# The Arlington at West Main

# A PUD Subdivision

COF Project # 6148

725 West Main Street Being Parcel 22 on Tax Map 78C, Group J

Franklin, Williamson County, Tennessee

TOTAL AREA = 0.9 ACRES = 39,108 S.F.Date: May 9, 2016

## Sheet Schedule

C0.0 Notes & Project Standards

C1.0 Overall Existing Conditions Plan

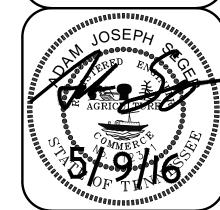
C2.0 Overall Development Plan

C3.0 Overall Grading and Drainage Plan

C4.0 Overall Utility/ROW and Access Plan

A1.0 Preliminary Building Floor Plans
A3.0 Conceptual Building Elevations and Renderings
A3.1 Conceptual Building Elevations and Renderings

PROJECT NAME:	The Arlington at West Main
CITY OF FRANKLIN PROJECT #	6148
•	
ACREAGE OF SITE/PROJECT AREA:	39,108 S.F. / 0.9 AC
SUBDIVISION:	Plan of Hincheyville Subdivision
LOT NUMBER:	6
ADDRESS:	725 West Main Street
CITY:	Franklin
COUNTY:	Williamson County
STATE:	Tennessee
ALDERMANIC WARD:	4
EXISTING ZONING & CHARACTER OV:	Office Residential / CFCO -3, CFCO-
PROPOSED ZONING:	SD-R 10.00
OTHER APPLICABLE OVERLAYS:	HPO/Downtown Franklin Local Historic Distr
APPLICABLE DEVELPMENT STANDARDS:	Traditional (Downtown Core)
HISTORIC BUILDINGS WITHIN 500':	St. Paul's Episcopal Church (700')
LAND USE:	9 Multi-Family Units
DENSITY:	10 Unit/Acre
MINIMUM REQUIRED SETBACK LINES:	
FRONT AND STREET:	15'
SIDE YARD:	5'
REAR YARD:	5'
BUILDING FOOTPRINT:	Existing - 3,240 SF
	Proposed - 16,311 SF
BUILDING SQUARE FOOTAGE:	Existing - 7,476 SF
	Proposed - 30,738 SF
BUILDING HEIGHT:	2 Stories Proposed
*PARKING REQUIREMENTS:	6 Units x 3 Bedrooms= 6 x 3 Spaces= 18 Spaces 3 Units x 2 Bedrooms= 3 x 2.5 Spaces= 7.5 Spaces
	Proposed Parking 26 Spaces
MINIMUM LANDSCAPE SURFACE	0.1 of Total Site



PERMITS:

The Arlington at West Main

Sheet 1 of 5

**D&A Project #15153** 

MAP 78B, GROUP B, PARCEL 39 RHODES LANE N RHODES THOMAS H 812 WEST-MAIN ST FRANKLIN, TN MAP 78C, GROUP B, PARCEL 38 DAVIS JOHN D GROUP J,\PARCEL 20 \
WESTBROOK CANDIE,\f MCNEELY JOHN L JR MCNEELY SHARON PO BOX 2469 BLOWING ROCK, NC ZONED: R-6 MAP 78\$,

GROUP J, PARCEL 19

GOLUMBIA AVENUE

PARTNERS LLC

320 MAIN ST #230

FRANKLIN, TN

LOCATION MAP

N.T.S.

VICINITY MAP SCALE: 1" = 100'

**Electric Service** Middle Tennessee Electric **Membership Corporation** 2156 Edward Curd Lane Franklin, Tennessee 37067 615.794.1102

Gas Service Piedmont Natural Gas www.piedmontng.com

Water Service City of Franklin Water and Sewer 124 Lumber Dr. Franklin, Tennessee 37064 615.794.4554

Sewer Service City of Franklin Water and Sewer 124 Lumber Dr. Franklin, Tennessee 37064 615.794.4554

**Utility Location** Tennessee One-Call 800.351.1111

**Property Information** 

725 West Main St. Franklin, TN 37064 Tax Map 78C Group J, Parcel 22 Zoned: OR

Owner

Crews West Main, LLC 131 Third Avenue North Franklin, TN 37064 Contact: Charles Crews

Developer Bernie Butler D9 Development, LLC

131 Third Avenue North Franklin, TN 37064 615.419.6933 berniebutler@d9development.com Site Description

The Arlington at West Main site is located within the Office Residential zoning district and within the CFCO-3 and CFCO-7 character area and HPO overlay areas. The development scope includes demolition of the existing apartment buildings currently located on the property and the construction of high-end multi-family units to be named The Arlington at West Main. We are planning to construct and entirely new and modern building that is more in keeping with the updated fabric of downtown Franklin and in compliance with the traditional, downtown core development standards, the CFCO-3 and CFCO-7 character area design standards, and the HPO overlay design guidelines. The future use will achieve this with the installment of these high end condominiums. Stairs and elevators providing access to all floors and outside porches and sitting areas will be built. The building will also have a driveway with a garage entrance to underground parking.

Landscape Architect Design Studio 908 High Point Ridge Franklin, TN 37069

Civil Engineer

516 Heather Place

Contact: Adam Seger

Survey Provided by

108 Beasley Drive

615.794.2275

Studio 8 Design

615.250.8150

Architect

Franklin, TN 37064

Wilson and Associates, P.C.

714 Eighth Avenue South

Contact: Anna Ruth Kimbrough

arkimbrough@s8-design.com

Nashville, TN 37203

615.297.5166

Dale & Associates (Adam Seger, PE)

Nashville, Tennessee 37204

adam@daleandassociates.net

615.218.8118 Contact: Jason Goddard igoddard@designstudioplan.com

Notes & Project Standards

Gas Service **Piedmont Natural Gas** www.piedmontng.com

Water Service City of Franklin Water and Sewer 124 Lumber Dr. Franklin, Tennessee 37064 615.794.4554

Sewer Service City of Franklin Water and Sewer 124 Lumber Dr. Franklin, Tennessee 37064 615.794.4554

Property Information 725 West Main Street Franklin, TN 37064 Tax Map 78C Group J, Parcel 22 Zoned: OR Owner

Crews West Main ,LLC 131 Third Avenue North Franklin, TN 37064

#### Stormwater Narrative:

The existing site is approximately 0.9 acres of office residential zoned property within the Downtown Core of Franklin, TN. The site consists of pervious surfaces and impervious surfaces. Impervious Surfaces include an existing building, paved parking and dumpster pad, and concrete walks for pedestrian traffic. The vegetation and pervious surface that exists on the site is in the form trees and turf. The soil profile for the site consists of Egam Silt Loam (Eg), which is a Type 'C' Soil, and Captina Silt Loam (CaC2), which is a Type 'D' soil, per the NRCS Soil Maps.

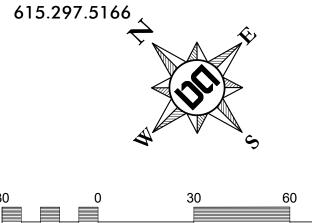
Topography for most of the site is fairly flat ranging from 0-6% in slopes, and steeper slopes run along the northeast property line. Existing stormwater runoff sheet flows then concentrates where it is then conveyed to a stream, which drains offsite. This site has a 100 year flood plain elevation of 637' which crosses into the site in three different small areas. Also, there is a 30' stream buffer that is offset from the existing stream offsite and crosses into the property.

## Grading and Drainage Data Chart

- Site Area: 39,108 SF
- Impervious Area: 11,558 SF Existing, 20,400 SF Proposed

Developer Bernie Butler D9 Development, LLC 131 Third Avenue North Franklin, TN 37064 615.419.6933

Civil Engineer Dale & Associates (Adam Seger, PE) 516 Heather Place Nashville, Tennessee 37204



SCALE: 1" = 30'

NAD83 Datum

Ex. 100 Year Flood

Removed/Abandoned

No Mineral Rights are Held by Parties Outside of the property owner

108 Beasley Drive Franklin, TN 37064 615.794.2275 Floodnote A Portion of This Property does Lie Within a Flood Hazard Area as Depicted on the Preliminary Flood Insurance Rate Maps (FIRM) Number 47187C0211G. Dated August 29,

Survey Provided by

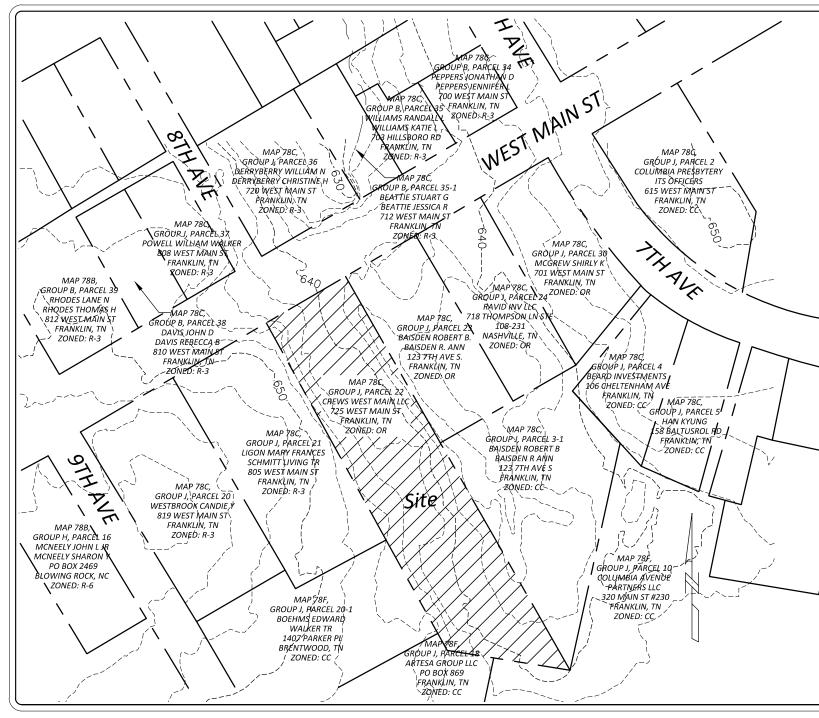
Wilson and Associates, P.C.

## LEGEND

EXISTING IRON ROD IRON ROD SET EXISTING CONCRETE MONUMENT CONCRETE MONUMENT SET STORMWATER AREA DRAIN STORMWATER MANHOLE STORMWATER INLET SEWER MANHOLE SEWER CLEANOUT WATER VALVE FIRE HYDRANT BOLLARD STREET LIGHT ELECTRIC BOX TELEPHONE PEDESTAL M.B.S.L. MINIMUM BUILDING SETBACK LINE P.U.A.E. PUBLIC UTILITY/ACCESS ESMT

CONCRETE SURFACE





VICINITY MAP SCALE: 1'' = 100'

## Site Data

PROJECT NAME:	The Arlington at West Main	
CITY OF FRANKLIN PROJECT #	6148	
SUBDIVISION:	Plan of Hincheyville Subdivsion	
LOT NUMBER:	6	
ADDRESS:	725 West Main Street	
CITY:	Franklin	
COUNTY: Williamson County		
TATE: Tennessee		
ALDERMANIC WARD:	4	
EXISTING ZONING & CHARACTER OV:	Office Residential / CFCO -3, CFCO-7	
PROPOSED ZONING:	SD-R 10.00	
OTHER APPLICABLE OVERLAYS:	HPO/Downtown Franklin Local Historic District	
APPLICABLE DEVELPMENT STANDARDS:	Traditional (Downtown Core)	
ACREAGE OF SITE/PROJECT AREA:	39,108 S.F. / 0.9 AC	
MINIMUM REQUIRED SETBACK LINES:		
FRONT AND STREET:	15'	
SIDE YARD:	5'	
REAR YARD:	5'	
BUILDING FOOTPRINT:	Existing - 3,240 SF	
BUILDING SQUARE FOOTAGE:	Existing - 7,476 SF	
MINIMUM LANDSCAPE SURFACE	0.1 of Total Site	

#### **Legal Description**

Commencing from a point of the north westerly most corner of the property conveyed to Crews West Main, L.L.C. Property is also recorded as Parcel 22, on Tax Map 78C, Group J with the Register's Office of Williamson County, Tennessee, and being more particularly described according to a survey by Wilson & Associates, P.C. dated 8-7-15 as follows:

Thence N 55°00'00.00" E a distance of 93.03 feet to a point, thence S 35°14'23.23" E a distance of 459.44' E to a point, thence N 85°07'44.95" W a distance of 121.60' to a point, thence N 35°14'39.52" W a distance of 381.48' to the POINT OF BEGINNING, containing 39,108 square feet or 0.9 acres of land, more or less.



**D&A Project #15153** The Arlington at West Main

Overall Existing Conditions Plan

Subdivision on Tax Map 78C, West Main St. est

Main

Drawing Date:

May 9, 2016

**Revisions:** 

5/24/2016

**DRT** comments

PERMITS:

Sheet 2 of 5

Gas Service

**Piedmont Natural Gas** www.piedmontng.com

• Site Area: 39,108 SF

Water Service City of Franklin Water and Sewer 124 Lumber Dr. Franklin, Tennessee 37064 615.794.4554

**Sewer Service** City of Franklin Water and Sewer 124 Lumber Dr. Franklin, Tennessee 37064

615.794.4554

Grading and Drainage Data Chart

• Disturbed Area on Site (within PUD): 32,292 SF

Water and Sewer Data Chart

• Facility Type: Multifamily Units

• Total Flow in GPD: 3,000 GPD

• Impervious Area: 11,558 SF Existing, 20,400 SF Proposed

**Property Information** 725 West Main Street Franklin, TN 37064 Tax Map 78C Group J, Parcel 22 Zoned: OR Owner

Crews West Main ,LLC 131 Third Avenue North Franklin, TN 37064

Historic Property Information

West Main St.

This site is a Historic property within the Hincheyville National

• St. Paul's Episcopal Church - Located approximately 700' Northeast at 510

Register Historic District. Nearby historic properties include:

#### D9 Development, LLC 131 Third Avenue North Franklin, TN 37064 615.419.6933

Civil Engineer Dale & Associates (Adam Seger, PE) 516 Heather Place Nashville, Tennessee 37204 615.297.5166

## Adjacent Fire Hydrant Flow Test Results

Below is a summary of Hydrant Flow Test Results from Existing Hydrants located along West Main Street to the Northeast intersection of 7th Avenue and Northwest corner of the Site. The Flowing Hydrant is at the North East Intersection of 7th Avenue and West Main Street, while the residual hydrant is at the Northwest corner of the site.

Static Pressure = 85 psi Residual Pressure = 75 psi Flow at Residual = 1087 gpmCalc. Flow @ 20 psi = 3623 gpm

Developer

Bernie Butler

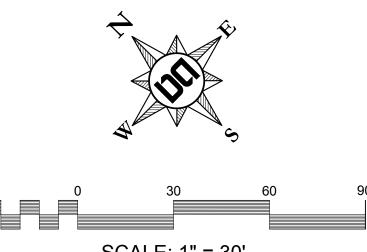
Results of the Fire Flow Model utilizing the above field data: Ex. Fire Hydrant: 3623 gpm @ 20 psi Min Zone Pressure

Franklin, TN 37064 615.794.2275 Floodnote A Portion of This Property does Lie Within a Flood Hazard Area as Depicted on the Preliminary Flood Insurance Rate Maps (FIRM) Number 47187C0211G. Dated August 29,

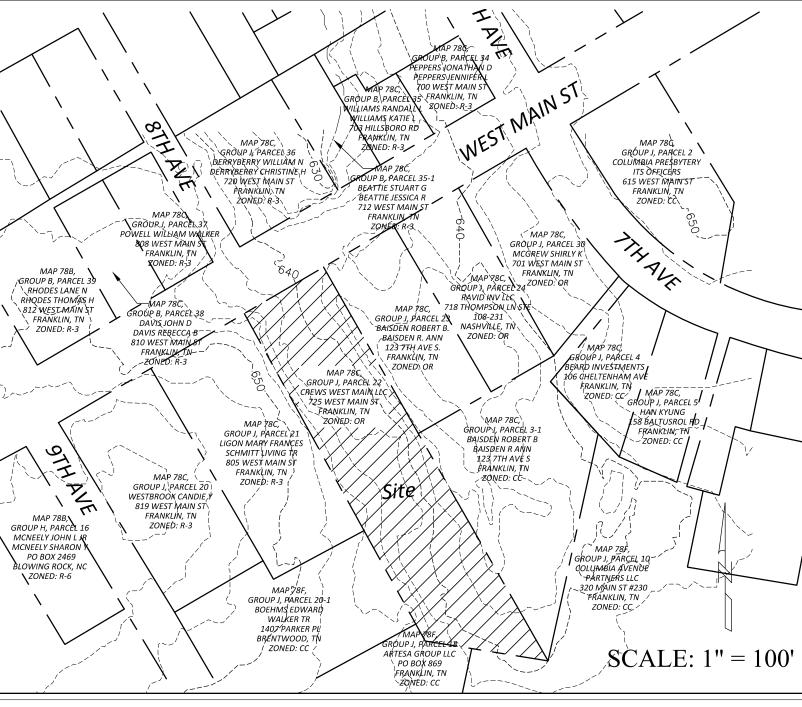
Survey Provided by

108 Beasley Drive

Wilson and Associates, P.C.



SCALE: 1" = 30' NAD83 Datum



## VICINITY MAP

## Site Data

PROJECT NAME:	The Arlington at West Main	
CITY OF FRANKLIN PROJECT #	6148	
SUBDIVISION:	Plan of Hincheyville Subdivsion	
LOT NUMBER:	6	
ADDRESS:	725 West Main Street	
CITY:	Franklin	
COUNTY:	Williamson County	
STATE:	Tennessee	
ALDERMANIC WARD:	4	
EXISTING ZONING & CHARACTER OV:	Office Residential / CFCO -3, CFCO-7	
PROPOSED ZONING:	SD-R 10.00	
OTHER APPLICABLE OVERLAYS:	HPO/Downtown Franklin Local Historic Distric	
APPLICABLE DEVELPMENT STANDARDS:	Traditional (Downtown Core)	
ACREAGE OF SITE/PROJECT AREA:	39,108 S.F. / 0.9 AC	
MINIMUM REQUIRED SETBACK LINES:		
FRONT AND STREET:	15'	
SIDE YARD:	5'	
REAR YARD:	5'	
BUILDING COVERAGE:	78.6% Proposed / 80% Allowed	
BUILDING HEIGHT:	2 Stories Proposed	
BUILDING FOOTPRINT:	Existing - 3,240 SF	
	Proposed - 16,311 SF	
BUILDING SQUARE FOOTAGE:	Existing - 7,476 SF	
	Proposed - 30,738 SF	
*PARKING REQUIREMENTS:	6 Units x 3 Bedrooms= 6 x 3 Spaces= 18 Spaces 3 Units x 2 Bedrooms= 3 x 2.5 Spaces= 7.5 Spaces	
	Proposed Parking 26 Spaces	

0.1 of Total Site / Min 0.1 Proposed

#### Site Description

underneath the building.

design is not at that level of development.

The Arlington at West Main site is located within the Office Residential zoning district and within the CFCO-3 and CFCO-7 character area and HPO overlay areas. The development scope includes demolition of the existing apartment buildings currently located on the property and the construction of high-end multi-family units to be named The Arlington at West Main. We are planning to construct and entirely new and modern building that is more in keeping with the updated fabric of downtown Franklin and in compliance with the traditional, downtown core development standards, the CFCO-3 and CFCO-7 character area design standards, and the HPO overlay design guidelines. The future use will achieve this with the installment of these high end condominiums. Stairs and elevators providing access to all floors and outside porches and sitting areas will be built. The building will also

installed off the proposed tap as well as a RPBP located inside the building.

New sewer tap is proposed to be utilized with new pipe to be installed from

emergency egress lighting as well as building illumination in keeping with

the requirements set forth in Section 5.11 of the Franklin Zoning Ordinance.

An exterior lighting plan and fixture cutsheets are not yet available as the

#### Statement of Impacts

Water and Sewer will both be provided by the City of Franklin Water and Sewer Department, the anticipated maximum domestic flow demand for this development is 3,000 GPD.

MINIMUM LANDSCAPE SURFACE

- Increased runoff is anticipated on existing storm infrastructure, therefore stormwater structures for treatment and detention are proposed and a stormwater management plan is required. Footprint of proposed improvements to site is greater than 10,000 SF of disturbed area with increase in impervious surface greater than 5,000 SF (Final ISR
- The site will have its main access off of West Main St. (Minor Arterial), approximately 250' West of the intersection with 7th Ave. S. (Major Collector). Peak Traffic Flows shown below (Based on ITE Trip Generation Handbook, 8th Edition): AM In = 1 Trip/hrPM In = 3 Trips/hr

AM Out = 4 Trips/hrPM Out = 2 Trips/hrThe Trips shown above would have a negligible impact to the existing streets.

- Site is located approximately 2,500' from the nearest Fire Department, and 700' from the nearest police department.
- The Site will be served by a Fire Sprinkler System, and is within 10' of the nearest fire Hydrant west the northwest corner of the property. Fire Flow information is provided.

Main Subdivision n Tax Map 78C, est Main St. n County, Tenne

**Drawing Date:** 

May 9, 2016

**Revisions:** 

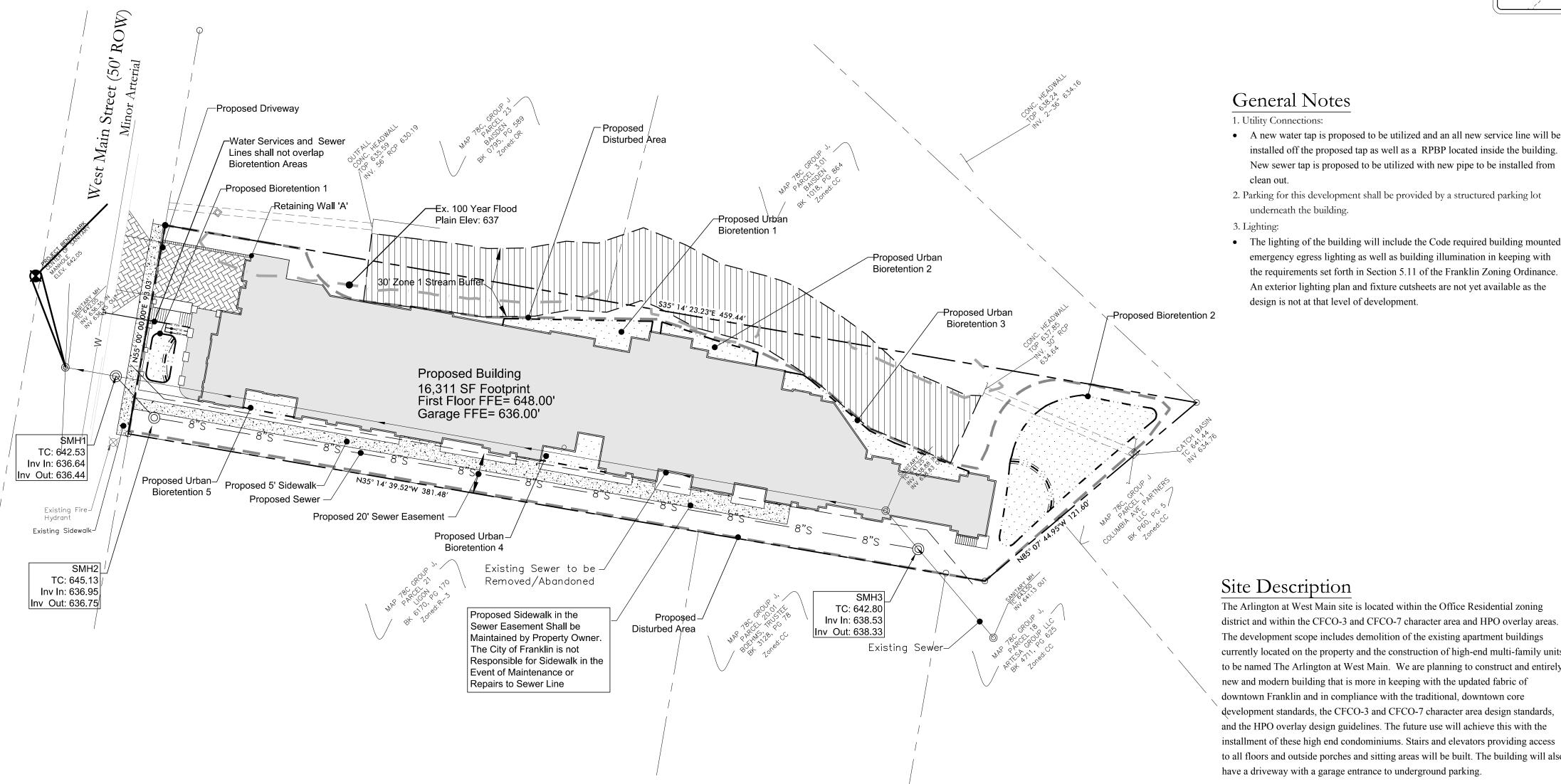
5/24/2016

**DRT** comments

The Arlington at West Main

Sheet 3 of 5

Overall Development Plan



PUDarcel 22 c 725 V

PERMITS:

**D&A Project #15153** 

Gas Service

Inv In: 636.64

Existing Fire-Hydrant

Inv Out: 636.44

Water Service City of Franklin Water and Sewer 124 Lumber Dr. Franklin, Tennessee 37064 615.794.4554

**Sewer Service** City of Franklin Water and Sewer 124 Lumber Dr. Franklin, Tennessee 37064 615.794.4554

**Property Information** 725 West Main Street Franklin, TN 37064 Tax Map 78C Group J, Parcel 22 Zoned: OR

> Owner Crews West Main ,LLC 131 Third Avenue North Franklin, TN 37064

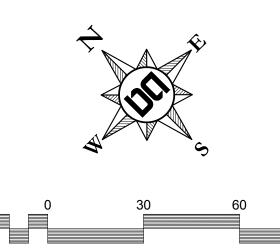
Developer Bernie Butler D9 Development, LLC 131 Third Avenue North Franklin, TN 37064 615.419.6933

Civil Engineer Dale & Associates (Adam Seger, PE) 516 Heather Place Nashville, Tennessee 37204 615.297.5166

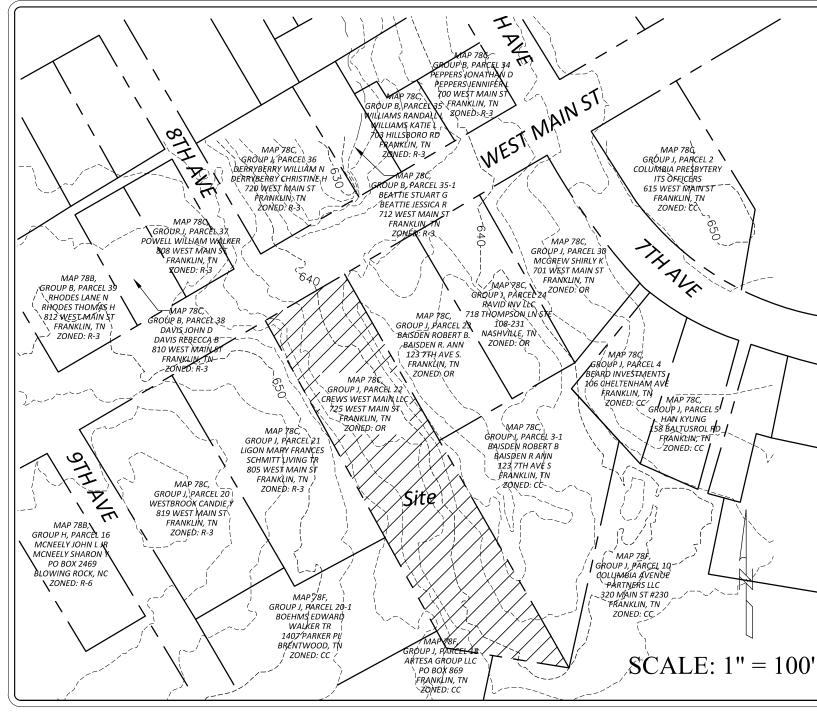
Survey Provided by Wilson and Associates, P.C. 108 Beasley Drive Franklin, TN 37064 615.794.2275

Floodnote A Portion of This Property does Lie Within a Flood Hazard Area as Depicted on the Preliminary Flood Insurance Rate Maps (FIRM) Number 47187C0211G. Dated August 29,

Proposed Bioretention 2



SCALE: 1" = 30' NAD83 Datum



## Grading & Drainage General Notes

1. Grading Permit is required for any project disturbing more than 10,000 sf, adding more than 5,000 sf of impervious surface or for any site grading requiring stockpiling of material.

2. The Developer shall provide the necessary labor and supervision required to support field testing by the independent testing firm and inspections by City officials at no cost to the City. Test reports of field testing if applicable shall be submitted directly to the Street Department. Defects disclosed by tests shall be rectified.

3. An authorized representative of the City shall make a final inspection of the project after completion to determine acceptability of the work and for release of performance bonds if required. Before this final inspection can be made, the Engineer responsible for the project shall certify in writing to the City Engineer that the work has been completed in accordance with approved plans and specifications.

4. Drainage facilities including, but not limited to, culverts, detention basins and ditches, as well as the roadway sub-grade, base stone and binder & surface coarse shall be inspected, tested and given approval at each stage of installation prior to proceeding to the next stage of construction. Final construction inspection for approval and acceptance of streets and drainage systems will not be granted until all work has been completed in accordance with the approved plans.

5. Locating and coordination for the relocation of existing utilities is the responsibility of the contractor. Tennessee's One-Call and the City of Franklin utility location service shall be utilized in addition to coordination with local utility owners. The contractor shall at all times protect existing utilities and will be responsible for costs due to damage caused to any utility lines.

#### Grading and Drainage Data Chart

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- Impervious Area: 11,558 SF Existing, 20,400 SF Proposed
- Disturbed Area on Site (within PUD): 32,292 SF

#### Statement of Impacts

• Increased runoff is anticipated on existing storm infrastructure, therefore stormwater structures for treatment and detention are proposed and a stormwater management plan is required. Footprint of proposed improvements to site is greater than 10,000 SF of disturbed area with increase in impervious surface greater than 5,000 SF (Final ISR Forthcoming)

## VICINITY MAP

## Site Data

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BUILDING HEIGHT:	2 Stories Proposed
BUILDING FOOTPRINT:	Existing - 3,240 SF
	Proposed - 16,311 SF
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	Proposed Parking 26 Spaces

0.1 of Total Site / Min 0.1 Proposed

MINIMUM LANDSCAPE SURFACE

**D&A Project #15153** The Arlington at West Main

Sheet 4 of 5

Overall Grading and Drainage Plan

PERMITS:

**Drawing Date:** 

May 9, 2016

**Revisions:** 

5/24/2016

Main

Subdivision Tax Map 78C, est Main St.

**DRT** comments

Piedmont Natural Gas www.piedmontng.com

## Floodplain Cut/Fill

- Value of Fill: 104.76 Cu Ft./ 3.88 Cu Yd
- Value of Cut: 119.34 Cu Ft./ 4.42 Cu Yd.

## WALL 'A' ELEVATIONS

	TOP OF WALL		HEIGHT	LENGT
		OF WALL		
A1	639.5	639.3	0.2'	20'
A2	639.5	637	2.5'	20'
A3	638	636	2'	20

-Proposed Urban

Bioretention 3

#### All Drainage to Flow into Stream Zone 1 Buffer Note: Conveyance Collecting into Ex. 56" There Shall be no Mowing, Clearing, RCP. The Ex. Pipe runs below and Grading, Construction, Storage, or across West Main Street Distutbance of Vegetation in Riparian Buffers Except as Permitted by the City Engineer, or his Designee. -Proposed Driveway -Area of Cut for Floodplain Compensation Disturbed Area Proposed Flood Plain Elev= 637 Elev= 637 Ex. 100 Year Flood Plain Elev: 637 30 Zone 1 Stream Buffer

Proposed Building.. 16,311 SF Footprint First Floor FFE= 648.00' TC: 642.53

Proposed 20' Sewer Easement

Existing Sidewalk-Proposed Urban-Existing Sewer to be -TC: 645.13 Removed/Abandoned Inv In: 636.95 Inv Out: 636.75

Proposed Sewe

## Stormwater Narrative:

The existing site is approximately 0.9 acres of office residential zoned property within the Downtown Core of Franklin, TN. The site consists of pervious surfaces and impervious surfaces. Impervious Surfaces include an existing building, paved parking and dumpster pad, and concrete walks for pedestrian traffic. The vegetation and pervious surface that exists on the site is in the form trees and turf. The soil profile for the site consists of Egam Silt Loam (Eg), which is a Type 'C' Soil, and Captina Silt Loam (CaC2), which is a Type 'D' soil, per the NRCS Soil Maps.

TC: 642.80

Existing Sewe

Inv In: 638.53

Topography for most of the site is fairly flat ranging from 0-6% in slopes, and steeper slopes run along the northeast property line. Existing stormwater runoff sheet flows then concentrates where it is then conveyed to a stream, which drains offsite. This site has a 100 year flood plain elevation of 637' which crosses into the site in three different small areas. Also, there is a 30' stream buffer that is offset from the existing stream offsite and crosses into the property.

As proposed, stormwater runoff will be conveyed into the stream using LID storm treatment and detention. The majority of roof drains will discharge directly into urban bioretention structures and one bioretention structure. The rest of the building and southwest area of he site will drain into a large bioretention structure, while the rest of the site to the northeast will be bypassed. It should also be noted that an increase of greater than 5,000 SF of Impervious surface is proposed for the development of this site, as well as greater than 10,000 SF of disturbance. This requires the development to obtain a Stormwater Permit and Grading Permit as well as having to comply with Peak Runoff Control - Runoff Reduction Requirements as stated in the City of Frankling Stormwater Management Ordinance Sec. 23-102.

Gas Service Piedmont Natural Gas www.piedmontng.com

TC: 642.53

Existing Fire-Hydrant

Existing Sidewalk-

TC: 645.13

Inv In: 636.95

Inv Out: 636.75

Proposed Urban–

Bioretention 5

Inv In: 636.64 Inv Out: 636.44

Proposed Driveway

-Water Services and Sewer

Retaining Wall 'A'

Ex. 100 Year Flood

Plain Elev: 637

Proposed Building

Proposed Urban -

Existing Sewer to be -

Removed/Abandoned

Proposed Sidewalk in the

Sewer Easement Shall be

The City of Franklin is not

Event of Maintenance or

Repairs to Sewer Line

Maintained by Property Owner

Responsible for Sidewalk in the

16,311 SF Footprint

First Floor FFE= 648.00'

Garage FFE= 636.00'

30 Zone 1 Stream Buffer

Proposed 20' Sewer Easement

Lines shall not overlap

-Proposed Bioretention 1

Proposed 5' Sidewalk-

Bioretention Areas

Water Service City of Franklin Water and Sewer 124 Lumber Dr. Franklin, Tennessee 37064 615.794.4554

Sewer Service City of Franklin Water and Sewer 124 Lumber Dr. Franklin, Tennessee 37064 615.794.4554

Property Information 725 West Main Street Franklin, TN 37064 Tax Map 78C Group J, Parcel 22 Zoned: OR

Crews West Main ,LLC 131 Third Avenue North Franklin, TN 37064

Owner

Developer Bernie Butler D9 Development, LLC 131 Third Avenue North Franklin, TN 37064 615.419.6933

Civil Engineer Dale & Associates (Adam Seger, PE) 516 Heather Place Nashville, Tennessee 37204 615.297.5166

Survey Provided by Wilson and Associates, P.C. 108 Beasley Drive Franklin, TN 37064 615.794.2275

Floodnote A Portion of This Property does Lie Within a Flood Hazard Area as Depicted on the Preliminary Flood Insurance Rate Maps (FIRM) Number 47187C0211G. Dated August 29,

## Adjacent Fire Hydrant Flow Test Results

General Notes 1. Utility Connections:

• Existing water tap to remain and be utilized, however, an all new service line will be installed off the existing tap as well as an RPBP inside the building. Existing sewer tap to remain and be utilized, new pipe to be installed from clean out

## Water and Sewer Data Chart

Disturbed Area

Disturbed Area

- Facility Type: 9 Multifamily Units
- Total Flow in GPD: 3,000 GPD

Below is a summary of Hydrant Flow Test Results from Existing Hydrants located along West Main Street to the Northeast intersection of 7th Avenue and Northwest corner of the Site. The Flowing Hydrant is at the North East Intersection of 7th Avenue and West Main Street, while the residual hydrant is at the Northwest corner of the site.

Static Pressure = 85 psi Residual Pressure = 75 psi Flow at Residual = 1087 gpmCalc. Flow @ 20 psi = 3623 gpm

Proposed Urban

TC: 642.80

Utility Network Narrative

boundary line and offset 20' to the edge of the proposed building.

Water, Fire, and Irrigation will be connections tapped from the existing water line along the West Main

project benchmark on West Main Street. The new Sewer Easement will extend along the southwest

Street ROW. Existing Sewer Infrastructure onsite will be removed and replaced with a new Sewer Line

connection with inverts connected to existing manholes located offsite to the southwest and located at the

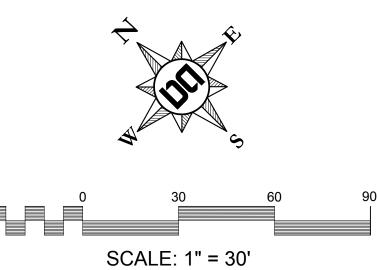
Inv In: 638.53

Inv Out: 638.33

Bioretention 3

Results of the Fire Flow Model utilizing the above field data: Ex. Fire Hydrant: 3623 gpm @ 20 psi Min Zone Pressure

-Proposed Bioretention 2



NAD83 Datum

# THALK MAP 78B, GROUP B, PARCEL 39 NHODES LANE N RHODES THOMAS H 812 WESTMAIN ST FRANKLIN, TN MAP 78C, \\ GROUP J, PARCEL 22 MAP 78C, GROUPJ, PARCEL 3-1 BAISDEN ROBERT B MAP 78B, GROUP H, PARCEL 16 MCNEELY JOHN L IR MCNEELY SHARON PO BOX 2469 BLOWING ROCK, NC MAP 98, | GROUP J, PARCEL 20-1 BOEHMS EDWARD WALKER TR | 1407 PARKER PU BRENTWOOD, TN

#### ROW & Access General Notes

1. Prior to beginning any construction, the Developer and/or Contractor, shall obtain all necessary permits as required by law. Such permits may include, but are not limited to, those required by State of Tennessee, Williamson County and other City of Franklin

2. All off-site work within the public right-ofway shall require an approved traffic control plan which complies with the MUTCD. No off-site excavation may be undertaken in any street, road, alley or right-of-way of any utility or temporary construction easement of the City of Franklin by any entity unless 72-hour notice has been given to the City of Franklin Traffic Operations Center. The contractor shall have an approved traffic control plan onsite during construction.

3. Construction materials shall be fully tested in accordance with the designations and requirements within the referenced "TDOT Standard Specifications" sections, unless otherwise noted within the "Standard Specifications" section of the City of Franklin Transportation & Street Technical Standards.

4. An authorized representative of the City shall make a final inspection of the project after completion to determine acceptability of the work and for release of performance bonds if required. Before this final inspection can be made, the Engineer responsible for the project shall certify in writing to the City Engineer that the work has been completed in accordance with approved plans and specifications.

Locating and coordination for the relocation of existing utilities is the responsibility of the contractor. Tennessee's One-Call and the City of Franklin utility location service shall be utilized in addition to coordination with local utility owners. The contractor shall at all times protect existing utilities and will be responsible for costs due to damage caused to any utility lines.

6. All temporary striping shall conform to "Standard Specifications for Road and Bridge Construction," published by TDOT, the latest revision except as herein amended. When approved, temporary striping shall be required prior to the opening of a street for travel where pavement and/or permanent striping cannot be completed due to weather and/or time constraints.

Thermoplastic pavement markings should be used on all public and private City street projects. Thermoplastic traffic striping and pavement markings shall conform to Section 716.03 "Thermoplastic Pavement Markings", of the Tennessee Department of Transportation Specifications (TDOT), and to the City of Franklin Transportation & Street Technical Standards.

#### Water & Sewer General Notes

1. All persons who undertake the construction of water, sewer and/or reclaimed water lines located in, or affecting services provided by the City of Franklin shall comply with the requirements and regulations set

• Water and Sewer will both be provided by the City of Franklin Water and forth in the "General Requirements & Technical Specifications, Water Management Department, City of Franklin, Tennessee" latest edition, along with any amendments, additions, or alteration that may thereafter be adopted by the board of mayor and aldermen by resolution.

2. Contractor shall obtain Water & Sewer Infrastructure Installation Permit prior to scheduling required Pre-Construction Site Meeting. Contractor shall complete the PreConstruction Site Meeting prior to commencing with construction.

3. Contractor shall obtain and keep all of the following items on the jobsite at all times during construction: a. Approved, Stamped and Signed Water and/or Sewer Plans

- b. Water & Sewer Infrastructure Installation Permit, with all steps completed and signed by appropriate c. Copy of approved availability request response letter.
- d. A copy of all approved Cut Sheets.

4. Acceptance of City of Franklin public water infrastructure, sanitary sewer infrastructure and/or reclaimed water infrastructure shall become the responsibility of the City of Franklin, TN following approval from the City of Franklin Inspectors and acceptance by the Franklin Municipal Planning Commission. The Acceptance date shall be based on the day maintenance sureties are established by the Franklin Municipal Planning Commission.

5. Prior to the acceptance of City of Franklin public water infrastructure, sanitary sewer infrastructure and/or reclaimed water infrastructure the contractor shall be required to submit as-built drawings to the Planning and Sustainability Department.

6. All off-site work within the public right-of-way shall require an approved traffic control plan which complies with the MUTCD. No off-site excavation may be undertaken in any street, road, alley or right-of-way of any utility or temporary construction easement of the City of Franklin by any entity unless 72-hour notice has been given to the City of Franklin Traffic Operations Center. The contractor shall have an approved traffic control plan onsite during construction.

7. Any damages caused to existing utilities during construction shall, at his own expense, be replaced or repaired to original condition and quality, as approved by the owner and representative of the appropriate utility company, by the Contractor.

## VICINITY MAP

## Site Data

	7T1. A.1	
PROJECT NAME:	The Arlington at West Main	
CITY OF FRANKLIN PROJECT #	6148	
SUBDIVISION:	Plan of Hincheyville Subdivsion	
LOT NUMBER:	6	
ADDRESS:	725 West Main Street	
CITY:	Franklin	
COUNTY:	Williamson County	
STATE:	Tennessee	
ALDERMANIC WARD:	4	
EXISTING ZONING & CHARACTER OV:	Office Residential / CFCO -3, CFCO-7	
PROPOSED ZONING:	SD-R 10.00	
OTHER APPLICABLE OVERLAYS:	HPO/Downtown Franklin Local Historic District	
APPLICABLE DEVELPMENT STANDARDS:	Traditional (Downtown Core)	
ACREAGE OF SITE/PROJECT AREA:	39,108 S.F. / 0.9 AC	
MINIMUM REQUIRED SETBACK LINES:		
FRONT AND STREET:	15'	
SIDE YARD:	5'	
REAR YARD:	5'	
BUILDING COVERAGE:	78.6% Proposed / 80% Allowed	
BUILDING HEIGHT:	2 Stories Proposed	
BUILDING FOOTPRINT:	Existing - 3,240 SF	
	Proposed - 16,311 SF	
BUILDING SQUARE FOOTAGE:	Existing - 7,476 SF	
	Proposed - 30,738 SF	
*PARKING REQUIREMENTS:	6 Units x 3 Bedrooms= 6 x 3 Spaces= 18 Spaces	

#### MINIMUM LANDSCAPE SURFACE 0.1 of Total Site / Min 0.1 Proposed Statement of Impacts

3 Units x 2 Bedrooms= 3 x 2.5 Spaces= 7.5 Spaces

Proposed Parking 26 Spaces

- Sewer Department, the anticipated maximum domestic flow demand for this development is 3,000 GPD.
- The site will have its main access off of West Main St. (Minor Arterial), approximately 250' West of the intersection with 7th Ave. S. (Major Collector). Peak Traffic Flows shown below (Based on ITE Trip Generation Handbook, 8th Edition): AM In = 1 Trip/hrPM In = 3 Trips/hr

AM Out = 4 Trips/hrPM Out = 2 Trips/hrThe Trips shown above would have a negligible impact to the existing

## • Site is located approximately 2,500' from the nearest Fire Department, and

700' from the nearest police department. • The Site will be served by a Fire Sprinkler System, and is within 10' of the nearest fire Hydrant west the northwest corner of the property. Fire Flow information is provided.

**D&A Project #15153** The Arlington at West Main

Sheet 5 of 5

Overall Utility/ROW & Access Plan

**PERMITS:** 

**Drawing Date:** 

May 9, 2016

**Revisions:** 

5/24/2016

Main

Subdivision Tax Map 78C, est Main St.

**DRT** comments