

The Arlington at West Main

A PUD Subdivision

COF Project # 6148

725 West Main Street

Being Parcel 22 on Tax Map 78C, Group J

Franklin, Williamson County, Tennessee

TOTAL AREA = 0.9 ACRES

= 39,108 S.F.

Date: May 9, 2016

Sheet Schedule

C0.0 Notes & Project Standards

C1.0 Overall Existing Conditions Plan

C2.0 Overall Development Plan

C3.0 Overall Grading and Drainage Plan

C4.0 Overall Utility/ROW and Access Plan

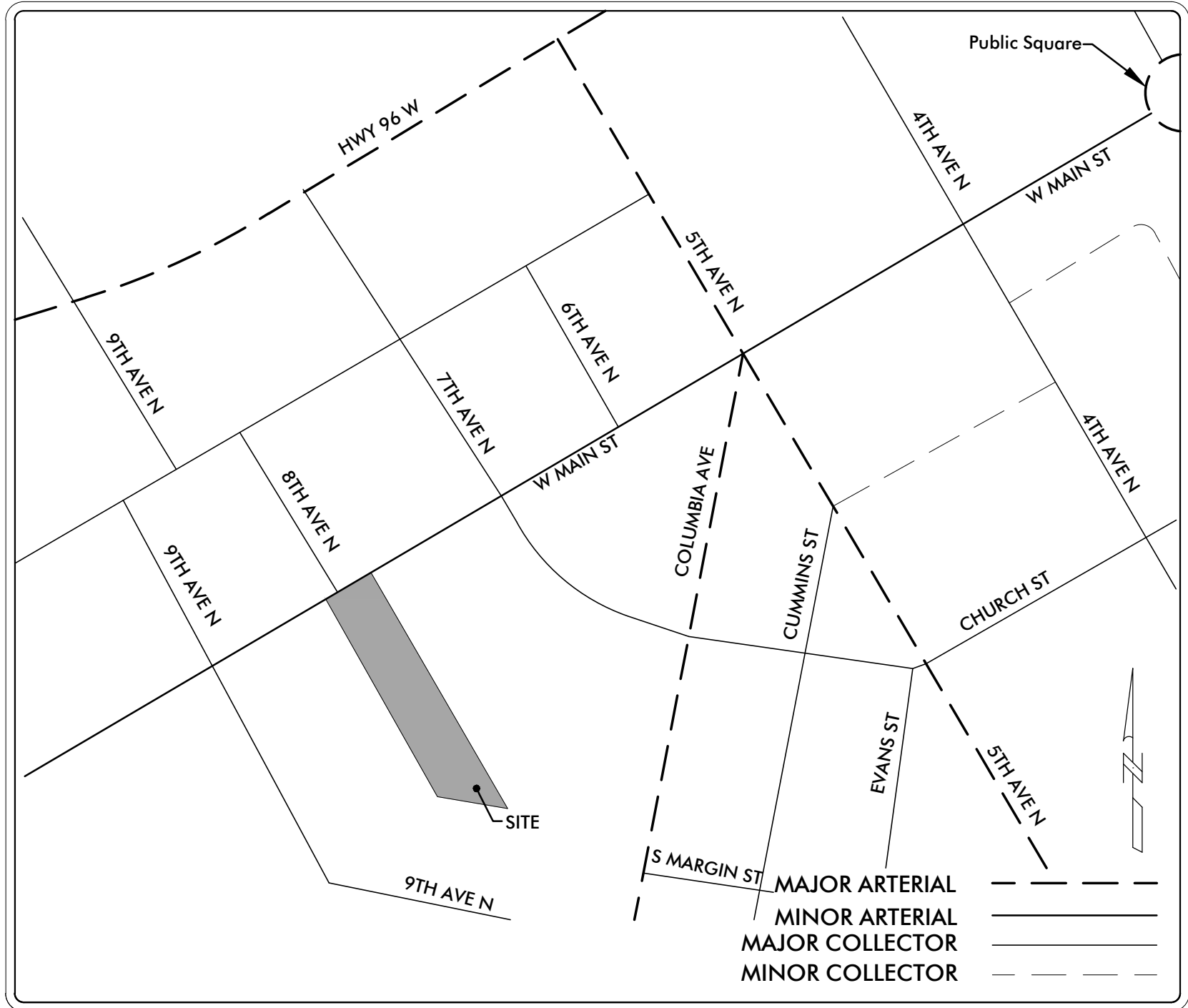
A1.0 Preliminary Building Floor Plans

A3.0 Conceptual Building Elevations and Renderings

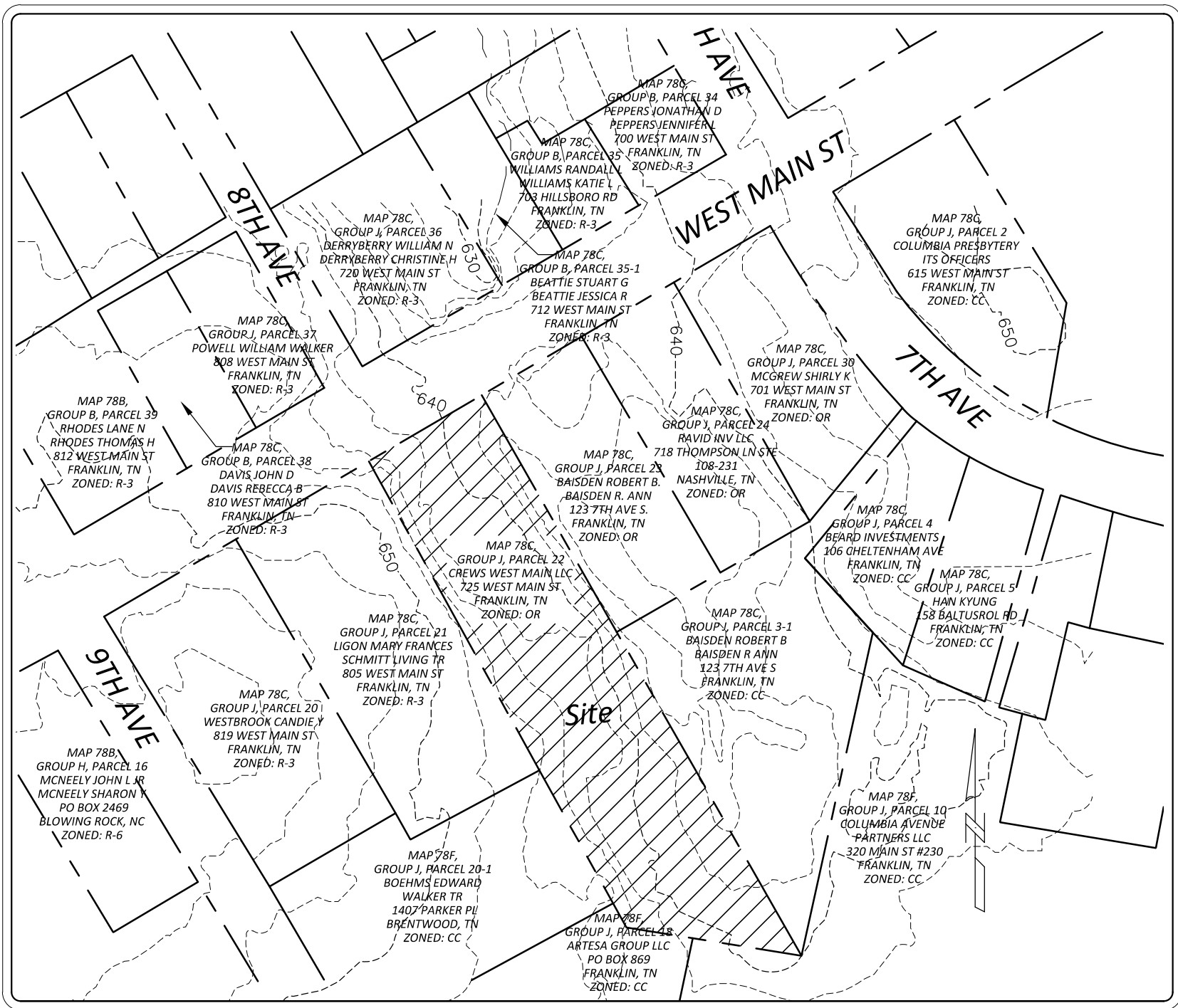
A3.1 Conceptual Building Elevations and Renderings

Site Data

PROJECT NAME:	The Arlington at West Main
CITY OF FRANKLIN PROJECT #	6148
ACREAGE OF SITE/PROJECT AREA:	39,108 S.F. / 0.9 AC
SUBDIVISION:	Plan of Hincheyville Subdivision
LOT NUMBER:	6
ADDRESS:	725 West Main Street
CITY:	Franklin
COUNTY:	Williamson County
STATE:	Tennessee
ALDERMANIC WARD:	4
EXISTING ZONING & CHARACTER OV:	Office Residential / CFCO-3, CFCO-7
PROPOSED ZONING:	SD-R 10.00
OTHER APPLICABLE OVERLAYS:	HPO/Downtown Franklin Local Historic District
APPLICABLE DEVELOPMENT STANDARDS:	Traditional (Downtown Core)
HISTORIC BUILDINGS WITHIN 500':	St. Paul's Episcopal Church (700')
LAND USE:	9 Multi-Family Units
DENSITY:	10 Unit/Acre
MINIMUM REQUIRED SETBACK LINES:	
FRONT AND STREET:	15'
SIDE YARD:	5'
REAR YARD:	5'
BUILDING FOOTPRINT:	Existing - 3,240 SF Proposed - 16,311 SF
BUILDING SQUARE FOOTAGE:	Existing - 7,476 SF Proposed - 30,738 SF
BUILDING HEIGHT:	2 Stories Proposed
*PARKING REQUIREMENTS:	6 Units x 3 Bedrooms= 6 x 3 Spaces= 18 Spaces 3 Units x 2 Bedrooms= 3 x 2.5 Spaces= 7.5 Spaces Proposed Parking 26 Spaces
MINIMUM LANDSCAPE SURFACE	0.1 of Total Site



LOCATION MAP
N.T.S.



VICINITY MAP
SCALE: 1" = 100'

Electric Service
Middle Tennessee Electric Membership Corporation 2156 Edward Curd Lane Franklin, Tennessee 37067 615.794.1102
Gas Service
Piedmont Natural Gas www.piedmontng.com
Water Service
City of Franklin Water and Sewer 124 Lumber Dr. Franklin, Tennessee 37064 615.794.4554
Sewer Service
City of Franklin Water and Sewer 124 Lumber Dr. Franklin, Tennessee 37064 615.794.4554
Utility Location
Tennessee One-Call 800.351.1111

Property Information
725 West Main St. Franklin, TN 37064 Tax Map 78C Group J, Parcel 22 Zoned: OR
Owner
Crews West Main, LLC 131 Third Avenue North Franklin, TN 37064 Contact: Charles Crews
Developer
Bernie Butler D9 Development, LLC 131 Third Avenue North Franklin, TN 37064 615.419.6933 berniebutler@d9development.com

Civil Engineer
Dale & Associates (Adam Seger, PE) 516 Heather Place Nashville, Tennessee 37204 615.297.5166 Contact: Adam Seger adam@daleandassociates.net
Survey Provided by
Wilson and Associates, P.C. 108 Beasley Drive Franklin, TN 37064 615.794.2275
Architect
Studio 8 Design 714 Eighth Avenue South Nashville, TN 37203 615.250.8150 Contact: Anna Ruth Kimbrough arkimbrough@s8-design.com
Landscape Architect
Design Studio 908 High Point Ridge Franklin, TN 37069 615.218.8118 Contact: Jason Goddard jgoddard@designstudioplan.com

Site Description

The Arlington at West Main site is located within the Office Residential zoning district and within the CFCO-3 and CFCO-7 character area and HPO overlay areas. The development scope includes demolition of the existing apartment buildings currently located on the property and the construction of high-end multi-family units to be named The Arlington at West Main. We are planning to construct and entirely new and modern building that is more in keeping with the updated fabric of downtown Franklin and in compliance with the traditional, downtown core development standards, the CFCO-3 and CFCO-7 character area design standards, and the HPO overlay design guidelines. The future use will achieve this with the installment of these high end condominiums. Stairs and elevators providing access to all floors and outside porches and sitting areas will be built. The building will also have a driveway with a garage entrance to underground parking.

Drawing Date:
May 9, 2016

Revisions:
5/24/2016
DRT comments

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725 West Main St.
Franklin, Williamson County, Tennessee



PERMITS:

Dale & Associates
Consulting Civil Engineering
Land Planning & Zoning
Landscape Architecture
516 Heather Place
Nashville, Tennessee 37204
(615) 297-5166

D&A Project #15153
The Arlington at
West Main

C0.0

Sheet 1 of 5

Notes & Project Standards

Electric Service
Middle Tennessee Electric
Membership Corporation
2156 Edward Curd Lane
Franklin, Tennessee 37067
615.794.1102

Gas Service
Piedmont Natural Gas
www.piedmontng.com

Water Service
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Sewer Service
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Zoned: OR

Owner
Crews West Main, LLC
131 Third Avenue North
Franklin, TN 37064

Developer
Bernie Butler
D9 Development, LLC
131 Third Avenue North
Franklin, TN 37064
615.419.6933

Civil Engineer
Dale & Associates (Adam Seger, PE)
516 Heather Place
Nashville, Tennessee 37204
615.297.5166

Survey Provided by
Wilson and Associates, P.C.
108 Beasley Drive
Franklin, TN 37064
615.794.2275

Floodnote
A Portion of This Property does Lie Within a
Flood Hazard Area as Depicted on the
Preliminary Flood Insurance Rate Maps (FIRM)
Number 47187C0211G. Dated August 29,
2014

Grading and Drainage Data Chart

- Site Area: 39,108 SF
- Impervious Area: 11,558 SF Existing, 20,400 SF Proposed
- Disturbed Area on Site (within PUD): 32,292 SF

Water and Sewer Data Chart

- Facility Type: Multifamily Units
- Total Flow in GPD: 3,000 GPD

Historic Property Information

This site is a Historic property within the Hincheyville National Register Historic District. Nearby historic properties include:

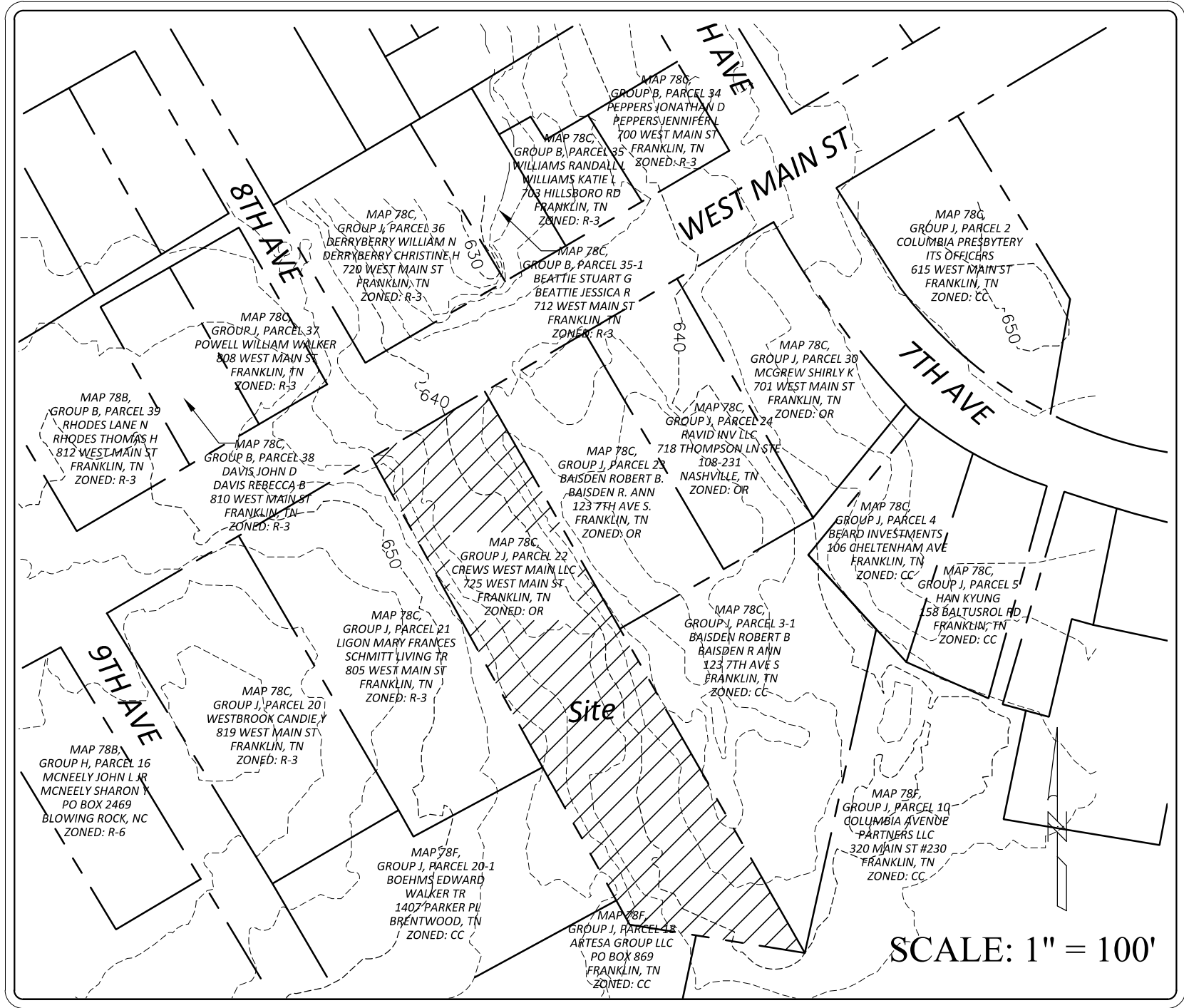
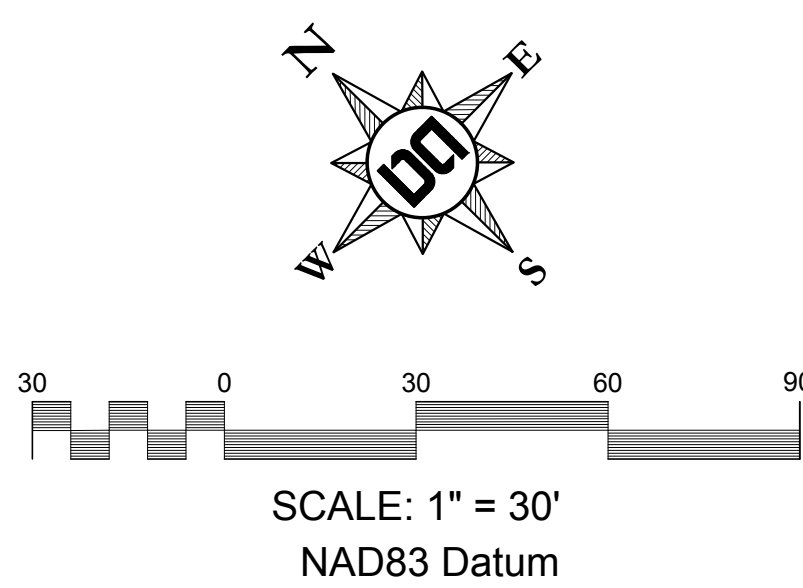
- St. Paul's Episcopal Church - Located approximately 700' Northeast at 510 West Main St.

Adjacent Fire Hydrant Flow Test Results

Below is a summary of Hydrant Flow Test Results from Existing Hydrants located along West Main Street to the Northeast intersection of 7th Avenue and Northwest corner of the Site. The Flowing Hydrant is at the North East Intersection of 7th Avenue and West Main Street, while the residual hydrant is at the Northwest corner of the site.

Static Pressure = 85 psi
Residual Pressure = 75 psi
Flow at Residual = 1087 gpm
Calc. Flow @ 20 psi = 3623 gpm

Results of the Fire Flow Model utilizing the above field data:
Ex. Fire Hydrant: 3623 gpm @ 20 psi Min Zone Pressure



VICINITY MAP

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STATE:	Tennessee
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PROPOSED ZONING:	SD-R 10.00
OTHER APPLICABLE OVERLAYS:	HPO/Downtown Franklin Local Historic District
APPLICABLE DEVELOPMENT STANDARDS:	Traditional (Downtown Core)
ACREAGE OF SITE/PROJECT AREA:	39,108 S.F. / 0.9 AC
MINIMUM REQUIRED SETBACK LINES:	
FRONT AND STREET:	15'
SIDE YARD:	5'
REAR YARD:	5'
BUILDING COVERAGE:	78.6% Proposed / 80% Allowed
BUILDING HEIGHT:	2 Stories Proposed
BUILDING FOOTPRINT:	Existing - 3,240 SF Proposed - 16,311 SF
BUILDING SQUARE FOOTAGE:	Existing - 7,476 SF Proposed - 30,738 SF
*PARKING REQUIREMENTS:	6 Units x 3 Bedrooms= 6 x 3 Spaces= 18 Spaces 3 Units x 2 Bedrooms= 3 x 2.5 Spaces= 7.5 Spaces Proposed Parking 26 Spaces
MINIMUM LANDSCAPE SURFACE	0.1 of Total Site / Min 0.1 Proposed

General Notes

- Utility Connections:
 - A new water tap is proposed to be utilized and an all new service line will be installed off the proposed tap as well as a RPBP located inside the building. New sewer tap is proposed to be utilized with new pipe to be installed from clean out.
- Parking for this development shall be provided by a structured parking lot underneath the building.
- Lighting:
 - The lighting of the building will include the Code required building mounted emergency egress lighting as well as building illumination in keeping with the requirements set forth in Section 5.11 of the Franklin Zoning Ordinance. An exterior lighting plan and fixture cutsheets are not yet available as the design is not at that level of development.

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Statement of Impacts

- Water and Sewer will both be provided by the City of Franklin Water and Sewer Department, the anticipated maximum domestic flow demand for this development is 3,000 GPD.
- Increased runoff is anticipated on existing storm infrastructure, therefore stormwater structures for treatment and detention are proposed and a stormwater management plan is required. Footprint of proposed improvements to site is greater than 10,000 SF of disturbed area with increase in impervious surface greater than 5,000 SF (Final ISR Forthcoming)
- The site will have its main access off of West Main St. (Minor Arterial), approximately 250' West of the intersection with 7th Ave. S. (Major Collector). Peak Traffic Flows shown below (Based on ITE Trip Generation Handbook, 8th Edition):
AM In = 1 Trip/hr PM In = 3 Trips/hr
AM Out = 4 Trips/hr PM Out = 2 Trips/hr
The Trips shown above would have a negligible impact to the existing streets.
- Site is located approximately 2,500' from the nearest Fire Department, and 700' from the nearest police department.
- The Site will be served by a Fire Sprinkler System, and is within 10' of the nearest fire Hydrant west the northwest corner of the property. Fire Flow information is provided.



Dale & Associates
Consulting Civil Engineering
Land Planning & Zoning
Surveying
516 Heather Place
Nashville, TN 37204
(615) 977-5166

Drawing Date:
May 9, 2016

Revisions:
5/24/2016
DRT comments

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PERMITS:

Overall Development Plan

D&A Project #15153
The Arlington at
West Main

C2.0

Sheet 3 of 5

**Middle Tennessee Electric
Membership Corporation
2156 Edward Curd Lane
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615.794.1102**

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725 West Main Street
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Zoned: OR
Owner

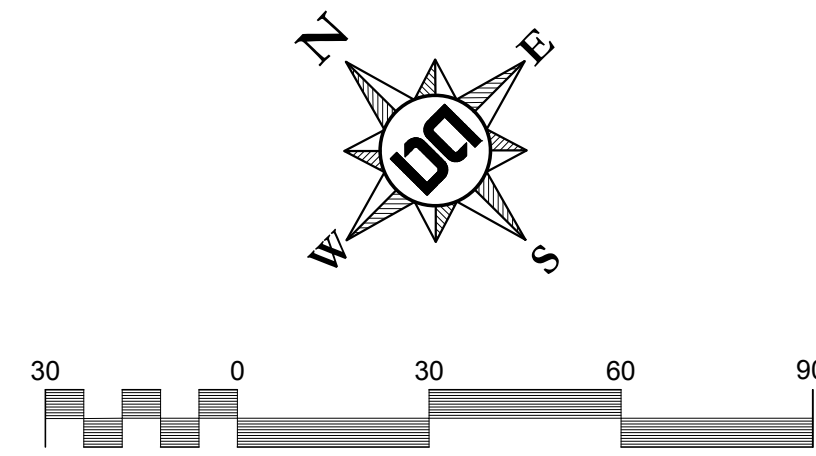
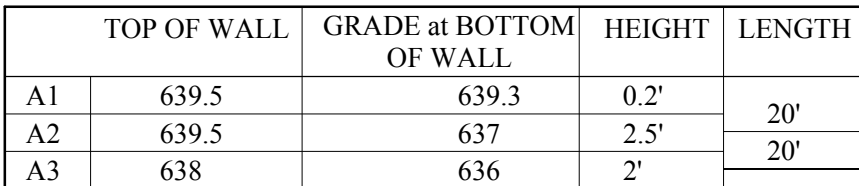
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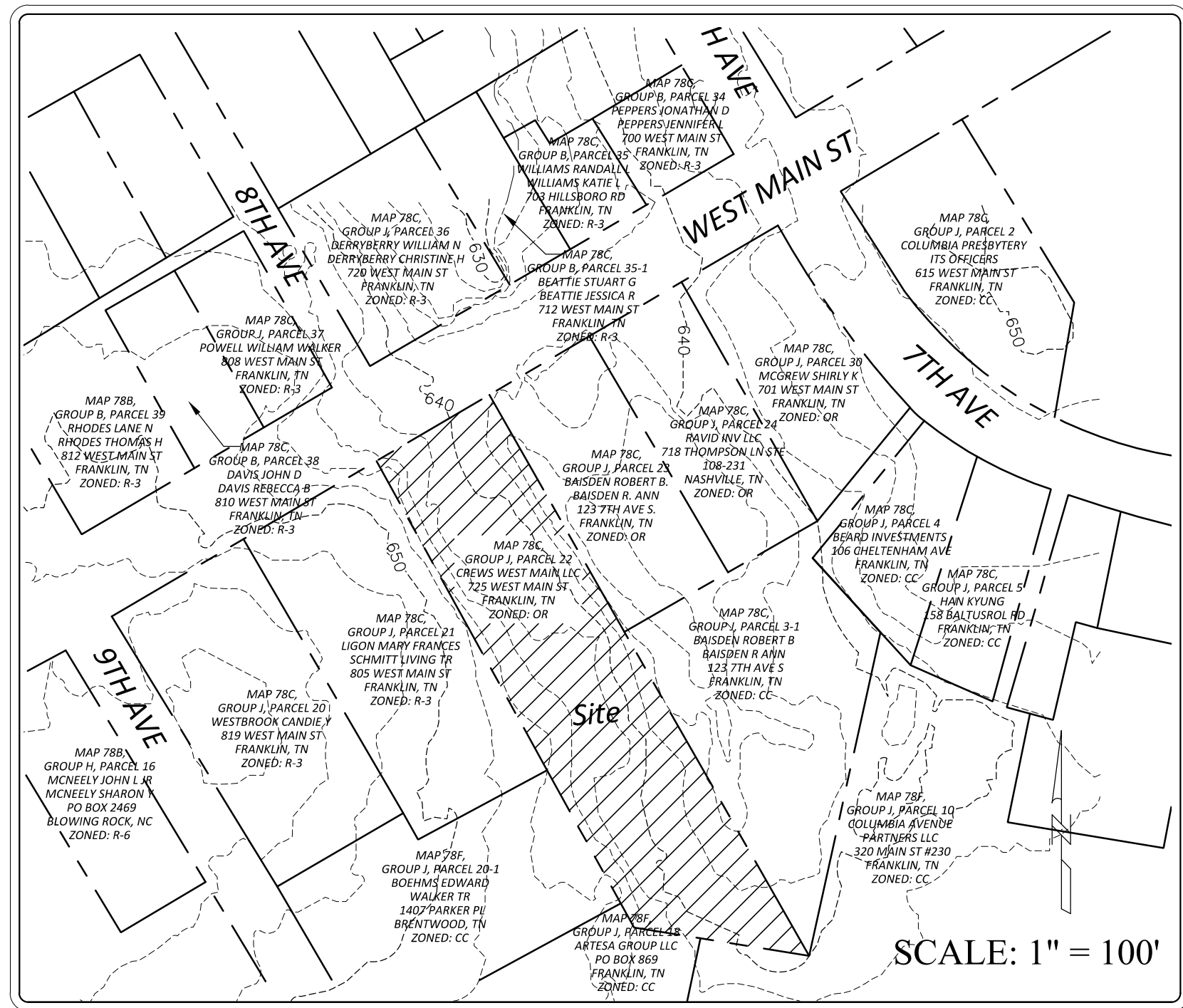
Dale & Associates (Adam Seger, PE)
516 Heather Place
Nashville, Tennessee 37204
615.297.5166

Wilson and Associates, P.C.
108 Beasley Drive
Franklin, TN 37064
615.794.2275

A Portion of This Property does Lie Within a Flood Hazard Area as Depicted on the Preliminary Flood Insurance Rate Maps (FIRM) Number 47187C0211G. Dated August 29, 2014



SCALE: 1" = 30'
NAD83 Datum



SCALE: 1" = 100'

Site Data

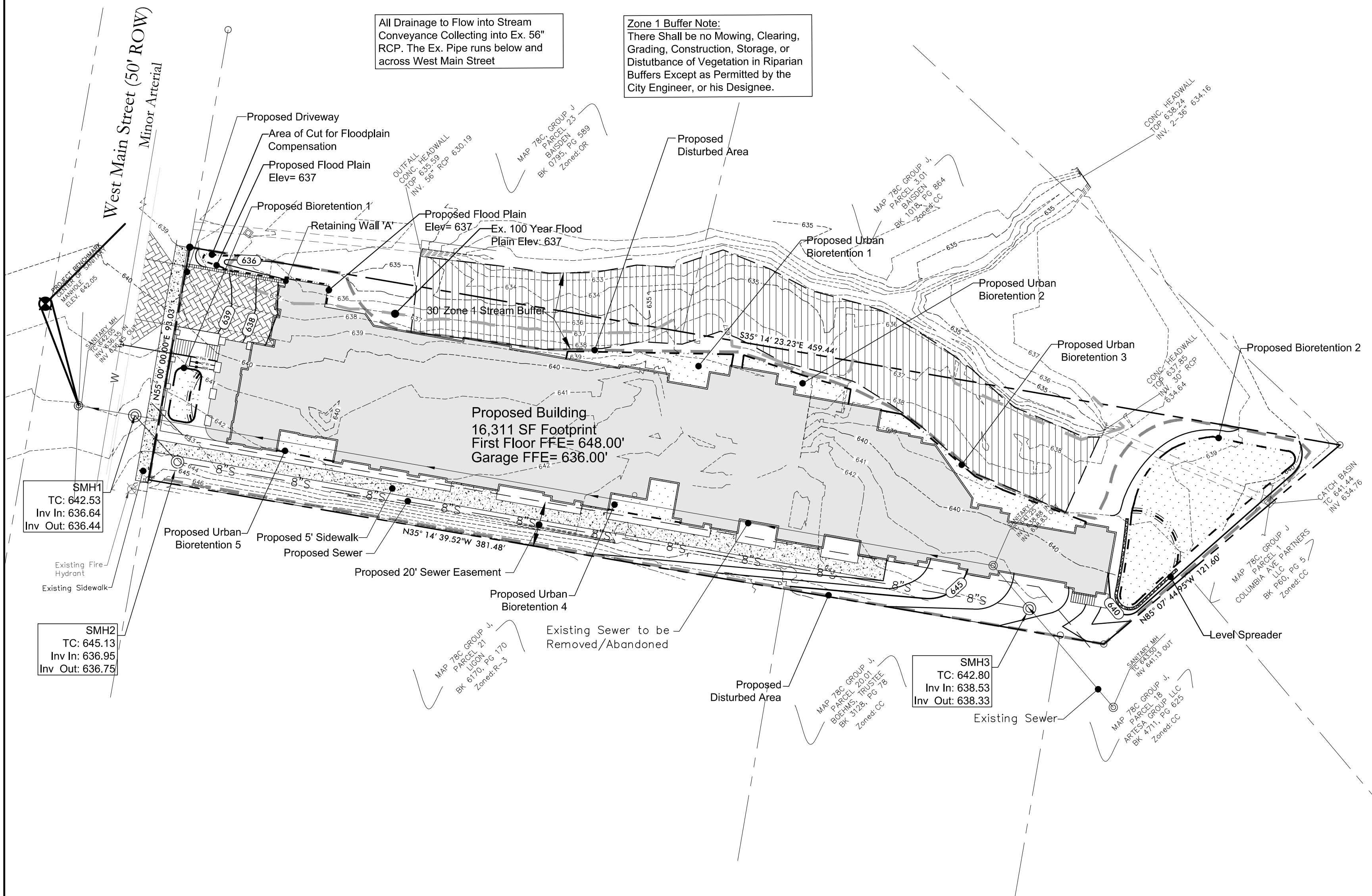
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MINIMUM LANDSCAPE SURFACE	0.1 of Total Site / Min 0.1 Proposed

1. Grading Permit is required for any project disturbing more than 10,000 sq ft, adding more than 5,000 sq ft of impervious surface or for any site grading requiring stockpiling of material.
2. The Developer shall provide the necessary labor and supervision required to support field testing by the independent testing firm and inspections by City officials at no cost to the City. Test reports of field testing if applicable shall be submitted directly to the Street Department. Defects disclosed by tests shall be rectified.
3. An authorized representative of the City shall make a final inspection of the project after completion to determine acceptability of the work and for release of performance bonds if required. Before this final inspection can be made, the Engineer responsible for the project shall certify in writing to the City Engineer that the work has been completed in accordance with approved plans and specifications.
4. Drainage facilities including, but not limited to, culverts, detention basins and ditches, as well as the roadway sub-grade, base stone and binder & surface coarse shall be inspected, tested and given approval at each stage of installation prior to proceeding to the next stage of construction. Final construction inspection for approval and acceptance of streets and drainage systems will not be granted until all work has been completed in accordance with the approved plans.
5. Locating and coordination for the relocation of existing utilities is the responsibility of the contractor. Tennessee's One-Call and the City of Franklin utility location service shall be utilized in addition to coordination with local utility owners. The contractor shall at all times protect existing utilities and will be responsible for costs due to damage caused to any utility lines.

- Site Area: 39,108 SF
- Impervious Area: 11,558 SF Existing, 20,400 SF Proposed
- Disturbed Area on Site (within PUD): 32,292 SF

- Increased runoff is anticipated on existing storm infrastructure, therefore stormwater structures for treatment and detention are proposed and a stormwater management plan is required. Footprint of proposed improvements to site is greater than 10,000 SF of disturbed area with increase in impervious surface greater than 5,000 SF (Final ISR Forthcoming)

- Value of Fill: 104.76 Cu Ft./ 3.88 Cu Yd.
- Value of Cut: 119.34 Cu Ft./ 4.42 Cu Yd.



The existing site is approximately 0.9 acres of office residential zoned property within the Downtown Core of Franklin, TN. The site consists of pervious surfaces and impervious surfaces. Impervious Surfaces include an existing building, paved parking and dumpster pad, and concrete walks for pedestrian traffic. The vegetation and pervious surface that exists on the site is in the form trees and turf. The soil profile for the site consists of Egam Silt Loam (Eg), which is a Type 'C' Soil, and Captina Silt Loam (Ca2), which is a Type 'D' soil, per the NRCS Soil Maps.

Topography for most of the site is fairly flat ranging from 0-6% in slopes, and steeper slopes run along the northeast property line. Existing stormwater runoff sheet flows then concentrates where it is then conveyed to a stream, which drains offsite. This site has a 100 year flood plain elevation of 637' which crosses into the site in three different small areas. Also, there is a 30' stream buffer that is offset from the existing stream offsite and crosses into the property.

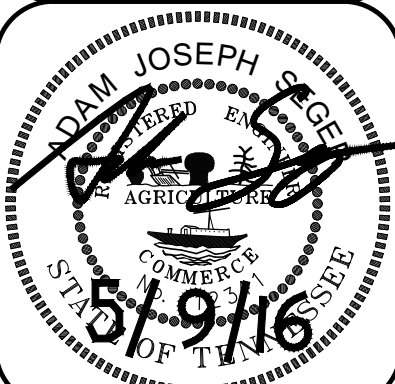
As proposed, stormwater runoff will be conveyed into the stream using LID storm treatment and detention. The majority of roof drains will discharge directly into urban bioretention structures and one bio-retention structure. The rest of the building and southwest area of he site will drain into a large bio-retention structure, while the rest of the site to the northeast will be bypassed. It should also be noted that an increase of greater than 5,000 SF of Impervious surface is proposed for the development of this site, as well as greater than 10,000 SF of disturbance. This requires the development to obtain a Stormwater Permit and Grading Permit as well as having to comply with Peak Runoff Control - Runoff Reduction Requirements as stated in the City of Frankling Stormwater Management Ordinance Sec. 23-102.

Overall Grading and Drainage Plan

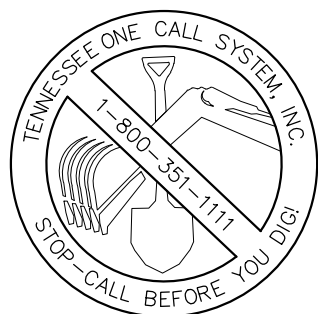
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Revisions:
5/24/2016
DRT comments

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PERMITS:



 **Dale & Associates**
316 Cedar Place
Nashville, Tennessee
(615) 297-2166

D&A Project #
The Arlington
West Main

C3.

Sheet 4 of 4

D&A Project #15153
The Arlington at
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C3.0

Sheet 4 of 5

**Middle Tennessee Electric
Membership Corporation
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615.794.1102**

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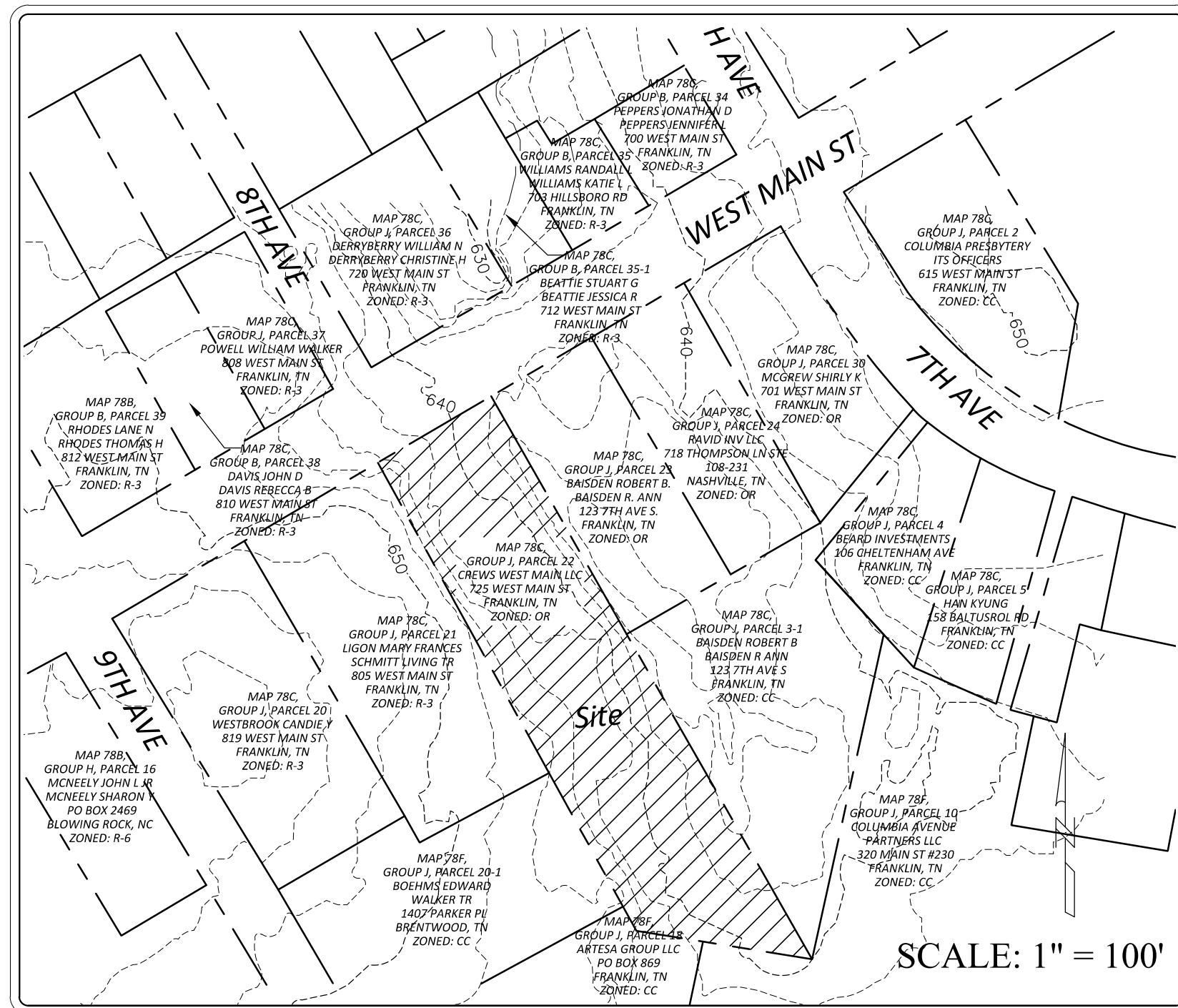
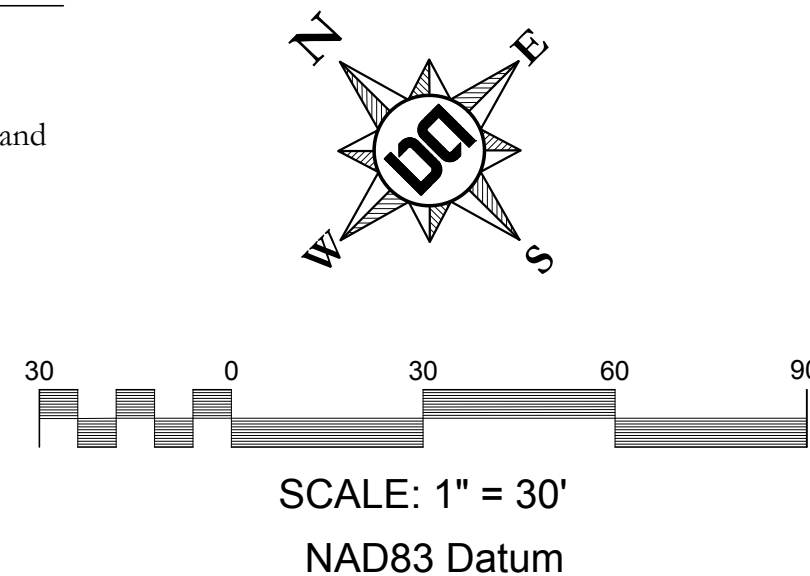
- Existing water tap to remain and be utilized, however, an all new service line will be installed off the existing tap as well as an RBPB inside the building. Existing sewer tap to remain and be utilized, new pipe to be installed from clean out

- Facility Type: 9 Multifamily Units
- Total Flow in GPD: 3,000 GPD

Below is a summary of Hydrant Flow Test Results from Existing Hydrants located along West Main Street to the Northeast intersection of 7th Avenue and Northwest corner of the Site. The Flowing Hydrant is at the North East Intersection of 7th Avenue and West Main Street, while the residual hydrant is at the Northwest corner of the site.

Static Pressure = 85 psi
Residual Pressure = 75 psi
Flow at Residual = 1087 gpm
Calc. Flow @ 20 psi = 3623 gpm

Results of the Fire Flow Model utilizing the above field data:
Ex. Fire Hydrant: 3623 gpm @ 20 psi Min Zone Pressure



1. Prior to beginning construction, the Developer and/or Contractor, shall obtain all necessary permits as required by law. Such permits may include, but are not limited to, those required by State of Tennessee, Williamson County and other City of Franklin agencies.
2. All off-site work within the public right-of-way shall require an approved traffic control plan which complies with the MUTCD. No off-site excavation may be undertaken in any street, road, alley or right-of-way of any utility or temporary construction easement of the City of Franklin by any entity unless 72-hour notice has been given to the City of Franklin Traffic Operations Center. The contractor shall have an approved traffic control plan onsite during construction.
3. Construction materials shall be fully tested in accordance with the designations and requirements within the referenced "TDOT Standard Specifications" sections, unless otherwise noted within the "Standard Specifications" section of the City of Franklin Transportation & Street Technical Standards.
4. An authorized representative of the City shall make a final inspection of the project after completion to determine acceptability of the work and for release of performance bonds if required. Before this final inspection can be made, the Engineer responsible for the project shall certify in writing to the City Engineer that the work has been completed in accordance with approved plans and specifications.
5. Locating and coordination for the relocation of existing utilities is the responsibility of the contractor. Tennessee's One-Call and the City of Franklin utility location service shall be utilized in addition to coordination with local utility owners. The contractor shall at all times protect existing utilities and will be responsible for costs due to damages caused to any utility lines.
6. All temporary striping shall conform to "Standard Specifications for Road and Bridge Construction," published by TDOT, the latest revision except as herein amended. When approved, temporary striping shall be required prior to the opening of a street for travel where pavement and/or permanent striping cannot be completed due to weather and/or time constraints.
7. Thermoplastic pavement markings should be used on all public and private City street projects. Thermoplastic traffic striping and pavement markings shall conform to Section 716.03 "Thermoplastic Pavement Markings" of the Tennessee Department of Transportation Specifications (TDOT), and to the City of Franklin Transportation & Street Technical Standards.

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The Trips shown above would have a negligible impact to the existing streets.
- Site is located approximately 2,500' from the nearest Fire Department, and 700' from the nearest police department.
- The Site will be served by a Fire Sprinkler System, and is within 10' of the nearest fire Hydrant west the northwest corner of the property. Fire Flow information is provided.



Water, Fire, and Irrigation will be connections tapped from the existing water line along the West Main Street ROW. Existing Sewer Infrastructure onsite will be removed and replaced with a new Sewer Line connection with inverts connected to existing manholes located offsite to the southwest and located at the project benchmark on West Main Street. The new Sewer Easement will extend along the southwest boundary line and offset 20' to the edge of the proposed building.

Overall Utility/ROW & Access Plan

Drawing Date:
May 9, 2016

Revisions:
5/24/2016
DRT comments

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 725 West Main St.
 Franklin, Williamson County, Tennessee



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C4.0

Sheet 5 of 5