

DEVELOPMENT PLAN

COLLETTA PARK PUD SUBDIVISION

COF 6559
 MAP 89, PARCEL 55.00
 MAP 79M B, PARCEL 28.00
 MAP 79M B, PARCEL 29.00
 MAP 089, PARCEL 43.03
 MAP 089, PARCEL 43.04
 FRANKLIN, TENNESSEE
 CIVIL DISTRICT 14

SHEET INDEX

- C 0.0 COVER SHEET
- C 1.0 NEIGHBORHOOD CONTEXT PLAN
- C 1.1 NEIGHBORHOOD CONTEXT PLAN
- C 1.2 OVERALL EXISTING CONDITIONS PLAN
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- C 2.0 DEVELOPMENT DEVELOPMENT PLAN
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- C 3.0 NORTH GRADING AND DRAINAGE PLAN
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- C 4.0 NORTH ROW AND ACCESS PLAN
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- C 5.1 SOUTH UTILITY PLAN



**REQUESTED MODIFICATIONS OF STANDARDS
 COLLETTA PUD SUBDIVISION**

MOS 1
 #1. Modification of Standards Request for Zoning Ordinance Section 3.5.10(2)(d)(iii) SWCO-3 Standards
 The applicant requests a Modification of Standards as it relates to the following item for the Seward Hall, Special Area 3: "new development shall be restricted to detached residential dwellings on lots with a minimum lot area of one to five acres." While this design criteria is appropriate for a portion of the proposed Colletta Park, it would not allow the development to appropriately transition to the high density development of the Carothers Parkway corridor. Approval of this MOS would allow the develop pattern in the proposed Colletta Park to transition between the two divergent, existing development patterns.

MOS 2
 #2. Modification of Standards Request for Cul-de-sac length.
 The applicant requests a Modification of Standards to permit a cul-de-sac longer than 500 feet and containing more than 20 lots in two locations. The first location is to the north with the roadway that ends at an emergency connection to Stanford Drive, and the second is located at the southern drive where future connection is planned to Carothers Road and to Simmons Ridge. Lots on the southern drive would require fire sprinklers if a second point of access is not made available prior to platting of the lots.

DESIGN MODIFICATION - CONNECTIVITY INDEX
 Due to Williamson County's limitations on connectivity to Beacon Hill and Stanford Drive, existing development without access on the western boundary, and topographic constraints along Warren Road, the client requests a design modification for connectivity.

MODIFICATION OF STREET STANDARD
 Applicant requests a right of way width of 50 feet. The new street standards require a 52' ROW. The street standards were updated during Colletta Park's design process. The difference between the two standards is a 5' tree planting zone in the 50' ROW and a 6' tree planting zone in the 52' ROW.

SPECIAL CONDITION
 Colletta Park's northern connection to Stanford Drive is limited to emergency connection only. Colletta Park has a full access of Carothers Road, and will participate in improving Carothers Road to a three-lane collector. Due to the limited roadway connections, the development will be restricted to a maximum of 138 platted lots prior to the development plan or preliminary plat approval of a second access to Carothers Road.

OWNER: 089 05500
 ESTATE OF MARY ETTA ADAMS
 32 COLONEL WINSTEAD DRIVE
 BRENTWOOD, TN 37027
 JOHN E. ADAMS, JR EXECUTOR
 (615) 377-3219

OWNER: 079 MB 02800
 GLENN R. ADAMS
 PO BOX 680098
 FRANKLIN, TN 37067

OWNER: 079 MB 02900
 ROB C. ADAMS
 PO BOX 680098
 FRANKLIN, TN 37067

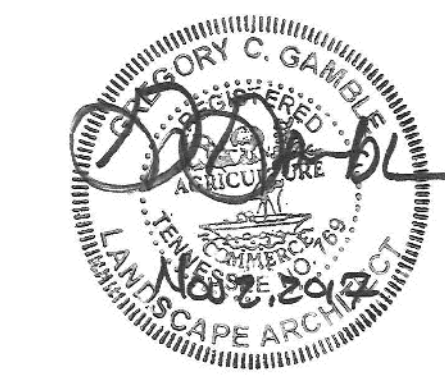
OWNER: 089 04303
 WATKINS PATTIE SUE
 4344 S CAROTHERS RD
 FRANKLIN, TN 37064

OWNER: 089 04304
 DURBIN GEORGE V
 4350 S CAROTHERS RD
 FRANKLIN, TN 37064

APPLICANT:
 GAMBLE DESIGN COLLABORATIVE
 144 SOUTHEAST PARKWAY
 SUITE 200
 FRANKLIN, TN 37064
 615.975.5765
 greggamble20@gmail.com
 GREG GAMBLE

ENGINEER:
 LAND SOLUTIONS COMPANY, LLC
 2925 BERRY HILL DRIVE
 NASHVILLE, TN 37204
 615.300.8496
 kevin@landsolutionsco.net
 KEVIN ESTES

NOTE: AERIAL PHOTO, PARCEL LINES AND TOPOGRAPHIC INFORMATION PROVIDED BY CITY OF FRANKLIN G.I.S.



LANDSCAPE ARCHITECT/PLANNER

GAMBLE DESIGN COLLABORATIVE
 144 SOUTHEAST PARKWAY SUITE 200
 FRANKLIN TN 37064
 GREG GAMBLE, RLA (615) 975-5765
 EMAIL ADDRESS: greggamble20@gmail.com



DEVELOPMENT PLAN

COLLETTA PARK PUD SUBDIVISION

COF # xxxx
 FRANKLIN, TENNESSEE

SITE DATA:

PROJECT NAME:	COLLETTA PARK PUD SUBDIVISION
PROJECT NUMBER:	6559
SUBDIVISION:	NA
LOT NUMBER:	
ADDRESS:	1101 RIDGEWAY DRIVE, MURFREESBORO ROAD
CITY:	FRANKLIN
COUNTY:	WILLIAMSON
STATE:	TENNESSEE
CIVIL DISTRICT:	14TH CIVIL DISTRICT
MAP, GROUP, PARCEL NUMBERS:	079 MB 002800 079 MB 002900 089 05500 089 04303 089 04304 R-1
EXISTING ZONING:	MECO-6, SWCO-3
CHARACTER AREA OVERLAY:	NONE
OTHER APPLICABLE OVERLAYS:	NONE
APPLICABLE DEVELOPMENT STANDARD:	CONVENTIONAL
TOTAL ACREAGE:	199 AC
TOTAL SQUARE FOOTAGE:	8,670,225

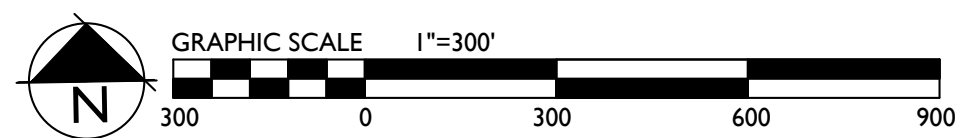
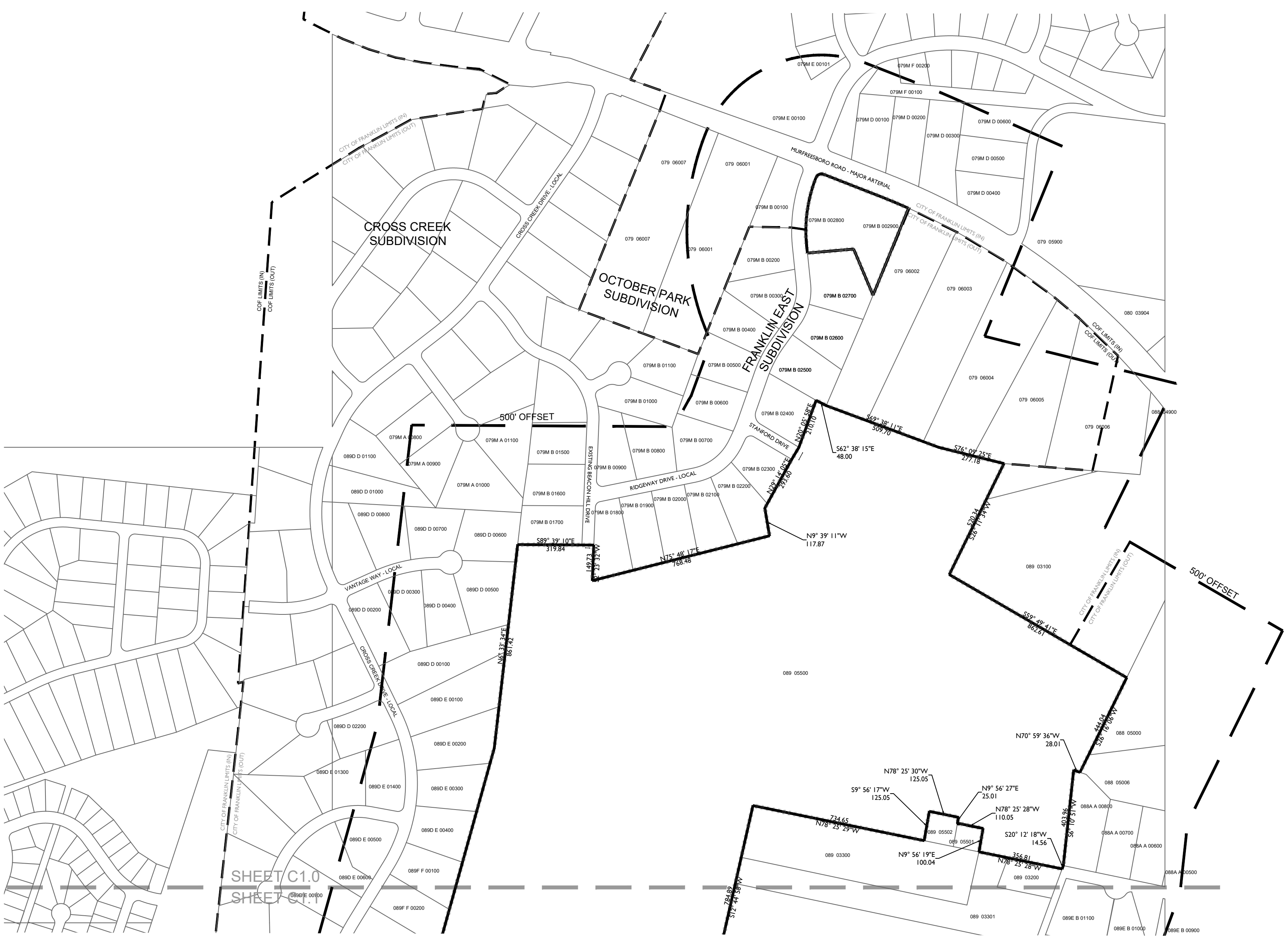
PRE-APPLICATION SUBMITTAL	SEPTEMBER 22, 2017
INITIAL SUBMITTAL	OCTOBER 9, 2017
RESUBMITTAL	NOVEMBER 2, 2017
RESUBMITTAL	
REVISION	



Revision	Date
△	_____
△	_____
△	_____
△	_____

500' NEIGHBORS LIST:

PARCEL ID	OWNER ADDRESS	OWNER	CITY	STATE	ZIP	ZONE	CHARACTER AREA	LAND-USE	DEV STANDARD
079-0550	MURFREESBORO RD	ADAMS JAMES E	Franklin	TN	37067	MGA-1	SW CO 3	Vacant	Conventional
079-0603	MURFREESBORO RD	FRENZEL G CHARLES	Franklin	TN	37067	MGA-1	SW CO 3	Vacant	Conventional
079-0604	4091 MURFREESBORO RD	FRENZEL GERALD CHARLES JR	Franklin	TN	37067	MGA-1	SW CO 3	Residential	Conventional
079-0605	4085 MURFREESBORO RD	GOOD WALTER EARLE SR	Franklin	TN	37067	MGA-1	SW CO 3	Residential	Conventional
079M-AD0900	159 HOLLOW CT	HAN BROOKS TRESA L	Franklin	TN	37067	NC	SW CO 3	Residential	Conventional
079M-AD1000	113 HOLLOW CT	KEENAN COLM	Franklin	TN	37067	NC	SW CO 3	Residential	Conventional
079M-AD1100	115 HOLLOW CT	LUNA JONES W	Franklin	TN	37067	NC	SW CO 3	Residential	Conventional
079M-B02000	1104 RIDGEWAY DR	PFEIFFER LEONARD M	Franklin	TN	37067	NC	SW CO 3	Residential	Conventional
079M-B02000	1108 RIDGEWAY DR	BRADSHAW ANTHONY	Franklin	TN	37067	NC	SW CO 3	Residential	Conventional
079M-B02000	1112 RIDGEWAY DR	FERGUSON MATTHEW ALLEN	Franklin	TN	37067	NC	SW CO 3	Residential	Conventional
079M-B02000	1114 RIDGEWAY DR	LAMBERT OLIVER J	Franklin	TN	37067	NC	SW CO 3	Residential	Conventional
079M-B02000	1208 RIDGEWAY DR	O'CONNELL PHILLIP	Franklin	TN	37067	NC	SW CO 3	Residential	Conventional
079M-B02000	1208 RIDGEWAY DR	RUEA KATHRYN L	Franklin	TN	37067	NC	SW CO 3	Residential	Conventional
079M-B02000	1210 RIDGEWAY DR	HANNIGAN PAUL D	Franklin	TN	37067	NC	SW CO 3	Residential	Conventional
079M-B01500	2001 BEACON HILL DR	WILLIS WADE A	Franklin	TN	37067	NC	SW CO 3	Residential	Conventional
079M-B01600	1996 BEACON HILL DR	PRUITT JAY R	Franklin	TN	37067	NC	SW CO 3	Residential	Conventional
079M-B01700	1991 BEACON HILL DR	CAPLEN ERIN GEORGE	Franklin	TN	37067	NC	SW CO 3	Residential	Conventional
079M-B01900	1211 RIDGEWAY DR	SLINGERLAND RUTH	Franklin	TN	37067	NC	SW CO 3	Residential	Conventional
079M-B01900	1209 RIDGEWAY DR	BRITTON THOMAS DAVID	Franklin	TN	37067	NC	SW CO 3	Residential	Conventional
079M-B02000	1207 RIDGEWAY DR	SHOEMAKE JULIUS S	Franklin	TN	37067	NC	SW CO 3	Residential	Conventional
079M-B02100	1205 RIDGEWAY DR	PACKARD DONALD A	Franklin	TN	37067	NC	SW CO 3	Residential	Conventional
079M-B02200	1203 RIDGEWAY DR	OWENS MICHAEL A	Franklin	TN	37067	NC	SW CO 3	Residential	Conventional
079M-B02300	1101 STANFORD DR	BURNS WILLIAM C JR	Franklin	TN	37067	NC	SW CO 3	Residential	Conventional
079M-B02400	1116 RIDGEWAY DR	MOEHLE MARK A	Franklin	TN	37067	NC	SW CO 3	Residential	Conventional
079M-B02500	1111 RIDGEWAY DR	VEACH WILLIAM DENNIS	Franklin	TN	37067	NC	SW CO 3	Residential	Conventional
079M-B02600	1109 RIDGEWAY DR	ANDERS CAROL L SCOTT	Franklin	TN	37067	NC	SW CO 3	Residential	Conventional
079M-B02700	1106 RIDGEWAY DR	GOERZEN LAURIE	Franklin	TN	37067	NC	SW CO 3	Residential	Conventional
088-04800	4115 MURFREESBORO RD	WRIGHT GLEN EFFERSON	Franklin	TN	37067	MGA-1	SW CO 2	Residential	Either
088-05000	1988 CEDARHURST DR	MEZELL TROY A	Franklin	TN	37178	MGA-1	SW CO 2	Residential	Either
088-05001	4115 MURFREESBORO RD	CHARNOY STANISLAVS EPISCOPAL	Thompson Station	TN	37213	MGA-1	SW CO 2	Residential	Either
088-05002	1972 CEDARHURST DR	MEZELL TROY A	Franklin	TN	37067	MGA-1	SW CO 2	Residential	Either
088-05006	1982 CEDARHURST DR	SLAUGHTER JAMES C	Franklin	TN	37067	MGA-1	SW CO 3	Residential	Conventional
088-05007	MURFREESBORO RD	CEMETERY HOLY CROSS MARSHALL	Franklin	TN	37067	MGA-1	SW CO 3	Civic	Conventional
088-05008	MURFREESBORO RD	CEMETERY MARSHALL	Franklin	TN	37067	MGA-1	SW CO 3	Civic	Conventional
088A-A00500	4208 WARREN RD	POMEROY DAVE GLENN JR	Franklin	TN	37067	MGA-1	SW CO 3	Residential	Conventional
088A-A00600	4211 WARREN RD	DOGNUM BASIL OLUWAJIDE	Franklin	TN	37067	MGA-1	SW CO 3	Residential	Conventional
088A-A00700	4215 WARREN RD	PORTER JERRI L	Franklin	TN	37067	MGA-1	SW CO 3	Residential	Conventional
088A-A00800	4215 WARREN RD	ROBERTS HAL M	Franklin	TN	37067	MGA-1	SW CO 3	Residential	Conventional
089-03000	4340 S CAROTHERS RD	GLASS JEAN MARIE GILES	Franklin	TN	37067	R-1 (COF)	MECO-6	Agriculture	Conventional
089-03001	4336 S CAROTHERS RD	GLASS HARRY GREGORY	Franklin	TN	37067	R-1 (COF)	MECO-6	Residential	Conventional
089-03100	4115 MURFREESBORO RD	MEZELL TROY A	Thompson Station	TN	37179	MGA-1	SW CO 3	Residential	Conventional
089-03200	4217 WARREN RD	HICKERSON LOU WILLIE	Franklin	TN	37067	MGA-1	SW CO 3	Residential	Conventional
089-03300	4221 WARREN RD	HICKERSON ROBERT JR	Franklin	TN	37064	MGA-1	SW CO 3	Residential	Conventional
089-03301	4223 WARREN RD	HICKERSON LOU WILLIE	Franklin	TN	37067	MGA-1	SW CO 3	Vacant	Conventional
089-03500	4288 WARREN RD	KING WILLIAM ROBERT	Franklin	TN	37067	MGA-1	SW CO 3	Residential	Conventional
089-03501	4240 WARREN RD	HUPHREY ROALD	Franklin	TN	37067	MGA-1	SW CO 3	Residential	Conventional
089-03502	4244 WARREN RD	OFMAN LEE	Franklin	TN	37067	MGA-1	SW CO 3	Residential	Conventional
089-03503	4248 WARREN RD	LASTER KELLY D	Franklin	TN	37067	MGA-1	SW CO 3	Residential	Conventional
089-03504	4252 WARREN RD	SKAGGS FRANK P IV	Franklin	TN	37067	MGA-1	SW CO 3	Residential	Conventional
089-03505	4256 WARREN RD	KANDEL MARY E REVOCABLE TRUST	Franklin	TN	37067	MGA-1	SW CO 3	Residential	Conventional
089-03506	4260 WARREN RD	DESARTE DEBEK T	Franklin	TN	37067	MGA-1	SW CO 3	Residential	Conventional
089-03507	4264 WARREN RD	HOOD JONATHAN S	Franklin	TN	37067	MGA-1	SW CO 3	Residential	Conventional
089-03508	4268 WARREN RD	MOGRATH ROBERT PAUL	Franklin	TN	37067	MGA-1	SW CO 3	Residential	Conventional
089-03509	4272 WARREN RD	GREGUS JOSEPH A	Franklin	TN	37067	MGA-1	SW CO 3	Residential	Conventional
089-03600	4276 WARREN RD	HOOD JAMES ROBERT	Franklin	TN	37067	MGA-1	SW CO 3	Residential	Conventional
089-03602	4281 WARREN RD	PEREZ ANDRES	Franklin	TN	37067	MGA-1	SW CO 3	Residential	Conventional
089-03607	4287 WARREN RD	HOOD JAMES ROBERT JR	Franklin	TN	37067	MGA-1	SW CO 3	Residential	Conventional
089-03608	4283 WARREN RD	MOORE JERRY ADDISON JR	Franklin	TN	37067	MGA-1	SW CO 3	Residential	Conventional
089-03700	4409 S CAROTHERS RD	SMITHS RIDGE JOINT VENTURE	Franklin	TN	37067	R-2 (COF)	MECO-6	Agriculture	Conventional
089-03800	4376 S CAROTHERS RD	SMITH STERLING C	Franklin	TN	37067	MGA-1	SW CO 3	Open Space	Conventional
089-03801	S CAROTHERS RD	SMITH STERLING C	Franklin	TN	37064	MGA-1	SW CO 3	Vacant	Conventional
089-03900	4372 S CAROTHERS RD	REDEL BERNHARD	Franklin	TN	37064	MGA-1	SW CO 3	Residential	Conventional
089-04000	4348 S CAROTHERS RD	HEITHOOK JAMES S G	Franklin	TN	37064	MGA-1	SW CO 3	Mixed Use	Conventional
089-04200	4352 S CAROTHERS RD	ANDERSON W LMA JUNE TRUST	Franklin	TN	37064	MGA-1	SW CO 3	Residential	Conventional
089-04301	S CAROTHERS RD	LOKWOOD DEXTER	Franklin	TN	37067	R-2 (COF)	MECO-6	Agriculture	Conventional
089-04302	4348 S CAROTHERS RD	PEPEN RALPH H JR	Franklin	TN	37064	MGA-1	SW CO 3	Residential	Conventional
089-04303	4348 S CAROTHERS RD	WATKINS PATTI SUE	Franklin	TN	37064	MGA-1	SW CO 3	Residential	Conventional
089-04304	4350 S CAROTHERS RD	DURNIN GEORGE V	Franklin	TN	37064	MGA-1	SW CO 3	Agriculture	Conventional
089-04400	4341 S CAROTHERS RD	RUSSELL ROBERT	Franklin	TN	37067	ER	MECO-6	Agriculture	Conventional
089-05501	WARREN RD	MILCROFTON UTILITY DIST	Franklin	TN	37064	MGA-1	SW CO 3	Utilities	Conventional



LEGAL DESCRIPTION FOR PARCELS 079M-B02800 AND 079M-B02900

LAND LYING IN THE FOURTEENTH CIVIL DISTRICT OF WILLIAMSON COUNTY, BEING LOTS 127 AND 128 ON THE FINAL PLAT FOR SECTION 1 OF FRANKLIN EAST, OF RECORD IN PLAT BOOK 6, PAGE 91, REGISTER'S OFFICE OF WILLIAMSON COUNTY, TENNESSEE, AND CONTAINING 2.7 ACRES MORE OR LESS.

LEGAL DESCRIPTION FOR PARCELS 089-04303, 089-04304, & 089-05500

THE FOLLOWING LEGAL DESCRIPTION IS FOR LAND IN THE FOURTEENTH CIVIL DISTRICT OF WILLIAMSON COUNTY, LOCATED ON THE LANDS OF JAMES E. ADAMS, JR., OF RECORD IN DEED BOOK 2008, PAGE 702, R.O.W.C., TN, PATTI SUE WATKINS, OF RECORD IN DEED BOOK 6074, PAGE 249, R.O.W.C., TN, AND GEORGE V. DURNN, OF RECORD IN DEED BOOK 1601, PAGE 1006, R.O.W.C., TN, AND MORE PARTICULARLY DESCRIBED IN AS FOLLOWS:

BEGINNING AT A POINT IN THE NORTH MARGIN OF SOUTH CAROTHERS ROAD, APPROXIMATELY 1650 FEET SOUTH-EAST OF THE INTERSECTION OF FALCON CREEK DRIVE AND SAID SOUTH CAROTHERS ROAD;

THENCE LEAVING THE NORTH MARGIN OF SAID SOUTH CAROTHERS ROAD, NORTH 44 DEGREES 04 MINUTES 29 SECONDS EAST, A DISTANCE OF 621.82 FEET TO A POINT;

THENCE NORTH 08 DEGREES 24 MINUTES 25 SECONDS EAST, A DISTANCE OF 222.13 FEET TO A POINT;

THENCE SOUTH 82 DEGREES 57 MINUTES 01 SECONDS EAST, A DISTANCE OF 297.62 FEET TO A POINT;

THENCE SOUTH 81 DEGREES 57 MINUTES 51 SECONDS EAST, A DISTANCE OF 10.49 FEET TO A POINT;

THENCE NORTH 15 DEGREES 32 MINUTES 59 SECONDS EAST, A DISTANCE OF 2,025.58 FEET TO A POINT;

THENCE NORTH 06 DEGREES 33 MINUTES 34 SECONDS EAST, A DISTANCE OF 861.42 FEET TO A POINT;

THENCE SOUTH 89 DEGREES 39 MINUTES 04 SECONDS EAST, A DISTANCE OF 319.84 FEET TO A POINT;

THENCE SOUTH 02 DEGREES 33 MINUTES 32 SECONDS WEST, A DISTANCE OF 149.73 FEET TO A POINT;

THENCE NORTH 75 DEGREES 48 MINUTES 17 SECONDS EAST, A DISTANCE OF 768.48 FEET TO A POINT;

THENCE NORTH 09 DEGREES 39 MINUTES 11 SECONDS WEST, A DISTANCE OF 117.87 FEET TO A POINT;

THENCE NORTH 29 DEGREES 14 MINUTES 05 SECONDS EAST, A DISTANCE OF 293.60 FEET TO A POINT;

THENCE NORTH 20 DEGREES 05 MINUTES 58 SECONDS EAST, A DISTANCE OF 210.10 FEET TO A POINT;

THENCE SOUTH 62 DEGREES 38 MINUTES 15 SECONDS EAST, A DISTANCE OF 48.00 FEET TO A POINT;

THENCE SOUTH 69 DEGREES 38 MINUTES 15 SECONDS EAST, A DISTANCE OF 509.70 FEET TO A POINT;

THENCE SOUTH 76 DEGREES 09 MINUTES 25 SECONDS EAST, A DISTANCE OF 277.18 FEET TO A POINT;

THENCE SOUTH 26 DEGREES 11 MINUTES 34 SECONDS WEST, A DISTANCE OF 520.34 FEET TO A POINT;

THENCE SOUTH 59 DEGREES 49 MINUTES 41 SECONDS EAST, A DISTANCE OF 862.61 FEET TO A POINT;

THENCE SOUTH 26 DEGREES 16 MINUTES 06 SECONDS WEST, A DISTANCE OF 444.04 FEET TO A POINT;

THENCE NORTH 70 DEGREES 59 MINUTES 36 SECONDS WEST, A DISTANCE OF 28.01 FEET TO A POINT;

THENCE SOUTH 06 DEGREES 10 MINUTES 51 SECONDS WEST, A DISTANCE OF 403.96 FEET TO A POINT;

THENCE SOUTH 20 DEGREES 12 MINUTES 18 SECONDS WEST, A DISTANCE OF 14.56 FEET TO A POINT;

THENCE NORTH 78 DEGREES 25 MINUTES 28 SECONDS WEST, A DISTANCE OF 356.81 FEET TO A POINT;

THENCE NORTH 09 DEGREES 56 MINUTES 19 SECONDS EAST, A DISTANCE OF 100.04 FEET TO A POINT;

THENCE NORTH 78 DEGREES 25 MINUTES 28 SECONDS WEST, A DISTANCE OF 110.05 FEET TO A POINT;

THENCE NORTH 09 DEGREES 56 MINUTES 27 SECONDS EAST, A DISTANCE OF 25.01 FEET TO A POINT;

THENCE NORTH 78 DEGREES 25 MINUTES 30 SECONDS WEST, A DISTANCE OF 125.05 FEET TO A POINT;

THENCE SOUTH 09 DEGREES 54 MINUTES 17 SECONDS WEST, A DISTANCE OF 125.05 FEET TO A POINT;

THENCE NORTH 78 DEGREES 25 MINUTES 29 SECONDS WEST, A DISTANCE OF 734.65 FEET TO A POINT;

THENCE SOUTH 12 DEGREES 44 MINUTES 58 SECONDS WEST, A DISTANCE OF 784.89 FEET TO A POINT;

THENCE SOUTH 79 DEGREES 24 MINUTES 14 SECONDS EAST, A DISTANCE OF 1,031.05 FEET TO A POINT;

THENCE NORTH 62 DEGREES 28 MINUTES 37 SECONDS EAST, A DISTANCE OF 119.56 FEET TO A POINT;

THENCE SOUTH 00 DEGREES 37 MINUTES 45 SECONDS WEST, A DISTANCE OF 1,031.05 FEET TO A POINT;

THENCE SOUTH 76 DEGREES 31 MINUTES 22 SECONDS EAST, A DISTANCE OF 81.00 FEET TO A POINT;

THENCE SOUTH 09 DEGREES 52 MINUTES 41 SECONDS WEST, A DISTANCE OF 206.49 FEET TO A POINT;

THENCE SOUTH 57 DEGREES 04 MINUTES 46 SECONDS WEST, A DISTANCE OF 151.05 FEET TO A POINT;

THENCE SOUTH 49 DEGREES 16 MINUTES 17 SECONDS WEST, A DISTANCE OF 170.39 FEET TO A POINT;

THENCE SOUTH 41 DEGREES 39 MINUTES 12 SECONDS WEST, A DISTANCE OF 123.05 FEET TO A POINT;

THENCE NORTH 83 DEGREES 17 MINUTES 12 SECONDS WEST, A DISTANCE OF 441.91 FEET TO A POINT;

THENCE NORTH 75 DEGREES 19 MINUTES 30 SECONDS WEST, A DISTANCE OF 540.96 FEET TO A POINT;

THENCE SOUTH 15 DEGREES 23 MINUTES 08 SECONDS WEST, A DISTANCE OF 951.14 FEET TO A POINT;

THENCE NORTH 82 DEGREES 39 MINUTES 38 SECONDS WEST, A DISTANCE OF 60.79 FEET TO A POINT;

THENCE SOUTH 28 DEGREES 07 MINUTES 56 SECONDS WEST, A DISTANCE OF 646.53 FEET TO A POINT;

THENCE NORTH 75 DEGREES 15 MINUTES 25 SECONDS WEST, A DISTANCE OF 215.00 FEET TO A POINT;

THENCE NORTH 05 DEGREES 42 MINUTES 26 SECONDS EAST, A DISTANCE OF 1,148.85 FEET TO A POINT;

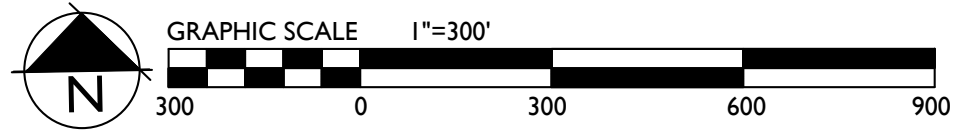
THENCE NORTH 83 DEGREES 34 MINUTES 21 SECONDS WEST, A DISTANCE OF 1,067.76 FEET TO A POINT, SAID POINT BEING IN THE NORTH MARGIN OF SAID SOUTH CAROTHERS ROAD;

THENCE WITH THE NORTH MARGIN OF SAID SOUTH CAROTHERS ROAD, NORTH 71 DEGREES 12 MINUTES 54 SECONDS WEST, A DISTANCE OF 37.65 FEET TO A POINT;

THENCE NORTH 73 DEGREES 31 MINUTES 47 SECONDS WEST, A DISTANCE OF 77.67 FEET TO THE POINT OF BEGINNING, AND CONTAINING 8,552,236.49 SQUARE FEET OR 196.33 ACRES MORE OR LESS.

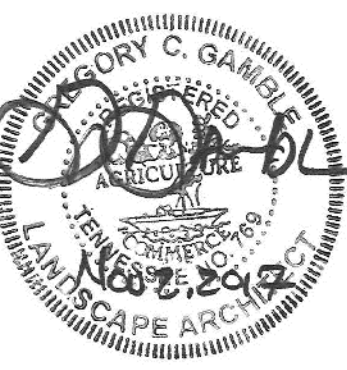


089-05502	MURFREESBORO RD	MILCROFTON UTILITY DIST	Franklin	TN	37064	MGA-1	SWDC-3	Utilities	Commutational
089D-000100	1145 CROSS CREEK DR	CRANSTON WALTER KEITH	Franklin	TN	37067	NC	SWDC-3	Residential	Commutational
089D-000200	213 VANTAGE WAY	CHRISTOFFERSEN B MICHON	Franklin	TN	37067	NC	SWDC-3	Residential	Commutational
089D-000300	209 VANTAGE WAY	MURPHY JOHN L	Franklin	TN	37067	NC	SWDC-3	Residential	Commutational
089D-000400	235 VANTAGE WAY	WELCH MICHAEL P	Franklin	TN	37067	NC	SWDC-3	Residential	Commutational
089D-000500	201 VANTAGE WAY	RAMOS TIFFANY A	Franklin	TN	37067	NC	SWDC-3	Residential	Commutational
089D-000600	200 VANTAGE WAY	JORDAN MARGARET	Franklin	TN	37067	NC	SWDC-3	Residential	Commutational
089D-000700	204 VANTAGE WAY	JOHNSON VAL	Franklin	TN	37067	NC	SWDC-3	Residential	Commutational
089D-000800	208 VANTAGE WAY	BRASLEY EVERETT L JR	Franklin	TN	37067	NC	SWDC-3	Residential	Commutational
089D-001000	1137 CROSS CREEK DR	HASSLER MICHAEL C	Franklin	TN	37067	NC	SWDC-3	Residential	Commutational
089D-001100	1133 CROSS CREEK DR	OKERSON C ALBERT	Franklin	TN	37067	NC	SWDC-3	Residential	Commutational
089D-002200	301 RIDGETOP CT	LINDLEY MATTHEW	Franklin	TN	37067	NC	SWDC-3	Residential	Commutational
089D-003100	1153 CROSS CREEK DR	BRASLEY MIKE T	Franklin	TN	37067	NC	SWDC-3	Residential	Commutational
089D-003200	1157 CROSS CREEK DR	GLEASON ALAN R	Franklin	TN	37067	NC	SWDC-3	Residential	Commutational
089D-003300	1159 CROSS CREEK DR	YOUNG CLAYTON S	Franklin	TN	37067	NC	SWDC-3	Residential	Commutational
089D-004000	1163 CROSS CREEK DR	MINCHEW ALAN B	Franklin	TN	37067	NC	SWDC-3	Residential	Commutational
089D-005000	1162 CROSS CREEK DR	BRUITT MATTHEW A	Franklin	TN	37067	NC	SWDC-3	Residential	Commutational
089D-006000	459 CROSS CREEK CT	CASE STEVEN H	Franklin	TN	37067	NC	SWDC-3	Residential	Commutational
089D-007000	459 CROSS CREEK CT	EVANS MICHAEL D	Franklin	TN	37067	NC	SWDC-3	Residential	Commutational
089D-008000	1174 CROSS CREEK DR	WOOD CHARLES A JR	Franklin	TN	37067	NC	SWDC-3	Residential	Commutational
089E-001300	434 CROSS CREEK CT	JOHNSON DAVID E	Franklin	TN	37067	NC	SWDC-3	Residential	Commutational
089E-001400	400 CROSS CREEK CT	DONAYNE JOHN JR	Franklin	TN	37067	NC	SWDC-3	Residential	Commutational
089E-A-00100	4229 WARREN RD	HEENON HEATHER	Franklin	TN	37067	MGA-1	SWDC-3	Residential	Commutational
089E-A-00200	4233 WARREN RD	REINFRED DANA	Franklin	TN	37067	MGA-1	SWDC-3	Residential	Commutational
089E-A-00300	4237 WARREN RD	SILMORE JOE W	Franklin	TN	37068	MGA-1	SWDC-3	Residential	Commutational
089E-A-00400	4241 WARREN RD	EBB DANIEL KEAT	Franklin	TN	37067	MGA-1	SWDC-3	Residential	Commutational
089E-A-00500	4245 WARREN RD	KUEKER MICHAEL	Franklin	TN	37067	MGA-1	SWDC-3	Residential	Commutational
089E-A-00600	4249 WARREN RD	ALINSON JOHN E	Franklin	TN	37067	MGA-1	SWDC-3	Residential	Commutational
089E-A-00700	4253 WARREN RD	THOMPSON TIMOTHY W	Franklin	TN	37067	MGA-1	SWDC-3	Residential	Commutational
089E-A-00800	4257 WARREN RD	ROMEO CLAUDIO	Franklin	TN	37067	MGA-1	SWDC-3	Residential	Commutational
089E-A-00900	WARREN RD	VALLEY VIEW DEV INC	Franklin	TN	37064	MGA-1	SWDC-3	Vacant	Commutational
089E-A-01000	4259 WARREN RD	COGHLIN PATRICK W	Franklin	TN	37067	MGA-1	SWDC-3	Residential	Commutational
089E-B-00100	4263 WARREN RD	FRANKS NORMAN K	Franklin	TN	37067	MGA-1	SWDC-3	Residential	Commutational
089E-B-00200	4210 WARREN CT	EDGE SAMUEL S	Franklin	TN	37067	MGA-1	SWDC-3	Residential	Commutational
089E-B-00300	4206 WARREN CT	BROWN ROGER LEE	Franklin	TN	37067	MGA-1	SWDC-3	Residential	Commutational
089E-B-00400	4202 WARREN CT	REEVES TOMMY L	Franklin	TN	37067	MGA-1	SWDC-3	Residential	Commutational
089E-B-00500	4200 WARREN RD	CARLAND ROBERT MORGAN	Franklin	TN	37067	MGA-1	SWDC-3	Residential	Commutational
089E-B-01000	4218 WARREN RD	CAMERON JAMES	Franklin	TN	37067	MGA-1	SWDC-3	Residential	Commutational
089E-B-01100	4216 WARREN RD	NEWMAN ANDREW J	Franklin	TN	37067	MGA-1	SWDC-3	Residential	Commutational
089F-F00100	1176 CROSS CREEK DR	SYBERT JAMES G	Franklin	TN	37067	NC	SWDC-3	Residential	Commutational
089F-F00200	1178 CROSS CREEK DR	MONTGATH DAVID B	Franklin	TN	37067	NC	SWDC-3	Residential	Commutational
089F-F00300	1182 CROSS CREEK DR	HELTON MICHAEL GLENN	Franklin	TN	37067	NC	SWDC-3	Residential	Commutational
089F-F00400	504 BILTMORE CT	DEBOLT SHARON L	Franklin	TN	37067	NC	SWDC-3	Residential	Commutational
089F-F00500	505 BILTMORE CT	HORECKA DANIEL P	Franklin	TN	37067	NC	SWDC-3	Residential	Commutational
089F-F00600	501 BILTMORE CT	JOSLIN RE BECCA P	Franklin	TN	37064	NC	SWDC-3	Residential	Commutational
089F-F00700	1189 CROSS CREEK DR	JAMISON ZACHARY	Franklin	TN	37067	NC	SWDC-3	Residential	Commutational
089F-F00800	1191 CROSS CREEK DR	SYLVIS LAWRENCE G	Franklin	TN	37067	NC	SWDC-3	Residential	Commutational
089F-F00900	1187 CROSS CREEK DR	BYRNE DANIEL W	Franklin	TN	37067	NC	SWDC-3	Residential	Commutational
089F-F01000	1183 CROSS CREEK DR	BARNS PHILIP H JR	Franklin	TN	37067	NC	SWDC-3	Residential	Commutational
089F-F01100	1181 CROSS CREEK DR	WARDEN MARK ALAN	Franklin	TN	37067	NC	SWDC-3	Residential	Commutational
089F-F01200	1177 CROSS CREEK DR	BORUM MARTIN	Franklin	TN	37067	NC	SWDC-3	Residential	Commutational
089F-F01300	1175 CROSS CREEK DR	HODGE S D BROOKS III	Franklin	TN	37067	NC	SWDC-3	Residential	Commutational
089F-F01400	1173 CROSS CREEK DR	COOTS EDWARD B	Franklin	TN	37067	NC	SWDC-3	Residential	Commutational
089F-F01500	1169 CROSS CREEK DR	LANSBROKE CAROL S TR	Franklin	TN	37067	NC	SWDC-3	Residential	Commutational
089F-F01600	1167 CROSS CREEK DR	CALDWELL MAX T	Franklin	TN	37067	NC	SWDC-3	Residential	Commutational
089F-F01700	1165 CROSS CREEK DR	WILKETT TROY A	Franklin	TN	37067	NC	SWDC-3	Residential	Commutational
079-08002	MURFREESBORO RD	KRANTZ ANNE J FREEMAN	Franklin	TN	37067	MGA-1	SWDC-3	Vacant	Commutational
079-08100	4358 S CAROTHERS RD	ROSS BILLY T JR	Franklin	TN	37064	MGA-1	SWDC-3	Est. Residential	Commutational
079M-B-00400	1110 RIDGEWAY DR	BUTLER GINA L	Franklin	TN	37067	NC	SWDC-3	Residential	Commutational
079-03400	4225 WARREN RD	GAROTHERS DANIEL T JR	Franklin	TN	37067	MGA-1	SWDC-3	Est. Residential	Commutational
079M-B-00100	1100 RIDGEWAY DR	DEBAR LAND CO LLC	Franklin	TN	37067	SD-R	SWDC-3	Residential	Commutational
079-08001	MURFREESBORO RD	DEBAR LAND CO LLC	Franklin	TN	37067	SD-R	SWDC-3	Residential	Commutational
079-08007	MURFREESBORO RD	DEBAR LAND CO LLC	Franklin	TN	37067	SD-R	SWDC-3	Residential	Commutational
079-05900	4100 MURFREESBORO RD	FOUNTAINS OF FRANKLIN LLC	Franklin	TN	37064	SD-X	SWDC-3	Multi-Family	Commutational
079M-D-00100	4088 MURFREESBORO RD	BETTS CHRISTOPHER E	Franklin	TN	37067	R-1 (COF)	SWDC-3	Residential	Either
079M-D-00200	4072 MURFREESBORO RD	SAJJAR MARY ELLEN	Franklin	TN	37067	R-1 (COF)	SWDC-3	Residential	Either
079M-D-00300	4076 MURFREESBORO RD	BOZEMAN H ANDREW	Franklin	TN	37067	R-1 (COF)	SWDC-3	Residential	Either
079M-D-00400	107 CHESTER STEPHENS CT	CAVDNER DAVID O	Franklin	TN	37067	R-1 (COF)	SWDC-3	Residential	Either
079M-D-00500	111 CHESTER STEPHENS CT	MCGUIRE W GARY AND JANE M REV TRUST	Franklin	TN	37067	R-1 (COF)	SWDC-3	Residential	Either
079M-D-00600	115 CHESTER STEPHENS CT	TAYLOR ROBERT P AND JAN J TAYLOR REV	Franklin	TN	37067	R-1 (COF)	SWDC-3	Residential	Either
079M-E-00101	209 SPRINGHOUSE CIR	AWAD GEORGE	Franklin	TN	37067	R-1 (COF)	SWDC-3	Residential	Either
079M-E-00105	CHESTER STEPHENS RD	CALDWELL EST HOMEOWNERS ASSOC INC	Nashville	TN	37022	R-1 (COF)	SWDC-3	Open Space	Either
079M-E-00200	102 CHESTER STEPHENS RD	BERRY THOMAS	Franklin	TN	37067	R-1 (COF)	SWDC-2	Residential	Either
079M-F-00100	CHESTER STEPHENS RD	CALDWELL EST HOMEOWNERS ASSOC INC	Nashville	TN	37067	R-1 (COF)	SWDC-2	Open Space	Either
079M-B-02800	1101 RIDGEWAY DR	ADAMS R GLENN	Franklin	TN	37067	R-1 (COF)	SWDC-2	Open Space	Either
079M-B-02900	MURFREESBORO RD	ADAMS ROB G	Franklin	TN	37067	R-1 (COF)	SWDC-2	Open Space	Either



NOTES:
 1. PARCEL LINES PROVIDED BY CITY OF FRANKLIN G.I.S.
 2. SITE BOUNDARY PROVIDED BY LAND SOLUTIONS COMPANY

**COLLETTA PARK PUD SUBDIVISION
 DEVELOPMENT PLAN**
 Franklin, Williamson County, Tennessee



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Revision	Date
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NOTES:

1. THERE ARE NO FLOODPLAINS EXISTING ON THE SITE BASED ON FEMA MAP 47187C0220F & 47187C0214F.
2. AERIAL PHOTO, PARCEL LINES AND TOPOGRAPHIC INFORMATION PROVIDED BY CITY OF FRANKLIN G.I.S.
3. SITE BOUNDARY CALLS PROVIDED BY LAND SOLUTIONS COMPANY.
4. NO THIRD PARTY MINERAL RIGHTS ARE ASSOCIATED WITH THIS PROPERTY.

EXISTING TREE CANOPY

BASED ON AERIAL PHOTOGRAPHS OF THE PROPERTY THE EXISTING TREE CANOPY IS APPROXIMATELY 138 ACRES WHICH IS 69.4% OF THE TOTAL SITE

TREE CANOPY DATA

TREE AREA	EXISTING
TREE A	20,501 SF
TREE B	184,595 SF
TREE C	5,661,025 SF
TREE D	152,235 SF
TOTAL SF	6,018,356 SF

EXISTING TREE CANOPY: 6,018,356 SF
6,018,356 SF / 8,670,225 SF = .694 (69.4%) OF TOTAL SITE

REQUIRED CANOPY PRESERVATION =
36% OF TOTAL CANOPY
6,018,356 SF * 36% = 2,166,608 SF

LEGEND

- SLOPES 14%-20%
- SLOPES >20%
- EXISTING TREE CANOPY
- STREAM BUFFER

Map Unit Symbol	Map Unit Name
ArB	Armour silt loam, 2 to 5 percent slopes
ArB2	Armour silt loam, 2 to 5 percent slopes, eroded
ArC	Armour silt loam, 5 to 12 percent slopes
ArC2	Armour silt loam, 5 to 12 percent slopes, eroded
BrB2	Braxton cherty silt loam, 2 to 5 percent slopes, eroded
BrC2	Braxton cherty silt loam, 5 to 12 percent slopes, eroded
BrC3	Braxton cherty silty clay loam, 5 to 12 percent slopes, severely eroded
BeD3	Braxton cherty silty clay loam, 12 to 20 percent slopes, severely eroded
CkC	Culleoka silt loam, 5 to 12 percent slopes
CkD	Culleoka silt loam, 12 to 20 percent slopes
CkD3	Culleoka silt loam, 12 to 20 percent slopes, severely eroded
CkE	Culleoka silt loam, 20 to 35 percent slopes
CkE3	Culleoka silt loam, 20 to 35 percent slopes, severely eroded
Eq	Egam silt loam, phosphatic
Gu	Gullied land
HcC3	Hampshire silty clay loam, 5 to 12 percent slopes, severely eroded
HeB2	Hampshire-colbert silt loams, 2 to 5 percent slopes, eroded
HeC2	Hampshire-colbert silt loams, 5 to 12 percent slopes, eroded
HhC3	Hampshire-colbert silty clay loams, 5 to 12 percent slopes, severely eroded
Hu	Huntington silt loam, phosphatic
InD3	Inman silty clay loam, 12 to 20 percent slopes, severely eroded
Lp	Lindell silt loam, 0 to 2 percent slopes, occasionally flooded
MbC2	Maury silt loam, 5 to 12 percent slopes, eroded
MnE	Mimosa-Rock outcrop complex, 20 to 40 percent slopes
MoD	Ashwood-Mimosa-Rock outcrop complex, 5 to 15 percent slopes
Rc	Rockland
SrC3	Stiversville clay loam, 5 to 12 percent slopes, severely eroded
SrD3	Stiversville clay loam, 12 to 20 percent slopes, severely eroded
StB2	Stiversville silt loam, 2 to 5 percent slopes, eroded
StC2	Stiversville silt loam, 5 to 12 percent slopes, eroded
StD2	Stiversville silt loam, 12 to 20 percent slopes, eroded
TvD	Talbott very rocky soils, 2 to 15 percent slopes

EXISTING STORMWATER MANAGEMENT SUMMARY

TOTAL PROPERTY AREA = 199 ACRES
TOTAL PROPOSED DISTURBED AREA = 143.51 ACRES

SOIL TYPES: 54.6% TYPE A SOIL
25.8% TYPE B SOIL
17.2% TYPE C SOIL
0.0% TYPE D SOIL
2.4% NON-SOIL AREAS

STORMWATER NARRATIVES

BASIN A:
STORMWATER IS CURRENTLY ROUTED BY WAY OF WET WEATHER CONVEYANCES TO THE NORTHEAST CORNER OF THE SITE, WHERE IT FLOWS INTO A BLUE-LINE STREAM OFFSITE.
BASIN AREA: 53.2 AC.
OUTFALL ELEVATION: 737'

BASIN B:
STORMWATER IS CURRENTLY COLLECTED IN A POND ON THE WEST SIDE OF THE SITE WHERE IT IS CARRIED OFF SITE BY A BLUE-LINE STREAM.
BASIN AREA: 32.7 AC.
OUTFALL ELEVATION: 740'

BASIN C:
STORMWATER IS CURRENTLY ROUTED BY WAY OF A BLUE-LINE STREAM TO THE FAR WEST PROPERTY LINE. THIS BASIN IS AN EXTENSION OF THE PREVIOUS, BASIN B.
BASIN AREA: 80.9 AC.
OUTFALL ELEVATION: 694'

BASIN D:
STORMWATER IS CURRENTLY ROUTED BY WAY OF WET WEATHER CONVEYANCES TO THE SOUTH OF THE SITE ALONG S CAROTHERS ROAD, WHERE IT EVENTUALLY FLOWS INTO THE SAME STREAM AS THE FOLLOWING, BASIN E.
BASIN AREA: 15.2 AC.
OUTFALL ELEVATION: 726'

BASIN E:
STORMWATER IS CURRENTLY ROUTED BY WAY OF WET WEATHER CONVEYANCES TO THE SOUTH SIDE OF THE SITE AND EVENTUALLY FLOWS INTO THE SAME STREAM AS THE PREVIOUS, BASIN D. A BLUE-LINE STREAM COMES ONTO THIS BASIN FROM THE NORTHEAST BUT ENDS IN AN EXISTING SINKHOLE AND DRY POND, WHICH LIES TO THE NORTHEAST OF WHERE LOTS ARE TO BE DEVELOPED.
BASIN AREA: 167.0 AC.
OUTFALL ELEVATION: 673'



SHEET C1.2
SHEET C1.3



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**REQUESTED MODIFICATIONS OF STANDARDS
 COLLETTA PARK PUD SUBDIVISION**

MOS 1
 #1. Modification of Standards Request for Zoning Ordinance Section 3.5.10(2)(d)(iii) SWCO-3 Standards

The applicant requests a Modification of Standards as it relates to the following item for the Seward Hall, Special Area 3: "new development shall be restricted to detached residential dwellings on lots with a minimum lot area of one to five acres." While this design criteria is appropriate for a portion of the proposed Colletta Park, it would not allow the development to appropriately transition to the high density development of the Carothers Parkway corridor. Approval of this MOS would allow the develop pattern in the proposed Colletta Park to transition between the two divergent, existing development patterns.

MOS 2
 #2. Modification of Standards Request for Cul-de-sac length.
 The applicant requests a Modification of Standards to permit a cul-de-sac longer than 500 feet and containing more than 20 lots in two locations. The first location is to the north with the roadway that ends at an emergency connection to Stanford Drive, and the second is located at the southern drive where future connection is planned to Carothers Road and to Simmons Ridge. Lots on the southern drive would require fire sprinklers if a second point of access is not made available prior to platting of the lots.

DESIGN MODIFICATION - CONNECTIVITY INDEX
 Due to Williamson County's limitations on connectivity to Beacon Hill and Stanford Drive, existing development without access on the western boundary, and topographic constraints along Warren Road, the client requests a design modification for connectivity.

MODIFICATION OF STREET STANDARD
 Applicant requests a right of way width of 50 feet. The new street standards require a 52' ROW. The street standards were updated during Colletta Park's design process. The difference between the two standards is a 5' tree planting zone in the 50' ROW and a 6' tree planting zone in the 52' ROW.

SPECIAL CONDITION
 Colletta Park's northern connection to Stanford Drive is limited to emergency connection only. Colletta Park has a full access off of Carothers Road, and will participate in improving Carothers Road to a three-lane collector. Due to the limited roadway connections, the development will be restricted to a maximum of 138 platting lots prior to the development plan or preliminary plat approval of a second access to Carothers Road.

OPEN SPACE REQUIREMENT CHART:

MINIMUM OPEN SPACE REQUIREMENT: 15%
SITE AREA: 199 AC
OPEN SPACE ACREAGE REQUIRED: 29.85 AC
FORMAL OPEN SPACE REQUIRED: 34% (10.15 AC)
INFORMAL OPEN SPACE REQUIRED: 66% (19.70 AC)

OPEN SPACE PROVIDED:

KEY	CLASSIFICATION	TYPE	AREA OF OPEN SPACE
1001	FORMAL	PARK	117,867 SF (2.71 AC)
1002	INFORMAL	GREEN BELT	101,543 SF (2.33 AC)
1003	INFORMAL	GREEN BELT	78,859 SF (1.81 AC)
2001	INFORMAL	GREEN BELT	103,000 SF (2.38 AC)
2002	FORMAL	PARK	73,968 SF (1.70 AC)
2003	INFORMAL	GREEN BELT	337,171 SF (7.74 AC)
3001	INFORMAL	PARK	264,097 SF (6.06 AC)
3002	FORMAL	PARK	29,014 SF (0.67 AC)
3003	FORMAL	PARK	55,300 SF (1.27 AC)
3004	INFORMAL	GREEN BELT	1,421,137 SF (32.62 AC)
4001	INFORMAL	GREEN BELT	2,718 SF (0.06 AC)
4002	INFORMAL	GREEN BELT	2,700 SF (0.06 AC)
5001	INFORMAL	GREEN BELT	41,619 SF (0.96 AC)
5002	FORMAL	PARK	19,189 SF (0.44 AC)
6001	INFORMAL	GREEN BELT	7,669 SF (0.18 AC)
6002	FORMAL	AMENITY	153,833 SF (3.53 AC)
6003	INFORMAL	GREEN BELT	10,655 SF (0.24 AC)
6004	INFORMAL	GREEN BELT	78,961 SF (1.81 AC)
7001	INFORMAL	GREEN BELT	73,201 SF (1.68 AC)
7002	INFORMAL	GREEN BELT	48,923 SF (1.12 AC)
7003	INFORMAL	GREEN BELT	123,477 SF (2.83 AC)

NON-BUILDABLE LOTS:

KEY	AREA
1	151,680 SF (3.48 AC)
2	46,074 SF (1.06 AC)
3	35,722 SF (0.82 AC)

TOTAL NON-BUILDABLE LOT AREA: 5.36 AC
 TOTAL FORMAL OPEN SPACE PROVIDED: 10.32 AC
 TOTAL INFORMAL OPEN SPACE PROVIDED: 60.48 AC
 TOTAL OPEN SPACE PROVIDED: 70.80 AC (35.6%)

LOCAL COMPATIBILITY:

COLLETTA PARK IS LOCATED IN THE SINGLE FAMILY CHARACTER AREA OF ENVISION FRANKLIN. THE CHARACTER OF THE SURROUNDING AREA IS ALSO SINGLE FAMILY HOMES.

CHARACTER AREA: SINGLE FAMILY
 APPLICABLE DEVELOPMENT STANDARD: CONVENTIONAL

- THE EXISTING USES ADJACENT TO THE PROPOSED NEIGHBORHOOD IN FRANKLIN EAST, CROSS CREEK, AND ON WARREN ROAD ARE SINGLE FAMILY DETACHED HOMES ON LARGE LOTS. THE EXISTING NEIGHBORHOODS ARE LOCATED OUTSIDE OF THE CITY OF FRANKLIN AND WERE DEVELOPED PRIOR TO PUBLIC SEWER BEING AVAILABLE. LOTS OF EQUAL SIZE ARE PROPOSED ADJACENT TO THESE SUBDIVISIONS.
- THE LAND USE PLAN FOR THIS SPECIAL AREA STATES THAT THERE ARE "MANY AREAS THAT ARE ENVIRONMENTALLY SENSITIVE". THE PROPOSED DEVELOPMENT PLAN PRESERVES SIGNIFICANT QUANTITIES OF OPEN SPACE BOTH AS A BUFFER TO ADJOINING USES AS WELL AS TO PROTECT ENVIRONMENTALLY SENSITIVE AREAS.
- THE LAND USE PLAN STATES THAT NEW GROWTH SHALL BE ENCOURAGED ONLY IN AREAS WHERE ADEQUATE PUBLIC WATER, SEWER AND STREETS ARE PLANNED. THE APPLICANT HAS PROPOSED EXTENDING THE PUBLIC SEWER TO THE SOUTH WHERE A MAIN INTERCEPTOR IS LOCATED IN THE CAROTHERS ROAD CORRIDOR, AND TO THE NORTH WHERE A MAIN INTERCEPTOR IS LOCATED ADJACENT TO OCTOBER PARK SUBDIVISION.
- THE LAND USE PLAN STIPULATES THAT SMALLER LOTS SHOULD NOT BE LOCATED ON THE EXTERIOR OF A PROPOSED DEVELOPMENT ADJACENT TO OR ACROSS THE STREET FROM LARGER LOTS OF AN EXISTING DEVELOPMENT. THE PROPOSED PLAN PROVIDES SINGLE FAMILY HOME LOTS ON LOTS COMPARABLE IN SIZE TO ADJOINING USES AND ARE SEPARATED FROM THEM BY OPEN SPACE BUFFERS. THE PROPOSED DEVELOPMENT TRANSITIONS SOUTH TO SMALLER LOTS IN PROXIMITY TO THE CAROTHERS ROAD CORRIDOR.
- THE PROPOSED DEVELOPMENT INCORPORATES A NUMBER OF OPEN SPACES THAT ARE PROPOSED TO BE DEVELOPED INTO ACTIVE USE SPACES AND WILL QUALIFY AS FORMAL OPEN SPACES.
- PRESERVED AREAS AT THE PERIMETER OF THE SITE WILL BE DEVELOPED WITH WALKING TRAILS OF VARYING DEGREES OF DIFFICULTY FOR USE BY THE RESIDENTS.
- THIS PLAN REFLECTS THE CONTEMPORARY DEVELOPMENT PATTERNS OF THE CITY OF FRANKLIN AND IS CONSISTENT WITH MANY SIMILAR NEIGHBORHOODS THAT HAVE OCCURRED IN PROXIMITY TO COUNTY SUBDIVISIONS BUILT PRIOR TO PUBLIC SEWER AVAILABILITY AS THE CITY HAS ANNEXED NEW AREAS FOR GROWTH.

LANDUSE PLAN COMPLIANCE/ DESIGN CONCEPTS AND STANDARDS:

COLLETTA PARK IS A SINGLE FAMILY DETACHED RESIDENTIAL SUBDIVISION WHICH OFFERS A VARIETY OF LOT SIZES AND HOUSING OPTIONS. ACCESSED IS PROPOSED FROM STANFORD DRIVE AT THE NORTH AND CAROTHERS ROAD AT THE SOUTH.

THE DESIGN STANDARDS PERMIT CONVENTIONAL DEVELOPMENT FORMS WITH TRANSITIONAL FEATURES TO MINIMIZE IMPACT ON THE EXISTING DEVELOPED PROPERTY. ENVISION FRANKLIN DESCRIBES THIS CHARACTER AREA AS SINGLE FAMILY. WITHIN THIS CHARACTER AREA, NEW LOTS ADJACENT TO EXISTING LOTS MUST BE OF EQUAL SIZE.

THE PROPOSED PLAN INCLUDES TRAFFIC CALMING SOLUTIONS ON STANFORD DRIVE AND RIDGEWAY DRIVE. THESE TRAFFIC CALMING CONCEPTS REQUIRE APPROVAL BY WILLIAMSON COUNTY. THESE INCLUDE REDUCING TRAFFIC SPEED, NARROWING THE TRAVEL LANES, PROVIDING PEDESTRIAN PATHS, AND INSTALLING SPEED HUMPS.

SMALLER LOTS ARE PLANNED TO THE SOUTH AS THE NEIGHBORHOOD APPROACHES CAROTHERS ROAD. THE LOTS ARE IN KEEPING WITH THE SIZE AND DENSITIES OF LOCKWOOD GLEN. THE TOTAL LOT DENSITY IS ONE UNIT PER ACRE.

SITE DATA:

PROJECT NAME:	COLLETTA PARK PUD SUBDIVISION
PROJECT NUMBER:	6559
SUBDIVISION:	NA
LOT NUMBER:	1101 RIDGEWAY DRIVE, MURFREESBORO ROAD, FRANKLIN
ADDRESS:	WILLIAMSON
CITY:	TENNESSEE
STATE:	14TH CIVIL DISTRICT
CIVIL DISTRICT:	079 MB 02900
MAP, GROUP, PARCEL NUMBERS:	079 MB 02900
	089 05500
	089 04303
	089 04304
	R-1

EXISTING ZONING:

CHARACTER AREA OVERLAY:	MECO-6, SWCO-3
OTHER APPLICABLE OVERLAYS:	NONE
APPLICABLE DEVELOPMENT STANDARD:	CONVENTIONAL
TOTAL ACREAGE:	199 AC
TOTAL SQUARE FOOTAGE:	8,670,225 SF

MINIMUM REQUIRED SETBACKS:

FRONT YARD:	SEE LOT DIAGRAMS - SHEET C2.2
REAR YARD:	MINIMUM SETBACKS
SIDE YARD:	ARE ESTABLISHED AS PART OF THE P.U.D.

APPLICANT:

ADDRESS:	GAMBLE DESIGN COLLABORATIVE 144 SOUTH EAST PARKWAY SUITE 200 FRANKLIN, TN 37064
OFFICE PHONE:	615.975.5765
EMAIL ADDRESS:	greggamble2019@gmail.com
CONTACT:	GREG GAMBLE

BUILDING SQUARE FOOTAGE:

BUILDING HEIGHT:	N/A
LANDSCAPE SURFACE RATIO:	2 STORY
MINIMUM LANDSCAPE SURFACE RATIO:	0.40
MINIMUM PARKING REQUIREMENT:	0.30
MAXIMUM PARKING LIMIT:	2 SPACES PER SINGLE FAMILY HOME
EXISTING PARKING:	N/A
RESIDENTIAL DENSITY:	N/A
TREE CANOPY:	1.00 DUA
PARKLAND DEDICATION:	138.1 AC, 69.4 % OF EXISTING SITE

OVERALL DENSITY:

NET DENSITY (MINUS ROW):	1.00 UNITS/AC
NET DENSITY (MINUS ROW AND STREAM BUFFERS):	1.10 UNITS/AC
NUMBER OF RESIDENTIAL UNITS BY USE TYPE:	117 UNITS/AC
	199 SINGLE FAMILY HOMES
	65 LOTS: 90
	80 LOTS: 53
	ESTATE: 56
	75.56 AC
	123.21 AC RESIDENTIAL
	70.80 AC OPEN SPACE
	4.99 AC NON-BUILDABLE LOTS

TOTAL ACREAGE BY USE, PER SECTION:

SECTION	ACREAGE	RESIDENTIAL UNITS
SECTION 1	35.24 AC	24 UNITS
SECTION 2	6.85 AC	0 UNITS
SECTION 3	12.4 AC	13 UNITS
SECTION 4	11.8 AC	0 UNITS
SECTION 5	8.69 AC	21 UNITS
SECTION 6	40.80 AC	0 UNITS
SECTION 7	20.34 AC	61 UNITS
SECTION 8	0.12 AC	0 UNITS
SECTION 9	11.72 AC	38 UNITS
SECTION 10	1.36 AC	0 UNITS
SECTION 11	11.84 AC	29 UNITS
SECTION 12	4.19 AC	0 UNITS
SECTION 13	5.06 AC	23 UNITS
SECTION 14	5.63 AC	0 UNITS

TREE CANOPY RETENTION:

TREE AREA	EXISTING	REMOVED	RETAINED
TREE A	20,501 SF	0 SF	20,501 SF
TREE B	196,950 SF	126,918 SF	67,032 SF
TREE C	5,661,025 SF	3,605,008 SF	2,056,017 SF
TREE D	162,235 SF	108,317 SF	43,918 SF
TOTAL	6,018,356 SF	3,522,441 SF	2,178,113 SF

TREE CANOPY DATA:

EXISTING TREE CANOPY:	6,018,356 SF
REMOVED TREE CANOPY:	3,522,441 SF
RETAINED TREE CANOPY:	2,178,113 SF
TOTAL TREE CANOPY:	6,018,356 SF
REMOVED TREE CANOPY AS % OF TOTAL CANOPY:	58.53%
RETAINED TREE CANOPY AS % OF TOTAL CANOPY:	36.27%

TREE PRESERVATION AREA:

60' STREAM BUFFER

STREAM BUFFER:

60' STREAM BUFFER

STATEMENT OF IMPACTS:

WATER:
 WATER SERVICE WILL BE PROVIDED BY MILCROFTON UTILITY DISTRICT. 199 X 350 GPD = 69,650 GPD

SEWER:
 SEWER SERVICE WILL BE PROVIDED BY THE CITY OF FRANKLIN. FOR THE PORTION OF THE SITE IN THE MAYS CREEK BASIN, CONNECTION TO THE SEWER MAIN WILL BE MADE IN SIMMONS RIDGE TO THE SOUTH. FOR THE PORTION OF THE SITE IN THE WATKINS CREEK BASIN, CONNECTION WILL BE MADE TO THE NORTH TO THE SEWER MAIN IN OCTOBER PARK ON RIDGEWAY DRIVE.

REFURBISHED (REUSE) WATER FACILITIES:

NOT AVAILABLE.

STREET NETWORK:

AS SHOWN ON THE MAJOR THOROUGHFARE PLAN - SEE SHEET C 4.0 OVERALL ROW AND ACCESS PLAN INCLUDING CONNECTIVITY ELEMENTS.

THE SITE IS LOCATED SOUTH OF HIGHWAY 98 EAST WHICH IS CLASSIFIED AS A MAJOR ARTERIAL. ACCESS TO THE NORTHERN PORTION OF COLLETTA PARK IS PROVIDED BY LOCAL STREETS VIA RIDGEWAY DRIVE AND STANFORD ROAD.

THE SOUTHERN PORTION OF COLLETTA PARK WILL HAVE CONNECTIONS TO SOUTH CAROTHERS ROAD.

FUTURE ROAD CONNECTIONS ARE PROVIDED. A FULL TRAFFIC IMPACT STUDY PREPARED BY FISCHBACH TRAFFIC GROUP, LLC AND REVIEWED BY A THIRD PARTY VOLKERT ENGINEERING PROVIDES GREATER DETAIL OF THE OVERALL IMPACT OF THE DEVELOPMENT ON THE EXISTING ROAD NETWORK.

DRAINAGE FACILITIES:

THE PROPERTY HAS THREE PRIMARY DRAINAGE BASINS. ONE DRAINS NORTH TO WATKINS CREEK. ONE DRAINS WEST THROUGH CROSS CREEK SUBDIVISION AND ONE DRAINS SOUTH TOWARDS SOUTH CAROTHERS ROAD.

POLICE AND FIRE DEPT:

FRANKLIN FIRE DEPT STATION #2 - 2.1 MILES DRIVING DISTANCE
 COLUMBIA AVE. POLICE STATION - 2.7 MILES DRIVING DISTANCE

RECREATIONAL FACILITIES:

LIBERTY PARK - 3.0 MILES DRIVING DISTANCE

PROJECTED STUDENT POPULATION:

199 HOMES X .64 STUDENTS = 128 PROJECTED STUDENTS

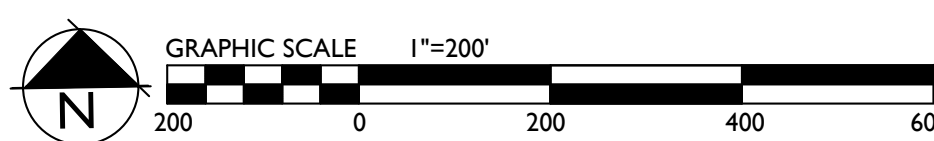
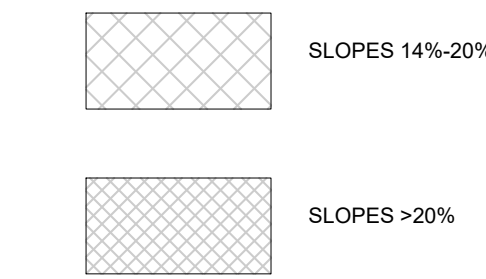
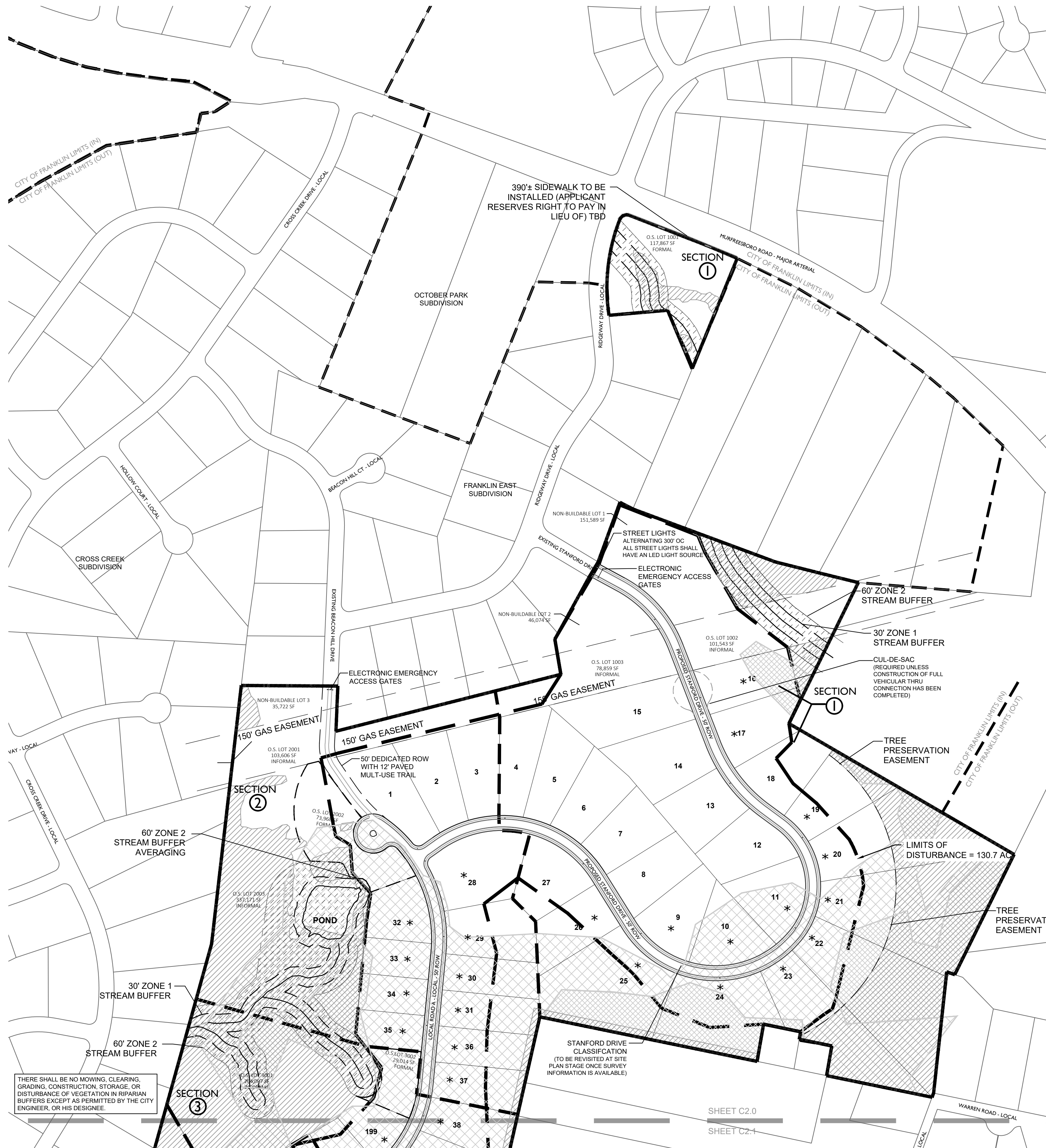
REFUSE COLLECTION:

PROVIDED BY THE CITY OF FRANKLIN SOLID WASTE.

RESTRICTIVE COVENANTS:

A HOME OWNER'S ASSOCIATION WILL BE ESTABLISHED PRIOR TO THE FIRST OCCUPANCY OF RESIDENTS. THE HOA WILL REGULATE ARCHITECTURAL STANDARDS AND THE MAINTENANCE OF THE COMMUNITY. THE HOA WILL MAINTAIN ALL COMMON OPEN SPACE AND RECREATIONAL AREAS.

NOTE: AS ACCESS POINTS AND IMPACTS TO THE STREET NETWORK ARE DETERMINED, THE STATEMENT OF IMPACTS MAY NEED TO BE REVISED



THERE SHALL BE NO MOWING, CLEARING, GRADING, CONSTRUCTION, STORAGE, OR DISTURBANCE OF VEGETATION IN RIPARIAN BUFFERS EXCEPT AS PERMITTED BY THE CITY ENGINEER, OR HIS DESIGNEE.

SHEET C2.0

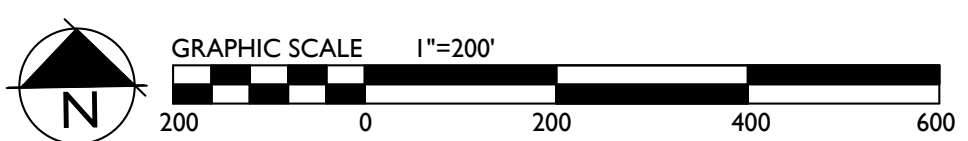
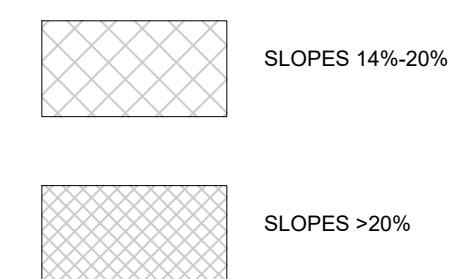
SHEET C2.1



Revision	Date
△	_____
△	_____
△	_____
△	_____

DEVELOPMENT
 PLAN

C2.1
 COF 6559



SOUTH CAROLINA ROAD IMPROVEMENTS TO BE IDENTIFIED IN THE TRAFFIC STUDY AND SUBMITTED WITH THE DEVELOPMENT PLAN WHEN RECEIVED

LOCKWOOD GLEN SUBDIVISION

SOUTH CAROLINA ROAD - MINOR COLLECTOR

TEMPORARY TURN-AROUND (REQUIRED UNTIL CONSTRUCTION OF THRU CONNECTION HAS BEEN COMPLETED)

TEMPORARY TURN-AROUND (REQUIRED UNTIL CONSTRUCTION OF THRU CONNECTION HAS BEEN COMPLETED)

LIMITS OF DISTURBANCE = 130.7 AC

THERE SHALL BE NO MOWING, CLEARING, GRADING, CONSTRUCTION, STORAGE, OR DISTURBANCE OF VEGETATION IN RIPARIAN BUFFERS EXCEPT AS PERMITTED BY THE CITY ENGINEER, OR HIS DESIGNEE.

30' ZONE 1 STREAM BUFFER
 60' ZONE 2 STREAM BUFFER

WALKING TRAIL PARKING LOT

POND 2

POND 3

SECTION 7

SECTION 6

SECTION 5

SECTION 4

SECTION 3

SHEET C2.0
 SHEET C2.1

CROSS CREEK SUBDIVISION

FALCON CREEK SUBDIVISION

BILTHORE COURT - LOCAL - 50' ROW

TREE PRESERVATION EASEMENT

DEPRESSION NOT IDENTIFIED AS SINKHOLE

12' MULTI-USE TRAIL

STREAM BUFFER

SECTION 3

SECTION 4

SECTION 5

SECTION 6

SECTION 7

SHEET C2.0
 SHEET C2.1

WARREN ROAD - LOCAL

WARREN COURT - LOCAL

WARREN ROAD - LOCAL

WARREN ROAD - LOCAL

WARREN ROAD - LOCAL

WARREN ROAD - LOCAL

WARREN ROAD - LOCAL

WARREN ROAD - LOCAL

WARREN ROAD - LOCAL

WARREN ROAD - LOCAL

PRELIMINARY STORMWATER MANAGEMENT SUMMARY

Total Property Area = 196.33 Acres
 Total Disturbed Area = 130.30 Acres

Soil Types: 54.6% Type A Soil
 25.8% Type B Soil
 17.2% Type C Soil
 0.0% Type D Soil
 0.4% Non-Soil Areas

AREA NO.	TOTAL (AC)	EST. IMP. (AC)	TREATMENT TYPE	PRELIM. SF	DETENTION
1	7.6	0.0	BYPASS	---	BYPASS
2	14.1	2.5	BIO 2	6,500	POND 1
3	26.6	3.6	BIO 3	10,500	POND 1
4	11.7	2.4	BIO 4	5,500	BYPASS
5	8.3	2.1	BIO 5	4,500	BYPASS
6	9.9	1.7	BIO 6	4,500	POND 4



Grading & Drainage General Notes

- Grading Permit is required for any project disturbing more than 10,000 sq. ft. adding more than 5,000 sq. ft. of impervious surface or for any site grading requiring stockpiling of material.
- The Developer shall provide the necessary labor and supervision required to support field testing by the independent testing firm and inspections by City officials at no cost to the City. Test reports of field testing if applicable shall be submitted directly to the Street Department. Defects disclosed by tests shall be rectified.
- An authorized representative of the City shall make a final inspection of the project after completion to determine acceptability of the work and for release of performance bonds if required. Before this final inspection can be made, the Engineer responsible for the project shall certify in writing to the City Engineer that the work has been completed in accordance with approved plans and specifications.
- Drainage facilities including, but not limited to, culverts, detention basins and ditches, as well as the roadway sub-grade, base stone and binder & surface course shall be inspected, tested and given approval at each stage of installation prior to proceeding to the next stage of construction. Final construction inspection for approval and acceptance of streets and drainage systems will not be granted until all work has been completed in accordance with the approved plans.
- Locating and coordination for the relocation of existing utilities is the responsibility of the contractor. Tennessee's One-Call and the City of Franklin utility location service shall be utilized in addition to coordination with local utility owners. The contractor shall at all times protect existing utilities and will be responsible for costs due to damage caused to any utility lines.

Post-Treatment Stormwater Narrative
 Stormwater to be treated via a combination of Bio-retention, and Detention Ponds and then released into a Stream or Wet Weather Conveyance.

Statement of Impact
 Post-Construction Stormwater will have no additional impact on the surrounding drainage basins. Stormwater BMPs will be used to maintain or decrease existing stormwater flows.

Stream Buffer Note:
 There shall be no mowing, clearing, grading, construction, storage, or disturbance of vegetation except as permitted by the City Engineer, or his designee.

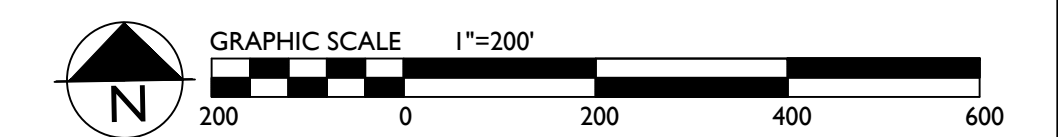
Grading & Drainage Data Chart
 Site Area: 196.33 Ac.
 Impervious Area: 28.41 Ac.
 Disturbed Area: 130.30 Ac.

Impervious Area Calculations:
 The impervious area assumed for each lot type includes building, patio, & driveway.

65' Lot Type: 89 units x 3600 sq.ft. = 7.36 Ac.
 85-90' Lot Type: 59 units x 4550 sq.ft. = 6.16 Ac.
 100+ Lot Type: 51 units x 8500 sq.ft. = 9.95 Ac.

ROW Area (includes road & sidewalks) = 17.23 Ac.

Tennessee State Plane Coordinate System
 Zone 5301, Fipzone 4100; NAD 83 Datum



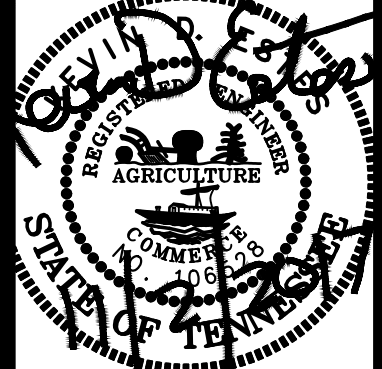
COF XXXX

Revisions:

Drawing Notes:



COLLETTA PARK PUD SUBDIVISION
 DEVELOPMENT PLAN
 Franklin, Williamson County, Tennessee



GAMBLE DESIGN COLLABORATIVE
 144 SOUTHEAST PARKWAY
 SUITE 230
 FRANKLIN, TENNESSEE 37064
 GREG GAMBLE
 greg@gamble209@gmail.com
 615.975.5745

NORTH
 GRADING &
 DRAINAGE
 PLAN

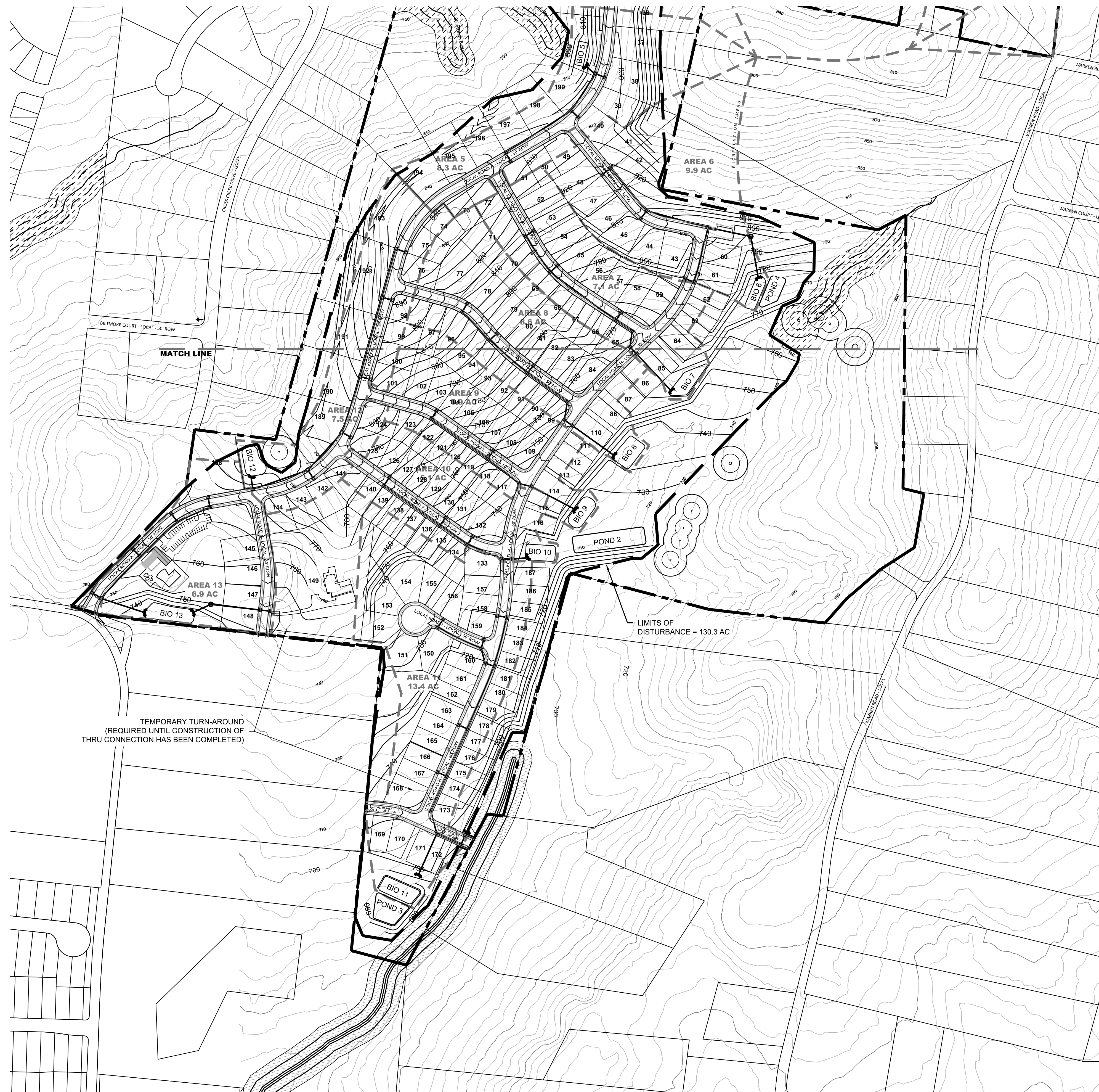
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PRELIMINARY STORMWATER MANAGEMENT SUMMARY

Total Property Area = 196.33 Acres
 Total Disturbed Area = 130.30 Acres

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 25.8% Type B Soil
 17.2% Type C Soil
 0.0% Type D Soil
 0.4% Non-Soil Areas

AREA NO.	TOTAL (AC)	EST. IMP. (AC)	TREATMENT TYPE	PRELIM. SF	DETENTION
7	7.1	2.4	BIO 7	4,500	POND 2
8	8.6	3.1	BIO 8	5,500	POND 2
9	6.9	2.3	BIO 9	4,500	POND 2
10	5.1	1.9	BIO 10	3,500	POND 2
11	13.4	3.7	BIO 11	7,500	POND 3
12	7.5	1.6	BIO 12	4,000	BYPASS
13	6.9	1.1	BIO 13	3,000	BYPASS



TEMPORARY TURN-AROUND
 (REQUIRED UNTIL CONSTRUCTION OF
 THRU CONNECTION HAS BEEN COMPLETED)

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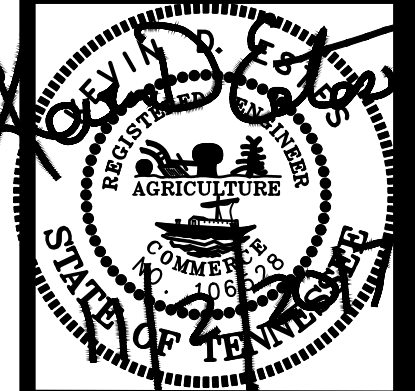
ROW Area (includes road & sidewalks) = 17.23 Ac.

Revisions:

Drawing Notes:



COLLETTA PARK PUD SUBDIVISION
 DEVELOPMENT PLAN
 Franklin, Williamson County, Tennessee

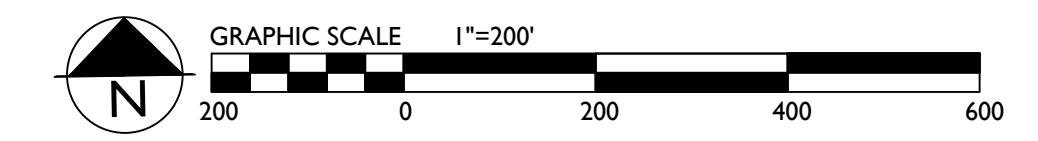


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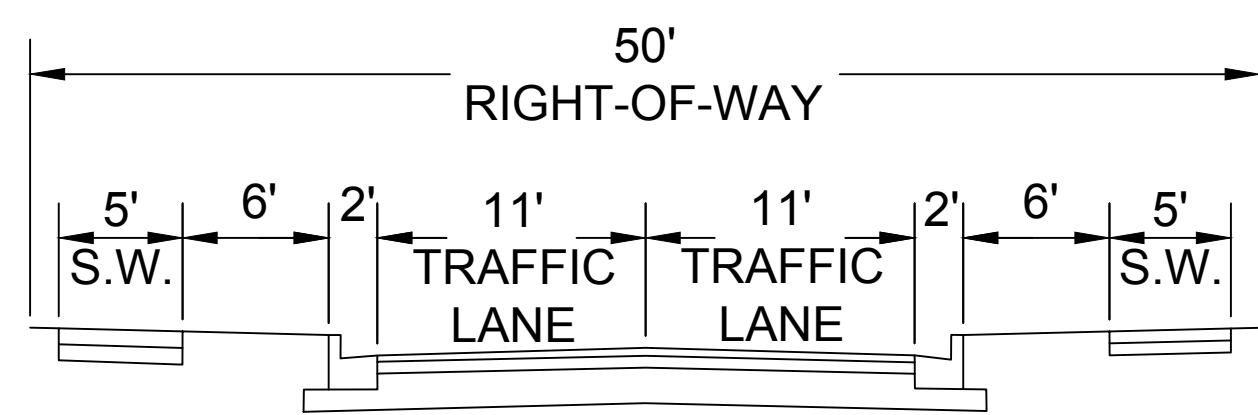
SOUTH
 GRADING &
 DRAINAGE
 PLAN

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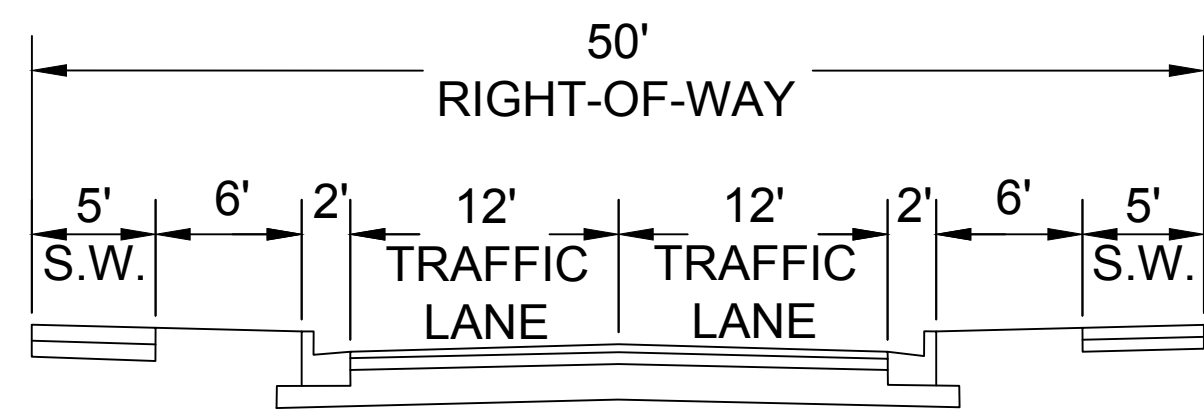
Tennessee State Plane Coordinate System
 Zone 5301, Fipzone 4100; NAD 83 Datum



COF XXXX



2-LANE INTERMEDIATE AND LOW VOLUME STREET



2-LANE HIGH VOLUME STREET



Statement of Impacts
 The proposed Colletta Park development is located between Major Arterial Murfreesboro Road and Minor Collector S Carothers Road. The northern portion of the site consists of 37 homes and will connect to Murfreesboro Road via Local Roads Stanford Drive and Ridgeway Drive. The southern portion of the site consists of 162 homes and will connect directly to the S Carothers Road existing 90 degree curve.

Impact on Local Streets
 The proposed Colletta Park development is expected to generate 37 trips entering and 112 trips exiting during AM peak hours; 125 trips entering and 74 trips exiting during PM peak hour.

- R.O.W. & Access General Notes**
1. Prior to beginning any construction, the Developer and/or Contractor, shall obtain all necessary permits as required by law. Such permits may include, but are not limited to, those required by State of Tennessee, Williamson County and other City of Franklin agencies.
 2. All off-site work within the public right-of-way shall require an approved traffic control plan which complies with the MUTCD. No off-site excavation may be undertaken in any street, road, alley or right-of-way of any utility or temporary construction easement of the City of Franklin by any entity unless 72-hour notice has been given to the City of Franklin Traffic Operations Center. The contractor shall have an approved traffic control plan onsite during construction.
 3. Construction materials shall be fully tested in accordance with the designations and requirements within the referenced "TDOT Standard Specifications" sections, unless otherwise noted within the "Standard Specifications" section of the City of Franklin Transportation & Street Technical Standards.
 4. An authorized representative of the City shall make a final inspection of the project after completion to determine acceptability of the work and for release of performance bonds if required. Before this final inspection can be made, the Engineer responsible for the project shall certify in writing to the City Engineer that the work has been completed in accordance with approved plans and specifications.
 5. Locating and coordination for the relocation of existing utilities is the responsibility of the contractor. Tennessee's One-Call and the City of Franklin utility location service shall be utilized in addition to coordination with local utility owners. The contractor shall at all times protect existing utilities and will be responsible for costs due to damage caused to any utility lines.
 6. All temporary striping shall conform to "Standard Specifications for Road and Bridge Construction," published by TDOT, the latest revision except as herein amended. When approved, temporary striping shall be required prior to the opening of a street for travel where pavement and/or permanent striping cannot be completed due to weather and/or time constraints.
 7. Thermoplastic pavement markings should be used on all public and private City street projects. Thermoplastic traffic striping and pavement markings shall conform to Section 716.03 "Thermoplastic Pavement Markings", of the Tennessee Department of Transportation Specifications (TDOT), and to the City of Franklin Transportation & Street Technical Standards.

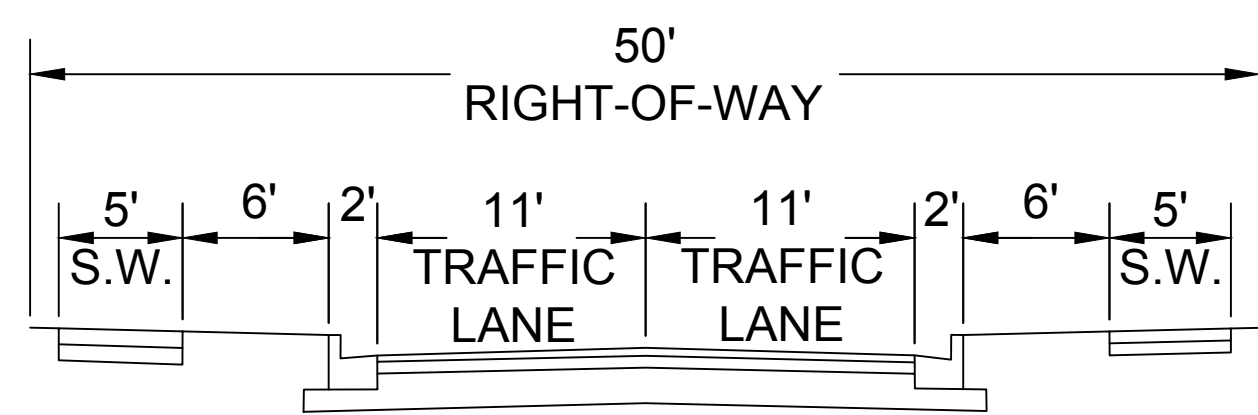
Stream Buffer Note:
 There shall be no mowing, clearing, grading, construction, storage, or disturbance of vegetation except as permitted by the City Engineer, or his designee.

R.O.W. & Access Data Chart:
 Daily Trip Generation: 1,254 veh per day
 Peak Hour Trip Generation: 199 veh per hour
 Traffic Impact Study Required: Yes
 Circulation Plan Required:

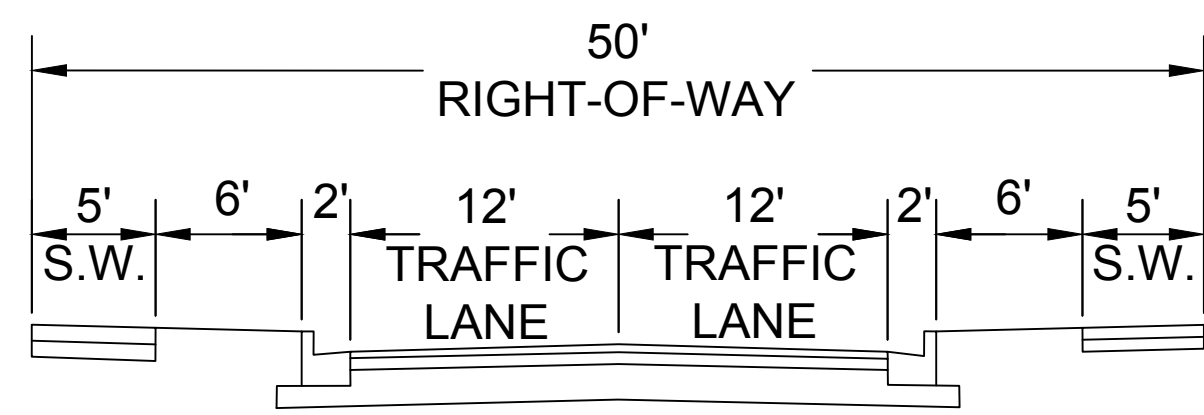
Connectivity Index: 1.50
 Links (●): 24
 Nodes (*): 16
 24/16 = 1.50

Without Connection to Existing Stanford Drive
 Connectivity Index: 1.41
 Links (●): 24
 Nodes (*): 17
 24/17 = 1.41

1. 1" - 2" GRANULAR SUBGRADE
 2. 4" - 6" GRANULAR SUBGRADE
 3. 2" - 4" GRANULAR SUBGRADE
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2-LANE INTERMEDIATE AND LOW VOLUME STREET



2-LANE HIGH VOLUME STREET

DESIGN MODIFICATION - CONNECTIVITY INDEX DUE TO WILLIAMSON COUNTY'S LIMITATIONS ON CONNECTIVITY TO BEACON HILL AND STANFORD DRIVE, EXISTING DEVELOPMENT WITHOUT ACCESS ON THE WESTERN BOUNDARY, AND TOPOGRAPHIC CONSTRAINTS ALONG WARREN ROAD, THE CLIENT REQUESTS A DESIGN MODIFICATION FOR CONNECTIVITY.



Statement of Impacts
The proposed Colletta Park development is located between Major Arterial Murfreesboro Road and Minor Collector S Carothers Road. The northern portion of the site consists of 37 homes and will connect to Murfreesboro Road via Local Roads Stanford Drive and Ridgeway Drive. The southern portion of the site consists of 162 homes and will connect directly to the S Carothers Road existing 90 degree curve.

Impact on Local Streets
The proposed Colletta Park development is expected to generate 37 trips entering and 112 trips exiting during AM peak hours; 125 trips entering and 74 trips exiting during PM peak hour.

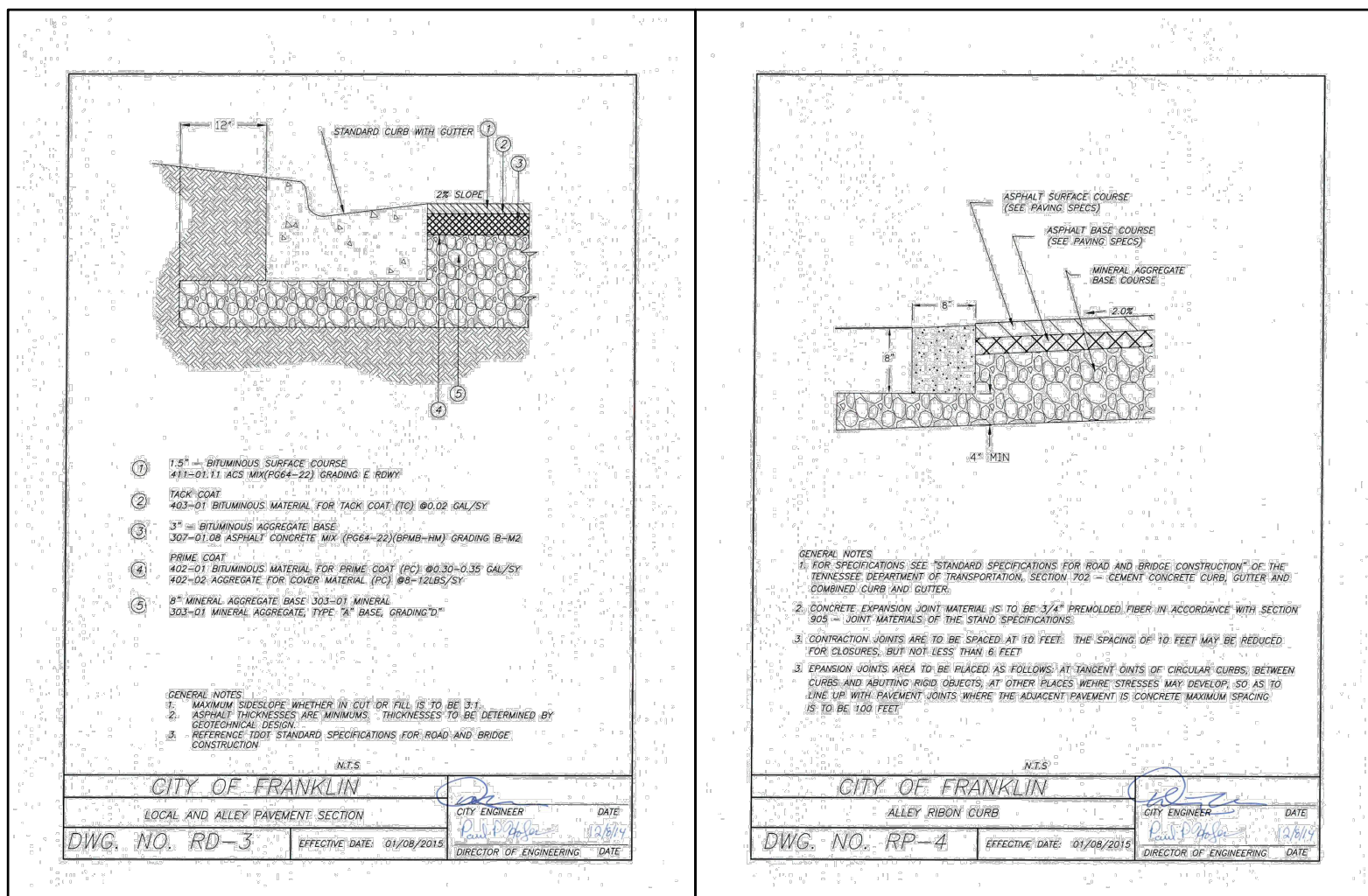
- R.O.W & Access General Notes**
1. Prior to beginning any construction, the Developer and/or Contractor, shall obtain all necessary permits as required by law. Such permits may include, but are not limited to, those required by State of Tennessee, Williamson County and other City of Franklin agencies.
 2. All off-site work within the public right-of-way shall require an approved traffic control plan which complies with the MUTCD. No off-site excavation may be undertaken in any street, road, alley or right-of-way of any utility or temporary construction easement of the City of Franklin by any entity, unless 72-hour notice has been given to the City of Franklin Traffic Operations Center. The contractor shall have an approved traffic control plan onsite during construction.
 3. Construction materials shall be fully tested in accordance with the designations and requirements within the referenced "TDOT Standard Specifications" sections, unless otherwise noted within the "Standard Specifications" section of the City of Franklin Transportation & Street Technical Standards.
 4. An authorized representative of the City shall make a final inspection of the project after completion to determine acceptability of the work and for release of performance bonds if required. Before this final inspection can be made, the Engineer responsible for the project shall certify in writing to the City Engineer that the work has been completed in accordance with approved plans and specifications.
 5. Locating and coordination for the relocation of existing utilities is the responsibility of the contractor. Tennessee's One-Call and the City of Franklin utility location service shall be utilized in addition to coordination with local utility owners. The contractor shall at all times protect existing utilities and will be responsible for costs due to damage caused to any utility lines.
 6. All temporary striping shall conform to "Standard Specifications for Road and Bridge Construction," published by TDOT, the latest revision except as herein amended. When approved, temporary striping shall be required prior to the opening of a street for travel where pavement and/or permanent striping cannot be completed due to weather and/or time constraints.
 7. Thermoplastic pavement markings should be used on all public and private City street projects. Thermoplastic traffic striping and pavement markings shall conform to Section 716.03 "Thermoplastic Pavement Markings", of the Tennessee Department of Transportation Specifications (TDOT), and to the City of Franklin Transportation & Street Technical Standards.

Stream Buffer Note:
There shall be no mowing, clearing, grading, construction, storage, or disturbance of vegetation except as permitted by the City Engineer, or his designee.

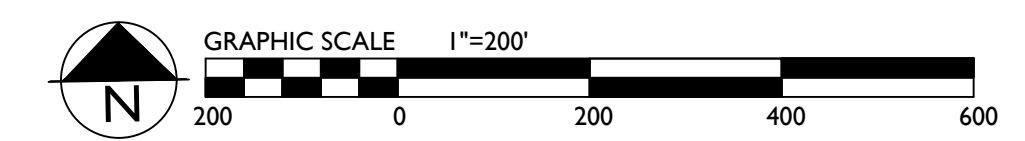
R.O.W. & Access Data Chart:
Daily Trip Generation: 1,254 veh per day
Peak Hour Trip Generation: 199 veh per hour
Traffic Impact Study Required: Yes
Circulation Plan Required:

Connectivity Index: 1.50
Links (●): 24
Nodes (*): 16
24/16 = 1.50

Without Connection to Existing Stanford Drive
Connectivity Index: 1.41
Links (●): 24
Nodes (*): 17
24/17 = 1.41



Tennessee State Plane Coordinate System
Zone 5301, Fipzone 4100; NAD 83 Datum



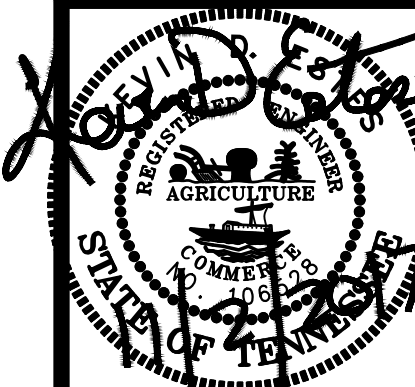
COF XXXX

Revisions:

Drawing Notes:



**COLLETTA PARK PUD SUBDIVISION
DEVELOPMENT PLAN**
Franklin, Williamson County, Tennessee



GAMBLE DESIGN COLLABORATIVE
144 SOUTHEAST PARKWAY
SUITE 230
FRANKLIN, TENNESSEE 37064
GREG GAMBLE
ggg@gcdc.com
615.975.5745

**SOUTH
ROW &
ACCESS
PLAN**

C 4.1

Revisions:

Drawing Notes:



GAMBLE
DESIGN COLLABORATIVE
DEVELOPMENT PLANNING AND
LANDSCAPE ARCHITECTURE
Date: JUNE 2, 2017

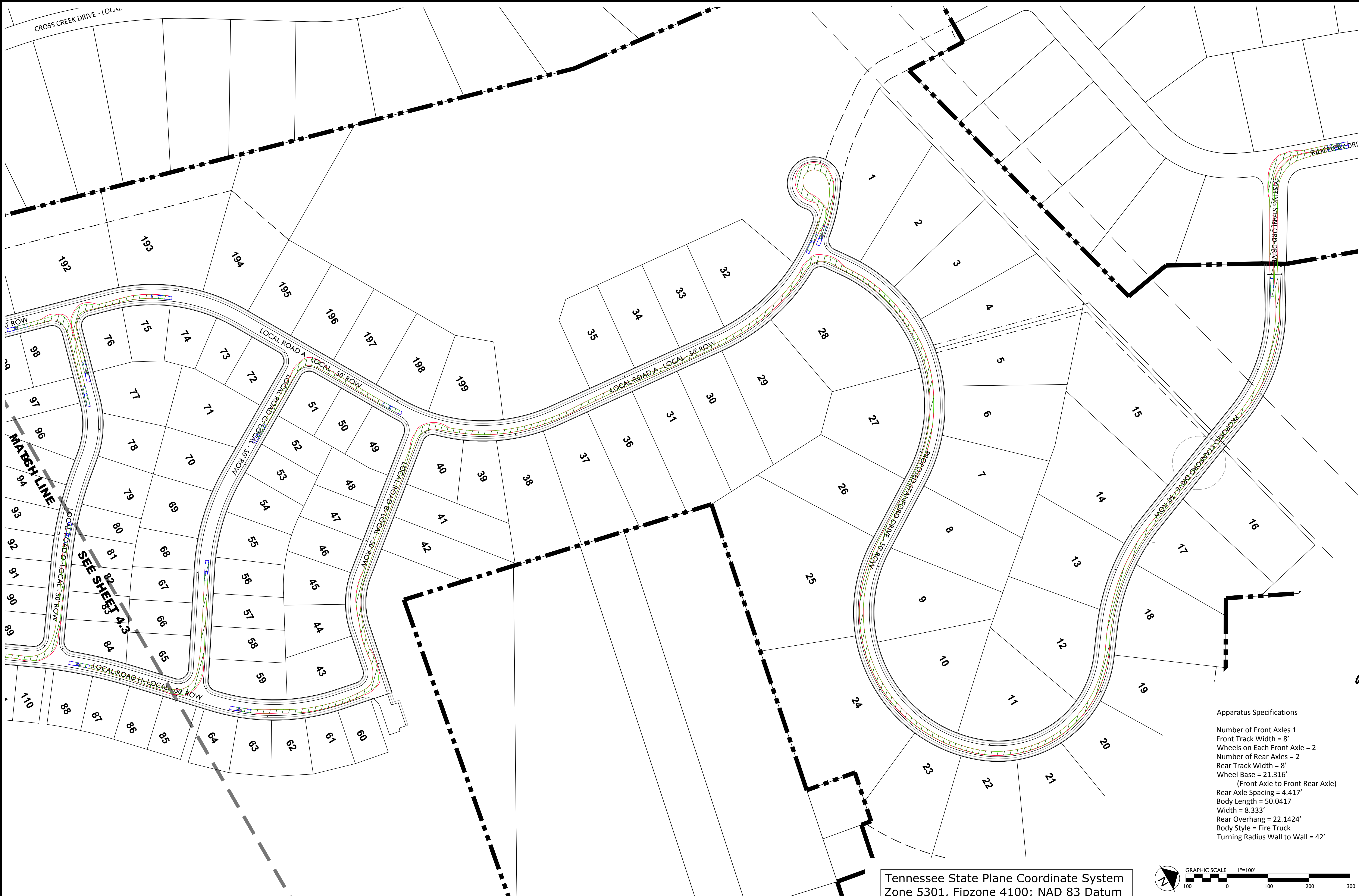
COLLETTA PARK PUD SUBDIVISION
DEVELOPMENT PLAN
Franklin, Williamson County, Tennessee



GAMBLE DESIGN COLLABORATIVE
144 SOUTHEAST PARKWAY
SUITE 230
FRANKLIN, TENNESSEE 37064
GREG GAMBLE
greggamble209@gmail.com
615.975.5765

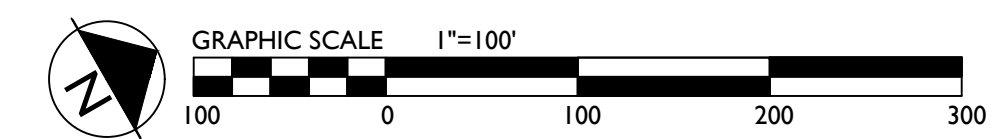
NORTH
TRAVEL
PATH

C 4.2



Apparatus Specifications
Number of Front Axles 1
Front Track Width = 8'
Wheels on Each Front Axle = 2
Number of Rear Axles = 2
Rear Track Width = 8'
Wheel Base = 21.316'
(Front Axle to Front Rear Axle)
Rear Axle Spacing = 4.417'
Body Length = 50.0417'
Width = 8.333'
Rear Overhang = 22.1424'
Body Style = Fire Truck
Turning Radius Wall to Wall = 42'

Tennessee State Plane Coordinate System
Zone 5301, Fipzone 4100; NAD 83 Datum



COF XXXX

MATCH LINE SEE SHEET 4.2

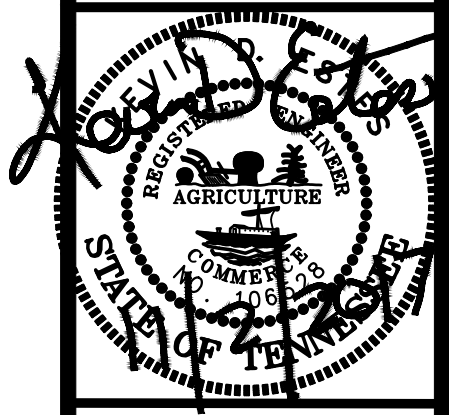


Revisions:

Drawing Notes:

GDC
GAMBLE
 DESIGN COLLABORATIVE
 DEVELOPMENT PLANNING AND
 LANDSCAPE ARCHITECTURE
 Date: JUNE 2, 2017

**COLLETTA PARK PUD SUBDIVISION
 DEVELOPMENT PLAN**
 Franklin, Williamson County, Tennessee

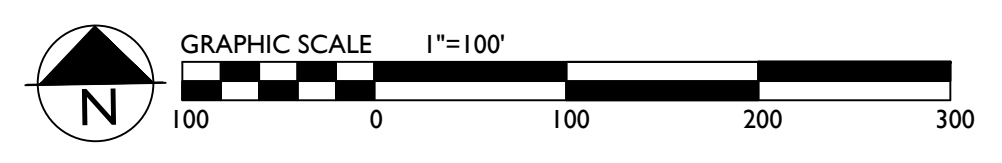


GAMBLE DESIGN COLLABORATIVE
 144 SOUTHEAST PARKWAY
 SUITE 230
 FRANKLIN, TENNESSEE 37064
 GREG GAMBLE
 greggamble209@gmail.com
 615.975.5765

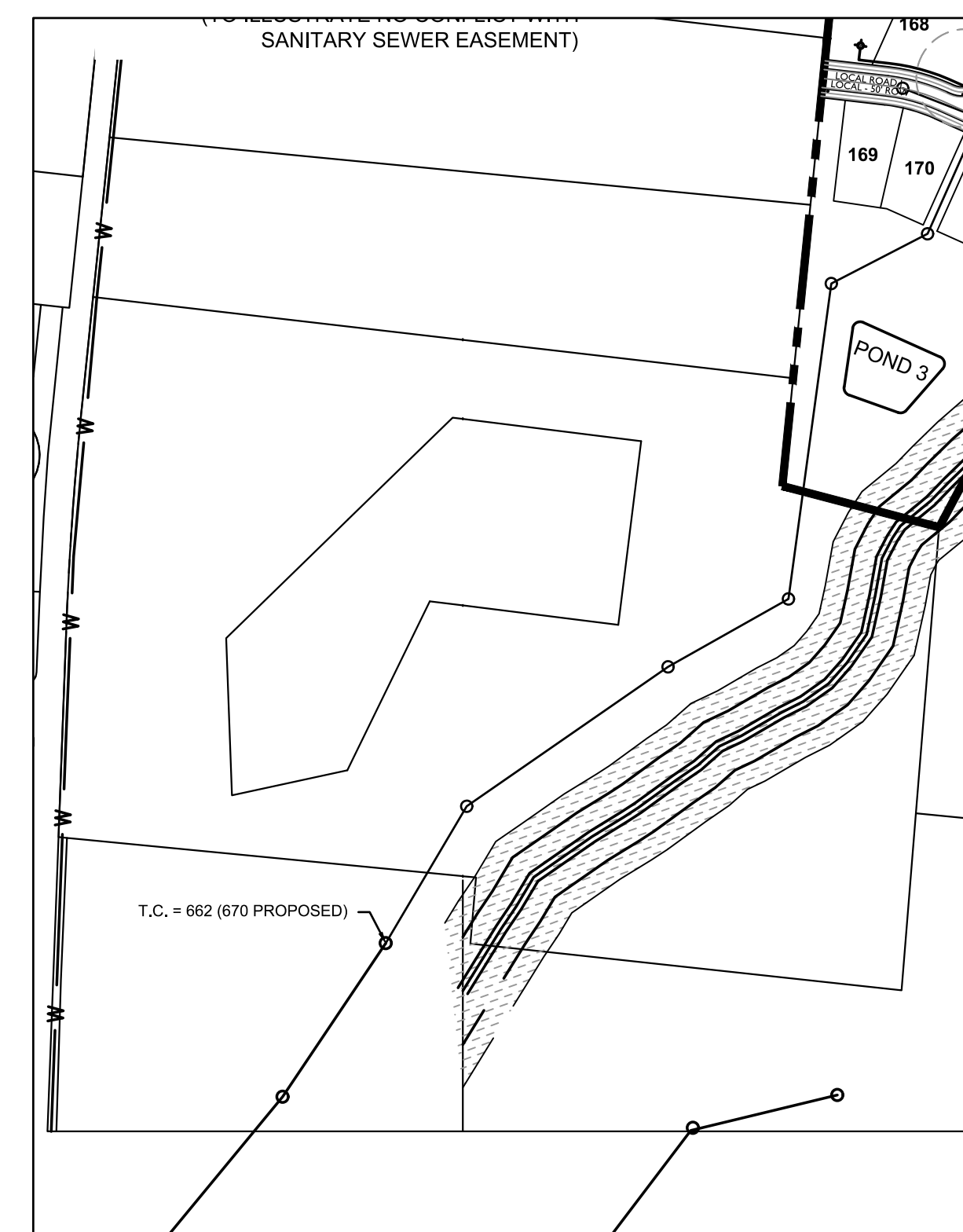
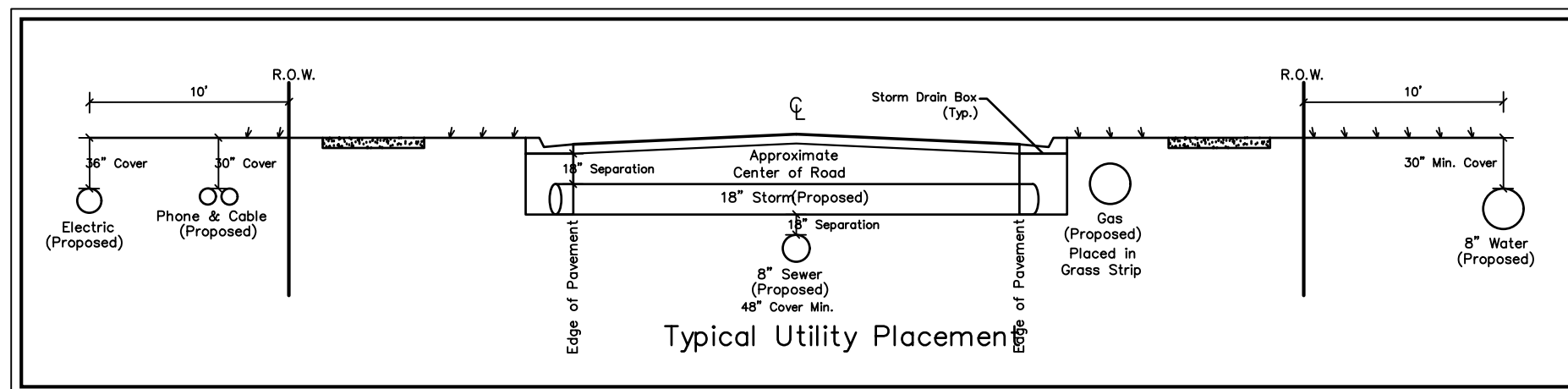
**SOUTH
 TRAVEL
 PATH**

C 4.3

Tennessee State Plane Coordinate System
 Zone 5301, Fipzone 4100; NAD 83 Datum



COF XXXX



Sewer Connection at South Carothers Road
SCALE: 1/8"=20'



- Water & Sewer General Notes**
- All persons who undertake the construction of water, sewer and/or reclaimed water lines located in, or affecting services provided by the City of Franklin shall comply with the requirements and regulations set forth in the "General Requirements & Technical Specifications, Water Management Department, City of Franklin, Tennessee" latest edition, along with any amendments, additions, or alteration that may thereafter be adopted by the board of mayor and aldermen by resolution.
 - Contractor shall obtain Water & Sewer Infrastructure Installation Permit prior to scheduling required Pre-Construction Site Meeting. Contractor shall complete the Pre-Construction Site Meeting prior to commencing with construction.
 - Contractor shall obtain and keep all of the following items on the jobsite at all times during construction:
 - Approved, Stamped and Signed Water and/or Sewer Plans
 - Water & Sewer Infrastructure Installation Permit, with all steps completed and signed by appropriate City employees.
 - Copy of approved availability request response letter.
 - A copy of all approved Cut Sheets.
 - Acceptance of City of Franklin public water infrastructure, sanitary sewer infrastructure and/or reclaimed water infrastructure shall become the responsibility of the City of Franklin, TN following approval from the City of Franklin Inspectors and acceptance by the Franklin Municipal Planning Commission. The Acceptance date shall be based on the day maintenance sureties are established by the Franklin Municipal Planning Commission.
 - Prior to the acceptance of City of Franklin public water infrastructure, sanitary sewer infrastructure and/or reclaimed water infrastructure the contractor shall be required to submit as-built drawings to the Water Management Department.
 - All off-site work within the public right-of-way shall require an approved traffic control plan which complies with the MUTCD. No off-site excavation may be undertaken in any street, road, alley or right-of-way of any utility or temporary construction easement of the City of Franklin by any entity unless 72-hour notice has been given to the City of Franklin Traffic Operations Center. The contractor shall have an approved traffic control plan onsite during construction.
 - Any damages caused to existing utilities during construction shall, at his own expense, be replaced or repaired to original condition and quality, as approved by the owner and representative of the appropriate utility company, by the Contractor.
 - Location of Water Line is approximate. True location of water line, fire hydrants, water valves, etc. to be designed by Microton Utility District during sectional Site Plan phase of development.
 - When required, permanent, exclusive easements must be provided with a minimum width of 20 feet. Easement width requirements are as follows:
 - 0'-12' depth requires 20' easement.
 - 13'-20' depth requires 30' easement.
 - Depths greater than 20' requires prior approval.
 A minimum 10-foot wide temporary construction easement on each side of the permanent easement must also be provided. No trees shall be planted within the permanent easements.
- Water Service Provided by:
Microton Utility District
633 Arno Road
Franklin, TN 37064
615-794-5947
- Sewer Service Provided by:
Water Management
124 Lumber Drive
Franklin, TN 37064
615-794-4554
- Water & Sewer Data Chart
- | | |
|--------------------------|--------------------------------------|
| Water: | Unit Flow in GPD: 350 GPD per [unit] |
| | Number of Units: 199 |
| | Total Flow in GPD: 69,650 GPD |
| Sewer (to October Park): | Unit Flow in GPD: 350 GPD per [unit] |
| | Number of Units: 37 |
| | Total Flow in GPD: 12,950 GPD |
| Sewer (Simmons Ridge): | Unit Flow in GPD: 350 GPD per [unit] |
| | Number of Units: 162 |
| | Total Flow in GPD: 56,700 GPD |
- Stream Buffer Note:
There shall be no mowing, clearing, grading, construction, storage, or disturbance of vegetation except as permitted by the City Engineer, or his designee.

Revisions:

Drawing Notes:

GDC
GAMBLE
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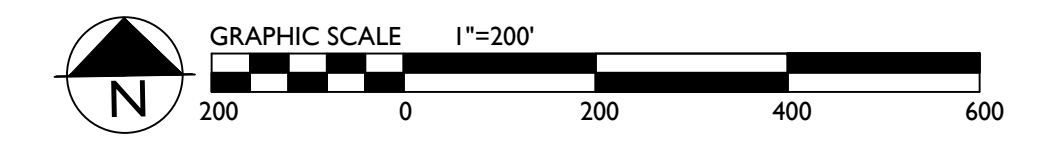


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**SOUTH
UTILITY
PLAN**

C 5.1

Tennessee State Plane Coordinate System
Zone 5301, Fipzone 4100; NAD 83 Datum



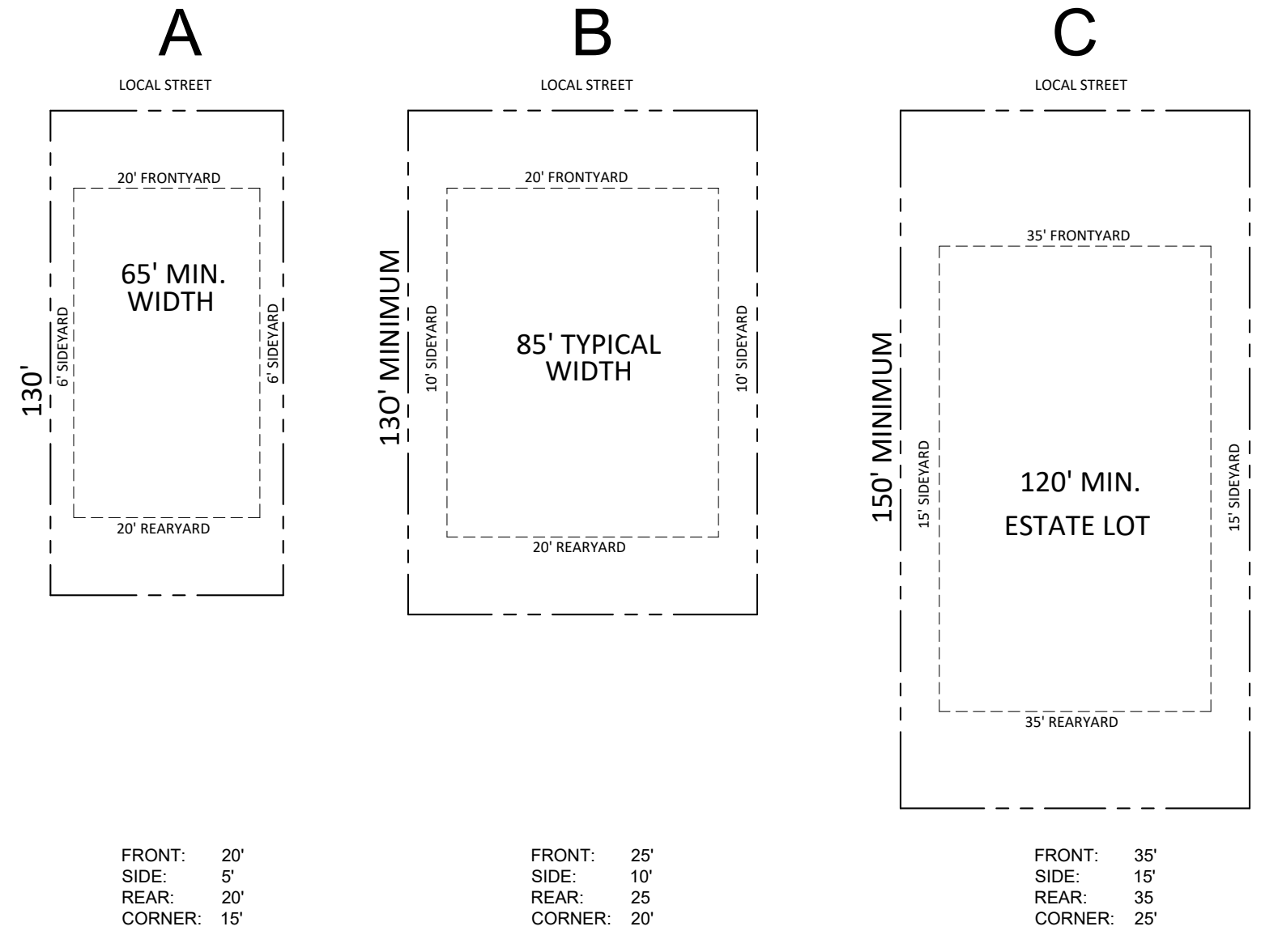
COF XXXX

A



TYPICAL HOME ELEVATION 'A'

- HOME STYLE WITH GARAGE ACCESSED FROM THE FRONT FACING STREET. GARAGE IS RECESSED A MINIMUM OF 10 FEET FROM THE FRONT ELEVATION AND DRIVEWAYS ARE A MINIMUM OF 22' FROM THE SIDEWALK.
- ONE TO TWO STORIES IN HEIGHT.
- MATERIALS INCLUDE BRICK, SIMULATED STONE, CEMENTATIOUS SIDING, AND ARCHITECTURAL SHINGLES.
- THESE ELEVATIONS HAVE BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE CITY OF FRANKLIN'S ARCHITECTURAL DESIGN STANDARDS AND THE APPROVAL OF THE PLANNING COMMISSION/CITY OF FRANKLIN. CHANGES SHALL NOT BE MADE TO THE APPROVED ELEVATIONS UNLESS APPROVED BY EITHER THE CODES DIRECTOR OR THE PLANNING COMMISSION.
- ELEVATIONS SHOWN ARE TYPICAL FOR THIS DEVELOPMENT. FINAL DESIGN PLANS SHALL BE SUBMITTED WITH THE REQUEST FOR BUILDING PERMITS AND SHALL INDICATE COMPLIANCE WITH THE CITY OF FRANKLIN'S ARCHITECTURAL DESIGN STANDARDS, SPECIFICALLY THE REQUIREMENT FOR EXPOSED FOUNDATIONS OR WATER TABLES/ELEVATED FINISHED FLOORS AND GARAGE DOOR SEPARATION/MAXIMUM WIDTHS.
- BUILDINGS WITH SIDE ELEVATIONS FACING A PUBLIC RIGHT-OF-WAY SHALL HAVE WINDOWS AND ARCHITECTURAL FEATURES SIMILAR TO THE FRONT ELEVATION.
- SINGLE FAMILY HOME SQUARE FOOTAGE RANGE: 2200 SF TO 4500 SF
- THE FINISHED FLOOR ELEVATION OF THE FRONT FACADE TO BE A MINIMUM OF 18 INCHES ABOVE THE FINISHED GRADE.
- FRONT FACING GARAGES ARE REQUIRED TO HAVE GARAGE DOORS NO LARGER THAN 9' IN WIDTH WITH A 2' SEPARATION BETWEEN THE DOORS.



TYPICAL LOT DIAGRAMS AND SETBACKS

B



TYPICAL HOME ELEVATION 'B'

- HOME STYLE FOR LOTS WITH GARAGE ACCESSED FROM THE STREET WITH SIDE LOADED GARAGE.
- ONE TO TWO STORIES IN HEIGHT.
- MATERIALS INCLUDE BRICK, SIMULATED STONE, CEMENTATIOUS SIDING, AND ARCHITECTURAL SHINGLES.
- SIDE-LOADED GARAGES
- DRIVEWAY IS A MINIMUM OF 22' FROM THE SIDEWALK TO THE GARAGE DOORS.
- ALL TWO CAR GARAGES SHALL HAVE TWO GARAGE DOORS WITH A MAXIMUM WIDTH OF 9' WIDE WITH A 2 FOOT MINIMUM SEPARATION BETWEEN.
- THESE ELEVATIONS HAVE BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE CITY OF FRANKLIN'S ARCHITECTURAL DESIGN STANDARDS AND THE APPROVAL OF THE PLANNING COMMISSION/CITY OF FRANKLIN. CHANGES SHALL NOT BE MADE TO THE APPROVED ELEVATIONS UNLESS APPROVED BY EITHER THE CODES DIRECTOR OR THE PLANNING COMMISSION.
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- BUILDINGS WITH SIDE ELEVATIONS FACING A PUBLIC RIGHT-OF-WAY SHAL HAVE WINDOWS AND ARCHITECTURAL FEATURES SIMILAR TO THE FRONT ELEVATION.
- SINGLE FAMILY HOME SQUARE FOOTAGE RANGE: 2800 SF TO 5000 SF
- THE FINISHED FLOOR ELEVATION OF THE FRONT FACADE TO BE A MINIMUM OF 18 INCHES ABOVE THE FINISHED GRADE.

C



TYPICAL HOME ELEVATION 'C'

- HOME STYLE FOR LOTS WITH GARAGE ACCESSED FROM THE STREET WITH SIDE LOADED GARAGE.
- ONE TO TWO STORIES IN HEIGHT.
- MATERIALS INCLUDE BRICK, SIMULATED STONE, CEMENTATIOUS SIDING, AND ARCHITECTURAL SHINGLES.
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- BUILDINGS WITH SIDE ELEVATIONS FACING A PUBLIC RIGHT-OF-WAY SHAL HAVE WINDOWS AND ARCHITECTURAL FEATURES SIMILAR TO THE FRONT ELEVATION.
- SINGLE FAMILY HOME SQUARE FOOTAGE RANGE: 2800 SF TO 5000 SF
- THE FINISHED FLOOR ELEVATION OF THE FRONT FACADE TO BE A MINIMUM OF 18 INCHES ABOVE THE FINISHED GRADE.

The home elevations shown here are representative of the homes planned for Colletta Park. They are the basis for design review by the City of Franklin at the time of Site Plan Submittal. Based on my professional experience, the plans presented meet or exceed the design standards set forth by the City of Franklin.

Greg Gamble, Registered Landscape Architect.

COLLETTA PARK PUD SUBDIVISION
 DEVELOPMENT PLAN
 Franklin, Williamson County, Tennessee

Revision	Date
△	_____
△	_____
△	_____
△	_____