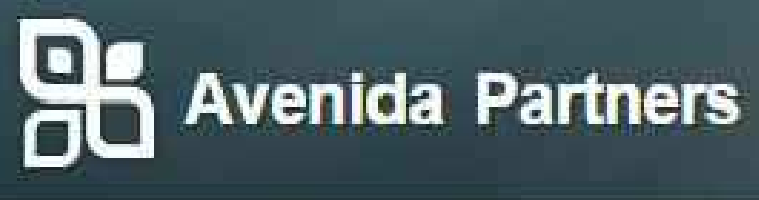


AVENIDA OF COOL SPRINGS  
PUD DEVELOPMENT PLAN  
2<sup>ND</sup> INITIAL RESUBMITTAL  
TAX MAP 53, PARCEL 10400  
COF #6191  
222 MALLORY STATION ROAD  
FRANKLIN, WILLIAMSON CO., TN

OWNER

Franklin Radio Associates, Inc  
222 Mallory Station Road  
Franklin, TN 37067  
Contact: Charles Dribell  
615.794.1594

DEVELOPER



Avenida Partners  
19700 Fairchild Road  
Suite 170  
Irvine, Ca. 92612  
Contact: Robert May  
949.298.4540

LANDSCAPE ARCHITECT  
/ APPLICANT



Kiser+Vogrin Design  
5005 Meridian Blvd  
Suite 100  
Franklin, TN 37067  
Contact: Christopher Wood  
615.719.1943

ARCHITECT



LordAeck Sargent  
1175 Peachtree St NE  
Atlanta, GA. 30361  
Contact: Neil Weekley  
404.253.1431

CIVIL ENGINEER



Fulmer Engineering  
2612 Sunset Place  
Nashville, TN 37212  
Contact: Jay Fulmer  
615.516.8477

SURVEYOR

Harrah & Associates  
504 Autumn Spring Court  
Suite B-15  
Franklin, Tn. 37067  
Contact: Roger Harrah  
615.778.0863

SHEET INDEX:	Sheet Number	Preapp Submittal	Initial Submittal	Initial Resubmittal	2nd Initial Resubmittal	Post PC Submittal
COVER	C0.0	06-13-2016	07-11-2016	08-04-2016	09-01-2016	
EXISTING CONDITIONS PLAN	C1.0	06-13-2016	07-11-2016	08-04-2016	09-01-2016	
EXISTING CONDITIONS w/ AERIAL	C1.1	06-13-2016	07-11-2016	08-04-2016	09-01-2016	
DEVELOPMENT PLAN	C2.0	06-13-2016	07-11-2016	08-04-2016	09-01-2016	
DEFERRED PARKING AREA	C2.1				09-01-2016	
GRADING & DRAINAGE PLAN	C3.0	06-13-2016	07-11-2016	08-04-2016	09-01-2016	
R.O.W. & ACCESS PLAN	C4.0		07-11-2016	08-04-2016	09-01-2016	
UTILITY PLAN	C5.0	06-13-2016	07-11-2016	08-04-2016	09-01-2016	
ARCHITECTURAL ELEVATIONS	A1.0		07-11-2016	08-04-2016	09-01-2016	
ARCHITECTURAL ELEVATIONS	A1.1		07-11-2016	08-04-2016	09-01-2016	
ARCHITECTURAL ELEVATIONS	A1.2		07-11-2016	08-04-2016	09-01-2016	



SITE LOCATION MAP  
N.T.S

KVD PROJECT# : 16001  
COF # : 6191  
Sheet #:  
**C0.0**  
DATE: 09-01-2016



**SITE AREA : 5.195 AC**

● FOUND IRON ROD (FDIR)  
 ST NEW 5/8" IRON ROD WITH CAP (RLR3035)  
 ■ FOUND CONCRETE MONUMENT (T00T)  
 □ ST CONCRETE MONUMENT  
 / EXISTING SANITARY MANHOLE  
 P POWER POLE  
 ↓ GUY ANCHOR  
 (H) WATER METER  
 (V) WATER VALVE  
 — ST — STORM SEWER  
 — W — WATER LINE  
 — OH — OVERHEAD POWER LINE  
 — SS — SANITARY SEWER LINE  
 — G — GAS LINE  
 — UE — UNDERGROUND ELECTRIC  
 P.U.O.E. PUBLIC UTILITY & DRAINAGE EASEMENT  
 R.O.W.C., TN. REGISTER'S OFFICE OF WILLIAMSON COUNTY  
 U.O.E. UTILITY DIST. EASEMENT  
 MTWC MIDDLE TENNESSEE ELECTRIC SERVICE  
 F.F.O.M. RIGHT-OF-WAY  
 FE FIRM FLOOD ELEVATION PER FIRM MAP

THIS SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. ABOVE GRADE AND UNDERGROUND UTILITIES WERE TAKEN FROM VISIBLE APPURTENANCES AT THE SITE. PUBLIC RECORD AND/OR MAPS PREPARED BY OTHERS. THEREFORE, RELIANCE ON TYPE, SIZE AND LOCATION OF UTILITIES IS SOLELY ON THE BASIS OF THE CIRCUMSTANCE CONSIDERED. DETAILED VERIFICATION OF EXISTENCE, LOCATION AND DEPTH SHOULD ALSO BE MADE PRIOR TO ANY DECISION RELATIVE THEREOF IS. AVAILABILITY ABOVE COST OF SERVICE CONTRACTS WITH THE TOWN OF MEMPHIS, TENNESSEE, IN TENNESSEE, IT IS A REQUIREMENT, PER "THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT," THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS, NOT LESS THAN 14 DAYS PRIOR TO THE DATE OF THE EXCAVATION, OF THEIR INTENT TO EXCAVATE AND ALSO TO ADVISE ANY POSSIBLE HAZARD OR CONFLICT. TENNESSEE ONE CALL - 1-800-351-1111.

1. READINGS SHOWN HEREON ARE BASED ON GRID NORTH USING TENNESSEE STATE PLANE COORDINATES. NAD 83.

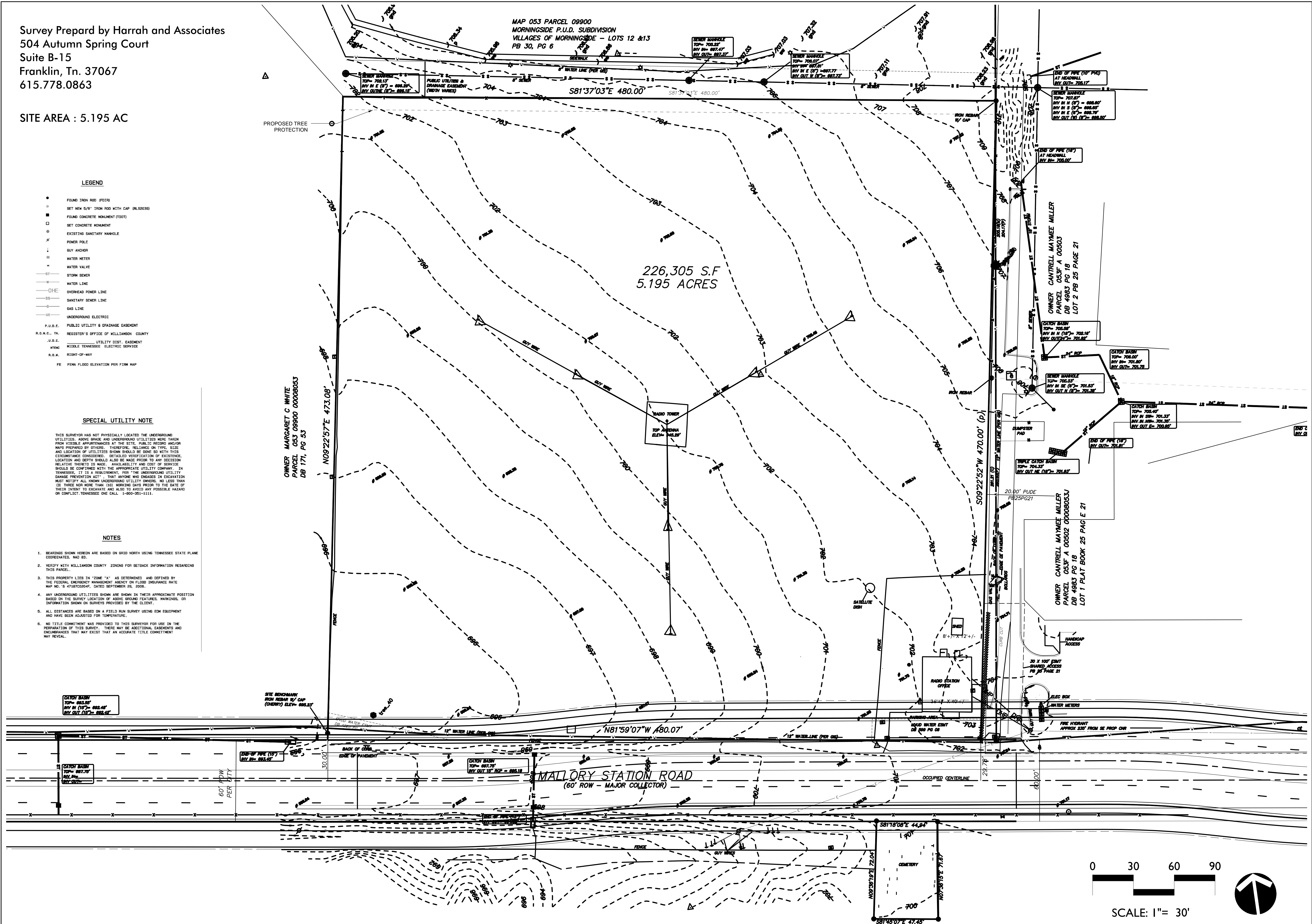
2. VERIFY WITH WILLIAMSON COUNTY ZONING FOR SETBACK INFORMATION REGARDING THIS PARCEL.

3. THIS PROPERTY LIES IN "ZONE "X" AS DETERMINED AND DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY ON FLOOD PLANCE RISK MAP NO. 8-57417C0004F, DATED SEPTEMBER 29, 2006.

4. ANY UNDERGROUND UTILITIES SHOWN ARE SHOWN IN THEIR APPROXIMATE POSITION BASED ON THE SURVEY LOCATION OF ADJACENT UTILITIES. HARNINGS, OR INFORMATION SHOWN ON SURVEYS PROVIDED BY THE CLIENT.

5. ALL DISTANCES ARE BASED ON A FIELD RUN SURVEY USING EDM EQUIPMENT AND HAVE BEEN ADJUSTED FOR TEMPERATURE.

6. NO TITLE COMMITMENT WAS PROVIDED TO THIS SURVEYOR FOR USE IN THE PREPARATION OF THIS SURVEY. THERE MAY BE ADDITIONAL ENCUMBRANCES AND Easements THAT MAY EXIST THAT AN ACCURATE TITLE COMMITMENT MAY REVEAL.



**AVENIDA OF COOL SPRINGS  
PUD DEVELOPMENT PLAN RESUBMITTAL  
EXISTING CONDITIONS  
COF# 6191  
Franklin, Williamson Co, TN**

REVISIONS:

09-01-2016 : PER COF COMMENTS

DATE: 09.01.2016  
DESIGNED BY: DK  
DRAWN BY: CBW  
CHECKED BY: CBW  
Q.C. BY: Q.C. BY  
SCALE: 1"=30'  
PROJECT #: 16001  
SHEET NUMBER:

0.1









SITE LOCATION MAP  
N.T.S

### MODIFICATION OF STANDARDS

1. The applicant respectfully requests a Modification of Standards for the Avenida of Cool Springs proposed development to exceed the 200' maximum length of an attached residential building per City of Franklin Zoning Ordinance, Section 5.3.5 Residential Development, 3, b, ii.

The front elevation, as viewed from Mallery Station Road, has a total building length of +/- 285'. The building has been shaped into (3) distinct pieces which are each well under 120' in length, including a welcoming centerpiece which functions as the main entry. Along the east and west sides the +/- 288' facade has been shaped into (2) distinct pieces which are each well under 150' in length, separated by secondary entry pieces. Additionally, the roof forms of each facade have been carefully treated so as to reinforce the separation of building masses, imbuing each piece with its own visual identity.

The design team feels that these architectural expressions are strong enough to break down the mass of the proposed 3-story building such that it meets the spirit of the ordinance - that is, to keep buildings from appearing overwhelming and uninviting.

VEHICULAR SERVICE GATE  
EQUIPPED WITH  
SIREN-OPERATED-SENSOR  
CONTROLS AND A KNOX  
BRAND KEY OVERRIDE  
SWITCH. THE GATES WILL  
OPEN TO THE FULL WIDTH  
OF THE DRIVE AISLE.

FUTURE R.O.W. LINE  
FUTURE SIDEWALK

DEFERRED PARKING AREAS AS PER CITY OF FRANKLIN  
ZONING ORDINANCE SECTION 5.9.11 (4) "DEFERRED PARKING"

### SITE DATA

PROJECT NAME: AVENIDA OF COOL SPRING  
COF PROJECT NUMBER: 6191  
MAP: PARCEL NUMBERS: 53, 10400  
ADDRESS: 222 MALLERY STATION ROAD  
CITY: FRANKLIN  
COUNTY: WILLIAMSON  
STATE: TENNESSEE  
CIVIL DISTRICT: 8

EXISTING ZONING & CHARACTER AREA OVERLAY: GO - GENERAL  
OFFICE & BCCO-3  
PROPOSED LAND USE: MULTIFAMILY  
PROPOSED ZONING: SPECIFIC DEVELOPMENT RESIDENTIAL 27.33  
(SD-R 27.33)  
CHARACTER OVERLAYS: BCCO-3  
APPLICABLE DEVELOPMENT STANDARDS: CONVENTIONAL  
SITE ACREAGE (GROSS): +/- 5.195 AC  
SITE SQUARE FOOTAGE (GROSS): +/- 226,294 SF  
PUD SITE ACREAGE (NET): +/- 4.926 AC  
PUD SITE SQUARE FOOTAGE (NET): +/- 214,576 SF  
R.O.W. DEDICATION: +/- 2547 AC  
R.O.W. DEDICATION SQUARE FOOTAGE: +/- 11,098 SF

BLDG TOTAL SF: 187,000 SF  
1ST FLOOR: 65,000 SF  
2ND FLOOR: 65,000 SF  
3RD FLOOR: 57,000 SF

ACCESSORY STRUCTURE SF:  
8 BAY GARAGE: 1,936 SF EACH; 3,872 SF TOTAL  
9 BAY GARAGE: 2,178 SF EACH; 4,356 SF TOTAL

BUILDING/ACCESSORY STRUCTURE HEIGHT:  
3-STORY: 33 TO SOFFIT; 45' TO RIDGE  
2-STORY: 20' TO SOFFIT; 32' TO RIDGE  
ACCESSORY STRUCTURE: 1-STORY: 16' TO RIDGE

TOTAL DWELLING UNITS PROPOSED: 142  
UNIT MIX: +/- 61 - 1 BEDROOM  
81 - 2 BEDROOM

PROPOSED GROSS DENSITY: 27 D.U.A.  
PROPOSED NET DENSITY: 29 D.U.A.

#### MINIMUM REQUIRED SETBACK LINES:

FRONT YARD SETBACK ON COLLECTOR: 40 FEET  
SIDE YARD: 15 FEET  
REAR YARD: 30 FEET

ACCESSORY STRUCTURE SETBACK LINES:  
5 FEET FROM PROPERTY LINES

PARKING RATIO PER CITY OF FRANKLIN ZONING ORDINANCE:  
1.5 SPACES PER DWELLING UNIT = 213 PARKING SPACES

PROPOSED PARKING: 189 SPACES = 1.33 SPACES/DU  
117: SURFACE PARKING  
6: ACCESSIBLE PARKING  
32: GUEST PARKING

DEFERRED PARKING REQUESTED:  
15% OF REQUIRED SPACES = 33 SPACES

MIN. LANDSCAPE SURFACE RATIO: 0.20  
LANDSCAPE SURFACE RATIO PROVIDED:  
GROSS: 0.28  
NET: 0.30

PARKLAND DEDICATION REQUIREMENT:  
142 UNITS @ 106,200 SF:  
GROSS: 0.28  
FEES OF \$660,702.50 SHALL BE DUE AT THE FIRST  
FINAL PLAT

MINIMUM OPEN SPACE, BASED UPON NET ACREAGE  
REQUIRED: 15 PERCENT; +/- 31,644 SF  
PROVIDED: 29 PERCENT; +/- 63,941 SF

FORMAL OPEN SPACE:  
REQUIRED: +/- 10,442 SF  
PROVIDED: +/- 15,798 SF

INFORMAL OPEN SPACE:  
REQUIRED: +/- 21,202 SF  
PROVIDED: +/- 48,143 SF

OWNER:  
FRANKLIN RADIO ASSOCIATES, INC.  
222 MALLERY STATION ROAD  
FRANKLIN, TN 37067  
CONTACT: CHARLES DRIBELL  
615.794.1594

DEVELOPER:  
AVENIDA PARTNERS  
19700 FAIRCHILD ROAD  
SUITE 170  
IRVINE, CA 92612  
CONTACT: ROBERT MAY  
949.298.4540

APPLICANT:  
KISER & VOGRIN DESIGN  
5005 MERIDIAN BLVD. STE 100  
FRANKLIN, TN 37067  
CONTACT: CHRISTOPHER WOOD  
615.719-1943  
CHRIS@KISERVOGRIN.COM

### SITE CONTEXT AND DESIGN DESCRIPTIONS

1. Per the Land Use Plan Area BCCO-3, Attached residential uses are appropriate for this site. High quality design, people-friendly environments, and strong connectivity will be encouraged through heightened architectural and site design to reflect, and reinforce, the character of Franklin.
2. The proposed age restricted (55+ age) attached residential development and requested rezoning from General Office (GO) to Specific Development-Residential (SD-R) would be compatible with the surrounding area, given that the site is currently surrounded by similar age restricted development to the North and Northwest and similarly zoned parcels to the North, West and South. The developments to the East and Northeast are currently zoned as Heavy Industrial (HI) land use designation, so therefore the proposed development would provide a physical transition to the lower density developments heading West along Mallery Station Road. The site design will be compatible with conventional design standards, as outlined by the City of Franklin.
3. The proposed age restricted (55+ age) attached residential building located on this site will consist of a one (1) story garage structure with individual secured parking bays located along the northern property line. The one story garage structure will transition to a two (2) story rear facade of the residential building which will then transition to a typical three (3) story elevation for the remainder of the proposed building. Each facade will be architecturally detailed so that no elevation is perceived as the "rear" of the building. The proposed use of traditional building materials such as brick and wood on proposed structures as well as the architectural detailing will be used to create warm, welcoming environment that emphasize the up-scale residential nature of the project. The building design will reflect elements of the Greek Revival architectural design style prevalent throughout the Franklin area.

CONCRETE PAVERS  
CONCRETE SIDEWALK

0 30 60 90  
SCALE: 1"= 30'

### GENERAL NOTES

- There are no historical structures on this site as identified by The National Registers of Historic Places.
- Trip Generation = 23,116 trips per day
- Adequate turning movements shall be provided for utility and service vehicles (See Sheet C4.0).
- Schools within proximity of site:
- Kenrose Elementary School = 6.3 miles away
- Woodland Middle School = 7.0 miles away
- Centennial High School = 1.0 miles away
- All public improvements to be located in an easement.
- Prior to construction, tree protection fence to be constructed per City of Franklin specifications.
- This site will require the use of on-site water quality practices to treat stormwater from the site.
- Adjacent Land Uses:  
(RM 20) = Attached 20 Residential District  
(GO) = General Office  
(SD) = Specific Development  
(GC) = GENERAL COMMERCIAL
- Reclaimed (reuse) water facilities not available to the site.
- Refuse collection from residential units will be private.
- Existing Franklin Transit Authority TMA Eastbound route stops at Mallery Lane and McEwen Drive.
- Nearest Facilities:  
FIRE = Franklin Fire Department Station 2, 2.2 miles away  
POLICE = Franklin Police Department, 4.1 miles away  
RECREATIONAL = Liberty Park, 1.5 miles away
- This site has direct access to Liberty Pike, which is a minor arterial, and Carothers Pkwy, which is a major arterial, to collect and disperse vehicular traffic. Refer to Traffic Impact Study prepared by Fischbach Transportation Group (FTG).
- Connectivity Index Score does not apply.
- The anticipated impact on streets shown on the major thoroughfare plan is a fulfillment of the demands for off-network connections and a reduction or minimal impact on major arterials. The proposed connections to Liberty Pike and Carothers multi-modal trail shall provide alternative means of transportation.
- Mallery Valley Utility District is the potable water supplier. Use of re-purified water will be incorporated if available. Maximum capacity is approximately 1.3 million GPD.
- All streets to be private.
- All retaining walls shall be in compliance with the City of Franklin Zoning Ordinance.
- All commercial buildings shall have fire sprinkler systems.
- City of Franklin is the sanitary sewer provider.
- Stormwater Quality and Quantity practices will be implemented on site.
- The nearest hydrant is located west of Carothers at the intersection of Liberty Pike. The hydrant has a static pressure of 132 PSI and residual pressure of 122 PSI.
- Although grass channels and vegetated filter strips are not currently shown, applicant would like to reserve the ability to specify those BMP's should future programming allow their usage.
- Site lighting to be in coordination with Middle TN Electric Company and the City of Franklin Design Standards and will be to pedestrian scale and illuminated with cut-off fixtures.
- Unnamed tributary to Watson's Branch identified as an impaired waterway by TDEC.
- Project to be completed in 2 Phases. See Phase Map below, for illustrated phase delineations. Expected commencement is August of 2016.
- Existing Easements from Survey. Proposed easements shown on plan

NET SITE OPEN SPACE  
63,941 SF  
OPEN SPACE IN FUTURE  
R.O.W. DEDICATION  
11,098 SF

GROSS SITE OPEN SPACE = 75,521 SF  
NET SITE OPEN SPACE = 63,941 SF

PHASING:  
SITE TO BE DEVELOPED IN ONE PHASE

MINERAL RIGHTS:  
MINERAL RIGHTS WILL BE HELD BY  
OWNER

DATE: 09.01.16  
DESIGNED BY: DK  
DRAWN BY: CBW  
CHECKED BY: CBW  
Q.C. BY: Q.C. BY  
SCALE: 1"=30'  
PROJECT #: 16001  
SHEET NUMBER:

REVISIONS:

09-01-2016 : PER COF COMMENTS

AVENIDA OF COOL SPRINGS  
PUD DEVELOPMENT PLAN RESUBMITTAL  
OVERALL DEVELOPMENTAL PLAN  
COF# 6191

Franklin, Williamson Co, TN

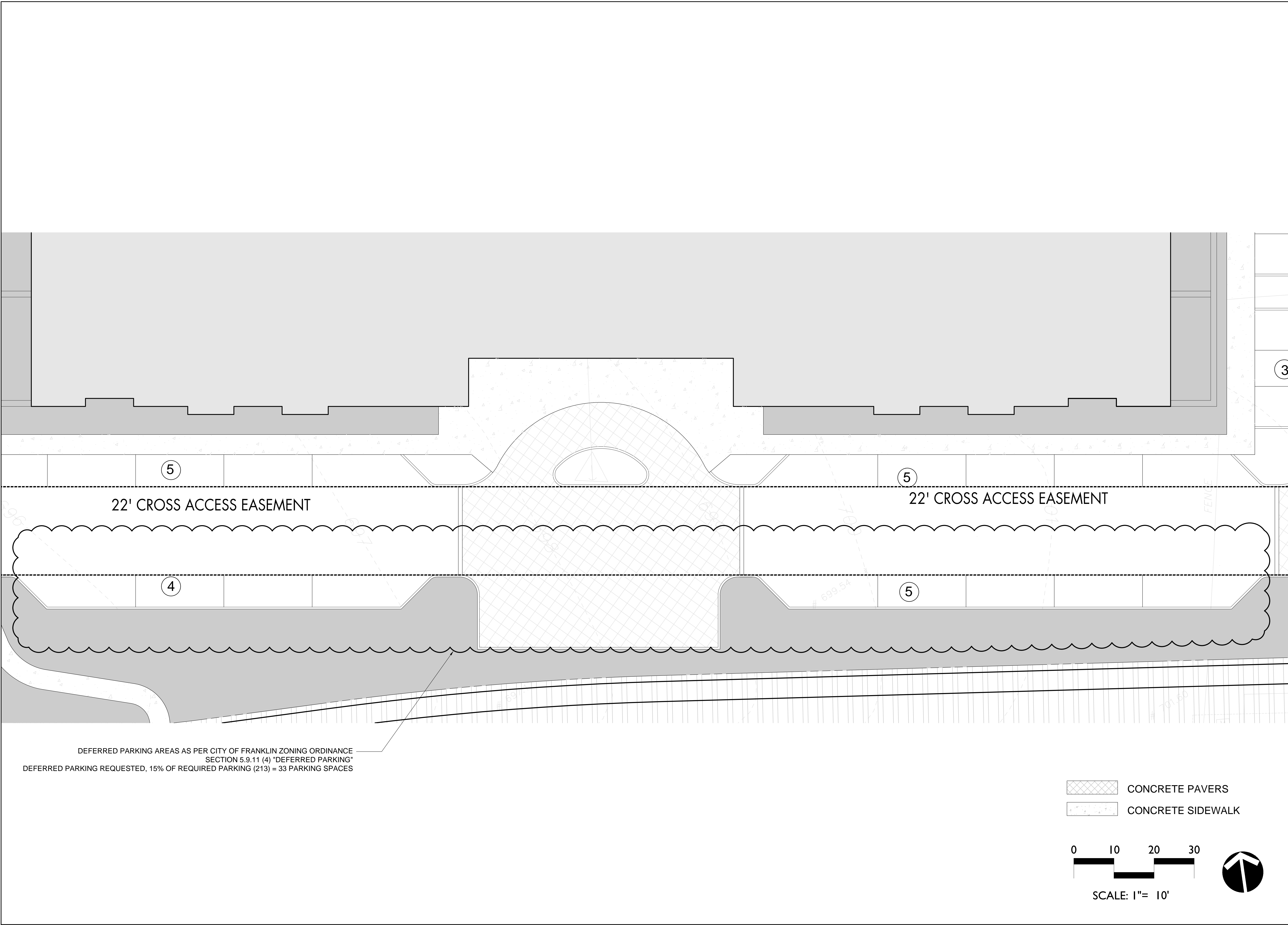


FULMER  
ENGINEERING  
2002 RICHARD JONES RD - SUITE C304 NASHVILLE,  
TENNESSEE 37215  
INFO@FULMERENG.COM - (615) 516-8477

LORD  
AECK  
SARGENT

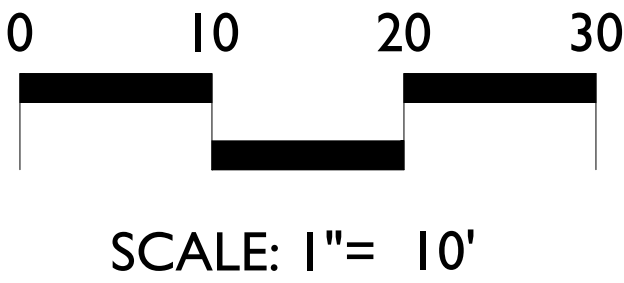
KV+D  
KISER VOGRIN DESIGN  
5005 Meridian Blvd. Ste 100 Franklin, TN 37067





DEFERRED PARKING AREAS AS PER CITY OF FRANKLIN ZONING ORDINANCE  
SECTION 5.9.11 (4) "DEFERRED PARKING"  
DEFERRED PARKING REQUESTED, 15% OF REQUIRED PARKING (213) = 33 PARKING SPACES

CONCRETE PAVERS  
CONCRETE SIDEWALK



DATE: 09.01.16  
DESIGNED BY: DK  
DRAWN BY: CBW  
CHECKED BY: CBW  
Q.C. BY: Q.C. BY  
SCALE: 1"=30'  
PROJECT #: 16001  
SHEET NUMBER:

C2.1

REVISIONS:  
09-01-2016 : PER COF COMMENTS

AVENIDA OF COOL SPRINGS  
PUD DEVELOPMENT PLAN RESUBMITTAL  
DEFERRED PARKING AREA  
COF# 6191  
Franklin, Williamson Co, TN

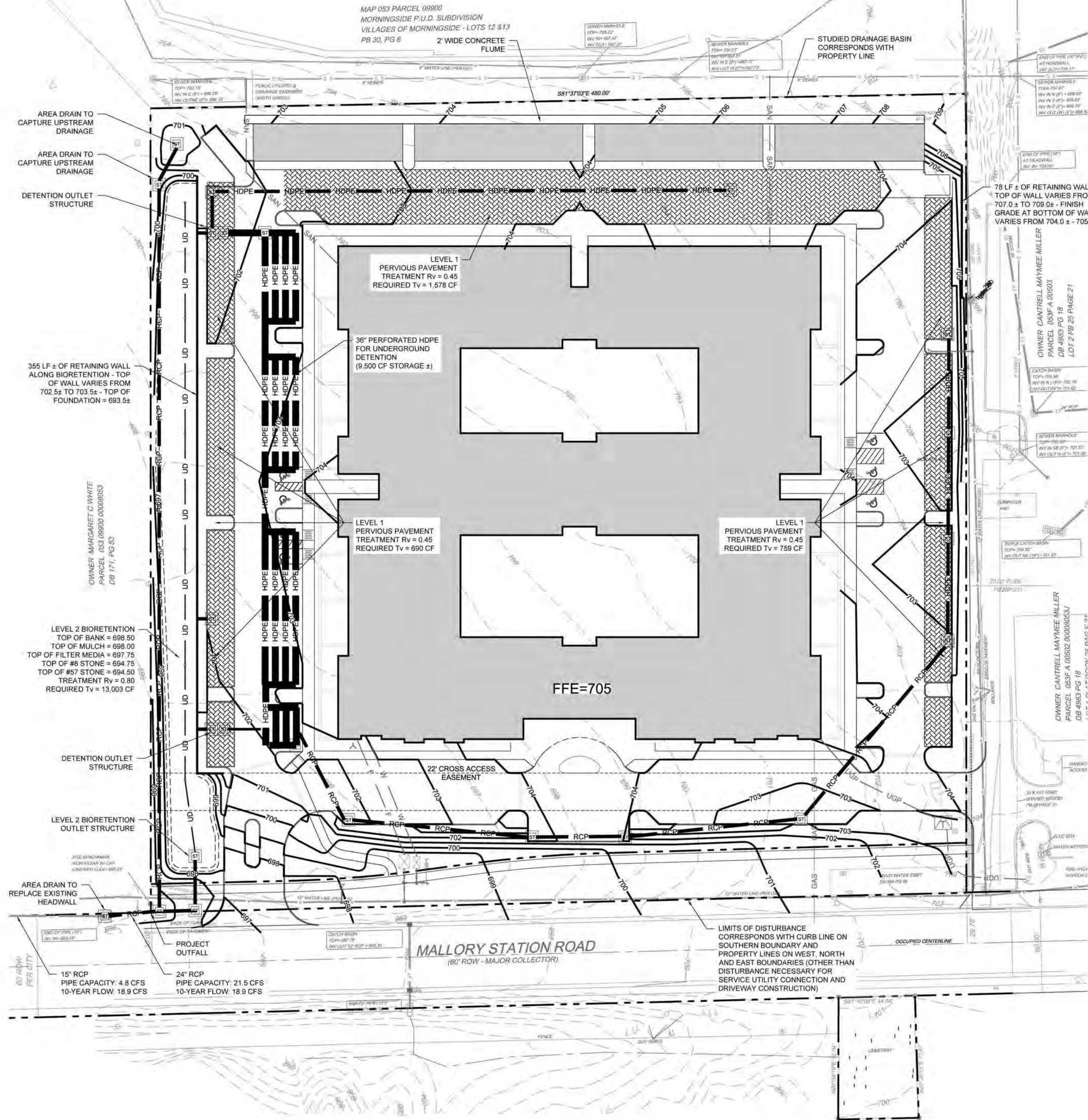
09.01.16

**FULMER**  
ENGINEERING  
2002 RICHARD JONES RD - SUITE C304 NASHVILLE,  
TENNESSEE 37215  
INFO@FULMERENG.COM • (615) 616-8477

**LORD  
AECK  
SARGENT**

**KV+D**  
KISER VOGRIN DESIGN  
5005 Meridian Blvd. Ste 100 Franklin, TN 37057





**STORMWATER NARRATIVE:**  
STORMWATER QUALITY FOR THE PROJECT WILL BE PROVIDED BY UTILIZING BIORETENTION AND PERVIOUS PAVEMENT. THE AREA ALONG THE WESTERN PROPERTY LINE CAN PROVIDE APPROXIMATELY 7,000 SF OF BIORETENTION. THE PROPOSED BIORETENTION WILL BE LEVEL 2, WITH AN EQUIVALENT STORAGE DEPTH OF 2.30 FEET. PERVIOUS PAVEMENT WILL BE UTILIZED IN THE PARKING SPACES ON THE WESTERN AND EASTERN SIDE OF THE PROPERTY. IN ADDITION, PERVIOUS PAVEMENT WILL BE UTILIZED IN THE DRIVE AISLE ON THE NORTH SIDE OF THE PROPERTY. THESE GREEN INFRASTRUCTURE PRACTICES WILL SATISFY THE CITY REQUIREMENTS CONCERNING STORMWATER QUALITY REQUIREMENTS.

STORMWATER QUANTITY FOR THE PROJECT WILL BE PROVIDED BY UTILIZING BIORETENTION AND PERVIOUS PAVEMENT. THESE GREEN INFRASTRUCTURE PRACTICES WILL DECREASE THE RUNOFF LEAVING THE SITE. THESE PRACTICES ALONE WILL NOT REDUCE THE RUNOFF LEAVING THE SITE TO MEET THE CITY REQUIREMENTS CONCERNING PEAK RUNOFF CONTROL. UNDERGROUND STORAGE WITH OUTLET STRUCTURE CONTROL WILL BE UTILIZED TO SUPPLEMENT THE BIORETENTION AND PERVIOUS PAVEMENT TO SATISFY THE CITY REQUIREMENTS CONCERNING STORMWATER QUANTITY REQUIREMENTS.

ALL STORMWATER WILL BE CONVEYED TO THE EXISTING OUTFALL AT THE SOUTHWEST CORNER OF THE SITE, WHICH DISCHARGES TO THE SOUTHERN SIDE OF MALLORY STATION AND ULTIMATELY REACHES DRY BRANCH CREEK.

**IMPACT STATEMENT:**  
THE PROPOSED DEVELOPMENT WILL CONSIST OF 142 RESIDENCES. THESE PROPOSED RESIDENCES WILL REQUIRE POLICE, FIRE AND SOLID WASTE SERVICES. IT IS ALSO ANTICIPATED THAT RESIDENTS WILL UTILIZE PUBLIC RECREATIONAL FACILITIES. IMPACT TO SURROUNDING DRAINAGE FACILITIES IS ANTICIPATED TO BE MINIMAL AS THE PROPOSED DEVELOPMENT WILL SATISFY THE CITY REQUIREMENTS FOR STORMWATER QUALITY AND QUANTITY.

**CITY OF FRANKLIN GRADING & DRAINAGE GENERAL NOTES**

1. GRADING PERMIT IS REQUIRED FOR ANY PROJECT DISTURBING MORE THAN 10,000 SF, ADDING MORE THAN 5,000 SF OF IMPERVIOUS SURFACE OR FOR ANY SITE GRADING REQUIRING STOCKPILING OF MATERIAL.
2. THE DEVELOPER SHALL PROVIDE THE NECESSARY LABOR AND SUPERVISION REQUIRED TO SUPPORT FIELD TESTING BY THE INDEPENDENT TESTING FIRM AND INSPECTIONS BY CITY OFFICIALS AT NO COST TO THE CITY. TEST REPORTS OF FIELD TESTING IF APPLICABLE SHALL BE SUBMITTED DIRECTLY TO THE STREET DEPARTMENT. DEFECTS DISCLOSED BY TESTS SHALL BE RECTIFIED.
3. AN AUTHORIZED REPRESENTATIVE OF THE CITY SHALL MAKE A FINAL INSPECTION OF THE PROJECT AFTER COMPLETION TO DETERMINE ACCEPTABILITY OF THE WORK AND FOR RELEASE OF PERFORMANCE BONDS IF REQUIRED. BEFORE THIS FINAL INSPECTION CAN BE MADE, THE ENGINEER RESPONSIBLE FOR THE PROJECT SHALL CERTIFY IN WRITING TO THE CITY ENGINEER THAT THE WORK HAS BEEN COMPLETED IN ACCORDANCE WITH APPROVED PLANS AND SPECIFICATIONS.
4. DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, CULVERTS, DETENTION BASINS AND DITCHES, AS WELL AS THE ROADWAY SUB-GRADE, BASE STONE AND BINDER & SURFACE COARSE SHALL BE INSPECTED, TESTED AND GIVEN APPROVAL AT EACH STAGE OF INSTALLATION PRIOR TO PROCEEDING TO THE NEXT STAGE OF CONSTRUCTION. FINAL CONSTRUCTION INSPECTION FOR APPROVAL AND ACCEPTANCE OF STREETS AND DRAINAGE SYSTEMS WILL NOT BE GRANTED UNTIL ALL WORK HAS BEEN COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS.
5. LOCATING AND COORDINATION FOR THE RELOCATION OF EXISTING UTILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR. TENNESSEE'S ONE-CALL AND THE CITY OF FRANKLIN UTILITY LOCATION SERVICE SHALL BE UTILIZED IN ADDITION TO COORDINATION WITH LOCAL UTILITY OWNERS. THE CONTRACTOR SHALL AT ALL TIMES PROTECT EXISTING UTILITIES AND WILL BE RESPONSIBLE FOR COSTS DUE TO DAMAGE CAUSED TO ANY UTILITY LINES.

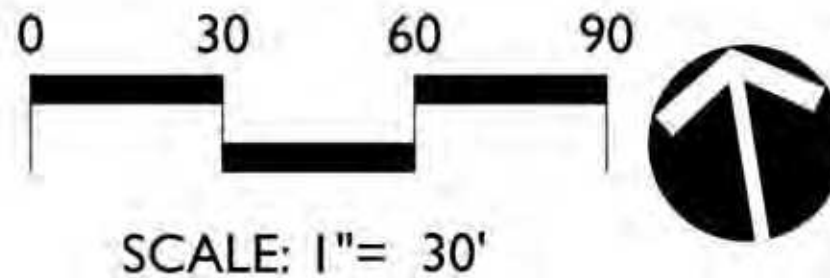
**FLOODPLAIN NOTE**  
THE PROPERTY SHOWN HEREON IS LOCATED IN A FLOOD HAZARD ZONE "X" (AREAS DETERMINED TO BE OUTSIDE OF 100 YEAR FLOODPLAIN) ACCORDING TO F.I.R.M. MAP "WILLIAMSON COUNTY, TENNESSEE AND INCORPORATED AREAS" PANEL 204 OF 485, MAP NUMBER 47187C0204F. MAP REVISED ON SEPTEMBER 29, 2006 ACCORDING TO THE FIRM MAP.

**GRADING & DRAINAGE DATA CHART (EXISTING)**

SITE AREA:	5.20 ACRES
IMPERVIOUS AREA:	0.07 ACRES
DISTURBED AREA:	0.00 ACRES
Rv VALUE:	0.19
PEAK FLOW RUNOFF:	
2 YEAR:	6.24 CFS
5 YEAR:	11.79 CFS
10 YEAR:	15.78 CFS
25 YEAR:	21.22 CFS
50 YEAR:	25.44 CFS
100 YEAR:	29.68 CFS

**GRADING & DRAINAGE DATA CHART (PROPOSED)**

SITE AREA:	5.20 ACRES
IMPERVIOUS AREA:	3.41 ACRES
DISTURBED AREA:	5.20 ACRES
Rv VALUE:	0.18
PEAK FLOW RUNOFF:	
2 YEAR:	6.20 CFS
5 YEAR:	11.60 CFS
10 YEAR:	15.50 CFS
25 YEAR:	21.00 CFS
50 YEAR:	25.10 CFS
100 YEAR:	29.20 CFS





PUBLIC UTILITIES & DRAINAGE EASEMENT (WIDTH VARIES)

S81°37'03"E 480.00'

22' CROSS ACCESS EASEMENT

LOW RISE BAR

The site plan shows a large rectangular building with a central courtyard. The building is surrounded by a 22' cross access easement. The plan also shows public utilities and drainage easements, which vary in width. A low rise bar is located on the right side of the building. The plan is oriented with North at the top.

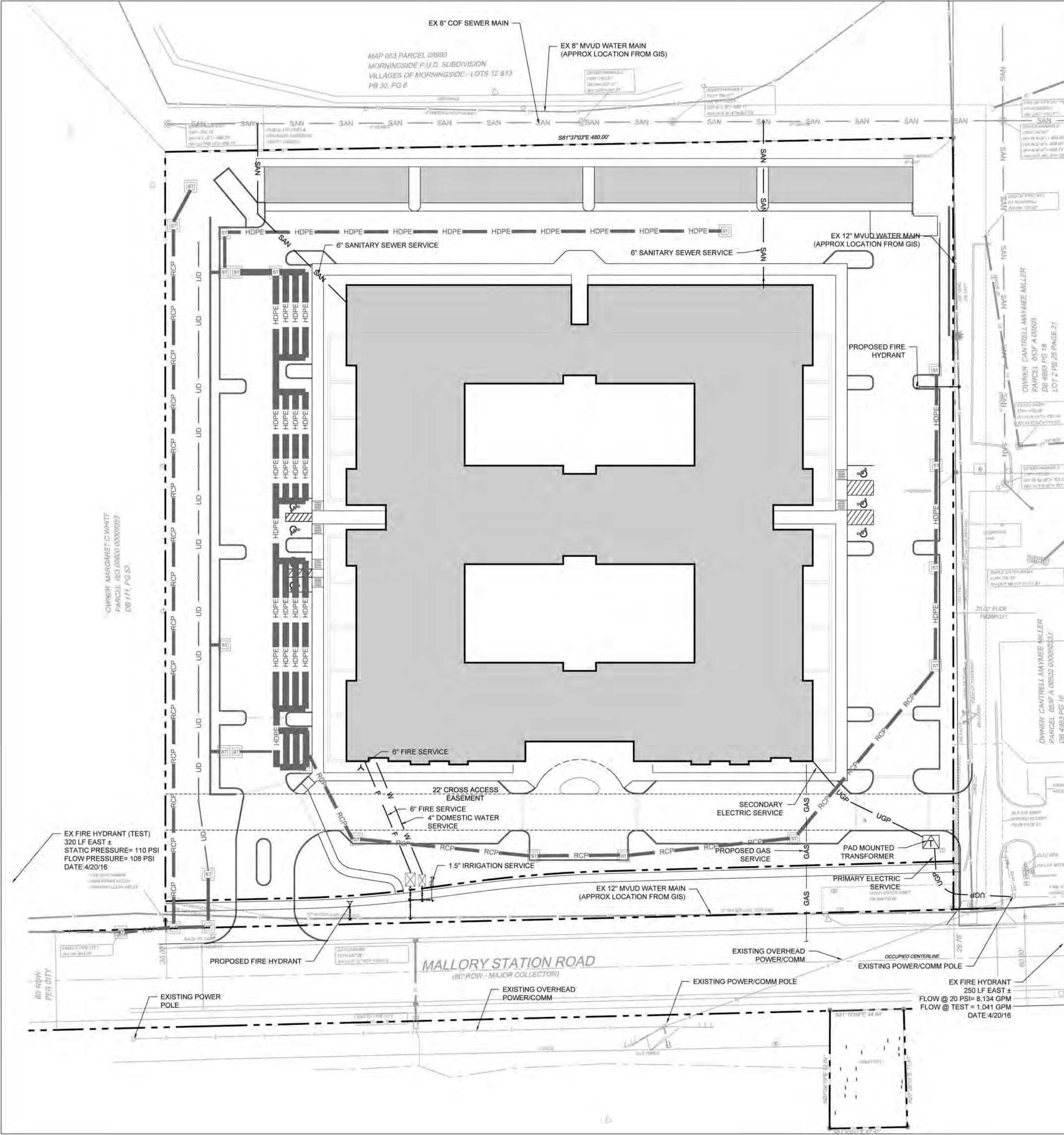
Engineering plan view of Mallory Station Road. The drawing shows the road's alignment with a proposed right-of-way (ROW) and an existing ROW. The centerline is marked with a dashed line. A fence line is shown below the road. To the right, a cemetery is indicated with a dashed line and the word "CEMETERY". The road is labeled "MALLORY STATION ROAD (60' ROW - MAJOR COLLECTOR)". A note "Public 70' Prop Road (2015) (Mallory)" is present. Other labels include "BACK OF CURB", "EDGE OF PAVEMENT", "PROPOSED ROW", "EXISTING ROW", "OCCUPIED CENTERLINE", "FENCE", "MALLORY STATION ROAD", and "CEMETERY". A scale bar at the bottom indicates "0' 10' 20' 30' 40' 50' 60' 70' 80' 90' 100'".

SCALE: 1"= 30'

DATE: 09.01.16  
DESIGNED BY: JF  
DRAWN BY: BH  
CHECKED BY: JM  
Q.C. BY: JF  
SCALE: 1"=30'  
PROJECT #: 16001  
SHEET NUMBER:

## C4.0





**LEGEND:**

— W —	DOMESTIC WATER SERVICE	— UD —	PERVIOUS PAVEMENT UNDERDRAIN
— GAS —	GAS SERVICE	— RD —	ROOF DRAIN TRUNK LINE
— SAN —	SANITARY SEWER SERVICE	— RCP —	RCP STORM PIPE
— OHE —	OVERHEAD ELECTRIC SERVICE	— CMP —	CORRUGATED METAL PIPE
— OHT —	OVERHEAD TELEPHONE SERVICE	— HDPE —	HDPE PIPE (ADS N-12 OR EQUAL)

**UTILITY NETWORK NARRATIVE:**  
THE PROPOSED MULTIFAMILY PROJECT WILL UTILIZE EXISTING UTILITIES ADJACENT TO THE SITE TO PROVIDE WATER, SANITARY SEWER, ELECTRIC, GAS AND COMMUNICATION. NO UTILITY MAIN EXTENSIONS ARE EXPECTED TO BE REQUIRED TO FACILITATE THE DEVELOPMENT. ADDITIONAL FIRE HYDRANTS ARE TO BE INSTALLED TO PROVIDE ADEQUATE FIRE PROTECTION HOSE COVERAGE.

**IMPACT STATEMENT:**  
THE DEMAND OF THE PROPOSED DEVELOPMENT CAN BE ADEQUATELY ACCOMMODATED BY THE EXISTING INFRASTRUCTURE, AND THE PROJECT IS NOT ANTICIPATED TO HAVE A NEGATIVE EFFECT ON THE UTILITIES OR OTHER USERS THEREOF. THE PROJECT WILL USE DOMESTIC, FIRE AND IRRIGATION WATER SERVICE PROVIDED BY MALLORY VALLEY UTILITY DISTRICT. SANITARY SEWER IS PROVIDED BY THE CITY OF FRANKLIN. RE-PURIFIED WATER IS NOT INCLUDED IN THE PROPOSED DEVELOPMENT.

**THE ANTICIPATED WATER DEMAND IS:**  
DOMESTIC: 75 GPM  
FIRE: 2,000 GPM @ 20 PSI  
IRRIGATION: 25 GPM

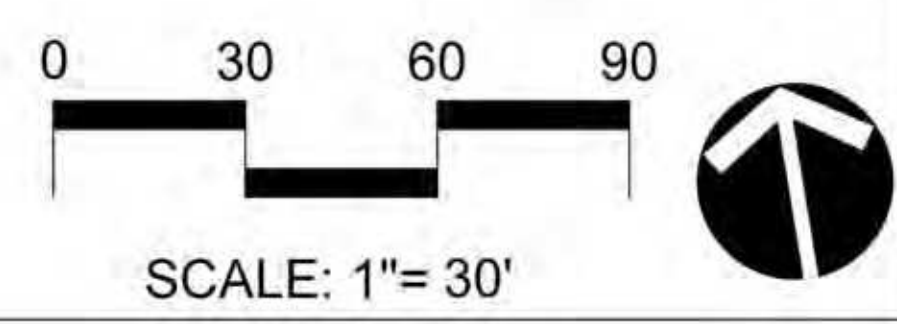
**UTILITY CONTACTS:**

<b>SANITARY SEWER</b> CITY OF FRANKLIN (COF) 109 3RD AVE S FRANKLIN, TN 37064  CONTACT: BRAD FURLINE BRAD.FURLINE@FRANKLIN.TN.GOV 615-202-2288	<b>ELECTRIC SERVICE</b> MIDDLE TN ELECTRIC MEMBERSHIP CORP. 2156 EDWARD CURD LANE FRANKLIN, TN 37067  CONTACT: BOBBY O'NEAL BOBBY.O'NEAL@MTEMC.COM 615-595-4663	<b>COMMUNICATION SERVICE</b> AT&T 500 LIBERTY PIKE FRANKLIN, TN 37064  CONTACT: DAVID TUTTEROW DT8243@ATT.COM 615-595-7816
<b>COF WATER MANAGEMENT INSPECTIONS</b> 124 LUMBER DRIVE FRANKLIN, TN 37064  CONTACT: BEN MCNEIL BEN.MCNEIL@FRANKLIN.TN.GOV 615-794-4554	<b>GAS SERVICE</b> ATMOS ENERGY 220 NOAH DRIVE FRANKLIN, TN 37064  CONTACT: RON MYATT RON.MYATT@ATMOSENERGY.COM 615-566-3073	<b>COMCAST CABLE</b> 660 MAINSTREAM DRIVE NASHVILLE, TN 37228  CONTACT: MARLON FRIZZELL MARLON.FRIZZELL@CABLE.COMCAST.COM 615-244-7452X1115547
<b>WATER SERVICE</b> MALLORY VALLEY UTILITY DISTRICT 465 DUKE DRIVE FRANKLIN, TN 37067  CONTACT: JENNY CLARKE JCLARKE@MVUD.ORG 615-628-0245		

- CITY OF FRANKLIN WATER & SEWER GENERAL NOTES**
- ALL PERSONS WHO UNDERTAKE THE CONSTRUCTION OF WATER, SEWER AND/OR RECLAIMED WATER LINES LOCATED IN, OR AFFECTING SERVICES PROVIDED BY THE CITY OF FRANKLIN SHALL COMPLY WITH THE REQUIREMENTS AND REGULATIONS SET FORTH IN THE "GENERAL REQUIREMENTS & TECHNICAL SPECIFICATIONS, WATER MANAGEMENT DEPARTMENT, CITY OF FRANKLIN, TENNESSEE" LATEST EDITION, ALONG WITH ANY AMENDMENTS, ADDITIONS, OR ALTERATION THAT MAY THEREAFTER BE ADOPTED BY THE BOARD OF MAYOR AND ALDERMEN BY RESOLUTION.
  - CONTRACTOR SHALL OBTAIN WATER & SEWER INFRASTRUCTURE INSTALLATION PERMIT PRIOR TO SCHEDULING REQUIRED PRE-CONSTRUCTION SITE MEETING. CONTRACTOR SHALL COMPLETE THE PRE-CONSTRUCTION SITE MEETING PRIOR TO COMMENCING WITH CONSTRUCTION.
  - CONTRACTOR SHALL OBTAIN AND KEEP ALL OF THE FOLLOWING ITEMS ON THE JOBSITE AT ALL TIMES DURING CONSTRUCTION:  
A. APPROVED, STAMPED AND SIGNED WATER AND/OR SEWER PLANS  
B. WATER & SEWER INFRASTRUCTURE INSTALLATION PERMIT, WITH ALL STEPS COMPLETED AND SIGNED BY APPROPRIATE CITY EMPLOYEES.  
C. COPY OF APPROVED AVAILABILITY REQUEST RESPONSE LETTER.  
D. A COPY OF ALL APPROVED CUT SHEETS.
  - ACCEPTANCE OF CITY OF FRANKLIN PUBLIC WATER INFRASTRUCTURE, SANITARY SEWER INFRASTRUCTURE AND/OR RECLAIMED WATER INFRASTRUCTURE SHALL BECOME THE RESPONSIBILITY OF THE CITY OF FRANKLIN, TN FOLLOWING APPROVAL FROM THE CITY OF FRANKLIN INSPECTORS AND ACCEPTANCE BY THE FRANKLIN MUNICIPAL PLANNING COMMISSION. THE ACCEPTANCE DATE SHALL BE BASED ON THE DAY MAINTENANCE SURETIES ARE ESTABLISHED BY THE FRANKLIN MUNICIPAL PLANNING COMMISSION.
  - PRIOR TO THE ACCEPTANCE OF CITY OF FRANKLIN PUBLIC WATER INFRASTRUCTURE, SANITARY SEWER INFRASTRUCTURE AND/OR RECLAIMED WATER INFRASTRUCTURE, THE CONTRACTOR SHALL BE REQUIRED TO SUBMIT AS-BUILT DRAWINGS TO THE WATER MANAGEMENT DEPARTMENT.
  - ALL OFF-SITE WORK WITHIN THE PUBLIC RIGHT-OF-WAY OF ANY UTILITY OR TEMPORARY CONSTRUCTION EASEMENT OF THE CITY OF FRANKLIN BY ANY ENTITY UNLESS 72-HOUR NOTICE HAS BEEN GIVEN TO THE CITY OF FRANKLIN TRAFFIC OPERATIONS CENTER. THE CONTRACTOR SHALL HAVE AN APPROVED TRAFFIC CONTROL PLAN ON-SITE DURING CONSTRUCTION.
  - ANY DAMAGES CAUSED TO EXISTING UTILITIES DURING CONSTRUCTION SHALL, AT HIS OWN EXPENSE, BE REPLACED OR REPAIRED TO ORIGINAL CONDITION AND QUALITY, AS APPROVED BY THE OWNER AND REPRESENTATIVE OF THE APPROPRIATE UTILITY COMPANY, BY THE CONTRACTOR.
  - THE CITY OF FRANKLIN IS NOT A MEMBER OF TN ONE CALL. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT FRANKLIN WATER MANAGEMENT NO LESS THAN 72 HOURS PRIOR TO COMMENCING WORK.

**UTILITY PLAN DATA CHART**

<b>FACILITY TYPE:</b>	MULTIFAMILY 61 - 1 BEDROOM 81 - 2 BEDROOM
<b>UNIT FLOW (GPD):</b>	250 GPD FOR 1 BEDROOM 300 GPD FOR 2 BEDROOM
<b>NUMBER OF UNITS:</b>	113 UNITS OF FLOW (350 GPD/UNIT)
<b>TOTAL FLOW:</b>	39,550 GPD
**125 SFUE HAVE BEEN RESERVED	



**KISER VOGRIN DESIGN**  
5005 Meridian Blvd., Ste 100 Franklin, TN 37067  
615.719.1945

**LORD  
AECK  
SARGENT**

**F FULMER  
ENGINEERING**  
2002 RICHARD JONES RD - SUITE C304 NASHVILLE,  
TENNESSEE 37215  
INFO@FULMERENGINEERING.COM - (615) 516-8477

**AVENIDA OF COOL SPRINGS  
PUD DEVELOPMENT PLAN SUBMITTAL  
OVERALL UTILITY PLAN  
COF# 6191**  
Franklin, Williamson Co, TN

REVISIONS:  
09-01-2016 - PER COF COMMENTS

DATE: 09.01.16  
DESIGNED BY: JF  
DRAWN BY: BH  
CHECKED BY: JM  
Q.C. BY: JF  
SCALE: 1"=30'  
PROJECT #: 16001  
SHEET NUMBER:  
**C5.0**





SOUTH (FRONT) ELEVATION 0 16 32 FT



EAST (SIDE) ELEVATION 0 16 32 FT



WEST (SIDE) ELEVATION 0 16 32 FT

**ELEVATION KEY**

1. FIBER CEMENT LAP SIDING (WHITE)
2. BRICK
3. STONE / BRICK
4. STANDING SEAM METAL ROOF
5. ARCHITECTURAL SHINGLE
6. STOREFRONT WINDOW SYSTEM (DARK GRAY)
7. RESIDENTIAL WINDOWS (WHITE)
8. FIBER CEMENT BOARD AND BATTEN
9. STUCCO





- ELEVATION KEY**
- 1. FIBER CEMENT LAP SIDING (WHITE)
  - 2. BRICK
  - 3. STONE / BRICK
  - 4. STANDING SEAM METAL ROOF
  - 5. ARCHITECTURAL SHINGLE
  - 6. STOREFRONT WINDOW SYSTEM (DARK GRAY)
  - 7. RESIDENTIAL WINDOWS (WHITE)
  - 8. FIBER CEMENT BOARD AND BATTEN
  - 9. STUCCO



DATE: 09.01.16  
DESIGNED BY:  
CHECKED BY:  
SCALE:  
PROJECT #:  
SHEET NUMBER:

**A.I.1**

REVISIONS:

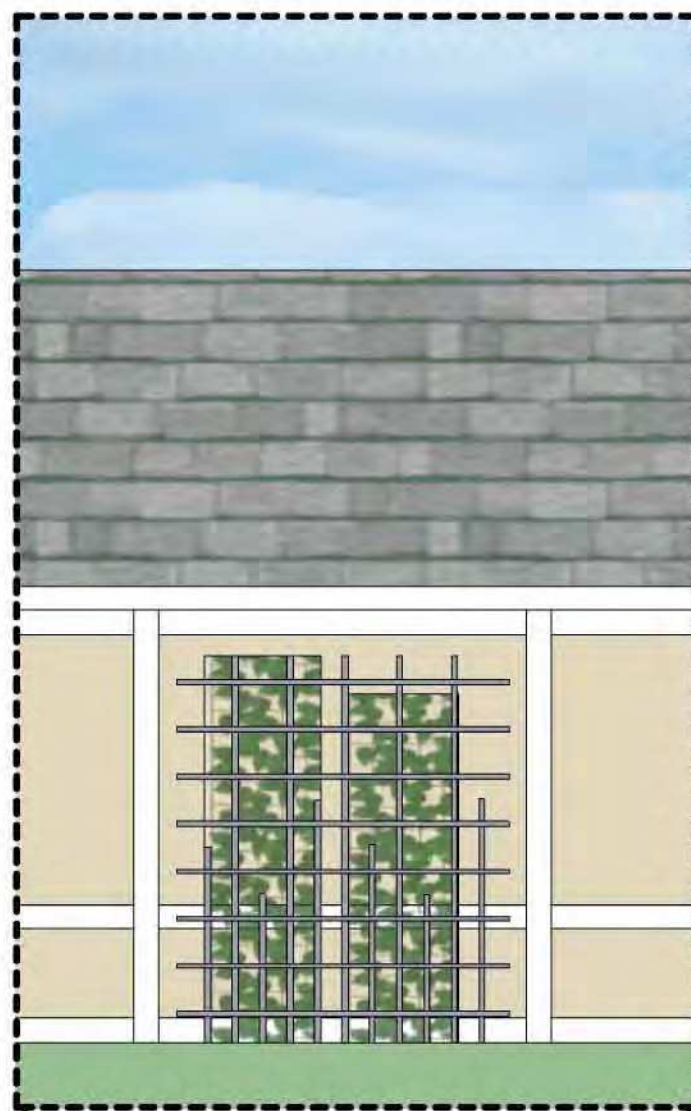
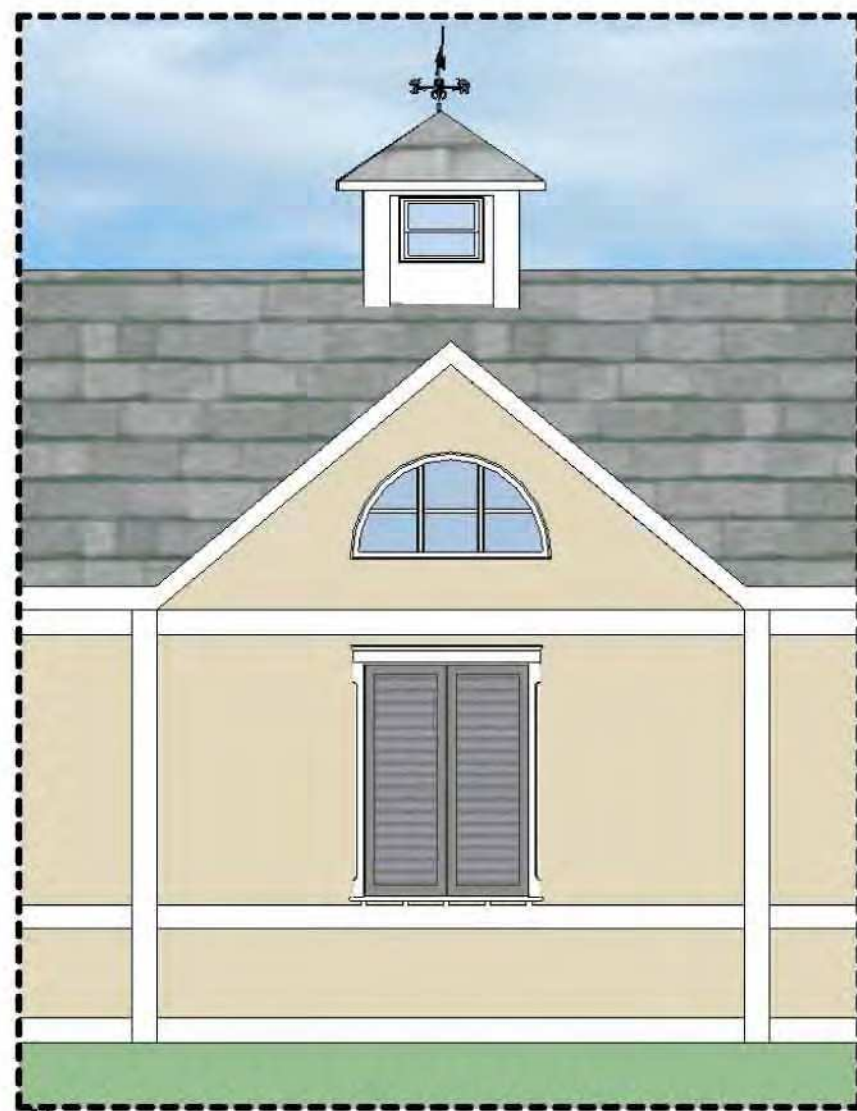
AVENIDA OF COOL SPRINGS  
PUD DEVELOPMENT PLAN RESUBMITTAL  
ARCHITECTURAL ELEVATIONS  
COF# 6191  
Franklin, Williamson Co, TN

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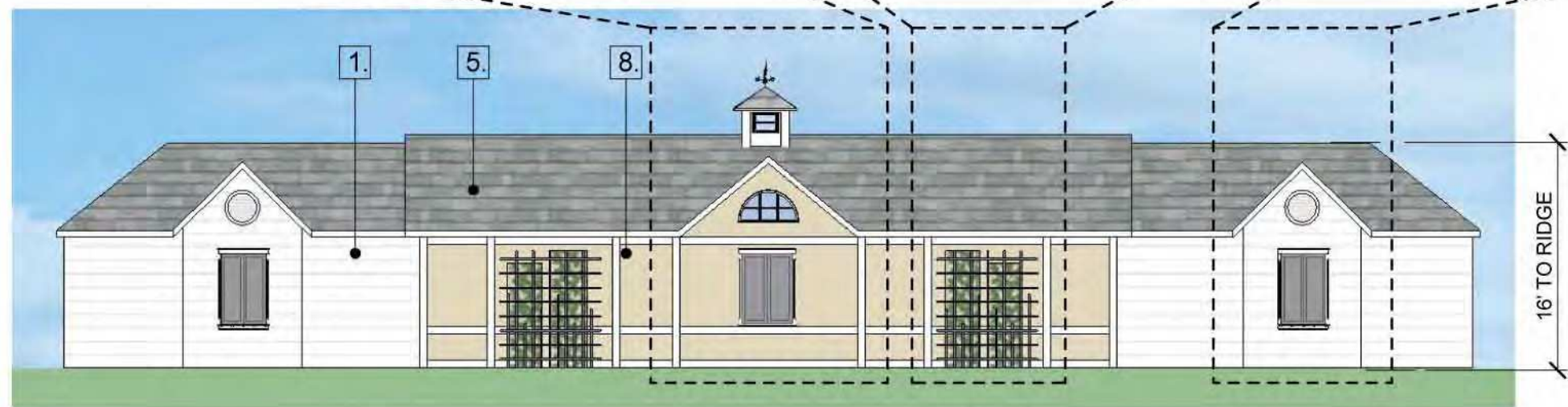
**LORD  
AECK  
SARGENT**

**KV+D**  
KISER VOGRIN DESIGN  
5005 Meridian Blvd. Ste 100 Franklin, TN 37067  
615.719.1943





GARAGE ELEVATION (SOUTH) 0 16 32 FT



GARAGE ELEVATION (NORTH) 0 16 32 FT

ELEVATION KEY

1. FIBER CEMENT LAP SIDING (WHITE)
2. BRICK
3. STONE / BRICK
4. STANDING SEAM METAL ROOF
5. ARCHITECTURAL SHINGLE
6. STOREFRONT WINDOW SYSTEM (DARK GRAY)
7. RESIDENTIAL WINDOWS (WHITE)
8. FIBER CEMENT BOARD AND BATTEN
9. STUCCO



NORTH (BACK) ELEVATION 0 16 32 FT