

CONDITIONS OF APPROVAL:

Open Issues: 26 These issues are currently being filtered

Engineering - Site Plan Checklist

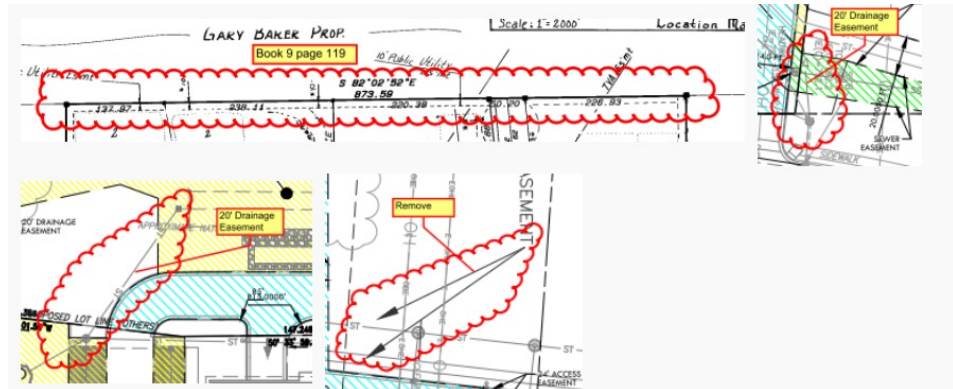
General Issues

1. D. Site Plan

[joe.marlo@franklinton.gov](mailto:joe.marlo@franklinton.gov) Applicant has added an easement plan on Sheet C5.3 for clarity (thank you).

Applicant to revise the Easement Plan as follows:

1. Hatch for Green Infrastructure Easement is not consistent at GIE's. All bioretention should be shown with the GIE hatch (3 locations).
2. The existing 10' PUDE on the property to the south is to be shown (Plat Book 9 pg 119). Revise all affected sheets accordingly.
3. 20' Drainage easements are to be provided where clouded below.
4. Remove inadvertent leaders, including those clouded below.



2. J. Stormwater Management Plan

[lance.fittro@franklinton.gov](mailto:lance.fittro@franklinton.gov) As previously stated, with the Level 2 Permeable Paver section now included, at a minimum, infiltration testing shall be performed for this paver area. If the native soils do not have the required minimum infiltration rate per section GIP-03 of the BMP Manual (> 0.5 in/hr), alternate and/or additional treatment measures may be required.

**NO SITE PLAN APPROVAL WILL BE GRANTED WITHOUT INFILTRATION AND/OR SUBSURFACE TESTING RESULTS WHICH VERIFY THE ACCEPTABLE DESIGN OF ALL STORMWATER BMP(S).**

3. Street Access

[joe.marlo@franklinton.gov](mailto:joe.marlo@franklinton.gov) Applicant has partially addressed the comment.

Applicant shall provide City of Franklin standard construction details for sidewalk and sidewalk expansion joints within the right-of-way.

4. Access at Eastern Site Entrance

joe.marlo@franklntn.gov The previous comment "Applicant shall provide documentation that contiguous access is available from the property line at the eastern entrance of the site through the Jones Co. property to the Liberty Pike ROW without trespassing on private property. Note that Plat P40-137 does not appear to call out an access easement. Applicant shall show/ document the continuous access path on the Site Plan." has not been sufficiently addressed.

The resubmitted drawings show a substantial amount of work on the adjacent property to the east (Jones Co.) including demolition of sidewalk, curb, and headwalls, installation of new water lines and storm junction/pipe, and revised grading.

Applicant shall submit a written letter of agreement from the adjacent property owner allowing the proposed work to be performed on the Jones Co. property. Applicant shall also submit documentation that all easements on the adjacent property that are required for the proposed work, including utility and access easements, are recorded. Written agreement and easements shall be in place prior to site plan approval.

### 5. Off-Site Storm Structures

joe.marlo@franklntn.gov This is a new comment based on new information shown on the drawings.

Applicant to verify the capacity (including remaining percent open) of the next two downstream storm structures (next two 48" CMP under roadways) in the subdivision to the south that will be receiving stormwater from the site.

### 6. Storm Pipe Table

joe.marlo@franklntn.gov This is a new comment based on new information shown on the drawings.

Applicant to revise the Storm Pipe Table entries noted below to match the grading plan.

INLET	INVERT	OUTLET	INVERT	LEI	STOR
A2	771.00	A1	770.75		
A3	773.90	A2	771.10		
A4	774.50	A3	774.00		
A5	776.00	A4	774.60		
B1	783.50	BOX PIPE	783.00		
C1	778.80	A2	778.60		
C2	779.50	C1	779.00		
D2	782.00	D1	781.00		
E2	770.20	E1	770.00		
F1	775.00	A4	774.60		
J1	781.00	BOX PIPE	776.00		
AA2	776.10	AA1	776.00		
AA3	776.60	AA2	776.20		
AA4	776.95	AA3	776.70		
AA5	777.30	AA4	777.05		
AA6	777.65	AA5	777.40		
AA7	778.00	AA6	777.75		
BB1	776.70	AA2	776.60		
BB2	777.00	BB1	776.80		
CC1	777.15	AA3	777.05		
CC2	777.45	CC1	777.25		
DD1	777.50	AA4	777.40		
DD2	777.80	DD1	777.60		
EE2	773.00	EE1	772.00		
FF1	771.50	A2	771.10		
GG1	791.50	BOX PIPE	781.00		
HH1	793.00	EXI	792.20		

### 7. J. Stormwater Management Plan

[jimmy.wiseman@franklintn.gov](mailto:jimmy.wiseman@franklintn.gov) The applicant analyzed the capacity of the existing downstream channel which is located in a Williamson County drainage easement and the first existing culvert downstream under a County roadway. The applicant identified the need to perform offsite grading to improve drainage capacity. The County must approve the offsite drainage improvements prior to the City issuing a grading permit.

## Fire-Planning

### 2016-11-28 Prime Health Site Plan - PreApp.pdf

#### 8. Fire Protection

[geoffw@franklintn.gov](mailto:geoffw@franklintn.gov) This comment from 12/1/2016 has not been addressed.

The applicant shall provide the results of a full demand fire flow test.

Applicant is advised to refer to the review comments from 1/11/2017 concerning the closest fire hydrants for this test.

*Original Comment:  
C7.0 Utility Plan*

*Please provide the results a full fire demand flowtest (two hydrant).*

*The flowtest must be performed within six (6) months of submittal date to be considered valid. Seasonal fluctuations should be discussed with the appropriate water utility based on the project's address/location.*

*Provide the results on C7.0 and include all documentation from the test as a separate exhibit/attachment at submittal.*

[Edited By Geoff Woolard]

### 2017-05-04 Prime Health Site Plan Combined.pdf

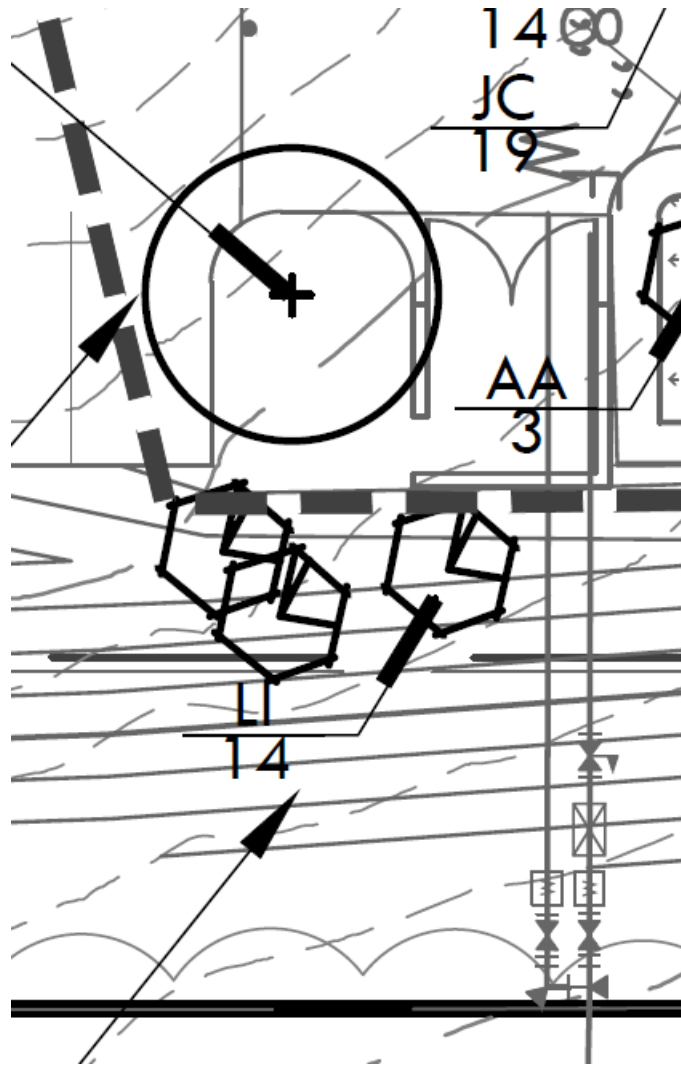
#### 9. Landscaping

[geoffw@franklintn.gov](mailto:geoffw@franklintn.gov) This is a new comment at Resubmittal based on a change to the plans by the applicant. An earlier comment addressed non-compliance with the proposed location of domestic and fire protection water lines under the proposed dumpster enclosure. Based on those comments, the applicant relocated the domestic and fire protection water lines to the left of the dumpster enclosure.

However, landscaping on L1.0 was not adjusted and the water lines are now shown under a proposed "October Glory Red Maple" tree. The long-term root growth of trees poses a significant risk to water lines and fire protection water lines and must be avoided.

The applicant shall remove the proposed maple tree from the location indicated to avoid damage to domestic and fire protection water lines.

Previous:



[Edited By Geoff Woolard]

## Performance Agreement and Surety

### General Issues

#### 10. Engineering Sureties

[kevin.long@franklintn.gov](mailto:kevin.long@franklintn.gov)

Applicant shall post sureties in the following amounts:

I. City Water:	
II. City Sewer:	\$ 66,000
III. City Streets:	\$ 11,000
IV. Private Streets:	\$ 144,000
V. Traffic Signals:	
VI. Public Sidewalks:	\$ 27,000
VII. Stormwater Drainage:	\$ 334,000
VIII. Green Infrastructure:	\$ 427,000
IX: ITS Elements:	

Sureties are calculated, posted to, and approved during the Site Plan approval process. Sureties shall be posted prior to obtaining a building permit. Where a building permit is not expected, sureties shall be posted prior to obtaining a grading permit. If a Final Plat is approved at any time during the development process, all sureties will be transferred to said plat as a Condition of Approval.

**Any driveway or related encroachment on City of Franklin right-of-way, including the modification, revision, or change in use of any existing driveway facilities, shall require a Street Access surety to be posted with the City of Franklin.**

[Edited By Kevin Long]

## 11. Landscape

[larry.mizell@franklintn.gov](mailto:larry.mizell@franklintn.gov) Landscape surety \$54,000.00

## Planning

### General Issues

## 12. Architecture

[brad.baumgartner@franklintn.gov](mailto:brad.baumgartner@franklintn.gov) Staff does not support the modification of standards and this project will go to FMPC to be decided. If the design modification is not approved by FMPC, a primary entrance shall be added to the north elevation.

[Edited By Brad Baumgartner]

## 13. Final Plat

[brad.baumgartner@franklintn.gov](mailto:brad.baumgartner@franklintn.gov) Applicant shall have final plat showing corrected easements including access to this site prior to the site plan being approved through One-Stop. Also, plat should show where easements are to be shifted or removed. A plat must be recorded for Lot 3. This site plan cannot be approved fully until these issues are resolved.

## Planning (Landscape)

### General Issues

## 14. Incompatible use buffer

[larry.mizell@franklintn.gov](mailto:larry.mizell@franklintn.gov) The incompatible use buffer plant material shall be field located by the Landscape Architect and the City of Franklin Land Planner.

This note shall be added to landscape plans.

[Edited By Larry Mizell]

## Sanitation and Environmental Services

### 2017-05-04 Prime Health Site Plan Combined.pdf

#### 15. Solid Waste Service

[bryan.brown@franklintn.gov](mailto:bryan.brown@franklintn.gov) Please provide a FEL auto-turn to service the dumpster at this location. Below are standard specifications for this type collection truck. Please verify this type truck has a straight approach with front forks extended.

Front-end Loader: Used for trash and cardboard dumpsters

Height: 12.5'

Wheel Base: 237" (19.5')

Width: 97" (8' 1")

Overhead clearance with can in raised position: 18.5'

Turning radius: 46'

Turning diameter: 97'

Track: 78.6" (approx. 6'6")

Total length with boom overhang and arms extended: 41'

Total overall length of truck (with boom overhang): 37'

Truck length without boom: 35'

Front overhang: 50" (4'2")

Fork length: 4'

Boom arms front of bumper overhang: 24"

Empty scale weight: 40,400 pounds

Total gross vehicle weight: 75,020 pounds (the maximum without being over weight limits)

Front axle weight: 18,000 pounds

Empty trash dumpster estimated weight : 700 pounds

Full trash dumpster estimated weight: 1,600 pounds

## Stormwater

### General Issues

#### 16. Limits of Disturbance

[ellen.moore@franklintn.gov](mailto:ellen.moore@franklintn.gov) Applicant shall show any work to be included within Lot 1 within the limits of disturbance.

#### 17. Long Term Maintenance Plan

[jeff.willoughby@franklintn.gov](mailto:jeff.willoughby@franklintn.gov) Include L1.0  
[Edited By Jeff Willoughby]

#### 18. Bioretention

[ellen.moore@franklintn.gov](mailto:ellen.moore@franklintn.gov) Applicant shall show a 1:1 slope on both sides of the gravel diaphragm.

#### 19. SWPPP & NOC (NPDES)

amanda.ray@franklintn.gov The amount of disturbance on this project has triggered the NPDES requirements as specified below. Submit the SWPPP, NOI, NOC, and all other pertaining documents as they are approved by TDEC. **\*Please note that no Stormwater/Grading permit will be issued and this comment will remain open until an NOC is received.\***

**From the TDEC Website: Who Needs An NPDES ?Stormwater Construction Permit:** Operators of construction sites involving clearing, grading or excavation that result in an area of disturbance of one or more acres, and activities that result in the disturbance of less than one acre if it is part of a larger common plan of development or sale. - See more at: <http://www.tn.gov/environment/article/permit-water-npdes-stormwater-construction-permit>

**If a NOC has already been issued please submit a copy of the NOC & SWPPP.**

Issue to remain open for reference until NOC is received.

## 20. EPSC

ellen.moore@franklintn.gov Applicant shall show silt fence along the stream buffer where the sidewalk grading will occur.

## 21. Pervious Concrete/Pavers

ellen.moore@franklintn.gov This comment is new due to site plan changes. Applicant shall provide a full subgrade grading plan for any area to be benched underneath the pavers. Applicant shall show where the benches are and the depth of each bench.

## Water/Sewer

### General Issues

## 22. Sanitary sewer

ben.mcneil@franklintn.gov With the revision of the sanitary sewer main, the applicant shall add the existing invert out of the existing sanitary main.

## 23. Sanitary sewer

ben.mcneil@franklintn.gov With the revision of the sanitary sewer alignment, the new layout has a sanitary sewer service line extending from the prime health property to the Jones company. The Jones company has access to existing sewer at the property line. The city of Franklin Water Management department will not allow Jones service to cross private property with an easement. Jones Company shall utilize the existing sanitary sewer at the property line for service.

Applicant shall contact Ben McNeil with water management to discuss the acceptable sanitary sewer route prior to the one stop submittal. If the applicant does not contact Ben prior to One stop, the plan will not be approved at one stop.

[Edited By Ben Mcneil]

## 2017-01-05 Prime Health Combined Site Plan Drawings.pdf

## 24. Sanitary sewer

ben.mcneil@franklntn.gov With the revision of the sanitary sewer main, the applicant shall provide a cleanout at the edge of the sanitary sewer easement from manhole A-1.

## 25. Sanitary sewer

ben.mcneil@franklntn.gov With the revision of the sanitary sewer main, the sanitary sewer main shall end at MH A-1 and a service extended from there. The Jones company has access from the existing manhole from to the site. The original layout was considered due to the close proximity of the sanitary sewer main to Jones property line. Applicant shall revise.

## 26. Sanitary sewer

ben.mcneil@franklntn.gov With the revision of the sanitary sewer main, the applicant shall revise the proposed storm line and the sanitary sewer manhole A-1. The storm shall be designed as to provide maintenance to the proposed manhole.

