANCES SHALL BE CONSTRUCTED OF MATERIALS THAT CONFORM WITH LOCAL AGENCY(S) AND UTILITY PROVIDER DETAILS AND SPECIFICATIONS.
2. SANITARY SEWER SHALL BE OF MATERIAL AS SPECIFIED ON PLANS. POLYVINYLCHLORIDE (PVC) SHALL MEETASTM D3034 SDR35. DUCTILE IRON PIPE (DIP) SHALL MEET ANSI21.51 /AWWA C-151 CLASS 52.
3. WATER LINES SHALL BE OF MATERIAL AS SPECIFIED ON PLANS. CEMENT LINED DUCTILE IRON (DIP) SHALL MEET AWWA C-151 CLASS 52. POLYVINYLCHLORIDE (PVC) SHALL MEET AWWA C-900, SDR 18, CLASS 150.
4. A MINIMUM COVER OF 36" SHALL BE PROVIDED OVER ALL WATER LINES.
5. THE CONTRACTOR SHALL MAINTAIN A HORIZONTAL SEPARATION OF 10 FEET BETWEEN SANITARY SEWER LINES AND WATER LINES. WHERE THESE CRITERIA CANNOT BE MET, THE CONTRACTOR SHALL MAINTAIN 18" VERTICAL SEPARATION BETWEEN WATER AND SEWER LINES.
6. EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE SURVEYOR AT THE TIME OF THE TOPOGRAPHIC SURVEY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ENTIRELY ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE HE COMMENCES ANY WORK IN THE VICINITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
7. THE CONTRACTOR SHALL VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF THE POINT OF CONNECTIONS OF ALL UTILITIES PRIOR TO ORDERING OF MATERIALS OR COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
8. THE CONTRACTOR SHALL COORDINATE THE SEQUENCE OF CONSTRUCTION FOR ALL UTILITY LINES TO PREVENT CONFLICTS WITH EXISTING OR PROPOSED WATER LINES, SANITARY SEWER LINES, SANITARY SEWER SERVICES, STORM SEWERS, OR ANY OTHER UTILITY OR STRUCTURE.
9. BEFORE CONNECTIONS ARE MADE INTO EXISTING UTILITIES, THE NEW LINES ARE TO BE FLUSHED AND TESTED BY THE CONTRACTOR IN ACCORDANCE WITH THE LOCAL AGENCY(S) AND UTILITY PROVIDER(S) WATER AND SEWER SPECIFICATIONS.
10. REDUCED PRESSURE BACKFLOW PREVENTOR (RPBP) OR DUAL CHECK WILL BE REQUIRED ON ALL TESTS AND FILL LINES (JUMPER) NEEDED FOR WATER MAIN CONSTRUCTION AND MUST BE APPROVED BY LOCAL AGENCY AND UTILITY PROVIDER.
11. THE CONTRACTOR SHALL PROVIDE ALL HORIZONTAL AND VERTICAL BENDS TO ATTAIN THE ALIGNMENT INDICATED ON THE PLANS. PROVIDE VERTICAL BENDS WHERE NECESSARY TO ALLOW WATER LINES TO PASS UNDER OR OVER OTHER UTILITY LINES (ALL BENDS AND BRACES NEEDED MAY NOT BE SHOWN ON THESE PLANS). PROVIDE BRACING AND/OR RODDING AT ALL BENDS AND TEES AS REQUIRED.
12. THE CONTRACTOR SHALL COORDINATE EXACT LOCATION OF UTILITY CONNECTIONS AT THE BUILDING WITH PLUMBING PLANS.
13. PROPOSED GAS LINE, ELECTRIC LINE AND TELEPHONE LINE CONSTRUCTION AND INSTALLATION SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY PROVIDERS.
14. EXISTING CASTINGS LOCATED IN FILL/CUT AREAS SHALL BE ADJUSTED TO ENSURE THAT THE TOP OF CASTING IS FLUSH WITH THE FINISHED GRADE.
15. THE CONTRACTOR SHALL MARK THE LOCATION OF ALL NEW PVC LINES WITH #8 WIRE.
16. ALL CONNECTIONS TO EXISTING MANHOLES SHALL BE BY THE CORING AND RESILIENT SEAL METHOD.
17. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTIVE MEASURES TO SAFEGUARD EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION OF THIS PROJECT. IN THE EVENT THAT SPECIAL EQUIPMENT IS REQUIRED TO WORK OVER AND AROUND THE UTILITIES, THE CONTRACTOR WILL BE REQUIRED TO FURNISH SUCH EQUIPMENT AT NO ADDITIONAL COST TO THE OWNER.
18. ALL FIRE LINES SHALL BE INSTALLED BY A SPRINKLER CONTRACTOR LICENSED IN THE STATE OF THE PROJECT.
19. PRIOR TO SUBMITTING OF BID, THE CONTRACTOR WILL BE RESPONSIBLE FOR CONTACTING OWNERS OF ALL AFFECTED UTILITIES IN ORDER TO DETERMINE THE EXTENT TO WHICH UTILITY RELOCATIONS AND/OR ADJUSTMENTS WILL HAVE UPON THE SCHEDULE OF WORK FOR THE PROJECT. WHILE SOME WORK MAY BE REQUIRED 'AROUND' UTILITY FACILITIES THAT WILL REMAIN IN PLACE, OTHER UTILITY FACILITIES MAY NEED TO BE ADJUSTED CONCURRENTLY WITH THE CONTRACTOR'S OPERATIONS.



CRUNK ENGINEERING LLC

1894 GENERAL GEORGE PATTON DR.
SUITE 600
FRANKLIN, TN 37067
(615) 873-1795

WWW.CRUNKENG.COM



HEREFORD · DOOLEY
ARCHITECTS

1720 WEST END AVE · SUITE 300
NASHVILLE · TENNESSEE · 37203

P · 615 · 244 · 7399
F · 615 · 244 · 6697

WWW.HDARCHITECTS.COM

05/04/17

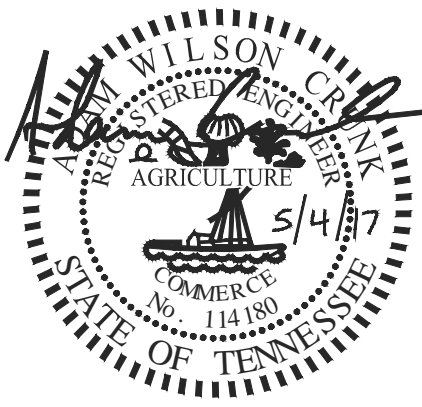
216042.00

1217 Liberty Pike
Franklin TN 37067

Prime Health Services

Carothers
Development
Subdivision, Site
Plan, Revision 1
(Prime Health)
C.O.F. # 6323

CONSTRUCTION
DOCUMENTS



05/04/17

△
DATES OF ISSUANCE

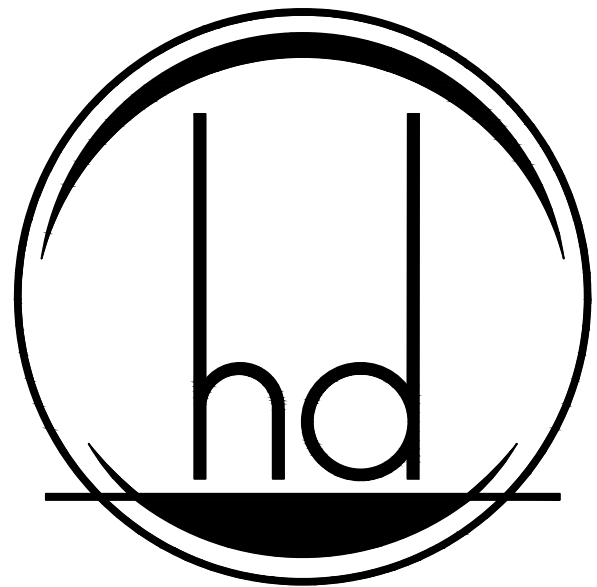
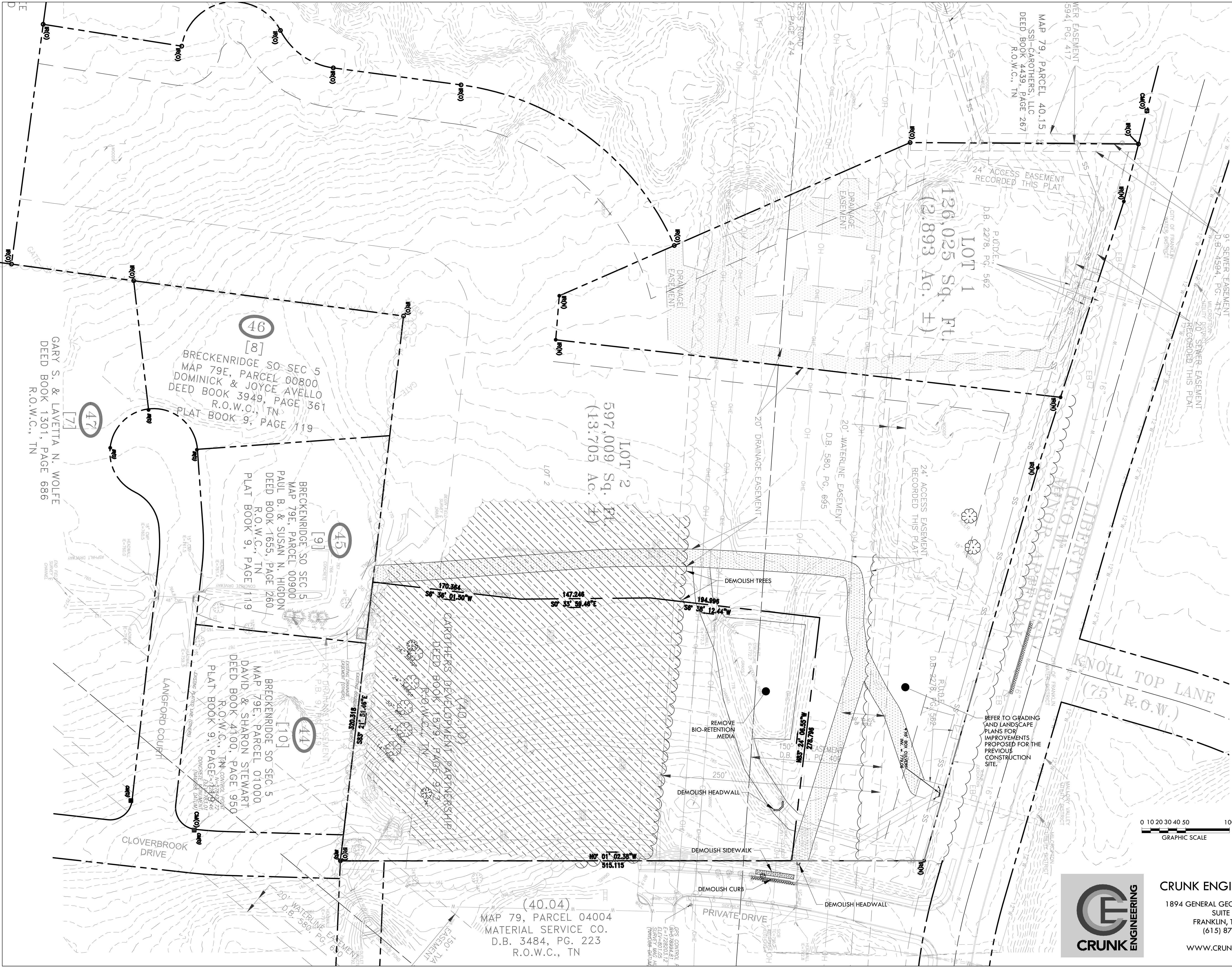
TITLE
SHEET

NOTES

C1.0



THIS DRAWING IS THE PROPERTY OF HEREFORD DOOLEY ARCHITECTS. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT. COPYRIGHT AS DATED HEREFORD DOOLEY ARCHITECTS. NOT VALID UNLESS SIGNED AND SEALED.



HEREFORD · DOOLEY
ARCHITECTS

1720 WEST END AVE · SUITE 300
NASHVILLE · TENNESSEE · 37203

P · 615 · 244 · 7399
F · 615 · 244 · 6697

WWW.HDARCHITECTS.COM

05/04/17

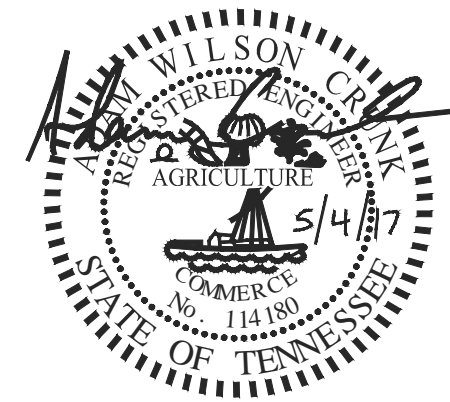
PROJECT
216042.00

LOCATION
1217 Liberty Pike
Franklin TN 37067

CLIENT
Prime Health Services

Carothers
Development
Subdivision, Site
Plan, Revision 1
(Prime Health)
C.O.F. # 6323

CONSTRUCTION
DOCUMENTS



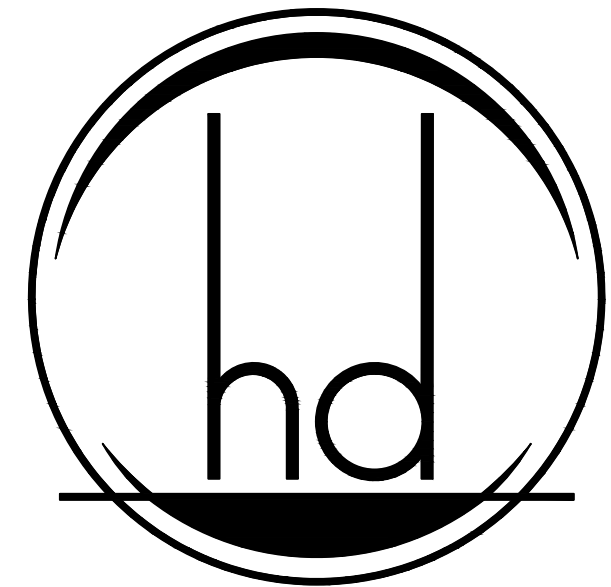
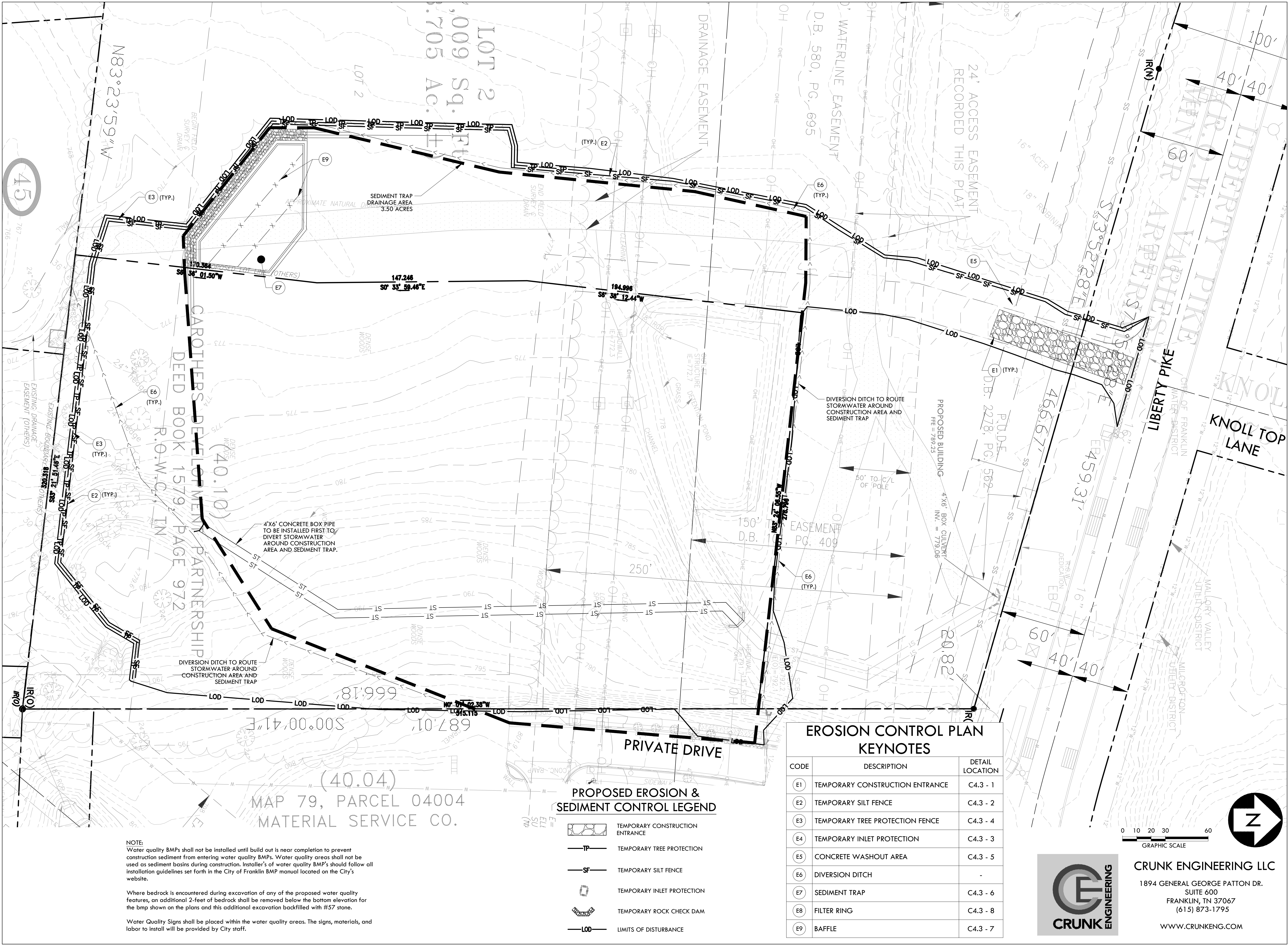
05/04/17

DATES OF ISSUANCE
△

TITLE
DEMOLITION
PLAN

SHEET
C3.0

THIS DRAWING IS THE PROPERTY OF HEREFORD DOOLEY ARCHITECTS. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT. IT SHALL BE RETURNED UPON REQUEST. COPYRIGHT AS DATED HEREFORD DOOLEY ARCHITECTS. NOT VALID UNLESS SIGNED AND SEALED.



HEREFORD · DOOLEY
ARCHITECTS
1720 WEST END AVE · SUITE 300
NASHVILLE · TENNESSEE · 37203
P · 615 · 244 · 7399
F · 615 · 244 · 6697
WWW.HDARCHITECTS.COM

PROJECT	216042.00
LOCATION	1217 Liberty Pike Franklin TN 37067
CLIENT	Prime Health Services

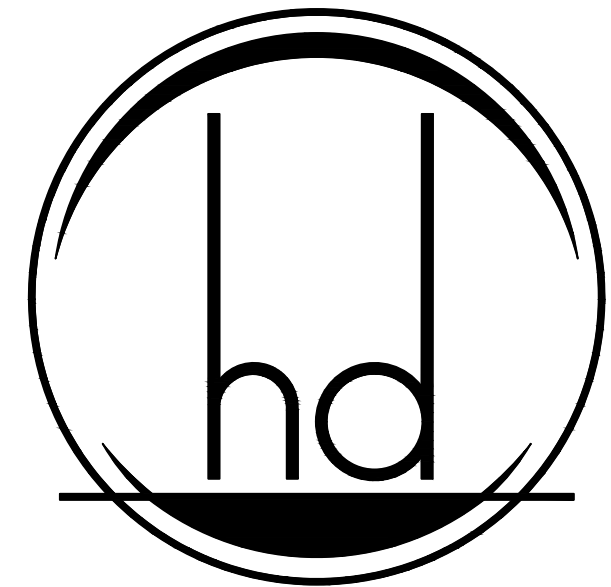
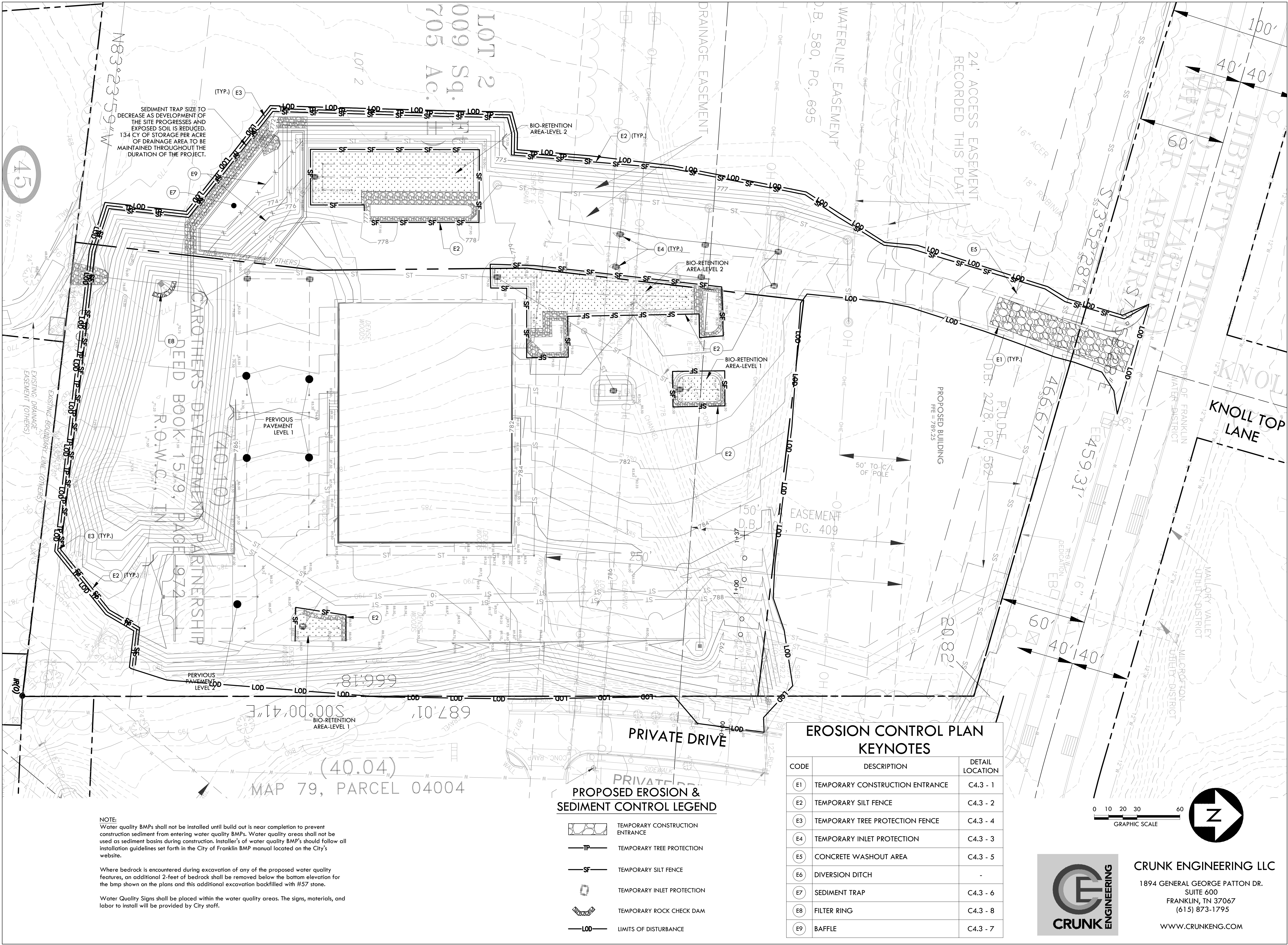
Carothers
Development
Subdivision, Site
Plan, Revision 1
(Prime Health)
C.O.F. # 6323

CONSTRUCTION
DOCUMENTS



DATES OF ISSUANCE	05/04/17
TITLE	INITIAL EPSC & WATER QUALITY PLAN
SHEET	C4.0

THIS DRAWING IS THE PROPERTY OF HEREFORD DOOLEY ARCHITECTS. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT SHALL BE RETURNED UPON REQUEST. COPYRIGHT AS DATED HEREFORD DOOLEY ARCHITECTS. NOT VALID UNLESS SIGNED AND SEALED.



HEREFORD · DOOLEY
ARCHITECTS
1720 WEST END AVE · SUITE 300
NASHVILLE · TENNESSEE · 37203
P · 615 · 244 · 7399
F · 615 · 244 · 6697
WWW.HDARCHITECTS.COM

PROJECT	216042.00
LOCATION	1217 Liberty Pike Franklin TN 37067
CLIENT	Prime Health Services

Carothers
Development
Subdivision, Site
Plan, Revision 1
(Prime Health)
C.O.F. # 6323

CONSTRUCTION
DOCUMENTS

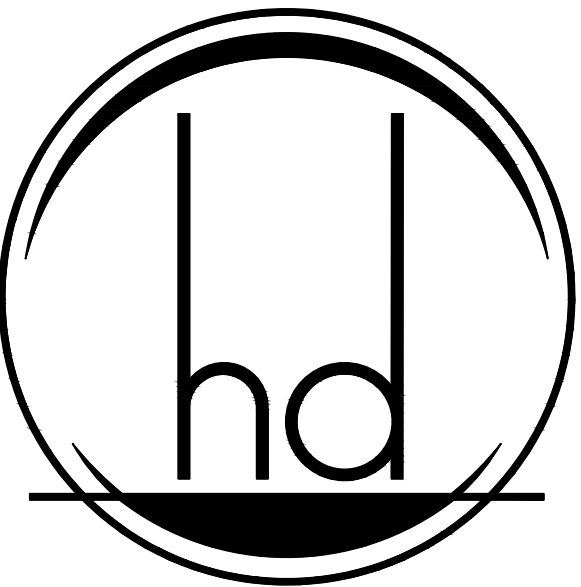
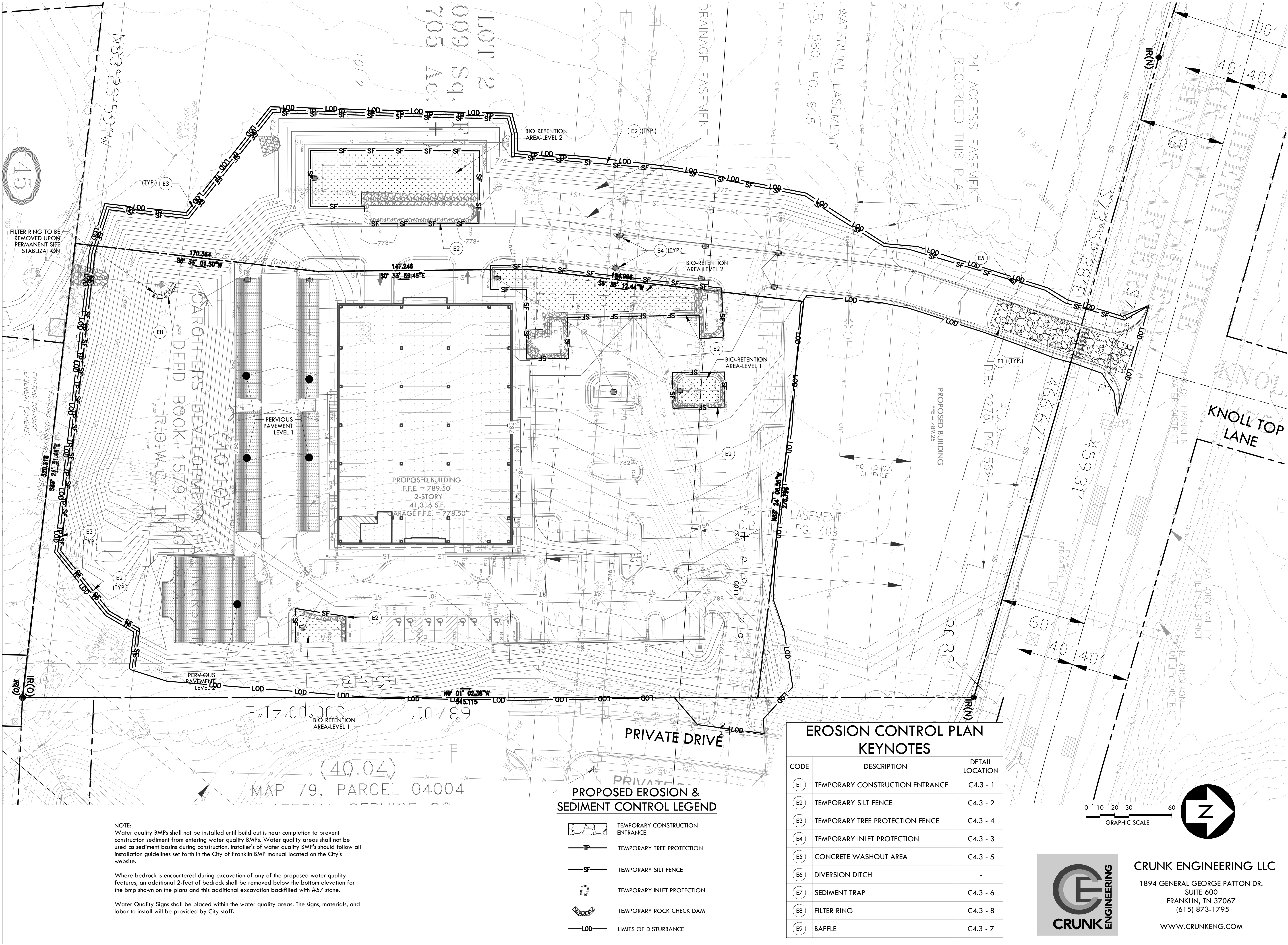


DATES OF ISSUANCE	05/04/17
TITLE	INTERIM EPSC & WATER QUALITY PLAN
SHEET	C4.1



CRUNK ENGINEERING LLC
1894 GENERAL GEORGE PATTON DR.
SUITE 600
FRANKLIN, TN 37067
(615) 873-1795
WWW.CRUNKENG.COM

THIS DRAWING IS THE PROPERTY OF HEREFORD DOOLEY ARCHITECTS. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT. IT SHALL BE RETURNED UPON REQUEST. COPYRIGHT AS DATED HEREFORD DOOLEY ARCHITECTS. NOT VALID UNLESS SIGNED AND SEALED.



HEREFORD · DOOLEY
ARCHITECTS

1720 WEST END AVE · SUITE 300
NASHVILLE · TENNESSEE · 37203

P · 615 · 244 · 7399
F · 615 · 244 · 6697

WWW.HDARCHITECTS.COM

05/04/17

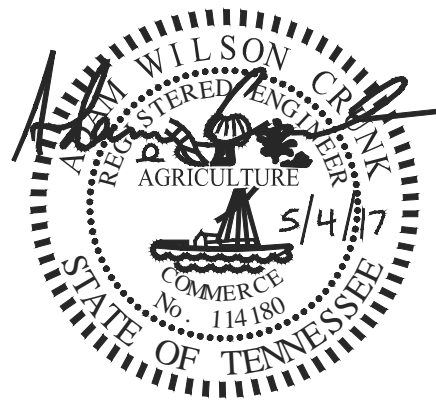
PROJECT
216042.00

LOCATION
1217 Liberty Pike
Franklin TN 37067

CLIENT
Prime Health Services

Carothers
Development
Subdivision, Site
Plan, Revision 1
(Prime Health)
C.O.F. # 6323

CONSTRUCTION
DOCUMENTS

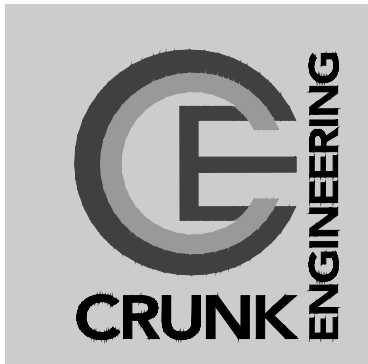


05/04/17

DATES OF ISSUANCE

TITLE
FINAL EPSC & WATER
QUALITY PLAN

SHEET
C4.2

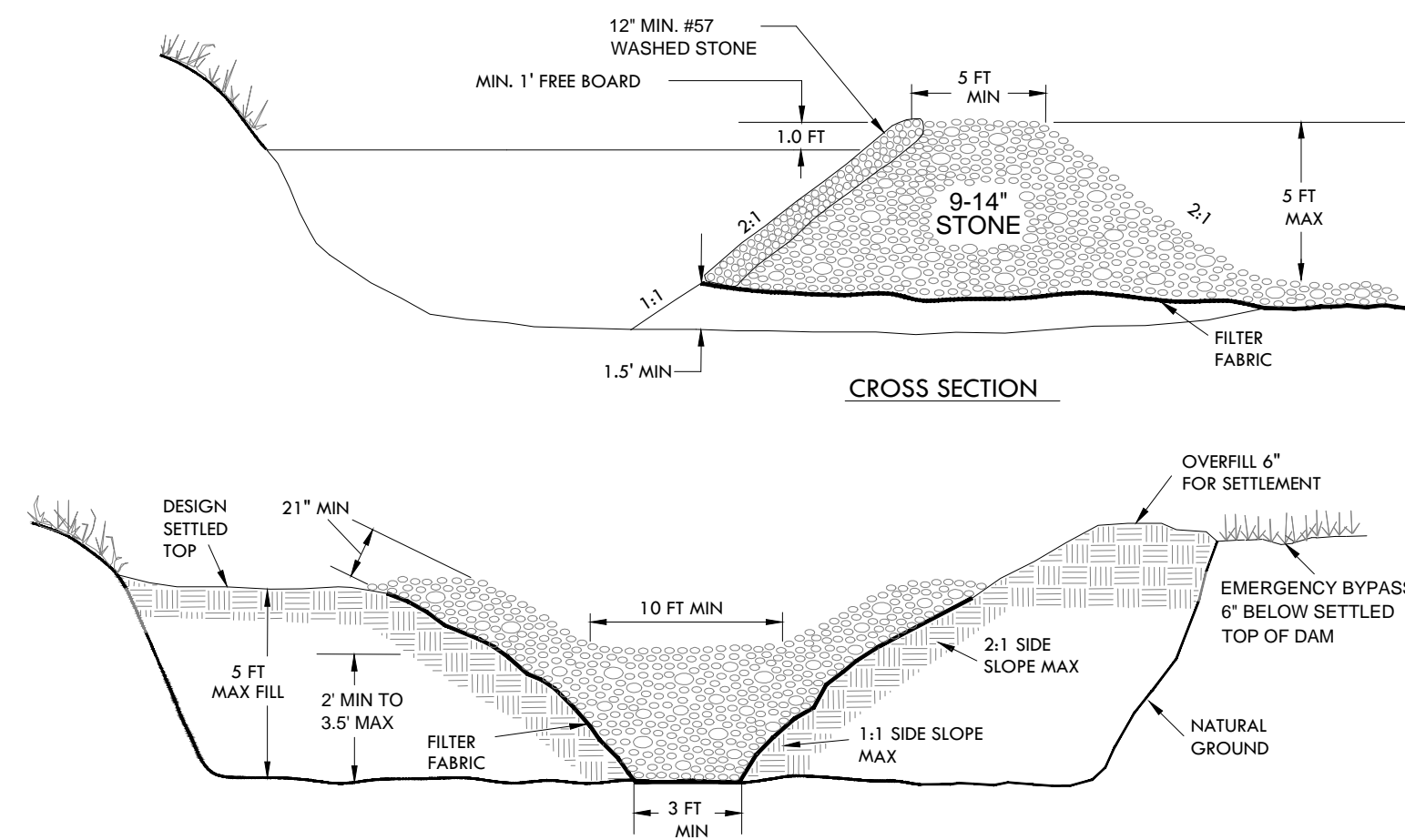


CRUNK ENGINEERING LLC

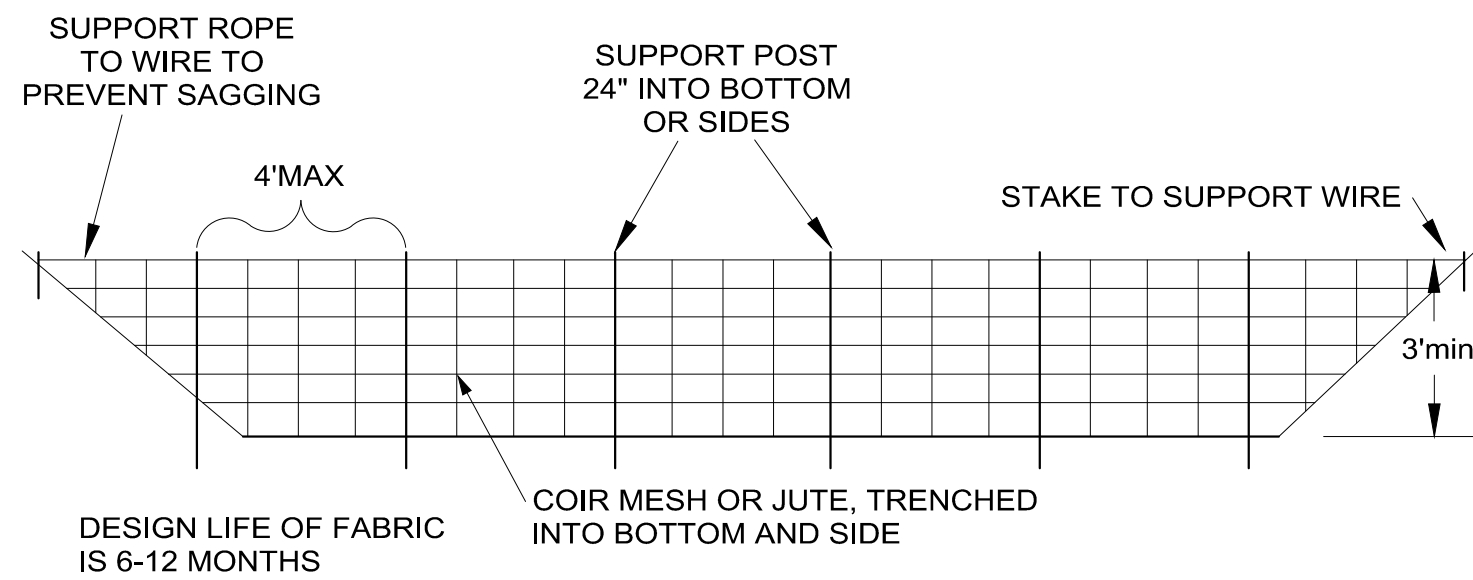
1894 GENERAL GEORGE PATTON DR.
SUITE 600
FRANKLIN, TN 37067
(615) 873-1795

WWW.CRUNKENG.COM

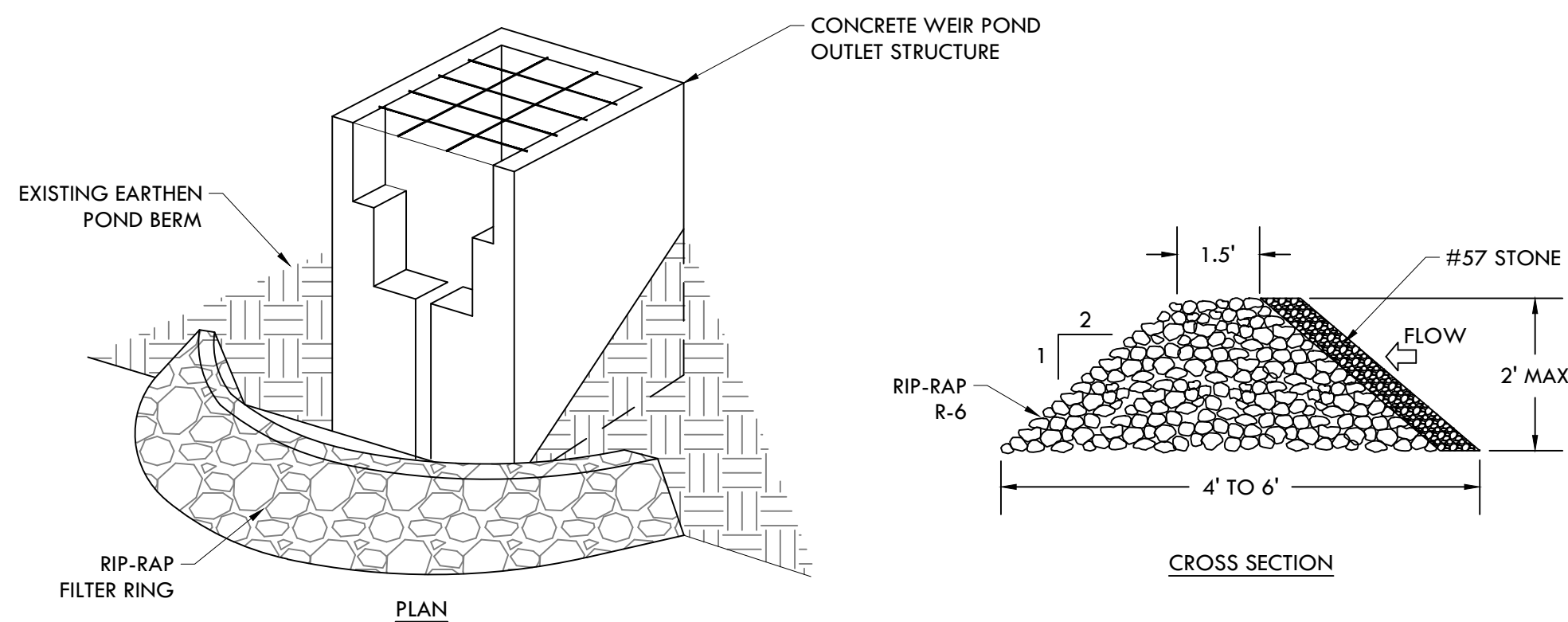
THIS DRAWING IS THE PROPERTY OF HEREFORD DOOLEY ARCHITECTS. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT. IT SHALL BE RETURNED UPON REQUEST. COPYRIGHT AS DATED HEREFORD DOOLEY ARCHITECTS. NOT VALID UNLESS SIGNED AND SEALED.



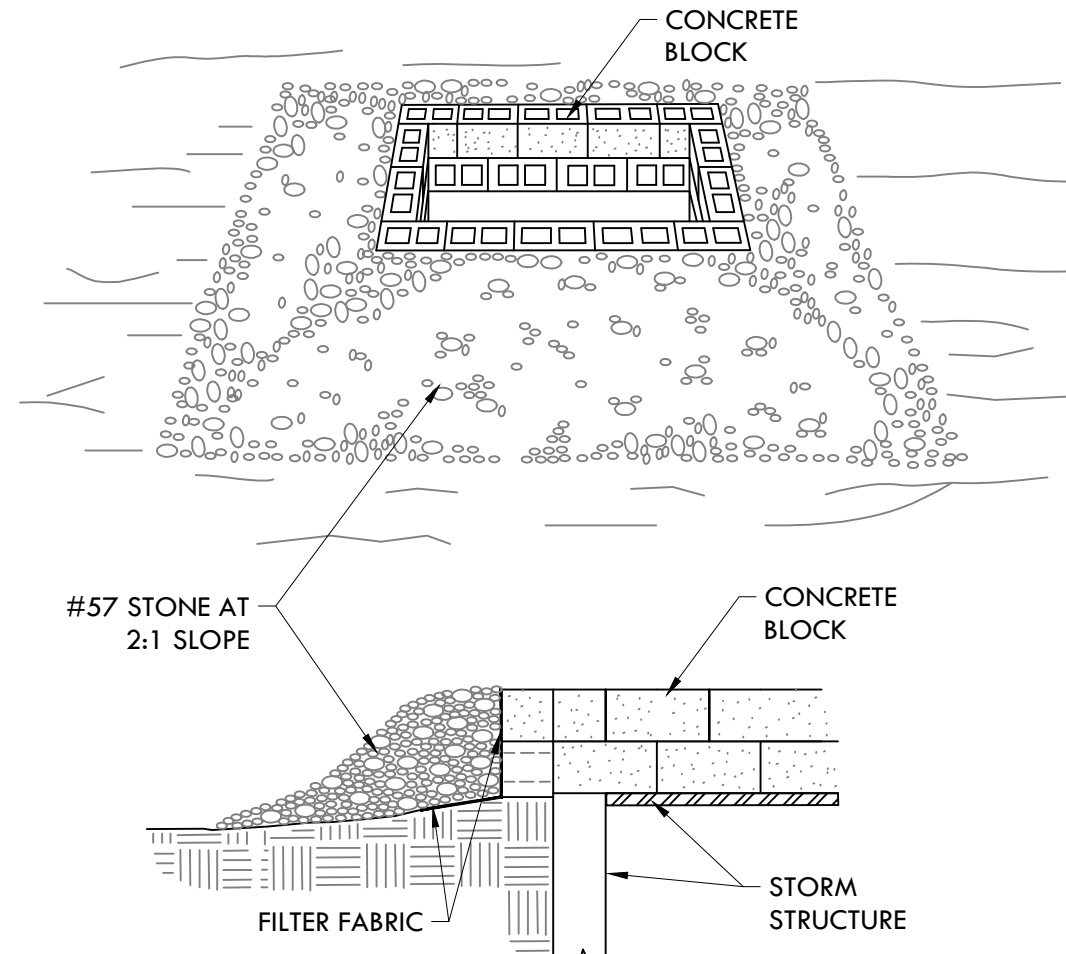
6
TEMPORARY SEDIMENT TRAP
NOT TO SCALE



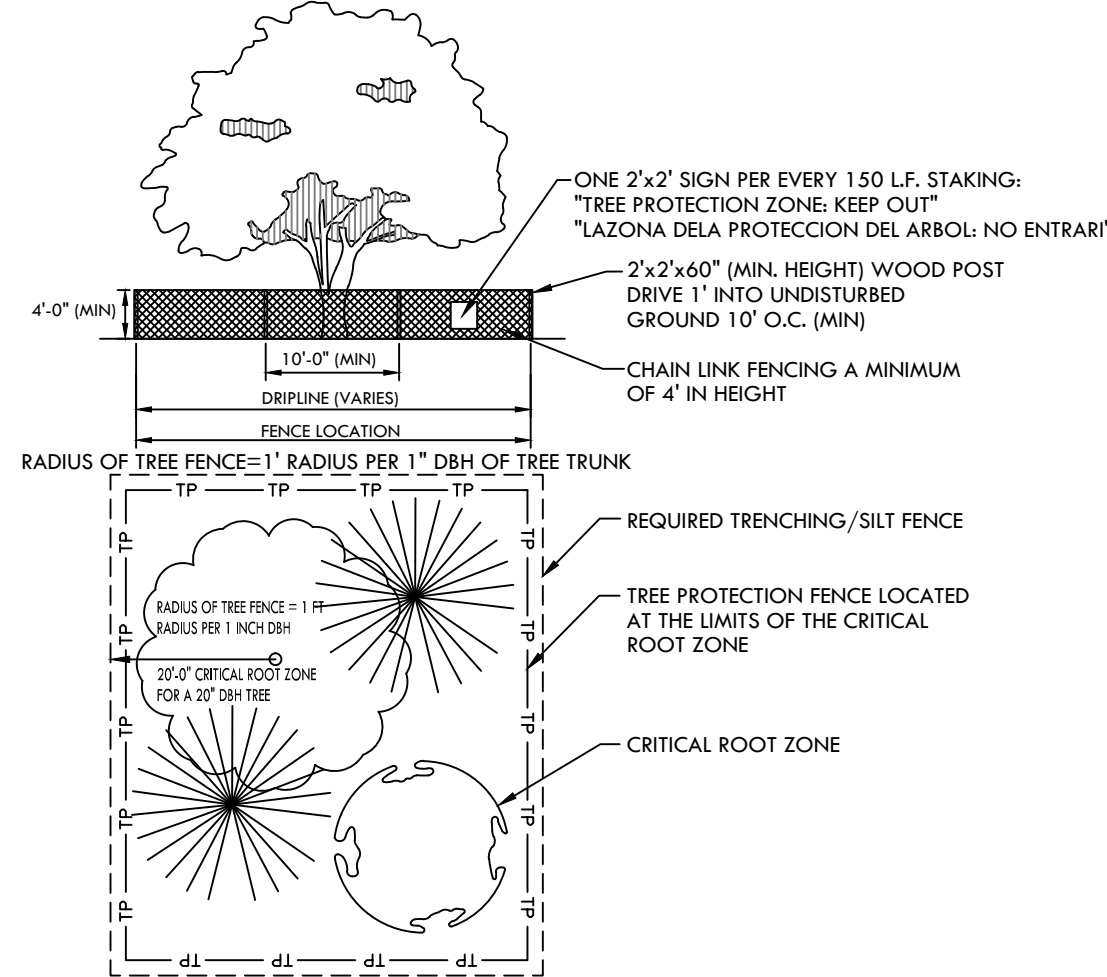
7
BAFFLE DETAIL
NOT TO SCALE



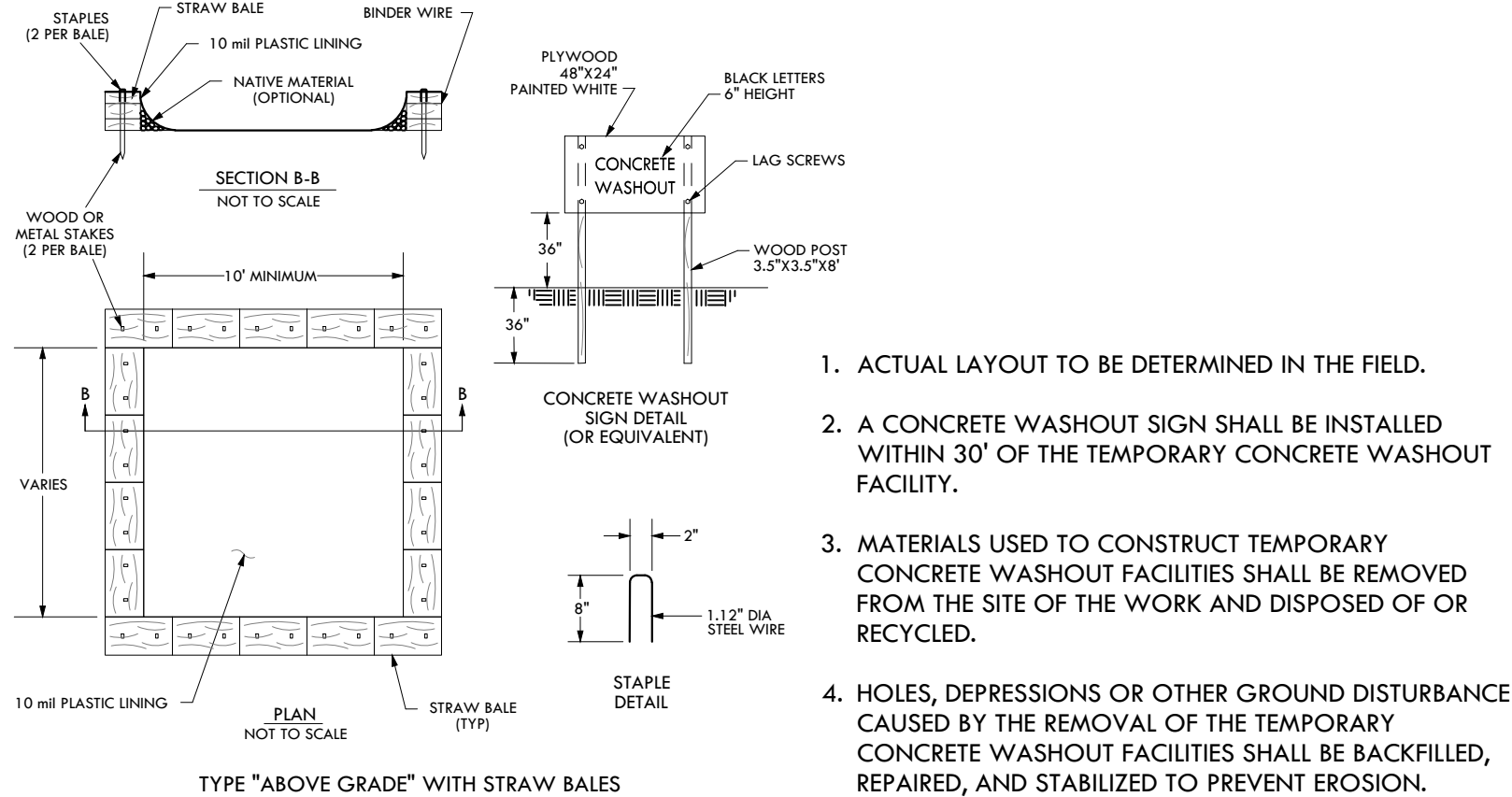
8
TEMPORARY ROCK FILTER RING
NOT TO SCALE



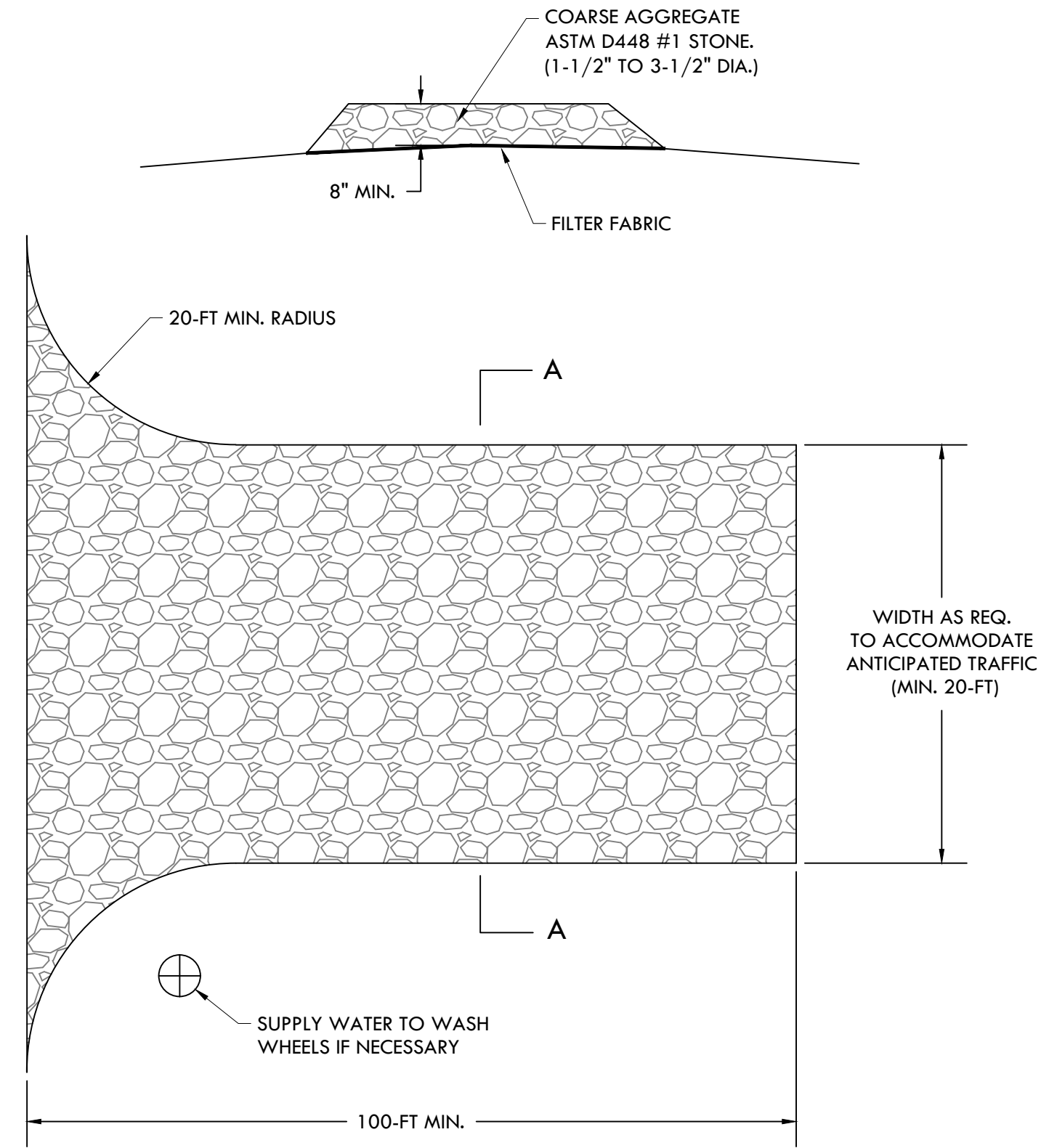
3
INLET PROTECTION
NOT TO SCALE



4
TREE PROTECTION
NOT TO SCALE

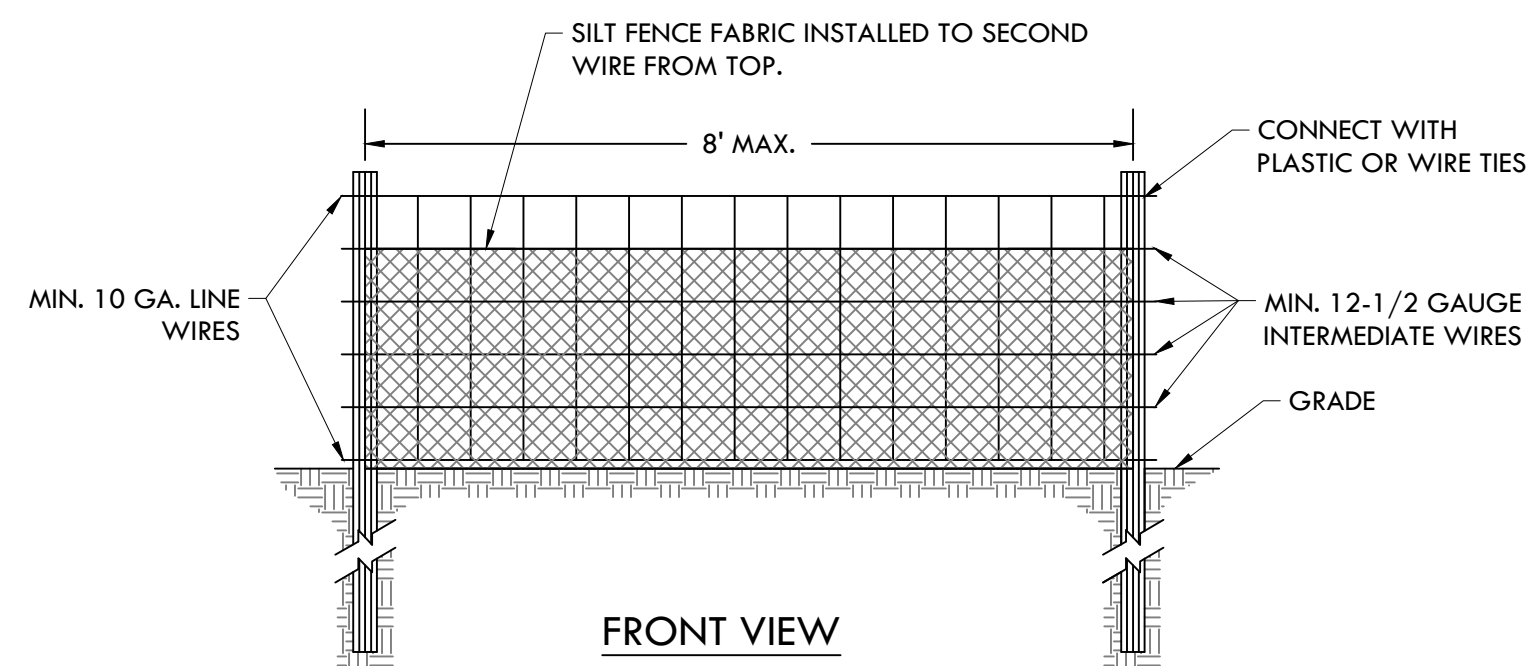
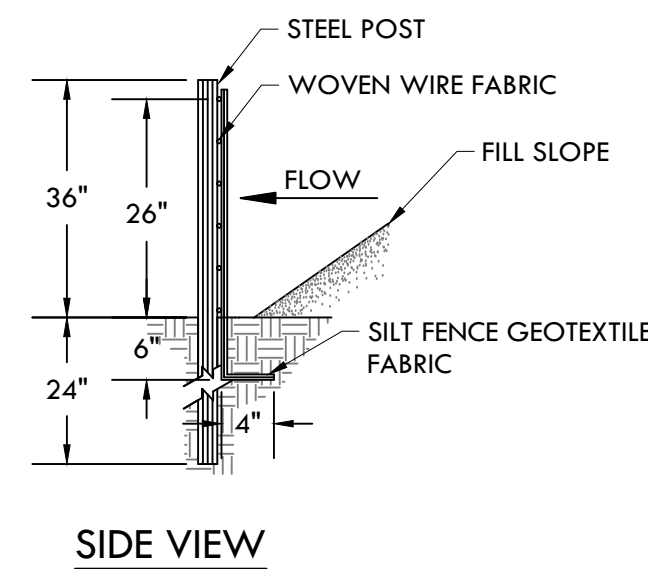


5
CONCRETE WASHOUT AREA
NOT TO SCALE

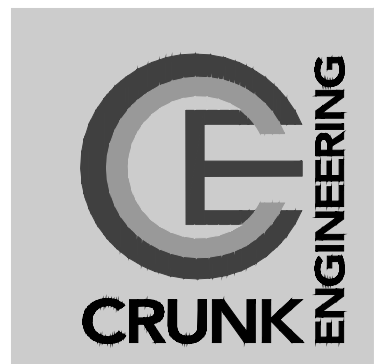


1
TEMPORARY CONSTRUCTION EXIT
NOT TO SCALE

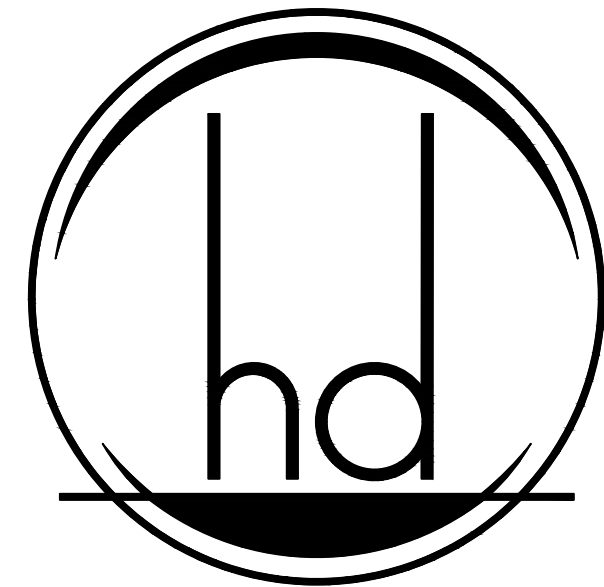
- NOTES:
1. FLOW SHALL NOT RUN PARALLEL WITH SILT FENCE.
 2. END OF SILT FENCE NEEDS TO BE TURNED UPHILL.
 3. SEDIMENT NEEDS TO BE REMOVED WHEN CAPACITY IS AT 50%. REFER TO EROSION CONTROL NOTES FOR PLACEMENT OF REMOVED SEDIMENT.



2
TEMPORARY SILT FENCE
NOT TO SCALE



CRUNK ENGINEERING LLC
1894 GENERAL GEORGE PATTON DR.
SUITE 600
FRANKLIN, TN 37067
(615) 873-1795
WWW.CRUNKENG.COM

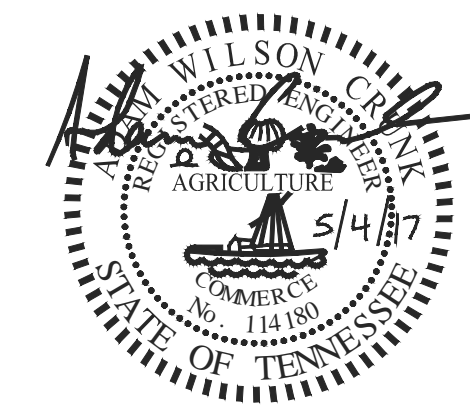


HEREFORD DOOLEY ARCHITECTS
1720 WEST END AVE SUITE 300
NASHVILLE TENNESSEE 37203
P 615 244 7399
F 615 244 6697
WWW.HDARCHITECTS.COM

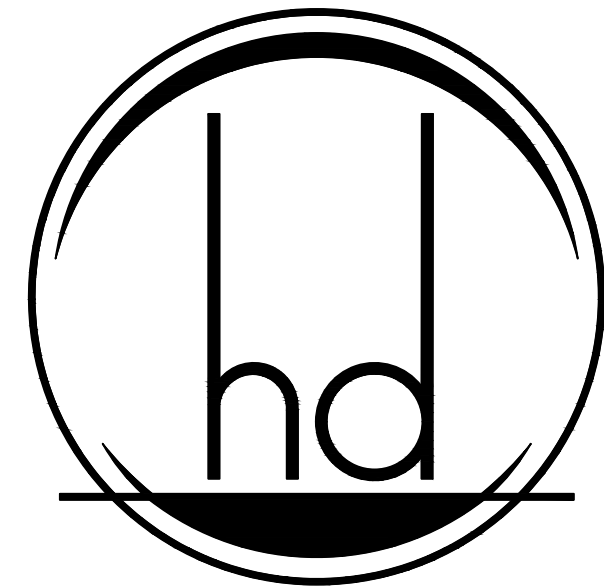
PROJECT	216042.00
LOCATION	1217 Liberty Pike Franklin TN 37067
CLIENT	Prime Health Services

Carothers
Development
Subdivision, Site
Plan, Revision 1
(Prime Health)
C.O.F. # 6323

CONSTRUCTION DOCUMENTS



DATE OF ISSUANCE	05/04/17
TITLE	EROSION CONTROL DETAILS
SHEET	C4.3



HEREFORD · DOOLEY
ARCHITECTS
1720 WEST END AVE · SUITE 300
NASHVILLE · TENNESSEE · 37203
P · 615 · 244 · 7399
F · 615 · 244 · 6697
WWW.HDARCHITECTS.COM

05/04/17

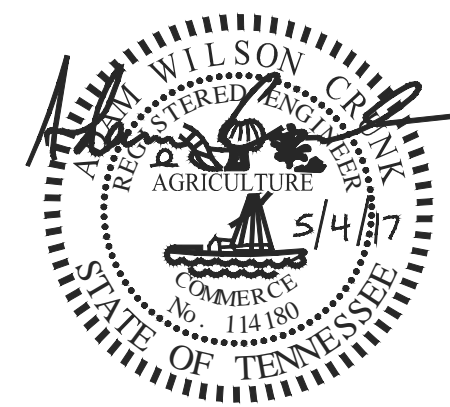
PROJECT
216042.00

LOCATION
1217 Liberty Pike
Franklin TN 37067

CLIENT
Prime Health Services

Carothers
Development
Subdivision, Site
Plan, Revision 1
(Prime Health)
C.O.F. # 6323

CONSTRUCTION
DOCUMENTS

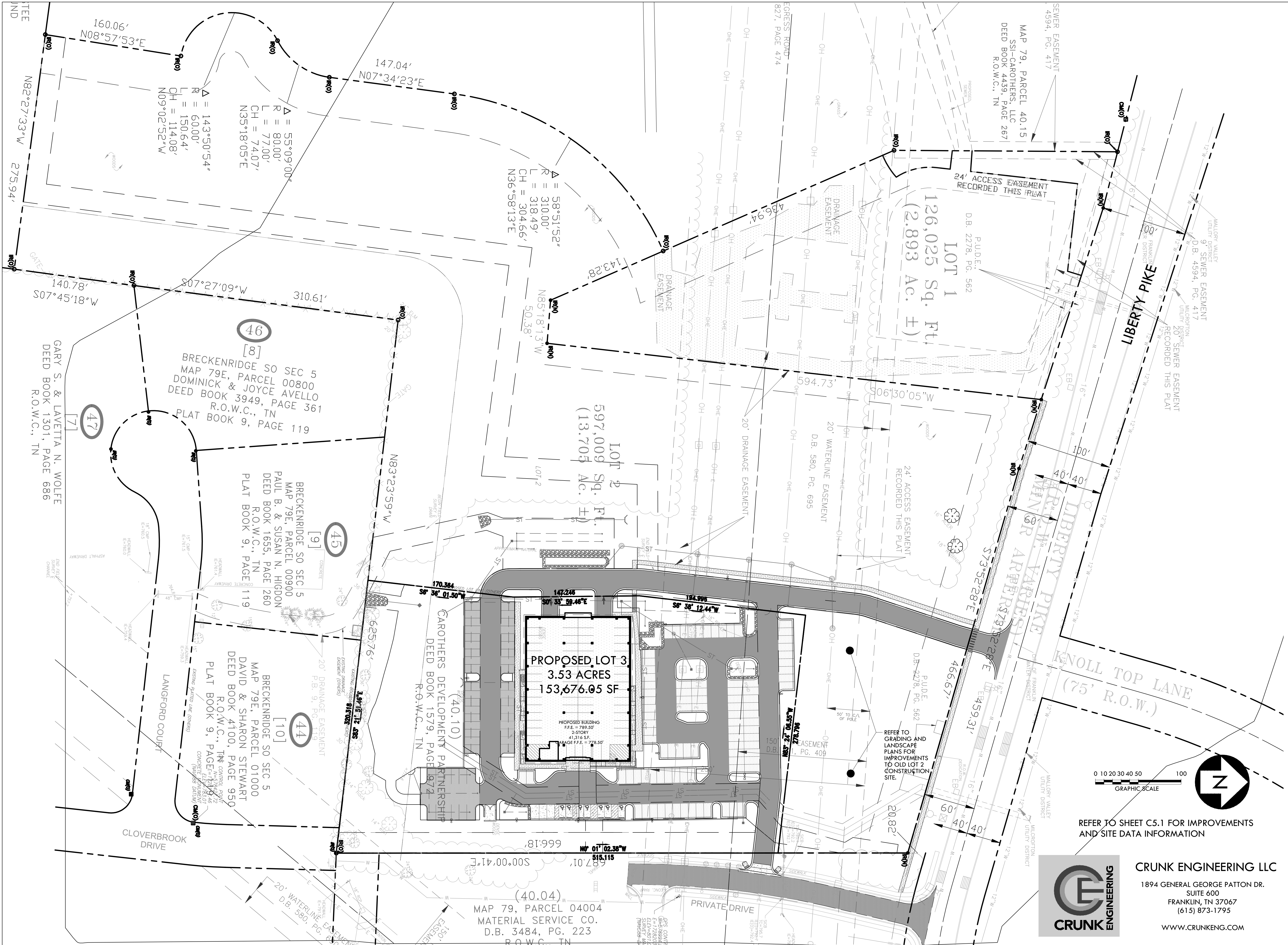


05/04/17

DATES OF ISSUANCE

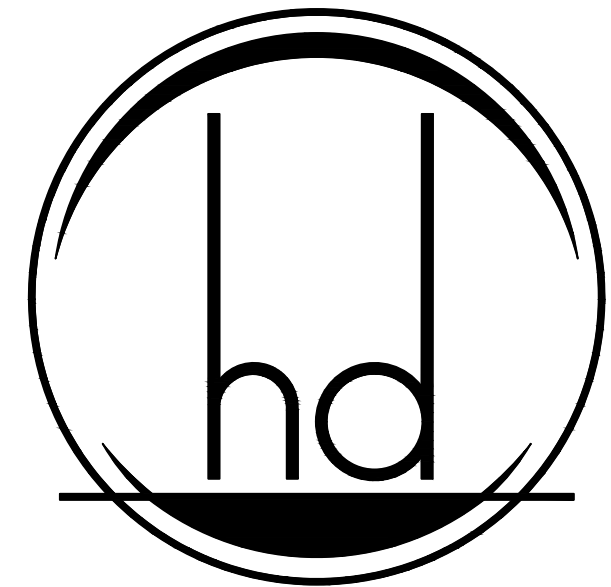
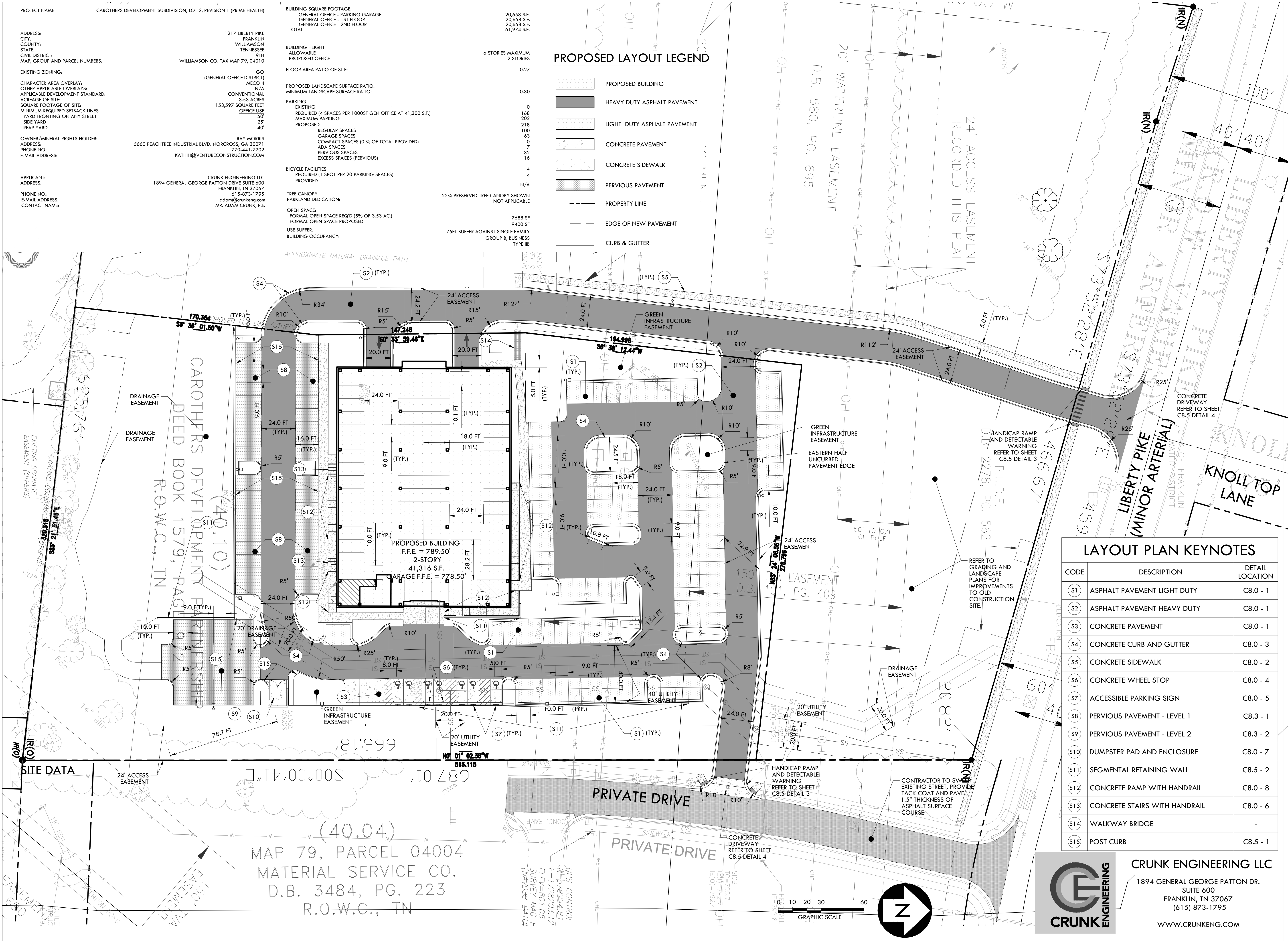
TITLE
OVERALL SITE
LAYOUT PLAN

SHEET
C5.0



CRUNK ENGINEERING LLC
1894 GENERAL GEORGE PATTON DR.
SUITE 600
FRANKLIN, TN 37067
(615) 873-1795
WWW.CRUNKENG.COM

THIS DRAWING IS THE PROPERTY OF HEREFORD DOOLEY ARCHITECTS. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT. COPYRIGHT AS DATED HEREFORD DOOLEY ARCHITECTS. NOT VALID UNLESS SIGNED AND SEALED.



HEREFORD · DOOLEY
ARCHITECTS

1720 WEST END AVE · SUITE 300
NASHVILLE · TENNESSEE · 37203

P · 615 · 244 · 7399
F · 615 · 244 · 6697

WWW.HDARCHITECTS.COM

05/04/17

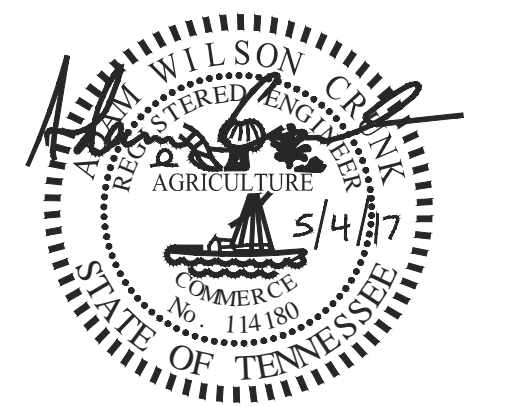
PROJECT
216042.00

LOCATION
1217 Liberty Pike
Franklin TN 37067

CLIENT
Prime Health Services

Carothers
Development
Subdivision, Site
Plan, Revision 1
(Prime Health)
C.O.F. # 6323

CONSTRUCTION
DOCUMENTS



05/04/17

DATES OF ISSUANCE
△

TITLE
SITE LAYOUT
PLAN

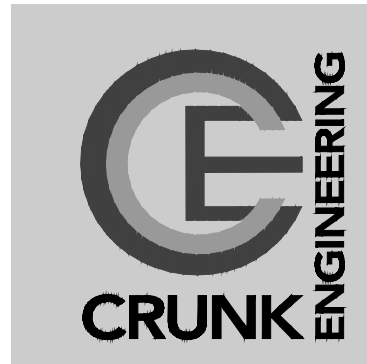
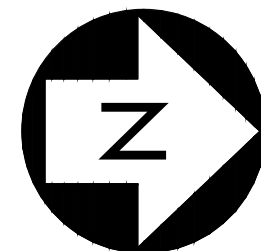
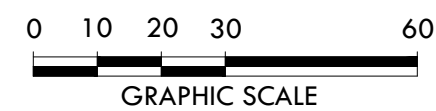
SHEET
C5.1

1. Prior to beginning any construction, the Developer and/or Contractor, shall obtain all necessary permits as required by law. Such permits may include, but are not limited to, those required by State of Tennessee, Williamson County and other City of Franklin agencies.
2. All off-site work within the public right-of-way shall require an approved traffic control plan which complies with the MUTCD. No off-site excavation may be undertaken in any street, right-of-way or right-of-way of any utility or temporary construction easement of the City of Franklin by any entity unless 72-hour notice has been given to the City of Franklin Traffic Operations Center. The contractor shall have an approved traffic control plan onsite during construction.
3. Construction materials shall be fully tested in accordance with the designations and requirements within the referenced "TDOT Standard Specifications" sections, unless otherwise noted within the "Standard Specifications" section of the City of Franklin Transportation & Street Technical Standards.
4. An authorized representative of the City shall make a final inspection of the project after completion to determine acceptability of the work and for release of performance bonds if required. Before this final inspection can be made, the Engineer responsible for the project shall certify in writing to the City Engineer that the work has been completed in accordance with approved plans and specifications.
5. Locating and coordination for the relocation of existing utilities is the responsibility of the contractor. Tennessee's One-Call and the City of Franklin utility location service shall be utilized in addition to coordination with local utility owners. The contractor shall at all times protect existing utilities and will be responsible for costs due to damage caused to any utility lines.
6. All temporary striping shall conform to "Standard Specifications for Road and Bridge Construction," published by TDOT, the latest revision except as herein amended. When approved, temporary striping shall be required prior to the opening of a street for travel where pavement and/or permanent striping cannot be completed due to weather and/or time constraints.
7. Thermoplastic pavement markings should be used on all public and private City street projects. Thermoplastic traffic striping and pavement markings shall conform to Section 716.03 "Thermoplastic Pavement Markings," of the Tennessee Department of Transportation Specifications (TDOT), and to the City of Franklin Transportation & Street Technical Standards.

Daily Trip Generation: XX veh per day
Peak Hour Trip Generation: XX veh per hour
Traffic Impact Study Required: NO
Circulation Plan Required: NO

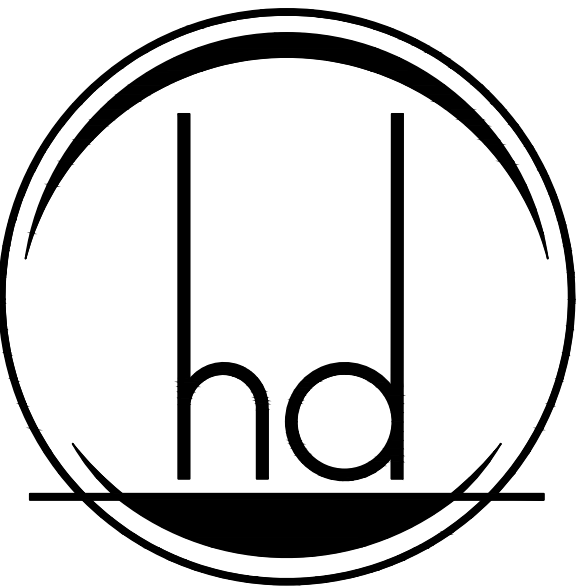
Access Management
 Min. Distance Between Intersection: N/A
 Min. Distance Between high volume/alleys & Intersections: N/A
 Min. Distance Between driveway & Intersections: XX ft
 Driveway Width (two-way): 24 ft
 Driveway Approach Street Configuration: 15 ft Radius Return or Curb Cut.

Number of Front Axles 1
Front Track Width = 8'
Wheels on Each Front Axle = 2
Number of Rear Axles = 2
Rear Track Width = 8'
Wheel Base = 21.316' (Front Axle to Front Rear Axle)
Rear Axle Spacing = 4.417'
Body Length = 50.0417
Width = 8.333'
Rear Overhang = 22.1424'
Body Style = Fire Truck
Turning Radius Wall to Wall = 42'



1894 GENERAL GEORGE PATTON DR.
SUITE 600
FRANKLIN, TN 37067
(615) 873-1795

WWW.CRUNKENG.COM



PROJECT 216042.00

 Prime Health Services

Carothers
Development
Subdivision, Site
Plan, Revision 1
(Prime Health)
C.O.F. # 6323

CONSTRUCTION DOCUMENTS



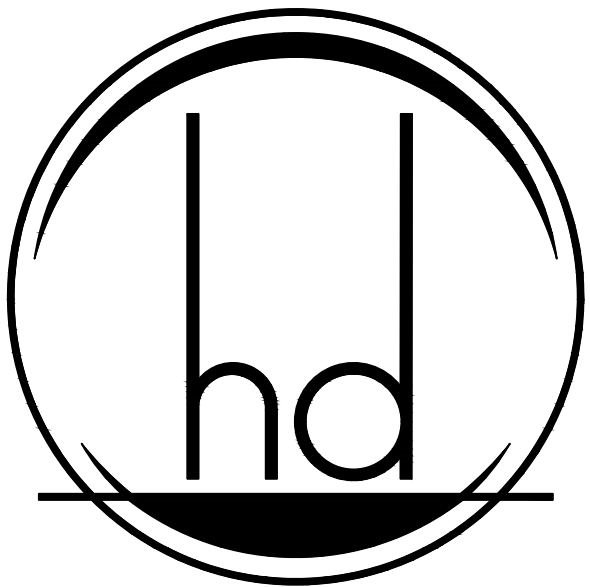
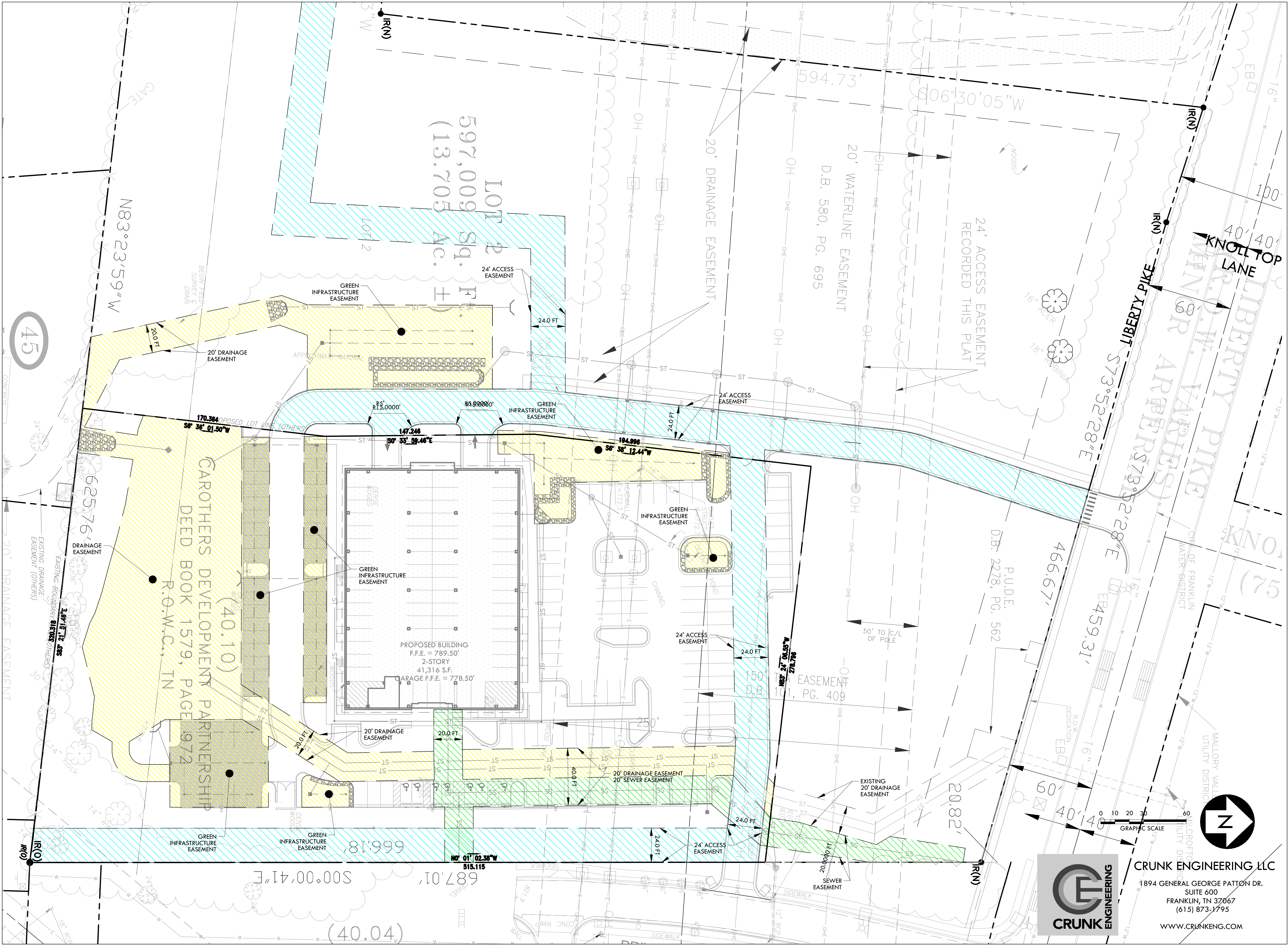
05/04/17

△ DATES OF ISSUANCE

TITLE	ACCESS PLAN
-------	----------------

C5.2

THIS DRAWING IS THE PROPERTY OF HEREFORD DOOLEY ARCHITECTS. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT. COPYRIGHT AS DATED HEREFORD DOOLEY ARCHITECTS. NOT VALID UNLESS SIGNED AND SEALED.



HEREFORD · DOOLEY
ARCHITECTS
1720 WEST END AVE · SUITE 300
NASHVILLE · TENNESSEE · 37203
P · 615 · 244 · 7399
F · 615 · 244 · 6697
WWW.HDARCHITECTS.COM

05/04/17

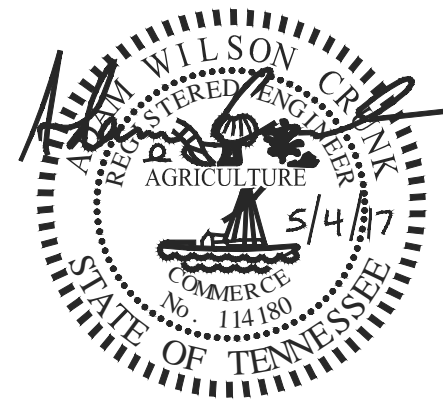
PROJECT
216042.00

LOCATION
1217 Liberty Pike
Franklin TN 37067

CLIENT
Prime Health Services

Carothers
Development
Subdivision, Site
Plan, Revision 1
(Prime Health)
C.O.F. # 6323

CONSTRUCTION
DOCUMENTS

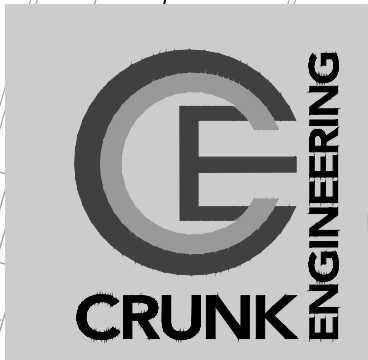


05/04/17

DATES OF ISSUANCE

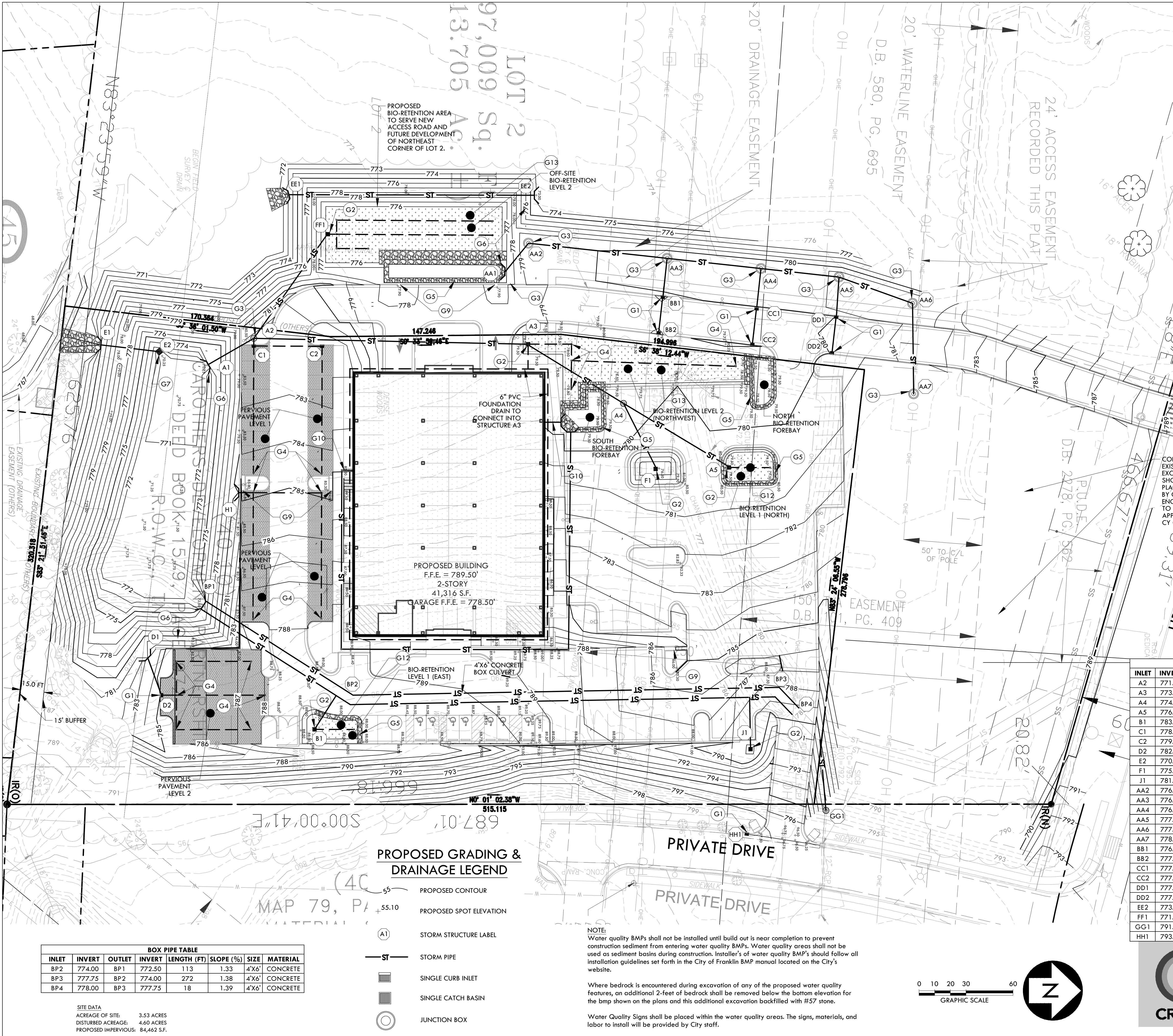
EASEMENT PLAN

C5.3



CRUNK ENGINEERING LLC
1894 GENERAL GEORGE PATTON DR.
SUITE 600
FRANKLIN, TN 37067
(615) 873-1795
WWW.CRUNKENG.COM

THIS DRAWING IS THE PROPERTY OF HEREFORD DOOLEY ARCHITECTS. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT. COPYRIGHT AS DATED HEREFORD DOOLEY ARCHITECTS. NOT VALID UNLESS SIGNED AND SEALED.



GRADING & DRAINAGE PLAN KEYNOTES

CODE	DESCRIPTION	DETAIL LOCATION
G1	SINGLE CURB INLET	C8.1 - 1
G2	SINGLE CATCH BASIN	C8.1 - 3
G3	JUNCTION BOX	C8.1 - 2
G4	CLEANOUT	C8.1 - 4
G5	GRAVEL DIAPHRAGM	C8.4 - 1
G6	CONCRETE HEADWALL	C8.2 - 1
G7	REGIONAL DETENTION POND OUTLET STRUCTURE	C8.1 - 5
G8	BIO-RETENTION OUTLET STRUCTURE	C8.1 - 6
G9	CONCRETE FLUME	C8.1 - 8
G10	DOWNSPOUT CONNECTION	C8.1 - 9
G11	RIVERSTONE OUTLET PROTECTION	C8.1 - 7
G12	BIO-RETENTION AREA - LEVEL 1	C8.4 - 2
G13	BIO-RETENTION AREA - LEVEL 2	C8.4 - 2

STORM STRUCTURE TABLE

LABEL	TYPE	RIM	INVERT
A1	HEADWALL	N/A	770.75
A2	JUNCTION	782.00	771.00
A3	SINGLE CATCH BASIN	779.00	773.90
A4	JUNCTION	779.70	774.50
A5	SINGLE CATCH BASIN	780.00	776.00
B1	SINGLE CATCH BASIN	787.50	783.50
C1	SINGLE CURB INLET	782.00	778.80
C2	SINGLE CURB INLET	782.00	779.50
D1	HEADWALL	N/A	781.00
D2	SINGLE CURB INLET	784.50	782.00
E1	HEADWALL	N/A	770.00
E2	POND OUTLET STRUCTURE	N/A	770.20
F1	SINGLE CATCH BASIN	776.50	775.00
H1	HEADWALL	N/A	780.00
J1	SINGLE CATCH BASIN	788.50	781.00
AA1	HEADWALL	N/A	776.00
AA2	JUNCTION	779.75	776.10
AA3	JUNCTION	780.25	776.60
AA4	JUNCTION	780.50	776.95
AA5	JUNCTION	781.00	777.30
AA6	JUNCTION	781.25	777.65
AA7	JUNCTION	781.50	778.00
BB1	SINGLE CURB INLET	779.00	776.70
BB2	SINGLE CURB INLET	779.00	777.00
CC1	SINGLE CURB INLET	779.50	777.15
CC2	SINGLE CURB INLET	779.50	777.45
DD1	SINGLE CURB INLET	780.00	777.50
DD2	SINGLE CURB INLET	780.00	777.80
EE1	HEADWALL	N/A	772.00
EE2	HEADWALL	N/A	773.00
FF1	SINGLE CATCH BASIN	777.25	771.50
GG1	JUNCTION	794.50	791.50
HH1	SINGLE CURB INLET	797.60	793.00

STORM PIPE TABLE

INLET	INVERT	OUTLET	INVERT	LENGTH (FT)	SLOPE (%)	DIAMETER (IN)	MATERIAL
A2	771.00	A1	770.75	33	0.76	24	HDPE
A3	773.90	A2	771.10	174	1.61	18	HDPE
A4	774.50	A3	774.00	71	0.70	12	HDPE
A5	776.00	A4	774.60	77	1.82	12	HDPE
B1	783.50	BOX PIPE	783.00	24	2.08	12	HDPE
C1	778.80	A2	778.60	5	4.00	12	HDPE
C2	779.50	C1	779.00	41	1.22	6	HDPE
D2	782.00	D1	781.00	34	2.94	6	HDPE
E2	770.20	E1	770.00	38	0.53	30	HDPE
F1	775.00	A4	774.60	45	0.89	6	HDPE
J1	781.00	BOX PIPE	776.00	32	15.63	18	RCP
AA2	776.10	AA1	776.00	23	0.43	24	RCP
AA3	776.60	AA2	776.20	89	0.45	24	RCP
AA4	776.95	AA3	776.70	60	0.42	24	RCP
AA5	777.30	AA4	777.05	50	0.50	24	RCP
AA6	777.65	AA5	777.40	50	0.50	24	RCP
AA7	778.00	AA6	777.75	58	0.43	24	RCP
BB1	776.70	AA2	776.60	5	2.00	12	HDPE
BB2	777.00	BB1	776.80	25	0.80	6	HDPE
CC1	777.15	AA3	777.05	5	2.00	12	HDPE
CC2	777.45	CC1	777.25	25	0.80	6	HDPE
DD1	777.50	AA4	777.40	5	2.00	12	HDPE
DD2	777.80	DD1	777.60	25	0.80	6	HDPE
EE2	773.00	EE1	772.00	156	0.64	18	HDPE
FF1	771.50	A2	771.10	80	0.50	24	HDPE
GG1	791.50	BOX PIPE	781.00	45	23.33	12	RCP
HH1	793.00	EXI	792.20	46	1.74	12	RCP

CRUNK ENGINEERING LLC

1894 GENERAL GEORGE PATTON DR.
SUITE 600
FRANKLIN, TN 37067
(615) 873-1795
WWW.CRUNKENG.COM

HEREFORD · DOOLEY ARCHITECTS
1720 WEST END AVE · SUITE 300
NASHVILLE · TENNESSEE · 37203
P · 615 · 244 · 7399
F · 615 · 244 · 6697
WWW.HDARCHITECTS.COM

05/04/17

216042.00

1217 Liberty Pike
Franklin TN 37067

Prime Health Services

Carothers Development
Subdivision, Site
Plan, Revision 1
(Prime Health)
C.O.F. # 6323

CONSTRUCTION DOCUMENTS

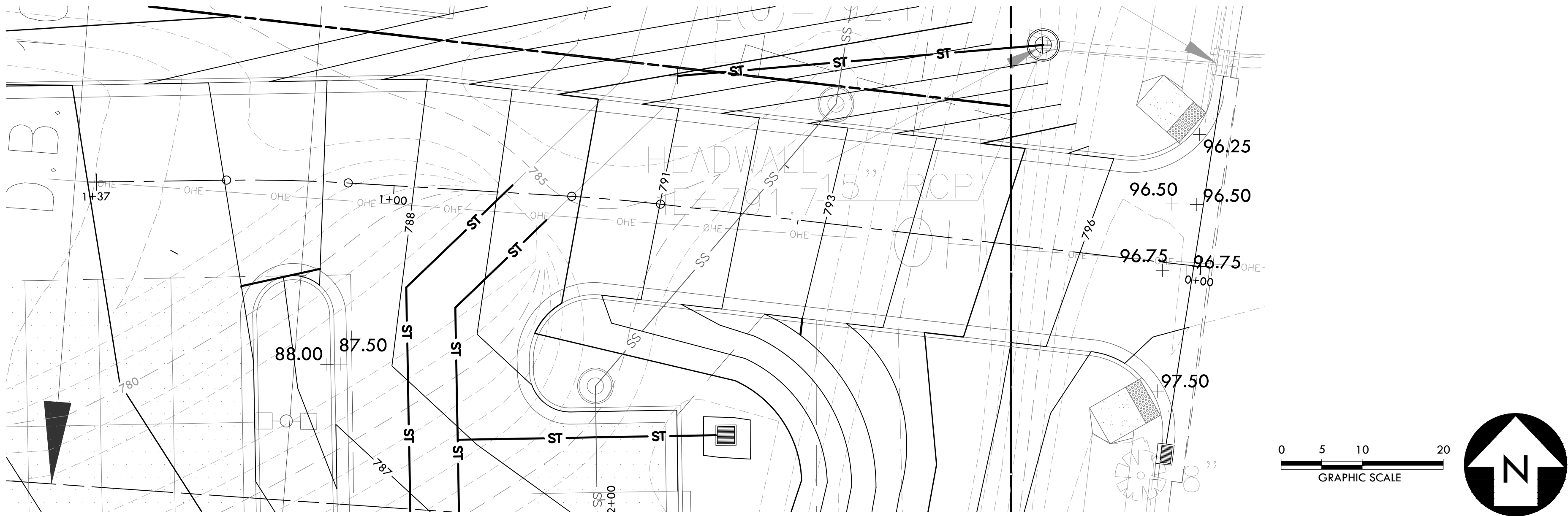
05/04/17

05/04/17

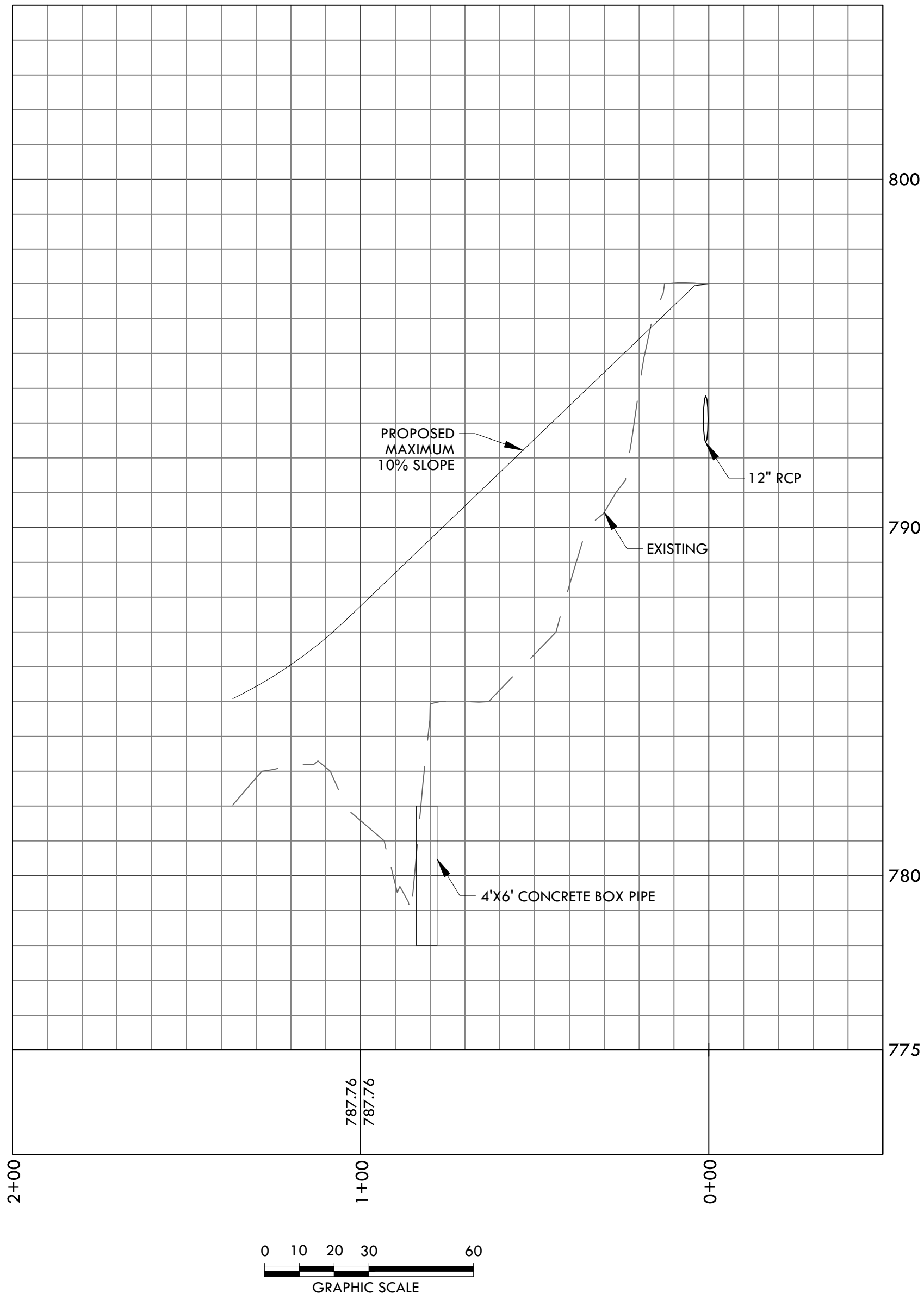
GRADING & DRAINAGE PLAN

C6.0

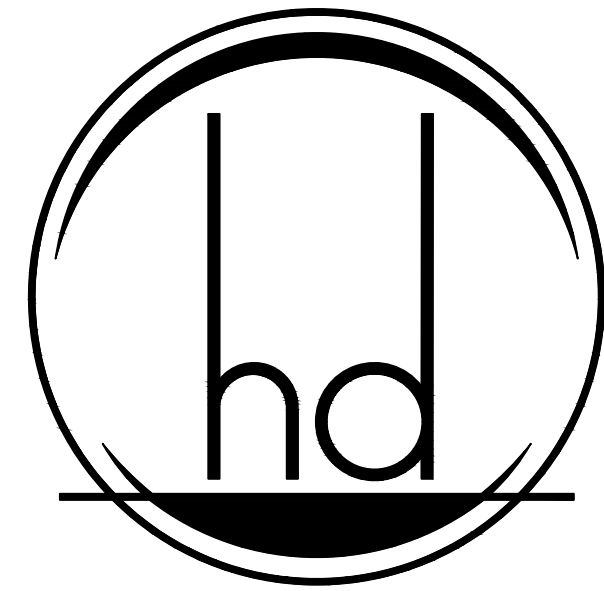
THIS DRAWING IS THE PROPERTY OF HEREFORD DOOLEY ARCHITECTS. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT. IT SHALL BE RETURNED UPON REQUEST. COPYRIGHT AS DATED HEREFORD DOOLEY ARCHITECTS. NOT VALID UNLESS SIGNED AND SEALED.



Private Drive Connection



CRUNK ENGINEERING LLC
1894 GENERAL GEORGE PATTON DR.
SUITE 600
FRANKLIN, TN 37067
(615) 873-1795
WWW.CRUNKENG.COM

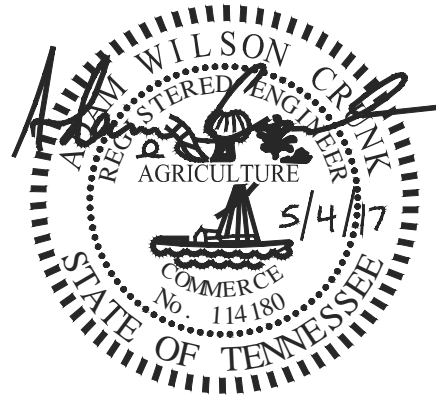


HEREFORD · DOOLEY
ARCHITECTS
1720 WEST END AVE · SUITE 300
NASHVILLE · TENNESSEE · 37203
P · 615 · 244 · 7399
F · 615 · 244 · 6697
WWW.HDARCHITECTS.COM

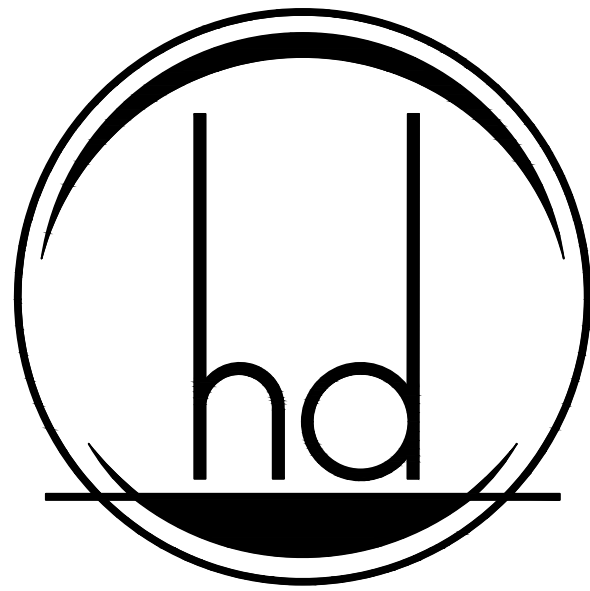
PROJECT	216042.00
LOCATION	1217 Liberty Pike Franklin TN 37067
CLIENT	Prime Health Services

Carothers
Development
Subdivision, Site
Plan, Revision 1
(Prime Health)
C.O.F. # 6323

CONSTRUCTION
DOCUMENTS



DATES OF ISSUANCE	05/04/17
TITLE	EAST ACCESS DRIVE PROFILE
SHEET	C6.1



HEREFORD · DOOLEY
ARCHITECTS

1720 WEST END AVE · SUITE 300
NASHVILLE · TENNESSEE · 37203

P · 615 · 244 · 7399
F · 615 · 244 · 6697

WWW.HDARCHITECTS.COM

05/04/17

PROJECT
216042.00

LOCATION
1217 Liberty Pike
Franklin TN 37067

CLIENT
Prime Health Services

Carothers
Development
Subdivision, Site
Plan, Revision 1
(Prime Health)
C.O.F. # 6323

CONSTRUCTION
DOCUMENTS

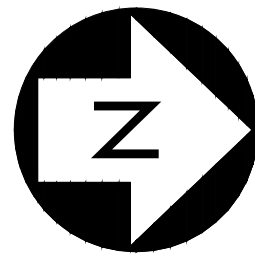
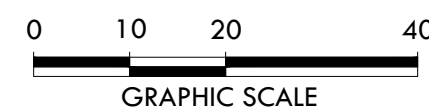
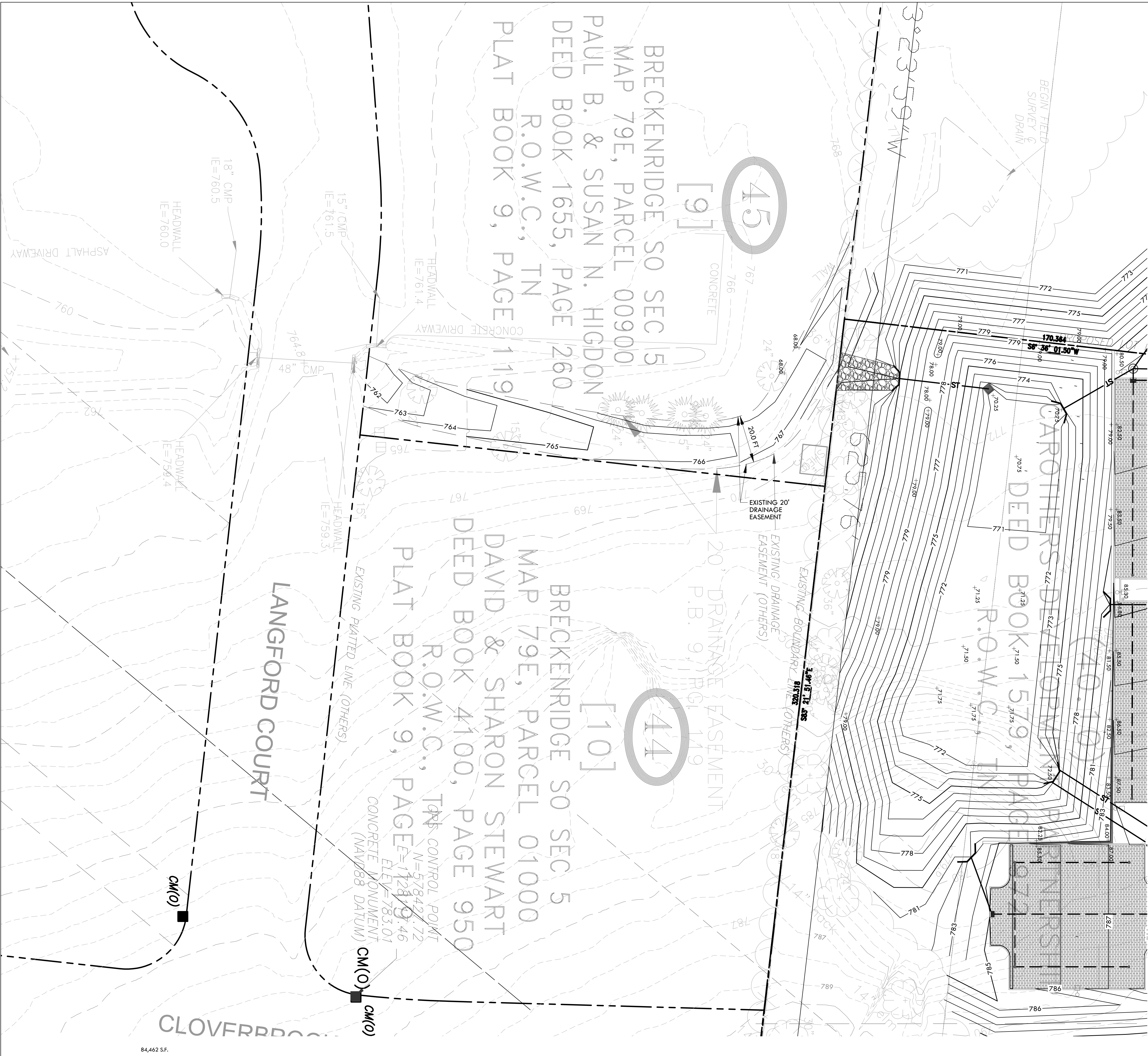


05/04/17

DATES OF ISSUANCE
△

TITLE
DOWNSTREAM
GRADING & DRAINAGE
PLAN

SHEET
C6.2



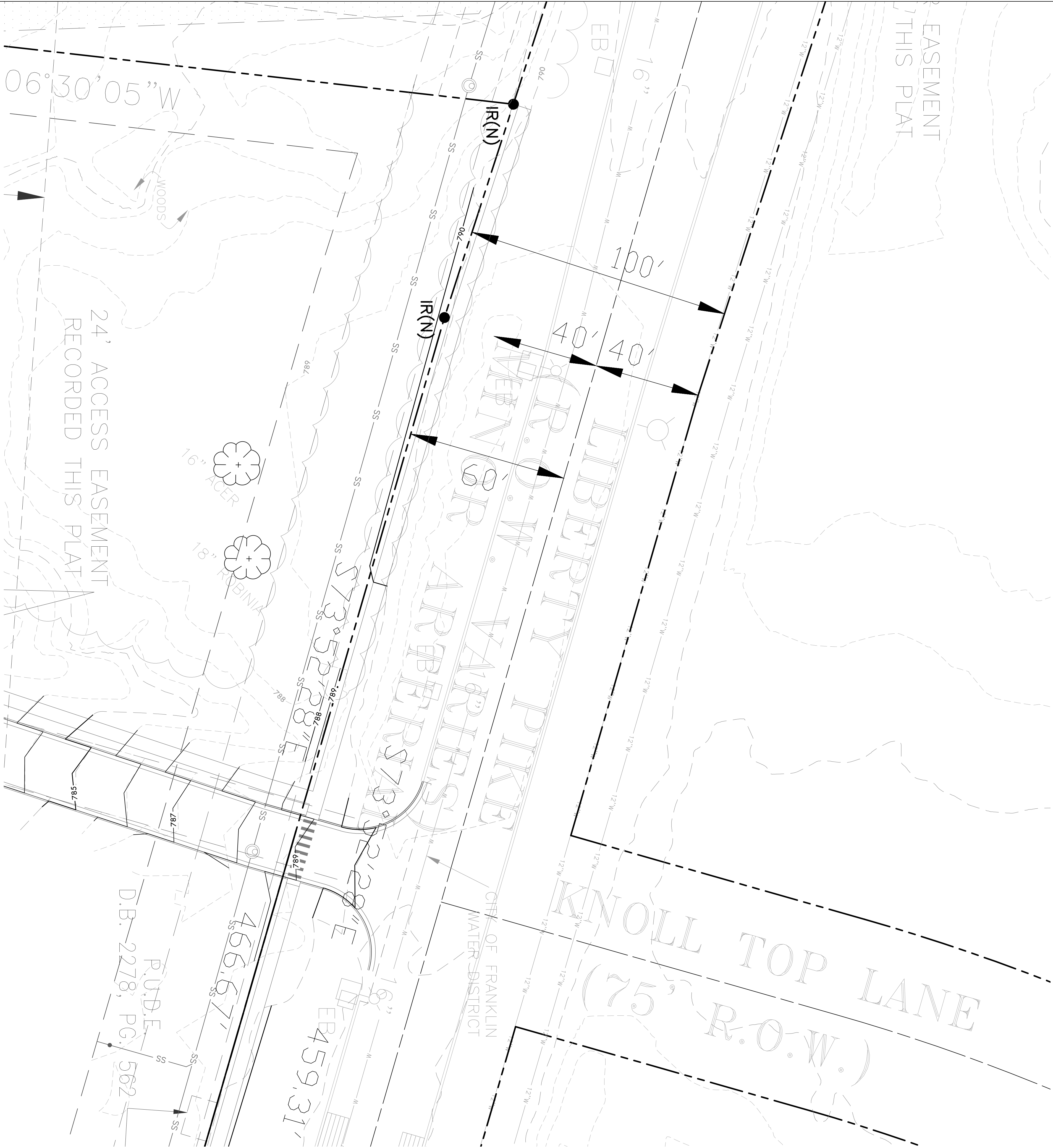
CRUNK ENGINEERING LLC

1894 GENERAL GEORGE PATTON DR.
SUITE 600
FRANKLIN, TN 37067
(615) 873-1795

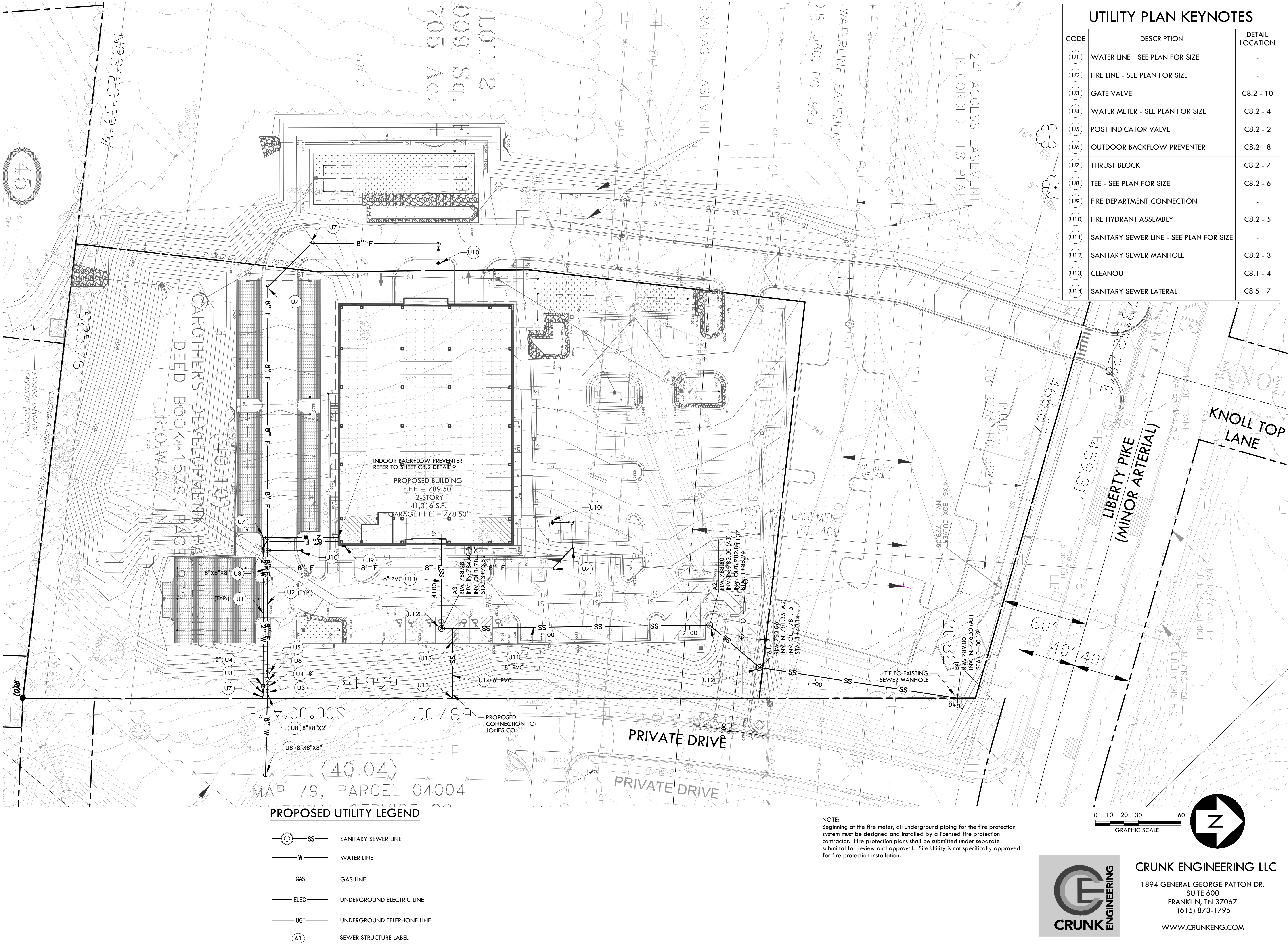
WWW.CRUNKENG.COM

THIS DRAWING IS THE PROPERTY OF HEREFORD DOOLEY ARCHITECTS. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT. IT SHALL BE RETURNED UPON REQUEST. COPYRIGHT AS DATED HEREFORD DOOLEY ARCHITECTS. NOT VALID UNLESS SIGNED AND SEALED.

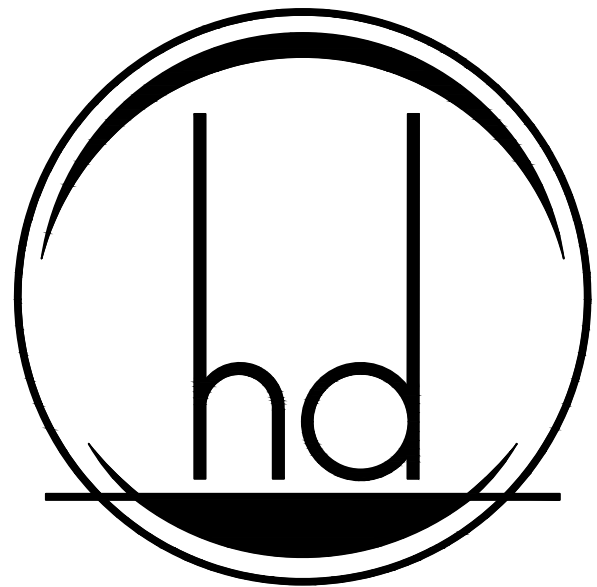
84,462 SF.



THIS DRAWING IS THE PROPERTY OF HEREFORD DOOLEY ARCHITECTS. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT SHALL BE RETURNED UPON REQUEST. COPYRIGHT AS DATED HEREFORD DOOLEY ARCHITECTS. NOT VALID UNLESS SIGNED AND SEALED.



UTILITY PLAN KEYNOTES		
CODE	DESCRIPTION	DETAIL LOCATION
U1	WATER LINE - SEE PLAN FOR SIZE	-
U2	FIRE LINE - SEE PLAN FOR SIZE	-
U3	GATE VALVE	C8.2 - 10
U4	WATER METER - SEE PLAN FOR SIZE	C8.2 - 4
U5	POST INDICATOR VALVE	C8.2 - 2
U6	OUTDOOR BACKFLOW PREVENTER	C8.2 - 8
U7	THRUST BLOCK	C8.2 - 7
U8	TEE - SEE PLAN FOR SIZE	C8.2 - 6
U9	FIRE DEPARTMENT CONNECTION	-
U10	FIRE HYDRANT ASSEMBLY	C8.2 - 5
U11	SANITARY SEWER LINE - SEE PLAN FOR SIZE	-
U12	SANITARY SEWER MANHOLE	C8.2 - 3
U13	CLEANOUT	C8.1 - 4
U14	SANITARY SEWER LATERAL	C8.5 - 7



HEREFORD · DOOLEY
ARCHITECTS

1720 WEST END AVE · SUITE 300
NASHVILLE · TENNESSEE · 37203

P · 615 · 244 · 7399
F · 615 · 244 · 6697

WWW.HDARCHITECTS.COM

05/04/17

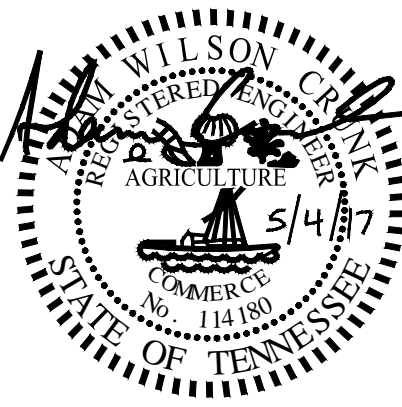
PROJECT
216042.00

LOCATION
1217 Liberty Pike
Franklin TN 37067

CLIENT
Prime Health Services

Carothers
Development
Subdivision, Site
Plan, Revision 1
(Prime Health)
C.O.F. # 6323

CONSTRUCTION
DOCUMENTS



05/04/17

DATES OF ISSUANCE
△

TITLE
UTILITY PLAN

SHEET
C7.0

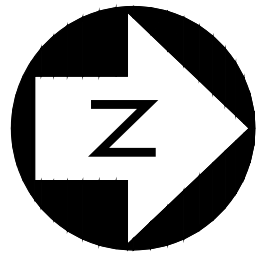
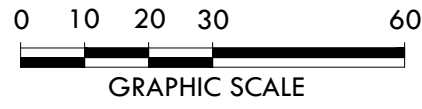
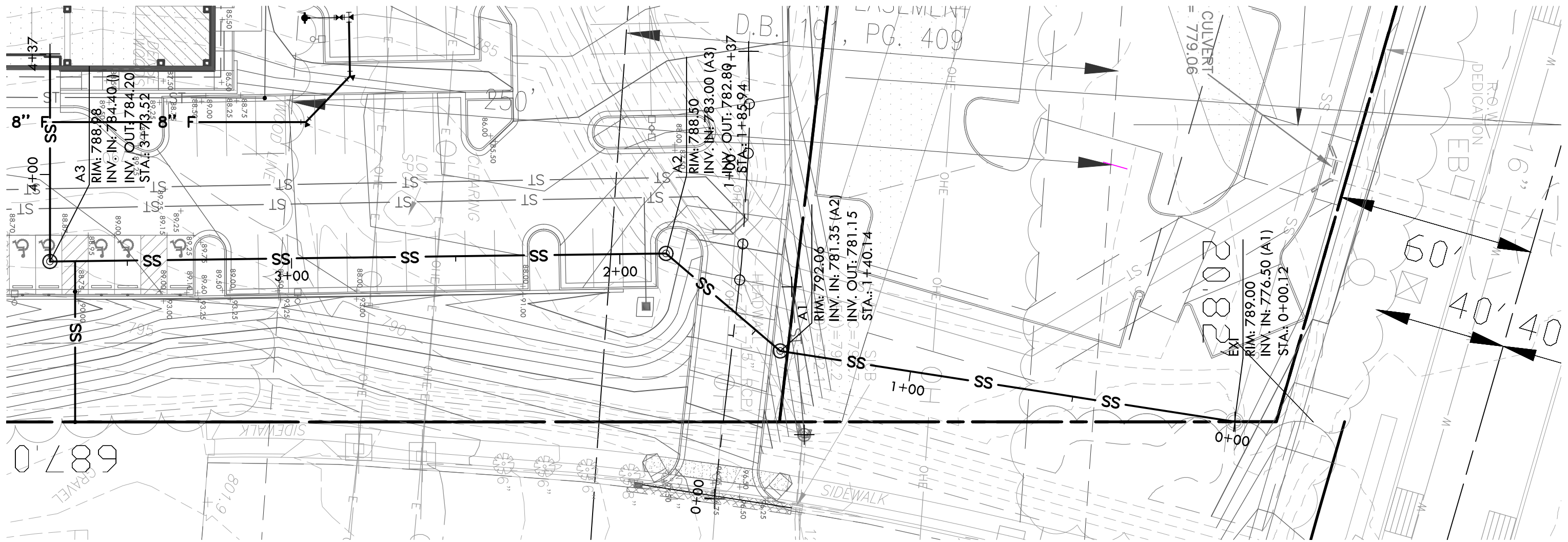
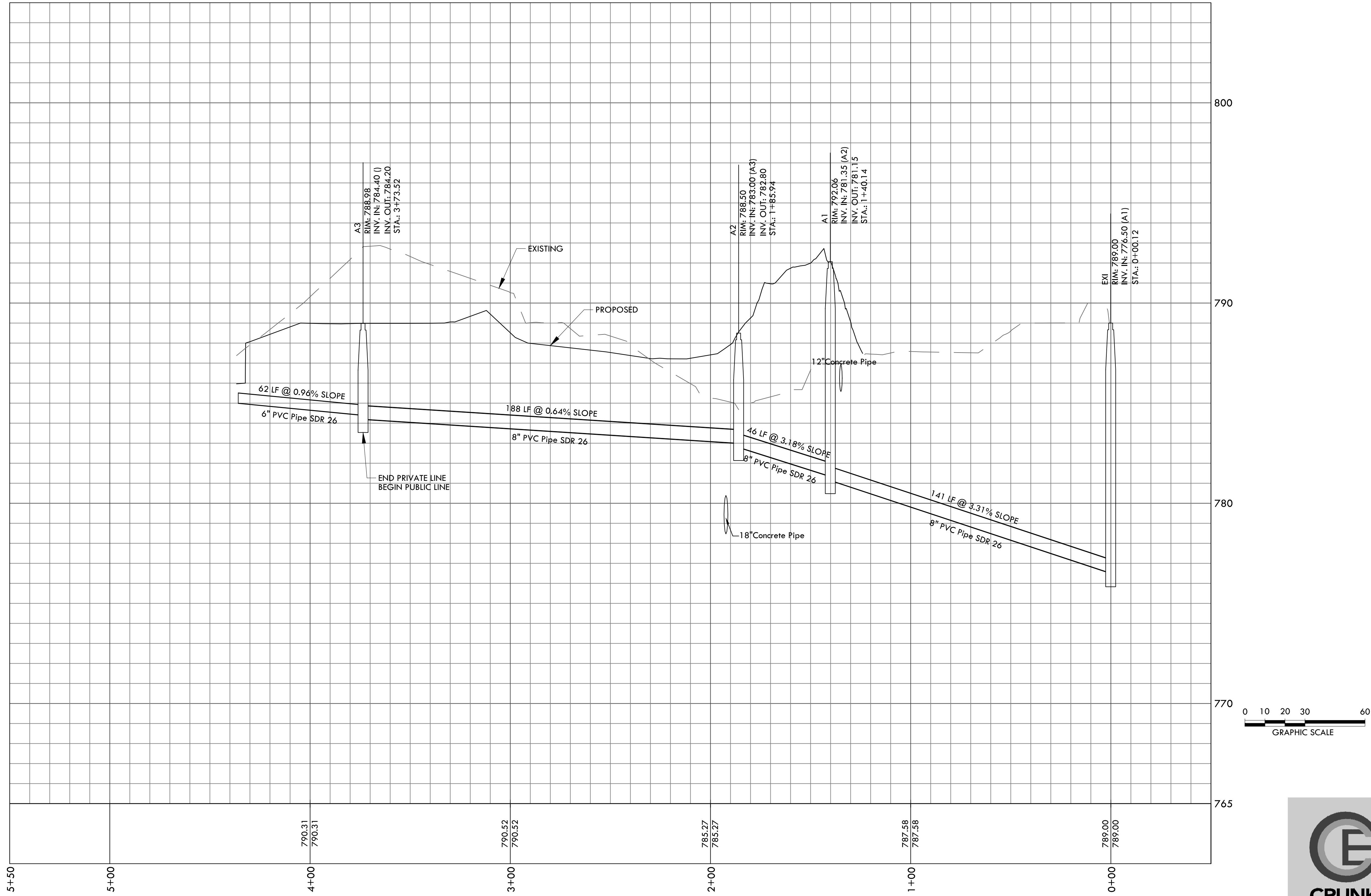


CRUNK ENGINEERING LLC

1894 GENERAL GEORGE PATTON DR.
SUITE 600
FRANKLIN, TN 37067
(615) 873-1795

WWW.CRUNKENG.COM

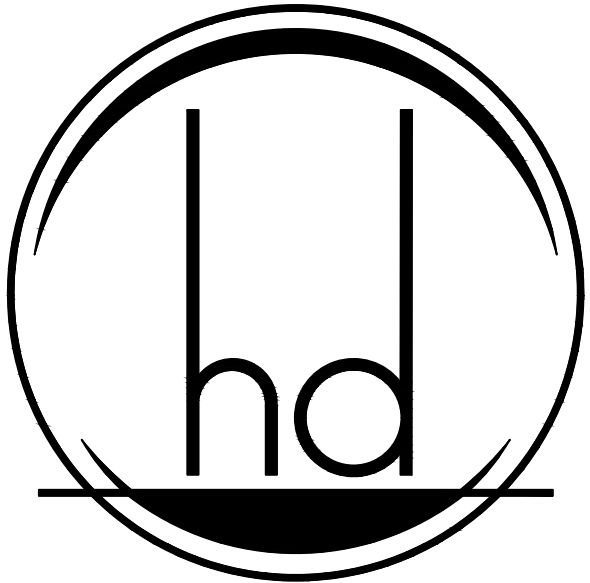
THIS DRAWING IS THE PROPERTY OF HEREFORD DOOLEY ARCHITECTS. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT. IT SHALL BE RETURNED UPON REQUEST. COPYRIGHT AS DATED HEREFORD DOOLEY ARCHITECTS. NOT VALID UNLESS SIGNED AND SEALED.



Proposed Public Sanitary Sewer Line



CRUNK ENGINEERING LLC
1894 GENERAL GEORGE PATTON DR.
SUITE 600
FRANKLIN, TN 37067
(615) 873-1795
WWW.CRUNKENG.COM

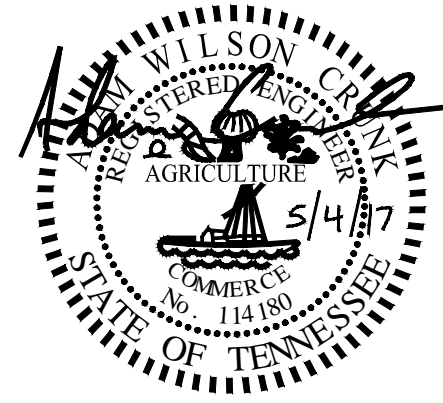


HEREFORD · DOOLEY
ARCHITECTS
1720 WEST END AVE · SUITE 300
NASHVILLE · TENNESSEE · 37203
P · 615 · 244 · 7399
F · 615 · 244 · 6697
WWW.HDARCHITECTS.COM

PROJECT	216042.00
LOCATION	1217 Liberty Pike Franklin TN 37067
CLIENT	Prime Health Services

Carothers
Development
Subdivision, Site
Plan, Revision 1
(Prime Health)
C.O.F. # 6323

CONSTRUCTION
DOCUMENTS

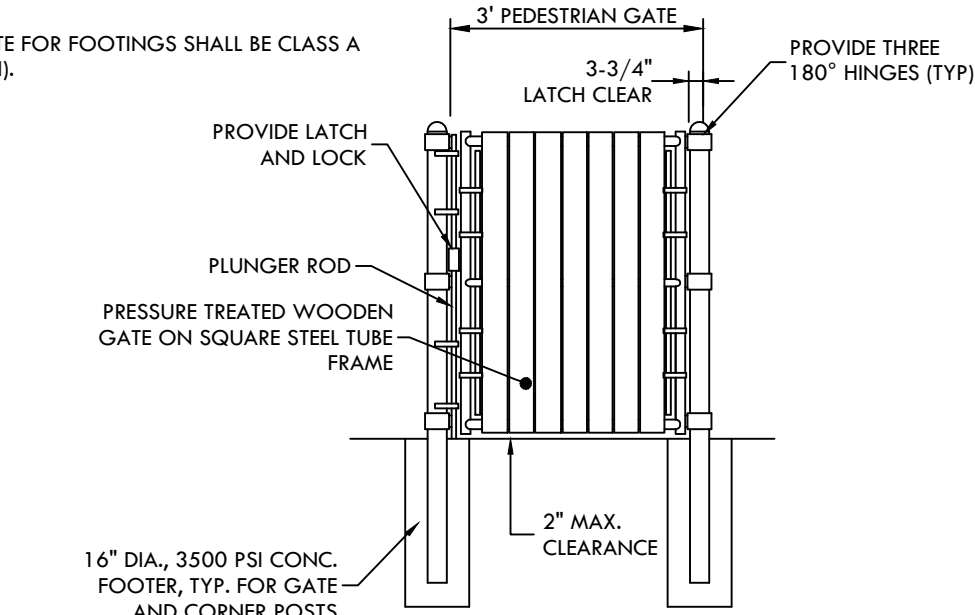


DATES OF ISSUANCE	05/04/17
TITLE	UTILITY PROFILE
SHEET	C7.1

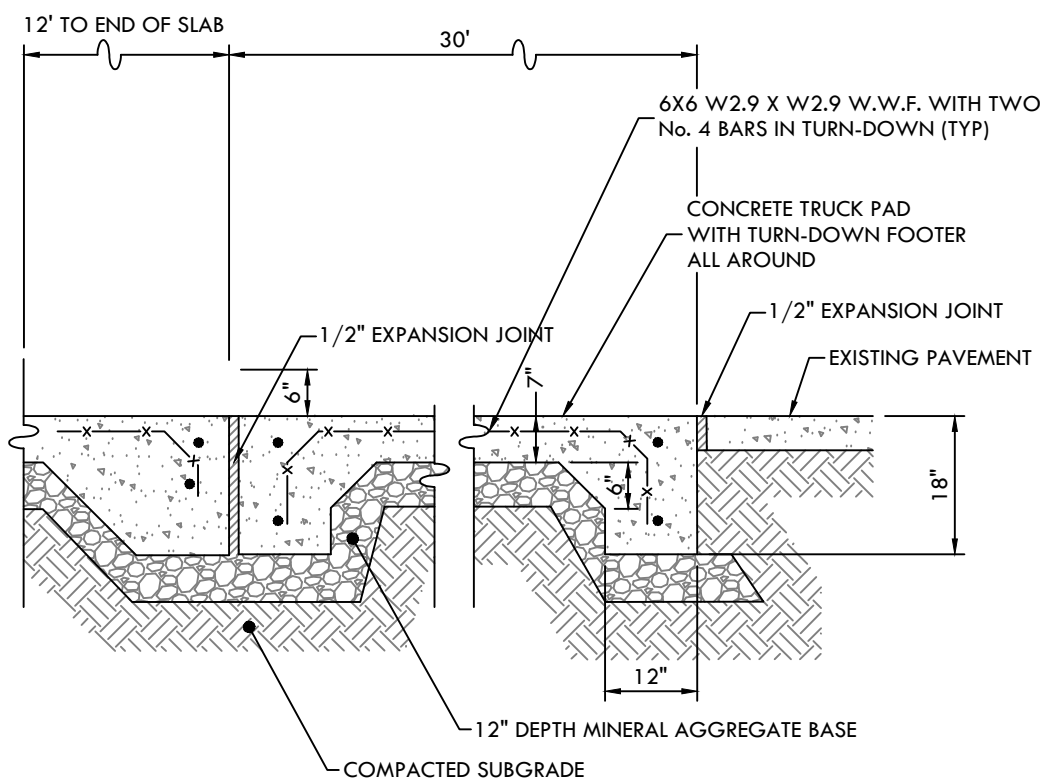
THIS DRAWING IS THE PROPERTY OF HEREFORD DOOLEY ARCHITECTS. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT. IT SHALL BE RETURNED UPON REQUEST. COPYRIGHT AS DATED HEREFORD DOOLEY ARCHITECTS. NOT VALID UNLESS SIGNED AND SEALED.

NOTES:

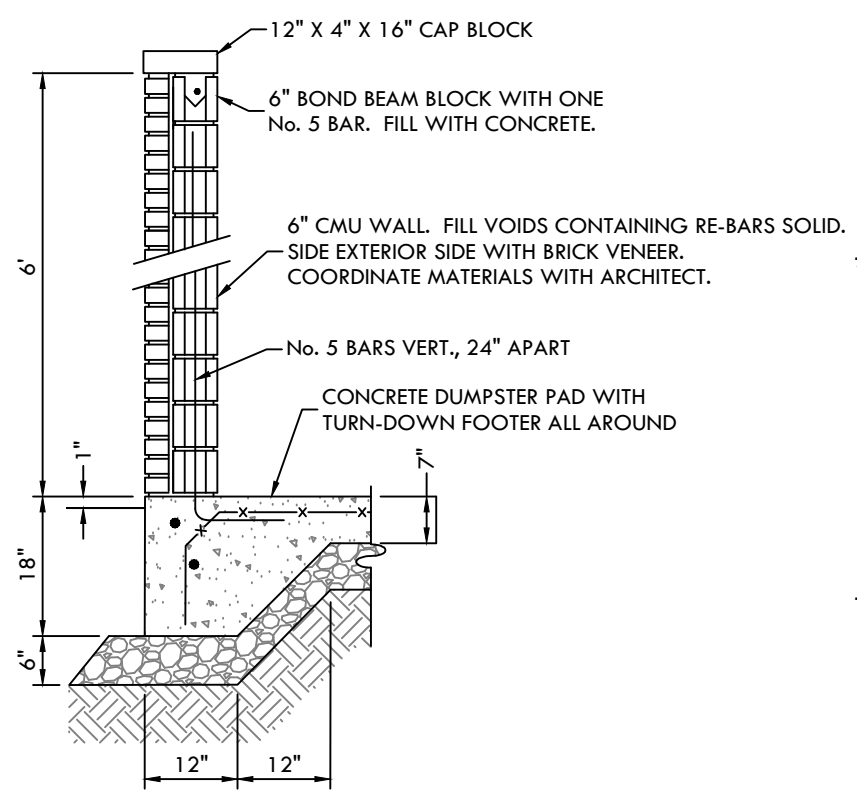
1. ALL POSTS AND OTHER APPURTENANCES SHALL BE HOT DIP GALVANIZED W/MIN. 1.2 O.S.F. ZINC. ALL FITTINGS SHALL BE MALLEABLE OR DUCTILE IRON OR STEEL.
2. CONCRETE FOR FOOTINGS SHALL BE CLASS A (3000 PSI).



PEDESTRIAN GATE



SECTION THROUGH PAD AND APRON



WALL SECTION

NOTE:
ALL CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS CURE.
BROOM-FINISH SURFACES OF BOTH PADS.
BRICK VENEER SHALL MATCH EXISTING BRICK FINISHES ON SITE. COORDINATE MATERIALS WITH ARCHITECT.

NOTE:
CLEAN THE GATE POSTS, HINGES AND STEEL TUBE FRAME OF ALL DIRT AND OIL, AND PRIME WITH ZINC CHROMATE PRIMER OR OTHER PRIMER APPROVED FOR GALVANIZED STEEL AFTER PRIMING PAINT WITH THREE COATS OF EXTERIOR ENAMEL. COORDINATE THE COLOR WITH THE ARCHITECT.

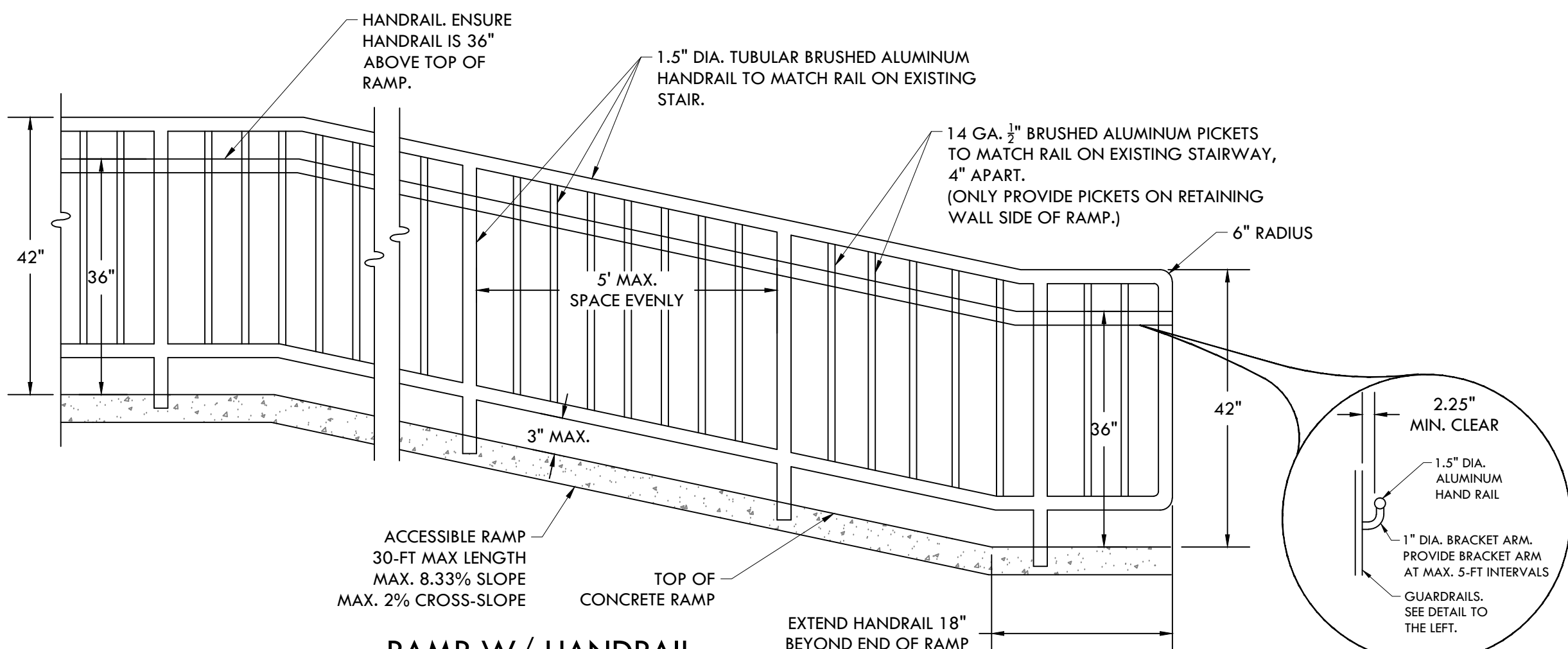
HARDWARE NOTES:

MANUFACTURER'S STANDARD PRODUCTS, INSTALLED COMPLETE. THE HINGES SELECTED SHALL ALLOW GATES TO SWING THROUGH 120 DEGREES FROM CLOSED TO OPEN POSITION. HANG AND SECURE GATES IN SUCH A MANNER THAT WHEN LOCKED THEY CANNOT BE LIFTED OFF THEIR HINGES.

PROVIDE STOPS AND KEEPERS FOR DOUBLE GATES. LATCHES SHALL HAVE A PLUNGER BAR ARRANGED TO ENGAGE THE CENTER STOP. ARRANGE LATCHES FOR LOCKING. CENTER STOPS SHALL CONSIST OF A DEVICE SET IN CONCRETE TO ENGAGE THE PLUNGER BAR. KEEPERS SHALL CONSIST OF DEVICES FOR SECURING THE FREE END OF THE GATE WHEN IN ITS FULL-OPEN POSITION.

DUMPSTER PAD AND ENCLOSURE

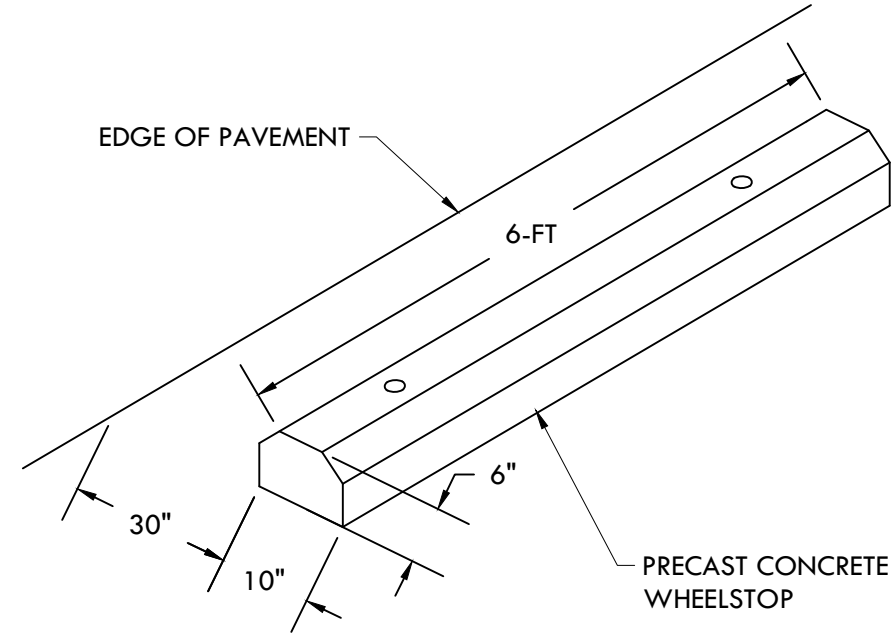
NOT TO SCALE



8

RAMP W/ HANDRAIL

NOT TO SCALE

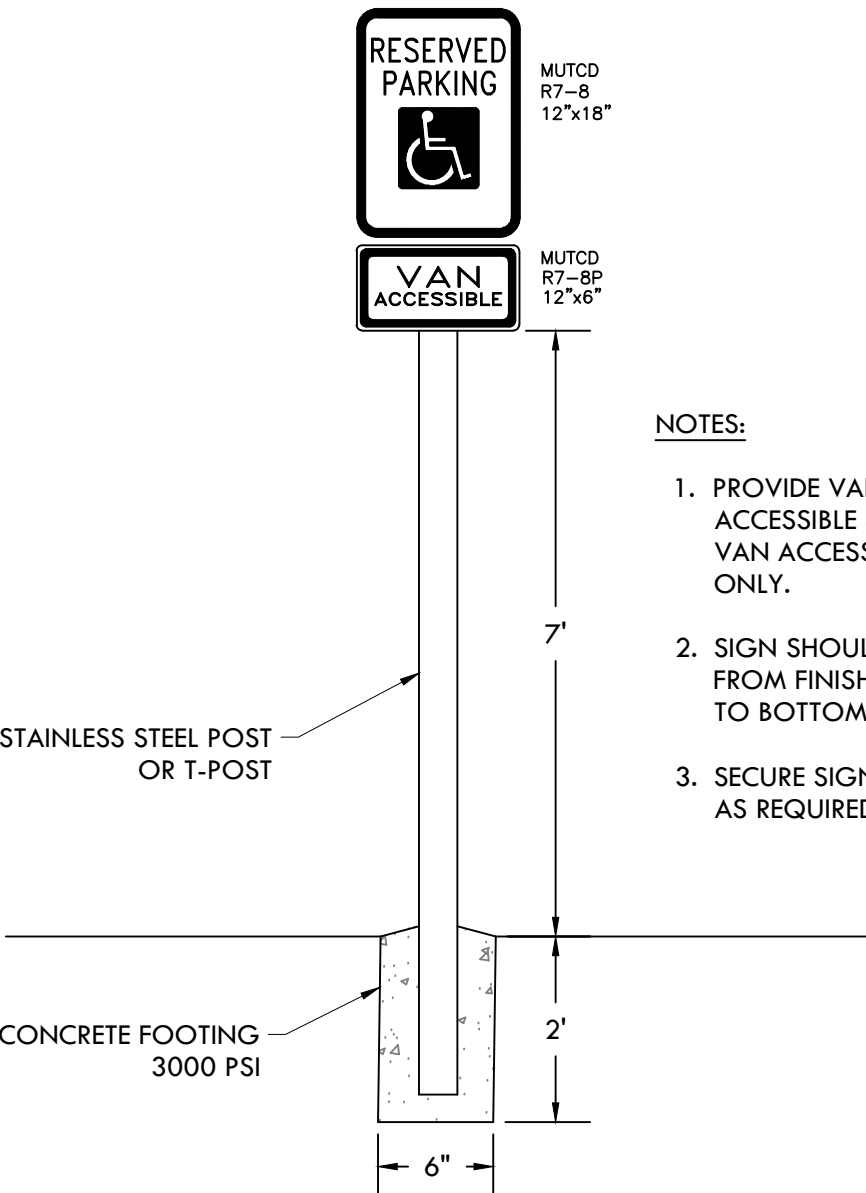


NOTES:

1. CONCRETE TO BE 3500 PSI.
2. REINFORCED WITH 2 #3 BARS.

CONCRETE WHEELSTOP

NOT TO SCALE



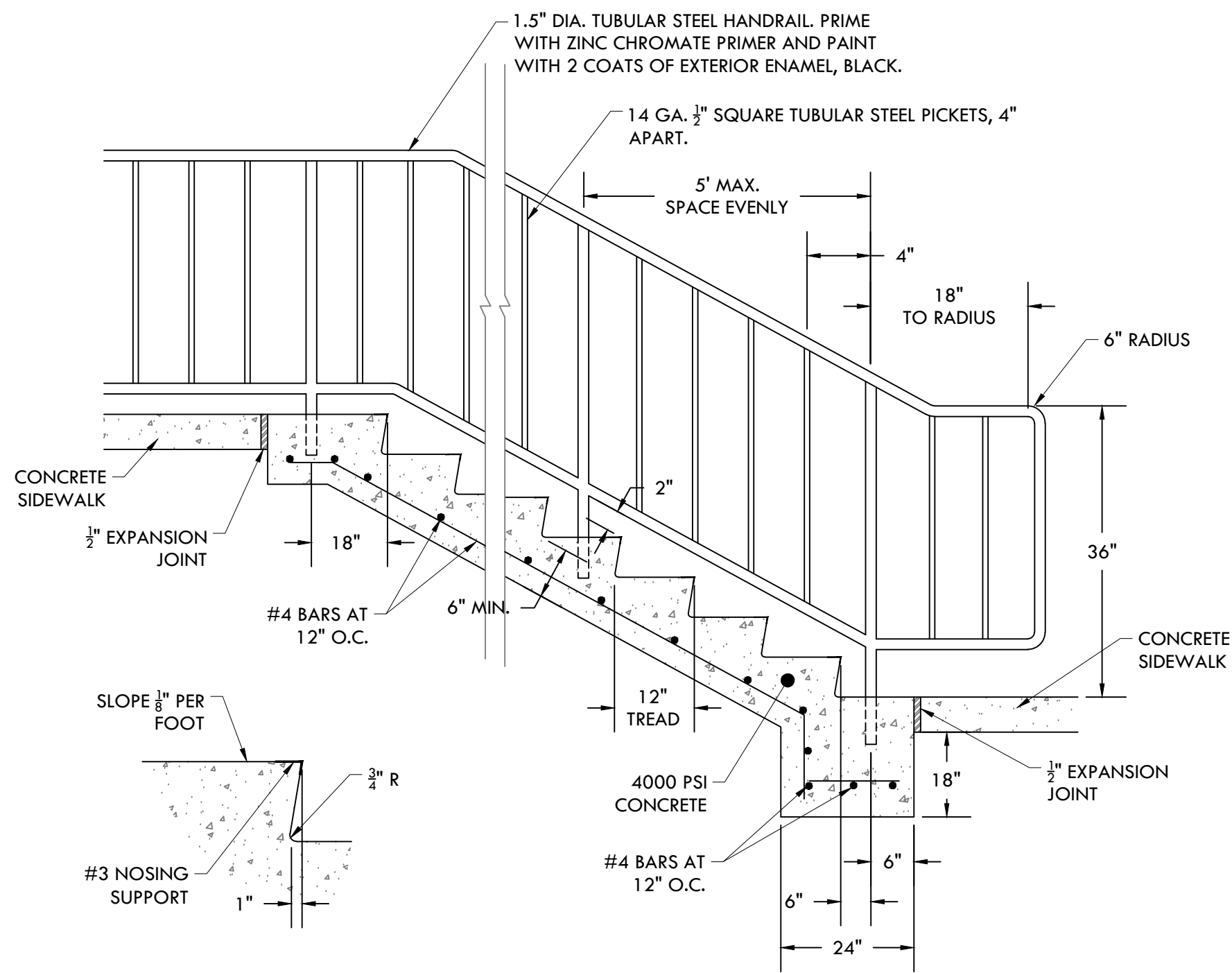
NOTES:

1. PROVIDE VAN ACCESSIBLE SIGN AT VAN ACCESSIBLE SPACES ONLY.
2. SIGN SHOULD BE 7-FT FROM FINISHED GRADE TO BOTTOM OF SIGN.
3. SECURE SIGN TO POST AS REQUIRED.

5

ACCESSIBLE PARKING SIGN

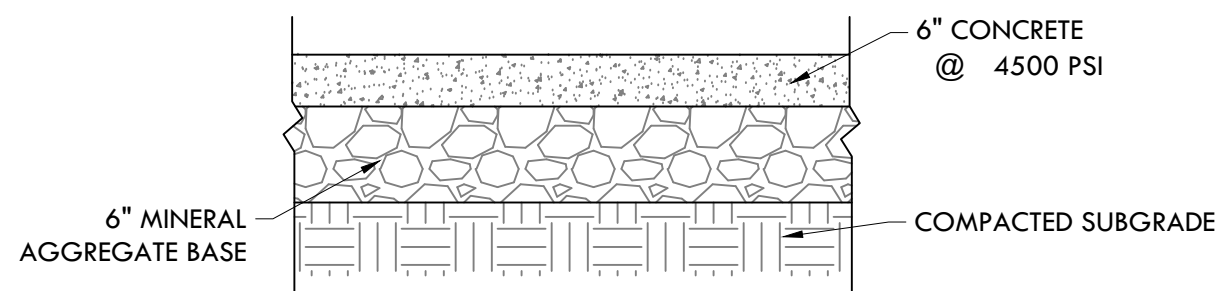
NOT TO SCALE



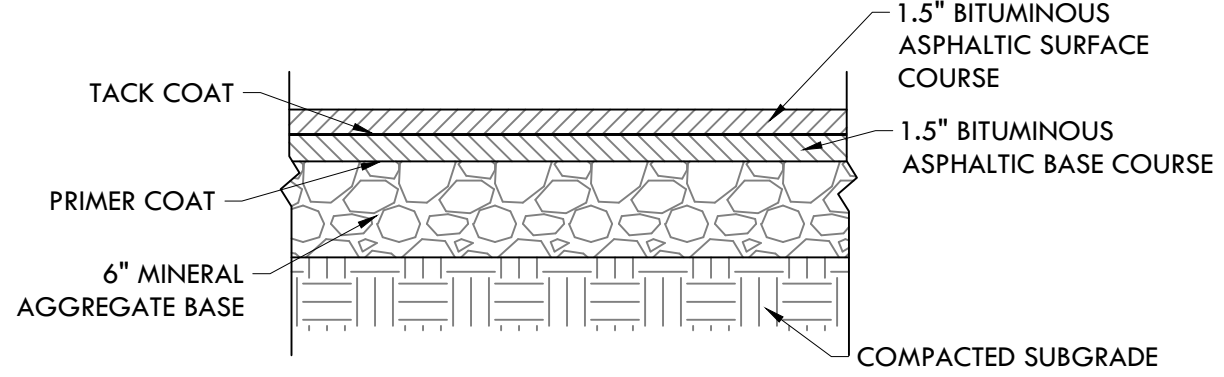
6

STAIRS W/ HANDRAIL

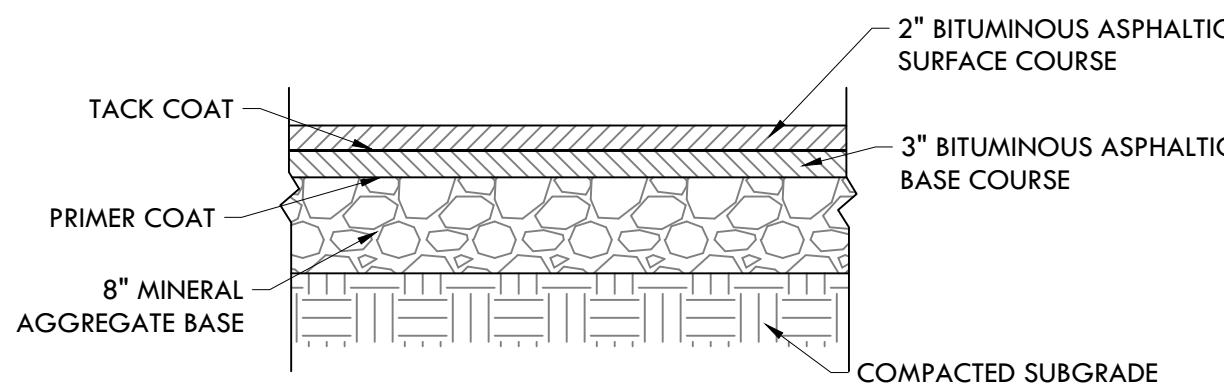
NOT TO SCALE



CONCRETE PAVEMENT SECTION



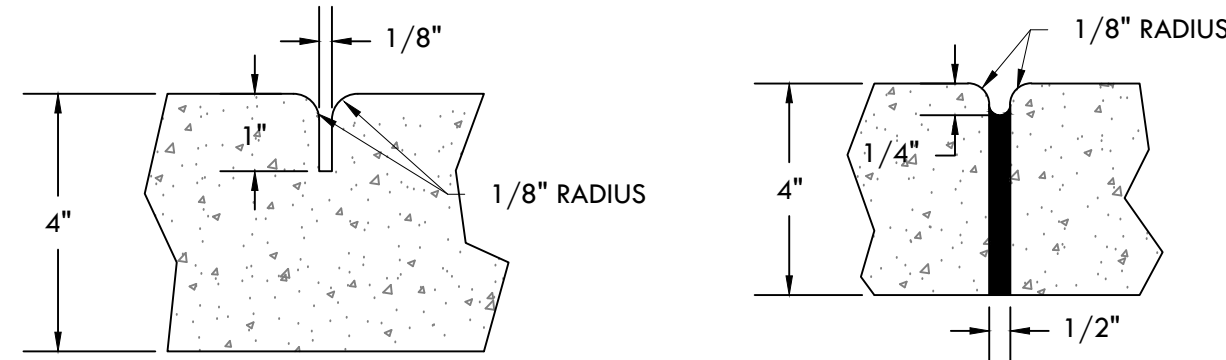
LIGHT DUTY ASPHALT SECTION



HEAVY DUTY ASPHALT SECTION

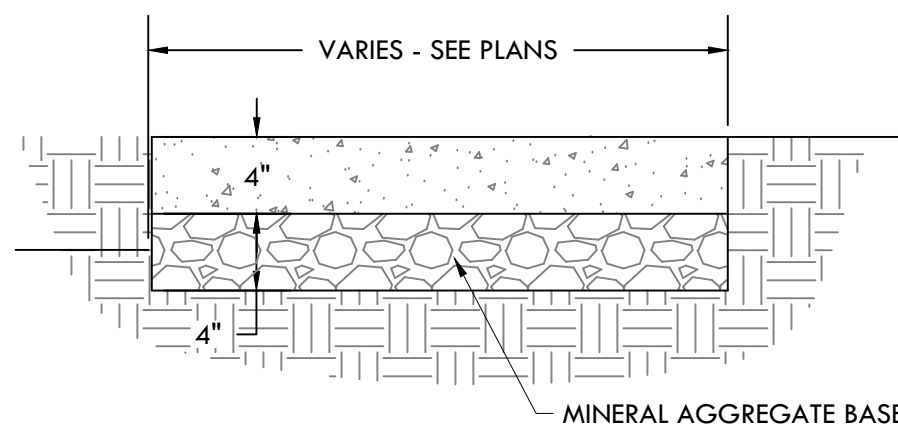


SIDEWALK AT CURB & GUTTER



CONTROL JOINT

EXPANSION JOINT

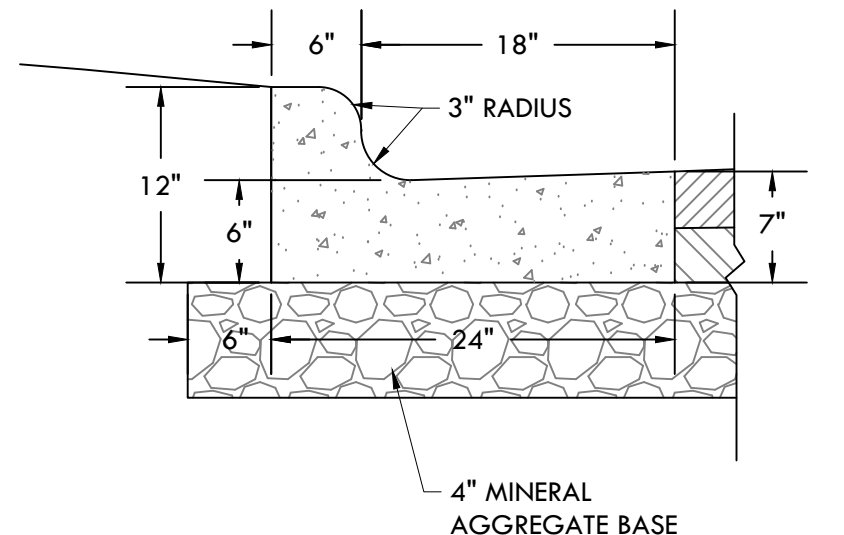


NOTES:

1. CONCRETE TO BE 3500 PSI.
2. PROVIDE CONTROL JOINTS AT LENGTH EQUAL TO WIDTH OF WALK. MAXIMUM LENGTH OF 6-FT.
3. PROVIDE EXPANSION JOINTS AT EVERY 4TH CONTROL JOINT.
4. PROVIDE A MAXIMUM CROSS-SLOPE OF 2.0%.

CONCRETE SIDEWALK

NOT TO SCALE

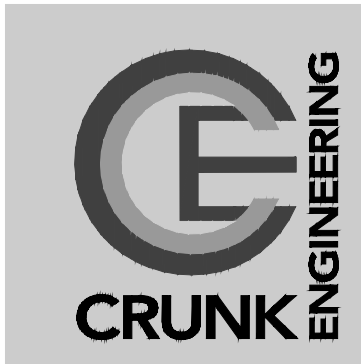


NOTES:

1. CONCRETE TO BE 4000 PSI.
2. PROVIDE CONTROL JOINTS EVERY 10 LINEAR FEET ALONG CURB.
3. PROVIDE EXPANSION JOINTS EVERY 90 LINEAR FEET.

CURB & GUTTER

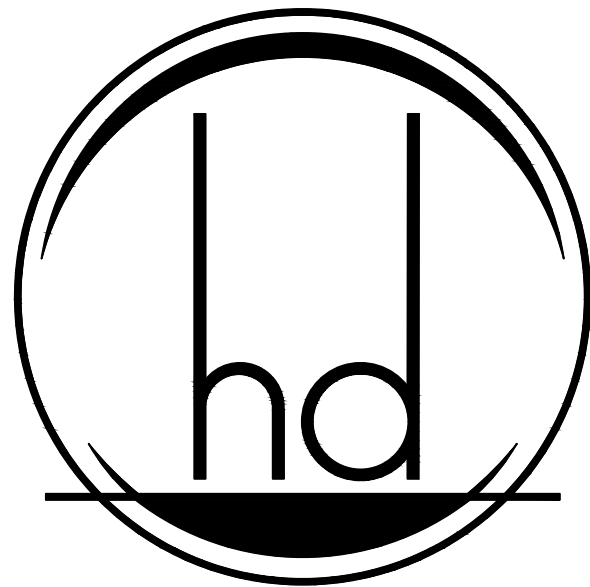
NOT TO SCALE



CRUNK ENGINEERING LLC

1894 GENERAL GEORGE PATTON DR.
SUITE 600
FRANKLIN, TN 37067
(615) 873-1795

WWW.CRUNKENG.COM



HEREFORD · DOOLEY
ARCHITECTS

1720 WEST END AVE · SUITE 300
NASHVILLE · TENNESSEE · 37203

P · 615 · 244 · 7399
F · 615 · 244 · 6697

WWW.HDARCHITECTS.COM

05/04/17

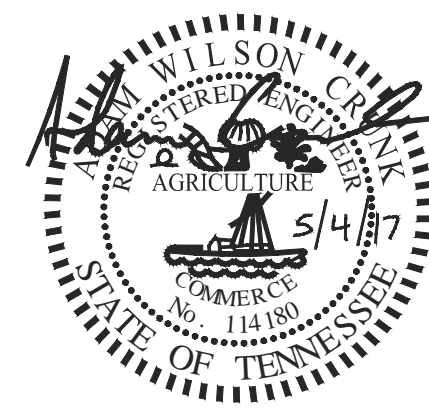
216042.00

1217 Liberty Pike
Franklin TN 37067

Prime Health Services

Carothers
Development
Subdivision, Site
Plan, Revision 1
(Prime Health)
C.O.F. # 6323

CONSTRUCTION
DOCUMENTS



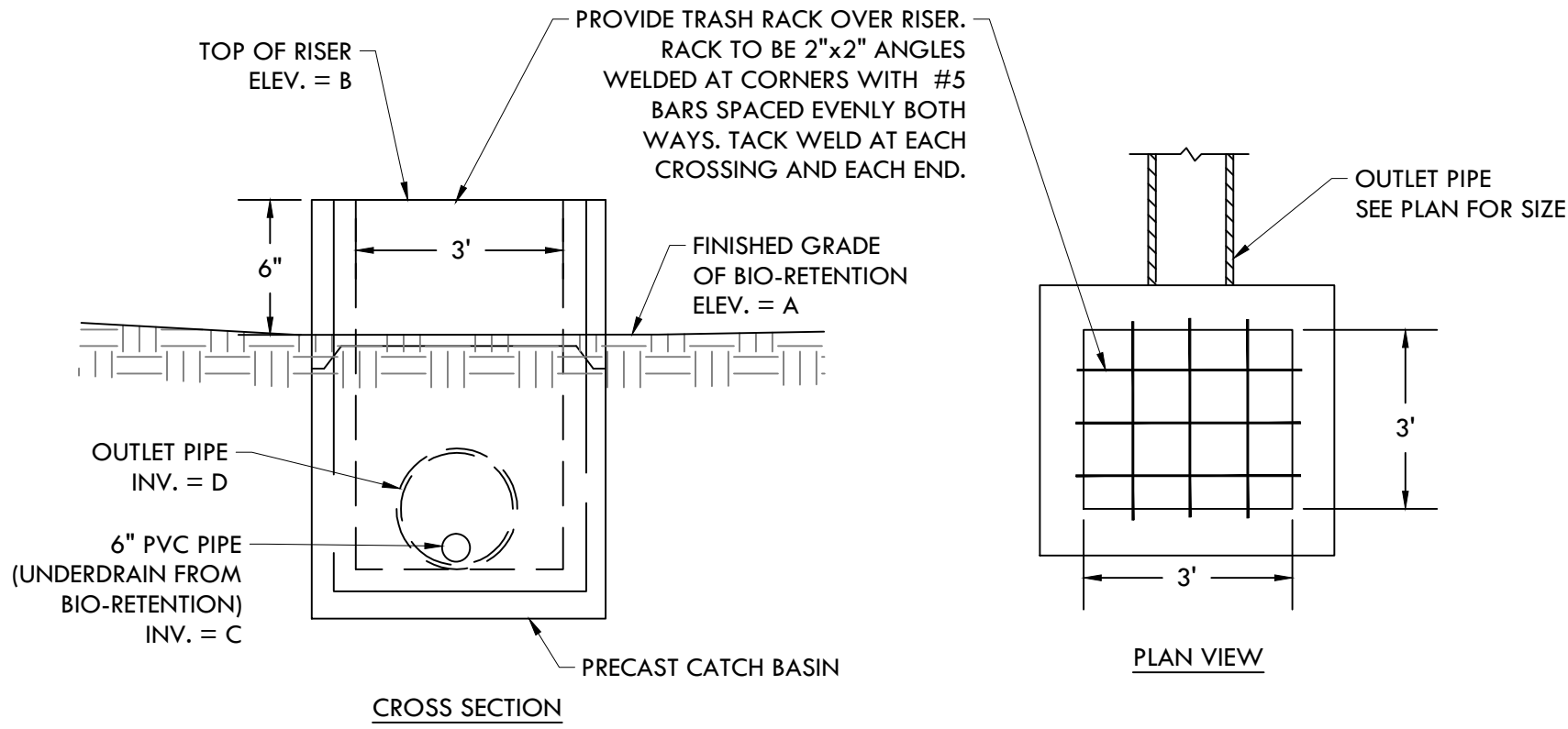
05/04/17

DATES OF ISSUANCE

DETAILS

C8.0

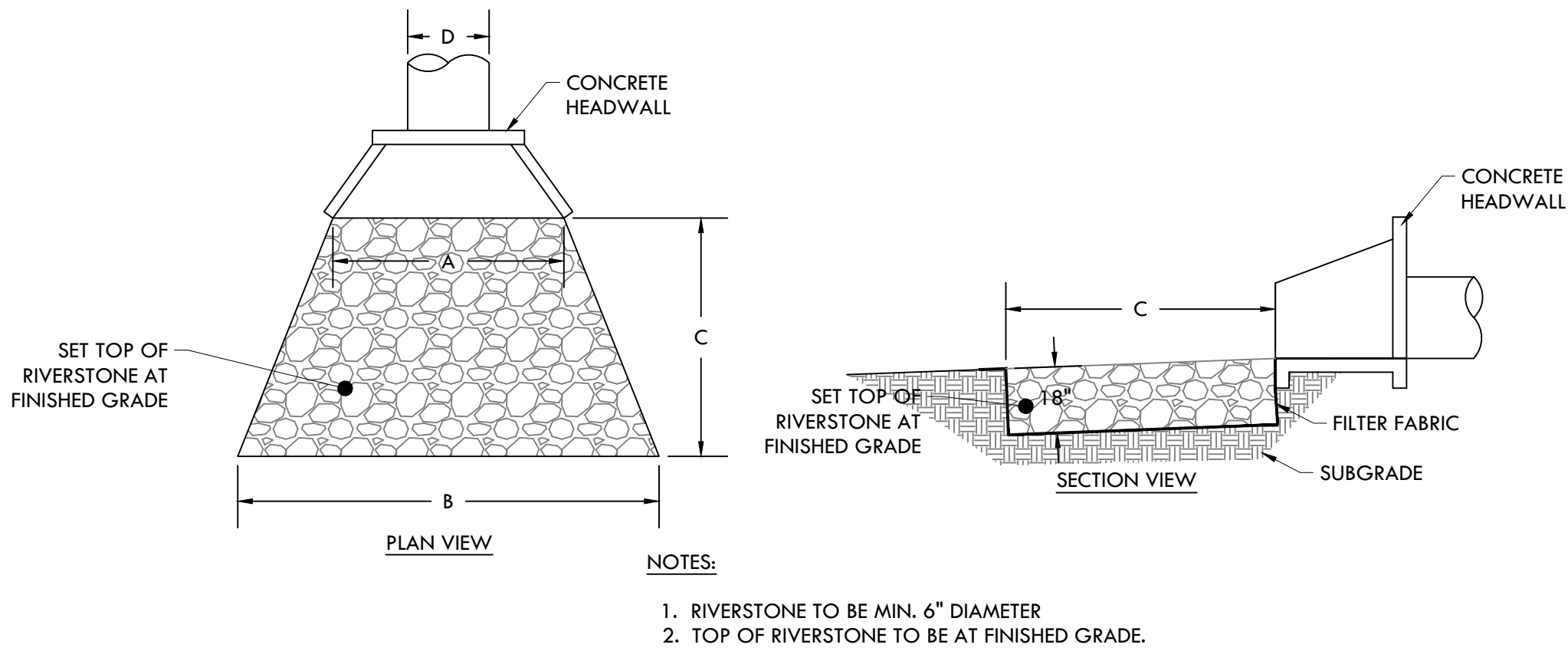
THIS DRAWING IS THE PROPERTY OF HEREFORD DOOLEY ARCHITECTS. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT. IT SHALL BE RETURNED UPON REQUEST. COPYRIGHT AS DATED HEREFORD DOOLEY ARCHITECTS. NOT VALID UNLESS SIGNED AND SEALED.



BIO-RETENTION OUTLET STRUCTURE DIMENSION TABLE					
NAME/LOCATION	A	B	C	D	OUTLET PIPE SIZE (HDPE)
NORTHWEST L2	778.50'	779.00'	773.90'	773.90'	18"
NORTH L1	779.50'	780.00'	776.00'	776.00'	12"
EAST L1	787.00'	787.50'	783.50'	783.50'	12"
OFF-SITE L2	776.00'	776.50'	771.50'	771.50'	24"

6 BIO-RETENTION OUTLET STRUCTURE

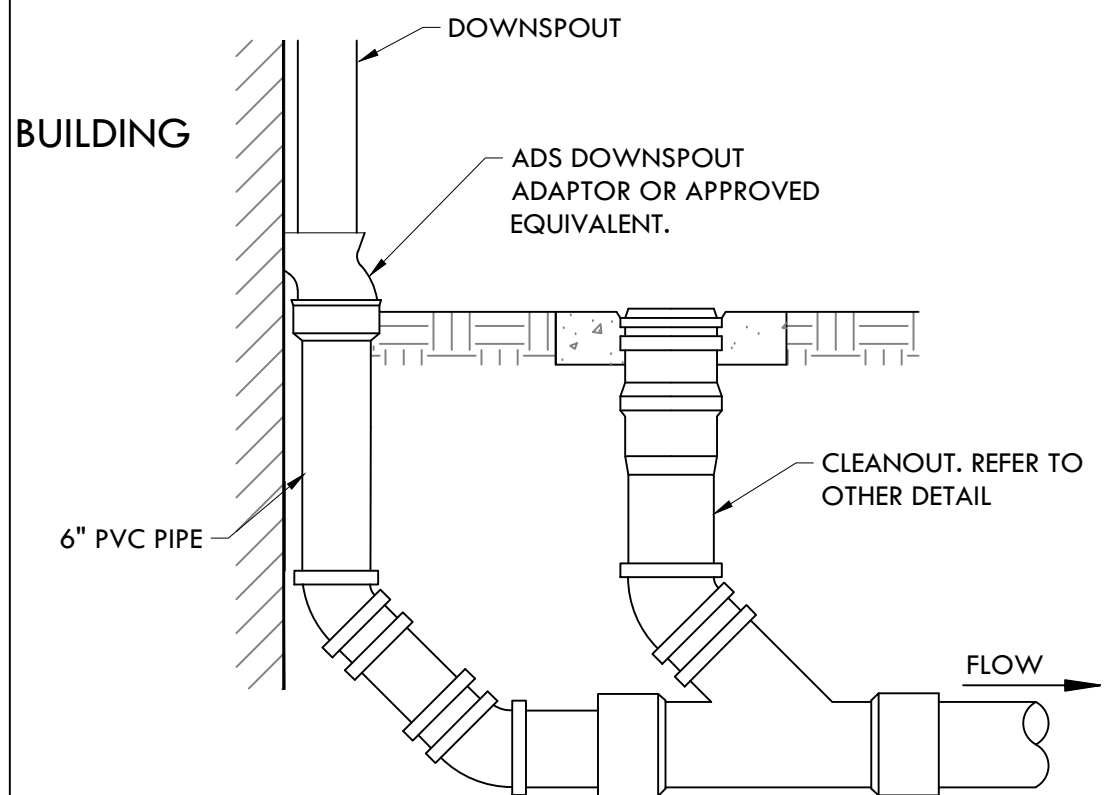
NOT TO SCALE



OUTLET PROTECTION DIMENSION TABLE				
NAME/LOCATION	A	B	C	D
DETENTION POND	76"	25'	16'	30"
WEST BYPASS	62"	15'	10'	18"

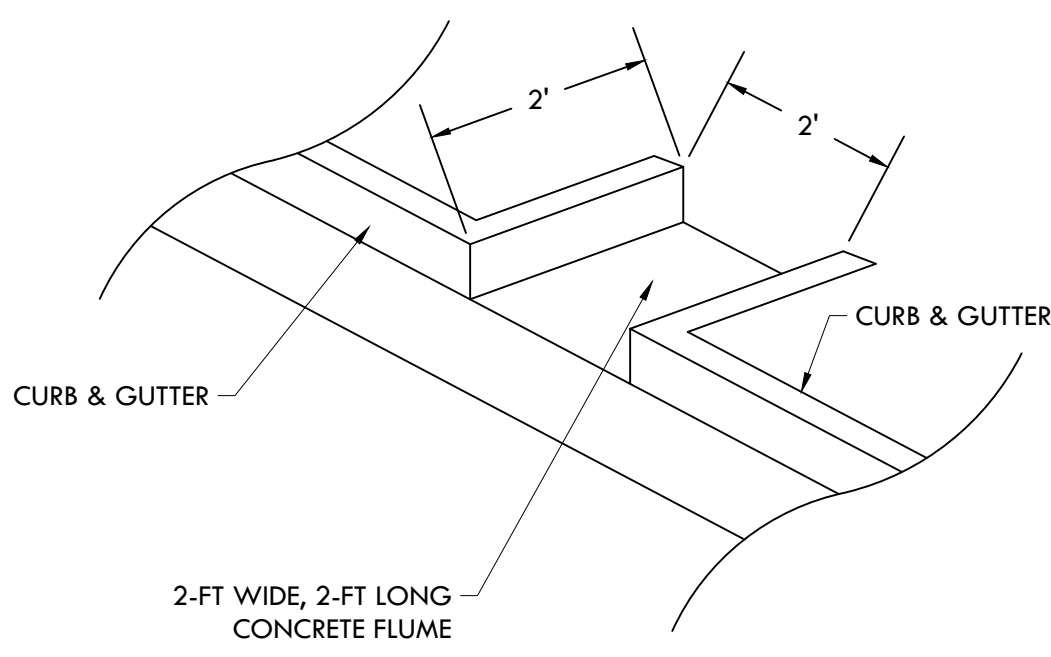
7 RIVERSTONE OUTLET PROTECTION

NOT TO SCALE



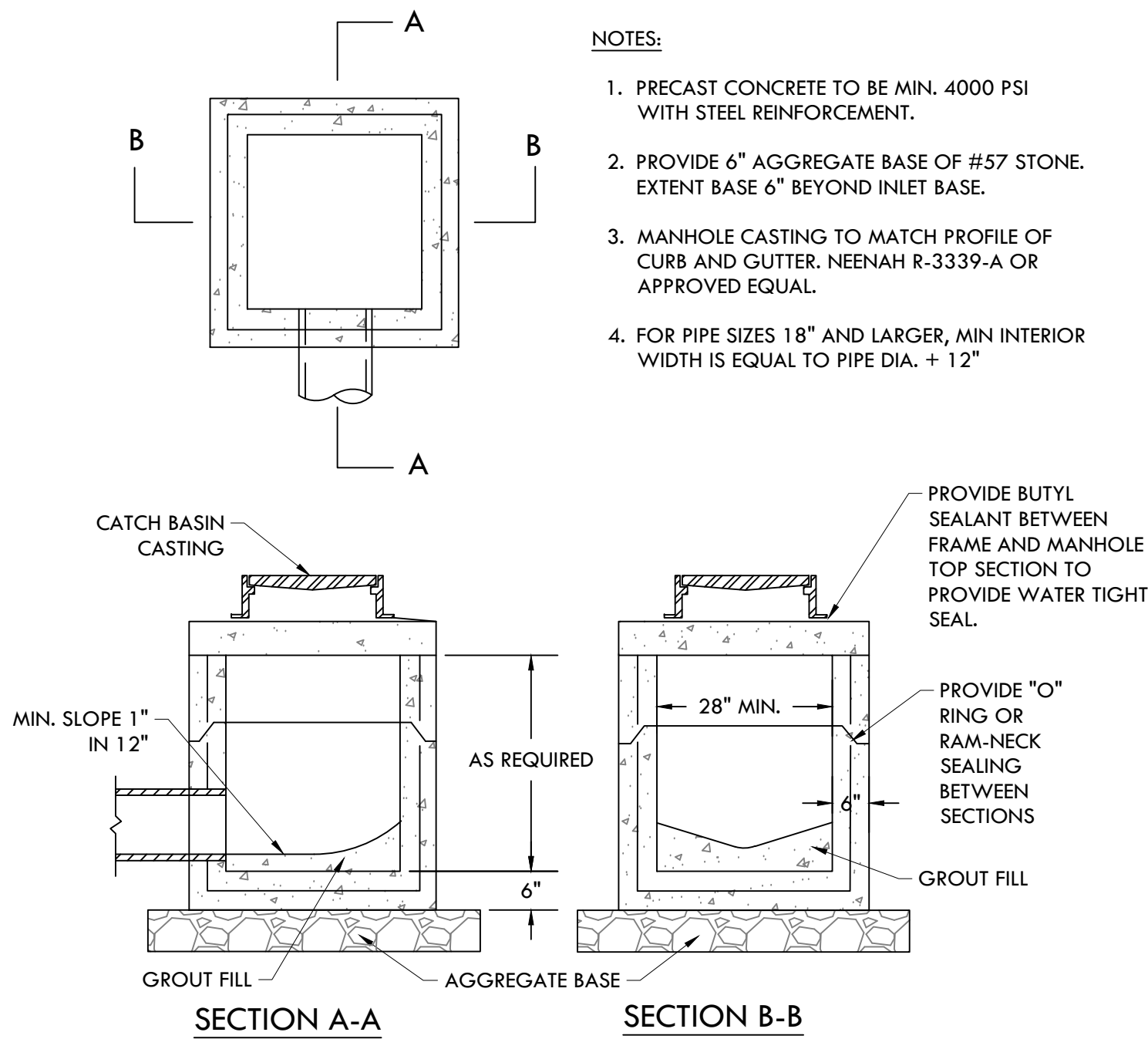
9 DOWNSPOUT CONNECTION

NOT TO SCALE



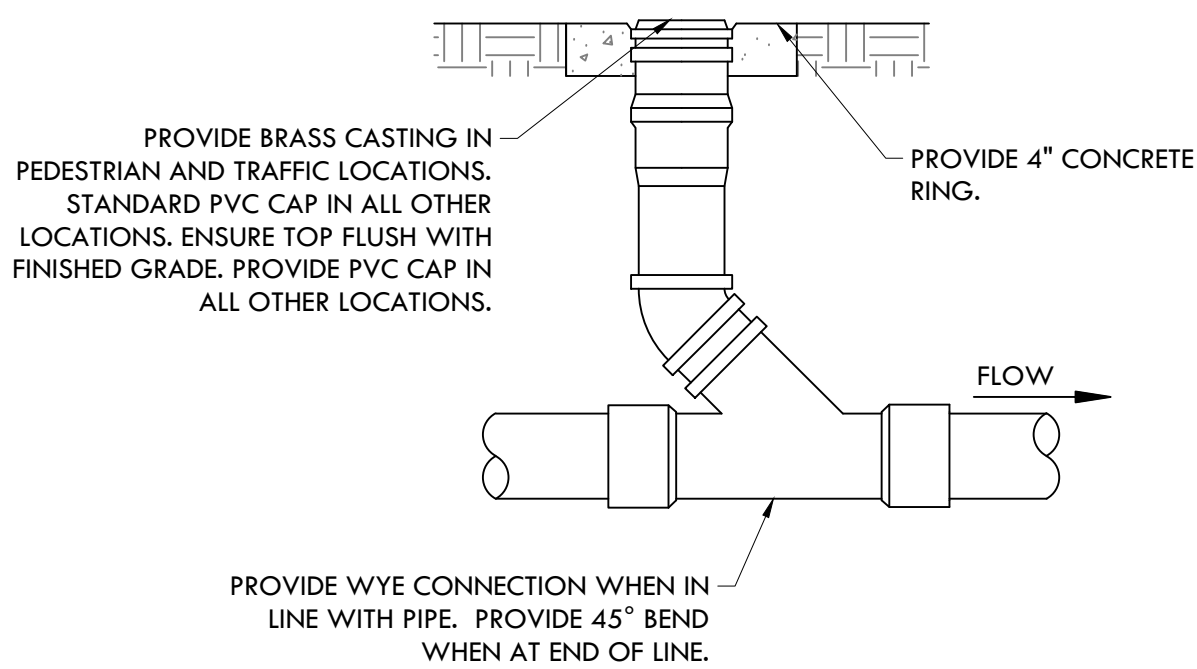
8 CONCRETE FLUME

NOT TO SCALE



3 SINGLE CATCH BASIN

NOT TO SCALE

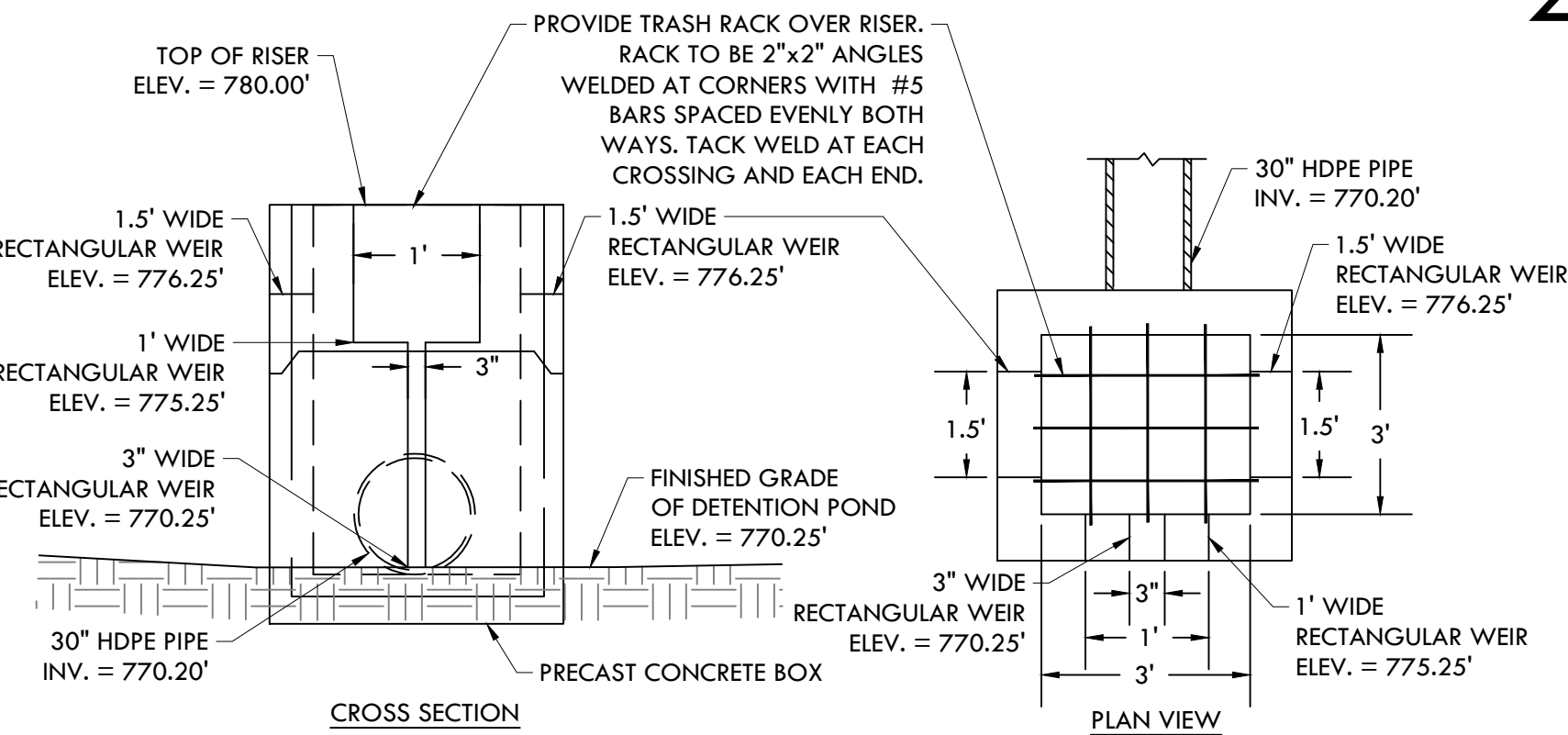


4 CLEANOUT

NOT TO SCALE

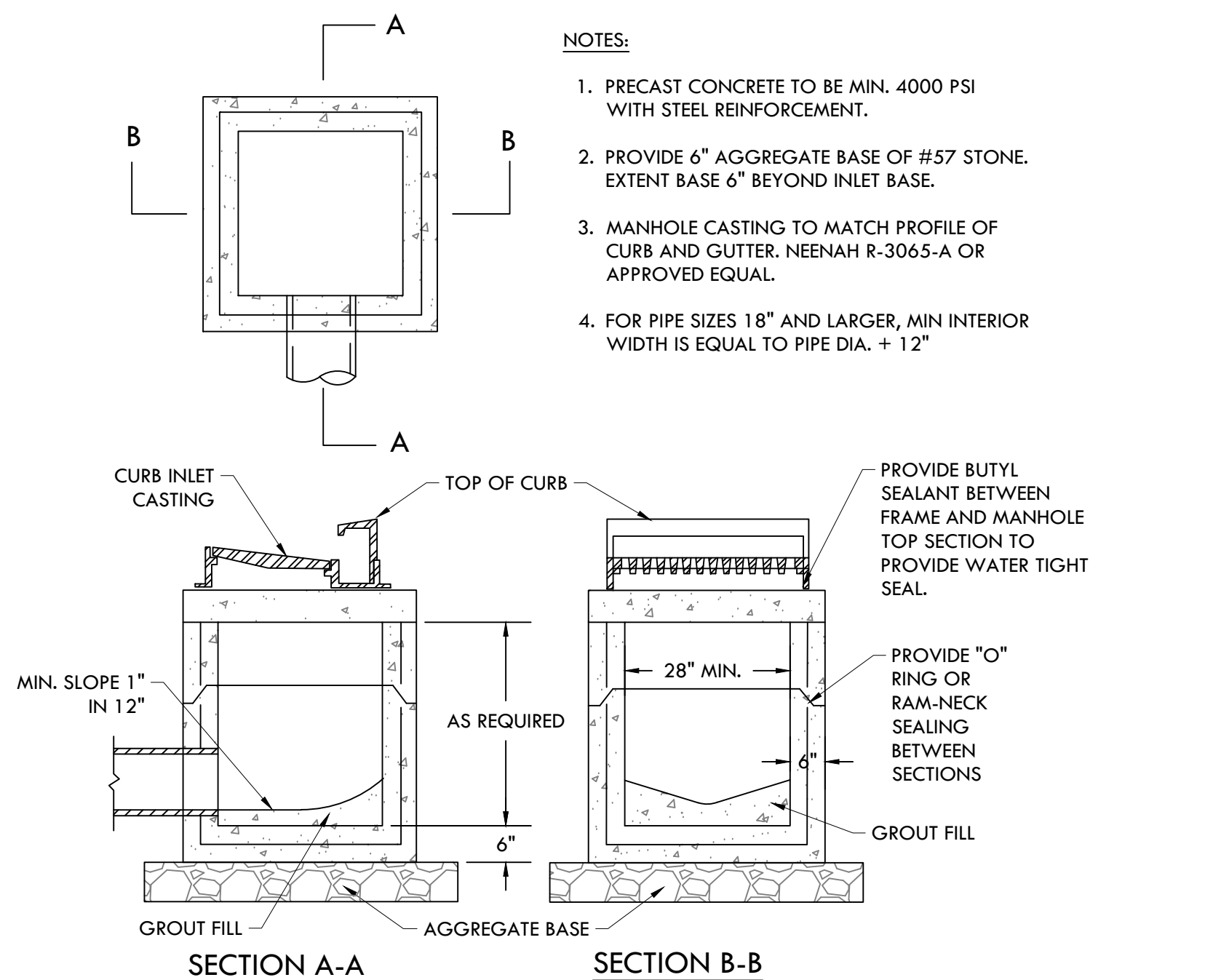
4

5



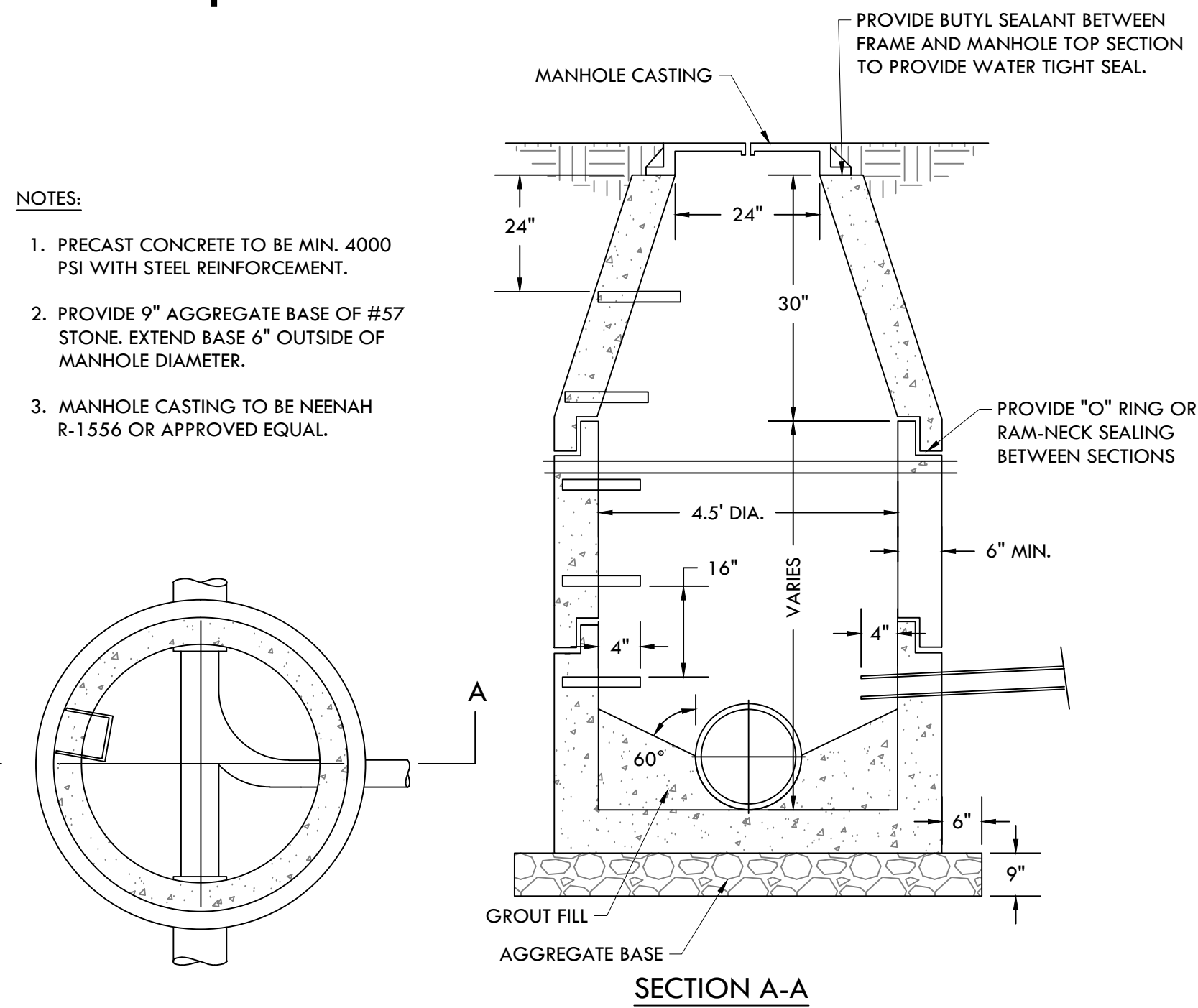
5 REGIONAL DETENTION POND OUTLET STRUCTURE

NOT TO SCALE



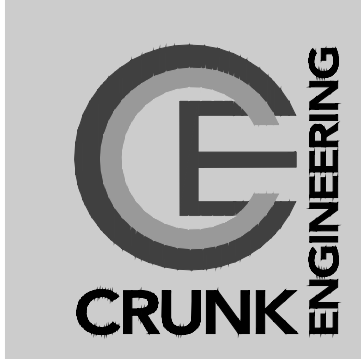
1 SINGLE CURB INLET

NOT TO SCALE



2 STORMWATER JUNCTION BOX

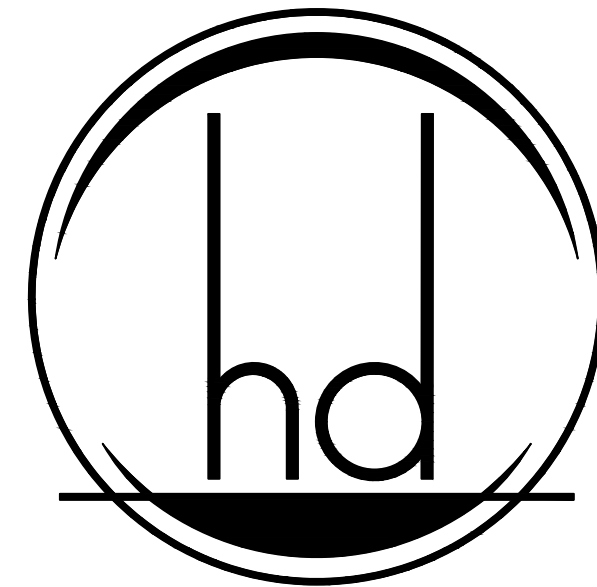
NOT TO SCALE



CRUNK ENGINEERING LLC

1894 GENERAL GEORGE PATTON DR.
SUITE 600
FRANKLIN, TN 37067
(615) 873-1795

WWW.CRUNKENG.COM



HEREFORD · DOOLEY
ARCHITECTS

1720 WEST END AVE · SUITE 300
NASHVILLE · TENNESSEE · 37203

P · 615 · 244 · 7399
F · 615 · 244 · 6697

WWW.HDARCHITECTS.COM

05/04/17

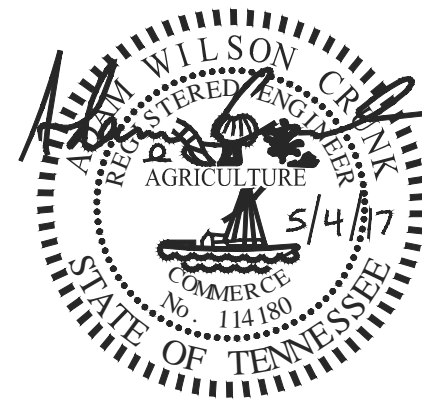
PROJECT
216042.00

LOCATION
1217 Liberty Pike
Franklin TN 37067

CLIENT
Prime Health Services

Carothers
Development
Subdivision, Site
Plan, Revision 1
(Prime Health)
C.O.F. # 6323

CONSTRUCTION
DOCUMENTS



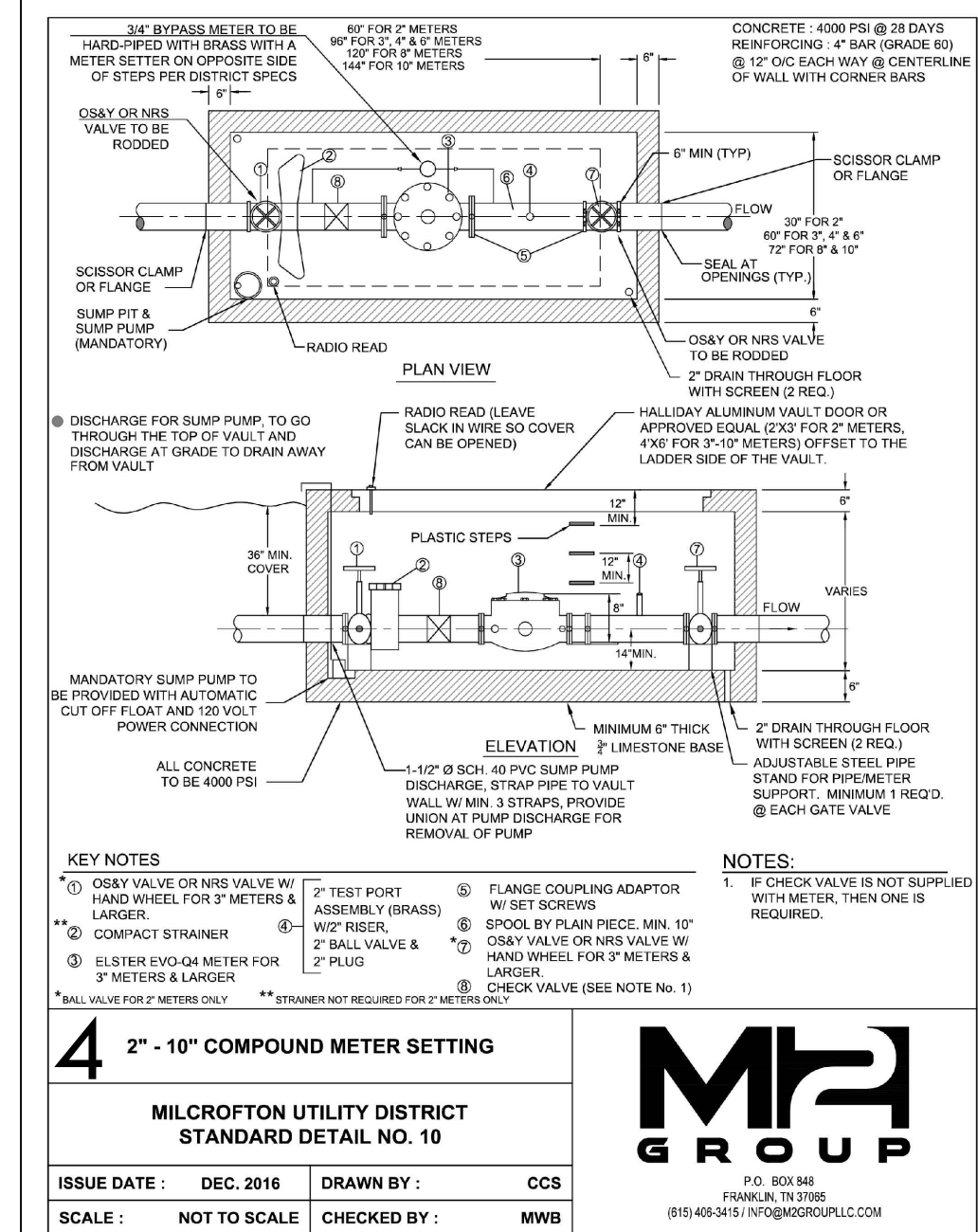
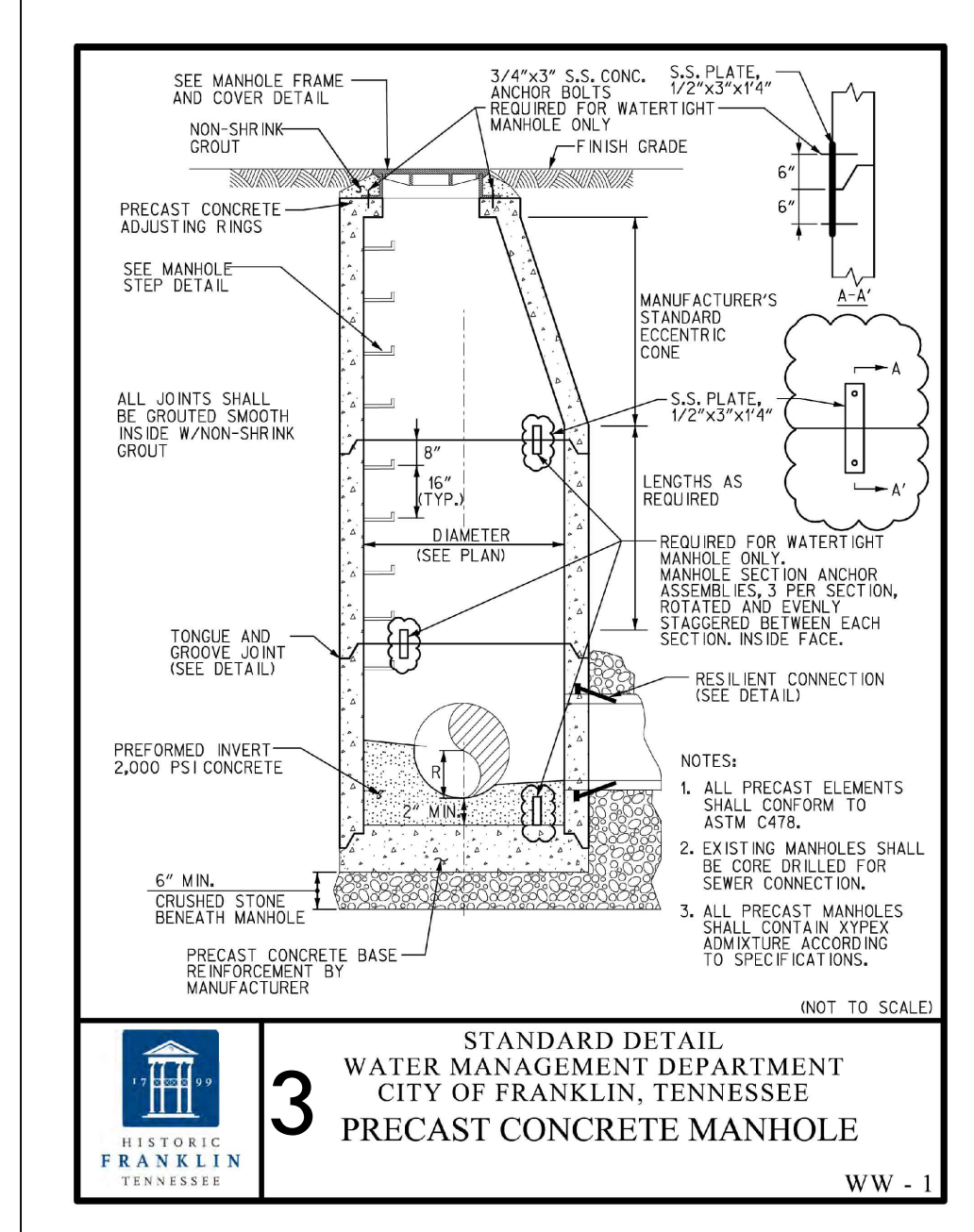
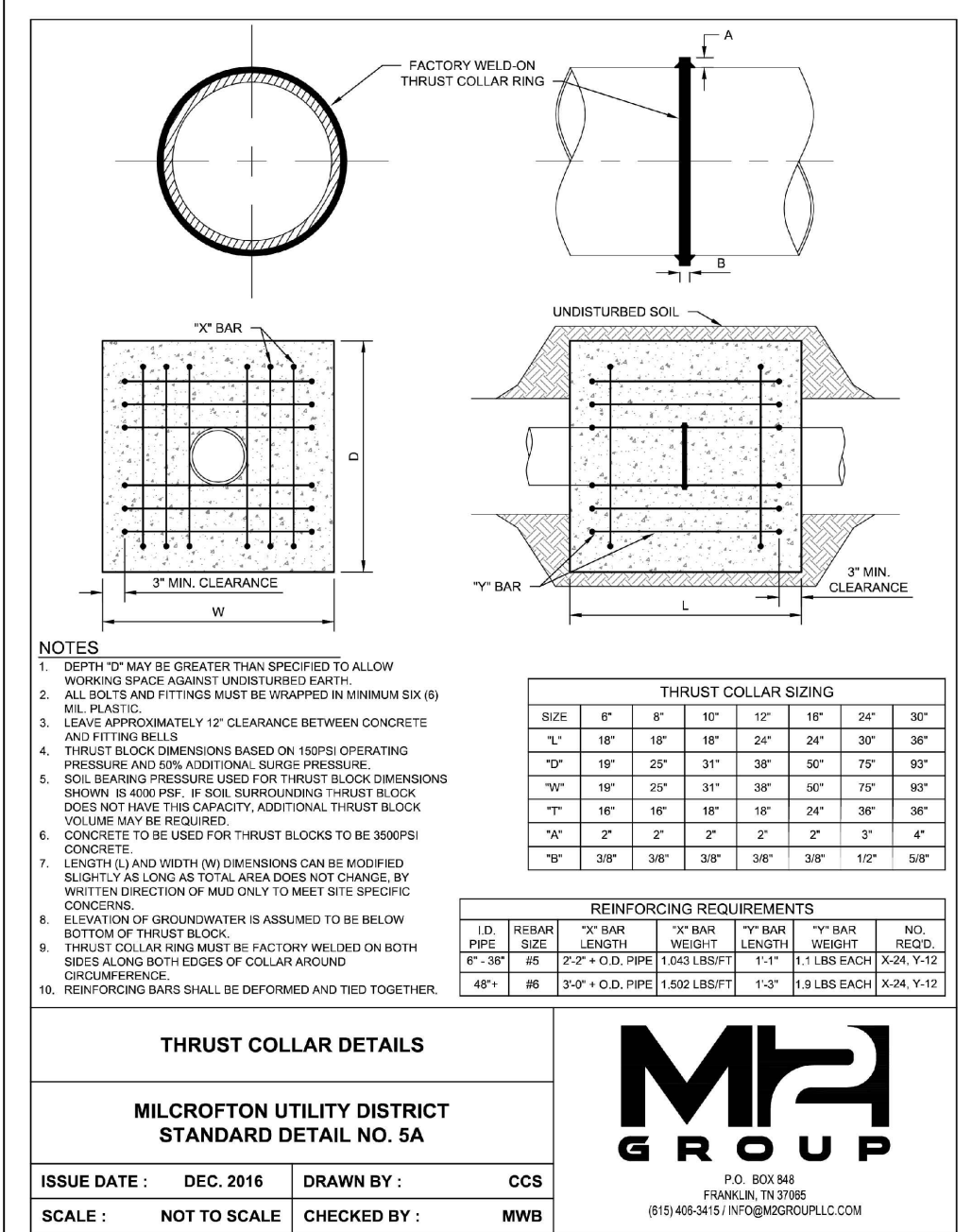
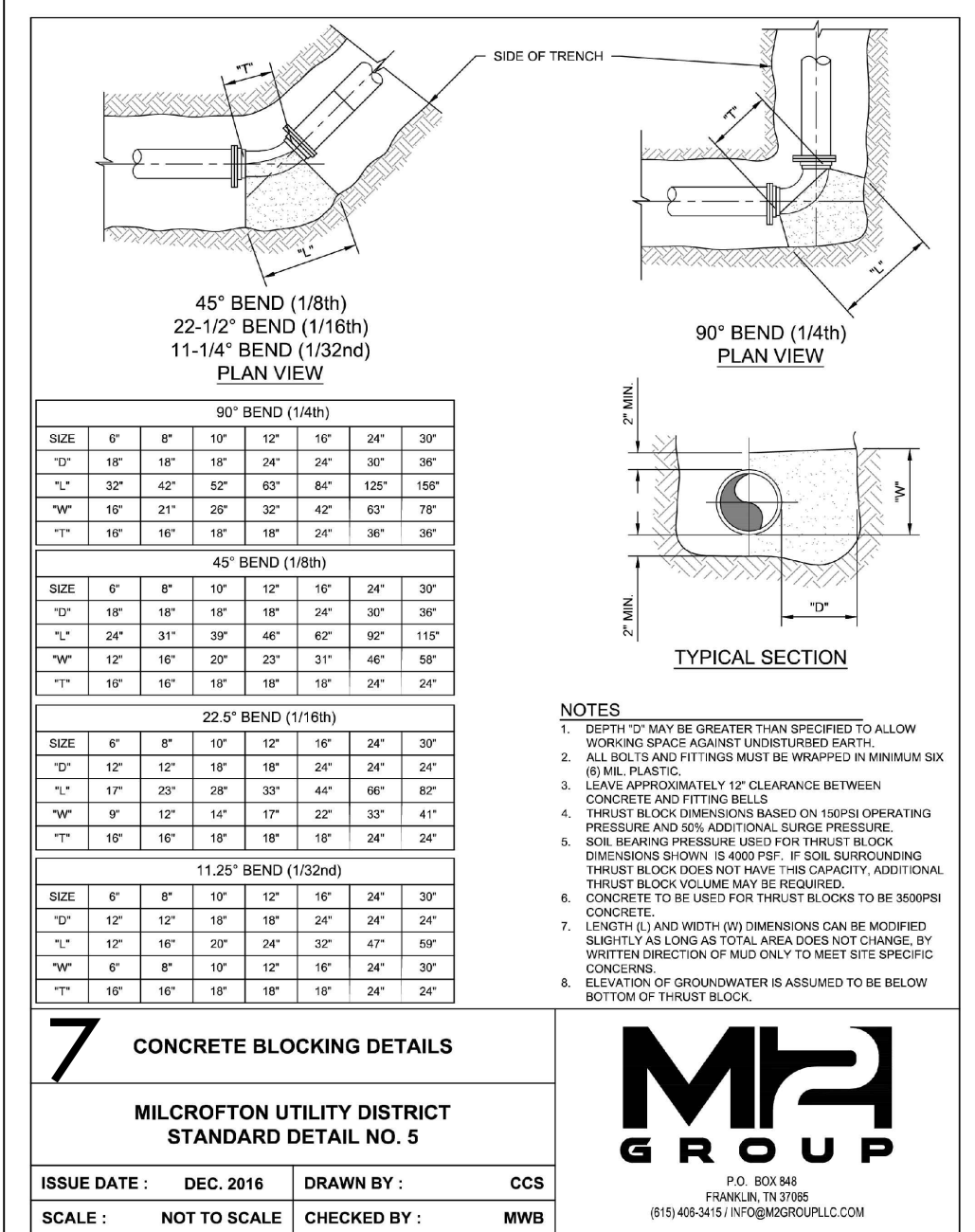
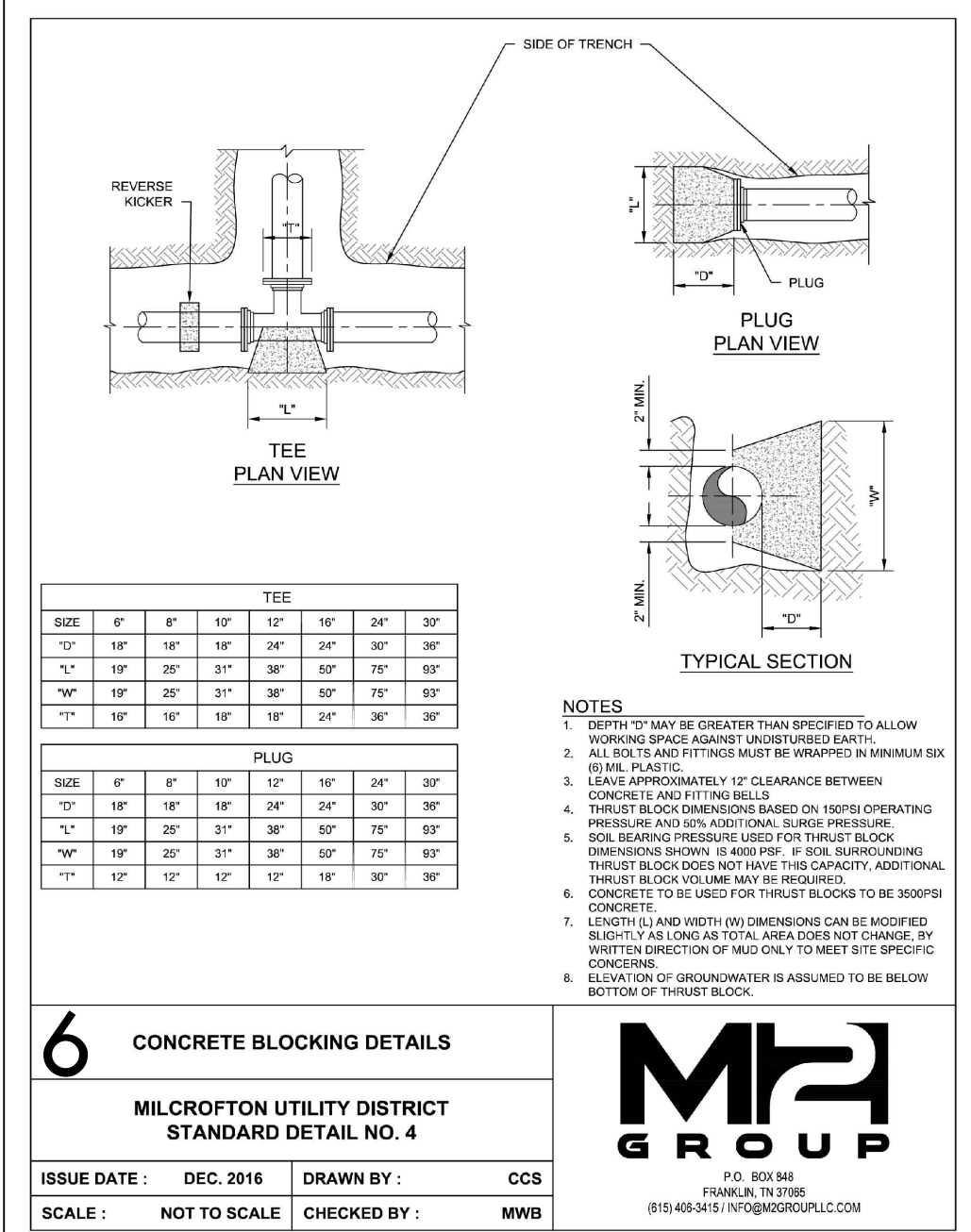
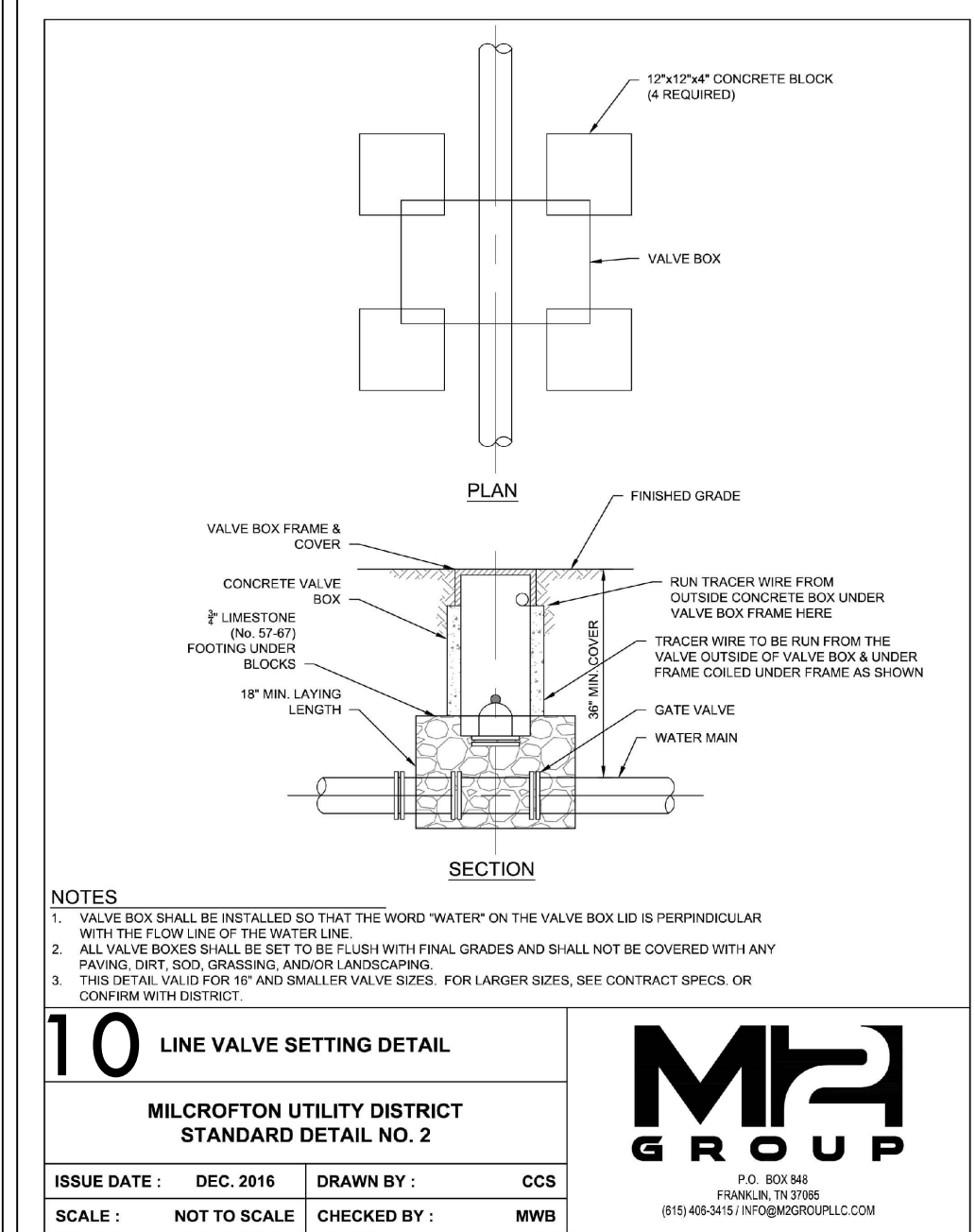
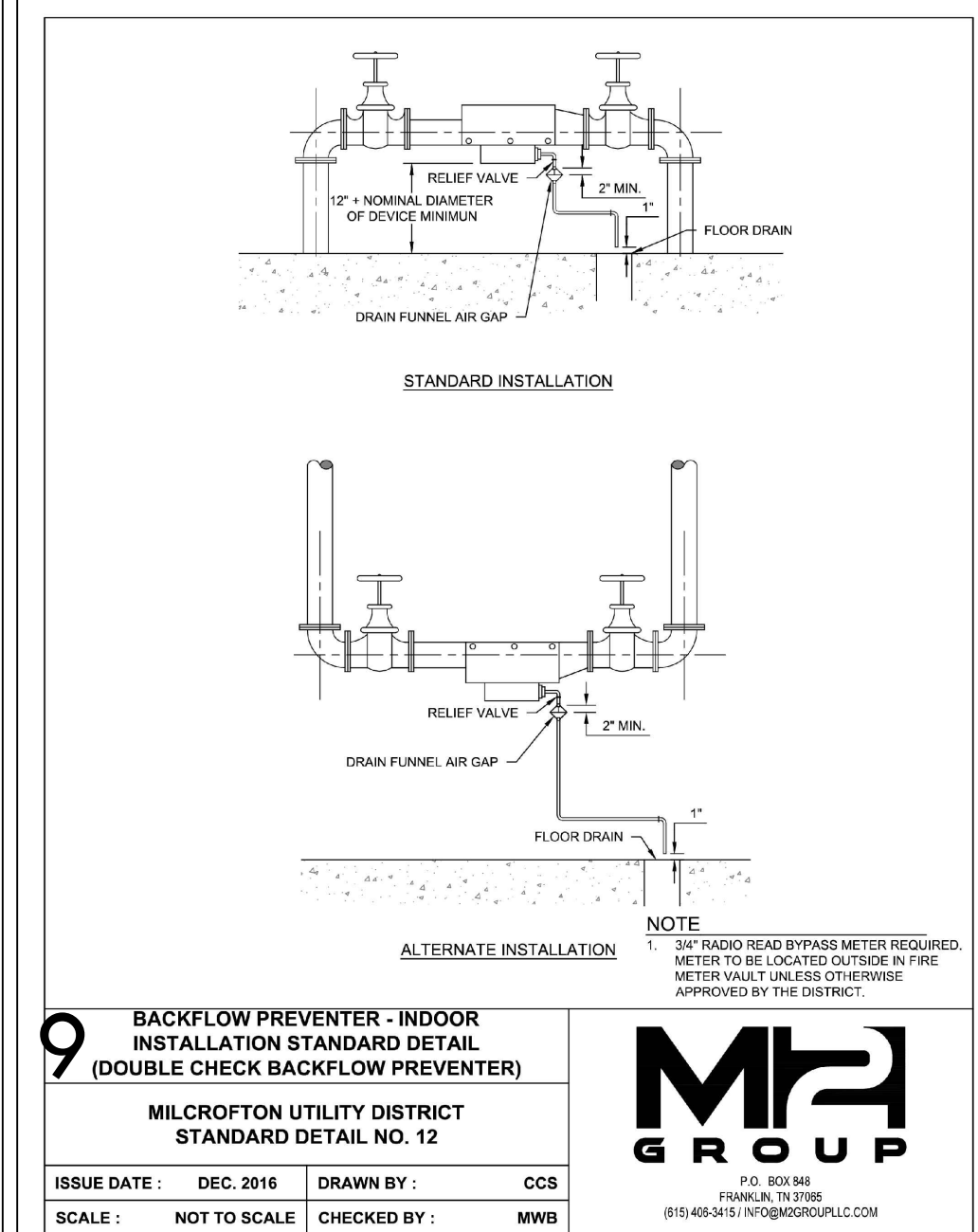
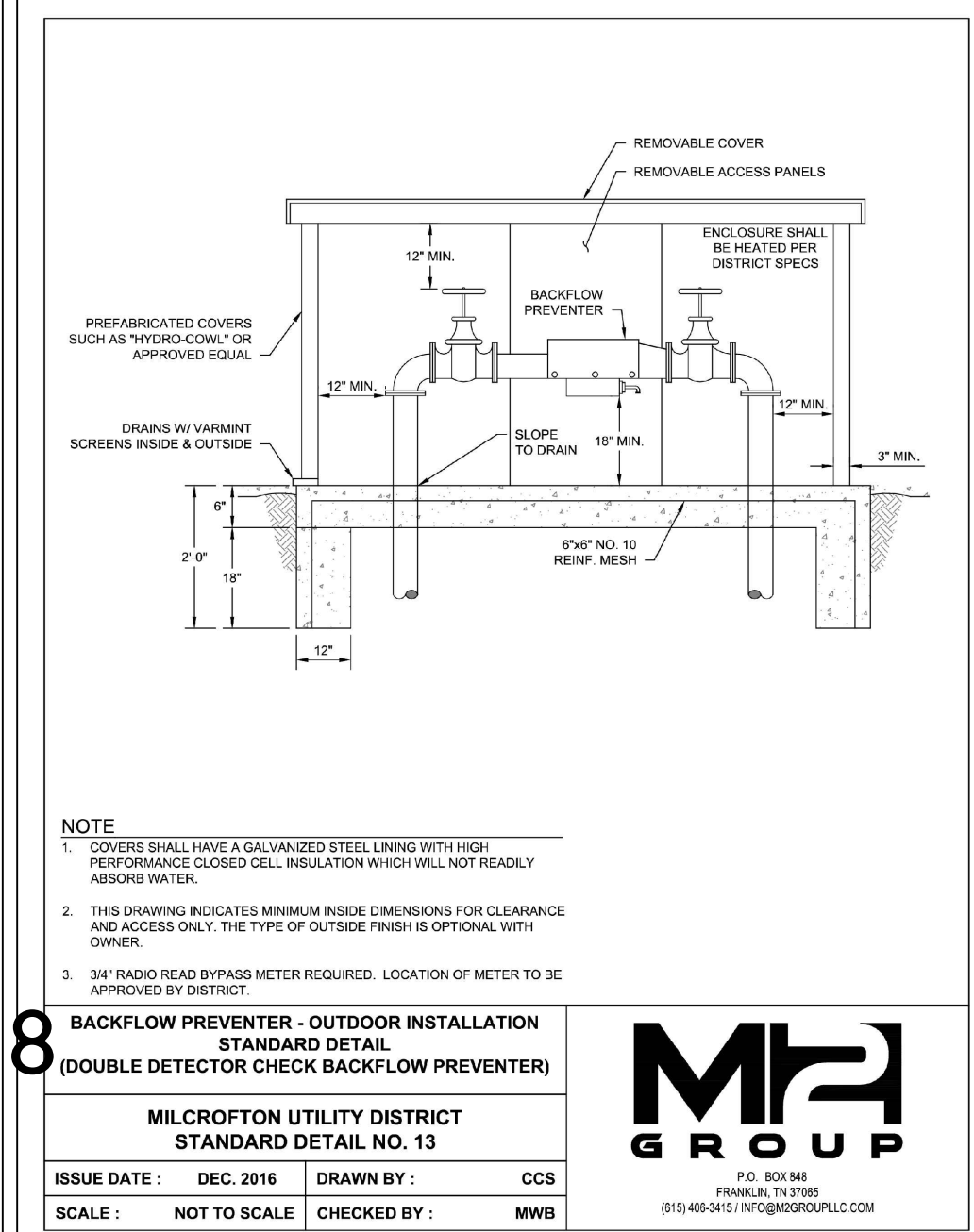
05/04/17

DATES OF ISSUANCE
△

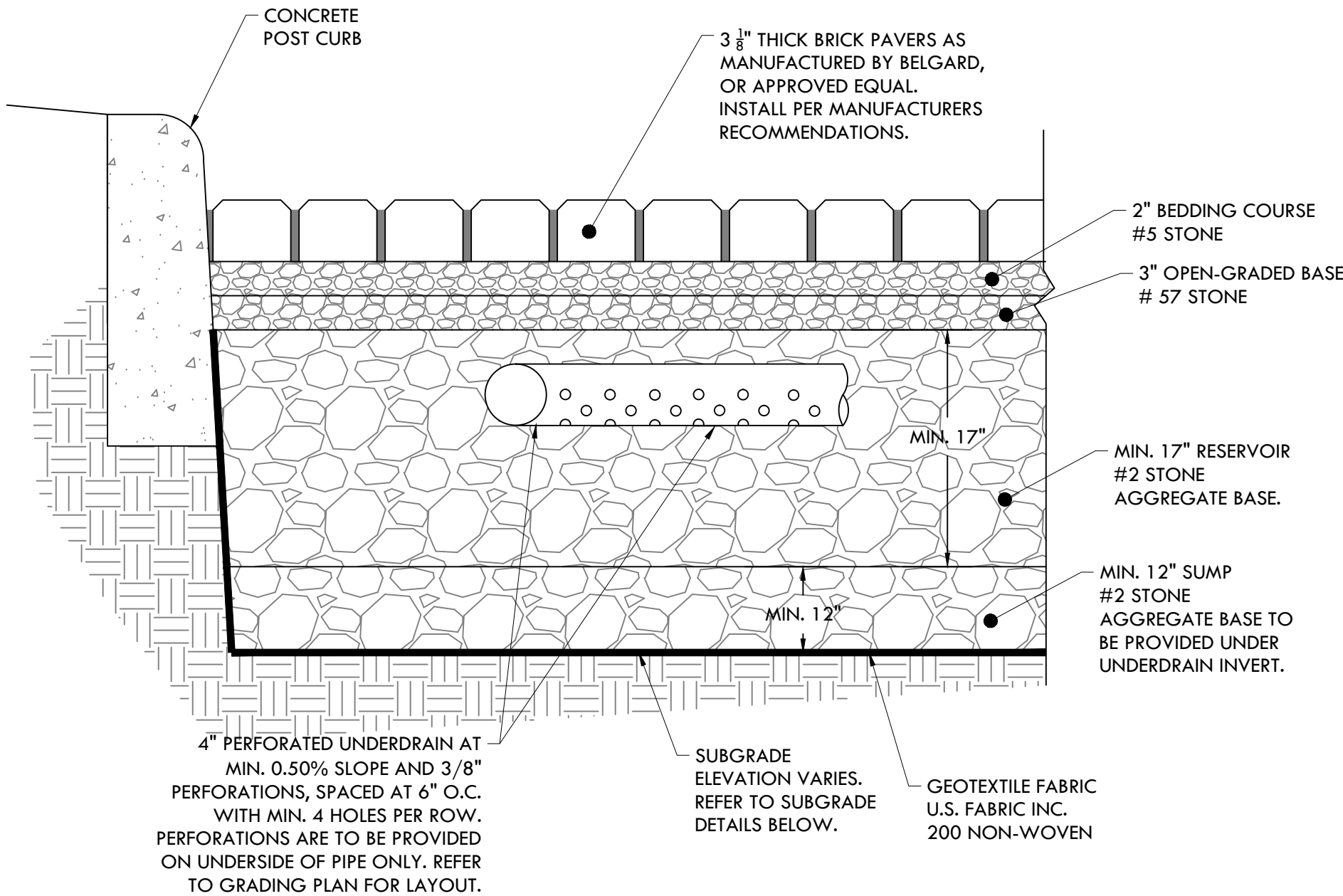
TITLE
DETAILS

SHEET
C8.1

THIS DRAWING IS THE PROPERTY OF HEREFORD DOOLEY ARCHITECTS. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT SHALL BE RETURNED UPON REQUEST. COPYRIGHT AS DATED HEREFORD DOOLEY ARCHITECTS. NOT VALID UNLESS SIGNED AND SEALED.

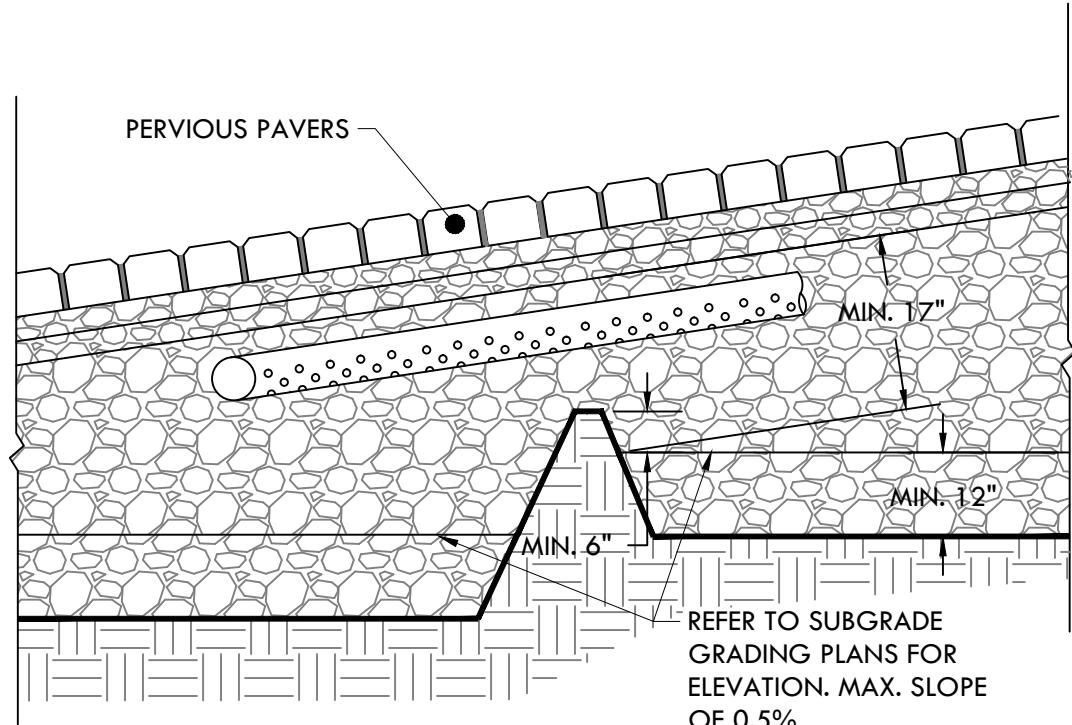


THIS DRAWING IS THE PROPERTY OF HEREFORD DOOLEY ARCHITECTS. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT. IT SHALL BE RETURNED UPON REQUEST. COPYRIGHT AS DATED HEREFORD DOOLEY ARCHITECTS. NOT VALID UNLESS SIGNED AND SEALED.



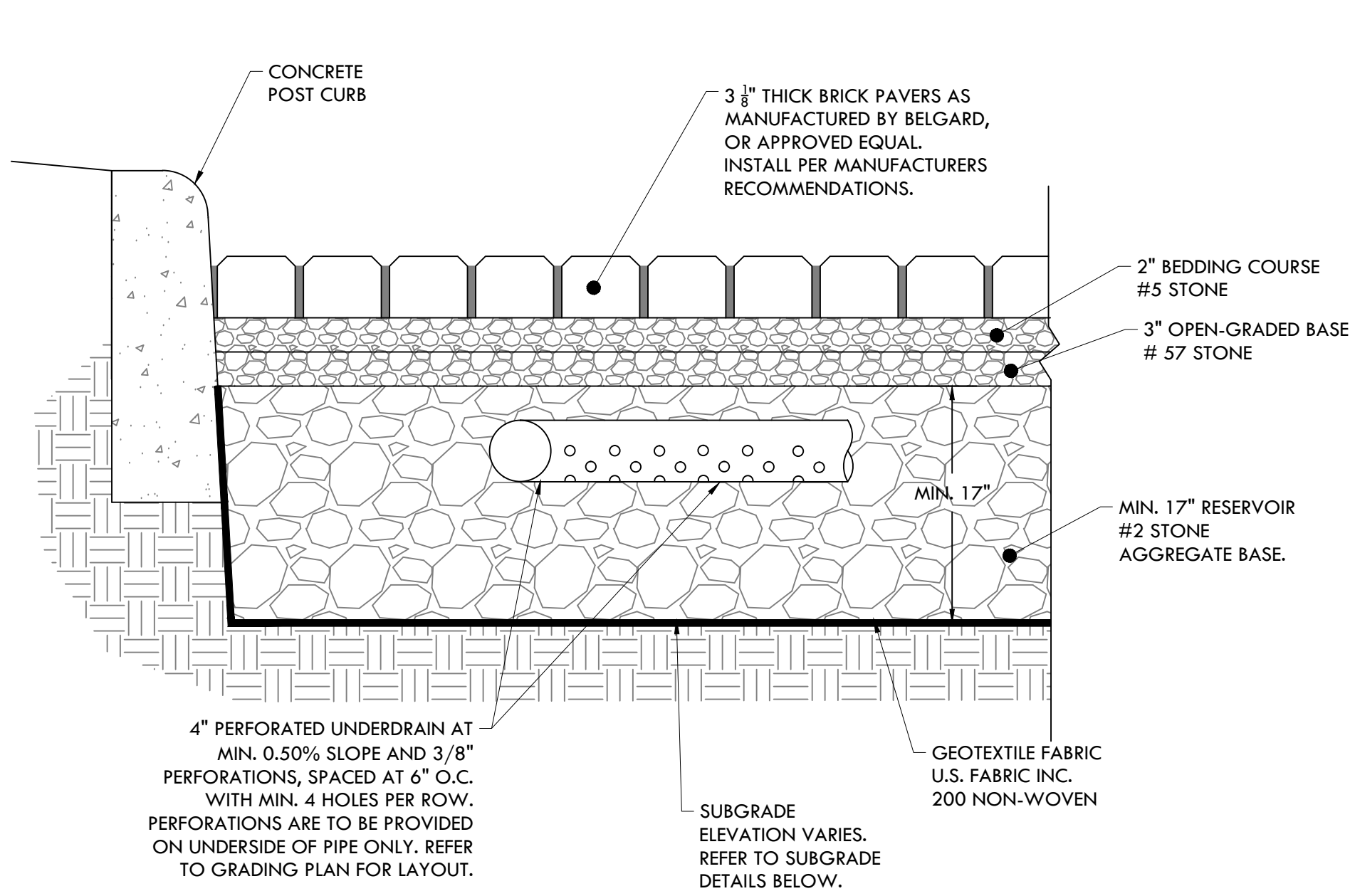
NOTE:

1. #57 AND #2 AGGREGATE BASE STONE IS TO BE WASHED.
2. A MINIMUM 0.50% SLOPE IS REQUIRED FOR UNDERDRAIN.
3. A MINIMUM 12" SUMP BENEATH THE UNDERDRAIN IS REQUIRED FOR LEVEL 2 PERVIOUS PAVEMENT.



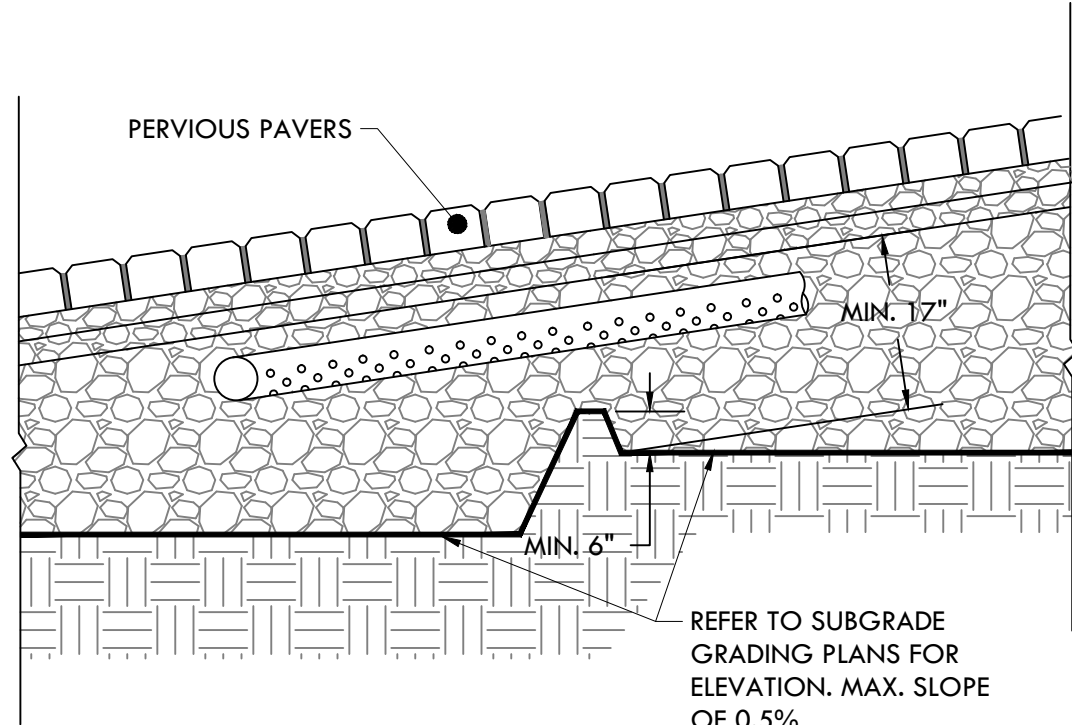
SUBGRADE DETAILED CROSS-SECTION - TYPICAL
NOT TO SCALE

2 PERVIOUS PAVERS LEVEL 2 - SECTION
NOT TO SCALE



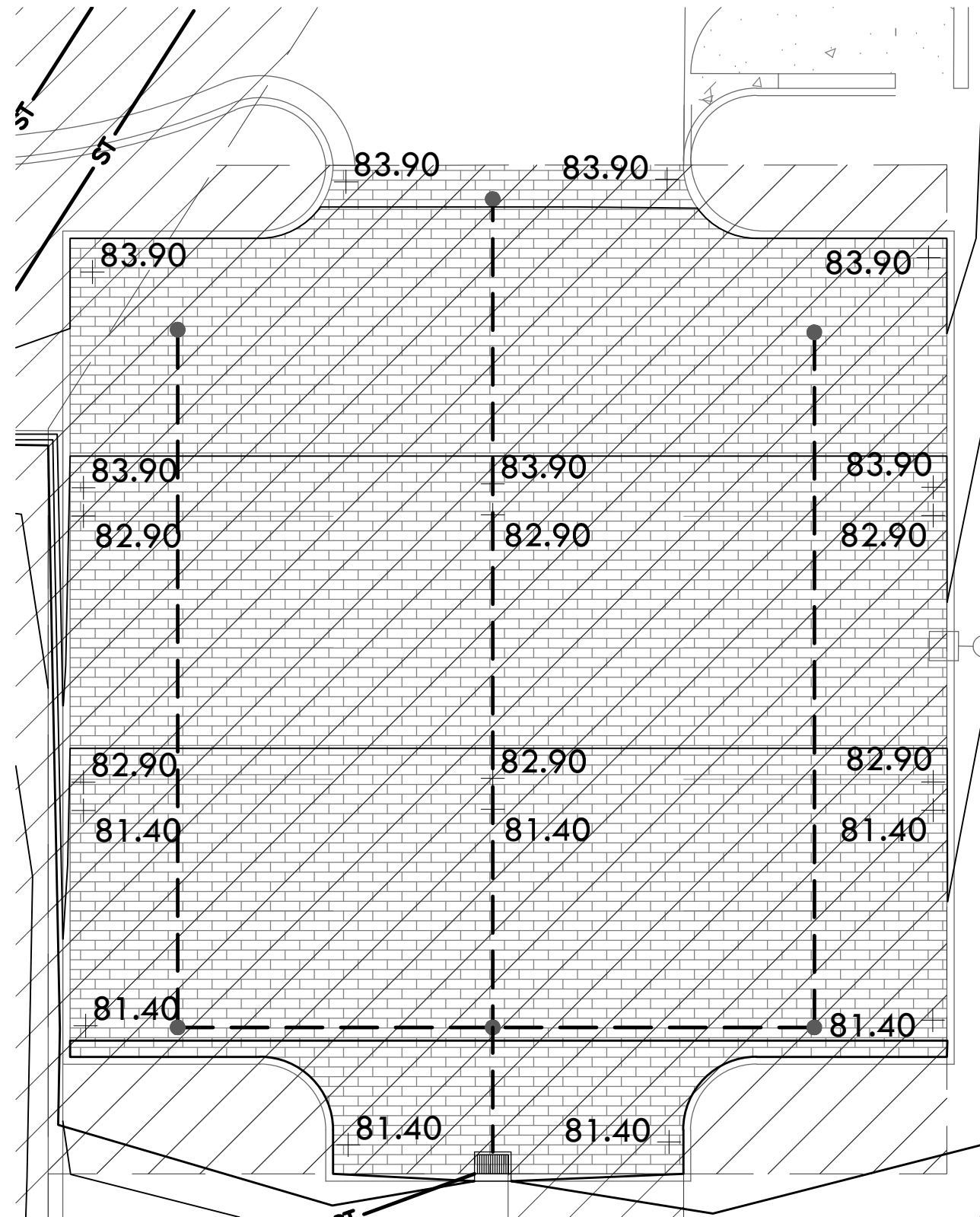
NOTE:

1. #57 AND #2 AGGREGATE BASE STONE IS TO BE WASHED.
2. A MINIMUM 0.50% SLOPE IS REQUIRED FOR UNDERDRAIN.
3. A MINIMUM 12" SUMP BENEATH THE UNDERDRAIN IS REQUIRED FOR LEVEL 2 PERVIOUS PAVEMENT.

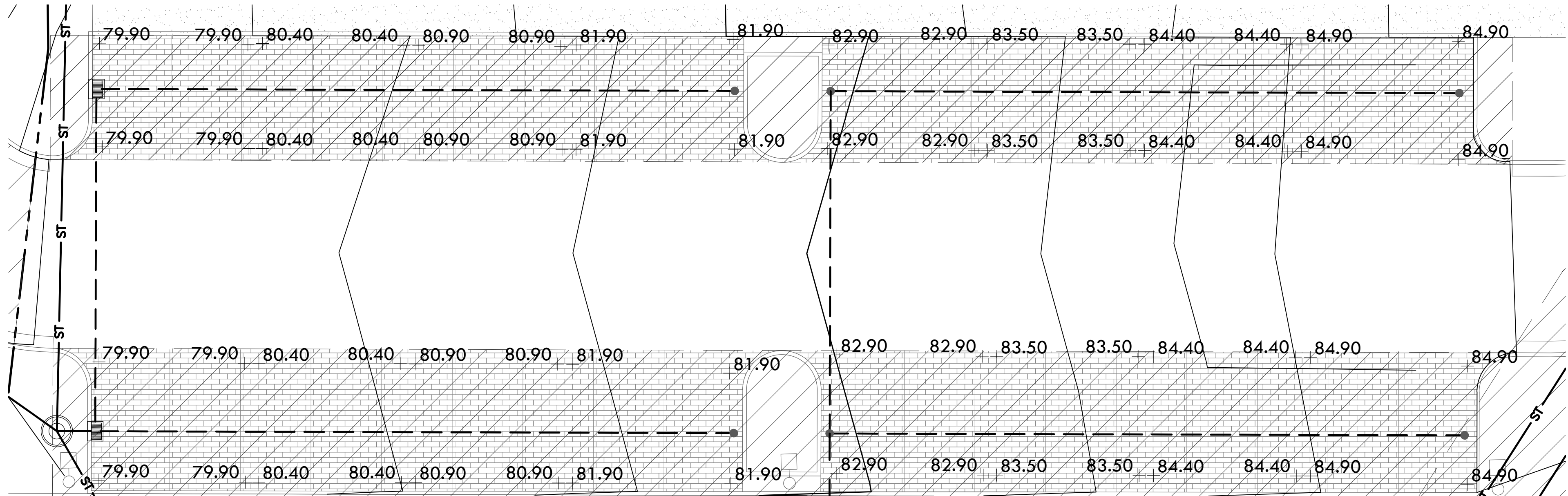


SUBGRADE DETAILED CROSS-SECTION - TYPICAL
NOT TO SCALE

1 PERVIOUS PAVERS LEVEL 1 - SECTION
NOT TO SCALE



PERVIOUS PAVER LEVEL 2 - SUBGRADE DETAILS



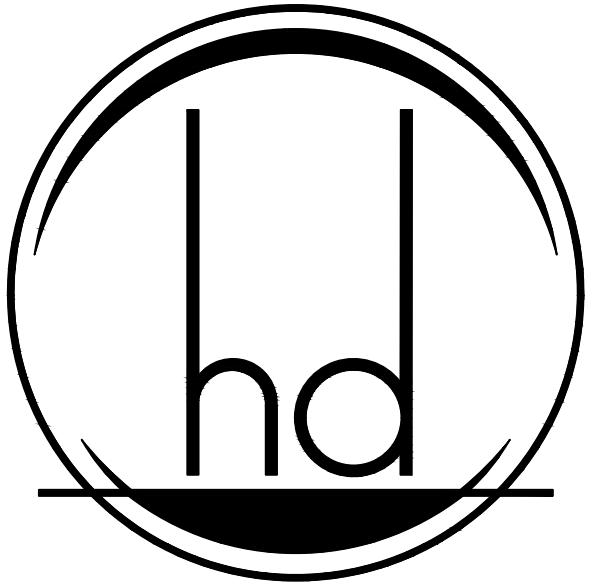
PERVIOUS PAVER LEVEL 1 - SUBGRADE DETAILS



CRUNK ENGINEERING LLC
1894 GENERAL GEORGE PATTON DR.
SUITE 600
FRANKLIN, TN 37067
(615) 873-1795
WWW.CRUNKENG.COM

Pervious Concrete/Paver Construction Sequencing

1. Construction of the permeable pavement shall only begin after the entire contributing drainage area has been stabilized.
2. Contractor is to provide method of diverting runoff flow around the construction of the pavement area during periods of rainfall to ensure sediment does not enter the area. EPSC measures may need to be utilized during the installation. Construction materials that are contaminated by sediments must be removed and replaced with clean materials.
3. Excavate the area. Excavators or backhoes should work from the sides to excavate the area to the design depth and dimensions. Excavating equipment should have scoops with adequate reach so they do not sit inside the footprint of the area.
4. CALL CITY OF FRANKLIN INSPECTOR FOR INSPECTION 615-7913218.5. Scarify subgrade by ripping the bottom soils to a depth of 12 inches prior to stone placement
5. Install filter fabric on the bottom and sides of the area.
6. Install underdrain, if applicable.
7. IF UNDERDRAIN IS INSTALLED CALL CITY OF FRANKLIN INSPECTOR FOR INSPECTION 615-791-3218.
8. Install aggregate base; install curb restraints and pavement barriers; install bedding layer.
9. Install pavement. Paving materials shall be installed in accordance with manufacturer or industry specifications for the particular type of pavement.
10. Protect the pavement through project completion. It is preferable to have the permeable pavement installed at the end of the site construction timeline. If that is not possible, it is important to protect the permeable pavement through project completion. This may be done by: Route construction access through other portions of the site so that no construction traffic passes through the permeable pavement site. Install barriers or fences as needed. If this is not possible, protect the pavement per the construction documents. Protection techniques that may be specified include mats, plastic sheeting, barriers to limit access, or moving the stabilized construction entrance. Schedule street sweeping during and after construction to prevent sediment from accumulating on the pavement.



HEREFORD DOOLEY
ARCHITECTS
1720 WEST END AVE SUITE 300
NASHVILLE TENNESSEE 37203
P 615 244 7399
F 615 244 6697
WWW.HDARCHITECTS.COM

05/04/17

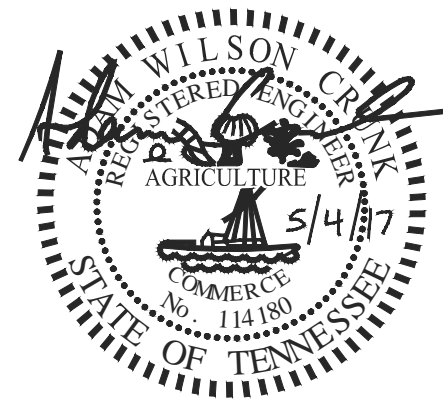
PROJECT
LOCATION
CLIENT
216042.00

1217 Liberty Pike
Franklin TN 37067

Prime Health Services

Carothers
Development
Subdivision, Site
Plan, Revision 1
(Prime Health)
C.O.F. # 6323

CONSTRUCTION
DOCUMENTS



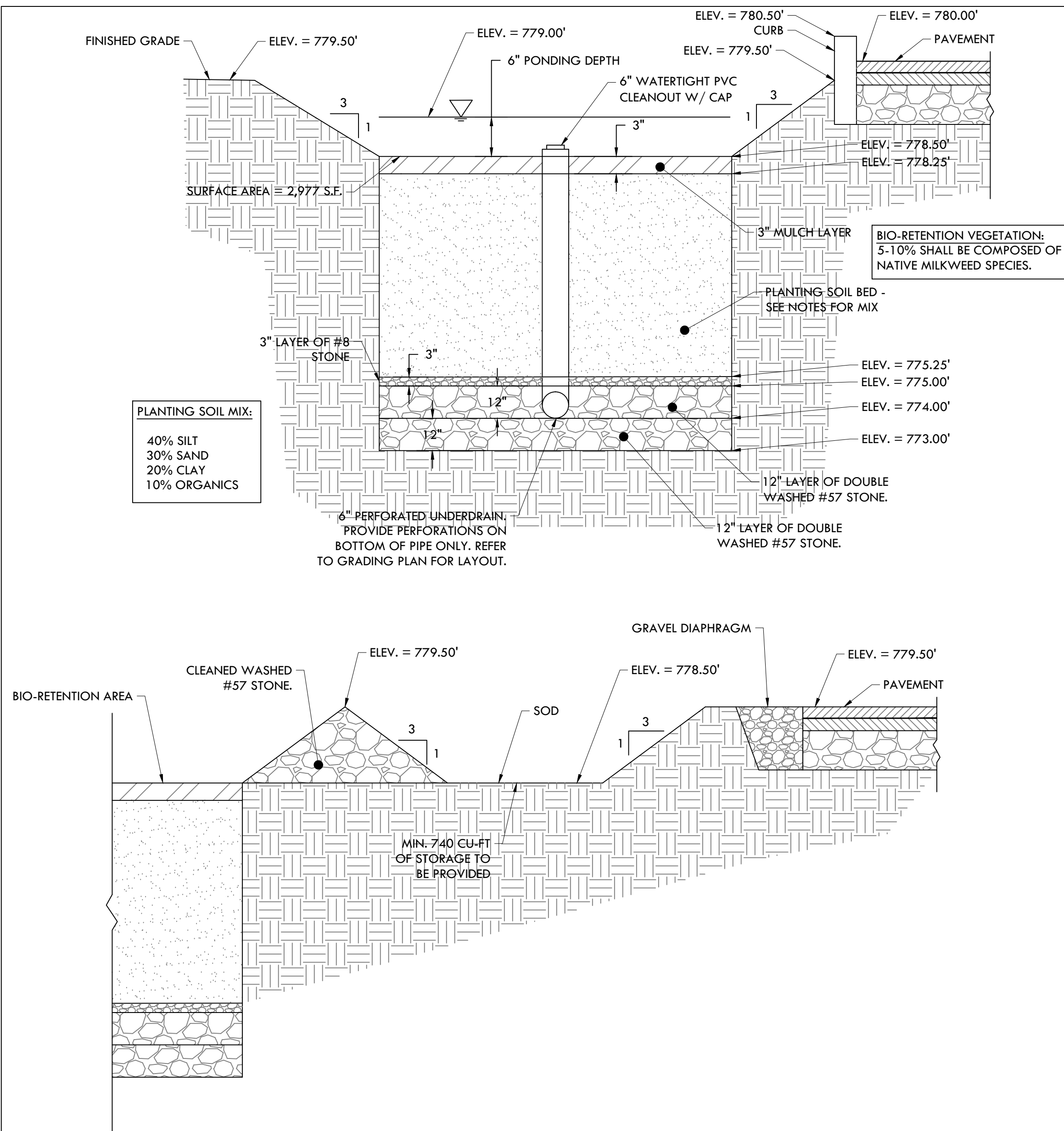
05/04/17

DATES OF ISSUANCE

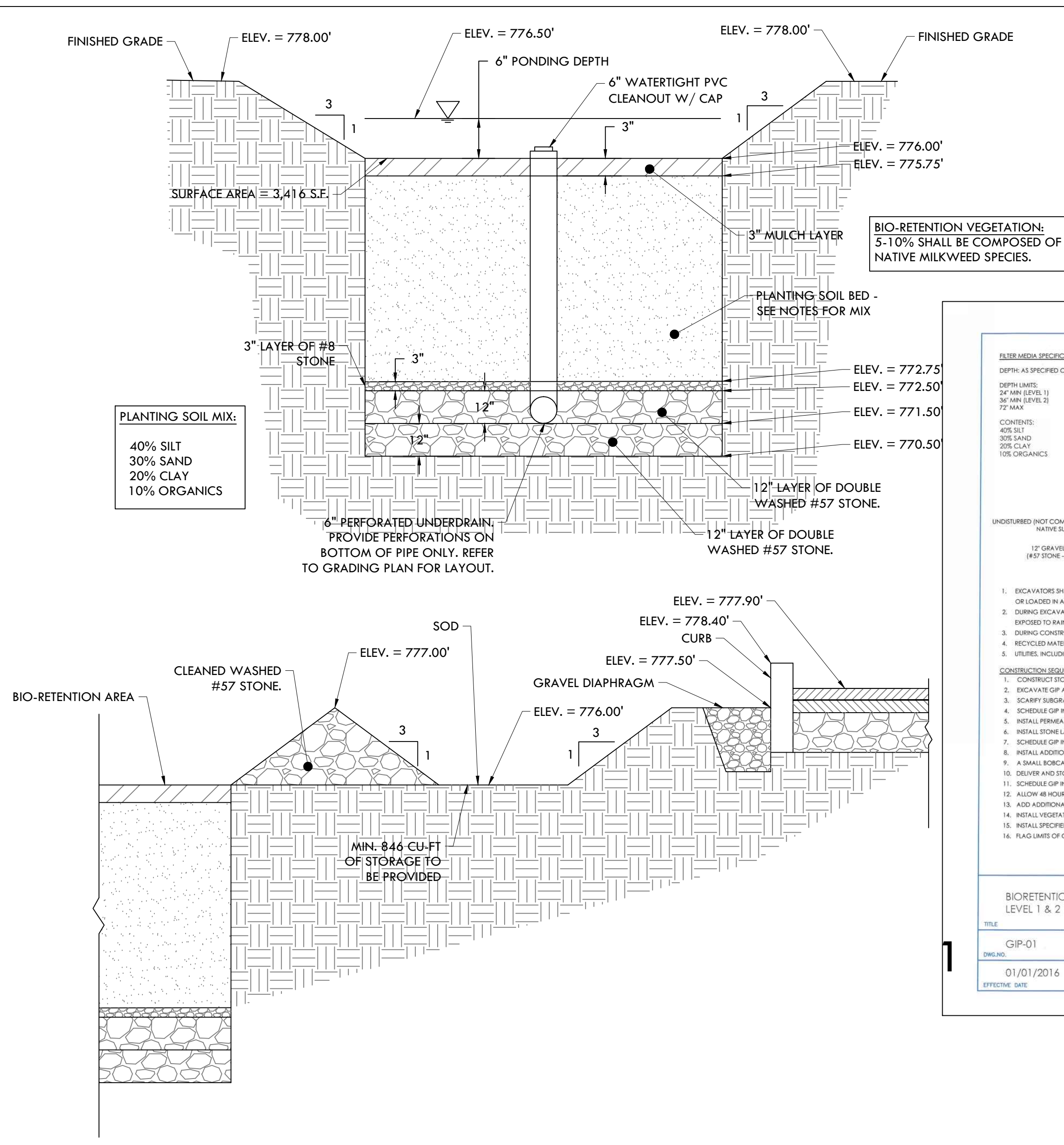
TITLE
DETAILS

SHEET
C8.3

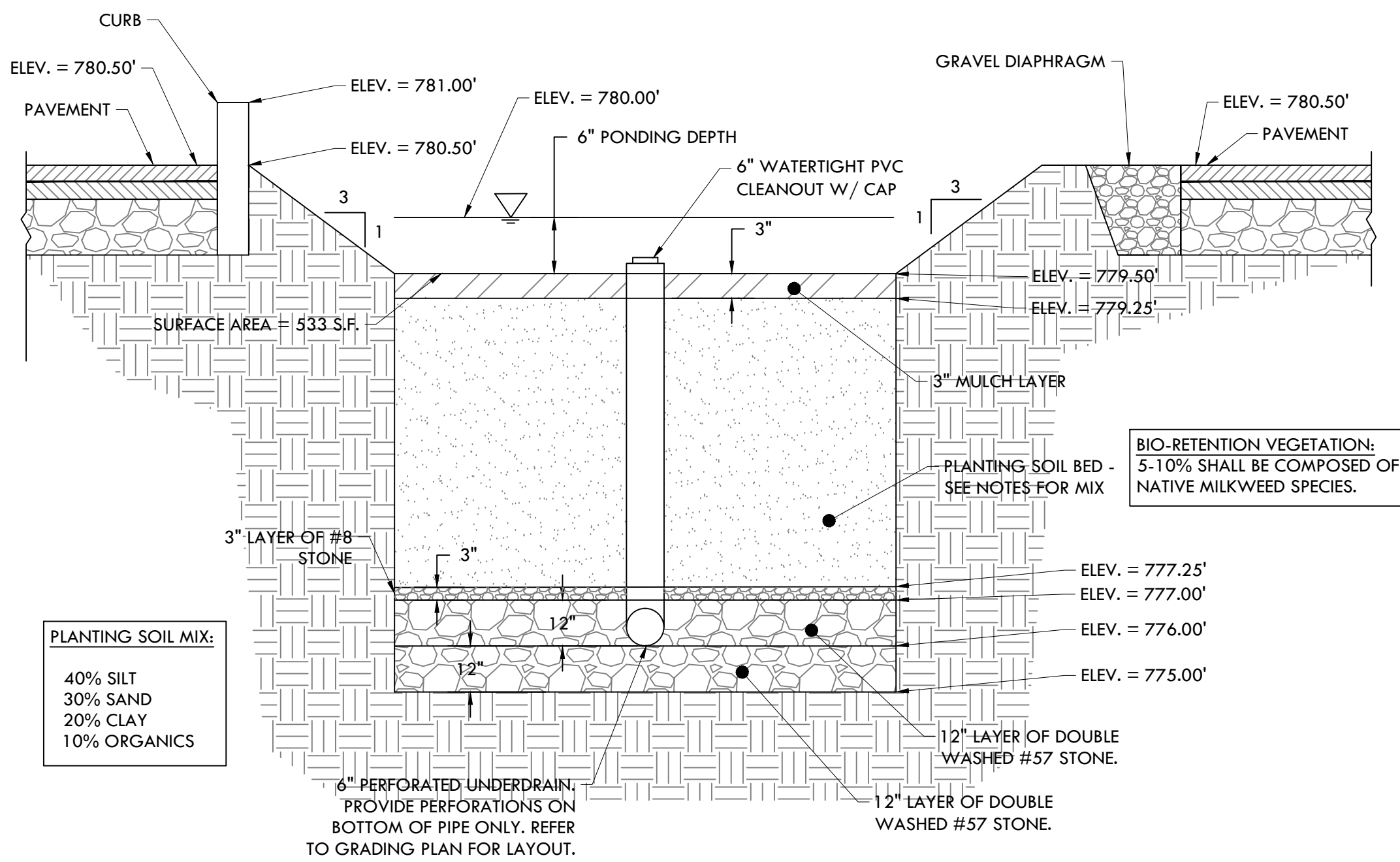
THIS DRAWING IS THE PROPERTY OF HEREFORD DOOLEY ARCHITECTS. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT. IT SHALL BE RETURNED UPON REQUEST. COPYRIGHT AS DATED HEREFORD DOOLEY ARCHITECTS. NOT VALID UNLESS SIGNED AND SEALED.



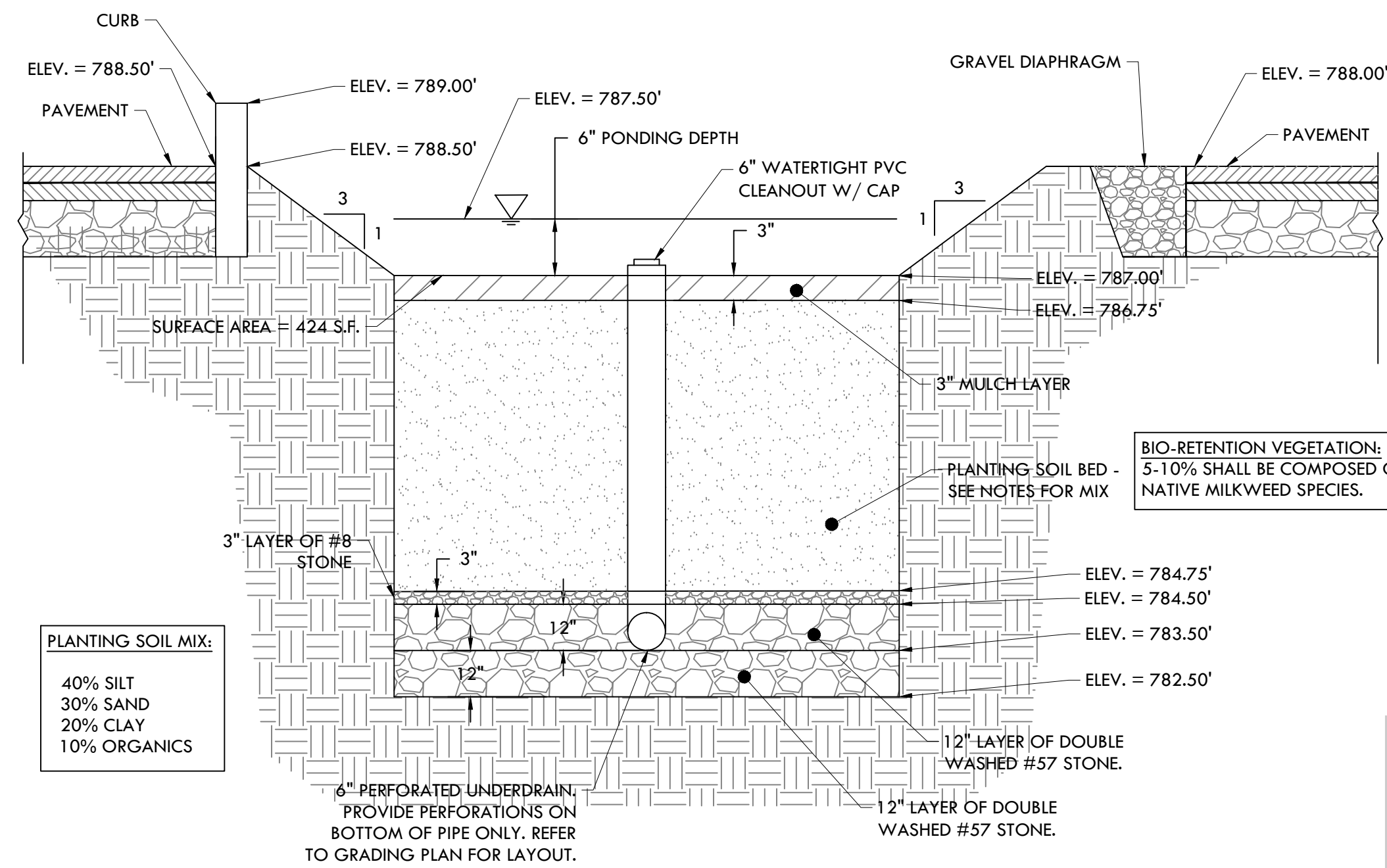
BIO-RETENTION AREA LEVEL 2 - NORTHWEST



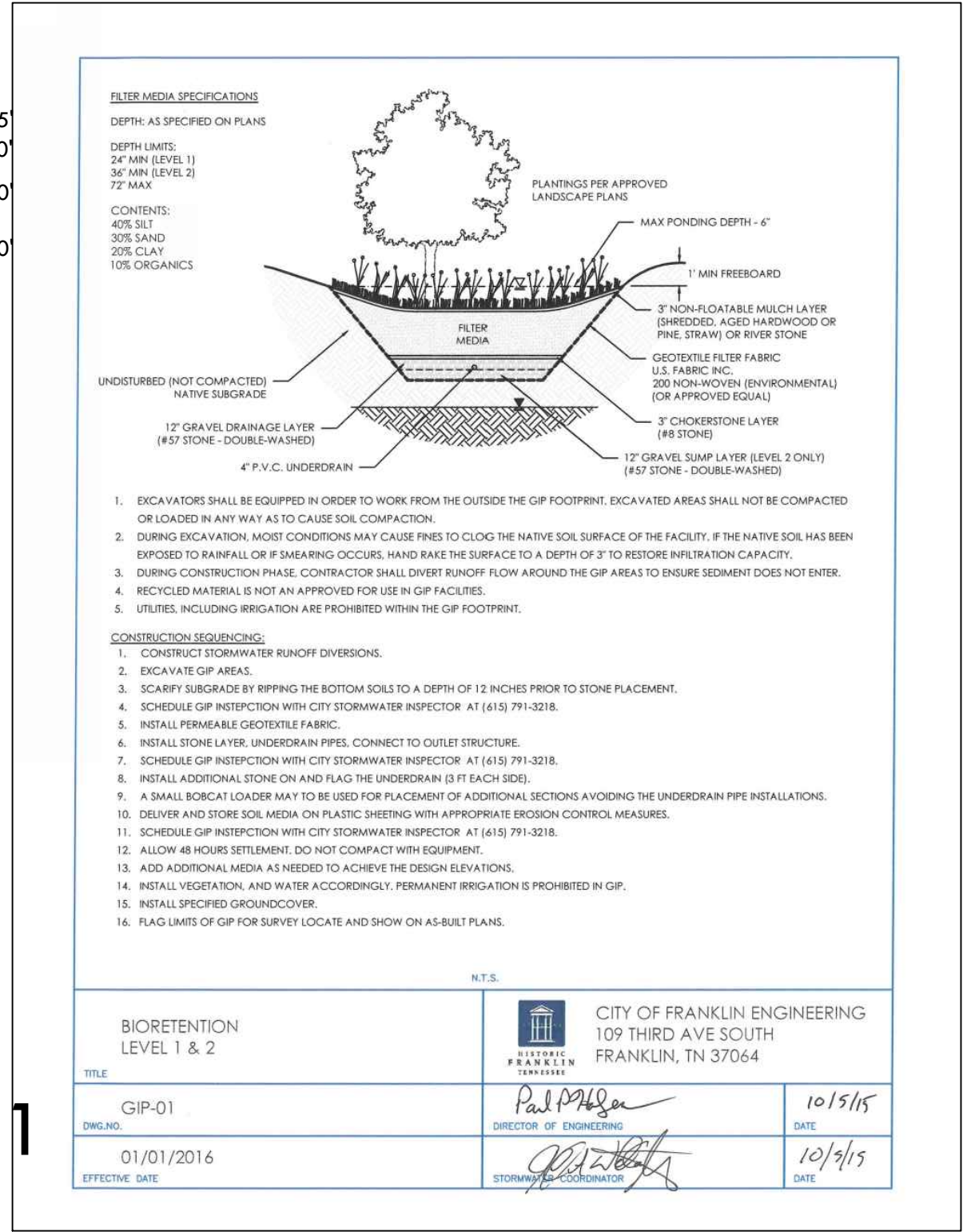
BIO-RETENTION AREA LEVEL 2 - OFF-SITE



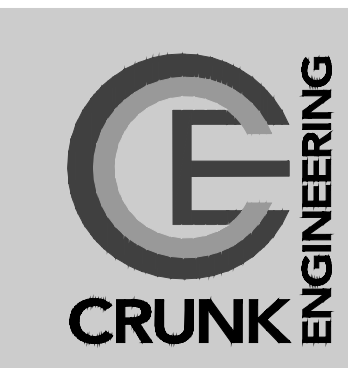
BIO-RETENTION AREA LEVEL 1 - NORTH



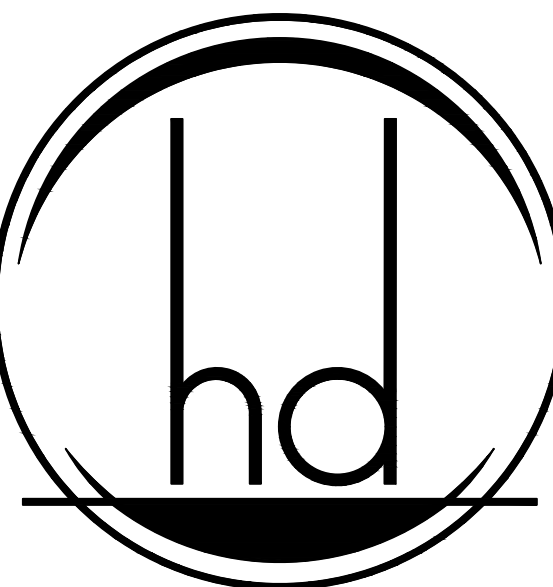
BIO-RETENTION AREA LEVEL 1 - EAST



2 GRAVEL DIAPHRAGM



CRUNK ENGINEERING LLC
1894 GENERAL GEORGE PATTON DR.
SUITE 600
FRANKLIN, TN 37067
(615) 873-1795
WWW.CRUNKENG.COM



HEREFORD · DOOLEY
ARCHITECTS
1720 WEST END AVE · SUITE 300
NASHVILLE · TENNESSEE · 37203
P · 615 · 244 · 7399
F · 615 · 244 · 6697
WWW.HDARCHITECTS.COM

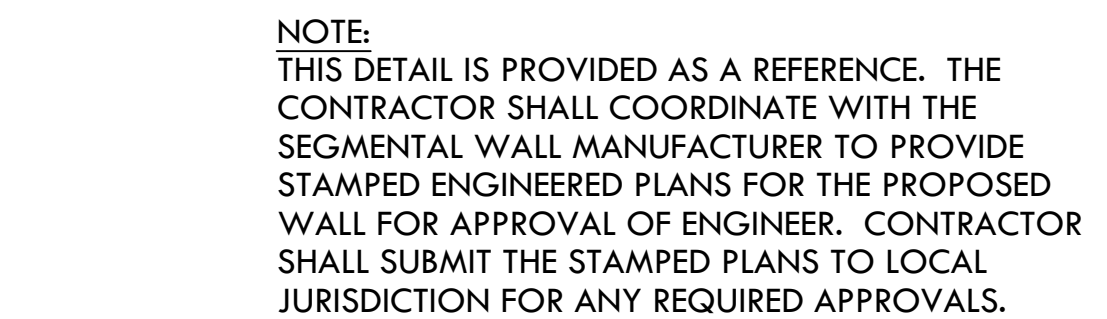
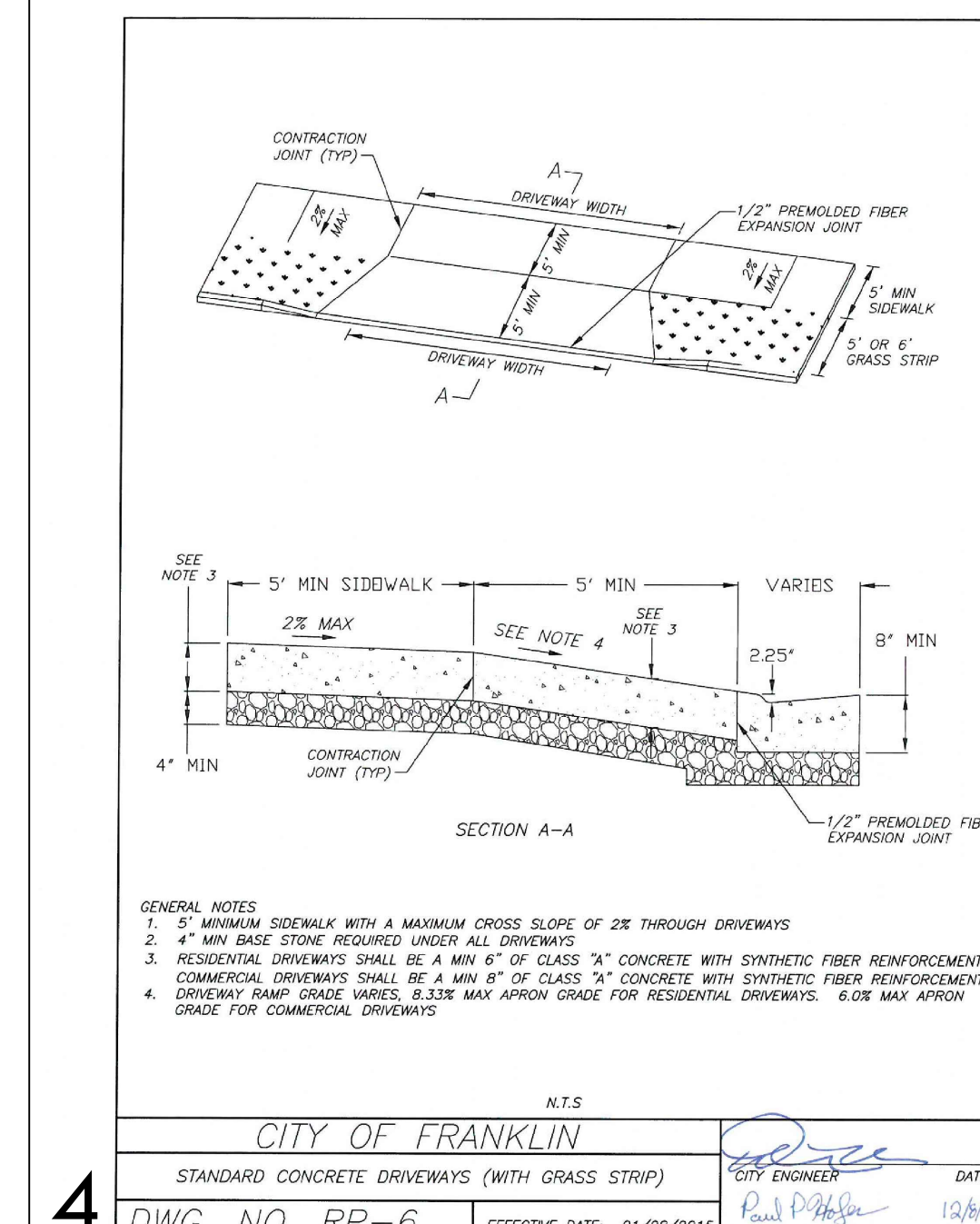
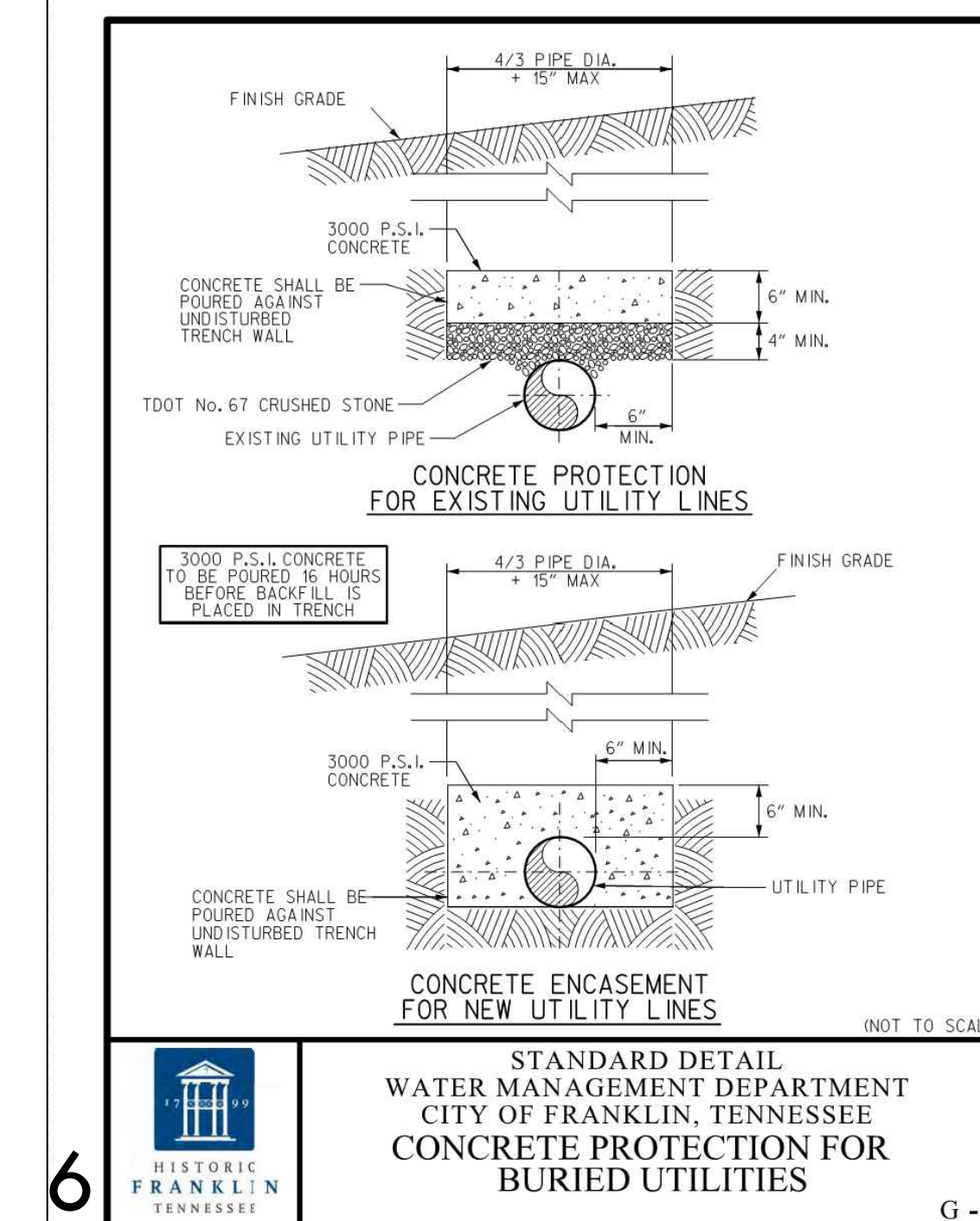
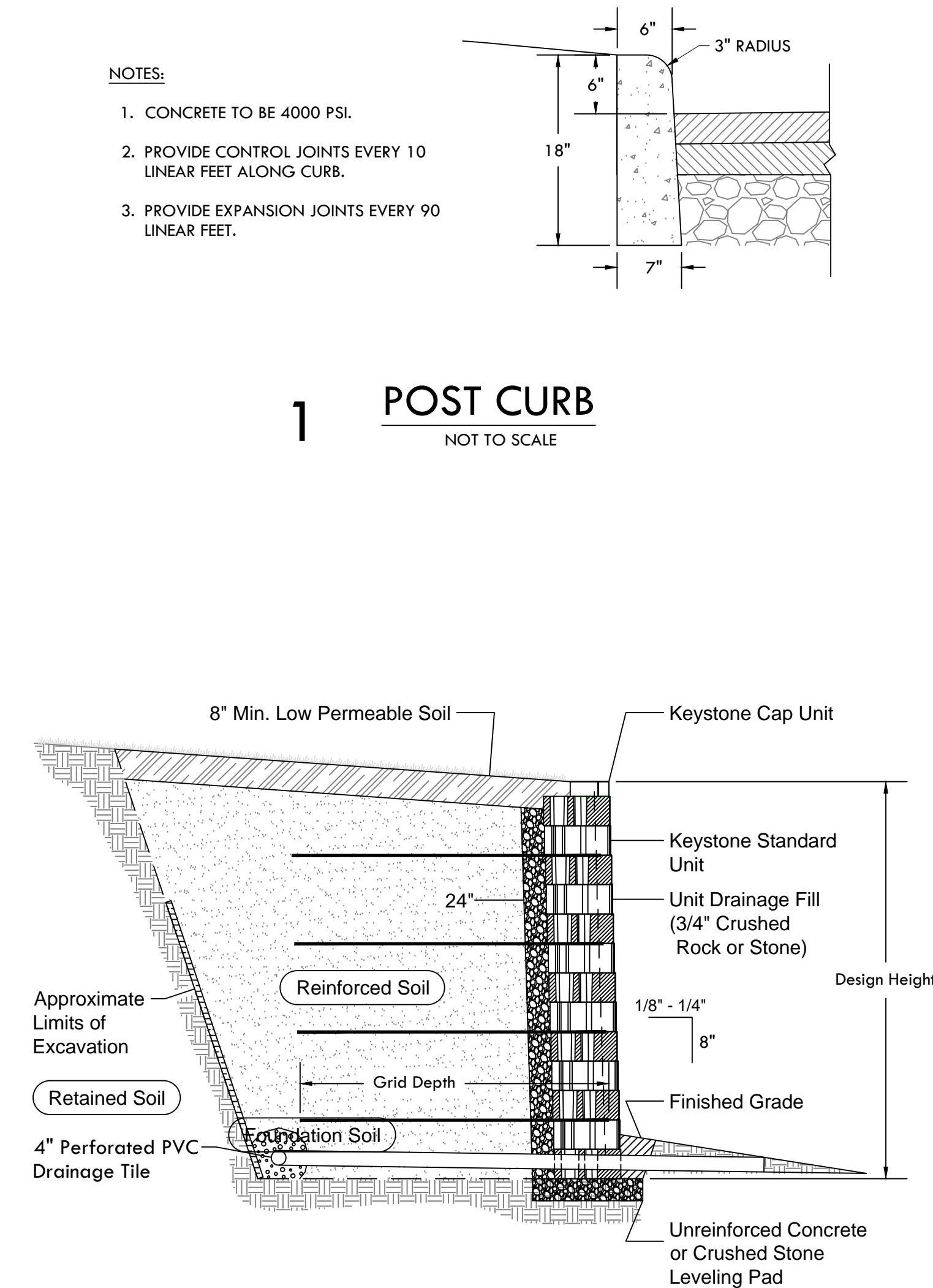
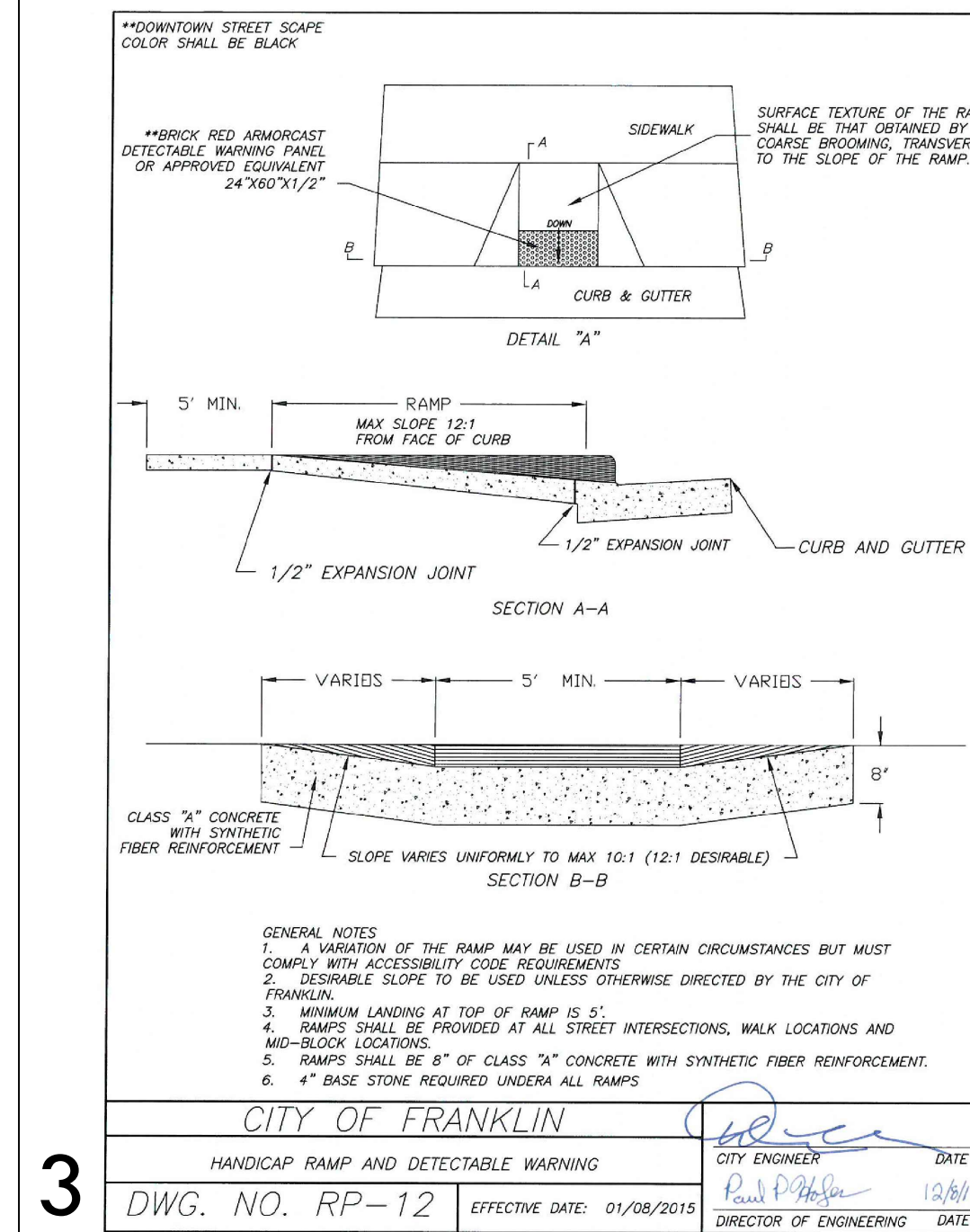
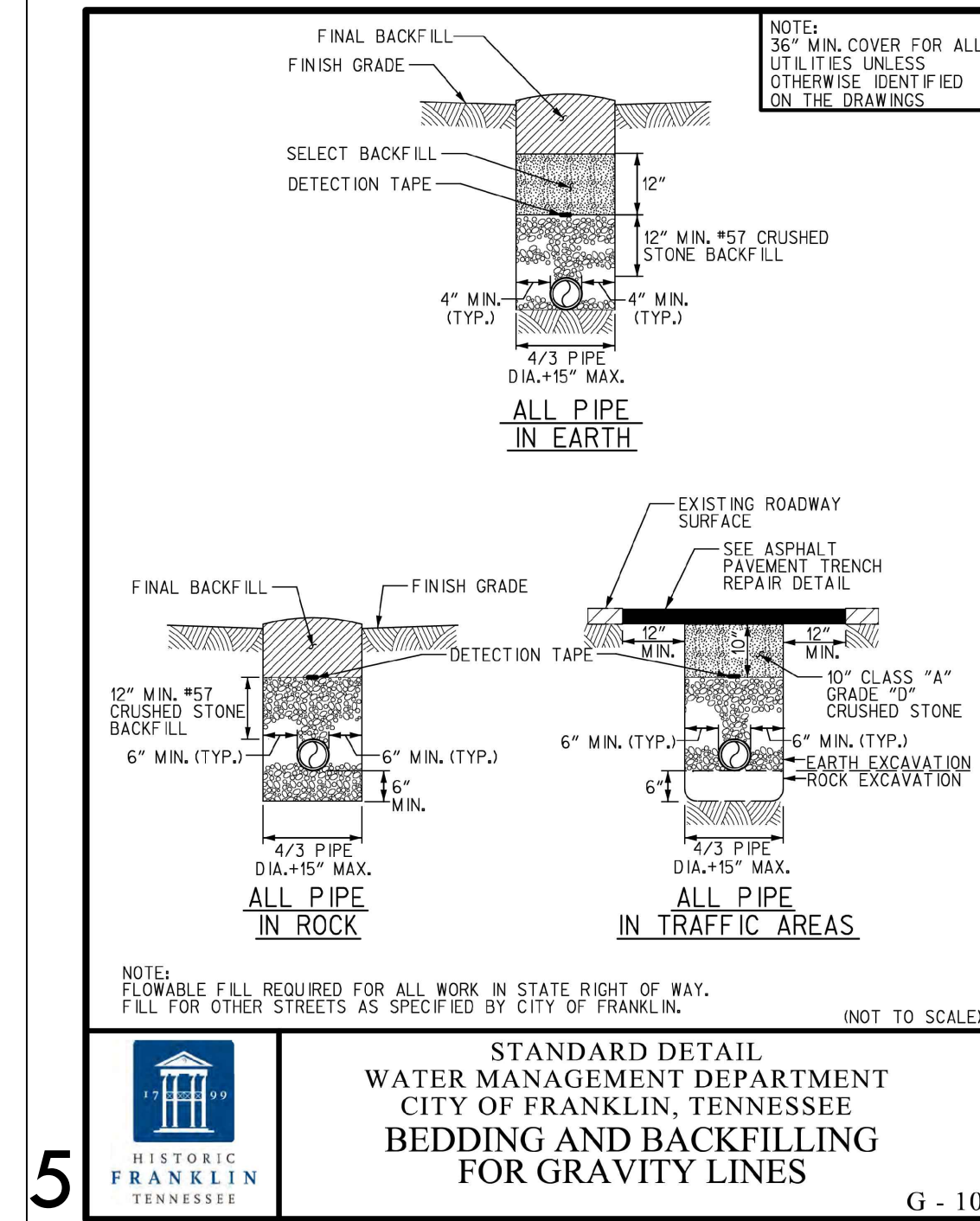
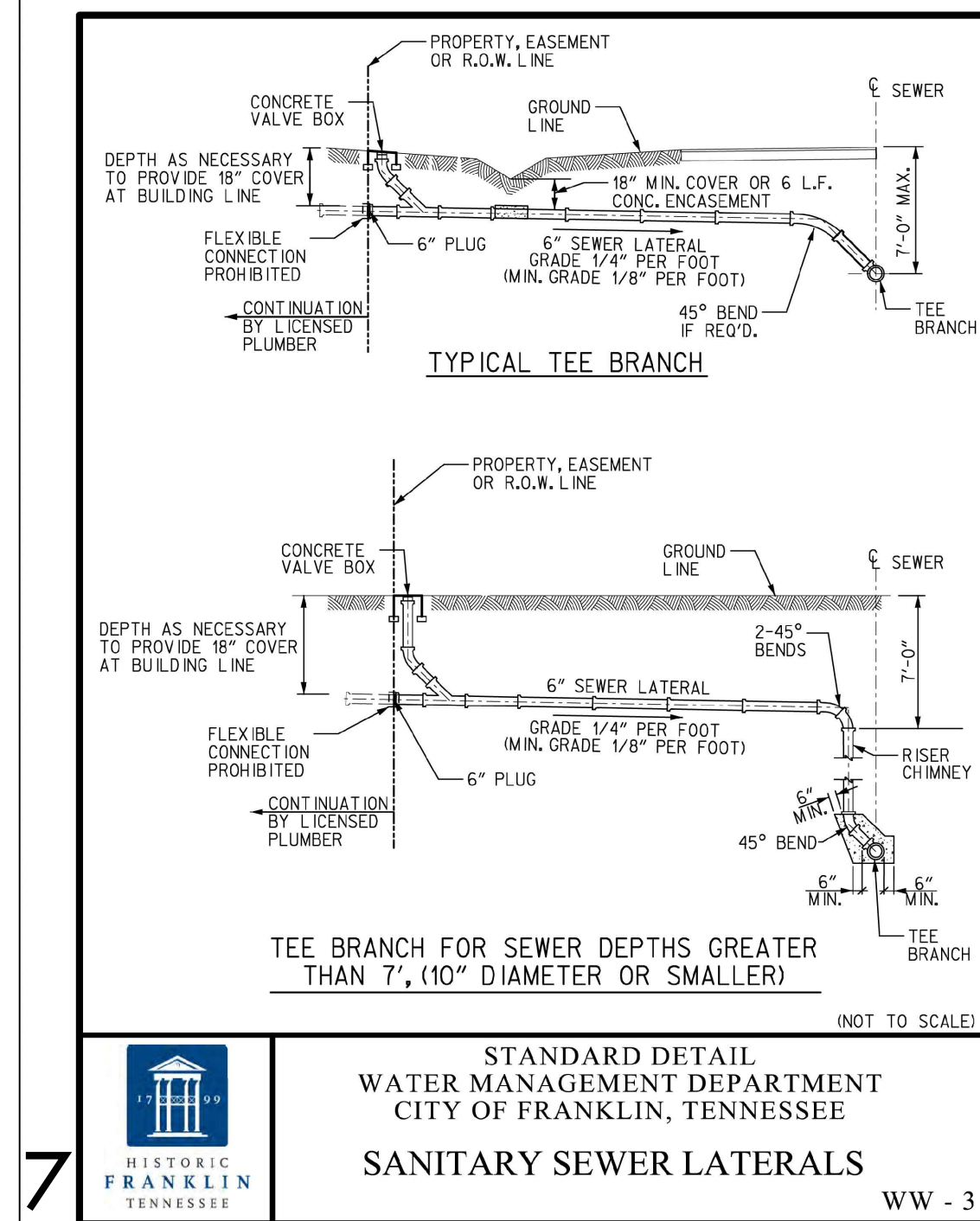
05/04/17
216042.00
1217 Liberty Pike
Franklin TN 37067
Prime Health Services

Carothers
Development
Subdivision, Site
Plan, Revision 1
(Prime Health)
C.O.F. # 6323

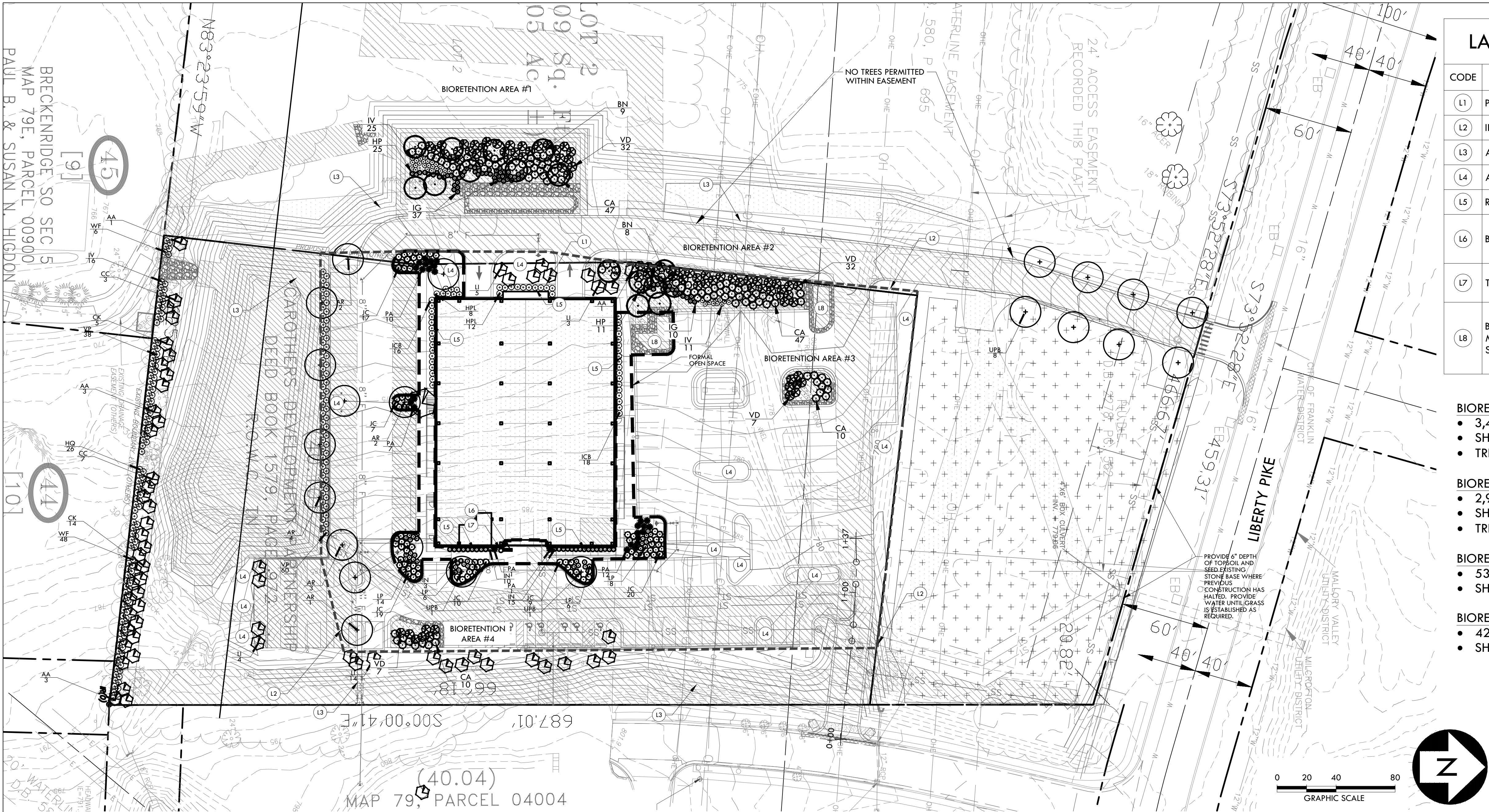
CONSTRUCTION
DOCUMENTS



05/04/17
DATES OF ISSUANCE
DETAILS
C8.4



THIS DRAWING IS THE PROPERTY OF HEREFORD DOOLEY ARCHITECTS. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT SHALL BE RETURNED UPON REQUEST. COPYRIGHT AS DATED HEREFORD DOOLEY ARCHITECTS. NOT VALID UNLESS SIGNED AND SEALED.



LANDSCAPE PLAN KEYNOTES		
CODE	DESCRIPTION	DETAIL LOCATION
L1	PLANTING BED LIMITS	L2.0 - 2
L2	IRRIGATION LIMITS	L2.0 - NOTES
L3	AREA TO BE SEEDED LAWN	SPECS
L4	AREA TO BE SODDED LAWN	SPECS
L5	RIVER STONE MULCH	L2.0 - 3
L6	BENCH	SEE PRODUCT LISTING/THIS SHEET
L7	TRASH RECEPTACLE	SEE PRODUCT LISTING/THIS SHEET
L8	BIORETENTION AREA TO BE WETLAND SEED MIX WITH STRAW MAT. STRAW MAT TO BE SECURED WITH GROUND STAPLES	SEE BIORETENTION DETAILS THIS SHEET: C6.0 - 4: SEE SPECS

BIORETENTION AREA #1 LEVEL 2

- 3,416 S.F. - 75% SHRUB COVERAGE
- SHRUBS - 3 GAL
- TREES 2" CAL. 1/400 S.F. = 9

BIORETENTION AREA #2 LEVEL 2

- 2,977 S.F. 75% SHRUB COVERAGE
- SHRUBS - 3 GAL
- TREES 2" CAL. 1/400 S.F. = 8

BIORETENTION AREA #3 LEVEL 1

- 533 S.F. - 75% SHRUB COVERAGE
- SHRUBS - 3 GAL

BIORETENTION AREA #4 LEVEL 1

- 424 S.F. - 75% SHRUB COVERAGE
- SHRUBS - 3 GAL

MINIMUM BUFFERING/SCREENING REQUIREMENTS

HVAC UNITS, COOLING AND/OR MECHANICAL EQUIPMENT ARE MOUNTED ON THE:

- ROOFTOP
- GROUND
- NOT APPLICABLE

THIS DEVELOPMENT IS REQUIRED TO HAVE THE FOLLOWING:

LANDSCAPE IMPROVEMENTS:

BUFFER/SCREEN TYPE:

- NOT APPLICABLE
- FOUNDATION PLANTING
- PERIMETER PLANTING STRIP
- INTERIOR VIA PLANTING
- UTILITY BOX SCREEN
- HVAC SCREEN
- DUMPSTER SCREEN
- LOADING/SERVICE AREA
- INCOMPATIBLE USE BUFFER
- 30-FOOT FRONT YARD BUFFER
- 40-FOOT FRONT YARD BUFFER
- STREET TREES
- OTHER:

PURPOSE:

BUFFERING/SCREENING NOT REQUIRED

SCREEN VIA'S AND TO CREATE "MODULES"

CREATE VIA "MODULES"

SCREEN FROM VIEW

SCREEN HVAC FROM VIEW

SCREEN DUMPSTER FROM VIEW

BUFFER THE STREET OR RESIDENTIAL PROPERTY

BUFFER THE ADJACENT LESS INTENSIVE USE

BUFFER THE ADJACENT HATCHER BYPASS

BUFFER THE ADJACENT INTERSTATE 65

SPATIAL DEFINITION/ENVIRONMENTAL MITIGATION

ATTENTION OWNER/INSTALLER:

THIS LANDSCAPE PLAN HAS BEEN DESIGNED TO MEET THE MINIMUM REQUIREMENTS OF THE CITY OF FRANKLIN ZONING ORDINANCE, THE APPROVAL OF THE PLANNING COMMISSION, AND PLANNING DEPARTMENT POLICY. RELOCATING, SUBSTITUTING, RESIZING, REDUCING, OR DELETING MATERIAL MAY CAUSE THE SITE TO NO LONGER CONFORM TO THE REQUIREMENTS; THUS PROBLEMS MAY ARISE WITH RELEASING THE PERFORMANCE/MAINTENANCE SURETY FOR THE LANDSCAPE MATERIAL. DEVIATION FROM THE APPROVED LANDSCAPE PLAN SHALL NOT BE MADE WITHOUT FIRST CONSULTING THE LANDSCAPE ARCHITECT WHO DESIGNED THE PROJECT. THE DESIGNING LANDSCAPE ARCHITECT SHALL REVIEW PROPOSED SUBSTITUTIONS TO ENSURE THAT ALL CITY STANDARDS AND REQUIREMENTS ARE MET. THE CITY SHALL BE NOTIFIED IN WRITING UPON FINAL APPROVAL OF ANY PLANT SUBSTITUTIONS.

OWNER:

LANDSCAPE ARCHITECT: BRAD LIPSEY, CRUNK ENGINEERING (615) 873-1795

FRANKLIN PLANNING DEPARTMENT: (615) 791-3212 PHONE

PRODUCT LISTING FOR EXTERIOR SITE FURNISHINGS

TRASH RECEPTACLE:

"DISPATCH" BY FORMS + SURFACES. SINGLE STREAM, 36 GALLON, FINISH: SLATE GLOSS;

ALUMINUM SIDE PANEL; MOUNTING: SURFACE MOUNTED.

BENCH TYPE 'A' - 'CAMBER' BY FORMS + SURFACES. SLATTING: ALUMINUM, FINISH: POWDERCOAT 'SLATE GLOSS'; MOUNTING : SURFACE MOUNTED.

FORMS+ SURFACES, PH. 800.451.0410, WEB : WWW.FORMS-SURFACES.COM.

LANDSCAPE REQUIREMENTS: (ACI)			
LSR 0.46 PROVIDED (MIN 0.31)			
LSA = 1.63 Ac.			
(500 AC. IN BUFFER AREAS + 1.22 AC. DEVELOPMENT/OPEN SPACE)			
	EXISTING TREES	QUANTITY PROVIDED	INCHES PROVIDED
		TOTAL	CALIPER
		PROPOSED	INCHES
EXISTING TREES 14"	6	-	84
EXISTING TREES 24"	2	-	48
EXISTING TREES 30"	3	-	90
EXISTING TREES 36"	2	-	72
2" CALIPER CANOPY TREES:			
AGGREGATE CANOPY CALIPER INCHES PROVIDED:		294	
AGGREGATE CANOPY CALIPER INCHES REQUIRED:		234	
2" CALIPER UNDERSTORY TREES:	-	-	-
1" CALIPER UNDERSTORY TREES:	-	X	X"
AGGREGATE UNDERSTORY CALIPER INCHES PROVIDED:		60	
AGGREGATE UNDERSTORY CALIPER INCHES REQUIRED:		59	
MIN. 18" HEIGHT SHRUBS:	XXX		
MIN. 30" HEIGHT SHRUBS:	XXX		
TOTAL SHRUBS PROVIDED:		290	
TOTAL SHRUBS REQUIRED:		270	

NOTE: EXIST. TREES OVER 14" IN PRESERVATION ZONE CREDITED AT 1.25" TIMES CALIPER SIZE.

NOTE: REFER TO TREE INVENTORY - L1.0

SPECIMEN TREE REPLACEMENT		
	QUANTITY PROVIDED	CALIPER INCH CONVERSION
5" + CALIPER CANOPY TREES:	X	X
4" CALIPER CANOPY TREES:	X	X
3" CALIPER CANOPY TREES:	X	X
2.5" CALIPER CANOPY TREES:	X	X
2" CALIPER CANOPY TREES:	X	X
2" CALIPER UNDERSTORY TREES:	X	X
TOTAL CALIPER INCHES OF REPLACEMENT TREES PROVIDED:		0
DBH INCHES OF SPECIMEN TREE REPLACEMENT REQUIRED:		0
REPLACEMENT CALIPER INCH SURPLUS/SHORTAGE:		X

MINIMUM OPEN SPACE REQUIREMENTS

MINIMUM OPEN SPACE REQUIREMENT: 5% OF GROSS DEVELOPABLE AREA (100% FORMAL OPEN SPACE)

GROSS DEVELOPABLE AREA = EFFECTIVE DEVELOPABLE AREA (2.9 AC.)

FORMAL OPEN SPACE REQUIRED (5% OF 2.9) : 0.15 AC. (6,534 S.F.)

INFORMAL OPEN SPACE: N/A (NOT REQUIRED)

OPEN SPACE PROVIDED:	SO. FT. OF OPEN SPACE	AC. OF OPEN SPACE	PAVED AREA	PERCENT PAVED
KEY	CLASSIFICATION	TYPE		
AREA A	FORMAL	PLAZA	9,000 S.F.	0.20 Ac.
			4,496 S.F.	50 %
			TOTAL 9,000 S.F.	0.20 Ac.
			4,496 S.F.	50 %

LANDSCAPE DATA

SITE ACREAGE: 3.53 Ac.

EFFECTIVE DEVELOPABLE SITE AREA: 2.9 Ac.

SITE ZONING CLASSIFICATION: GENERAL OFFICE (GO)

APPLICABLE OVERLAY: MECO-4

DEVELOPMENT STANDARD: CONVENTIONAL

MIN. REQUIRED LANDSCAPE SURFACE AREA: 0.30

RATIO: 1.06 Ac.

PROVIDED LANDSCAPE SURFACE AREA: .46

RATIO: 1.63 Ac.

ORIGINAL TREE CANOPY COVER: 70.3%

PERCENT: 2.48 Ac.

PERCENT: 18%

PERCENT: 0.446 Ac.

PERCENT: 9.7%

PERCENT: 0.241 Ac.

TOTAL DBH: 0"

ACI CALCULATIONS

OPEN SPACE AREAS: 0.20 AC.

CANOPY (60 ACI/ACRE): 12"

UNDERSTORY (9 ACI/ACRE): 2"

SHRUBS (50/ACRE): 10

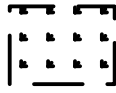
NON-RESIDENTIAL: 0

CANOPY (82 ACI/ACRE): 222"

UNDERSTORY (21 ACI/ACRE): 57"

SHRUBS (96/ACRE): 260

NOTE: LANDSCAPING SHALL NOT BE PLACED TO THE FRONT OF ANY FIRE HYDRANT OR WITHIN 3 FEET TO ANY OTHER SIDE OF A FIRE HYDRANT OR OTHER FIRE PROTECTION EQUIPMENT.



AREA TO BE WETLAND SEED MIX. SEE BIORETENTION DETAILS THIS SHEET.

ALL LAWN AREAS INTERNAL TO THE PARKING LOT ARE TO BE SODDED. A 2" STRIP OF SOD SHALL BE INSTALLED AROUND THE PARKING LOT PERIMETER.

BIORETENTION DETAILS / PLANT LIST

TREES	CODE	QTY	BOTANICAL NAME
	BN	17	Betula nigra 'Heritage'
SHRUBS	CODE	QTY	BOTANICAL NAME
	CA	114	Callicarpa americana
	HP	36	Hypericum prolificum
	IG	35	Ilex glabra 'Compacta'
	IV	28	Ilex verticillata
	VD	78	Viburnum dentatum

Retention Basin Floor Seed Mix

25% : 1.5 lb - Redtop Panicgrass, PA Ecotype (Panicum rigidulum (P. stipitatum))

16% : 0.9 lb - Virginia Wildrye, PA Ecotype (Elymus virginicus)

16% : 0.9 lb - Ticklegass (Rough Bentgrass), (Agrostis scabra)

16% : 0.9 lb - Swamp Milkweed (Asclepias tuberosa)

9% : 0.5 lb - Butterfly Milkweed (Asclepias tuberosa)

5% : 0.3 lb - Wild Bergamot, (Monarda fistulosa)

5% : 0.3 lb - Purple Bergamot, (Monarda media)

5% : 0.3 lb - Soft Rush (Juncus effusus)

2% : 0.1 lb - Autumn Bentgrass, (Agrostis perennans)

1% : 0.1 lb - Path Rush (Juncus tenuis)

Total: 100%

APPLICATION RATE: 1 lb per 1,000 sq ft

SEED SHOULD BE LOCALLY SOURCED

BIORETENTION SOIL TO BE APPLIED AT A DEPTH OF 36" BELOW FINISH GRADE. SEE C6.0 FOR GRADING IN THIS AREA. BIORETENTION SOIL TO CONSIST OF THE FOLLOWING.

MAX 60% SAND

LESS THAN 40% SILT

5%-10% ORGANIC MATTER

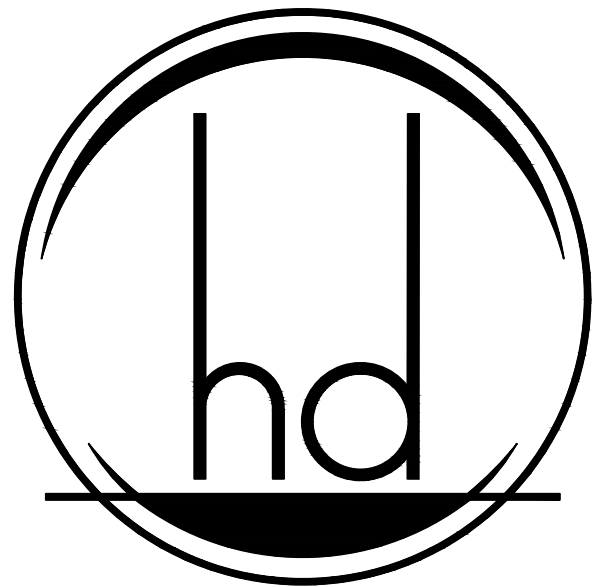
LESS THAN 20% CLAY



CRUNK ENGINEERING LLC

1894 GENERAL GEORGE PATTON DR.
SUITE 600
FRANKLIN, TN 37067
(615) 873-1795

WWW.CRUNKENG.COM



HEREFORD · DOOLEY ARCHITECTS

1720 WEST END AVE · SUITE 300
NASHVILLE · TENNESSEE · 37203

P · 615 · 244 · 7399
F · 615 · 244 · 6697

WWW.HDARCHITECTS.COM

05/04/17

PROJECT LOCATION

216042.00

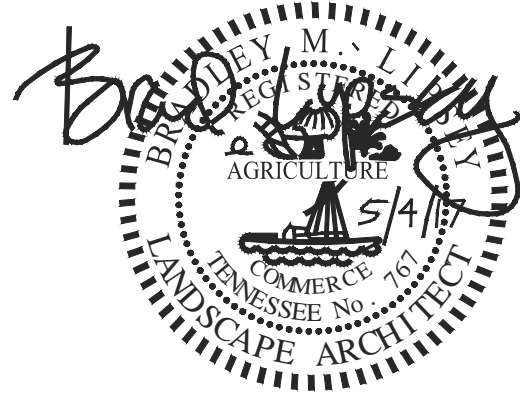
1217 Liberty Pike
Franklin TN 37067

CLIENT

Prime Health Services

Carothers Development
Subdivision, Site
Plan, Revision 1
(Prime Health)
C.O.F. # 6323

CONSTRUCTION DOCUMENTS



05/04/17

DATES OF ISSUANCE

△

LANDSCAPE PLAN

L1.0

THIS DRAWING IS THE PROPERTY OF HEREFORD DOOLEY ARCHITECTS. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT. COPYRIGHT AS DATED HEREFORD DOOLEY ARCHITECTS. NOT VALID UNLESS SIGNED AND SEALED.

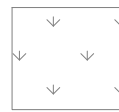
PLANT_SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	SPREAD	REMARKS
	AR	13	Acer rubrum 'October Glory'	October Glory Red Maple	B & B	3"	10'-12'	3-4'	
	UPB	10	Ulmus parvifolia 'UPMTF' Bosque	Bosque Lacebark Elm	B & B	3"	16-18'	4.5-5'	Well branched

UNDERSTORY TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	SPREAD	REMARKS
	AA	8	Amelanchier canadensis 'Autumn Brilliance'	Autumn Brilliance Serviceberry	B & B	2" Cal	6-7'	3-4'	
	CC	10	Cercis canadensis	Redbud	B & B	2" Cal			
	CK	19	Cornus kousa	Kousa Dogwood	B & B	2" Cal			
	LI	26	Lagerstroemia indica 'Natchez'	Natchez Crepe Myrtle	B & B	2" Cal	6-7'		

SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CALIPER	HEIGHT	SPREAD	SPACING	REMARKS
	HPL	20	Hydrangea paniculata 'Limelight' TM	Limelight Hydrangea	#7 Cont.		24"	60" o.c.		
	ICB	62	Ilex cornuta "Burfordi Nano"	Dwarf Burford Holly	# 3 Container		18"			
	IV	16	Itea virginica	Henry's Garnet	#3 Cont.					
	HQ	26	Hydrangea quercifolia	Oakleaf Hydrangea	#3 Cont.					
	JC	73	Juniperus chinensis 'sargentii'	Sargent Juniper	#3 Cont.		18-21"	18-21"	48" o.c.	
	LP	34	Lagerstroemia indica 'Pokemake'	Pokemake Crepe Myrtle	#3 Cont.					
	PA	51	Pennisetum aepiculoides 'Cassia'	Cassian Fountain Grass	#3 Cont.			48" o.c.		
	WF	54	Weigelia floribunda	Flowering 'Wiegelia	#3 Cont.					
	VP	96	Viburnum x pragensense	Prague Viburnum	#7 Cont.		36-42"	27-30"	60" o.c.	

NOTE: SEE SHEET L1.0 FOR BIORETENTION PLANT LIST, INCLUDING 25% NATIVE MILKWEED



CITY OF FRANKLIN LANDSCAPE NOTES:

- ANY PLANT MATERIAL THAT DIES, TURNS BROWN OR DEFOLIATES SHALL BE REPLACED WITHIN ONE YEAR OR BY THE NEXT GROWING SEASON, WHICH EVER COMES FIRST.
- OTHER DEFECTIVE LANDSCAPE MATERIAL SHALL BE REPLACED WITHIN THREE MONTHS.
- ALL TREES SHALL BE MEET FRANKLIN'S MINIMUM SIZE AND QUALITY STANDARDS. ALL PLANTS SHALL BE HEALTHY, VIGOROUS MATERIAL, FREE OF PEST AND DISEASE. ALL ROOTBALLS, CONTAINERS AND HEIGHT TO WIDTH RATIOS SHALL CONFORM TO THE SIZE STANDARDS SET FORTH IN THE AMERICAN STANDARDS FOR NURSERY STOCK, CURRENT EDITION.
- ALL REQUIRED TREES AND SHRUBS SHALL MEET THE MINIMUM SIZE AND QUANTITY AS LISTED IN THE PLANT SCHEDULE.
- PLANT MATERIAL SHALL NOT OBSCURE TRAFFIC OR PARKING SIGNS/SIGNALS OR VEHICULAR SIGHT LINES.
- TREE TOPPING IS NOT PERMITTED.
- ADDITIONAL SCREENING MAY BE REQUIRED IF THE INSPECTION FOR THE RELEASE OF THE PERFORMANCE SURETY REVEALS THAT THE REQUIRED SCREENING IS NOT EFFECTIVE.
- ALL REQUIRED TREE PROTECTION FENCING SHALL BE INSTALLED AND INSPECTED BY THE CODES DEPARTMENT PRIOR TO LAND DISTURBING ACTIVITIES.
- ANY SITE OR LANDSCAPE CHANGES (INCLUDING BUT NOT LIMITED TO A CHANGE IN DESIGN, A REDUCTION IN SIZE OR NUMBER OF PLANT MATERIAL, OR THE RELOCATION OF OVERHEAD OR UNDERGROUND UTILITIES) SHALL REQUIRE A REVISED LANDSCAPE PLAN TO BE SUBMITTED AND APPROVED PRIOR TO THE LANDSCAPE INSTALLATION.
- EXISTING TREES ACCEPTED IN PARTIAL COMPLIANCE OF THE LANDSCAPE REQUIREMENTS FOR THIS SITE SHALL BE ACCESSIBLE AND FLAGGED PRIOR TO ALL LANDSCAPE INSPECTIONS.
- ANY EXISTING TREE, SHOWN AS BEING PRESERVED ON APPROVED PLANS THAT IS REMOVED, DIES OR IS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED AS REQUIRED IN THE ZONING ORDINANCE.
- SCREENING PROPOSED AROUND ANY UTILITY BOX OR TRANSFORMER IS REQUIRED TO BE EVERGREEN AND ADEQUATELY SCREEN THE OBJECT. THE PROPOSED EVERGREEN PLANT MATERIAL SHALL BE REPLACED IF IT IS NOT OF A HEIGHT SUFFICIENT TO SCREEN THE OBJECT.
- ALL PLANT MATERIAL SHALL BE FROM THE FRANKLIN PLANT LIST UNLESS PRIOR APPROVAL IS RECEIVED FROM THE CITY.
- ALL TREE-PROTECTION FENCING SHALL BE IN PLACE PRIOR TO THE ISSUANCE OF A GRADING PERMIT AND SHALL BE MAINTAINED IN GOOD WORKING ORDER UNTIL ALL CONSTRUCTION ACTIVITY IS COMPLETED. ANY REQUIRED EROSION CONTROL MEASURES SHALL BE PLACED OUTSIDE OF ANY TREE PROTECTION FENCING.
- TOP SOIL USED IN ALL LANDSCAPE AREAS SHALL BE SCREENED PRIOR TO DEPOSITION IN PLANTING AREAS AND ISLANDS.
- ANY PLANT MATERIAL LOCATED ADJACENT TO A PARKING AREA SHALL BE PLANTED SO AS TO ALLOW FOR A TWO AND A HALF FOOT VEHICULAR BUMPER OVERHANG FROM THE FACE OF CURB TO THE EDGE OF THE MATURE ADJACENT PLANT MATERIAL.
- THE OWNER ACKNOWLEDGES THAT PLANTING LANDSCAPE MATERIAL IN A DEDICATED EASEMENT DOES NOT WAIVE OR MODIFY THE CITY OF FRANKLIN'S RIGHTS AS THE EASEMENT HOLDER. THE OWNER UNDERSTANDS THAT THE CITY OF FRANKLIN, ITS AUTHORIZED CONTRACTOR OR APPLICABLE PRIVATE UTILITY MAY AT ANY TIME AND FOR ANY REASON PERFORM WORK WITHIN THE DEDICATED EASEMENT. THE CITY, ITS AUTHORIZED CONTRACTOR OR APPLICABLE PRIVATE UTILITY SHALL HAVE NO LIABILITY TO THE OWNER FOR ANY DAMAGE TO THE LANDSCAPE MATERIAL IN THE EASEMENT WHEN SAID DAMAGE IS DUE TO WORK WITHIN THE EASEMENT. THE OWNER MAY BE HELD RESPONSIBLE FOR THE REMOVAL OF THE LANDSCAPE MATERIAL TO ENABLE WORK TO BE DONE. THE OWNER SHALL BE SOLELY RESPONSIBLE FOR ANY COSTS INCURRED IN REPAIRING AND/OR REPLACING THE REQUIRED LANDSCAPE MATERIAL.
- NO LANDSCAPING IS PERMITTED TO THE FRONT OF ANY FIRE HYDRANT.
- NO LANDSCAPING IS PERMITTED WITHIN 3 FEET OF ANY FIRE HYDRANT.
- NO LANDSCAPING, FENCING, ETC. SHALL BE PLANTED OR CONSTRUCTED THAT OBSTRUCTS VISIBILITY AND/OR ACCESS TO FIRE HYDRANTS, FIRE DEPARTMENT CONNECTION, AND OTHER FIRE PROTECTION EQUIPMENT.
- COMBUSTIBLE MULCH IS NOT PERMITTED WITHIN 24 INCHES OF THE EXTERIOR PERIMETER OF ANY BUILDING WHERE WOOD OR COMBUSTIBLE MATERIALS ARE USED IN THE FRAMING (STRUCTURAL) OR EXTERIOR MATERIAL (OSB, EIFS, ETC.).

CITY OF FRANKLIN MINIMUM PLANT QUALITY AND SIZE STANDARDS

- ALL NEWLY PLANTED LANDSCAPE PLANT MATERIALS SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD OF NURSERY STOCK (ANSI Z60.1).
- ALL TYPE 1, 2 AND 3 TREES (AS DEFINED IN ANSI Z60.1) USED TO MEET THE REQUIREMENTS OF THIS SUBSECTION SHALL HAVE THE FOLLOWING CHARACTERISTICS:
 - DECIDUOUS TREES SHALL HAVE ONE DOMINANT TRUNK WITH THE TIP OF THE LEADER ON THE MAIN TRUNK LEFT INTACT AND THE TERMINAL BUD ON THE CENTRAL LEADER AT THE HIGHEST POINT ON THE TREE.
 - TREES WITH FORKED TRUNKS ARE ACCEPTABLE IF ALL THE FOLLOWING CONDITIONS ARE MET:
 - THE FORK OCCURS IN THE UPPER ONE-THIRD OF THE TREE.
 - ONE FORK IS LESS THAN TWO-THIRDS THE DIAMETER OF THE DOMINANT FORK.
 - THE TOP ONE-THIRD OF THE SMALLER FORK IS REMOVED AT THE TIME OF PLANTING.
 - NO BRANCH IS GREATER THAN TWO-THIRDS THE DIAMETER OF THE TRUNK DIRECTLY ABOVE THE BRANCH.
 - SEVERAL BRANCHES ARE LARGER IN DIAMETER AND OBVIOUSLY MORE DOMINANT.
 - BRANCHING HABIT IS MORE HORIZONTAL THAN VERTICAL AND NO BRANCHES ARE ORIENTED NEARLY VERTICAL TO THE TRUNK.
 - BRANCHES ARE EVENLY DISTRIBUTED AROUND THE TRUNK WITH NO MORE THAN ONE MAJOR BRANCH LOCATED DIRECTLY ABOVE ANOTHER AND THE CROWN IS FULL OF FOLIAGE THAT IS EVENLY DISTRIBUTED AROUND THE TREE.

PLANTING NOTES

- THE LANDSCAPE CONTRACTOR SHALL CONFIRM ALL MATERIAL QUANTITIES. IN THE EVENT OF A DISCREPANCY, THE QUANTITIES SHOWN ON THE PLAN SHALL TAKE PRECEDENCE OVER THE MATERIAL SCHEDULE.
- NO SUBSTITUTIONS OF SPACING OF PLANT MATERIALS SPECIFIED ON THIS PLAN MAY BE MADE.
- THE CONTRACTOR IS TO VERIFY LOCATION OF ALL EXISTING UTILITIES. PROTECT UTILITIES THAT ARE TO REMAIN, REPAIR ANY DAMAGE ACCORDING TO COORDINATE WITH THE APPROPRIATE UTILITY COMPANY.
- ALL PLANTING BEDS TO RECEIVE FINELY SHREDDED HARDWOOD MULCH.
- APPLY PRE-EMERGENT HERBICIDE TO ALL PLANTING BEDS IMMEDIATELY PRIOR TO PLACEMENT OF MULCH FOR WEED CONTROL.
- ALL LAWN AREAS WITHIN THE PROJECT AREA ARE TO BE SODDED WITH FINE BLADED FESCUE IN ACCORDANCE WITH THE DRAWINGS.
- THE LANDSCAPE CONTRACTOR SHALL OBTAIN REQUIRED PERMITS AND COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, AND CODES.
- ALL PLANT MATERIALS SHALL COMPLY WITH THE AMERICAN STANDARD FOR NURSERY STOCK FOR SIZE AND QUALITY.
- THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REFUSE ANY PLANT MATERIAL OR ANY DEFECTIVE WORKMANSHIP.
- ALL LAYOUT WORK SHALL BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER PRIOR TO OPENING ANY PLANT PITS.
- SHOULD THE LANDSCAPE CONTRACTOR ENCOUNTER UNSATISFACTORY SURFACE OR SUBSURFACE DRAINAGE CONDITIONS HE SHALL CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY.
- PROTECTIVE FENCE SHALL BE INSTALLED AROUND EXISTING TREES BEFORE CONSTRUCTION.

IRRIGATION NOTES:

- LANDSCAPE CONTRACTOR TO PROVIDE IRRIGATION SYSTEM ON A DESIGN/BUILD ARRANGEMENT FOR AREA NOTED ON THE PLAN. CONTRACTOR TO PREPARE DESIGN DRAWINGS IN ACCORDANCE WITH PERFORMANCE SPECIFICATIONS CONTAINED IN THE PROJECT MANUAL AND SUBMIT SAME FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
- CONTRACTOR TO CONFIRM ADEQUATE PRESSURE EXISTS TO OPERATE SYSTEM PRIOR TO INSTALLATION.
- IRRIGATION SPRINKLER HEADS SHALL BE MANUFACTURED BY EITHER TORO OR RAIBIRD. IRRIGATION CONTROLLER SHALL BE TORO VISION II MODEL OR APPROVED EQUAL.
- MAIN LINE TO BE CLASS 200 PVC PIPE. LATERAL LINES TO BE CLASS 150 PVC.
- IRRIGATION SYSTEM TO BE OPERATIONAL BEFORE PLANTING MATERIALS MAY BE INSTALLED IN PLANTING BEDS.
- INSTALL SPRINKLER HEADS ACCORDING TO MANUFACTURERS SPECIFICATIONS. FLUSH ALL LINES BEFORE INSTALLING NOZZLES.
- WIRE CONNECTIONS TO BE MADE BY USING RAIBIRD MODEL ST-103/PT-ST SNAP-TITE CONNECTIONS.
- LEAVE 18 INCHES OF ADDITIONAL WIRE AT EACH VALVE LOCATION. ROLL WIRE INTO COIL AT EACH LOCATION.
- ALL VALVES SHALL BE LOCATED IN AMATEX 10 INCH CIRCULAR VALVE BOXES WITH COVER, OR EQUAL.
- IRRIGATION CONTRACTOR TO COORDINATE PLACEMENT OF REQUIRED SLEEVES WITH GENERAL CONTRACTOR PRIOR TO PAVING AND CONCRETE INSTALLATION BEING COMPLETED.

STONE MULCH AREAS:

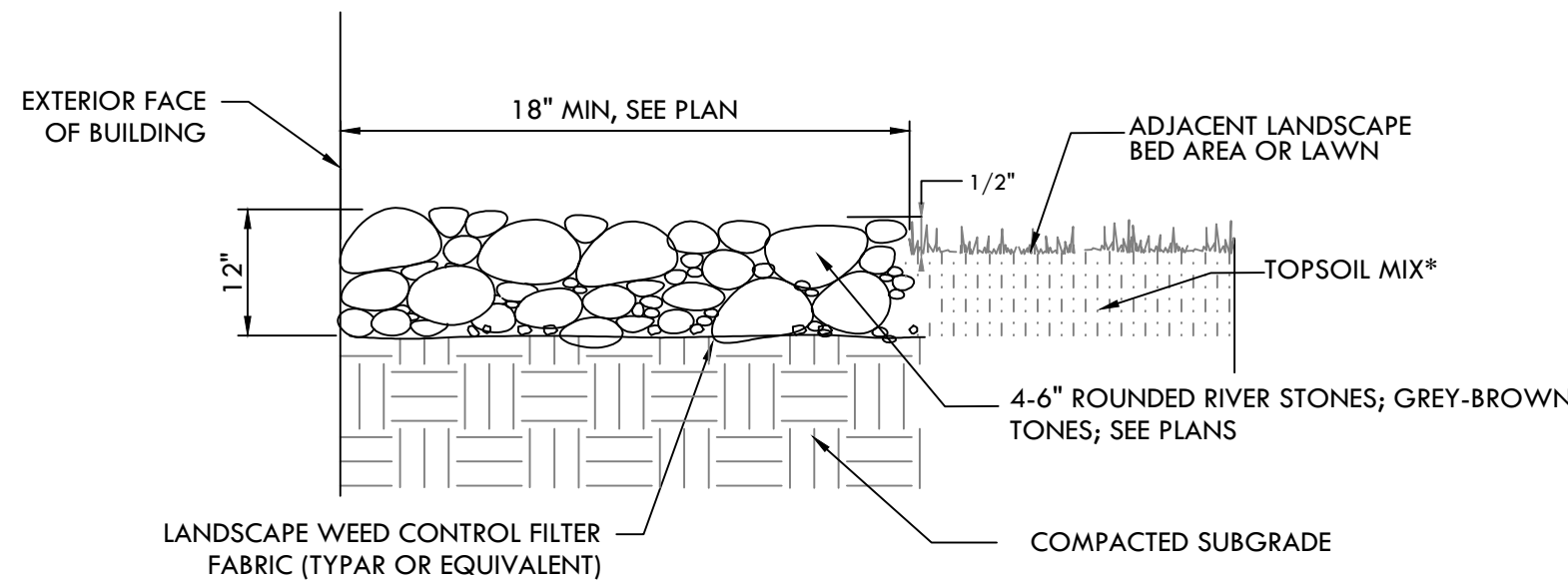
- CONTRACTOR SHALL REMOVE AND ERADICATE ALL EXISTING GRASSES AND WEEDS IN D.S. AREAS AS REQUIRED WITH ROUND-UP, ETC.
- CONTRACTOR SHALL SUBMIT A SAMPLE OF THE SPECIFIED STONE MULCH TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.

3

4

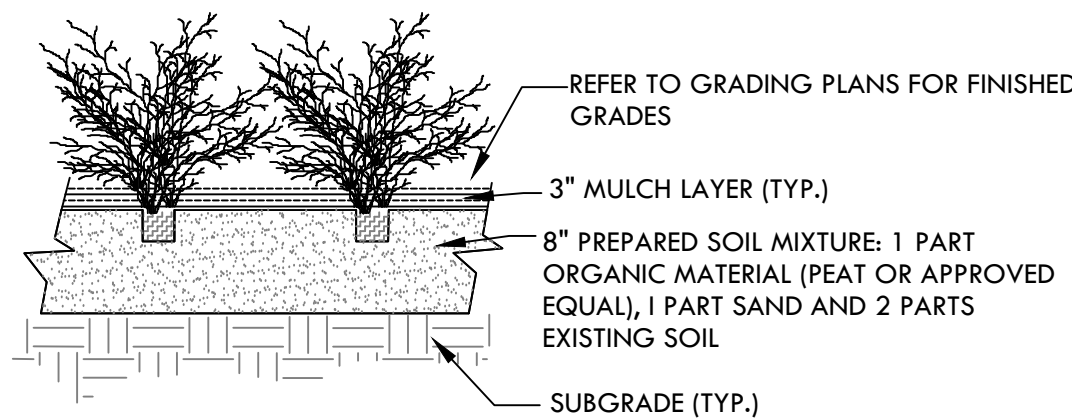
1

2



STONE MULCH BED

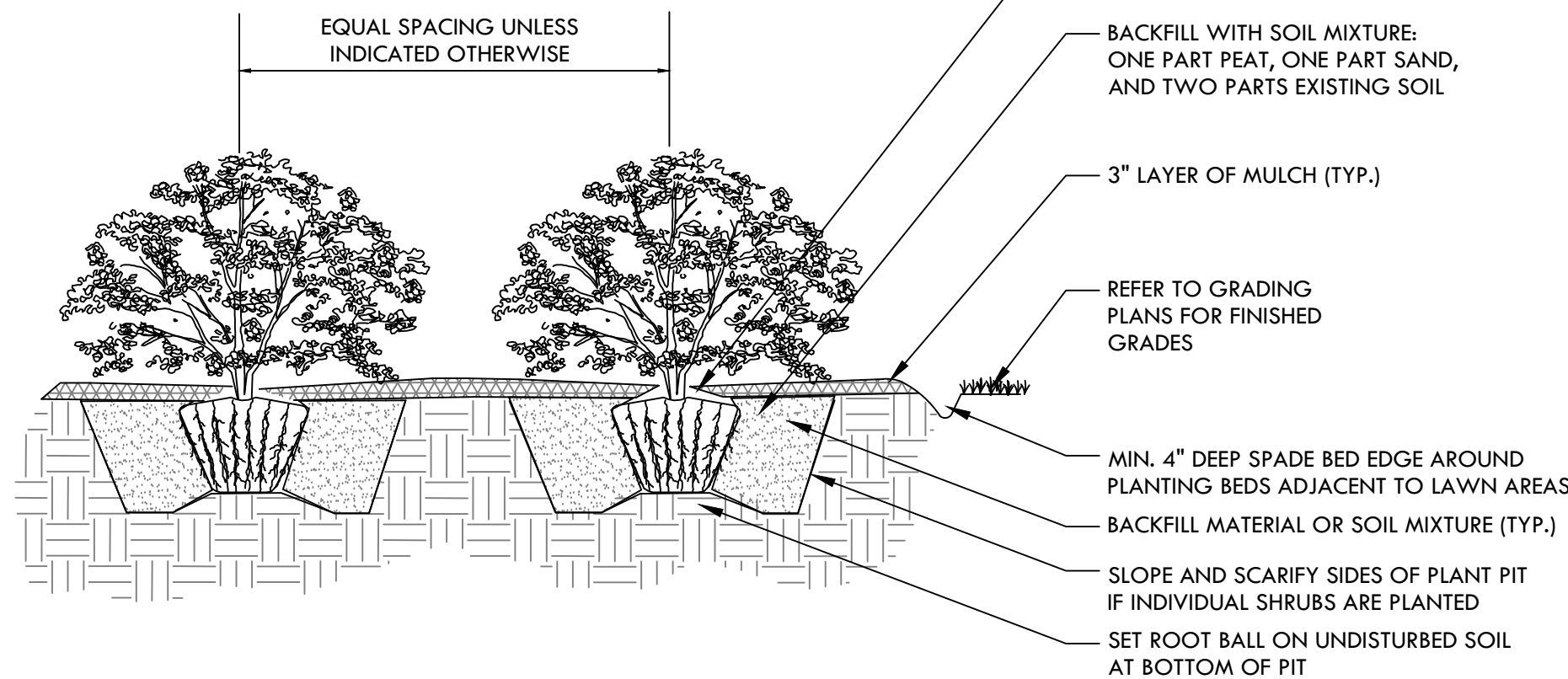
NOT TO SCALE



GROUNDCOVER PLANTING

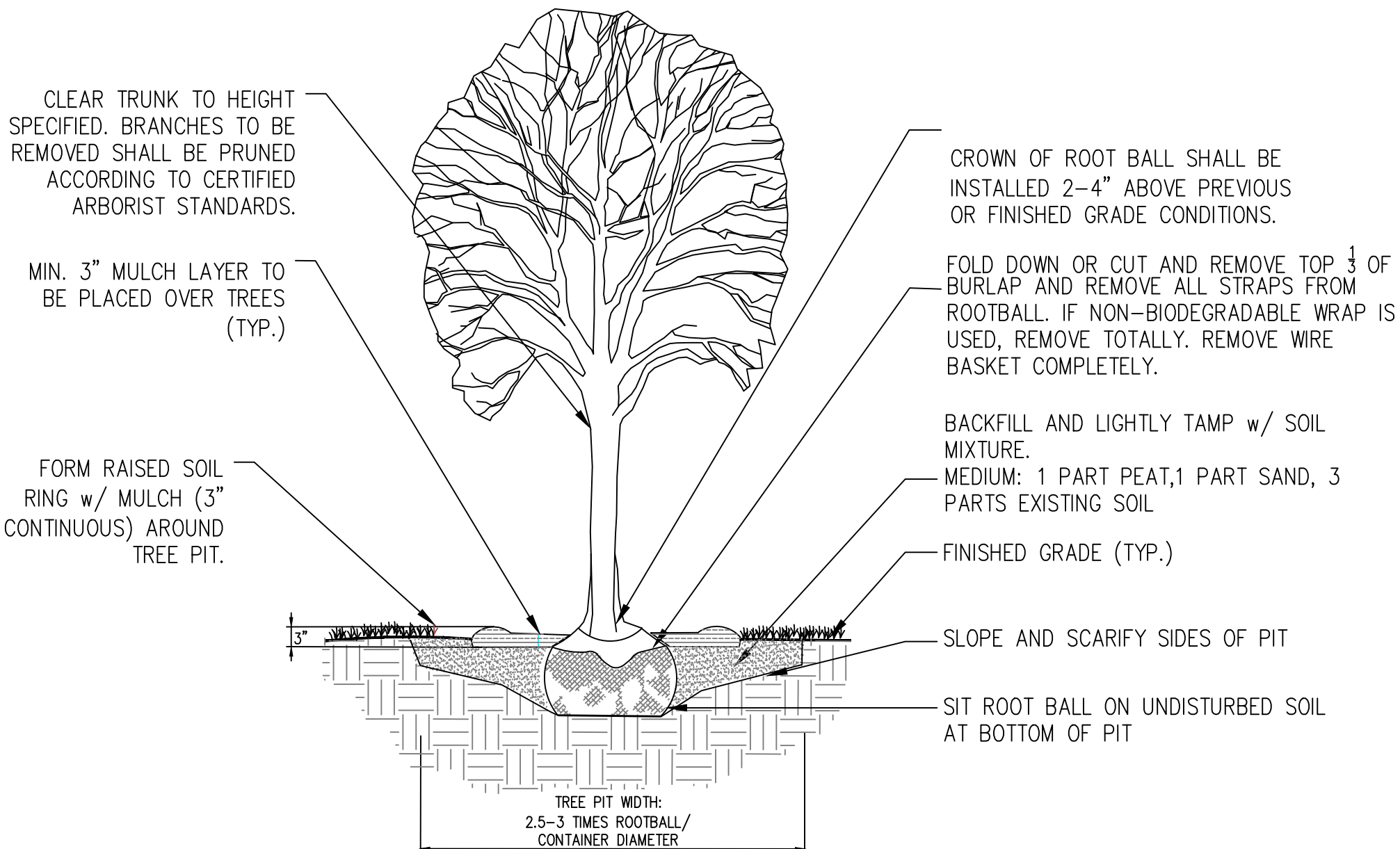
NOT TO SCALE

- NOTES:
- WHERE SHRUBS APPEAR IN BED AREA, 3" OF MULCH SHALL BE SPREAD OVER THE ENTIRE AREA WITHIN THE BED AS INDICATED ON THE PLANS.
 - DO NOT PRUNE SHRUBS BEFORE ACCEPTANCE.
 - CAREFULLY REMOVE CONTAINER FROM ROOT BALL USED FOR SHRUB(S). ANY BROKEN OR CRUMBLING ROOT BALL(S) WILL BE REJECTED.
 - IF SHRUB IS B&B, REMOVE BURLAP FROM TOP 1/3 OF ROOT BALL OR COMPLETELY REMOVE BURLAP IF SOILS ARE POORLY DRAINED.
 - SCARIFY ROOTBALL IF ROOT BOUND IN CONTAINER PER HORTICULTURE STANDARDS.



SHRUB PLANTING

NOT TO SCALE



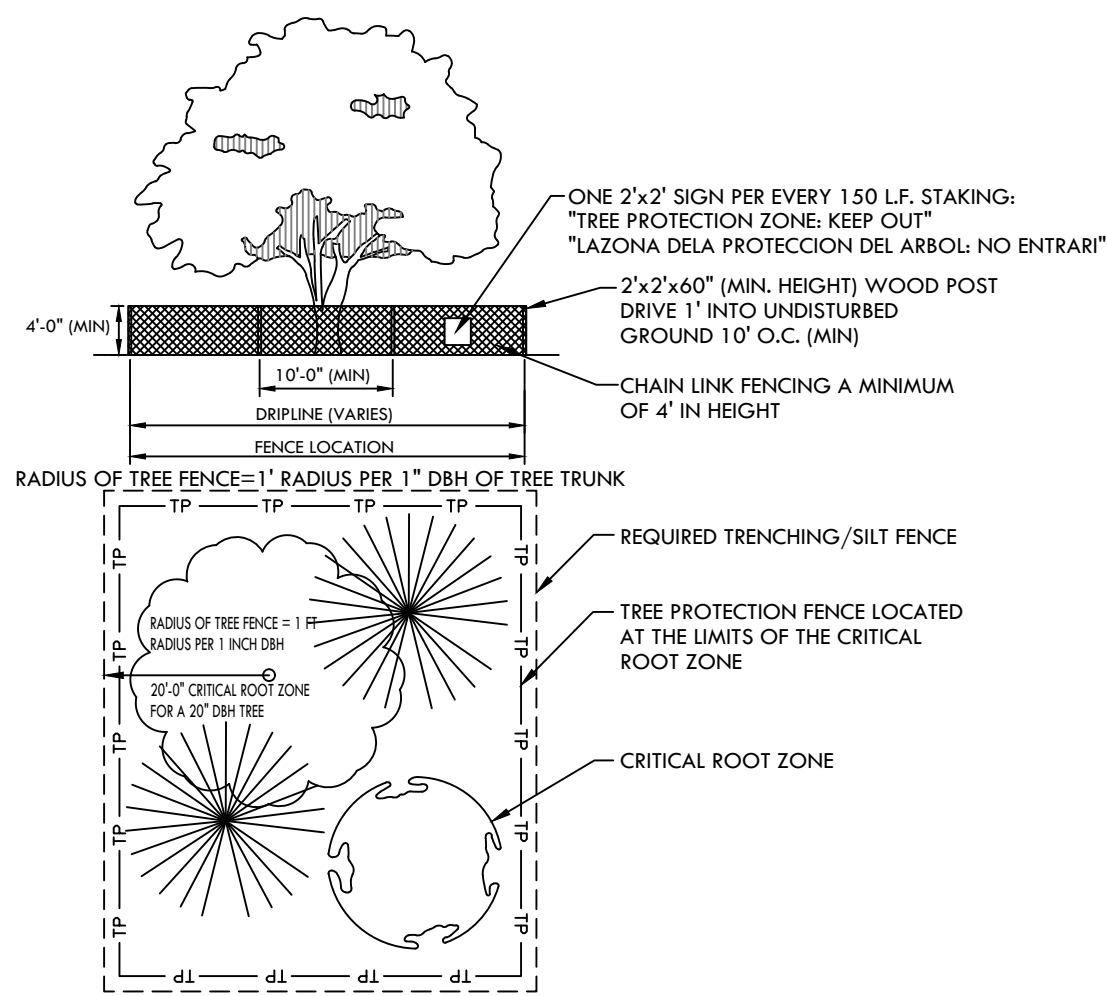
DECIDUOUS TREE PLANTING

NOT TO SCALE

5

TREE PROTECTION

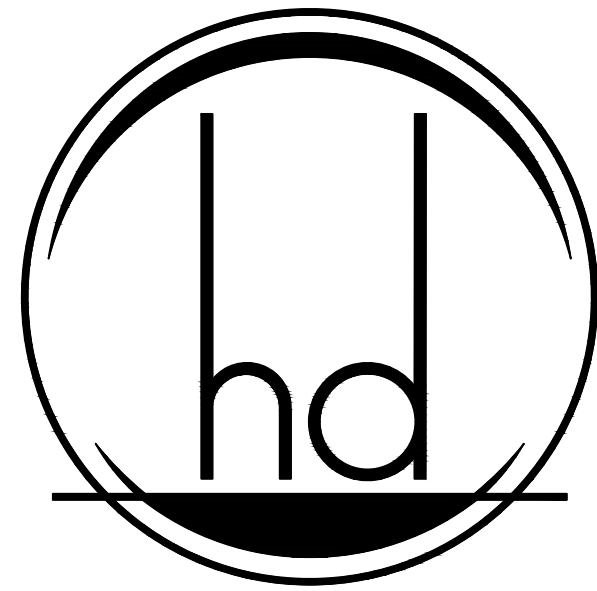
NOT TO SCALE



CRUNK ENGINEERING LLC

1894 GENERAL GEORGE PATTON DR.
SUITE 600
FRANKLIN, TN 37067
(615) 873-1795

WWW.CRUNKENG.COM



HEREFORD · DOOLEY ARCHITECTS

1720 WEST END AVE · SUITE 300
NASHVILLE · TENNESSEE · 37203

P · 615 · 244 · 7399
F · 615 · 244 · 6697

WWW.HDARCHITECTS.COM

05/04/17

PROJECT
LOCATION
CLIENT

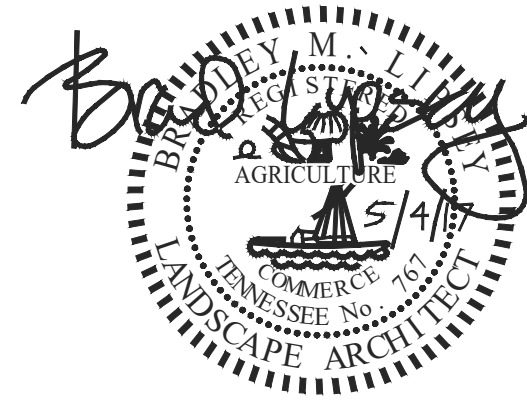
216042.00

1217 Liberty Pike
Franklin TN 37067

Prime Health Services

Carothers
Development
Subdivision, Site
Plan, Revision 1
(Prime Health)
C.O.F. # 6323

CONSTRUCTION DOCUMENTS



05/04/17

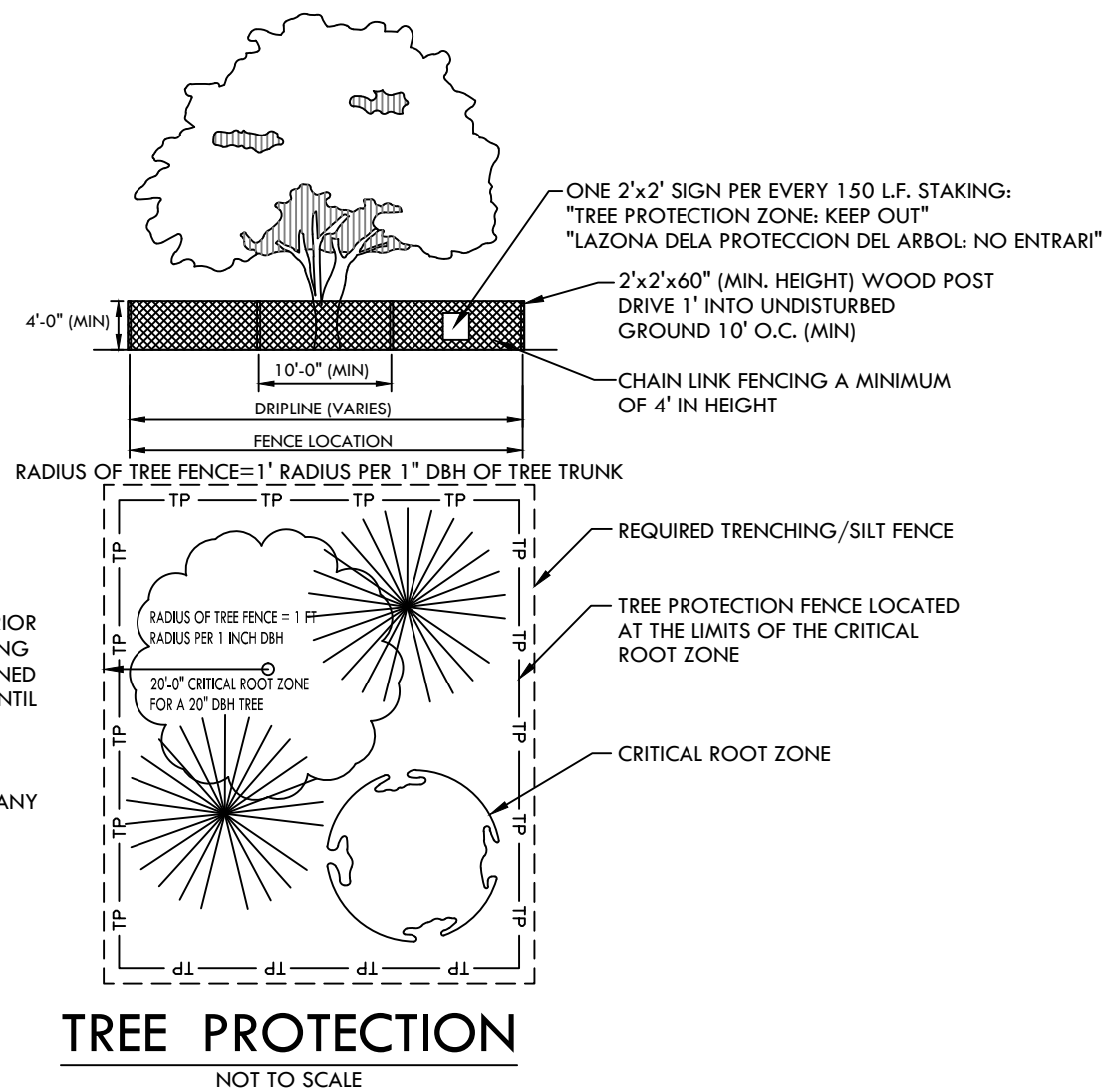
DATES OF ISSUANCE
TITLE
SHEET

△

LANDSCAPE DETAILS

L2.0

THIS DRAWING IS THE PROPERTY OF HEREFORD DOOLEY ARCHITECTS. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT. IT SHALL BE RETURNED UPON REQUEST. COPYRIGHT AS DATED HEREFORD DOOLEY ARCHITECTS. NOT VALID UNLESS SIGNED AND SEALED.



TREE CANOPY RETENTION STANDARDS

LOT 3 (PROPOSED SITE)

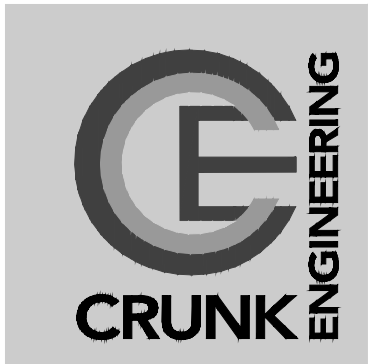
SITE ACREAGE	3.53 Ac.
EXISTING TREE CANOPY COVER	2.48 Ac. (70.3%)
MINIMUM REQUIRED TREE CANOPY RETENTION BY ZONING DISTRICT (GO)	0.446 Ac. (18%)
TREE CANOPY RETENTION PROVIDED	0.241 Ac. (9.7%)
TREE CANOPY AREA TO BE REMOVED	
SQUARE FEET	10,510
TOTAL	97,417 (2.24 ACRES)
TREE CANOPY AREA TO REMAIN	
SQUARE FEET	10,510
TOTAL	10,510 (0.241 ACRES)

LOT 2 (REMAINING SITE)

SITE ACREAGE	10.18 Ac.
EXISTING TREE CANOPY COVER	8.26 Ac. (81.1%)
MINIMUM REQUIRED TREE CANOPY RETENTION BY ZONING DISTRICT (GO)	1.49 Ac. (18%)
TREE CANOPY RETENTION PROVIDED	6.45 Ac. (78%)
TREE CANOPY AREA TO BE REMOVED	
SQUARE FEET	44,178
PREVIOUS PLAN	29,917
TOTAL	74,095 (1.70 ACRES)
TREE CANOPY AREA TO REMAIN	
SQUARE FEET	285,711
TOTAL	285,711 (6.56 ACRES)

LANDSCAPE DATA

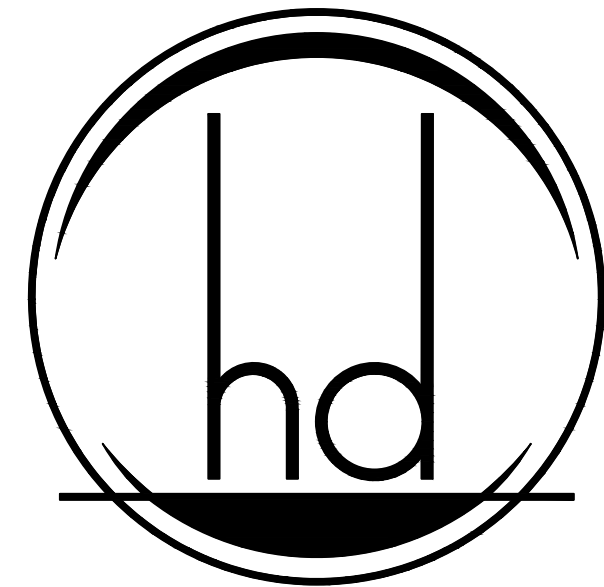
SITE ACREAGE	3.53 Ac.
EFFECTIVE DEVELOPABLE SITE AREA:	2.9 Ac.
SITE ZONING CLASSIFICATION:	GENERAL OFFICE (GO)
APPLICABLE OVERLAY:	MECO-4
DEVELOPMENT STANDARD:	CONVENTIONAL
MIN. REQUIRED LANDSCAPE SURFACE AREA:	0.30
RATIO ACREAGE	1.06 Ac.
PROVIDED LANDSCAPE SURFACE AREA:	.46
RATIO ACREAGE	1.63 Ac.
ORIGINAL TREE CANOPY COVER:	
PERCENT ACREAGE	70.3%
TREE CANOPY REQUIRED:	
PERCENT ACREAGE	18%
PRESERVED TREE CANOPY COVER PROVIDED:	
PERCENT ACREAGE	9.7%
SPECIMEN TREES REMOVED (HEALTHY TREES)	
TOTAL DBH	0



CRUNK ENGINEERING LLC

1894 GENERAL GEORGE PATTON DR.
SUITE 600
FRANKLIN, TN 37067
(615) 873-1795

WWW.CRUNKENG.COM



HEREFORD · DOOLEY ARCHITECTS

1720 WEST END AVE · SUITE 300
NASHVILLE · TENNESSEE · 37203

P · 615 · 244 · 7399
F · 615 · 244 · 6697

WWW.HDARCHITECTS.COM

05/04/17

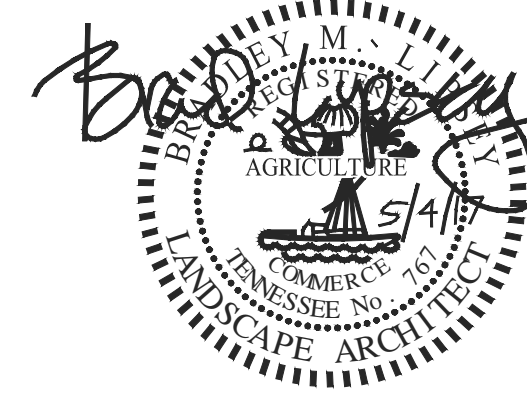
PROJECT
216042.00

LOCATION
1217 Liberty Pike
Franklin TN 37067

CLIENT
Prime Health Services

Carothers
Development
Subdivision, Site
Plan, Revision 1
(Prime Health)
C.O.F. # 6323

CONSTRUCTION
DOCUMENTS



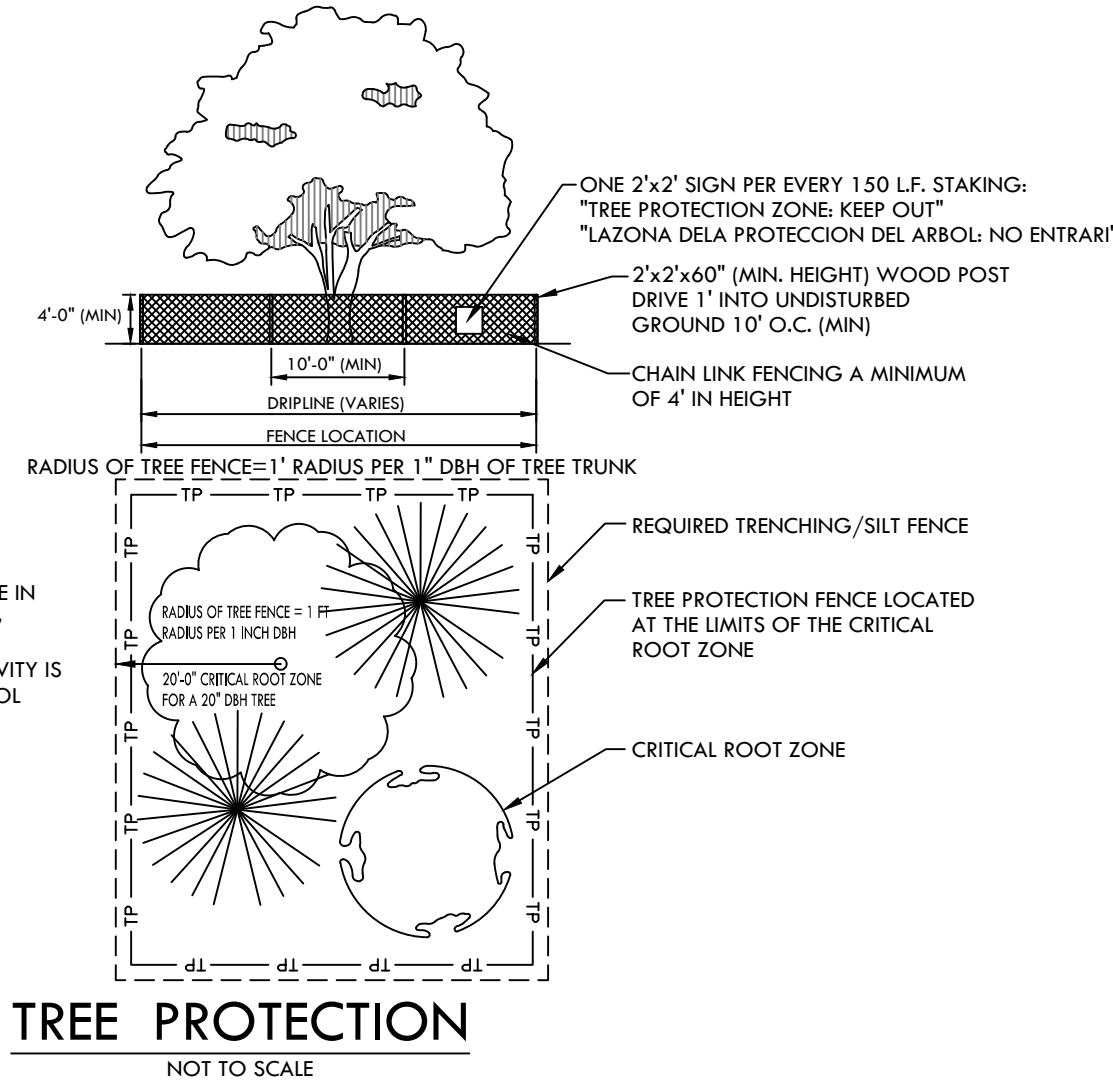
05/04/17

DATES OF ISSUANCE
△

TITLE
TREE CANOPY
PRESERVATION/
REMOVAL PLAN

SHEET
L3.0

THIS DRAWING IS THE PROPERTY OF HEREFORD DOOLEY ARCHITECTS. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT. IT SHALL BE RETURNED UPON REQUEST. COPYRIGHT AS DATED HEREFORD DOOLEY ARCHITECTS. NOT VALID UNLESS SIGNED AND SEALED.



NOTE: ALL TREE PROTECTION FENCING SHALL BE IN PLACE PRIOR TO THE ISSUANCE OF A GRADING PERMIT AND SHALL BE MAINTAINED IN GOOD WORKING ORDER UNTIL CONSTRUCTION ACTIVITY IS COMPLETED. ANY REQUIRED EROSION CONTROL MEASURES SHALL BE PLACED OUTSIDE OF ANY PROTECTION FENCE.

TREES TO REMAIN 14"+ TREES

SIZE/TYPE	HEALTH
36" ELM	G
14" HACKBERRY	G
36" ELM	G
24" HEDGE APPLE	G
24" HEDGE APPLE	G
30" ELM	G
30" ELM	G
14" HACKBERRY	G
14" HACKBERRY	G
30" ELM	G
14" HACKBERRY	G
14" ELM	G
14" ELM	G

CREDIT TOWARD SITE ACI REQUIREMENTS FOR PRESERVED TREES: INCHES = 77"x1.00=77" 4 TOTAL TREES CREDITED

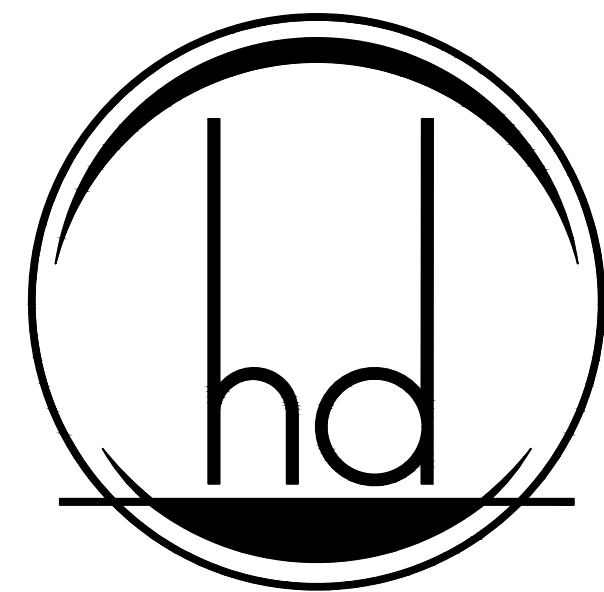
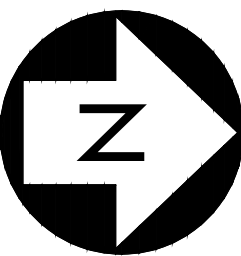
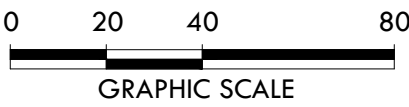
SPECIMEN TREES TO BE REMOVED

PT. NO.	SIZE/TYPE	HEALTH

TOTAL HEALTHY TREES REMOVED (0) - 0" HEALTH DESIGNATOR : (G)GOOD; (F)FAIR; (P)POOR

LANDSCAPE DATA

SITE ACREAGE:	3.53 Ac.
EFFECTIVE DEVELOPABLE SITE AREA:	2.9 Ac.
SITE ZONING CLASSIFICATION:	GENERAL OFFICE (GO)
APPLICABLE OVERLAY:	MECO-4
DEVELOPMENT STANDARD:	CONVENTIONAL
MIN. REQUIRED LANDSCAPE SURFACE AREA:	0.30
ACREAGE	1.06 Ac.
PROVIDED LANDSCAPE SURFACE AREA:	.46
RATIO	1.63 Ac.
ORIGINAL TREE CANOPY COVER:	70.3%
PERCENT	2.48 Ac.
ACREAGE	18%
TREE CANOPY COVER PROVIDED:	0.448 Ac.
PERCENT	9.7%
ACREAGE	0.241 Ac.
SPECIMEN TREES REMOVED (HEALTHY TREES)	0
TOTAL DBH	0"



HEREFORD · DOOLEY ARCHITECTS

1720 WEST END AVE · SUITE 300
NASHVILLE · TENNESSEE · 37203

P · 615 · 244 · 7399
F · 615 · 244 · 6697

WWW.HDARCHITECTS.COM

05/04/17

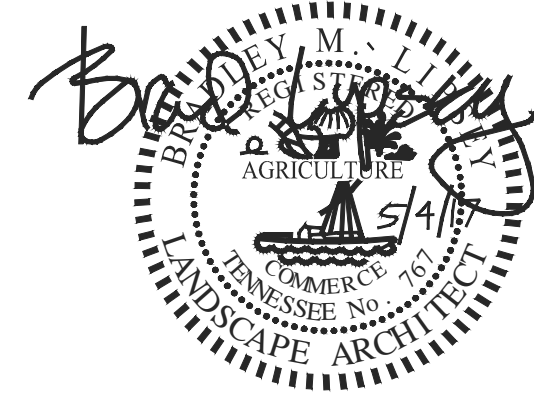
PROJECT
216042.00

LOCATION
1217 Liberty Pike
Franklin TN 37067

CLIENT
Prime Health Services

Carothers
Development
Subdivision, Site
Plan, Revision 1
(Prime Health)
C.O.F. # 6323

CONSTRUCTION DOCUMENTS

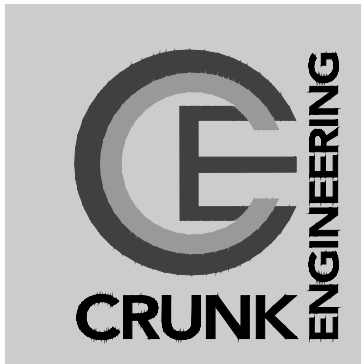


05/04/17

DATES OF ISSUANCE
△

TITLE
SPECIMEN TREE
PRESERVATION/
REMOVAL PLAN

SHEET
L3.1



CRUNK ENGINEERING LLC

1894 GENERAL GEORGE PATTON DR.
SUITE 600
FRANKLIN, TN 37067
(615) 873-1795

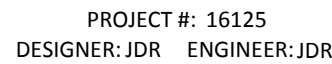
WWW.CRUNKENG.COM



Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Max/Min
FC @ GRADE	Illuminance	Fc	0.75	2.8	0.2	14.00
Prop Line	Illuminance	Fc	0.02	1.1	0.0	N.A.

[P65] Pedestrian / bicycle lane distribution
[S60] Streetlighting distribution

* Nominal lumen output based on LED manufacturers data at 85°C T_j. For rated lumens at 25°C T_a and latest data refer to www.wu-ef.com.
* Multiplier for Isolux value



P · 615 · 244 · 7399
F · 615 · 244 · 6697

WWW.HDARCHITECTS.COM

11/14/16

7110 Crossroads Blvd. Suite 100,
Brentwood TN 37027

Prime Health Services

PRIME HEALTH
OFFICE BUILDING

DESIGN DEVELOPMENT



JDR

5/05/17

△ DATES OF ISSUANCE

TITLE SITE PLAN -
LIGHTING CALCS

E100

North Elevation		
	Surface Area	% of Net
Gross of Wall	8109	N/A
Net of Wall	5826	N/A
Arriscraft Building Stone	671	12%
Brick 1-	2675	46%
Brick 2-	2295	39%
Brick 3-	185	3%

North Elevation			
	Material Name	Material Type	Material Color
A	Arriscraft Building Stone	Thin-Clad Renaissance Units	Limestone
B1	Brick	Taylor - Norman Size - Wirecut Texture	#343 Gray
B2	Brick	Cloud Ceramics - Norman Size - Velour Texture	Midnight IS
B3	Brick	Cloud Ceramics - Norman Size - Smooth Texture	Midnight IS

- HIGHER PARAPET LEVEL
43' - 4"
- UPPER PARAPET LEVEL
38' - 0"
- LOWER PARAPET LEVEL
32' - 8"
- ROOF LEVEL
28' - 0"

- LEVEL 2
14' - 0"
- LEVEL 1
0' - 0"

metal entrance
canopy to match
window mullions

- PARKING GARAGE
-14' - 0"

2 North
SCALE: 1/8" = 1'-0"

field color B1
(typical all ramps and stairs)

- A (3) 8" units
- B3 (2) soldier courses
- A (1) 8" units
- A (1) 4" units

typical "cornice"

B2 typical accent color
(inset from field brick)

B2

A (1) 4" units

A (1) 8" units

A (1) 4" units

A (1) 8" units

B2 typical accent color
(inset from field brick)

B1 typical field color

South Elevation			
	Material Name	Material Type	Material Color
A	Arriscraft Building Stone	Thin-Clad Renaissance Units	Limestone
B1	Brick	Taylor - Norman Size - Wirecut Texture	#343 Gray
B2	Brick	Cloud Ceramics - Norman Size - Velour Texture	Midnight IS
B3	Brick	Cloud Ceramics - Norman Size - Smooth Texture	Midnight IS

South Elevation		
	Surface Area	% of Net
Gross of Wall	7325	N/A
Net of Wall	5230	N/A
Arriscraft Building Stone	490	9%
Brick 1-	2190	42%
Brick 2-	2365	45%
Brick 3-	185	4%

- (3) 8" units A
- (2) soldier courses B3
- (1) 8" units A
- (1) 4" units A

typical "cornice"

typical accent color B2
(inset from field brick)

B2

(1) 4" units A

(1) 8" units A

(1) 4" units A

(1) 8" units A

typical accent color B2
(inset from field brick)

B2

typical field color B1

B1 field color
(typical all ramps and stairs)

- HIGHER PARAPET LEVEL
43' - 4"
- UPPER PARAPET LEVEL
38' - 0"
- LOWER PARAPET LEVEL
32' - 8"
- ROOF LEVEL
28' - 0"

- LEVEL 2
14' - 0"

metal entrance
canopy to match
window mullions

- LEVEL 1
0' - 0"

- PARKING GARAGE
-14' - 0"

1 South
SCALE: 1/8" = 1'-0"



HEREFORD · DOOLEY
ARCHITECTS

1720 WEST END AVE · SUITE 300
NASHVILLE · TENNESSEE · 37203

P · 615 · 244 · 7399
F · 615 · 244 · 6697

WWW.HDARCHITECTS.COM

05/04/2017

PROJECT
LOCATION
CLIENT

216042.00

7110 Crossroads Blvd. Suite 100,
Brentwood TN 37027

Prime Health Services

PRIME HEALTH
OFFICE BUILDING

NOT FOR
CONSTRUCTION



William E. Hereford III

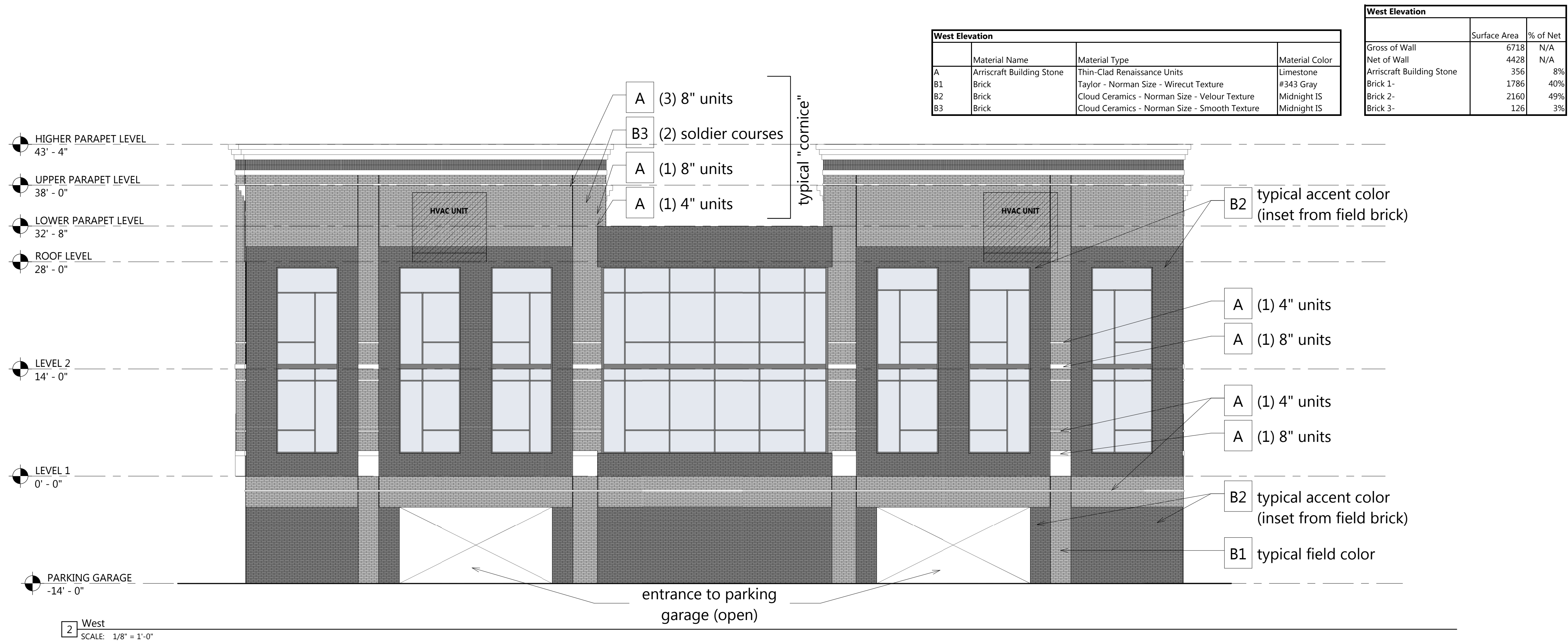
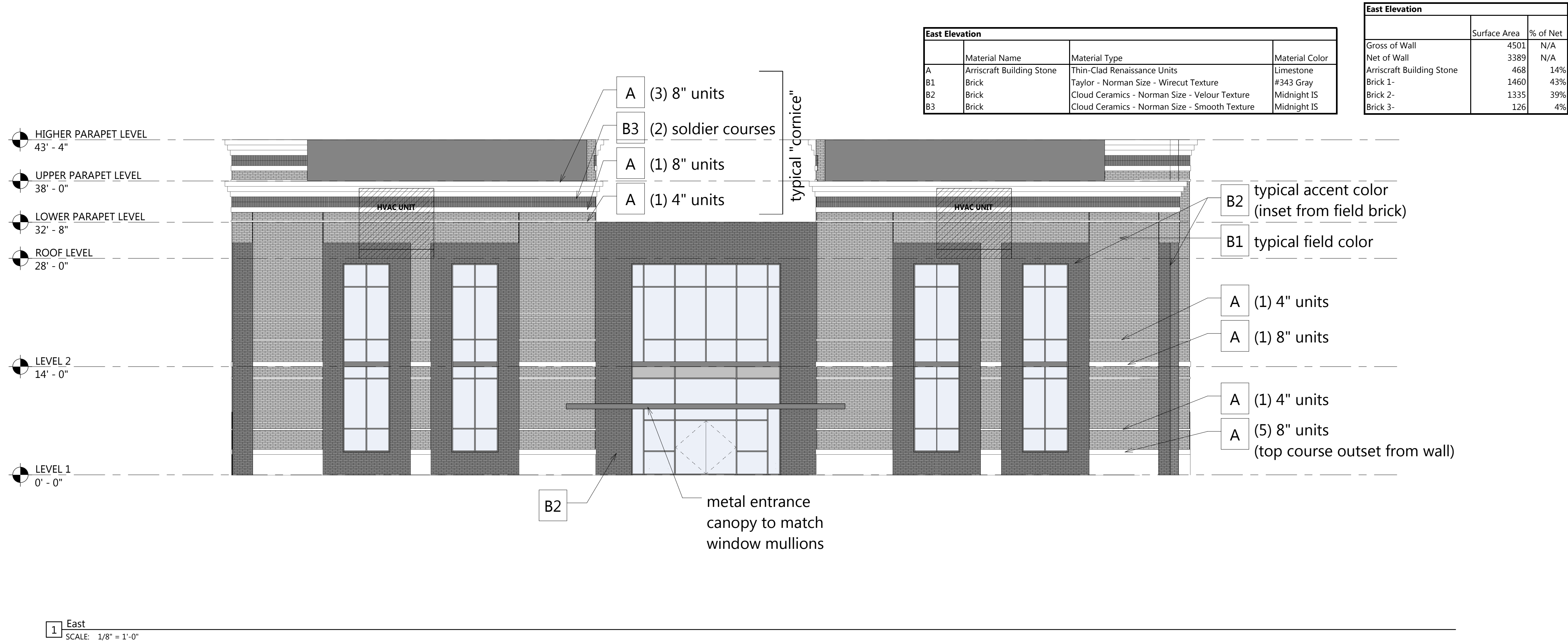
05/04/2017

DATES OF ISSUANCE

SHEET
TITLE

EXTERIOR
ELEVATIONS

A200



HEREFORD · DOOLEY

ARCHITECTS

1720 WEST END AVE · SUITE 300
NASHVILLE · TENNESSEE · 37203

P · 615 · 244 · 7399
F · 615 · 244 · 6697

WWW.HDARCHITECTS.COM

05/04/2017

PROJECT

216042.00

LOCATION

7110 Crossroads Blvd, Suite 100,
Brentwood TN 37027

CLIENT

Prime Health Services

PRIME HEALTH
OFFICE BUILDING

NOT FOR
CONSTRUCTION



William E. Hereford III

05/04/2017

DATES OF ISSUANCE

SHEET

TITLE
EXTERIOR
ELEVATIONS

A201