7007 MOORES LANE PUD LOT 1 - IMAC REGENERATIVE CENTER SITE PLAN 7007 MOORES LANE CITY OF FRANKLIN, WILLIAMSON COUNTY, TENNESSEE MAP 036, PARCEL 55.02

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OWNER / DEVELOPER

ELM HILL DEVELOPMENT CORP. 403 GRANNY WHITE PIKE BRENTWOOD, TN 37027 CONTACT: LARRY BEADLE PH: (615) 948-7644 E-MAIL: larry.beadle@colliers.com

ENGINEER



CIVIL SITE DESIGN GROUP 630 SOUTHGATE AVE, SUITE A NASHVILLE, TN 37203 CONTACT: SEÁN DECOSTER PH: (615) 248-9999 E-MAIL: seand@civil-site.com

SURVEYOR

CRAWFORD & CUMMINGS, PC 1929 21ST AVENUE SOUTH NASHVILLE, TN 37212 CONTACT: J. ALAN CUMMINGS PH: (615) 292-2661 E-MAIL: alan@ccsurveyors.net

LANDSCAPE ARCHITECT

GAMBLE DESIGN COLLABORATIVE 144 SOUTHEAST PARKWAY, SUITE 200 FRANKLIN, TN 37064 CONTACT: KELI FRYMIRE PH: (615) 415-6855 E-MAIL: kelireneefry@gmail.com

ARCHITECT

H. MICHAEL HINDMAN ARCHITECTS, PC 1607 WESTGATE CIRCLE, #100 BRENTWOOD, TN 37027 CONTACT: CHRÍS ALEXANDER PH: (615) 370-3252 E-MAIL: calexander@hmharchitects.com

DRWN BY:	CHKD BY:	DATE	COMMENTS	REV.
LEB	SKD	08/22/16	PRE-APP SUBMITTAL	
LEB	SKD	09/12/16	SITE PLAN SUBMITTAL	
LEB	SKD	10/06/16	CITY COMMENTS	

Stormwater Pollution Prevention Plan Notes:

- The contractor is responsible for making sure that a copy of the SWPPP is retained on-site at or near the construction entrance. If a construction trailer in not available, the contractor shall provide a waterproof enclosure near the construction entrance to place the SWPPP. In addition to the SWPPP, the contractor shall make certain that the following information must also be posted at the construction site (in a construction trailer or in the waterproof enclosure):
- a) A copy of the notice of coverage (NOC) with the NPDES permit tracking number for the construction project number b) name, company name, email address, telephone number and address of the project
- site owner or a local contact person c) a brief description of the project
- d) the location of the SWPPP if an on-site location for storing the plan is not available.
- The owner of this project site will provide erosion control measures as shown on this SWPPP. Once the owner sells this property, the new property owner will be required to obtain coverage under this permit from the governing federal, state and local agencies and the new property owner shall assume operational control and responsibility for the portion of the site that he/she purchases
- 3. Prior to the commencement of any clearing or grubbing, the contractor shall erect "construction fencing", tree protection fencing, caution tape, etc. along the limits of disturbance to protect trees, stream bank buffers, etc. that are not to be disturbed.
- 4. Prior to any type of construction activity, the contractor shall install the stone based construction exit, the silt fence and the sediment traps/basins when indicated on the SWPPP. Additional erosion control measures such as rock check dams, diversion swales, temporary creek crossings, temporary mulching of disturbed areas, final seed and straw application and general erosion control maintenance shall be provided as construction progresses and these measures become necessary. The contractor shall be responsible for implementing all of the erosion control measures.
- All erosion control measures shall be installed and maintained in accordance with the manufacture's specifications and recommendations. It is the purpose of all control measures to slow runoff so that rill and gully formation is prevented. The contractor shall inspect the control measures periodically and replace and/or modify the controls for relevant site situations.
- Where the application of temporary or permanent grass seed is specified as part of the SWPPP, the contractor shall use an appropriate grass seed mixture for the time of year that the seed is sowed. Use fescue during the spring and summer months and a mixture of fescue and winter rve during the fall and winter months. Sow at a rate of 6 lbs, per 1000 sq.ft. of area. Provide adequate amounts of water to establish a healthy stand of grass.
- 7. If sediment escapes the construction site, it is the contractor's responsibility to remove the sediment that has escaped the site. The contractor shall obtain the permission of the landowner where the sediment has accumulated before removal can begin. If sediment enters a stream, the contractor must also gain the written permission of the State before remediation/restoration can begin.
- The contractor shall remove sediment from sediment traps, silt fences, sedimentation ponds, and other sediment controls as necessary and must be removed when capacity has been reduced by 33%.
- 9. Litter, construction debris and construction chemicals exposed to storm water shall be picked up and removed from the site to prevent them from becoming a pollutant source for storm water discharges. After use, materials used for erosion prevention and sediment control should be removed from the site.
- 10. There are no other construction activities or industrial activities associated with this project site that are covered under a separate permit.
- 11. There is a stream on this site, however, no part of the proposed construction is within the banks of the stream, therefore no additional permits associated with these features are required.
- 12. All earth stockpiles, whether on the project site or off-site shall include erosion control measures to prevent the material from be washed from the site by storm water runoff.
- 13. Clearing and grubbing must be held to the minimum necessary for grading and equipment operation.
- 14. Construction must be phased for projects in which over 50 acres of soil will be disturbed. Areas of the completed phase must be stabilized with in 15 days. No more than 50 acres of active soil disturbance is allowed at any time during the construction project.
- 15. For projects that have a disturbed area of greater than 50 acres, the contractor shall provide a phasing plan to only disturb 50 acres or less at one time. Submit the phasing plan to the state and local agencies for their review.
- 16. Erosion prevention and sediment control measures must be in place and functional moving operations begin and must be constructed and maintain throughout the construction period. Temporary measures may be removed at the beginning of the workday, but must be replaced at the end of the workday.
- 17. The contractor shall maintain a rain gauge and daily rainfall records at the site.
- 18. The contractor shall initiate stabilization measures in portions of the site where construction activities have temporarily or permanently ceased. Temporary or permanent soil stabilization at the construction site must be completed no later than 15 days after the construction activity on that portion of the site has temporarily or permanently ceased.
- 19. The contractor shall construct temporary diversion swales to divert off-site runoff from crossing the disturbed areas. These diversion swales, when necessary, shall be field located to avoid existing trees wherever possible.
- 20. No work shall be allowed in or around streams or wetlands without the proper permits. Prior to the commencement of any construction activities in these areas, the contractor shall obtain a copy of the permits from the property owner, which allows this work. He shall not begin work without obtaining a copy of these permits or stiff fines from the federal and state agencies may be levied.
- 21. Muddy water to be pumped from excavation and work areas must be held in settling basins or filtered prior to its discharge into surface waters. Water must be discharged through a pipe, well-grassed or lined channel or other equivalent means so the discharge does not cause erosion and sedimentation. Discharged water must not cause an objectionable color contrast with the receiving stream.
- 22. After construction in complete, all disturbed areas, which are not covered with impermeable surface (i.e. asphalt, concrete, buildings, etc.), shall be covered with topsoil (4-inch thick minimum), grass seed and straw. The contractor shall maintain the seed and straw until a solid, healthy stand of permanent grass covers the disturbed
- 23. Silt fence shall be used along the lower edge of disturbed areas that have sheet flow runoff. Where runoff is concentrated (such as swales and ditches), bumpus fences or rock check dams shall be used to slow the velocity and allow settling of sediment.
- 24. All construction and waste material shall be collected and removed from the site on a periodic basis. All construction and waste material shall be located outside of any existing or proposed drainage ways and shall be covered and protected from the rain until they are removed from the site. Any liquid materials or chemicals stored on-site shall be located away from any existing or proposed drainage ways and a berm of sufficient height to contain the entire volume of the liquid shall be constructed to completely encompass and impound the stored materials to prevent a spill from flowing off of the site.
- 25. All soil, plants, trees and other vegetation in protected streams and wetlands and along the banks of same are protected by State law and therefore a prohibited from being removed. The contractor shall ensure that these areas remain undisturbed during construction. Contractor shall erect construction barriers or take other means necessary to insure that the areas remain protected.
- 26. The contractor shall employee a person to inspect the erosion control measures as required by the State and local agencies. The inspector must have successfully completed the "Fundamentals of Erosion Prevention and Sediment Control" course provided by the State. A copy of the certification or training record for inspector certification should be kept on site.
- 7. Inspections described in the Tennessee General Permit shall be performed at least twice every calendar week and shall be performed at least 72 hours apart. Inspect all erosion control measures, disturbed areas, storage of material areas, outfall points, construction access points, etc.
- 28. Inspections shall also be performed before anticipated storm events (or series of storm events such as intermittent showers over one or more days), and within 24 hours after the end of a storm event of 0.25 inches or greater.
- 29. Any inadequate control measures or control measures in disrepair shall be replaced or modified or repaired as necessary before the next rain event if possible, but in no case more than 7 days after the need is identified. The contractor shall provide additional

erosion control measures where necessary to insure adequate control so that no silt exits the project site.

- 30. Inspections shall be documented and include: the scope of the inspection, name and title of personnel making the inspection, the date of the inspection, major observations relating to the implementation of the storm water pollution prevention plan (including the location of discharges of sediment or other pollutants from the site and of any control device that failed to operate as designed or proved inadequate fro a particular location), and actions taken in accordance with the General Permit. Inspections documentation will be maintained on site and made available upon request. Inspection reports must be submitted to the State (TDEC) within 10 days of the request. Use the inspection report form provided in Appendix C of the General Permit and complete on a weekly basis.
- 31. Sediment removed from sediment control structures is to be placed at a site that has been permitted by local and state agencies. The contractor is responsible for obtaining the site to "waste" the sediment material. The sediment shall be treated in a manner so that the area around the disposal site will not be contaminated or damaged by the sediment in the storm water run-off. Cost of this treatment is to be included in the price for the earthwork.
- 32. The contractor shall seed and straw all disturbed areas as soon as possible after final grading is completed, unless otherwise indicated. The contractor shall take whatever means necessary to establish permanent soil stabilization. Any areas that do not include construction activity for more than 14 days shall be temporarily covered with straw to help prevent erosion.
- 33. Remove sediment from all drainage structures, pipes and swales before acceptance by the developer or the local governing agency.
- 34. Remove the temporary erosion and water pollution control devices only when in the opinion of the owner's representative, they are no longer needed.
- 35. During the period between the end of the construction and the establishment of the permanent vegetation, erosion control measures shall remain in place and maintained. Once permanent vegetation is established, then the erosion control measures may be removed.
- 36. All sediment & erosion control measures have been designed for the 5-year, 24-hour storm event
- 37. All stormwater BMPs have been designed in accordance with the city's best management practices stormwater management manual.
- 38. Installation of water quality BMPs shall follow all installation guidelines set forth in the city of Franklin BMP manual.
- 39. Water quality (bioretention) areas shall not be used as sediment basins during construction in order to minimize compaction and sediment accumulation during construction
- 40. This SWPPP is developed in accordance with the Tennessee General NPDES Permit (TNR100000) for storm water discharges associated with construction activity (TNCGP), and is prepared using sound engineering practices. Civil Site Design Group P.L.L.C. personnel involved with the development of this plan have completed the design of vegetative and structural measures for erosion and sediment control course available from the State of Tennessee.
- As instructed by Part III.F of the TNCGP, this plan and all attachments are hereby submitted to the local Environmental Assistance Center (EAC), along with the complete correctly signed Notice of Intent (NOI). Construction will not be initiated prior to 30 days from the date of submittal of this document, or prior to receipt of a Notice of Coverage (NOC) from the Tennessee Department of Environment and Conservation (TDEC).

Site Grading, Drainage & Erosion Control Notes:

- 1. The disturbed area for this project is approximately 1.01 acres. 2. The contractor shall comply with all pertinent provisions of the manual of accident
- health regulations of construction issued by the U.S. Department of Labor. 3. The contractor shall call "Tennessee One Call" (1-800-351-1111) 72 hours prior to

prevention and construction issued by AGC of America, Inc. and the safety and

- proceeding with any excavation. 4. If any springs or underground streams are exposed during construction,
- permanent French drains may be required. The drains shall be specified and located during construction as required by the conditions which are encountered, and shall be approved by the engineer.
- 5. Stockpiled topsoil or fill material shall be treated so no sediment run-off will contaminate surrounding areas or enter nearby streams.
- 6. Clean silt barriers when they are approximately 50%%% filled with sediment or as directed by the owner's representative. Silt barriers shall be replaced as effectiveness is significantly reduced, or as directed by the owner's representative.
- 7. All new pipes under existing paved areas shall be backfilled to the top of subgrade with # 57 crushed stone.
- 8. Sediment removed from sediment control structures is to be placed at a site approved by the local governing authority. It shall be treated in a manner so that the area around the disposal site will not be contaminated or damaged by the sediment in the run-off. Cost for this treatment is to be included in the bid price for earthwork. The contractor shall obtain the disposal site as part of his work.
- 9. Reinforced concrete storm drainage pipe shall be Class III. Corrugated metal pipe shall be 14 gauge unless otherwise noted.
- 10. Minimum grade on asphalt or concrete paving shall be 1.0%.
- 11. Construct silt barriers before beginning any grading operations.
- 12. This grading & drainage plan is not a determination or guarantee of the suitability of the subsurface conditions for the work indicated. Determination of the subsurface conditions for the work indicated is solely the responsibility of the contractor.
- 13. Do not disturb vegetation or remove trees except when necessary for grading purposes.
- 14. Top of grate elevations and location of coordinates for drainage structures shall be installed as shown on the plan unless otherwise noted. The grates shall slope longitudinally with the pavement grades. Coordinates provided are for the center of the grate (at the face of curb where applicable).
- 15. Any site used for disposal and/or stockpile of any material shall be properly permitted for such activity. It is the responsibility of the contractor to see that all required permits are secured for each property utilized. A copy of the approved permit must be provided to the inspector prior to commencement of work on any property. Failure to do so may result in the contractor removing any illegally placed material at his own expense.
- 16. Respread topsoil (4 inch minimum thickness), seed, and straw all disturbed areas as soon as possible after final grading is completed, unless otherwise indicated. Contractor shall take whatever means necessary to establish permanent soil stabilization
- 17. Proposed contour lines and spot elevations are the result of an engineered grading design and reflect a planned intent with regard to drainage and movement of materials. Should the contractor have any question of the intent or any problem with the continuity of grades, the engineer shall be contacted immediately.
- 18. All cut and fill slopes shall be 3 horizontal to 1 vertical or flatter unless otherwise indicated on plans.
- 19. Positive drainage shall be established as the first order of work and shall be maintained at all times during and after construction. Soil softened by perched water in foundation and pavement areas must be undercut and replaced with suitable fill materials
- 20. Remove sediment from all drainage structures before acceptance by local governing agency, or as directed by the owner's representative.
- 21. Contractor shall conform to all applicable codes and obtain approval as necessary before beginning construction.
- 22. Remove the temporary erosion and water pollution control devices only after a solid stand of grass has been established on graded areas and when in the opinion of the owner's representative, they are no longer needed.
- 23. Provide temporary construction access(es) at the point(s) where construction vehicles exit the construction area. Maintain public roadways free of tracked mud and dirt.
- 24. All earthwork, including the excavated subgrade and each layer of fill, shall be monitored and approved by a qualified geotechnical engineer, or his representative.
- 25. All fill material on this project shall be approved by the geotechnical engineer prior to placement. This material shall be placed in lifts and compacted as directed by the geotechnical engineer. The contractor shall be responsible for employing a geotechnical engineer if one is not provided by the owner.
- 26. All drainage construction materials and installation shall conform to the requirements and specifications of the local governing agency.
- 27. It shall be the contractor's responsibility to waste excess earth material off site at no additional cost to the owner. The contractor shall first offer the excess material to the owner. If not accepted by the owner, the contractor shall dispose of earth material off site. It shall also be the contractor's responsibility to import suitable material (at no additional cost to the owner) for earthwork operations if sufficient amounts of earth material are not available on site.
- 28. The contractor shall check all existing grades and dimensions in the field prior to beginning work and report any discrepancies to the engineer. Commencement of any grading work constitutes the contractor's acceptance of the existing grade as matching those shown on the plans.
- 29. Strip topsoil from all cut and fill areas and stockpile. Upon completion of general grading respread the topsoil over all disturbed areas, to a minimum depth of 4". Contractor shall supply additional topsoil if insufficient quantities exist on site. Remove any excess topsoil from site.
- 30. The contractor shall take special care to compact fill sufficiently around and over all pipes, structures, valve stems, etc., inside the proposed paved areas to avoid settlement. Any settlement during the warranty period shall be restored by the contractor at no additional cost to the owner.
- 31. In no case shall slope height, slope inclination, or excavation depth, including trench construction, exceed those specified in local, state and federal regulations, specifically the current OSHA Health and Safety Standards for Excavations (29 CRF Part 1926) shall be followed.
- 32. All fill slopes and cut slopes on this project shall be reviewed by the owner's geotechnical engineer during construction to confirm that the slopes are (will be) stable. It is the contractor's responsibility to have this confirmation in writing from the geotechnical engineer.
- 33. All fill on this project shall be installed and compacted in accordance with the owner's geotechnical engineer's recommendation. The owner's geotechnical engineer shall review all filling operations to confirm the earthwork is properly installed and compacted. It is the contractor's responsibility to have this conformation in writing from the geotechnical engineer.
- 34. Relocation of existing plant materials shall be coordinated with the owner and relocated to a designated area on site.
- 35. All horizontal and vertical information of proposed culverts shown hereon which accept/discharge flows to/from existing channels are approximate utilizing topographic drawings. The final horizontal and vertical alignments shall be field located by the contractor prior to the ordering of materials or commencement of construction and shall notify the engineer of any
- 36. The contractor shall coordinate the exact location of the storm drain connections at the building with the plumbing plans.
- 37. The location of all diversion swales and ditches shall be field adjusted to avoid trees as possible. The contractor shall walk the alignment of these swales and ditches in the field to verify avoidance of trees.

General Notes:

- 1. Base information was taken from a survey prepared by Crawford & Cummings, PC, dated August 5, 2016. Civil Site Design Group, P.L.L.C. and any of their consultants shall not be held responsible for the accuracy and/or completeness of that information
- 2. Provide a smooth transition between existing pavement and new pavement. Slight field adjustment of final grades may be necessary.
- 3. All roadway, driveway, sidewalk, and curb construction shall conform to the requirements and specifications of the local municipality codes and requirements.

shown hereon or any errors or omissions resulting from such.

- 4. Concrete for curbs and sidewalks shall be 3500 PSI concrete unless required otherwise by local codes.
- 5. The site layout is based on control points as noted.
- 6. The contractor shall conform to all local codes and receive approval where necessary before commencement of any construction
- 7. All site related construction materials and installation shall conform to local governing agency regulations and specifications.
- 8. Handicap ramps shall have a maximum slope of 1:12.
- 9. All pavement materials and construction shall conform to the local governing agency and state D.O.T. standards and specifications.
- 10. The contractor shall check all existing conditions, (i.e. inverts, utility routings, utility crossings, and dimensions) in the field prior to commencement of any utility work. Report any discrepancies to the owner's representative. The contractor shall repair any damage caused during construction to existing features (i.e. pavement, sidewalks, curbs, utilities, etc.), at his own expense, to the standards of the preconstruction condition or better.
- 11. Dimensions are to face of curb and/or exterior face of building unless otherwise noted.
- 12. Curbs shall be parallel to the centerline of drives. The curb shall be placed only after having all break points (PC & PT of curves) located at the face of curb or at a consistent offset by a land surveyor.
- 13. Any work unacceptable to the owner's representative or to the local governing authority shall be repaired or replaced by the contractor at no additional expense to the owner.
- 14. Existing pavement of private or public roadways/drives shall be patched in accordance with the local governing authority's standards wherever utility installation requires removal of the existing pavement. Coordinate pavement trenching locations with site civil, plumbing and electrical plans.
- 15. The contractor shall comply with all pertinent provisions of the "manual of accident prevention in construction" issued by AGC of America, Inc. and the "Safety and Health Regulations for Construction" issued by the U.S. Department of Public Works.
- 16. Contractor shall give all necessary notices and obtain all permits prior to commencement of any construction.
- 17. In the event of any discrepancies and/or errors found in these site drawings, or if problems are encountered during construction, the contractor shall be required to notify the engineer before proceeding with the work.
- 18. The general contractor is particularly cautioned that the location and/or elevation of the existing utilities shown hereon is based on utility company records, and where possible, field measurements. The contractor shall not rely on this information as being exact or complete. The contractor shall call the appropriate utility company at least 72 hours prior to any excavation and request field verification of utility locations. It shall be the contractor's responsibility to relocated existing utilities conflicting with improvements shown hereon in accordance with all local, state, and federal regulations governing such operations.
- 19. Contractor shall exercise extreme caution in the use of equipment in and around overhead and underground electrical wires and services. If at any time in the pursuit of this work the contractor must work in the close proximity of the above-noted wires, the electric company shall be contacted prior to such work and the proper safety measures taken. A thorough examination of the overhead and underground wires in the project area should be made by the contractor prior to the initiation of construction.
- 20. The owner and engineer do not assume responsibility for the possibility that, during construction, utilities other than those shown may be encountered or that actual locations of those shown may be different from locations designated on the contract drawings. In areas where it is necessary that exact locations be known of underground utilities, the contractor shall, at his own expense, furnish all labor and tools necessary to either verify and substantiate or definitely establish the position of underground utility
- scaling drawing.
- 22. These plans, prepared by Civil Site Design Group, do not extend to or include systems 23. The contractor shall be responsible for coordinating the sequencing of construction for all pertaining to the safety of the construction contractor or its employees, agents or representatives in the performance of the work. The seal of the engineering services registered professional engineer hereon does not extend to any such safety systems that may now or hereafter be incorporated into these plans. The construction contractor shall prepare or obtain the appropriate safety systems which may be required by U.S. Occupational Safety and Health Administration (OSHA) and/or local regulations.
- 23. In the case of conflict between this drawing and any other drawing and/or the specifications, the engineer shall be immediately notified for clarification.

Site Utility Notes:

- copper. The public water line and the fire service line shall be class 52 ductile iron pipe.
- unless otherwise required by the local water department.
- concurrently with the contractor's operations.
- 4. The contractor shall comply with all pertinent provisions of the manual of Accident Prevention and Construction issued by AGC of America.
- Provide a minimum 36" of cover over all water lines unless required otherwise by the local water department
- All water lines, sewer lines, and appurtenances shall be of materials and construction that conform to the local water department/district's requirements and specifications.
- 7. Coordinate the exact location of all utilities entering the building with the plumbing plans. Safeguard existing utilities from damage during construction of this project. In the event that
- special equipment is required to work over and around the utilities, the contractor will be required to furnish such equipment at no additional cost to the owner.
- Reduced Pressure Backflow Preventer (RPBP) or dual check valves will be required on all test and fill lines (jumper) needed for water main construction and must be approved by the local water department/district.
- 10. All connections to existing manholes shall be by the coring and resilient seal method.
- allow the required bracing at bends and tees. 3. The contractor shall provide all horizontal and vertical bends to attain the alignment indicated on the plans. Provide vertical bends where necessary to allow water lines to pass under or over other utility lines. (All bends and braces needed may not be actually shown). Provide bracing and/or rodding at all bends and tees as required by local utility department/district.
- 14. Contractor shall mark the location of all new PVC lines with #8 wire.
- 15. The location of existing utilities shown on these plans are approximate only. The contractor shall notify each individual utility owner of his plan of operation in the area of the utilities. Prior to commencing work, the contractor shall contact the utility owners and request them to properly locate their respective utility on the ground in the area of private utility lines. The contractor shall have an underground locator mark the location of the existing lines. This notification shall be given at least three (3) business days prior to commencement of operations around the utility.
- 16. Fire hydrant assemblies include the appropriate sized tee (with kicker), 6" line to hydrant, 6" gate valve (with valve box), and fire hydrant (with kicker). Hydrants shall be installed at locations within 7 feet of the curb, (minimum of 2 feet behind curb).
- Where drainage or utility lines occur in proposed fill areas, the fill material shall be placed and compacted in accordance with the specifications and the Geotechnical Engineer recommendations prior to installation of drainage or utility lines. Fill is to be inspected by a professional Geotechnical Engineer testing firm employed by the owner. Results of the test shall be furnished to the owner's representative. Contractor shall pay for any retesting.
- 18. The contractor shall field verify the exact horizontal and vertical location of existing manholes, sanitary sewer lines, and water lines at the point of connection prior to the commencement of construction or ordering materials, report any discrepancies to the engineer immediately.
- 19. Repair existing pavement, curbs, walks, landscaping, etc. that are damaged by construction activities to a like new condition at no additional cost to the owner.
- 20. Sanitary sewer services shall be 6" diameter PVC (SDR 35) at a minimum slope of 1.0% unless shown otherwise on the drawings. Lines shall start 5' beyond the buildings. Coordinate connection points with the building plumbing drawings. Provide a minimum 30" of cover over all sewer services in grass areas and 48" of cover in paved areas.
- I. Some utilities can be located by call the "Tennessee One Call" System, Inc. The contractor shall call "Tennessee One Call" (1-800-351-1111) 72 hours prior to proceeding with any excavation.
- 21. Drawing is a reproduction and subject to distortion. Please verify graphic scale before 22. The concrete caps and encasements on water and sewer lines shall be a minimum of 6" thick. Use 3000 PSI concrete
 - utility lines so that water lines do not conflict with sanitary sewers, sanitary sewer services, storm sewers, or any other utility or structure, existing or proposed.
 - 24. All trenches cut in existing roads or drives shall utilize a clean saw cut and shall be backfilled (100%) to final sub grade with #57 stone. Repair pavement in accordance with the local governing agency requirements.
 - 25. Existing manholes located in fill/cut areas shall be adjusted to ensure that the top of casting is flush with the finished grade.
 - 26. The contractor shall maintain 10 feet horizontal separation between sanitary sewer lines and water lines. Where these criteria cannot be met, the contractor shall maintain 18" vertical separation between water and sewer lines.

 - the contractor.
 - electric company by the contractor.
 - 30. The proposed telephone line construction and installation shall be coordinated with the local telephone company by the contractor.
 - 31. Siamese stand pipe to be galvanized steel.
 - 32. The flow test information shown on this plan is for general information purposes only. It shall be the sprinkler designer / contractor's responsibility to have their own flow test preformed and their sprinkler design shall be based on their flow test.
 - 33. If the double detector check valve assembly is located outside of the building the pit shall include a ¼ hp sump pump. Use Myers model S25 or approved equal. Discharge pipe shall extend to the surface and be directed toward the street. Provide a 12-inch by 12-inch by 4-inch thick concrete splash pad at the discharge point. The contractor shall coordinate with the electrical contractor to insure electrical service is provided from the building to the pit for electrical service for the pump.
 - 34. If the reduced pressure backflow preventer is located outside of the building it shall be installed with a heated enclosure. enclosure shall be a safe-t-cover (6-inch model) with heat or approved equal. heat shall be safe-t-cover model hch2000-120 (2,000 watt, 120 volt, single phase, 16.66 amp) or approved equal. the contractor shall confirm the enclosure model number with the safe-t-cover supplier based on the model / manufacturer of backflow preventer that the contractor is using. the contractor shall coordinate with the electrical contractor to insure electrical service is provided from the building to the enclosure for electrical service for the heat.
 - 35. The 1-inch irrigation reduced pressure backflow preventer shall be installed with a heated enclosure. Enclosure shall be a Safe-T-Cover (1-inch model) with heat or approved equal. Heat shall be Chromalox self-regulating heating cable (5 watt per foot, 120 volt, 10 amp) or approved equal. The contractor shall confirm the enclosure model number with the Safe-T-Cover supplier based on the model / manufacturer of backflow preventer that the contractor is using. The contractor shall coordinate with the electrical contractor to insure electrical service is provided from the building to the enclosure for electrical service for the
 - 36. The contractor shall have the meters, backflow devices and enclosures approved by Franklin Water Management before ordering or installing.
 - 37. City of Franklin is not a member of the Tennessee One Call utility location system. Contact City of Franklin directly to locate City of Franklin utilities.

1. The sanitary sewer line shall be PVC-SDR 35. The domestic water line shall be Type K

2. Water meters shall be no deeper than 24" from the top of meter to proposed finished grade

3. Prior to submitting his bid, the contractor will be solely responsible for contacting owners of all affected utilities in order to determine the extent to which utility relocations and/or adjustments will have upon the schedule of work for the project. While some work may be required around utility facilities that will remain in place, other utility facilities may need to be adjusted

- Before connections are made into existing utilities, the new lines are to be flushed and tested by the contractor in accordance with the local water department/district specifications.
- 12. The contractor shall adjust the alignment of the water lines (horizontally and/or vertically) to

- 27. The fire line shall be installed by a sprinkler contractor licensed in the State of Tennessee. The fire line shall be flushed and tested in accordance with NFPA requirements.
- 28. The proposed gas line construction and installation shall be coordinated with the local gas by
- 29. The proposed electric line construction and installation shall be coordinated with the local

38. If irrigation is provided it will require a separate tap, meter and RPBP.

City of Franklin Grading & Drainage General Notes:

- 1. Grading Permit is required for any project disturbing more than 10,000 sf, adding more than 5,000 sf of impervious surface or for any site grading requiring stockpiling of material.
- 2. The Developer shall provide the necessary labor and supervision required to support field testing by the independent testing firm and inspections by City officials at no cost to the City. Test reports of field testing if applicable shall be submitted directly to the Street Department. Defects disclosed by tests shall be rectified.
- An authorized representative of the City shall make a final inspection of the project after completion to determine acceptability of the work and for release of performance bonds if required. Before this final inspection can be made, the Engineer responsible for the project shall certify in writing to the City Engineer that
- the work has been completed in accordance with approved plans and specifications. Drainage facilities including, but not limited to, culverts, detention basins and ditches, as well as the roadway sub-grade, base stone and binder & surface coarse shall be inspected, tested and given approval at each stage of installation prior to proceeding to the next stage of construction. Final construction inspection for approval and acceptance of streets and drainage systems will not be granted until all work has
- been completed in accordance with the approved plans Locating and coordination for the relocation of existing utilities is the responsibility of the contractor. Tennessee's One-Call and the City of Franklin utility location service shall be utilized in addition to coordination with local utility owners. The contractor shall at all times protect existing utilities and will be responsible for costs due to damage caused to any utility lines.

City of Franklin EPSC General Notes:

- 1. Sediment shall be removed from silt fence when reaches 1/3 the height of the fence; sediment shall be removed from all other EPSC measures and control as recommended in the TNEPSC Handbook, and must be removed when design capacity has been reduced by 50%.
- 2. EPSC's shall be implemented before earth moving begins. 3. Areas where construction has temporarily/permanently ceased shall be stabilized
- within 15 days (7 days for ≥35% slopes). 4. Inspections of outfalls/EPSC measures shall be conducted at least twice weekly and at least 72 hours apart
- 5. Vegetation, EPSC's and other protective measures shall be repaired, replaced, or modified within 7 days of being notified of an issue. Construction shall be phased for activities that will disturb >50 acres.
- EPSC's shall be designed to control the rainfall and runoff from a 2-year, 24-hour return interval storm; be designed to control the rainfall and runoff from a 5-year, 24-hour return interval storm.
- 8. Temporary sediment basin(s) shall be provided for on-site outfalls that receive drainage from ≥10 acres; ≥5 acres fro sites that discharge to impaired or exceptional TN waters.
- 9. Green infrastructure BMP's shall be protected during site work, with silt fence, to prevent sedimentation and compaction.

City of Franklin ROW & Access General Notes:

- 1. Prior to beginning any construction, the Developer and/or Contractor, shall obtain all necessary permits as required by law. Such permits may include, but are not limited to, those required by State of Tennessee, Williamson County and other City of Franklin agencies.
- 2. All off-site work within the public right-of-way shall require an approved traffic control plan which complies with the MUTCD. No off-site excavation may be undertaken in any street, road, alley or right-of-way of any utility or temporary construction easement of the City of Franklin by any entity unless 72-hour notice has been given to the City of Franklin Traffic Operations Center. The contractor shall have an approved traffic control plan onsite during construction.
- 3. Construction materials shall be fully tested in accordance with the designations and requirements within the referenced "TDOT Standard Specifications" sections, unless otherwise noted within the "Standard Specifications" section of the City of Franklin Transportation & Street Technical Standards.
- 4. An authorized representative of the City shall make a final inspection of the project after completion to determine acceptability of the work and for release of performance bonds if required. Before this final inspection can be made, the Engineer responsible for the project shall certify in writing to the City Engineer that
- the work has been completed in accordance with approved plans and specifications. Locating and coordination for the relocation of existing utilities is the responsibility of the contractor. Tennessee's One-Call and the City of Franklin utility location service shall be utilized in addition to coordination with local utility owners. The contractor shall at all times protect existing utilities and will be responsible for costs due to
- damage caused to any utility lines. 6. All temporary striping shall conform to "Standard Specifications for Road and Bridge onstruction," published by TDOT, the latest revision except as herein amended When approved, temporary striping shall be required prior to the opening of a street for travel where pavement and/or permanent striping cannot be completed due to weather and/or time constraints.
- Thermoplastic pavement markings should be used on all public and private City street projects. Thermoplastic traffic striping and pavement markings shall conform to Section 716.03 "Thermoplastic Pavement Markings", of the Tennessee Department of Transportation Specifications (TDOT), and to the City of Franklin Transportation & Street Technical Standards.







JOB NO.: 16-036-02 COF # 6253

Site Data: Project Name:

Address:

Civil District: Map, Parcels, Group: Owner/Developer:

Site Area: Disturbed Area: Existing Zoning: Proposed Zoning: Character Area Overlay: Building Use: Other Overlays: Incompatible Buffer:

Development Standard: Drainage Basin: Existing Structures: Building setbacks:

Prop. Building Area:11,000Proposed Building Height:37', 2 sMin. Landscape Surface Ratio:0.20Proposed LSR:0.34Required Loading Spaces:1Proposed Loading Spaces:1Bike Parking Required:3Bike Parking Provided:3Parking:See par

IMAC Regenerative Center 7007 Moores Lane Franklin, TN 8th 36, 55.02 Elm Hill Development Corp. 403 Granny White Pike Brentwood, TN 37027 Contact: Larry Beadle Phone: (615)948-7644 ±48,957 sf / ±1.12 ac ±1.01 ac SD-X 5.25/11,000 SD-X 5.25/11,000 Berry's Chapel (BCCO-4) Medical Office (Commercial) HHO & 500ft Buffer of HHO Type 'B' Buffer Adjacent to City of Franklin Park, Dry Branch Wetland Conventional Dry Branch Creek None 50' Front 25' Side 40' Rear 11,000 sf 37', 2 stories

See parking chart

EXISTING CONDITIONS DRAINAGE BASIN A AREA: 1.02 ac IMPERVIOUS AREA: 0.00 ac DISTURBED AREA: 0.00 ac Rv VALUE: 0.18 PEAK FLOW RUNOFF: 2yr - 1.518 cfs 5yr - 2.333 cfs 10yr - 3.032 cfs

5yr - 2.333 cfs 10yr - 3.032 cfs 25yr - 4.057 cfs 50yr - 4.932 cfs 100yr - 5.863 cfs

> EXISTING CONDITION INFORMATION SHOWN FOR THE CANTERFIELD ASSISTED LIVING PROJECT IS BASED OFF OF DESIGN PLANS AND NOT FIELD RUN SURVEY

BASE INFORMATION WAS TAKEN FROM A SURVEY PREPARED BY CRAWFORD & CUMMINGS, PC, DATED AUGUST 6, 2016. CIVIL SITE DESIGN GROUP, P.L.L.C. AND ANY OF THEIR CONSULTANTS SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND/OR COMPLETENESS OF THAT INFORMATION SHOWN HEREON OR ANY ERRORS OR OMISSIONS RESULTING FROM SUCH.

PAR. TMENT

(MAP 36,



Site Data:			Τωυ μλυβαν
Project Name: Address:	IMAC Regenerative Center 7007 Moores Lane	$\sim \Lambda$	TEST
Civil District:	Franklin, TN 8th	(LAP 36, PA	RESIDUAL PRESSURE
Map, Parcels, Group: Owner/Developer:	36, 55.02 Elm Hill Development Corp.	(MAINVESTME	FLOW
	403 Granny White Pike Brentwood, TN 37027	MAB DB 1992	FU
	Contact: Larry Beadle Phone: (615)948-7644		CALCULATED FLOV
Site Area: Disturbed Area:	±48,957 sf / ±1.12 ac ±1.01 ac		HYDRANT ELEVAT
Existing Zoning: Proposed Zoning:	SD-X 5.25/11,000 SD-X 5.25/11.000		
Character Area Overlay: Building Use:	Berry's Chapel (BCCO-4) Medical Office (Commercial)		
Other Overlays:	HHO & 500ft Buffer of HHO Type 'B' Buffer Adjacent to City		
	of Franklin Park, Dry Branch Wetland	64	IET I
Drainage Basin:	Dry Branch Creek	OHET	
Building setbacks:	50' Front		/
Prop. Ruilding Area:	40' Rear		
Proposed Building Height:	37', 2 stories		
Proposed LSR:	0.34		
Proposed Loading Spaces: Pike Parking Required:	1		
Bike Parking Provided:	3 Soo parking chart		
	D PARKING		
UseUnitRaOfficeGross Sq. Ft.4 sp/	ateQuantityParking Required1,000 sf11,00044		
PROVIDE Accessible Parking Spaces	D PARKING		
Standard Parking Spaces	41		
Total Parking Spaces	51		
$Compact Spaces = \pm 16\% (7/44) \text{ of } f$	minimum number of required spaces		
Notes:			. – –
1. The project site is located a within the 8th Civil District.	at 7007 Moores Lane in Franklin, TN and is located The property is referenced as Map 36. Parcel 55.02		
on the Williamson County 1 2. Survey information provide	tax maps. d by Crawford & Cummings PC.		IR
3. There are no National Reg 4. Proposed building shall ha	istered historic structures within 500' of the property.		
5. No mineral rights are know 6. Based on graphic plotting of	n to be held by parties outside of the property owner. of FEMA FIRM map 47187C0205F dated September		
29, 2006, this site is locate the 0.2% annual floodplain	d within Zone X which is determined to be outside of chance.		
 All public improvements sh The minimum width for sta 	nall be located within an easement. ndard 90° parking spaces adjacent to parking islands		
or green space shall be 10	'. '.		
Within new developments and f	or off-site lines contracted	DUI	VIPSTER ENCLOSURE (REFER TO DETAIL)
as a result of, or to provide serv	vice to, the new development,	(SE	FOR MATERIALS)
transformers), gas, sewer, telep	phone and waterlines shall be		
districts shall be permitted to ha	ave their off-site overhead.		~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~
site plan unless approved by eit	ther the relevant		40
department superintendent or th	ne planning commission.		
This site plan has been designed Franklin standards and the app	ed to meet the City of roval of the planning		X
commission, changes shall not site plan unless approved by eit	be made to the approved ther the relevant		
department superintendent or the	ne planning commission.	N: 597777.2	20-
NOTE:		E: 1722396.3	32
PROPOSED WATER SERVICE	LAYOUT IS CONCEPTUAL, REFER TO MALLORY		
NOTE:			
CONTRACTOR SHALL COORD	INATE FINAL UTILITY SERVICE SIZES AND PLANS		
			3' CURB CUT (T (REFER TO DET





Site Data:

Project Name: Address:

Civil District: Map, Parcels, Group: Owner/Developer:

Site Area: Disturbed Area: Existing Zoning: Proposed Zoning: Character Area Overlay: Building Use: Other Overlays: Incompatible Buffer:

Development Standard: Drainage Basin: Existing Structures: Building setbacks:

Prop. Building Area:11,000 sfProposed Building Height:37', 2 storiesMin. Landscape Surface Ratio:0.20Proposed LSR:0.34Required Loading Spaces:1Proposed Loading Spaces:1Bike Parking Required:3Bike Parking Provided:3Parking:See parking chart

IMAC Regenerative Center 7007 Moores Lane Franklin, TN 8th 36, 55.02 Elm Hill Development Corp. 403 Granny White Pike Brentwood, TN 37027 Contact: Larry Beadle Phone: (615)948-7644 ±48,957 sf / ±1.12 ac ±1.01 ac SD-X 5.25/11,000 SD-X 5.25/11,000 Berry's Chapel (BCCO-4) Medical Office (Commercial) HHO & 500ft Buffer of HHO Type 'B' Buffer Adjacent to City of Franklin Park, Dry Branch Wetland Conventional **Dry Branch Creek** None 50' Front 25' Side 40' Rear 11,000 sf 37', 2 stories 0.34

Notes:

- The project site is located at 7007 Moores Lane in Franklin, TN and is located within the 8th Civil District. The property is referenced as Map 36, Parcel 55.02 on the Williamson County tax maps.
- Survey information provided by Crawford & Cummings PC.
 There are no National Registered historic structures within 500' of the property.
- Proposed building shall have a fire sprinkler system.
 No mineral rights are known to be held by parties outside of the property owner.
 Based on graphic plotting of FEMA FIRM map 47187C0205F dated September 29, 2006, this site is located within Zone X which is determined to be outside of the 2.0% and the second s
- the 0.2% annual floodplain chance.
 7. All public improvements shall be located within an easement.
 8. The minimum width for standard 90° parking spaces adjacent to parking islands
- 8. The minimum width for standard 90° parking spaces adjacent to parking islands or green space shall be 10'.

Within new developments and for off-site lines contracted as a result of, or to provide service to, the new development, all utilities such as cable television, electrical (excluding transformers), gas, sewer, telephone and waterlines shall be placed underground. Light industrial and heavy industrial districts shall be permitted to have their off-site overhead. Changes shall not be made to the lines approved site plan unless approved by either the relevant department superintendent or the planning commission.

This site plan has been designed to meet the City of Franklin standards and the approval of the planning commission, changes shall not be made to the approved site plan unless approved by either the relevant department superintendent or the planning commission.

Tree Protection Notes:

- . The tree protection barriers shall be constructed before the issuance of any permits, and shall remain intact throughout the entire period of construction.
- 2. The tree protection barrier shall be installed as labeled on this plan or a distance to the radius of the dripline, whichever is greatest, as measured from the trunk of the protected tree.
- 3. Any required excavation in or around the protection zone to accommodate underground services, footings, etc.; shall be indicated on the plan, and shall be excavated by hand. In addition, related root pruning shall be accomplished via ANSI A-300-95 standard so as to minimize impact on the general root system.
- 4. The storage of building materials or stockpiling shall not be permitted within the limits of or against the protection barriers.
- 5. Trees within the protection barriers must be adequately cared for throughout the construction process (i.e., they must be watered sufficiently). Fill shall not be placed upon the root system as to endanger the health or life of the affected tree.
- Heavy accumulation of dust from construction activity may occur on the surface of tree foliage. To control dust, tree foliage may be hosed down upon the request of the Landscape Architect or Owners Representative.



LEVEL 2 BIORETENTION ——— MIN. SURFACE AREA = 1,400 SF

PLANTING ELEV = 764.0

THE LOT 1 BIORETENTION IS FOR THE BENEFIT OF LOT 1 ONLY

BERM ELEV = 765.0

TV = 3,788 CF (REFER TO DETAIL)



placed underground. Light industrial and heavy industrial districts shall be permitted to have their off-site overhead. Changes shall not be made to the lines approved site plan unless approved by either the relevant department superintendent or the planning commission.	(MAP 36, PAR M A B INVESTMEN M A B DR 1992 F
This site plan has been designed to meet the City of Franklin standards and the approval of the planning commission, changes shall not be made to the approved site plan unless approved by either the relevant department superintendent or the planning commission.	
All sediment & erosion control measures have been designed for the 2-year, 24-hour storm event.	
All stormwater BMPs have been designed in accordance with the city's best management practices stormwater management manual.	
Installation of water quality BMPs shall follow all installation guidelines set forth in the city of Franklin BMP manual.	
Water quality (bioretention) areas shall not be used as sediment basins during construction in order to minimize compaction and sediment accumulation during construction.	
 IN ORDER TO PREVENT SEDIMENT FROM ENTERING PROPOSED WATER QUALITY BMPS, THE BMPS SHALL NOT BE INSTALLED UNTIL BUILD OUT IS NEAR COMPLETION. WATER QUALITY AREAS SHALL NOT BE USED AS SEDIMENT BASINS DURING CONSTRUCTION. WATER QUALITY BMPS SHALL BE INSTALLED BASED ON THE GUIDELINES SET FORTH IN THE CURRENT EDITION OF THE CITY OF FRANKLIN BMP MANUAL. 	
Concrete Washdown Note:	
Contractor to provide an area for concrete wash down and equipment fueling. Contractor to coordinate exact location with City of Franklin during pre-construction meeting. Grading Permittee to include BMP's designed to control site wastes such as discarded building materials, chemicals, litter, and sanitary wastes that may cause adverse impacts to water quality. The location of and / or notes referring to said BMP's shall be shown on the EPSC Plan.	
SWPPP LEGEND	
СД СНЕСК ДАМ	
CF . CONSTRUCTION ENTRANCE	
FK FILTER RING	
IP INLET PROTECTION	
RR RIPRAP	
SF SILT FENCE	
CW CONCRETE WASHOUT	
N.O.C. Certification	
Tennessee Construction General Permit Notice of Coverage (N.O.C.) Certification:	
Please fill out and sign/date one of the following statements:	h
Tennessee Construction General Permit. TN.	
Signature <u>10/06/16</u> Date	
Circle one: Developer Project Engineer Other	
Please attach a copy of the Notice of Coverage under the Construction General Permit.	
NOTE: A project will not be scheduled for a Pre-Construction Meeting until the State Construction general Permit N.O.C. letter is submitted.	
2. I hereby certify that this project does not require coverage under a Tennessee Construction General Permit. The total Disturbed Area is: <u>0.99</u> acres.	
Signature Date	
Circle one: Developer Project Engineer Other	
NOTE: Projects of one (1) or more acres require State permit coverage, while projects of less than one (1) acre do not require State permit coverage. Also.	
projects less than one (1) acre that are part of a total development of one (1) or more acres require State permit coverage.	

Vithin new developments and for off-site lines contracted s a result of, or to provide service to, the new development.	Stormwater Management
I utilities such as cable television, electrical (excluding ansformers), gas, sewer, telephone and waterlines shall be aced underground. Light industrial and heavy industrial	 The project site is located at 7007 Moores Lane in Franklin, TN. at is located within the 8th Civil District. The property is referenced a Map 20. Denset 55.00 as the William Construction.
stricts shall be permitted to have their off-site overhead. hanges shall not be made to the lines approved	 Wap 30, Parcel 55.02 on the Williamson County tax maps 2. Total site area is ±1.12 ac of which ±1.01 ac will be disturbed as p of this dovelopment
partment superintendent or the planning commission.	3. Approximate Construction Time Table:
is site plan has been designed to meet the City of anklin standards and the approval of the planning mmission, changes shall not be made to the approved	Begin Construction - January 2017 Complete Construction - November 2017
e plan unless approved by either the relevant partment superintendent or the planning commission.	 4. Construction Sequence: Install construction entrance Install erosion prevention and sediment control measures
sediment & erosion control measures have been designed for the 2-year, -hour storm event.	 Install sediment basin, if required Contact City of Franklin - Storm Water Management Section to obtain Storm Water Management and Grading
I stormwater BMPs have been designed in accordance with the city's best anagement practices stormwater management manual.	 Contact City of Franklin - Streets Department for inspection erosion prevention and sediment control devices and to obt a full grading permit
stallation of water quality BMPs shall follow all installation guidelines set rth in the city of Franklin BMP manual.	 Clear, grub, and grade site Construct remainder of site per approved plans including th installation of all additional EPSC measure shown on the plane
ater quality (bioretention) areas shall not be used as sediment basins during	 or as directed by the EPSC inspector Upon permanent stabilization of the site, remove silt fence, tree protection, and other temporary erosion control devices
	 5. Refer to geotechnical report for detailed soil data.
IN ORDER TO PREVENT SEDIMENT FROM ENTERING PROPOSED WATER QUALITY BMPS, THE BMPS SHALL NOT BE INSTALLED UNTIL BUILD OUT IS NEAR	6. Total New Impervious Area = 0.85 ac
COMPLETION. WATER QUALITY AREAS SHALL NOT BE USED AS SEDIMENT BASINS DURING CONSTRUCTION.	
WATER QUALITY BMPS SHALL BE INSTALLED BASED ON THE GUIDELINES SET FORTH IN THE CURRENT EDITION OF THE CITY OF EDANKLIN BMD MANULAL	
SWPPP LEGEND	
СД СНЕСК ДАМ	
CE CONSTRUCTION ENTRANCE	
FR FILTER RING	
RR RIPRAP	
SF SILT FENCE	
OUTFALL LOCATION	
N.O.C. Certification	
Tennessee Construction General Permit Notice of Coverage (N.O.C.)	PROPOSED DAINAGE
Please fill out and sign/date one of the following statements:	BASIN A (TO BIO AREA) AREA:1.0 ac
1. The project associated with these submitted plans is covered under Tennessee Construction General Permit. TN	IMPERVIOUS AREA: 0.85 ac DISTURBED AREA: 0.99 ac Rv VALUE: 0.83
Sean K De Carte 10/06/16	PEAK FLOW RUNOFF: 2yr - 4.260 cfs
Signature Date	10yr - 6.176 cfs 25yr - 7.357 cfs
Circle one: Developer (Project Engineer) Other Please attach a copy of the Notice of Coverage under the Construction General	50yr - 8.309 cfs 100yr - 9.285 cfs
Permit. NOTE: A project will not be scheduled for a Pre-Construction Meeting until the	
State Construction general Permit N.O.C. letter is submitted.	
2. I hereby certify that this project does not require coverage under a Tennesse Construction General Permit. The total Disturbed Area is: <u>0.99</u> acres.	же
Signature Date	
Please attach a copy of the Notice of Coverage under the Construction General	Franklin Tree Protection Notes
Permit. NOTE: Projects of one (1) or more acres require State permit coverage, while	1. The tree protection barriers shall be constructed before the issuance of any permits, and shall remain intact throughout the
projects of less than one (1) acre do not require State permit coverage. Also, projects less than one (1) acre that are part of a total development of one (1) or more acres require State permit coverage.	 entire period of construction. 2. The tree protection barrier shall be installed as labeled on this
DISTURBED AREA: 1.01 ACRES	plan or a distance to the radius of the dripline, whichever is greatest, as measured from the trunk of the protected tree.
	 Any required excavation in or around the protection zone to accommodate underground services, footings, etc.; shall be indicated on the plan, and shall be excavated by hand. In additional related root pruning shall be accomplished via ANSI A-300-95
	standard so as to minimize impact on the general root system.4. The storage of building materials or stockpiling shall not be
	 permitted within the limits of or against the protection barriers. 5. Trees within the protection barriers must be adequately cared for throughout the construction process (i.e., they must be watered
	sufficiently). Fill shall not be placed upon the root system as to endanger the health or life of the affected tree.
	 Heavy accumulation of dust from construction activity may occu on the surface of tree foliage. To control dust, tree foliage may be based down when the request of the based down when the request of the based down.

Owners Representative.

be the Contractor's responsibility.

7. Removal of all tree protection fencing will be done by the

Contractor. Restoration of all areas disturbed by the fencing will

DEVIATION FROM PLAN

ATTENTION OWNER INSTALLER:

THIS LANDSCAPE PLAN HAS BEEN DESIGNED TO MEET THE MINIMUM REQUIREMENTS OF THE CITY OF FRANKLN ZONING ORDINANCE, THE APPROVAL OF THE PLANNING COMMISSION, AND PLANNING DEPARTMENT POLICY. RELOCATING, SUBSTITUTING, RESIZING, REDUCIING, OR DELETING MATERIAL MAY CAUSE THE SITE TO NO LONGER CONFORM TO REQUIREMENTS: THUS PROBLEMS MAY ARISE WITH RELEASING THE PERFORMANCE / MAINTENANCE SURETY FOR THE LANDSCAPE MATERIAL. DEVIATION FROM THE APPROVED LANDSCAPE PLAN SHALL NOT BE MADE WITHOUT FIRST CONSULTING THE LANDSCAPE ARCHITECT WHO DESIGNED THE PROJECT. THE DESIGNING LANDSCAPE ARCHITECT SHALL REVIEW PROPOSED SUBSTITUTIONS TO ENSURE THAT ALL CITY STANDARDS AND REQUIREMENTS ARE MET. THE CITY SHALL BE NOTIFIED IN WRITING UPON FINAL APPROVAL OF ANY PLANT SUBSTITUTIONS.

OWNERS: ELM HILL DEVELOPMENT CORP, CONTACT LARRY BEADLE 615-948-7644 LANDSCAPE ARCHITECT: GREG GAMBLE, 615-795-5765

FRANKLIN PLANNING DEPARTMENT: 615-791-3212

PLANT SCHEDULE OTY SYM BOTANICAL NAME

7	QTY	SYM	BOTANICAL NAME	COMMON NAME
-	CAN	OPY T	REES	
	4	AR	ACER RUBRUM 'OCTOBER GLORY'	'OCTOBER GLORY' F
	3	MG	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNO
	5	PA	PLATANUS X ACERIFOLIA	LONDON PLANETRE
	6	ZS	ZELKOVA SERRATA 'VILLAGE GREEN'	'VILLAGE GREEN' JA
7	UNDE	RSTOR	Y TREES	
4	1	BN	BETULA NIGRA 'DURA HEAT'	'DURA HEAT' RIVER
	1	СК	CORNUS KOUSA	KOUSA DOGWOOD
	1	PS	PRUNUS SERRULATA 'KWANZAN'	'KWANZAN' CHERR'
	6	SS	LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE'	SLENDER SILHOUET
	SHRU	BS		
	17	BA	RHODODENDRON x 'RLH1-1P2'	BLOOM-A-THON RE
λ.	14	HQ	HYDRANGEA QUERCIFOLIA 'ALICE'	'ALICE' OAKLEAF HY
	94	ID	ILEX CORNUTA x 'DWARF BURFORD'	DWARF BURFORD H
	57	IG	ILEX GLABRA	INKBERRY
	68	IN	ILEX CORNUTA x 'NEEDLEPOINT'	NEEDLEPOINT HOLI
	3	IV	ITEA VIRGINICA 'HENRY'S GARNET'	VIRGINIA SWEETSP
	5	JC	JUNIPERUS VIRGINIANA 'CANNAERTI'	'CANNAERTI' JUNIP
	16	OL	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN LAU
	20	PL	PRUNUS LAUROCERASUS 'SCHIPKENSIS'	SCHIP LAUREL
	3	TG	THUJA OCCIDENTALIS 'EMERALD GREEN'	EMERALD GREEN A
	NOTE			
			CADE MATERIAL I O DE FIELD ADJUSTED TO A	
			CAFE MATERIAL SHALL DE BETVVEEN FIRE HTURA	INT AIND STREET C
	DIREC	, NON	٥.	

BIO-F	RETEN	tion area I plant schedule						
QTY	SYM	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	LEAF	SPACING	NOTES
CAN	OPY TR	EES	·	- i		- L	•	
1	AR	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2.5" CAL., B/B	10'-12'	DECIDUOUS	AS NOTED	CENTRAL LEADER; FULL BRANCHING; BALANCED CANOPY
3	QB	QUERCUS BICOLOR	SWAMP WHITE OAK	2.5" CAL., B/B	10'-12'	DECIDUOUS	AS NOTED	CENTRAL LEADER; FULL BRANCHING; BALANCED CANOPY
3	QL	QUERCUS LYRATA	OVERCUP OAK	2.5" CAL., B/B	10'-12'	DECIDUOUS	AS NOTED	CENTRAL LEADER; FULL BRANCHING; BALANCED CANOPY
UNDE	RSTOR	Y TREES						
4	BN	BETULA NIGRA 'DURA HEAT'	'DURA HEAT' RIVER BIRCH	2" CAL., B/B	8'-10'	DECIDUOUS	AS NOTED	MULTI- LEADER; FULL BRANCHING; BALANCED CANOPY
2	MV	MAGNOLIA VIRGINIANA	SWEETBAY MAGNOLIA	2" CAL., B/B	8'-10'	EVERGREEN	AS NOTED	MULTI-LEADER; FULL BRANCHING; BALANCED CANOPY
SHRU	BS							
10	AS	ASCLEPIAS SYRIACA	COMMON MILKWEED	1 GAL		DECIDUOUS	12" O.C.	
7	PH	ILEX x DECIDUA 'WARREN'S RED'	POSSUMHAW		3'	DECIDUOUS	AS NOTED	
3	IV	ITEA VIRGINICA 'HENRY'S GARNET'	VIRGINIA SWEETSPIRE		30"	DECIDUOUS	AS NOTED	
GROL	JNDCO	VER						
SEED	RBF	RETENTION BASIN FLOOR MIX - LOW MAINTED	NENCE - BY ERNST SEED COMPANY	1 LB PER 1000 SF		1.240 SF	1.24	LBS

BIO-R	ETEN	TION AREA 2 PLANT SCHEDULE						
QTY	SYM	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	LEAF	SPACING	NOTES
CANC	PY TR	EES						
2	AR	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2.5" CAL., B/B	10'-12'	DECIDUOUS	AS NOTED	CENTRAL LEADER; FULL BRANCHING; BALANCED CANOPY
2	QL	QUERCUS LYRATA	OVERCUP OAK	2.5" CAL., B/B	10'-12'	DECIDUOUS	AS NOTED	CENTRAL LEADER; FULL BRANCHING; BALANCED CANOPY
UNDE	RSTOR	Y TREES						
2	AT	ASIMINA TRILOBA	PAW PAW	2" CAL., B/B	8'-10'	DECIDUOUS	AS NOTED	CENTRAL LEADER; FULL BRANCHING; BALANCED CANOPY
4	IF	ILEX x FOSTERIA	FOSTER HOLLY	2" CAL., B/B	8'-10'	EVERGREEN	AS NOTED	CENTRAL LEADER; FULL BRANCHING; BALANCED CANOPY
8	MV	MAGNOLIA VIRGINIANA	SWEETBAY MAGNOLIA	2" CAL., B/B	8'-10'	EVERGREEN	AS NOTED	MULTI-LEADER; FULL BRANCHING; BALANCED CANOPY
SHRU	3S							
20	AS	ASCLEPIAS SYRIACA	COMMON MILKWEED	1 GAL		DECIDUOUS	12" O.C.	
2	PH	ILEX x DECIDUA 'WARREN'S RED'	POSSUMHAW	3'		DECIDUOUS	36" O.C.	
GROU	NDCO	VER						

SEED RBF RETENTION BASIN FLOOR MIX - LOW MAINTENENCE - BY ERNST SEED COMPANY 1 LB PER 1000 SF 2,860 SF 2.86 LBS

Γ	INCOMPATIBLE USE BUFFER
	Developing Use:
	Existing Adjacent Use/Zoning:
	Site Acreage
	Buffer Class:
	Buffer Width:
	Buffer Length:
	Minimum Trees Required:
	Trees Provided (Buffer):
	Minimum Shrubs Required:
	Shrubs Provided (Buffer):
	NOTE:
	30' BUFFER IS SHARED BETWEEN THIS PROPERTY AN

PROPERTY. ALL PLANT MATERIAL IS PLANNED FOR TH

LANDSCAPE REQUIREMENTS: (ACI)

TOTAL ACI AREA: .35 AC TOTAL FORESTED AREA IN OPEN SPACE: 0	
TOTAL NON FORESTED OPEN SPACE: .35 AC 82 ACI × .35 AC = 29 CANOPY ACI REQUIRED 21 ACI × .35 AC = 8 UNDERSTORY ACI REQUIRED 96 ACI × .35 AC = 18 SHRUBS REQUIRED	EXIS TR
3" CAL. CANOPY TREES	:
2.5" CAL. CANOPY TREES	:
2" CAL. UNDERSTORY TREES	:
AG	GEGA ⁻
AGG	REGAT
MINIMUM 18" HEIGHT SHRUBS (50 PER AC))
TC	OTAL S
TC	DTAL S

MINIMUM BUFFER/SCREENING REQUIREMENTS: HVAC units, cooling and/or mechanical equipment are mounted on the: 🗵 Rooftop

THIS DEVELOPMENT IS REQUIR	RED TO HAVE THE FOLLOW
LANDSCAPE IMPROVEMENTS:	
Buffer/Streen Type:	Purpose
IX Foundation Planting	Along Primary Facade

- Buffer/Streen Type:Image: Foundation Planting
- IX Perimeter Planting Strip Utility Box Screen from view
- Dumpster Screen Loading/Service Area Incompatible Use Buffer

Screen Utility Boxes and Meters from View Screen Dumpster from View Buffer the Street or Residential Property Buffer the adjacent less intensive use

LANDSCAPE DATA

SITE AREA: PROPOSED ZONING: CHARACTER AREA OVERLAY: BUILDING USE: OTHER OVERLAYS: DEVELOPMENT STANDARD: MIN. LANDSCAPE SURFACE RATIO: PROPOSED LSR: EXISTING TREE CANOPY (TOTAL SITE:: 522,727 SF (66%) REQUIRED TREE CANOPY PRESERVERATION (TOTAL SITE) 36% OF TOTAL CANOPY = 188,182SF PROVIDED CANOPY PRESERVED (TOTAL SITE):

±48,957 SF / ±1.12 AC SD-X 5.25/11,000 BERRY'S CHAPEL (BCCO-4) MEDICAL OFFICE (COMMERCIAL) HHO & 500FT BUFFER OF HHO CONVENTIONAL 0.20

448,147 SF (86% OF EXISTING CANOPY

HEIGHT LEAF SPACING NOTES SIZE Y' RED MAPLE 10'-12' DECIDUOUS AS NOTED CENTRAL LEADER; FULL BRANCHING; BALANCED CANOPY 2.5" CAL., B/B 2.5" CAL., B/B 10'-12' EVERGREEN AS NOTED CENTRAL LEADER; FULL BRANCHING; BALANCED CANOPY GNOLIA 2.5" CAL., B/B 10'-12' DECIDUOUS AS NOTED CENTRAL LEADER; FULL BRANCHING; BALANCED CANOPY 2.5" CAL., B/B 10'-12' DECIDUOUS AS NOTED CENTRAL LEADER; FULL BRANCHING; BALANCED CANOPY JAPANESE ZELKOVA VER BIRCH 2" CAL., B/B 8'-10' DECIDUOUS AS NOTED MULTI-LEADER; FULL BRANCHING; BALANCED CANOPY 8'-10' DECIDUOUS AS NOTED MULTI-LEADER; FULL BRANCHING; BALANCED CANOPY 2" CAL., B/B 2" CAL., B/B 8'-10' DECIDUOUS AS NOTED CENTRAL LEADER; FULL BRANCHING; BALANCED CANOPY UETTE SWEETGUM 2" CAL., B/B 8'-10' DECIDUOUS AS NOTED CENTRAL LEADER RED AZALEA 3 GAL. EVERGREEN AS NOTED HYDRANGEA DECIDUOUS 36" O.C. EVERGREEN 36" O.C. D HOLLY 3' x 3' EVERGREEN EVERGREEN 36" O.C. OLLY 30" x 30" DECIDUOUS AS NOTED TSPIRE NIPER EVERGREEN AS NOTED EVERGREEN 24" O.C. AUREL EVERGREEN 36" O.C. N ARBORVITAE 6'-8' EVERGREEN AS NOTED

TS WITH UTILITIES. T OR WITHIN 3' IN OTHER

166 166	
ADJACENT CITY HIS PROPERTY.	

AFTER INSTALLATION LANDSCAPE WILL BE MAINTAINED BY: ELM HILL DEVELOPMENT CORP. 403 GRANNY WHITE PIKE BRENTWOOD, TN 37027

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GRAPHIC SCALE I"=20'

ELEVATION: 837.93'

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SCAPE

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COMMENTS	REVISED PER COF COMMENTS									
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LANDSCAPE PLANTING GENERAL NOTES

1. THE LANDSCAPE CONTACTOR SHALL BE RESPONSIBLE FOR CONFIRMING THE QUANITIES OF ALL MATERIALS. THE QUANTIES ON THE PLAN SHALL TAKE PRECEDENCE OVER THE PLANT LIST.

2. SUBSTITUTIONS OF TYPE, SIZE, OR SPACING OF PLANTS MAY NOT BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER'S LANDSCAPE ARCHITECT, AND MAY RESULT IN THE RESUBMITTAL OF LANDSCAPE PLANS TO THE CITY OF FRANKLIN FOR APPROVAL PRIOR TO INSTALLATION.

3. ALL CONSTRUCTION ACTIVITY SHALL BE COORDINATED WITH TENNESSEE ONE CALL PRIOR TO DIGGING. ALL DAMAGE TO UTILITES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE PER UTILITY PROVIDER'S STANDARDS.

4. THE PLANT LIST SPECIFICATIONS PROVIDED WITHIN THE PLANT LIST FOR HEIGHT AND SIZE ARE MINIMUMS.

5. ALL PLANT BEDS SHALL BE RAKED AND CLEARED OF LARGE ROCKS. ALL LARGE DIRT CLODS SHALL BE PULVERIZED OR REMOVED PRIOR TO PLANTING.

6. ALL LARGE DIRT CLODS RESULTING FROM PLANTING SHALL BE PULVERIZED AND REMOVED PRIOR TO MULCHING.

7. PRE-EMERGINT HERBICIDE SHALL BE APPLIED AFTER INSTALLATION AND IMMEDIATELY PRIOR TO MULCHING.

8. ALL PLANT BEDS ARE TO BE MULCHED WITH A MINIMUM OF 4 INCHES OF SHREDDED PINE BARK. ALL ANNUAL BEDS SHALL BE MULCHED WITH A MINIMUM OF 2 INCHES OF SOIL CONDITIONER, PINE BARK FINES.

9. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL OR ANY DEFECTIVE WORKMANSHIP.

10. ALL SOD AREAS SHALL BE TILLED AND RAKED SMOOTH, WITH LARGE DIRT CLODS AND ROCKS REMOVED, PRIOR TO SOD INSTALLATION.

11. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL STAKING AND LAYOUT OF PLANT BEDS.

12. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE DRAINAGE OF ALL TREE AND SHRUB PITS. A PVC OR GRAVEL SUMP AT THE BASE OF THE TREE WELL MAY BE REQUIRED IN AREAS WHERE CLAY SOILS DO NOT ADEQUATELY DRAIN.

13. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT WHEN THE PLANT MATERIALS ARE AT THE JOB SITE FOR REVIEW PRIOR TO INSTALLATION.

BE SCREENED FROM VIEW. PLEASE USE THIS STANDARD

NTS

ALL SCREENING PLAN MATERIAL SHALL BE EVERGREEN. SUGGESTED PLAN MATERIAL TO INCLUDE: INKBERRY HOLLY

UTILITY BOX SCREEN

GENERAL NOTES:

- 1. All trees are to be nursery grown, burlap and ball (B&B). Minimum tree size is per schedule (measured 6" above root ball).
- Remove all treated or plastic-coated burlap, strapping, wire or nylon twine from root ball. After setting in hole, cut away top and sides of wire basket, if any.
- 3. Install top of plant ball even with or 1" above existing grade. 4. Set tree in vertical position prior to staking.
- 5. Soak plant ball and pit immediately after installation. Place 4-6" of seasoned mulch or pine needles around base of tree, 3' diameter

- 4" LAYER OF MULCH - 4" SAUCER BERM

- REMOVE TOP 1/3 OF BURLAP FROM B&B TREES - FINISH GRADE - MIN. 12" SIDE CLEARANCE PLANTING MIX (3 PARTS TOPSOIL, 1 PART PEAT MOSS)

 TAMP SOIL UNDER BALL TO MINIMIZE SETTLEMENT - EXISTING SUBGRADE

DETAIL # NTS

DESIGN COLLABORATIVE DEVELOPMENT PLANNING AND LANDSCAPE ARCHITECTURE

Landscape Architecture Provided by: Gamble Design Collaborative, LLC Greg Gamble, RLA 144 Southeast Parkway, Suite 200 Franklin, Tennessee 37064 615.975.5765 greggamble209@gmail.com

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LANDSCAPE DETAILS

Drawing MISCELLANEOUŠ DETAILS

09-12-2016

NORTH EAST CORNER NOT TO SCALE

SOUTH WEST CORNER

NOT TO SCALE

PARKING LOT LIGHTING FIXTURE DETAIL

											0.0	0.0
										0.0	0.0	0.0
									0.0	0.0	0.0	0.0
								0.0	0.0	0.0	0.0	0.1
							0.0	0.0	0.0	0.0	0.0	0.1
							0.0	0.0	0.0	0.0	0.1	0.1
						0.0	0.0	0.0	0.0	0.1	0.1	0.1
					0.0	0.0	0.0	0.0	0.0	0.1	0.2	0/3
				0.0	0.0	0.0	0.0	0.0	0.1	0.1	0.2	0.5
			0.0	0.0	0.0	0.0	0.0	0.0	0.1	0.1	0.1	0.8
			0.0	0.0	0.0	0.0	0.0	0.0	0.1	0.1	0.4	2.3
		0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.3	1.4) 2.0
	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.4	1.0	1.8
	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0/P	0.1	0.2	0.4	(1.2
		0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.1	0.1	0.2	0.3
				0.0	0.0	0.0	0.0	0.0	0.0	0.1	0.1	01
					0.0	0.0	0.0	0.0	0.0	0.1	0.1	0.1
SITE PHOTOMETRIC NOTES							0.0	0.0	0.0	0.0	0.1	0.1
1. CALCULATIONS SHOWN REPRESENT MAINTAINED LIGHTING LEVELS WITH A TOTAL LIGHT LOSS FACTOR OF 0.81 CALCULATIONS DO NO	S IN F	OOTCANI UDE COI	DLES A [.] NTRIBU	T GRADI	Ξ			0.0	0.0	0.0	0.0	0.0
FROM OTHER LIGHT SOURCES. 2. CIVIL BASE PLAN AS PROVIDED TO PARSONS ENGINEERING, IN		WED NO		EAD						0.0	0.0	0.0
OR PROPOSED UTILITY LINES OR EASEMENTS. 3. THESE CALCULATIONS HAVE BEEN GENERATED FROM MANUFACTUR	ER SUP	PLIED I		ETRIC	ING						0.0	0.0
FILES. PARSONS ENGINEERING, INC. HAS MADE A REASONABLE AT CURRENT PHOTOMETRIC REPORT. PARSONS ENGINEERING, INC. IS RESULTS DUE TO MANUFACTURERS' QUALITY CONTROL OR DESIGN CH	TEMPT NOT RE ANGES.	TO OBT SPONSII	AIN THI BLE FOR	e Most R Errai	NT							0.0

LUMIN	AIRE S	CHEL	DULE							
Symbol	Label	Qty	Qty Catalog Number Description		Lamp	File	LLF	Watts	Mounting Heig	
Ū	A	6	RZR-IV-FT-80PLED- -525mA-NW-HS	RAZAR PLED, TYPE IV-FT DISTRIBUTION, 4 CIRCUIT BOARDS EACH WITH 20 LEDS, 4000K, 1 CLEAR PLASTIC OPTIC BELOW EACH LED, 1 MOLDED BLACK PLASTIC HOUSE SIDE SHIELD BELOW EACH OPTIC	EIGHTY WHITE LIGHT EMITTING DIODES (LEDS), VERTICAL BASE- -UP POSITION.	RZR-4FTS- 80PLED-NW- 525.ies	0.81	131.1	20'-0"	
e E	В	1	RZR-III-W-80PLED- NW-525-HS	RAZAR PLED, TYPE III-W DISTRIBUTION, 4 CIRCUIT BOARDS EACH WITH 20 LEDS, 4000K, 1 CLEAR PLASTIC OPTIC BELOW EACH LED, 1 MOLDED BLACK PLASTIC HOUSE SIDE SHIELD BELOW EACH OPTIC	EIGHTY WHITE LIGHT EMITTING DIODES (LEDS), VERTICAL BASE- -UP POSITION.	RZR-3WS- 80PLED-NW- 525.ies	0.81	130	20'-0"	

H. Michael Hindmar

Architects, P.C.

1607 Westgate Circle - Suite 100 Brentwood, Tennessee 37027 615.370.3252 www.hmharchitects.com

Revisions

HMH Job Number 16025

> Drawn By RDR

Date 09.01.2016

Drawing SITE PHOTOMETRIC PLAN

PARSONS

ENGINEERING, INC.

NASHVILLE, TENNESSEE

PARSONSENGINEERING.COM

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