

HARPETH SQUARE PUD SUBDIVISION DEVELOPMENT PLAN, REVISION 2

TAX MAP 78 C GROUP D, PARCEL 15

OWNERS

HARPETH ASSOCIATES LLC
198 EAST MAIN STREET
FRANKLIN, TN 37064
CONTACT: STEVE BACON
EMAIL: stevebacon@outlook.com
PHONE: 615.490.4680

DEVELOPERS

HARPETH ASSOCIATES LLC
198 EAST MAIN STREET
FRANKLIN, TN 37064
CONTACT: STEVE BACON
EMAIL: stevebacon@outlook.com
PHONE: 615.490.4680

ARCHITECT

GAMBLE DESIGN COLLABORATIVE, LLC
144 SOUTHEAST PARKWAY, SUITE 200
FRANKLIN TN 37064
CONTACT: GREG GAMBLE, RLA
EMAIL: greggamble209@gmail.com
PHONE: (615) 975-5765

CIVIL ENGINEER

CIVIL AND ENVIRONMENTAL CONSULTANTS, INC
325 SEABORAD LANE, SUITE 170
FRANKLIN, TN 37067
CONTACT: ERIC GARDNER
EMAIL: egardner@cecinc.com
PHONE: 800.673.2326

ARCHITECT

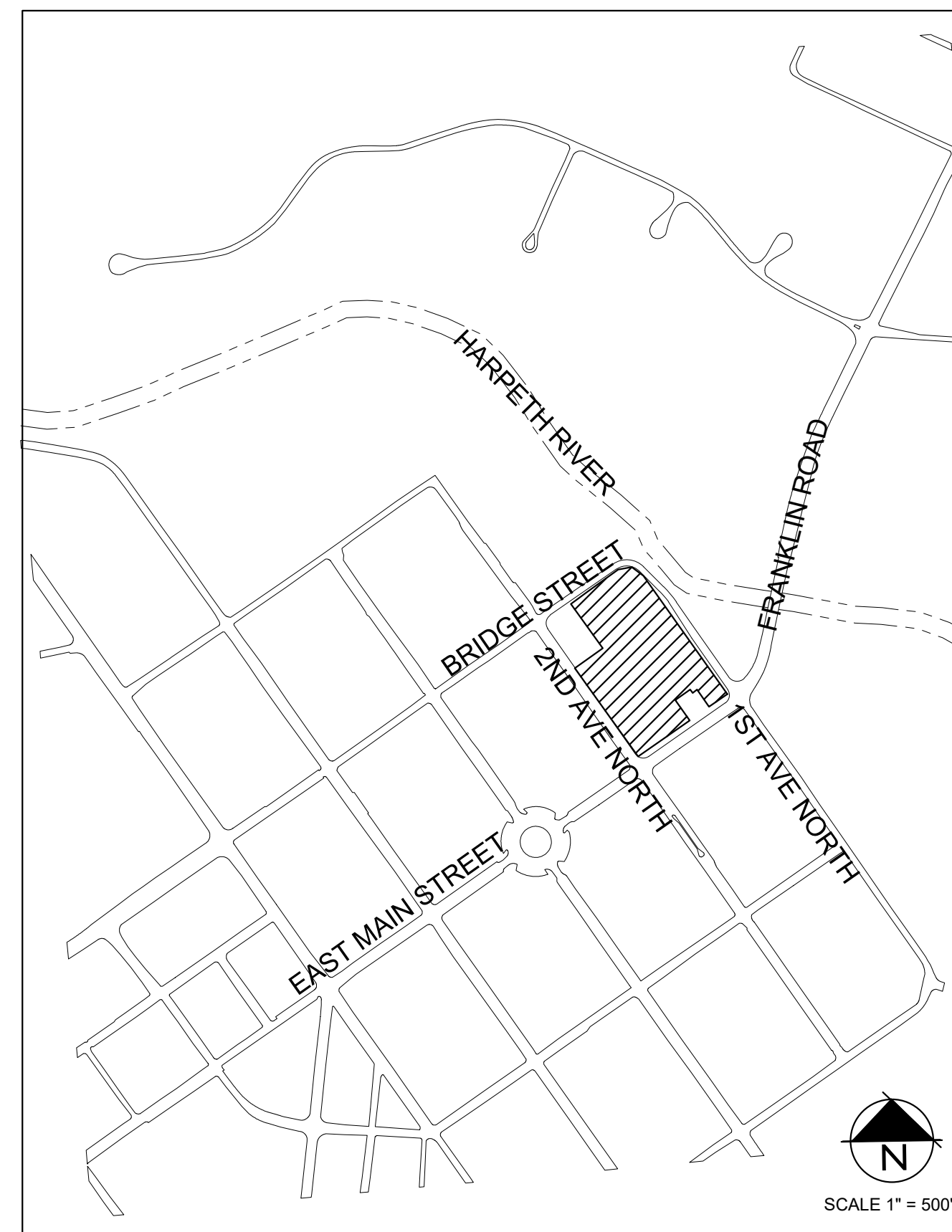
906 STUDIO ARCHITECTS, LLC.
237 2ND AVE SOUTH, SUITE A
FRANKLIN, TN 37064
CONTACT: MICHAEL HATHAWAY
EMAIL: mike.hathaway@906studio.com
PHONE: 615.988.9065

TRAFFIC ENGINEER

FISCHBACH TRANSPORTATION GROUP, INC.
3326 ASPEN GROVE DRIVE
FRANKLIN, TN 37067
CONTACT: GILLIAN FISCHBACH
EMAIL: gillian@ftgtraffic.com
PHONE: 615.498.3130

SURVEYOR

DIVIDING LINE SURVEY SERVICES LLC
985 YELLOW CREEK ROAD
DICKSON, TN 37055
CONTACT: J.R. FAULK
EMAIL: jrfaulk@dividingline.biz
PHONE: 615.838.6052



VICINITY MAP

8TH CIVIL DISTRICT OF WILLIAMSON COUNTY
CITY OF FRANKLIN, WILLIAMSON COUNTY, TENNESSEE



GAMBLE
DESIGN COLLABORATIVE
DEVELOPMENT PLANNING AND
LANDSCAPE ARCHITECTURE
greggamble209@gmail.com

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**PURPOSE STATEMENT - DEVELOPMENT PLAN SUMMARY
REVISION 2**

The only change proposed for this Development Plan Revision is the request to increase the number of Hotel Rooms from 115 rooms to 119 rooms.

MODIFICATION OF STANDARDS APPROVED WITH DEVELOPMENT PLAN REVISION 1, COF #5994

1. New MOS #1. Section 5.5.4 (4) (A) This MOS is to permit Harpeth Square Associates to use the required parkland dedication fees to construct portions of the greenway trail or sidewalks for pedestrian connection to Bicentennial Park. No specific route or quantity of trail has been determined at this time. The applicant shall coordinate with the parks department at site plan. Any remaining fees shall be paid as fees.
2. Request to have a mid-block access on East Main Street (Major Arterial). There will be no access to First Avenue North (Major Collector). The proposed development is located in the urban setting of the historic town center. The proposed access is located at an existing curb cut with sufficient sight lines down Main Street in both directions. Vehicle speeds are typically slow between the intersection of 1st Avenue and 2nd Avenue traffic signals. Request is also made on basis of Purpose Statement #4.

SPECIAL REQUEST - APPROVED WITH DEVELOPMENT PLAN REVISION 1, COF#5994

1. Section 5.10.13 (5) Request to allow valet parking in the right-of-way of 2nd Avenue. Harpeth Associates will work with Planning and Engineering staff prior to site plan submittal on sidewalk placement in regards to new valet parking conditions.

MODIFICATION OF STANDARDS, APPROVED WITH ORIGINAL DEVELOPMENT PLAN COF #4713

1. MOS Request #1. Section 3.5.6 (2) (B) (ii) (A) This is a request to provide setbacks that are respectful of the existing neighborhood buildings, and to align with them to form the building setback line. Staff recommends approval of this MOS. Approved by Planning Commission and BOMA.
2. MOS Request #2. Section 3.5.6 (2) (B) (ii) (B) This is a request for final plans to conform to the development plan PUD as approved by the BOMA, for the percentage of primary building wall occupying the front property line. Approved by Planning Commission and BOMA.
3. MOS Request #3. Section 3.5.6 (2) (B) (ii) (C) This is a request for final plans to conform to the development plan PUD as approved by the BOMA, for the percentage of primary building wall occupying the side street property line. Approved by Planning Commission and BOMA.
4. MOS Request #4. Section 3.5.6 (2) (B) (x) (A) This is a request for a minimum facade variation every 50 feet. Approved by Planning Commission and BOMA.
5. MOS Request #6. Section 5.2.4 (3) (A) Request to save only the trees identified on the development plan. Approved by Planning Commission and BOMA.

DESIGN MODIFICATIONS, APPROVED WITH ORIGINAL DEVELOPMENT PLAN COF #4713

1. Design Modification #1. Section 5.3.5 (3) (B) (i) Request for building length of 573 feet at the longest portion, where the maximum length allowed by the zoning ordinance is 200 feet. Approved by Planning Commission.
2. Design Modification #2. Section 5.3.5 (3) (E) (i) Request for the use of flat roofs versus the required pitched roofs for multifamily structures. Approved by Planning Commission.
3. Design Modification #3. Section 5.3.6 (A) Request for a minimum facade variation every 50 feet. Approved by Planning Commission.
4. Design Modification #4. Section 5.3.6 (B) (A) Request for a maximum of five colors for use on the building facades.

PROPOSED OFFSITE IMPROVEMENTS SCHEDULE

Offsite Water Quantity and Quality Facility. Construction plans will be completed and submitted to the City either concurrent with or prior to the first site plan for the Harpeth Square development. Construction of the improvements will begin after all necessary permits have been issued by the City for this work. Completion of the improvements will be prior to issuance of the first building CO of the development.

1st Avenue and Bridge Street Improvements. Construction plans for the improvements will be submitted with the site plan for the multifamily and commercial portions of the project. Construction will begin after the City has issued a grading permit and any other permits for this work. Completion of the improvements will be prior to issuance of the CO for the multifamily and commercial portion of the development.

Franklin Road/E. Main Street Restriping and Signal Modifications at E. Main Street and 1st Avenue - Construction plans will be submitted with the first site plan for the Harpeth Square development. Construction of the improvements will begin after the City has issued all necessary permits for this work. Completion of the improvements will be prior to issuance of the first building CO of the development.

Intersection Improvements and Signalization of Bridge Street and 2nd Avenue - Construction plans will be submitted with the site plan for the hotel portion of the project. Construction will begin after the City has issued all necessary permits for this work. Completion of the improvements will be prior to issuance of the CO for the hotel portion of the development.

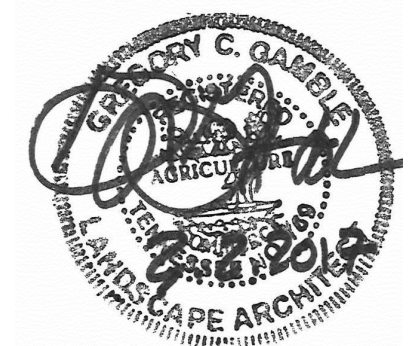
Water Main Upgrades along 2nd Avenue North - Construction plans will be submitted with the site plan for the hotel portion of the project. Construction will begin after the City has issued all necessary permits for this work. Completion of the improvements will be prior to issuance of the CO for the hotel portion of the development.

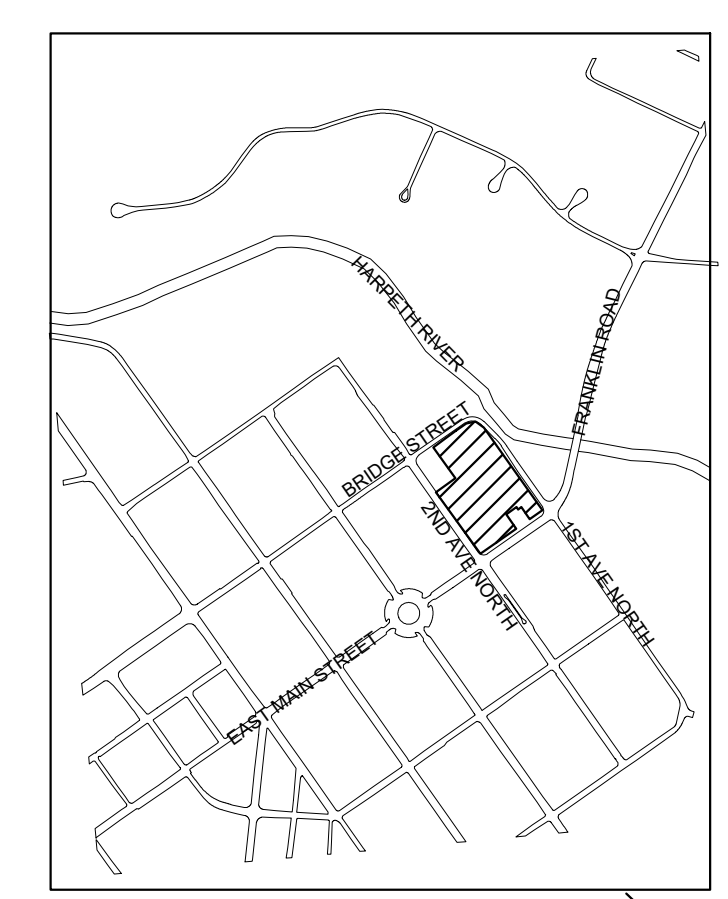
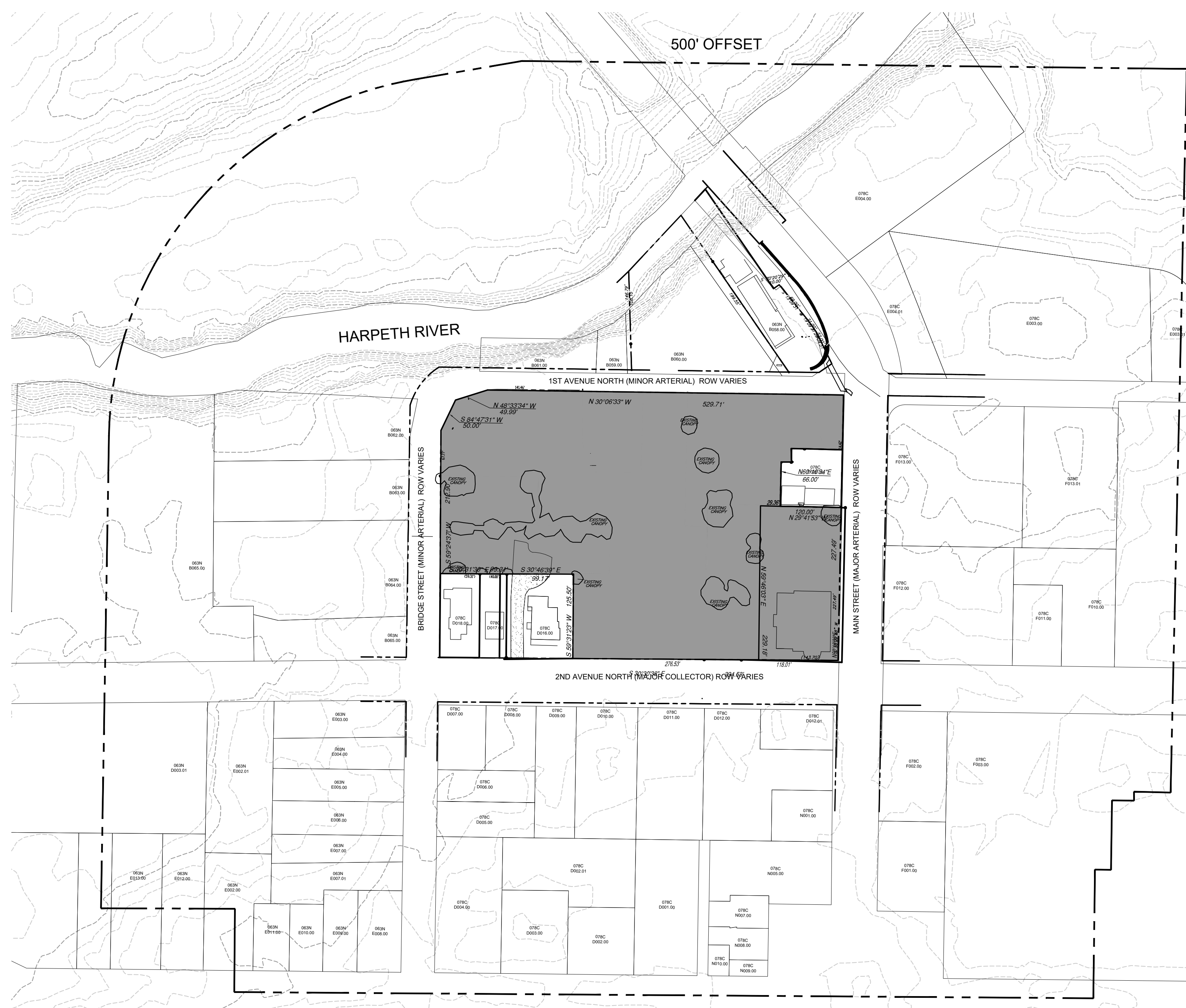
Bridge Street Sanitary Sewer Upgrades - Construction plans will be submitted with the site plan for the multifamily and commercial portions of the project. Construction will begin after the City has issued a grading permit and any other permits for this work. Completion of the improvements will be prior to issuance of the CO for the multifamily and commercial portion of the development.

February 6, 2017

REVISION
1. March 2, 2017

COF # 6356





VICINITY MAP
SCALE 1" = 1000'

SITE DATA:

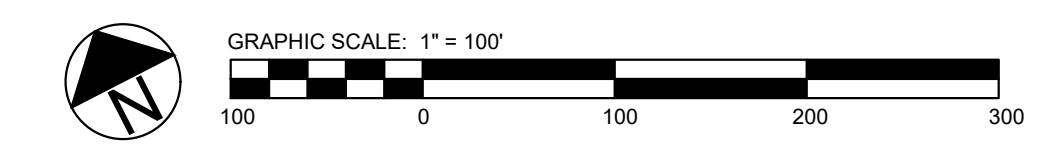
PROJECT NAME: HARPETH SQUARE DEVELOPMENT PLAN REVISION 2
 EXISTING ZONING: (SD-X 33.4 / 35000 / 115)
 PROPOSED ZONING: SPECIFIC DEVELOPMENT VARIETY (SD-X 33.4 / 35000 / 115)
 PROJECT NUMBER: 6356
 LOT NUMBER: ---
 ADDRESS: 112 2ND AVENUE N
 CITY: FRANKLIN, TN
 COUNTY: WILLIAMSON
 STATE: TENNESSEE
 CIVIL DISTRICT: 14TH CIVIL DISTRICT
 CHARACTER OVERLAY: CENTRAL FRANKLIN CHARACTER AREA 1 (CF001)
 OTHER APPLICABLE OVERLAYS: HPO, FFO, FWO
 APPLICABLE DEVELOPMENT STANDARD: TRADITIONAL
 ACREAGE OF SITE: 4.86 AC
 SQUARE FOOTAGE OF SITE: 202,880 SF
 MINIMUM REQUIRED SETBACK LINES: PER DEVELOPMENT PLAN

OWNER: HARPETH ASSOCIATES, LLC
 STEVE BACON
 198 EAST MAIN STREET
 FRANKLIN, TN 37064
 615.900.4888
 stevebacon@outlook.com
 APPLICANT: GAMBLE DESIGN COLLABORATIVE, LLC
 144 SOUTHEAST PARKWAY, SUITE 200
 FRANKLIN, TN 37064
 CONTACT: GREG GAMBLE
 EMAIL: greggambles209@gmail.com
 PHONE: (615) 975-5765

BUILDING SQUARE FOOTAGE: SEE DEVELOPMENT DATA CHART C2.0
 BUILDING COVERAGE: 63.2%
 BUILDING HEIGHT: UP TO 4 STORIES, MAX 54' FOR HOTEL USE AND MAX 51' FOR OTHER USES TO TOP OF PARAPET
 LANDSCAPE SURFACE RATIO: N/A
 MINIMUM LANDSCAPE RATIO: N/A
 INCOMPATIBLE-USE BUFFER REQUIRED: N/A
 MINIMUM PARKING REQUIRED: SEE DEVELOPMENT DATA CHART C2.0
 MAXIMUM PARKING LIMIT: N/A
 EXISTING PARKING (IF APPLICABLE): N/A
 PARKING PROVIDED: SEE DEVELOPMENT DATA CHART C2.0
 RESIDENTIAL DENSITY: 33.4 DU/A
 TREE CANOPY: 92% PRESERVED (SEE MOS REQUEST)
 OPEN SPACE (FORMAL, INFORMAL AND TOTAL): 3%, 6,089 SF REQUIRED
 3.1%, 6,312 SF FORMAL PROVIDED

ADJACENT PROPERTY OWNERS

PRCLID	Property Address	Owner	Owner Address	City	State	ZIP	Zoning	Zoning Overlays	Character Area	Dev Standard	Ex Landuse
063N-B05700	151 FRANKLIN RD	BETHURM ALVA JEFFERSON	151 FRANKLIN RD	FRANKLIN	TN	37064	R-1	HPO, FFO, FWO, HHO	CF00-1	TR	AGRICULTURE
063N-B05800	94 -98 E MAIN ST	FIRST AND MAIN LLC	PO BOX 577	FRANKLIN	TN	37065	CC	HPO, FFO, FWO, HHO	CF00-1	TR	RETAIL
063N-B05900	140 1ST AVE N	TYWATER EARL	2033 CARTERS CREEK PK	FRANKLIN	TN	37064	CC	HPO, FFO, FWO, HHO	CF00-1	TR	VACANT
063N-B06000	105 1ST AVE N	FIRST & MAIN LLC	PO BOX 577	FRANKLIN	TN	37065	CC	HPO, FFO, FWO, HHO	CF00-1	TR	COMMERCIAL
063N-B06100	144 1ST AVE N	TYWATER WILLIAM EARL	2033 CARTERS CREEK PK	FRANKLIN	TN	37064	CC	HPO, FFO, FWO, HHO	CF00-1	TR	VACANT
063N-B06200	106 BRIDGE ST	ANDERSON LEE A	503 MURFREESBORO RD	FRANKLIN	TN	37064	CC	HPO, FFO, FWO, HHO	CF00-1	TR	INDUSTRIAL
063N-B06300	108 BRIDGE ST	MCCONNELL JASON	227 OLD PEYTONSVILLE RD	FRANKLIN	TN	37064	CC	HPO, FFO, FWO	CF00-1	TR	RETAIL
063N-B06400	112 BRIDGE ST	HERITAGE FOUNDATION OF FRANKLIN & WI	PO BOX 723	FRANKLIN	TN	37065-0723	CC	HPO, FFO, FWO	CF00-1	TR	INSTITUTIONAL
063N-B06500	240-242 2ND AVE N	WORLEY AUTO PARTS & CRUSHING OF FRAN	PO BOX 1487	OLIVE BRANCH	MS	38654	CC	HPO, FFO, FWO, HHO	CF00-1	TR	INDUSTRIAL
063N-B06501	144 BRIDGE ST	LYNCH GEORGE DWIGHT	4811 BYRD LN	COLLEGE GROVE	TN	37046	CC	HPO, FFO	CF00-1	TR	RETAIL
063N-C00101	150 FRANKLIN RD	BATTLE GROUND ACADEMY	P O BOX 1889	FRANKLIN	TN	37065	R-2	HPO, FFO, FWO, HHO	CF00-1	TR	INSTITUTIONAL
063N-E00021	N MARGIN ST	MOORE ROBERT M JR	2406 GOOSE CREEK BY PASS	FRANKLIN	TN	37064	OR	HPO, FFO, FWO, HHO	CF00-1	TR	VACANT
063N-E00020	218 3RD AVE N	LANZ ENTERPRISES LLC	218 3RD AVE N	FRANKLIN	TN	37064	OR	HPO, FFO, FWO	CF00-1	TR	MIXED USE
063N-E00021	2ND AVE	CLAY J L SENIOR CITIZENS CENTER OF W	420 BRIDGE ST	FRANKLIN	TN	37064	OR	HPO, FFO, FWO, HHO	CF00-1	TR	RECREATION
063N-E00030	202 BRIDGE ST	WILLIAMSON COUNTY	1320 WEST MAIN ST	FRANKLIN	TN	37064	OR	HPO, FFO	CF00-1	TR	COMMERCIAL
063N-E00400	206 BRIDGE ST	COUSTRAS EVANGELAS E	140 MIDDLEBORO CIR	FRANKLIN	TN	37064	OR	HPO, FFO, FWO	CF00-1	TR	OFFICE
063N-E00500	210 BRIDGE ST	BARBER ROY E JR	210 BRIDGE ST	FRANKLIN	TN	37064	OR	HPO, FFO, FWO	CF00-1	TR	RESIDENTIAL
063N-E00600	214 BRIDGE ST	ALCOTT ROUTION PROPERTIES II	P O BOX 264	FRANKLIN	TN	37065	OR	HPO, FFO, FWO	CF00-1	TR	RESIDENTIAL
063N-E00700	216 BRIDGE ST	ALLEN JASON P	PO BOX 264	FRANKLIN	TN	37065	OR	HPO, FFO, FWO	CF00-1	TR	RESIDENTIAL
063N-E00701	220 BRIDGE ST	ALLEN JASON P	PO BOX 264	FRANKLIN	TN	37065	OR	HPO, FFO, FWO	CF00-1	TR	RESIDENTIAL
063N-E00800	202 3RD AVE N	PLATTSMIER DANIEL R SR	202 THIRD AVE N	FRANKLIN	TN	37064	OR	HPO	CF00-1	TR	RESIDENTIAL
063N-E00900	204 3RD AVE N	OGILVIE JAMES F	400 SUGARTREE LN #200	FRANKLIN	TN	37064	OR	HPO, HHO	CF00-1	TR	INSTITUTIONAL
063N-E01000	210 3RD AVE N	COMER WILLIAM TERRY	P O BOX 1265	FRANKLIN	TN	37065	OR	HPO, HHO	CF00-1	TR	OFFICE
063N-E01100	216 3RD AVE N	BURCHAM GRAHAM	216 3RD AVE N	FRANKLIN	TN	37064	OR	HPO, HHO	CF00-1	TR	OFFICE
063N-E01200	224 3RD AVE N	EPIC ENTERPRISES LLC	224 3RD AVE N	FRANKLIN	TN	37064	OR	HPO, FFO, HHO	CF00-1	TR	OFFICE
078C-D00100	110 3RD AVE N	INMAN GORDON E	2463 HIDDEN RIVER LN	FRANKLIN	TN	37069	CC	HPO	CF00-1	TR	COMMERCIAL
078C-D00200	118 3RD AVE N	RON SHUFF FAMILY PARTNERSHIP LP	118 3RD AVE N	FRANKLIN	TN	37064	CC	HPO	CF00-1	TR	RETAIL
078C-D00201	3RD AVE	INMAN GORDON E	2463 HIDDEN RIVER LN	FRANKLIN	TN	37069	CC	HPO	CF00-1	TR	COMMERCIAL
078C-D00300	126 3RD AVE N	YUSPEH ALAN R	126 3RD AVE N	FRANKLIN	TN	37064	CC	HPO	CF00-1	TR	RESIDENTIAL
078C-D00400	138 3RD AVE N	HILL EDWARD MONROE	138 3RD AVE N	FRANKLIN	TN	37064	CC	HPO	CF00-1	TR	OFFICE
078C-D00500	223 BRIDGE ST	SHUFF RONALD L	118 3RD AVE N	FRANKLIN	TN	37064	CC	HPO	CF00-1	TR	RESIDENTIAL
078C-D00600	227 BRIDGE ST	HASSELL ROBERT H II	227 BRIDGE ST	FRANKLIN	TN	37064	CC	HPO	CF00-1	TR	OFFICE
078C-D00700	145 2ND AVE N	SHUFF RONALD L	127 2ND AVE N	FRANKLIN	TN	37064	CC	HPO	CF00-1	TR	RESIDENTIAL
078C-D00800	135 2ND AVE N	SHUFF RONALD L	127 2ND AVE N	FRANKLIN	TN	37064	CC	HPO	CF00-1	TR	OFFICE
078C-D00900	127 2ND AVE N B	SHUFF RONALD L	118 3RD AVE N	FRANKLIN	TN	37064	CC	HPO	CF00-1	TR	COMMERCIAL
078C-D01000	127 2ND AVE N A	SHUFF RONALD L	118 3RD AVE N	FRANKLIN	TN	37064	CC	HPO	CF00-1	TR	RETAIL
078C-D01100	121 2ND AVE N	HARPETH SECOND AVE. ASSOC LLC	98 E MAIN ST #3	FRANKLIN	TN	37064	CC	HPO	CF00-1	TR	OFFICE
078C-D01200	208 E MAIN ST	INMAN GORDON E	2463 HIDDEN RIVER LN	FRANKLIN	TN	37069	CC	HPO	CF00-1	TR	OFFICE
078C-D01201	208 E MAIN ST	INMAN GORDON E	2463 HIDDEN RIVER LN	FRANKLIN	TN	37069	CC	HPO	CF00-1	TR	RETAIL
078C-D01300	198 E MAIN ST	HARPETH ASSOCIATES LLC	144 SOUTHEAST PKWY #230	FRANKLIN	TN	37064	CC	HPO	CF00-1	TR	OFFICE
078C-D01400	112 2ND AVE N	HARPETH ASSOCIATES LLC	PO BOX 577	FRANKLIN	TN	37065	CC	HPO	CF00-1	TR	OFFICE
078C-D01500	122 2ND AVE N	HARPETH ASSOCIATES LLC	144 SOUTHEAST PKWY #230	FRANKLIN	TN	37064	CC	HPO	CF00-1	TR	VACANT
078C-D01600	134 2ND AVE N	DANMARK COMPANY	2060 HILLSBORO RD	FRANKLIN	TN	37069	CC	HPO	CF00-1	TR	RESIDENTIAL
078C-D01601	113 BRIDGE ST	HARPETH ASSOCIATES LLC	144 SOUTHEAST PKWY #230	FRANKLIN	TN	37064	CC	HPO	CF00-1	TR	VACANT
078C-D01700	142 2ND AVE N	HAYES PAT	142 2ND AVE N	FRANKLIN	TN	37064	CC	HPO	CF00-1	TR	RETAIL
078C-D01800	144 2ND AVE N	ENTRUST TENNESSEE INC	750 OLD HICKORY BLVD B2 STE 150	BRENTWOOD	TN	37027	CC	HPO	CF00-1	TR	RESIDENTIAL
078C-D02000	111 BRIDGE ST	HARPETH ASSOCIATES LLC	144 SOUTHEAST PKWY #230	FRANKLIN	TN	37064	CC	HPO	CF00-1	TR	VACANT
078C-D02200	133 1ST AVE N	HARPETH ASSOCIATES LLC	144 SE PARKWAY STE 230	FRANKLIN	TN	37064	CC	HPO	CF00-1	TR	INDUSTRIAL
078C-D02300	107 1ST AVE N	HARPETH ASSOC LLC	144 SOUTHEAST PKWY #230	FRANKLIN	TN	37064	CC	HPO	CF00-1	TR	OFFICE
078C-D02301	109 1ST AVE N	HARPETH ASSOC LLC	144 SOUTHEAST PKWY #230	FRANKLIN	TN	37064	CC	HPO	CF00-1	TR	RETAIL
078C-D02400	104 E MAIN ST	HARPETH ASSOCIATES LLC	PO BOX 577	FRANKLIN	TN	37065	CC	HPO	CF00-1	TR	RESIDENTIAL
078C-D02500	114 E MAIN ST	TOMLIN FAMILY PROPERTIES G P	5865 E ASHLAND DR	NASHVILLE	TN	37208	CC	HPO	CF00-1	TR	RESIDENTIAL
078C-E00000	121 1ST AVE S	FIRST AVENUE SOUTH LLC	121 1ST AVE S #240	FRANKLIN	TN	37064	CC	HPO, FFO	CF00-1	TR	OFFICE
078C-E00031	131 1ST AVE S	LINKFOUR ENTERPRISES INC	109 CHURCH ST	FRANKLIN	TN	37064	CC	HPO, FFO	CF00-1	TR	VACANT
078C-E00400	95 E MAIN ST	CROSSFIRE DEVELOPMENT LLC	121 FIRST AVE S	FRANKLIN	TN	37064	CC	HPO, FFO, FWO, HHO	CF00-1	TR	VACANT
078C-E00401	99 E MAIN ST	CROSSFIRE DEVELOPMENT LLC	121 FIRST AVE S #210	FRANKLIN	TN	37064	CC	HPO, FFO	CF00-1	TR	RETAIL
078C-E00500	151 AVE	LIGON MATTHEW C	110 WINSLOW RD	FRANKLIN	TN	37064	CC	HPO, FFO, FWO, HHO	CF00-1	TR	VACANT
078C-F00100	231 PUBLIC SQ	FIRST TENNESSEE BANK NATIONAL ASSOC	CONY TAX MO 3 PO BOX 84	MEMPHIS	TN	38101	CC	HPO	CF00-1	TR	OFFICE
078C-F00200	209 E MAIN ST	WILLY TONY STACK JR ETAL	1205 3RD AVE N	NASHVILLE	TN	37208	CC	HPO	CF00-1	TR	COMMERCIAL
078C-F00300	108-109 3RD AVE S	CITY OF FRANKLIN	P O BOX 305	FRANKLIN	TN	37065	SD-R	HPO	CF00-1	TR	INSTITUTIONAL
078C-F400	202 CHURCH ST	HARWOOD RE HOLDINGS LLC	3706 ESTES RD	NASHVILLE	TN	37215	CC	HPO	CF00-1	TR	RESIDENTIAL
078C-F00500	145 2ND AVE N	PRYOR NORMAN M	145 2ND AVE S	FRANKLIN	TN	37064	CC	HPO	CF00-1	TR	RESIDENTIAL
078C-F01000	133 2ND AVE S	CHURCH CATHOLIC ROMAN	113 2ND AVE S	FRANKLIN	TN	37064	CC	HPO	CF00-1	TR	INSTITUTIONAL
078C-F01100	125 2ND AVE S	MASONIC LODGE	125 2ND AVE S	FRANKLIN	TN	37064	CC	HPO	CF00-1	TR	INSTITUTIONAL
078C-F01200	113 2ND AVE S	CHURCH CATHOLIC ROMAN	113 2ND AVE S	FRANKLIN	TN	37064	CC	HPO	CF00-1	TR	INSTITUTIONAL
078C-F01300	101 E MAIN ST	KMREC EDWARD J REV BISHOP ROMAN CATH	113 2ND AVE S	FRANKLIN	TN	37064	CC	HPO	CF00-1	TR	INSTITUTIONAL
078C-F01301	124 1ST AVE S	JORDAN DAN H	P O BOX 150865	NASHVILLE	TN	37215	CC	HPO	CF00-1	TR	OFFICE
078C-N00100	212-14 E MAIN ST	DEPRIEST WILLIAM T	2060 HILLSBORO RD	FRANKLIN	TN	37069	CC	HPO	CF00-1	TR	RESIDENTIAL
078C-N00500	228 PUBLIC SQ	INMAN GORDON E	38 FOUNTAIN SQ PLAZA	CINCINNATI	OH	45263	CC	HPO	CF00-1	TR	OFFICE
078C-N00700	232 PUBLIC SQ	ZONGOR KENNETH	232 PUBLIC SQUARE	FRANKLIN	TN	37064	CC	HPO	CF00-1	TR	OFFICE
078C-N00800	236 PUBLIC SQ	BERRY NANCY R LE	309 BERRY CIR	FRANKLIN	TN	37064	CC	HPO	CF00-1	TR	OFFICE
078C-N00900	238 PUBLIC SQ	BILLINGTON HARRY LEE	117 LEWISBURG AVE	FRANKLIN	TN	37064	CC	HPO	CF00-1	TR	OFFICE
078C-N01000	3RD AVE	BERRY NANCY R LE	309 BERRY CIR	FRANKLIN	TN	37064	CC	HPO	CF00-1	TR	COMMERCIAL



LEGAL DESCRIPTION

Being a certain parcel of land located in the City of Franklin, 9th Civil District of Williamson County, Tennessee, being an overall description of the property located at Tax Map 78C Parcel 15, and being more particularly described as follows:

BEGINNING at a point, said point being the intersection of the westerly margin of 1st Avenue North and the northerly margin of Main Street;

THENCE, with the westerly margin of 1st Avenue North N 30°06'33" W - 529.71' to a railroad spike in the asphalt;

THENCE: S 84°47'31" W - 60.00' to a railroad spike in the asphalt on the southerly margin of Bridge Street;

THENCE: with the southerly margin of Bridge Street S 59°34'33" W - 212.90' to an iron rod, said iron rod being the northeast corner of the Entrust Tennessee property as evidenced in Bk 4054 Pg 213 ROWC, TN;

THENCE: leaving the southerly margin of Bridge Street and with the easterly boundary of Entrust Tennessee S 30°31'30" E, passing through an iron rod at 59.31', said iron rod being the southeast corner of the Entrust Tennessee property and the northeast corner of the Pat Hayes property as evidenced in Bk 4054 Pg 213 ROWC, TN, in all 99.31' to an iron rod, said iron rod being Hayes' southeast corner and being the northeast corner of Lot 1 of the DePriest Subdivision as evidenced in Plat Bk 61 Pg 80 ROWC, TN;

THENCE: leaving Hayes and with the easterly boundary of Lot 1 and the westerly boundary of Lot 2 of the DePriest Subdivision S 30°46'39" E - 99.17' to an iron rod;

THENCE: leaving Lot 2 and with the southerly boundary of Lot 1 S 59°31'23" W - 125.50' to an iron rod situated on the northerly margin of 2nd Avenue North;

THENCE: leaving DePriest Subdivision and with the easterly margin of 2nd Avenue North S 30°30'38" E - 384.50' to a point, said point being the intersection of the easterly margin of 2nd Avenue North and the northerly margin of Main Street;

THENCE: with the northerly margin of Main Street N 60°16'00" E - 227.49' to a point in the sidewalk, said point being the southwest corner of the Tomlin Family Partners, GP property as evidenced in Bk 3518 Pg 65 ROWC, TN;

THENCE: leaving the northerly margin of Main Street and with the Tomlin Family Partners, GP property the following calls:

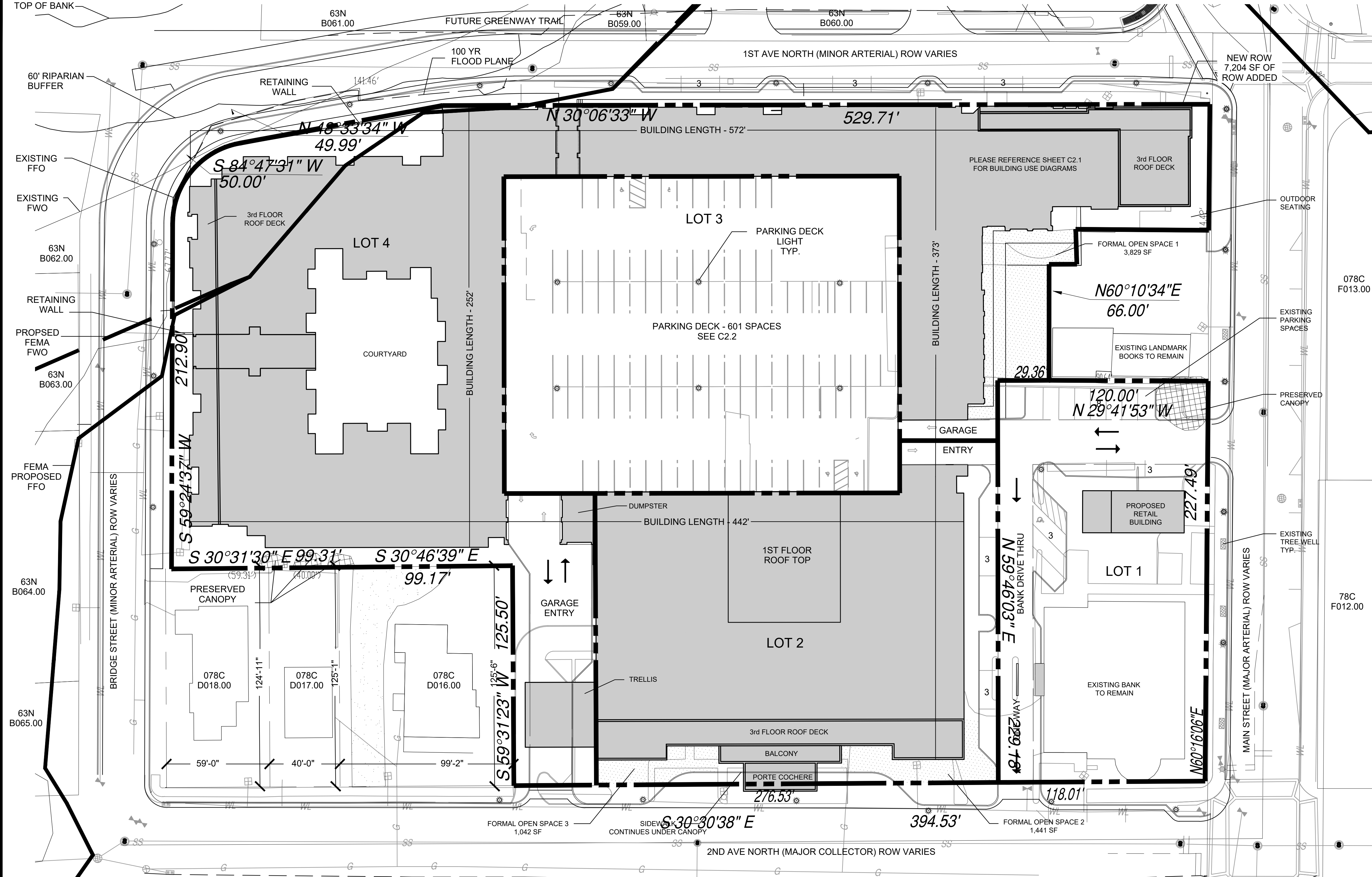
N 29°41'53" W - 86.00' to an iron rod;
 N 60°10'34" E - 66.00' to an iron rod;
 S 30°24'06" E - 15.31' to an iron rod;
 N 57°58'10" E - 20.00' to a point;
 S 30°25'15" E - 20.00' to an iron rod;
 S 29°21'40" E - 56.24' to a point in the northerly margin of Main Street;

THENCE: N 60°16'00" E - 81.35' to the POINT OF BEGINNING.

Containing 4.86 acres ± (202,953 square feet), according to surveys by Dividing Line Survey Services.

GDC
GAMBLE
 DESIGN COLLABORATIVE
 DEVELOPMENT PLANNING AND
 LANDSCAPE ARCHITECTURE
 DATE: NOV 9, 2015

906
STUDIO
 ARCHITECTS



SITE DATA:

PROJECT NAME:	HARPETH SQUARE DEVELOPMENT PLAN REVISION 2
EXISTING ZONING:	SPECIFIC DEVELOPMENT-VARIETY (SD-X 33.4 / 35000 / 115)
PROPOSED ZONING:	SPECIFIC DEVELOPMENT-VARIETY (SD-X 33.4 / 35000 / 119)
PROJECT NUMBER:	6356
SUBDIVISION:	77
ADDRESS:	112 2ND AVENUE N, FRANKLIN, TN
CITY:	FRANKLIN, TN
COUNTY:	WILLIAMSON, TENNESSEE
STATE:	14TH CIVIL DISTRICT
CIVIL DISTRICT:	CENTRAL FRANKLIN CHARACTER AREA 1 (CFCO1)
CHARACTER OVERLAY:	HPO FFO FMD
OTHER APPLICABLE OVERLAYS:	TRADITIONAL
APPLICABLE DEVELOPMENT STANDARD:	4.66 AC
ACREAGE OF SITE:	202,980 SF
SQUARE FOOTAGE OF SITE:	PER DEVELOPMENT PLAN
MINIMUM REQUIRED SETBACK LINES:	
OWNER:	HARPETH ASSOCIATES, LLC STEVE BACON 198 EAST MAIN STREET FRANKLIN, TN 37064 615.600.4880 stevebacon@outlook.com
APPLICANT:	GAMBLE DESIGN COLLABORATIVE, LLC 144 SOUTHEAST PARKWAY, SUITE 200 FRANKLIN, TN 37064 CONTACT: GREG GAMBLE EMAIL: greggamb209@gmail.com PHONE: (615) 975-5765

STATEMENT OF IMPACTS

MAJOR THOROUGHFARE PLAN (SEE C2.2 DAILY SITE-GENERATED TRAFFIC VOLUMES ON CITY STREETS CHART)

***PER CITY ENGINEERING STAFF, THE STORAGE LENGTH FOR THE WESTBOUND LEFT TURN LANE ONTO SOUTHBOUND 1ST AVENUE SHALL BE 125 LF, AND IS TO BE INCLUDED IN THE WORK THAT WOULD PROVIDE A DEDICATED WESTBOUND RIGHT TURN LANE IN FRONT OF PUCKETT'S BOATHOUSE.

WATER SERVICE WILL BE PROVIDED BY THE CITY OF FRANKLIN. THE WATER MAIN WILL BE SERVED FROM A MAIN ALONG 1ST AVENUE AND MAIN STREET (SEE UTILITIES SHEET FOR WATER DEMAND INFORMATION).

SEWER SERVICE WILL BE PROVIDED BY THE CITY OF FRANKLIN. SEWER MAIN CONNECTION AT MANHOLE LOCATED ON BRIDGE STREET.

DRAINAGE FACILITIES: THE PROPERTY WILL BE DRAINED TO THE HARPETH RIVER. THIS PUD PROPOSAL INCLUDES THE DEVELOPMENT OF THE CITY OF FRANKLIN'S DETENTION FACILITY WITHIN BICENTENNIAL PARK. EXISTING ROADWAY AND AREA DRAINS WITH DIRECT DISCHARGE INTO THE HARPETH RIVER ALONG 1ST AVENUE WILL BE ABANDONED. STORMWATER WILL BE TREATED PER THE CITY OF FRANKLIN'S STORMWATER MANAGEMENT REQUIREMENTS.

POLICE AND FIRE: FRANKLIN FIRE DEPT STATION #1 - 0.75 MILES DRIVING DISTANCE
COLUMBIA AVE POLICE STATION - 0.53 MILES DRIVING DISTANCE

RECREATION FACILITIES: HARLINSDALE PARK - 0.5 MILES DRIVING DISTANCE
BICENTENNIAL PARK - 0.1 MILES DRIVING DISTANCE

PROJECTED STUDENT POPULATION: THE STUDENT POPULATION IS PROJECTED AT A RATE OF .23 STUDENTS PER MULTIFAMILY UNIT. 160 X 23 = 37 STUDENTS

PER MULTIFAMILY UNIT: 160 X 23 = 37 STUDENTS

JOHNSON ELEMENTARY SCHOOL: 0.92 MILES
FREEDOM MIDDLE SCHOOL: 1.62 MILES
FRANKLIN HIGH SCHOOL: 1.72 MILES

REFUSE COLLECTION: REFUSE COLLECTION SERVICE WILL BE PROVIDED BY PRIVATE COLLECTION.

RESTRICTIVE COVENANTS: A BUSINESS ASSOCIATION WILL BE ESTABLISHED PRIOR TO THE FIRST OCCUPANCY. COMMON AREAS WILL BE MAINTAINED JOINTLY WHERE GOVERNED BY THE ASSOCIATION DOCUMENTS.

INCOMPATIBLE USE BUFFER

NOT APPLICABLE

PARKLAND DEDICATION

PARKLAND DEDICATION SHALL BE FEE IN LUE FOR THIS DEVELOPMENT PLAN.

35 X 1200SF = 42,000 SF 125 X 600SF = 75,000 SF
TOTAL PARKLAND DEDICATION AREA: 117,000 SF
(SEE MODIFICATION OF STANDARDS REQUEST)

HYDRANT FIRE FLOW

84 PSI FROM 2.5" OUTLET
FLOW: 1537 GPM 10,509 GPM
STATIC PRESSURE: 90 PSI 0.92 MILES
RESIDUAL PRESSURE: 88 PSI 1.72 MILES

STREAMSIDE BUFFER VARIANCE

A VARIANCE HAS BEEN GRANTED BY CITY STAFF FOR THE REQUIRED ADDITIONAL STREAM BUFFER FOR STEEP SLOPES, AND THUS NO STREAM BUFFERS AFFECT THIS DEVELOPMENT.

STREAMSIDE BUFFER ENHANCEMENT

ENHANCEMENT SHALL INCLUDE REMOVAL OF INVASIVE SPECIES AND THE RE-ESTABLISHMENT OF NATIVE SPECIES WHICH PROVIDES A MIX OF CANOPY TREES, UNDERSTORY SHRUBS, AND A NATIVE SEED MIX OF FORBES/GRASSES/SEDGES/RUSHES SUITABLE FOR A MOIST SHADED UNDERSTORY ALONG THE BANKS OF THE HARPETH RIVER.

THERE SHALL BE NO CLEARING, GRADING, CONSTRUCTION, STORAGE, OR DISTURBANCE OF VEGETATION ALLOWED IN THE STREAM BUFFER EXCEPT AS PERMITTED BY THE CITY ENGINEER.

ENHANCEMENT SHALL BE ABOVE THE NORMAL HIGH WATER MARK ONLY, AND SHALL BE BETWEEN THE NORMAL HIGH WATER MARK WITHIN THE 60 FOOT RIPARIAN BUFFER.

PHASING

HARPETH SQUARE PUD WILL BE DEVELOPED IN ONE PHASE.

LOT AREAS

LOT	USE	AREA
LOT 1	BANK/RETAIL	27,248 SF
LOT 2	HOTEL	39,796 SF
LOT 3	GARAGE	40,805 SF
LOT 4	RESIDENTIAL/RETAIL	86,861 SF
1ST AVE RIGHT OF WAY ADDITION		7,204 SF

ADJACENT BUILDING HEIGHTS

PRCL ID	ADDRESS	BUILDING HEIGHT
063N-B06300	94-98 E MAIN ST	26'
063N-B06200	106 BRIDGE ST	17'
063N-B06300	108 BRIDGE ST	37'
063N-B06400	112 BRIDGE ST	29'
063N-B06501	144 BRIDGE ST	12'
078C-D00700	145 2ND AVE N	20'
078C-D00800	135 2ND AVE N	34'
078C-D00900	127 2ND AVE N	15'
078C-D01100	121 2ND AVE N	136"
078C-D01200	208 E MAIN ST	14'
078C-D01201	206 E MAIN ST	34'
078C-D01300	198 E MAIN ST	38'
078C-D01600	134 2ND AVE N	25'
078C-D01700	142 2ND AVE N	31'
078C-D01800	144 2ND AVE N	24'
078C-D02000	114 E MAIN ST	28'
078C-F01200	113 2ND AVE S	32'
078C-F01300	101 E MAIN ST	35'

OPEN SPACE REQUIREMENT CHART

MINIMUM OPEN SPACE REQUIREMENT: 3%
3% * 202,980 TOTAL SITE SF = 6,089 SF
PROVIDED OPEN SPACE: 3.1% (6,312 SF)
NOTE: 100% OF OPEN SPACE IS FORMAL

OPEN SPACE PROVIDED:

KEY	CLASSIFICATION	TYPE	AREA (SF)
AREA 1	FORMAL	PLAZA	3,829
AREA 2	FORMAL	PLAZA	1,441
AREA 3	FORMAL	PLAZA	1,042

DEVELOPMENT DATA AND PARKING REQUIREMENTS:

Building	Use	Unit	Required Parking per City of Franklin	
			Ratio	Total
Landmark Bank	Existing Bank	6000 SF	5 per 1000	30
	Office - 2nd	3000 SF	2.85 per 1000	9
Hotel	119 Hotel Rms	119 RM	1 per room	119
	Employees (Hotel)	25 P	.75 per emp	19
	Assembly	537 P	.17 per max occ	92
Apartments	Restaurant	6727 SF	7.5 per 1000	51
	Employees (Rest)	16 P	.75 per emp	12
	1 bed	61	1 per rm	61
	2 bed	75	1.5 per rm	113
Retail/Commercial	3 bed	14	2 per rm	28
	Restaurant	4300 SF	7.5 per 1000	33
	Employee	16 Ea	.75 per emp	12
Total Required	Outdoor	20 Ea	.67 per seat	14
				628
Total Provided				630

PARKING PROVIDED:

PARKING PROVIDED: GARAGE 601 ON-STREET 12 SURFACE PARKING 17 GROUND PARKING

TOTAL VEHICULAR PARKING SPACES 630

BANK 12 - HOTEL 6+ GARAGE 112 = 130

TOTAL BICYCLE PARKING SPACES (1:10) = 13

MINIMUM AND MAXIMUM SQUARE FOOTAGES OF NON-RESIDENTIAL AREAS:

PRIMARY USE	MINIMUM SQ. FT.	MAXIMUM SQ. FT.
EXISTING BANK	12,000 (EXISTING)	12,000 (EXISTING)
HOTEL	90,000	115,000
RESTAURANT	3,500	5,000
RETAIL	11,000	18,000

*NOTE: THIS CHART IS TO ALLOW FLEXIBILITY FOR EACH UNIT AS IT TRANSITIONS TO THE FINAL SITE PLAN

LAND USE PLAN COMPLIANCE

CHARACTER AREA OVERLAY: CFCO-1 TRADITIONAL

APPLICABLE DEVELOPMENT STANDARD:

- THIS BLOCK IS LOCATED ON THE NORTH EASTERN CORNER OF THE CENTRAL FRANKLIN CHARACTER AREA 1.
- THE DEVELOPMENT PATTERN SHOULD FOLLOW THE STANDARDS FOR TRADITIONAL AREAS. THE PROPOSED PUD MASTER PLAN UTILIZES PLANNING AND ARCHITECTURAL PRINCIPLES FOR TRADITIONAL DESIGN. BUILDINGS ARE ORIENTED TO THE STREET, WITH PARKING HIDDEN WITHIN THE CENTER OF THE SITE. BUILDING ELEVATIONS ARE DESIGNED WITH VARYING WIDTHS AND WITH QUALITY EXTERIOR MATERIALS. RESIDENTIAL AND NON-RESIDENTIAL ARE INTEGRATED IN THE SAME BLOCK. RETAIL USES ARE LOCATED ON THE STREET LEVEL WITH ON-STREET PARKING ADDED AROUND THE BLOCK FOR PATRON USE.
- BUILDINGS MAY BE AT A SCALE UP TO THREE STORIES. FOUR STORY BUILDINGS MAY BE PERMITTED PURSUANT TO A PUD IN CERTAIN CIRCUMSTANCES. A MIX OF THREE AND FOUR STORY BUILDINGS ARE PROPOSED WITHIN THE PUD. AS DEPICED ON SHEET A 1.0, MANY THREE STORY COMMERCIAL AND MIXED USE BUILDINGS WITHIN THE CENTRAL FRANKLIN HISTORIC DISTRICT ARE EQUAL TO THE PROPOSED FOUR STORY RESIDENTIAL BUILDING. THE PROPOSED STRUCTURE IS A HEIGHT OF 48 FEET. IN ADDITION, THE FOURTH STORY IS RECESSED BACK FROM THE STREET ALONG MAIN STREET AND SECOND AVENUE TO PROVIDE A TRANSITION TO ADJACENT EXISTING STRUCTURES.
- PARKING SHOULD BE LOCATED TO THE SIDE OR REAR OF THE BUILDINGS FACING THE STREET. A PARKING STRUCTURE HAS BEEN PROVIDED WITHIN THE PUD IN THE CENTER OF THE BLOCK. THE PARKING STRUCTURE IS LINED WITH BUILDINGS ON ALL SIDES. THE ACCESS TO THE GARAGE IS LOCATED ON MAIN STREET, 1ST AVENUE AND 2ND AVENUE.

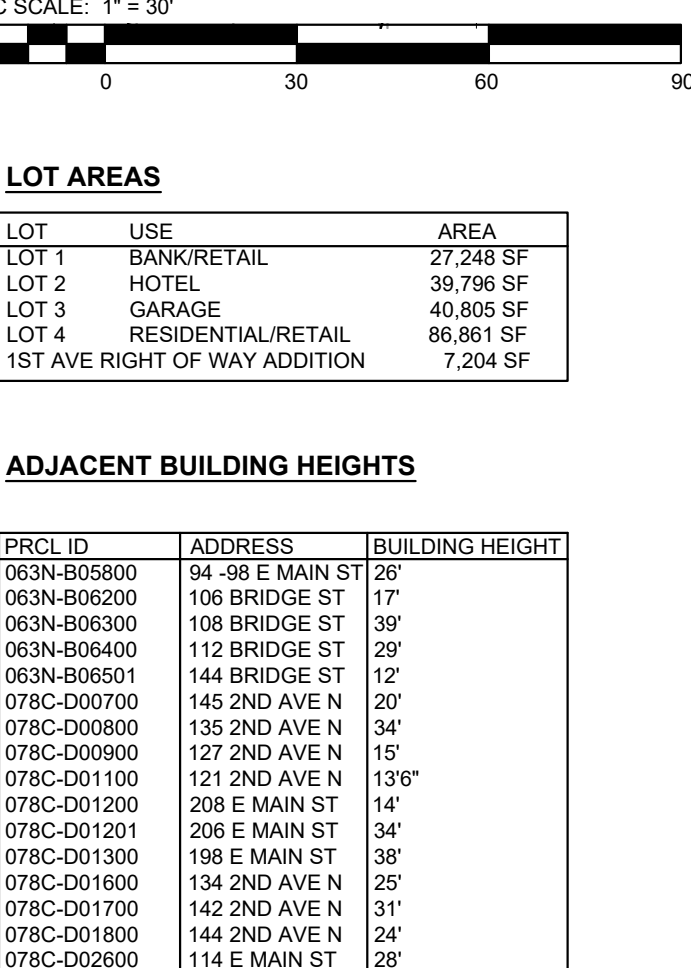
LOCAL COMPATIBILITY

A MIX OF USES INCLUDING RESIDENTIAL, RETAIL, AND HOTEL COMPLEMENT THE CULTURE AND COMMUNITY OF HISTORIC DOWNTOWN OF FRANKLIN. THE SIXTEEN BLOCK CORE IS A MIX OF RETAIL, OFFICE, RESIDENTIAL, INSTITUTIONAL USES, CIVIC USES, AND OPEN SPACE DEVELOPED OVER TIME BUT WITH TIMELESS ARCHITECTURE AND TRADITIONAL PATTERNS. BUILDINGS ADDRESS THE STREET AND SHARE COMMON SIDE WALLS. BUILDING ARE BETWEEN 25 AND 50 FEET WIDTHS TO MAINTAIN A "HUMAN SCALE" ALONG THE SIDEWALK. THE PREDOMINANT FOCUS OF RETAIL IN THE DOWNTOWN IS ON MAIN STREET BETWEEN 3RD AVENUE AND 5TH AVENUE. A NEW ANCHOR HOTEL AND RETAIL BETWEEN 1ST AVENUE AND 2ND AVENUE WILL ENCOURAGE A NEW EVOLUTION OF STORE FRONTS TO FILL IN OVER TIME BETWEEN 3RD AND 2ND AS OPPORTUNITIES ARISE.

DOWNTOWN FRANKLIN IS RICH WITH HISTORY. NEW DEVELOPMENT WITHIN THE HISTORIC DOWNTOWN AREA SHOULD COMPLEMENT THE CHARACTER AND PATTERNS ESTABLISHED THROUGH THIS HISTORIC ARCHITECTURE. THE HARPETH SQUARE PUD PROPOSES ARCHITECTURE THAT IS DESIGNED WITH TIMELESS PROPORTIONS AND QUALITY MATERIALS THAT DO NOT PRETEND TO BE FROM ANOTHER TIME, BUT RESONATE WITH AND RESPECT THE HISTORIC ARCHITECTURE THAT IS. LANDMARK BOOK STORE IS ONE OF THE OLDEST BUILDINGS IN THE DOWNTOWN AREA AND IT IS LOCATED ON THE HARPETH SQUARE BLOCK. THIS ARCHITECTURAL ICON APPEARS TO HAVE BEEN "FORGOTTEN ABOUT" OVER TIME AS NEW BUILDINGS WERE BUILT AROUND IT. WITH THE PROPOSED PUD, THIS HISTORIC BUILDING BECOMES CENTRAL FOCUS ON MAIN STREET ANCHORING THE MIDDLE-BLOCK ENTRY TO THE SITE.

BUILDINGS IN THE CENTRAL FRANKLIN CHARACTER AREA VARY IN HEIGHT FROM AROUND 26 FEET IN A ONE STORY BUILDING TO AS TALL AS 56 FOOT HIGH MASONIC LODGE ON 2ND AVENUE. MANY OF THE COMMERCIAL BUILDINGS HAVE OVERALL HEIGHTS AROUND 40 TO 47 FEET. COMMERCIAL BUILDINGS TEND TO HAVE FLOOR TO FLOOR HEIGHTS THAT ARE TALLER THAN RESIDENTIAL BUILDINGS. A THREE STORY COMMERCIAL BUILDING IS OFTEN EQUAL TO OR TALLER THAN A FOUR STORY RESIDENTIAL BUILDING AS IS THE CASE WITH HARPETH SQUARE. THE FOUR STORY BUILDING PROPOSED IN THE PUD ARE 48 FEET IN HEIGHT. THE FOURTH FLOOR IS DESIGNED TO BE RECESSED BACK ALONG MAIN STREET, BRIDGE STREET, AND 2ND AVENUE WHERE THE PERCEIVED HEIGHT FROM THE STREET IS 36 FEET. THIS IS A TRANSITIONAL FEATURE DESIGNED FOR COMPATIBILITY WITH THE ADJACENT EXISTING BUILDINGS.

THE BUILDING FRONTAGE ALONG 1ST AVENUE IS ALSO FOUR STORIES IN HEIGHT. EXISTING BUILDINGS ALONG 1ST AVENUE ARE CONSTRUCTED WITHIN 3 TO 4 FEET OF THE ASPHALT. WITH THE DEVELOPMENT OF THE PUD, BUILDINGS ALONG 1ST AVENUE WILL BE RECESSED 20 FEET TO ACCOMMODATE ON-STREET PARKING, STREET TREES, AND AN 11 FOOT SIDEWALK. BUILDINGS ARE DESIGNED WITH BASE, MIDDLE, AND TOP. THE TOP IN THIS CASE WILL BE THE FORTH FLOOR, AND WILL BE DESIGNED WITH LIGHTER COLORS AND MORE GLASS. THIS EFFECT PRODUCES A DOMINATE 3-STORIES AND VISUALLY RECESSES THE 4TH FLOOR. THE 46 FOOT BUILDING HEIGHT IS BALANCED ON THE RIVER SIDE BY THE TOWERING TREE CANOPY ESTABLISHED ALONG THE BANKS OF THE HARPETH.

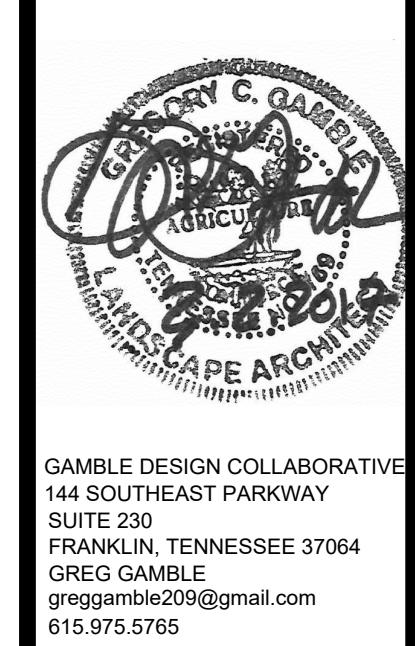


DEVELOPMENT PLAN REVISION 2

HARPETH SQUARE PUD SUBDIVISION

TAX MAP 78 C, PARCEL 15

FRANKLIN, TENNESSEE



GAMBLE DESIGN COLLABORATIVE
144 SOUTHEAST PARKWAY
SUITE 200
FRANKLIN, TENNESSEE 37064
GREG GAMBLE
greggamb209@gmail.com
615.975.5765

OVERALL DEVELOPMENT PLAN

COF# 6356

C2.0

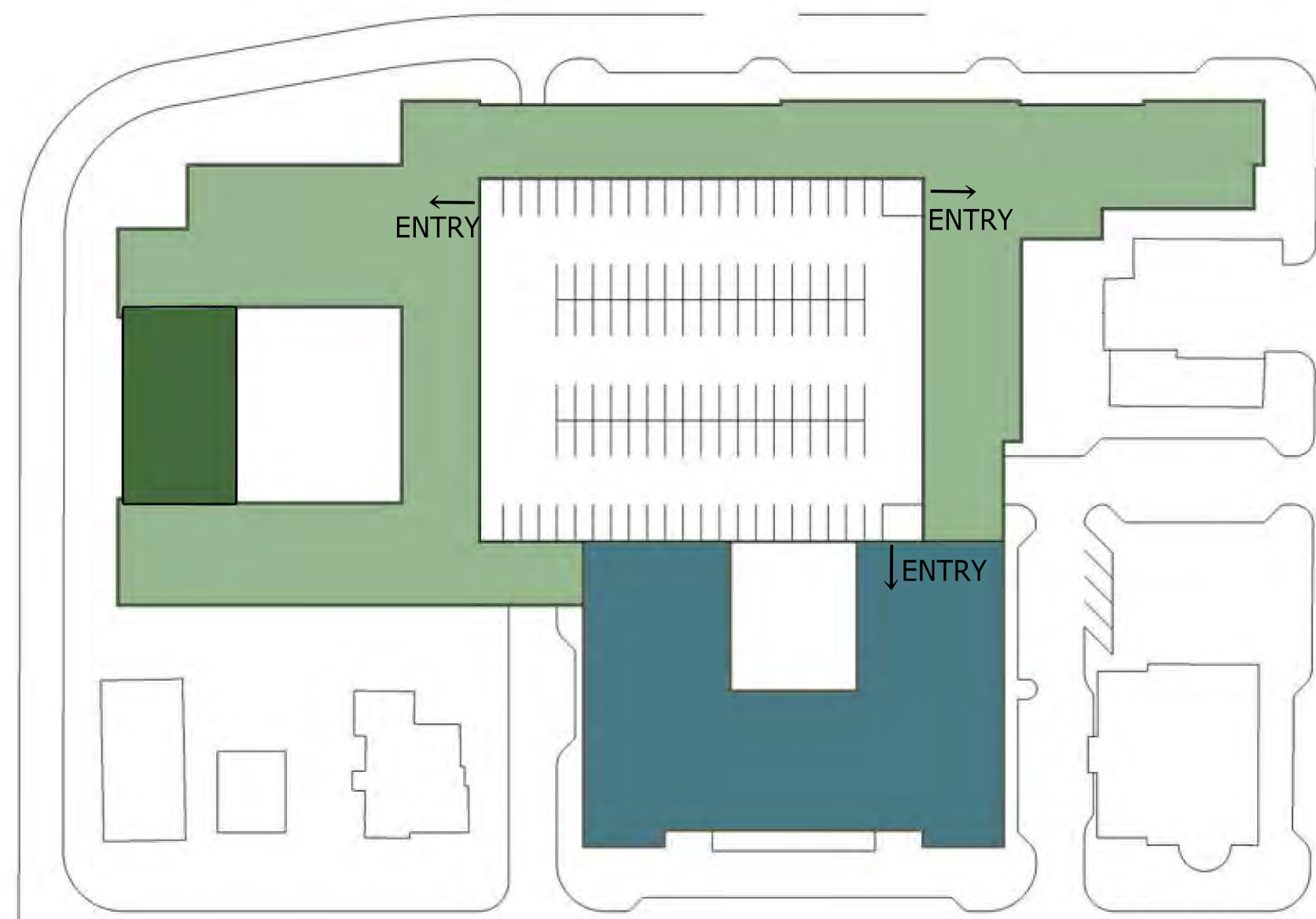
REV 5.1.2016 BIKE PARKING



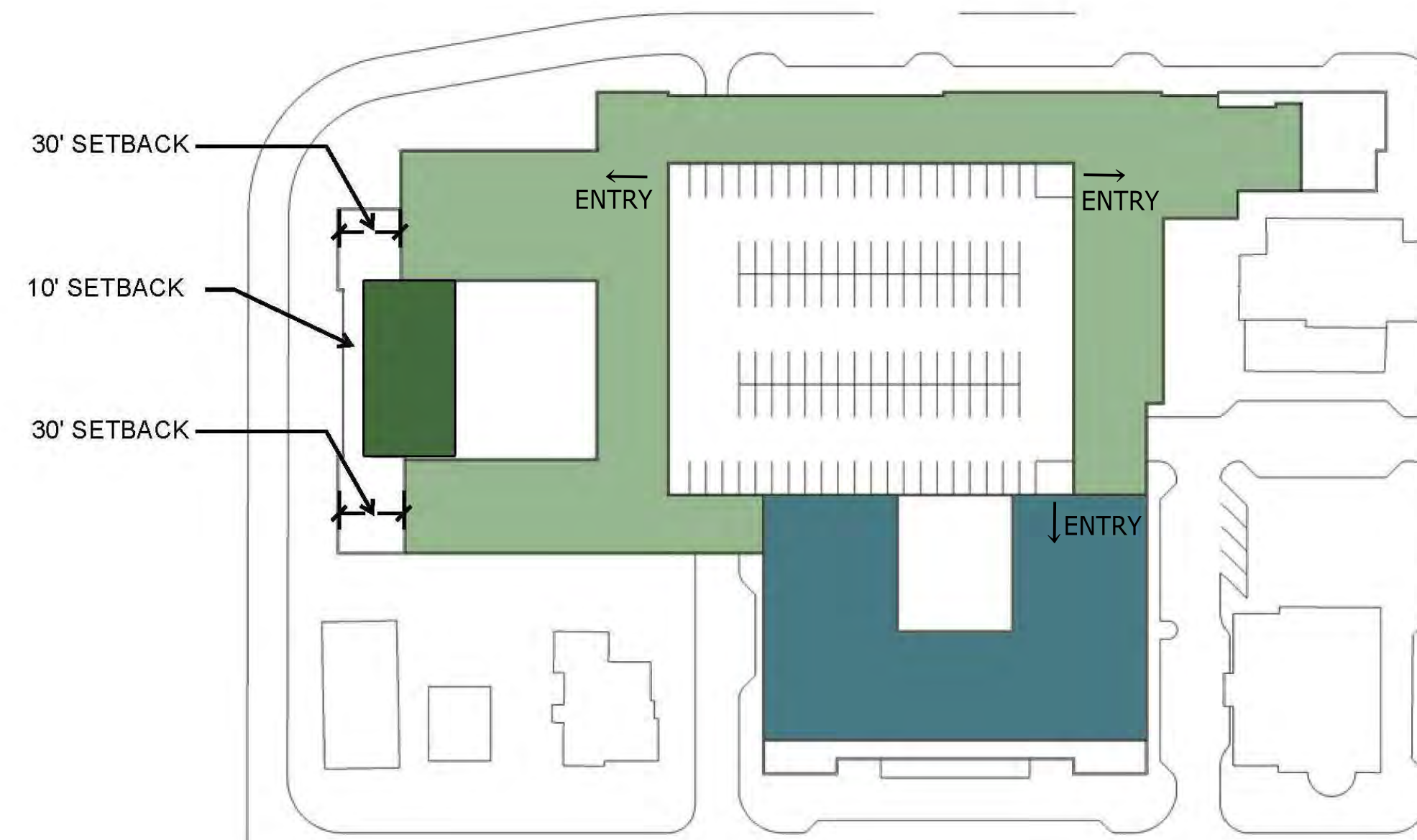
FIRST FLOOR



SECOND FLOOR



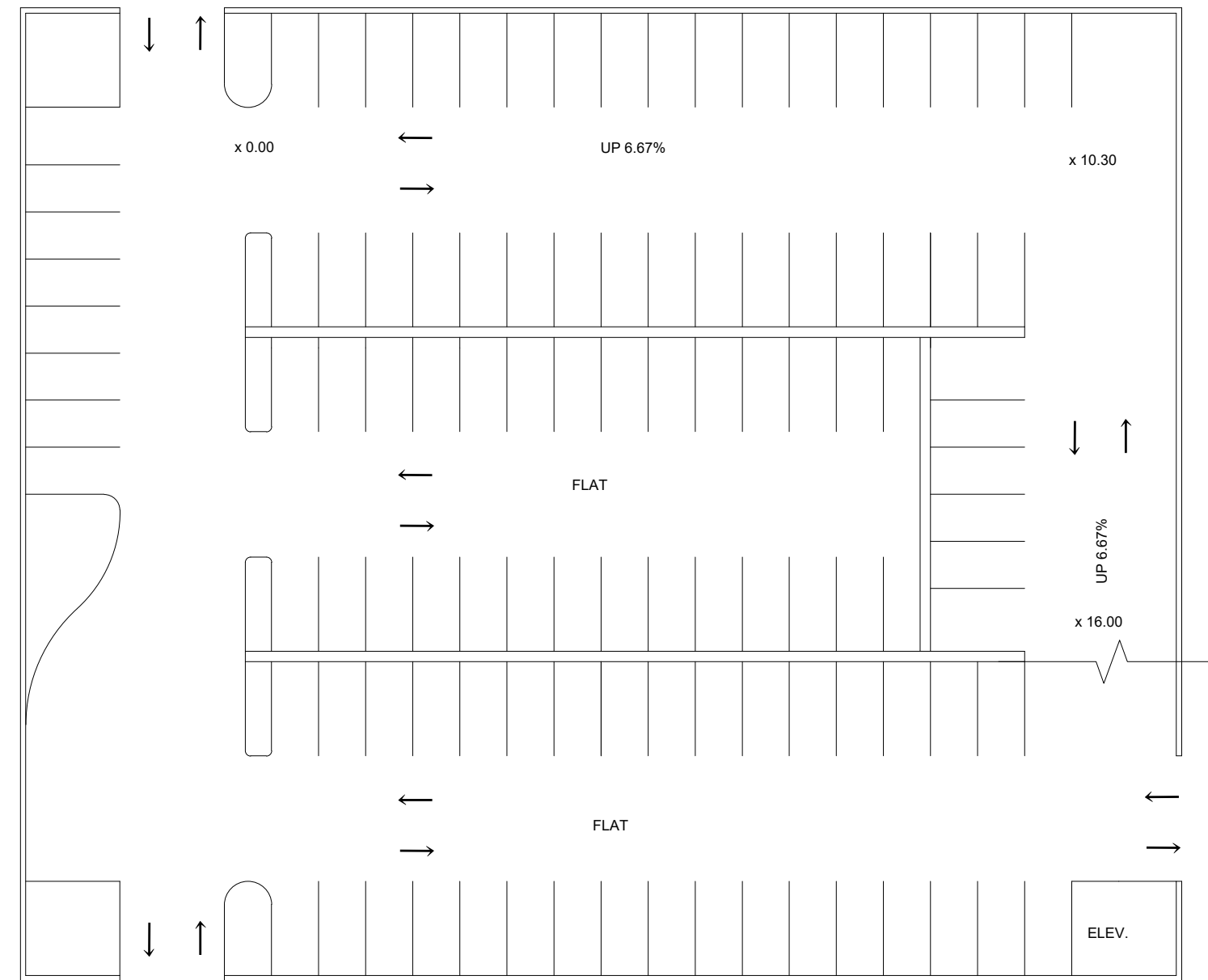
THIRD FLOOR



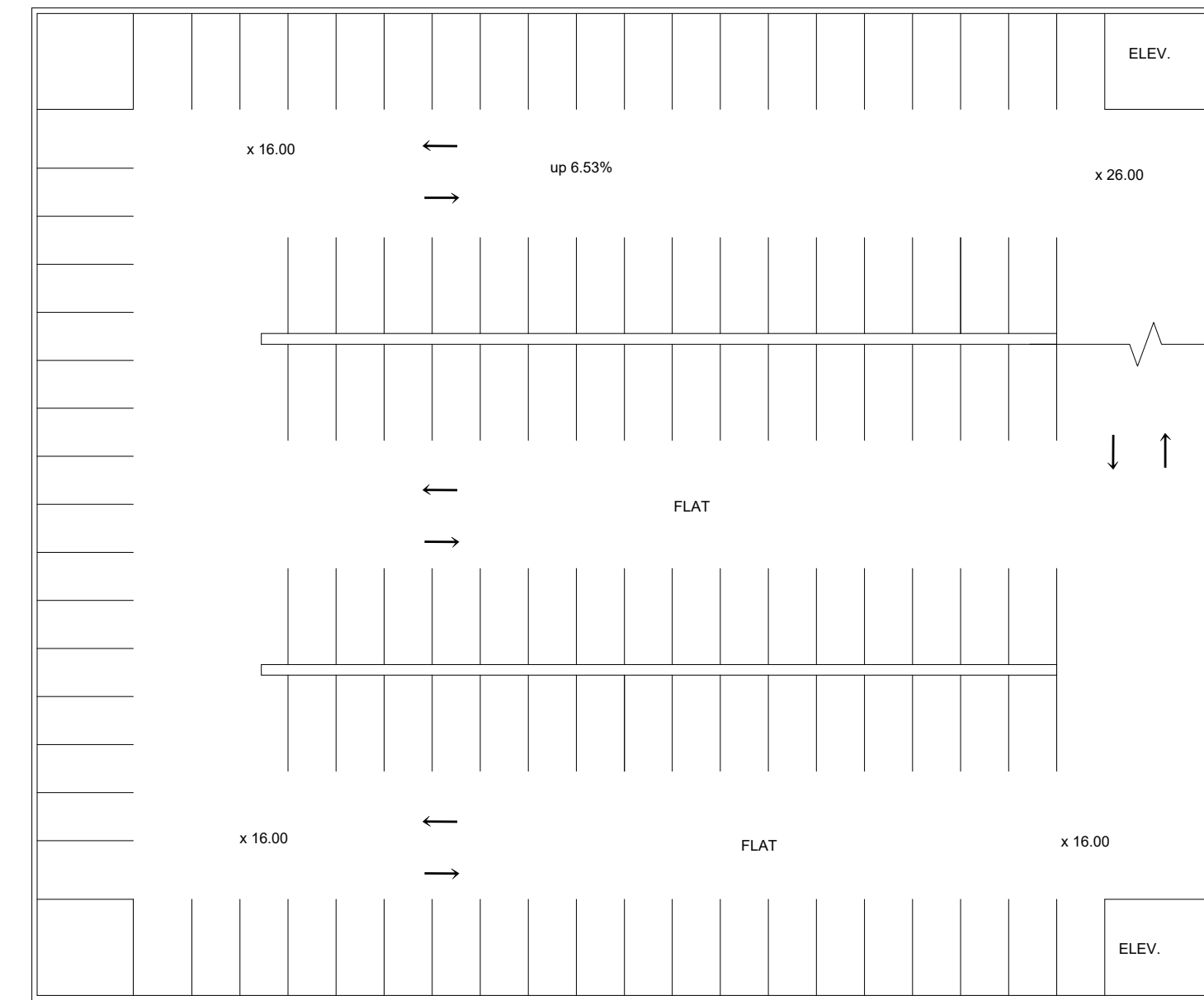
FOURTH FLOOR

-  ADDITIONAL AREA
-  APARTMENTS
-  RETAIL / RESTAURANT
-  FUTURE HOTEL

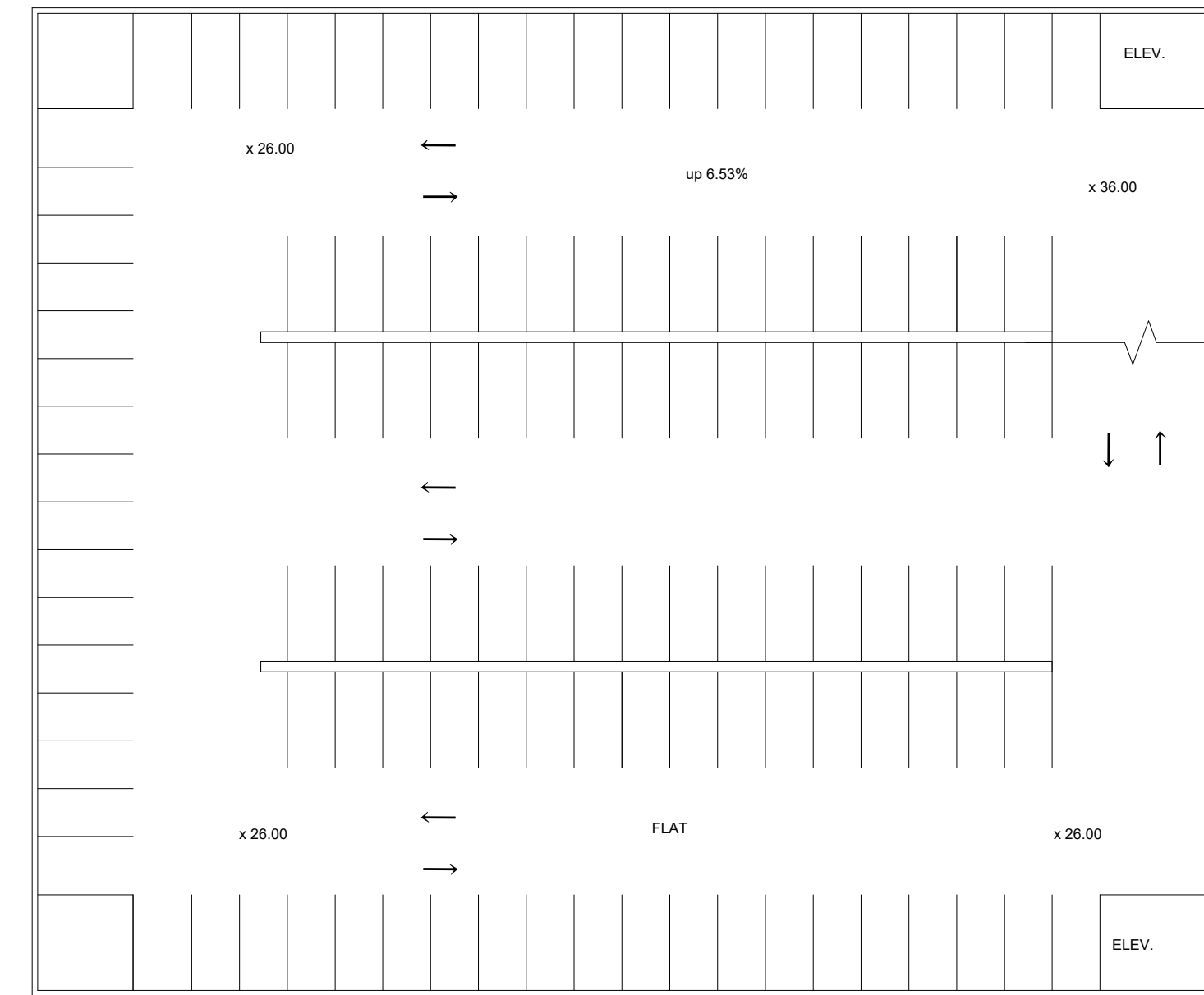
HARPETH SQUARE FLOOR DIAGRAMS



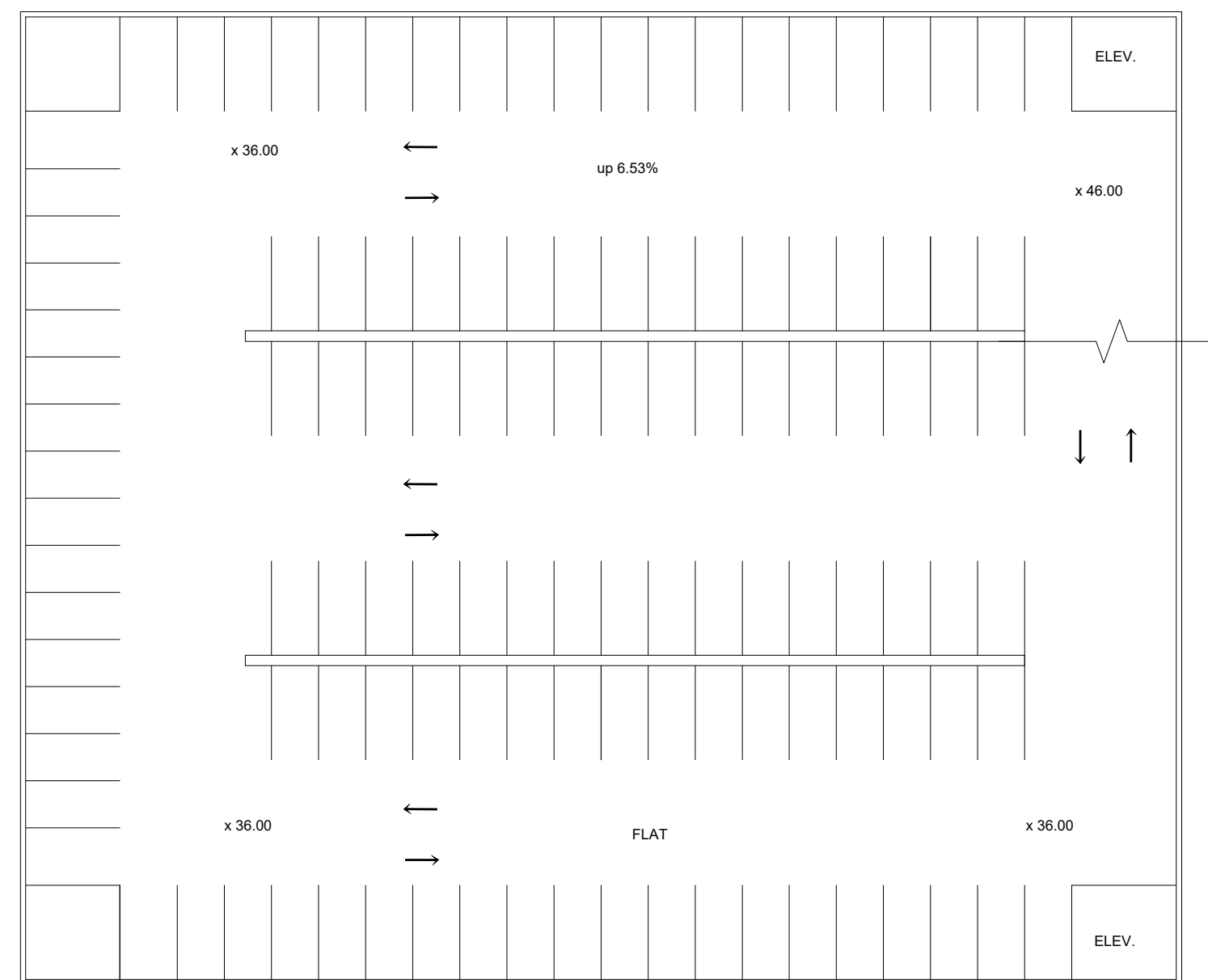
1 - 112 spaces



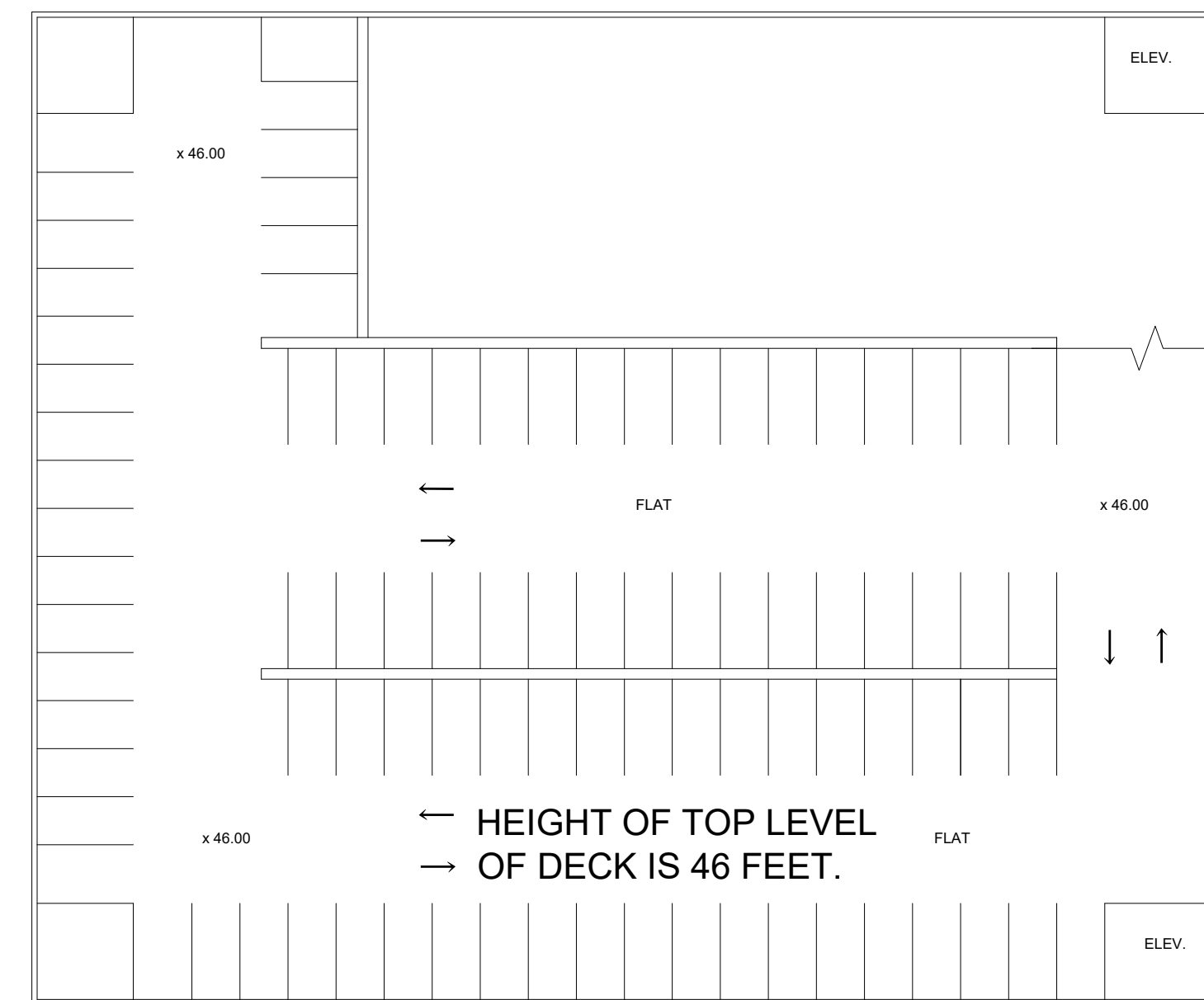
2 - 123 spaces



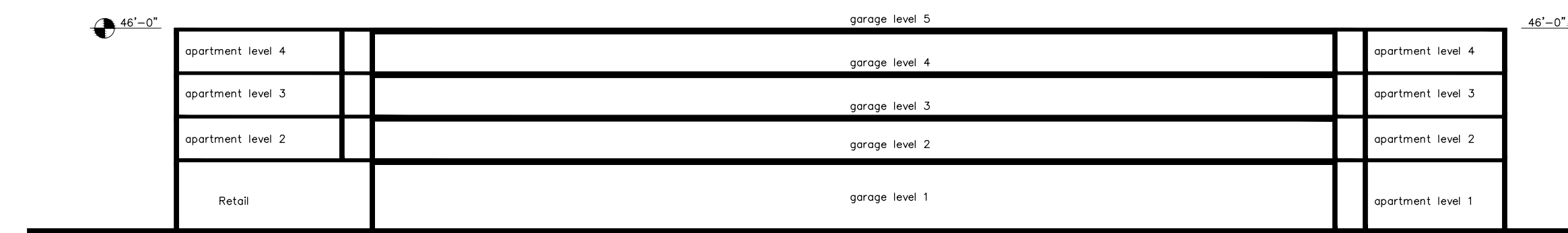
3 - 123 spaces



4 - 121 spaces



5 - 122 spaces



Total: 601 spaces

DEVELOPMENT DATA AND PARKING REQUIREMENTS:

PRIMARY USE	QUANTITY	SQUARE FOOTAGE	PARKING REQUIRED	UNIT	REQUIRED PARKING
EXISTING BANK	12,000 SF	12,000	46 (EXISTING)	115 ROOMS	46 (EXISTING)
HOTEL	115 ROOMS	107,847	1 PER ROOM 0.75 PER EMPLOYEE 0.17 PER MAX OCCUPANCY FOR ASSEMBLY	25 EMP/LARGEST SHIFT 687 MAX OCCUPANCY	19 114 38
RESTAURANT	5,000 SF	5,000	7.5 PER 1000 SF 0.75 PER EMPLOYEE 0.67 PER OUTDOOR SEAT	5000 SF 30 EMP/LARGEST SHIFT 20 SEATS	23 14
RETAIL	18,000 SF	18,000	2.5 PER 1000 SF	18,000 SF	45
APARTMENTS	160 UNITS	175,710	1 FOR 1ST BD, 0.5 FOR EA ADDITIONAL BEDROOM	66 ONE-BEDROOM 80 TWO-BEDROOM 14 THREE-BEDROOM	66 120 28
TOTAL REQUIRED PARKING :					628

PARKING PROVIDED:

PARKING PROVIDED: GARAGE 601
ON-STREET 12
SURFACE PARKING 17
TOTAL PARKING SPACES 630
TOTAL BICYCLE PARKING SPACES (1:10) 60

TRIP GENERATION TABLE

Land Use:	LUC 932				TOTAL
	LUC 310	High-Turnover	LUC 826	LUC 220	
Hotel	112 rooms	4,500 sq. ft.	Sp. Retail	Multi-family	
Average Daily Traffic	1,000	572	410	1,062	3,044
Daily Enter	500	286	205	531	1,522
Daily Exit	500	286	205	531	1,522
AM Peak Hour Total	78	49	63	80	268
AM Peak Hour Enter	44	27	30	16	117
AM Peak Hour Exit	32	22	33	64	151
MID Peak Hour Total (7%)	70	42	28	74	214
MID Peak Hour Enter (50%)	35	22	14	37	108
MID Peak Hour Exit (50%)	35	20	14	37	106
PM Peak Hour Total	78	45	25	103	251
PM Peak Hour Enter	38	27	11	67	143
PM Peak Hour Exit	40	18	14	36	108

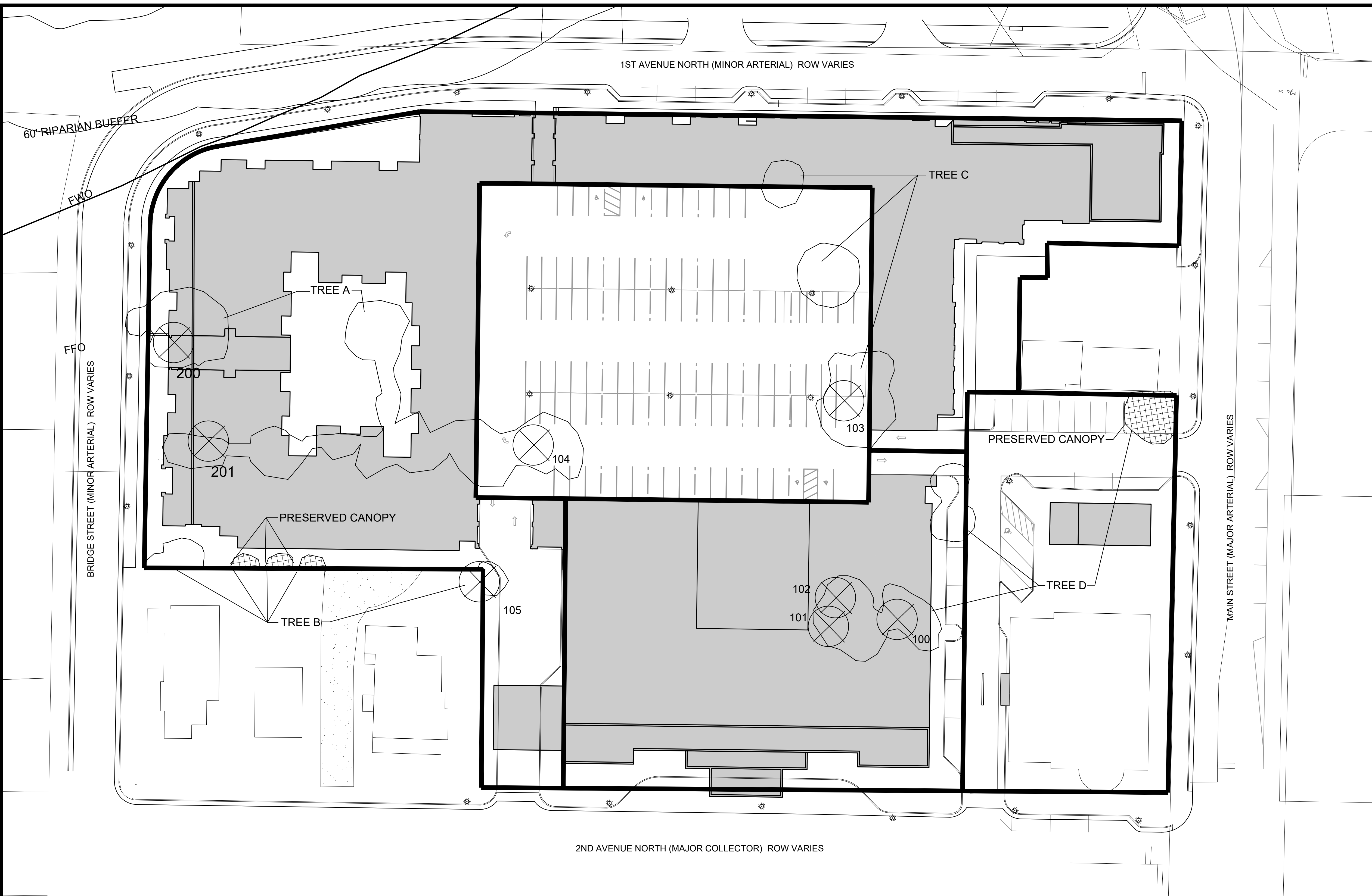
Trip Generation 9th Edition

DAILY SITE-GENERATED TRAFFIC VOLUMES ON CITY STREETS

Street Name	Classification	Entering Traffic	Existing Traffic	Total Vehicles Per Day
Main Street (east of 1st Avenue, N.)	Major Arterial	609	609	1,218
Main Street (between 1st and 2nd Avenue, N.)	Major Arterial	609	609	1,218
Main Street (west of 2nd Avenue, N.)	Major Arterial	380	380	761
2nd Avenue, N. (north of Main Street)	Major Collector	533	533	1,065
Bridge Street (west of 2nd Avenue, N.)	Major Collector	228	228	457
2nd Avenue, N. (north of Bridge Street)	Major Collector	152	152	304

NOTE: The proposed mixed-use project is expected to generate approximately 3,044 vehicle trips per day. The table above shows the new daily trips on these streets with the completion of the proposed project.





SITE DATA:

PROJECT NAME: HARPEETH SQUARE DEVELOPMENT PLAN REVISION 1
 PROPOSED ZONING: SD-X 33.26, 13000, 115
 PROJECT NUMBER: 5994
 SUBDIVISION: ---
 LOT NUMBER: ---
 ADDRESS: 104 E MAIN ST
 198 E MAIN ST
 112 2ND AVENUE N
 122 2ND AVENUE N
 133 1ST AVENUE N
 107 1ST AVENUE N
 109 1ST AVENUE N
 111 BRIDGE ST
 113 BRIDGE ST

CITY: FRANKLIN, TN
 COUNTY: WILLIAMSON
 STATE: TENNESSEE
 CIVIL DISTRICT: 14TH CIVIL DISTRICT

EXISTING ZONING: SPECIFIC DEVELOPMENT-VARIETY (SD-X 34.17, 33650, 115)
 CHARACTER OVERLAY: CENTRAL FRANKLIN CHARACTER AREA 1 (CFCA1)
 OTHER APPLICABLE OVERLAYS: HFO, FFO, FWO
 APPLICABLE DEVELOPMENT STANDARD: TRADITIONAL
 ACREAGE OF SITE: 4.68 AC
 SQUARE FOOTAGE OF SITE: 202,880 SF
 MINIMUM REQUIRED SETBACK LINES: PER DEVELOPMENT PLAN

OWNER: HARPEETH ASSOCIATES LLC
 J RODERICK HELLER III
 144 SOUTHEAST PARKWAY, SUITE 230
 FRANKLIN, TN 37064
 202.257.5200
 roderickheller10@gmail.com

APPLICANT: GAMBLE DESIGN COLLABORATIVE, LLC
 144 SOUTHEAST PARKWAY, SUITE 230
 FRANKLIN, TN 37064
 CONTACT: GREG GAMBLE
 EMAIL: greggamble209@gmail.com
 PHONE: (615) 975-5765

BUILDING SQUARE FOOTAGE: SEE DEVELOPMENT DATA CHART C2.0
 BUILDING COVERAGE: 63.2%
 BUILDING HEIGHT: UP TO 4 STORIES, MAX 54' FOR HOTEL USE AND MAX 51' FOR OTHER USES TO TOP OF PARAPET
 LANDSCAPE SURFACE RATIO: N/A
 MINIMUM LANDSCAPE RATIO: N/A
 INCOMPATIBLE USE BUFFER REQUIRED: SEE DEVELOPMENT DATA CHART C2.0
 MINIMUM PARKING REQUIRED: N/A
 MAXIMUM PARKING LIMIT: N/A
 EXISTING PARKING (IF APPLICABLE): SEE DEVELOPMENT DATA CHART C2.0
 PARKING PROVIDED: 33.26 DU
 RESIDENTIAL DENSITY: 02 AC PRESERVED (SEE MOS REQUEST)
 TREE CANOPY: 3%, 6,089 SF REQUIRED
 OPEN SPACE (FORMAL, INFORMAL, AND TOTAL): 3.2%, 6,509 SF FORMAL PROVIDED

EXISTING TREE CANOPY

TREE AREA	EXISTING	REMOVED	RETAINED
TREE A	8,768 SF	8,768 SF	0 SF
TREE B	1,011 SF	698 SF	313 SF
TREE C	3,529 SF	3,529 SF	0 SF
TREE D	3,928 SF	3,157 SF	771 SF
TOTAL SF	17,236 SF	16,152 SF	1,084 SF
TOTAL ACRES	0.40 AC	0.37 AC	0.02 AC

TREE CANOPY DATA:
 EXISTING TREE CANOPY: 17,236 SF
 17,236 SF / 202,880 SF = .08 (8%) OF TOTAL SITE
 REQUIRED CANOPY PRESERVATION = 26% OF TOTAL CANOPY
 17,236 SF * 26% = 4,481 SF
 (SEE APPROVED DEV. PLAN COF #4713)

TREE CANOPY PRESERVATION

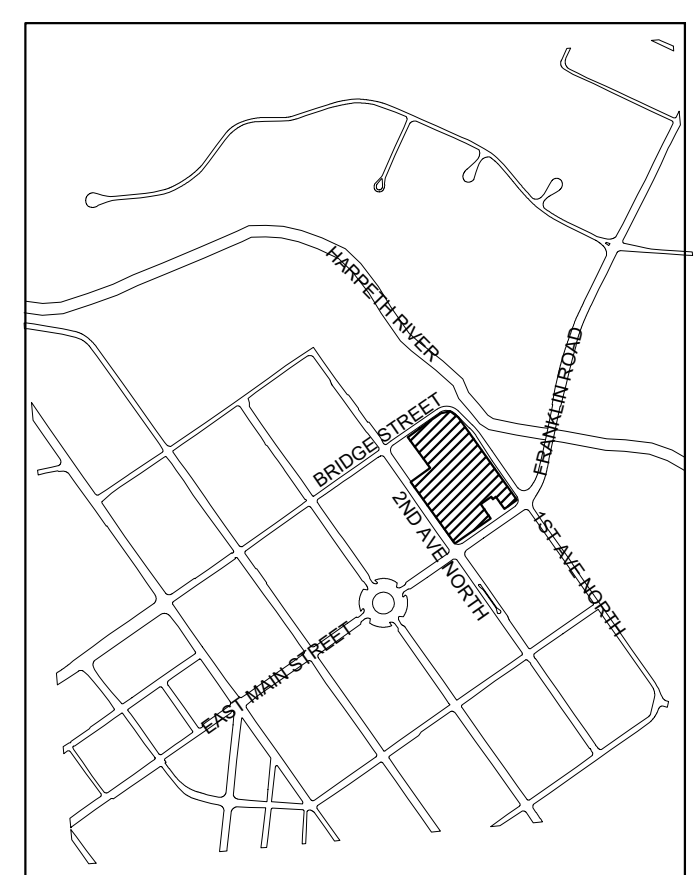
EXISTING TREE CANOPY:	17,236 SF	0.40 AC
REQUIRED PRESERVATION:	17,236 SF X 26% =	4,481 SF 26%
PROVIDED CANOPY PRESERVATION:		1,084 SF 6.3%

(SEE APPROVED DEV. PLAN COF #4713)

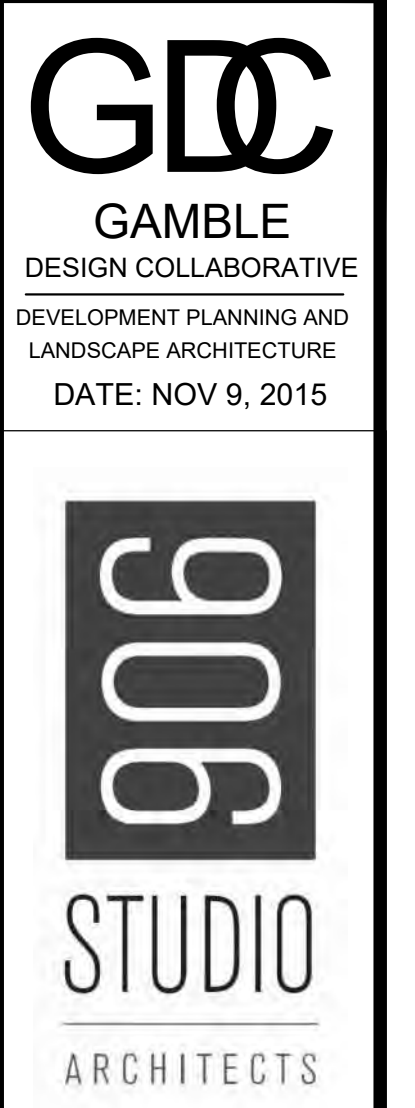
SPECIMEN TREE REPLACEMENT

#	SPECIES	DBH	CONDITION	RETAINED
100	MAPLE	32"	GOOD	NO
101	MAPLE	32"	FAIR	NO
102	OAK	42"	GOOD	NO
103	ASH	36"	GOOD	NO
104	ELM	30"	POOR	NO
200	BLACK WALNUT	33"	FAIR	NO
201	SILVER MAPLE	27"	POOR	NO
TOTAL GOOD AND FAIR SPECIMEN TREE REMOVED:				175'
TOTAL REQUIRED SPECIMEN REPLACEMENT:				350'

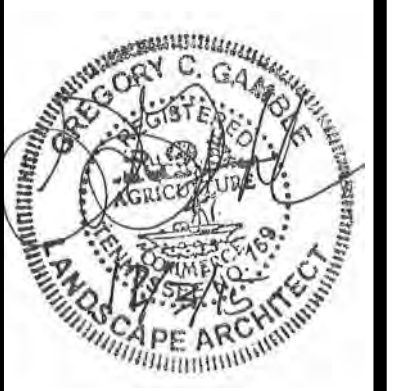
SPECIMEN TREE REPLACEMENT WILL BE LOCATED IN THE BICENTENNIAL PARK AND INSTALLED WITH THE STORMWATER DETENTION BASIN PROPOSED WITH THIS PUD SUBMITTAL.



VICINITY MAP
 SCALE 1" = 1000'



DEVELOPMENT PLAN REVISION 1
 HARPEETH SQUARE PUD SUBDIVISION
 TAX MAP 78 C, PARCELS 13, 14, 15, 16.01, 20, 22, 23, 23.01, 24
 FRANKLIN, TENNESSEE



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TREE CANOPY PRESERVATION
 COF# 5994

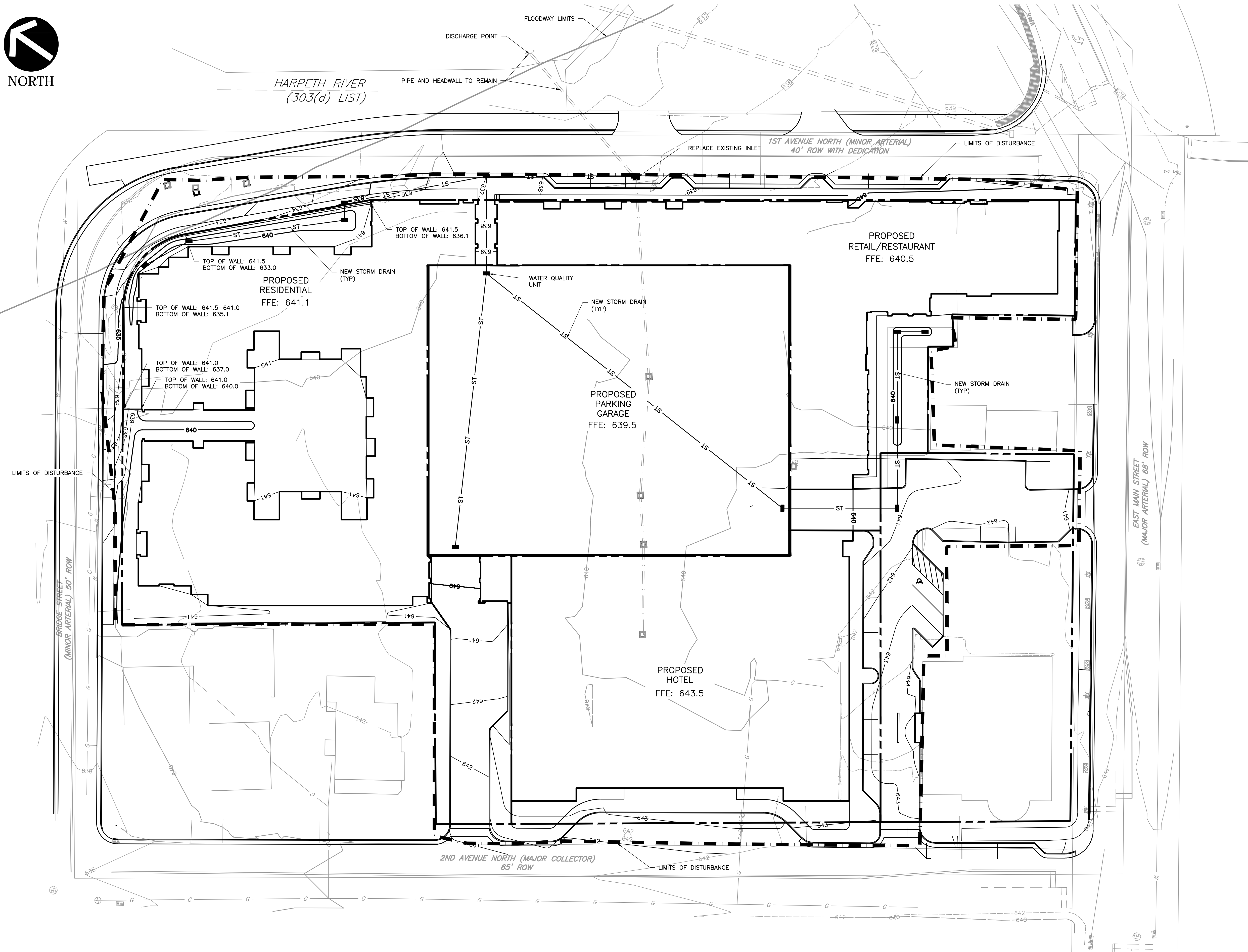
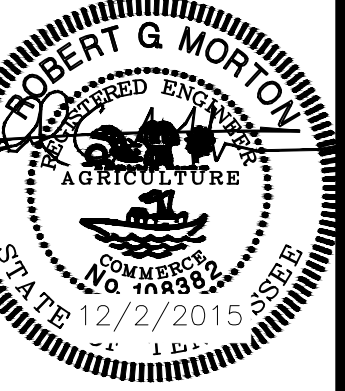
C2.3



NORTH

GDC

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DEVELOPMENT PLANNING AND
LANDSCAPE ARCHITECTURE
DATE: NOV 9, 2015



NOTES:

1. THE BOUNDARY AND TOPOGRAPHIC DATA SHOWN WAS PROVIDED BY DIVIDING LINE SURVEY SERVICES ON JULY 31, 2013 AND CITY OF FRANKLIN GIS; SURVEY IS APPROXIMATE.
2. TOTAL AREA IS 6.6+/- ACRES. THE TOTAL DISTURBED AREA IS APPROXIMATELY 5.8+/- ACRES. EXISTING IMPERVIOUS AREA IS APPROXIMATELY 3.3 ACRES. PROPOSED IMPERVIOUS AREA IS APPROXIMATELY 3.2 ACRES.
3. PROPOSED OFF-SITE DETENTION IS LOCATED IN NEARBY BICENTENNIAL PARK, LOCATED APPROXIMATELY 1/4 MILE DOWNSTREAM OF THE SITE, ADJACENT TO THE HARPETH RIVER. FINAL DESIGN OF DETENTION TO BE COMPLETED DURING SITE PLAN SUBMITTAL.
4. OFF-SITE DETENTION AND WATER QUALITY TO BE ADDRESSED AS DESCRIBED IN THE CITY OF FRANKLIN CONTRACT 2014-0298 APPROVED BY BOMA ON NOVEMBER 25, 2014.
5. A VARIANCE FOR THE REQUIRED STREAM BUFFER FOR THE HARPETH RIVER WAS GRANTED BY CITY STAFF AND THUS NO STREAM BUFFERS AFFECT THIS DEVELOPMENT.
6. DESIGN AND WALL MATERIAL OF PROPOSED RETAINING WALL WILL MATCH THOSE AS SET FORTH IN THE FRANKLIN CORRIDOR AND CONNECTOR STREETS ECONOMIC DEVELOPMENT PROJECT PLANS.

STORMWATER NARRATIVE:

STORMWATER MANAGEMENT FOR THE HARPETH SQUARE DEVELOPMENT WILL OCCUR BOTH ONSITE AND OFFSITE. STORMWATER QUANTITY MANAGEMENT WILL OCCUR IN A DETENTION BASIN TO BE CONSTRUCTED IN NEARBY BICENTENNIAL PARK, LOCATED APPROXIMATELY 1/4 MILE DOWNSTREAM OF THE SITE, ADJACENT TO THE HARPETH RIVER. THE BASIN WILL ALSO PROVIDE WATER QUALITY BENEFITS IN THE VICINITY.

ONSITE, STORMWATER ALONG THE PROPERTY LIMITS WILL GENERALLY DRAIN TOWARDS THE RIGHTS-OF-WAY ON FIRST AND SECOND AVENUES, AND MAIN AND BRIDGE STREET. INTERIOR STORMWATER WILL BE DRAINED BY A PIPE INSTALLED UNDER THE BOTTOM FLOOR OF THE PARKING DECK. THIS PIPE WILL ALSO COLLECT STORMWATER FROM THE PARKING DECK, AND RUNOFF WILL BE TREATED IN A WATER QUALITY UNIT PRIOR TO DISCHARGING TO AN EXISTING CATCH BASIN AND PIPE CROSSING FIRST AVENUE NORTH TO THE HARPETH RIVER.

DRIVE AISLES WITHIN THE PROPERTY LIMITS WILL BE CONSTRUCTED WITH PERVIOUS PAVERS. OPEN SPACE WITHIN THE DEVELOPMENT WILL BE VEGETATED. THIS REDUCES DIRECTLY-CONNECTED IMPERVIOUS AREAS AND ENCOURAGES INFILTRATION, WHICH IN TURN REDUCES POLLUTANTS IN THE STORMWATER RUNOFF.

LEGEND

- PROPOSED PROPERTY LINE
- PROPOSED CURB
- ▭ PROPOSED CONCRETE SIDEWALK
- ▭ PROPOSED GRASSED AREA
- PROPOSED STORM DRAIN
- PROPOSED CATCH BASIN

DEVELOPMENT PLAN REVISION 1
HARPETH SQUARE PUD SUBDIVISION
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FRANKLIN, TENNESSEE

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GRADING &
DRAINAGE
PLAN

COF# xxxx

C3.0

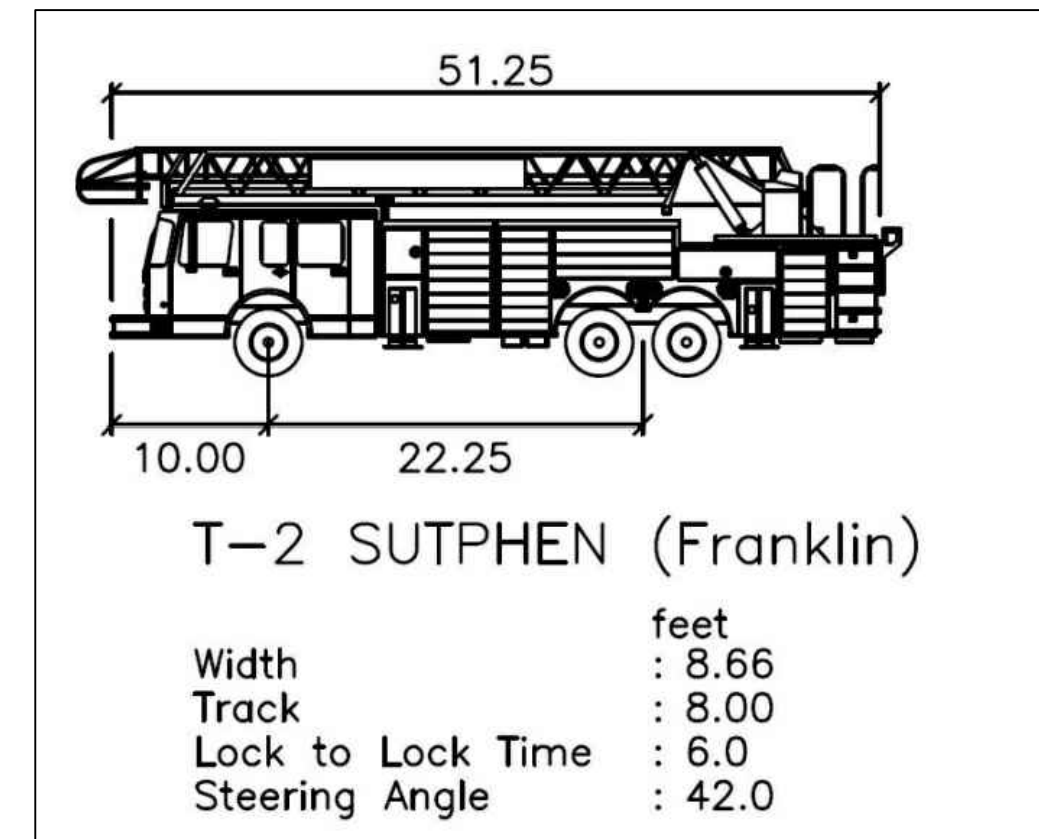
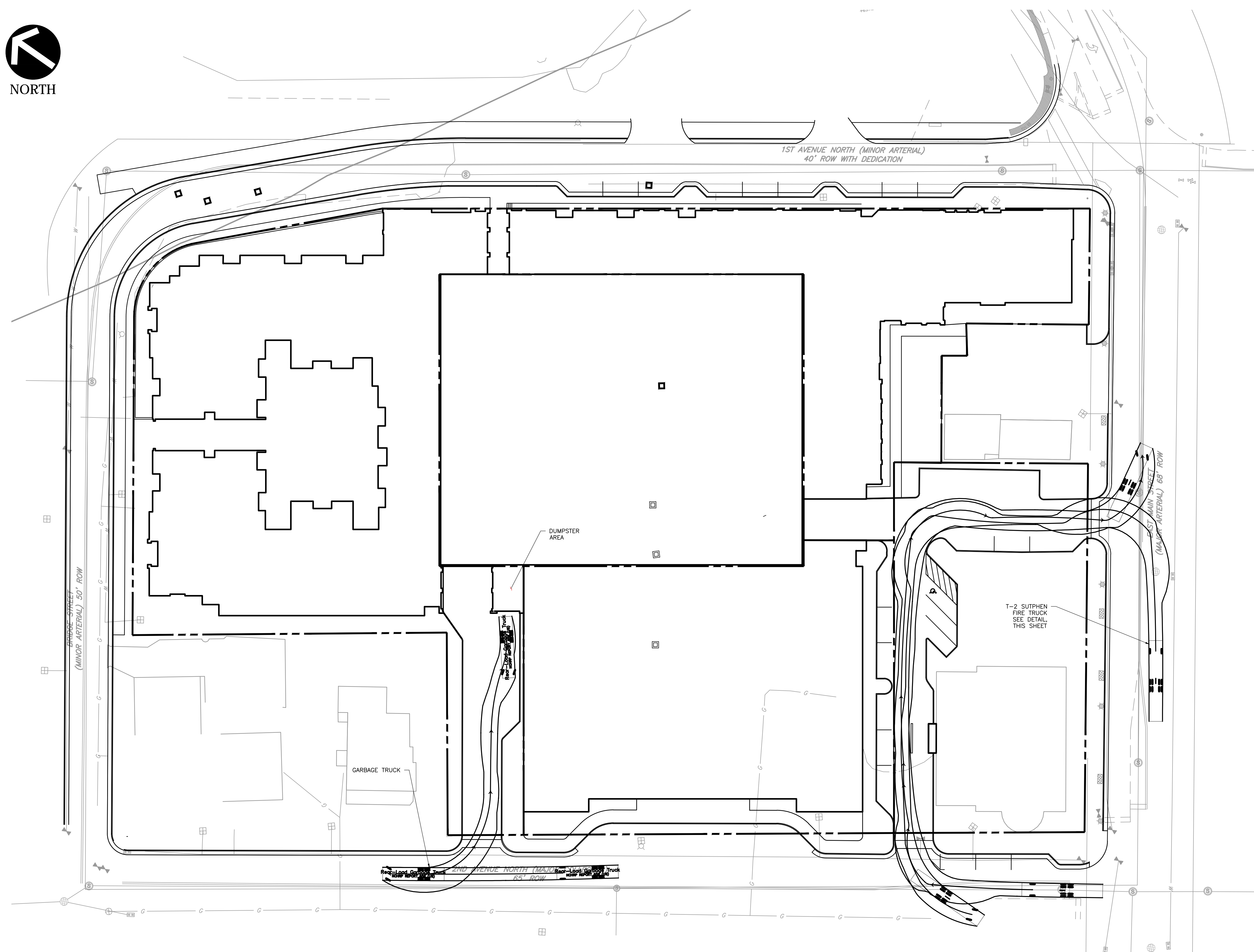
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NOT FOR CONSTRUCTION



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NORTH



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**AUTOTURN
 PLAN**
 COF# xxxx

C4.0



HARPETH RIVER

WATER LINE AROUND PERIMETER OF PROPOSED SITE (1ST AVE, BRIDGE ST, 2ND AVE, AND MAIN ST) SHALL BE UPGRADED TO A 10" LINE WHERE NEEDED

1ST AVENUE NORTH (MINOR ARTERIAL) 40' ROW WITH DEDICATION

PROPOSED WATER TAP PROPOSED SEWER TAP

STORM DRAIN (TYP) SEE SHEET C4.0 FOR ADDITIONAL INFORMATION

A SECONDARY WATER CONNECTION SHALL BE MADE TO CONNECT THE 10" WATERLINE FROM 5TH AVENUE TO 2ND AVENUE

PROPOSED SEWER TAP

PROPOSED SEWER TAP

PROPOSED WATER TAP

EAST MAIN STREET (MAJOR ARTERIAL) 68' ROW

2ND AVENUE NORTH (MAJOR COLLECTOR) 65' ROW

SEWER LINE TO BE DESIGNED AT SITE PLAN STAGE

SAN

BRIDGE STREET (MINOR ARTERIAL) 50' ROW

UTILITY NOTES:

1. THE BOUNDARY AND TOPOGRAPHIC DATA SHOWN WAS PROVIDED BY DIVIDING LINE SURVEY SERVICES ON JULY 31, 2013 AND CITY OF FRANKLIN GIS; SURVEY IS APPROXIMATE.
2. UTILITY LOCATIONS ARE APPROXIMATE AND ADDITIONAL SURVEY WILL BE USED DURING DESIGN.
3. MINIMUM WATERMAIN SIZE IN COMMERCIAL DISTRICT SHALL BE 10" PER SPECIFICATIONS UNLESS OTHERWISE DETERMINED DURING SITE PLAN SUBMITTAL.
4. UTILITY CALCULATIONS SHALL BE SUBMITTED TO ENGINEERING AND WATER MANAGEMENT.
5. GRAVITY SANITARY SEWER SHALL BE 8" IN DIAMETER OR GREATER.
6. WASTEWATER MANHOLES SHALL BE SPACED NO MORE THAN 400'.
7. COORDINATE WITH GAS AND ELECTRICAL UTILITIES FOR SERVICE DESIGN.

LEGEND

- PROPOSED WATER LINE
- PROPOSED SANITARY SEWER

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GAMBLE DESIGN COLLABORATIVE DEVELOPMENT PLANNING AND LANDSCAPE ARCHITECTURE DATE: NOV 9, 2015



DEVELOPMENT PLAN REVISION 1 HARPETH SQUARE PUD SUBDIVISION TAX MAP 78 C, PARCELS 13, 14, 15, 16.01, 20, 22, 23, 23.01, 24 FRANKLIN, TENNESSEE

UTILITY PLAN

COF# xxxx

C5.0



CORNER OF FIRST AND MAIN VIEW: HARPETH SQUARE



MATERIAL VARIETY IN A MIXED-USE PROJECT



STREETSCAPE DETAILS & MATERIALS



OUTSIDE DINING



FOUR STORY BRICK



CORNER BALCONIES



MAIN STREET VIEW : HARPETH SQUARE



MAIN STREET VIEW : HARPETH SQUARE

RENDERINGS ARE INTENDED TO SHOW GENERAL DESIGN CHARACTER. FINAL BUILDING DESIGN/CONSTRUCTION MAY VARY

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STUDIO
ARCHITECTS



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ARCHITECTURAL
CHARACTER
COF# 5994

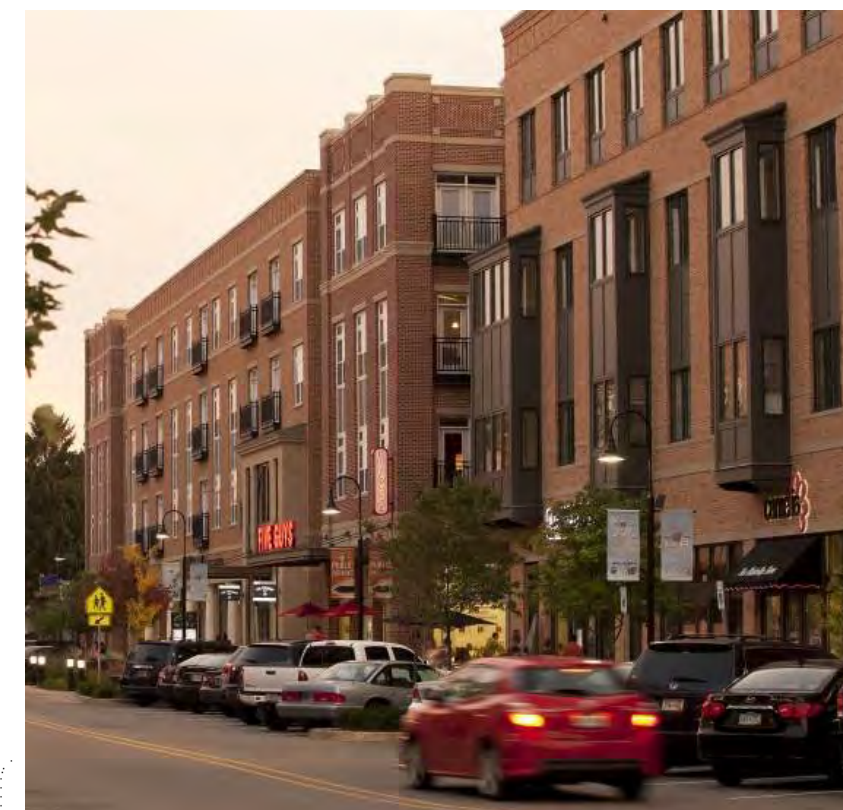
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SECOND AVENUE HOTEL ENTRANCE :
HARPETH SQUARE



STONE & BRICK MIX



BAY WINDOWS



CORNER OF FIRST AND BRIDGE : HARPETH SQUARE



HOTEL ENTRANCE



RESIDENTIAL DETAIL & SCALE



SECOND AVENUE VIEW : HARPETH SQUARE



CORNER OF SECOND AND MAIN : HARPETH SQUARE



VIEW DOWN SECOND AVENUE : HARPETH SQUARE

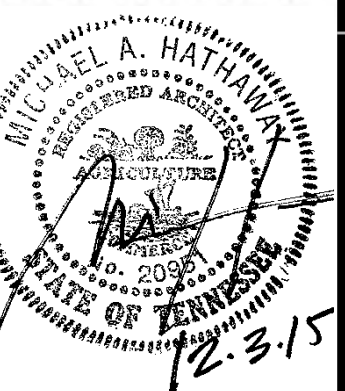
RENDERINGS ARE INTENDED TO SHOW GENERAL
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DESIGN/CONSTRUCTION MAY VARY

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DESIGN COLLABORATIVE
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DATE: NOV. 9, 2015

906

STUDIO
ARCHITECTS



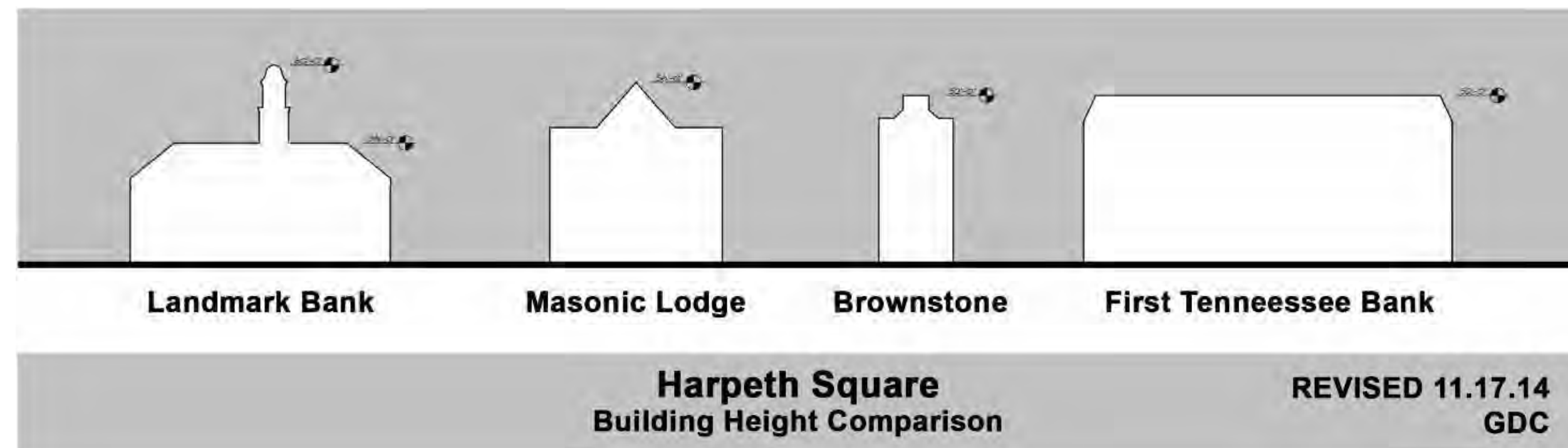
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ARCHITECTURAL
CHARACTER

COF# 5994

A2.0



SITE DATA:

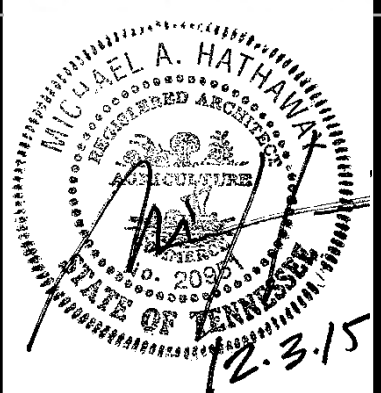
PROJECT NAME: HARPETH SQUARE DEVELOPMENT PLAN REVISION 1
 PROPOSED ZONING: SD-X, 33.4, 33000, 115
 PROJECT NUMBER: 4232X
 SUBDIVISION: --
 LOT NUMBER: --
 ADDRESS: 104 E MAIN ST
 198 E MAIN ST
 112 2ND AVENUE N
 122 2ND AVENUE N
 133 1ST AVENUE N
 107 1ST AVENUE N
 109 1ST AVENUE N
 111 BRIDGE ST
 113 BRIDGE ST

CITY: FRANKLIN, TN
 COUNTY: WILLIAMSON
 STATE: TENNESSEE
 CIVIL DISTRICT: 14TH CIVIL DISTRICT

EXISTING ZONING: SPECIFIC DEVELOPMENT VARIETY (SD-X 34.17, 33650, 115)
 CHARACTER OVERLAY: CENTRAL FRANKLIN CHARACTER AREA 1 (CFCA1)
 OTHER APPLICABLE OVERLAYS: NPO, FFO, FWO
 APPLICABLE DEVELOPMENT STANDARD: TRADITIONAL
 ACREAGE OF SITE: 4.66 AC
 SQUARE FOOTAGE OF SITE: 202,257 SQ. FT.
 MINIMUM REQUIRED SETBACK LINES: PER DEVELOPMENT PLAN

OWNER: HARPETH ASSOCIATES LLC
 J. RODERICK HELLER III
 144 SOUTHEAST PARKWAY, SUITE 230
 FRANKLIN, TN 37064
 202.257.5280
 roderickheller10@gmail.com

APPLICANT: GAMBLE DESIGN COLLABORATIVE, LLC
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 FRANKLIN, TN 37064
 CONTACT: GREG GAMBLE
 EMAIL: greggambles209@gmail.com
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MAIN STREET ELEVATION
 NOT TO SCALE

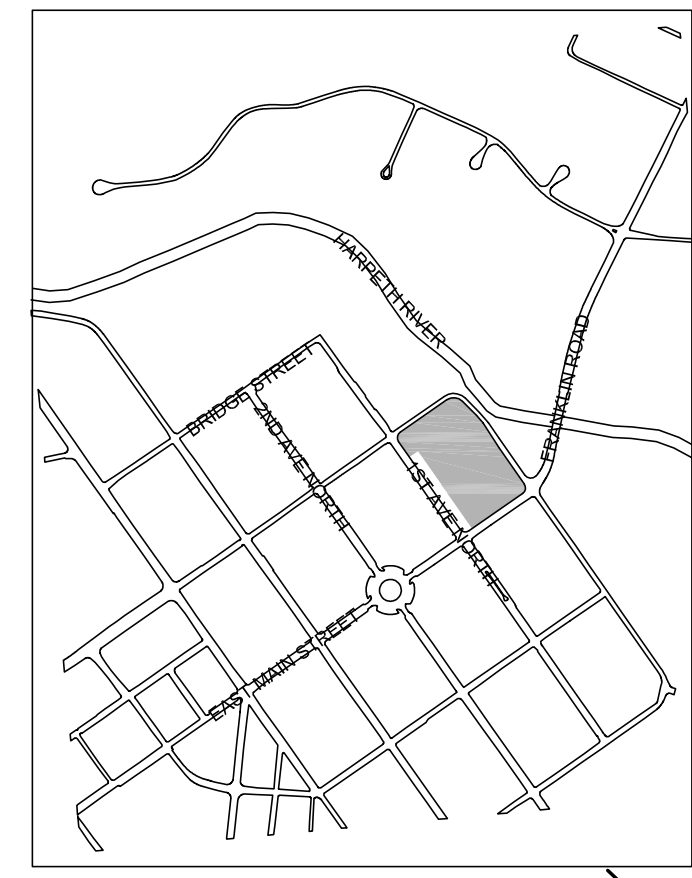
- MATERIALS LIST**
- BRICK
 - CAST STONE (VENEER AND DETAILS)
 - ALUMINUM STOREFRONT AND GLASS
 - FIXED AND OPERABLE WINDOWS CONSISTENT WITH THE REQUIREMENTS OF THE CITY OF FRANKLIN HISTORIC GUIDELINES



FIRST AVENUE ELEVATION
 NOT TO SCALE

ARCHITECTURAL DATA

THE HARPETH SQUARE MIXED USE PROJECT IS A THREE TO FOUR STORY CLASS A MIXED USE PROJECT COMPRISED OF LUXURY MULTI-FAMILY UNITS, HIGH-END BOUTIQUE HOTEL, AND RETAIL/RESTAURANT USES IN THE HISTORIC FRANKLIN DOWNTOWN CORE. THE 155 APARTMENT UNITS AND 115 BOUTIQUE HOTEL ROOMS ARE DESIGNED TO BE IN KEEPING WITH THE EXISTING HISTORIC FABRIC OF DOWNTOWN FRANKLIN USING TRADITIONAL MASSING, PROPORTIONS AND MATERIALS FOUND IN TIMELESS ARCHITECTURE OF THE DISTRICT. WHILE THE ARCHITECTURE IS DESIGNED TO BE COMPLIMENTARY OF THE EXISTING HISTORIC BUILDINGS, IT IS NOT INTENDED TO REFLECT A FALSE SENSE OF HISTORY BEING MISTAKEN FOR A BUILDING BUILT IN THE LATE NINETEEN CENTURY OR EARLY TWENTIETH CENTURY. THE MAIN STREET ELEVATION IS DESIGNED TO HIGHLIGHT THE CORNER OF FIRST AND MAIN CREATING A WELCOMING DESIGN AS ONE ENTERS THE CITY FROM THE NORTH. THIS CORNER WILL HOUSE A FULL-SERVICE UPSCALE RESTAURANT WITH OUTDOOR SEATING ADJACENT TO MAIN STREET. ADDITIONALLY ALONG MAIN, THERE IS PROPOSED A COMPLIMENTARY FREESTANDING BUILDING TO THE EXISTING LANDMARK BOOKS BUILDING WHICH WILL BE EITHER A RETAIL OR RESTAURANT USE AND WILL PROVIDE THE ENTRANCE TO A GROUND LEVEL RETAIL VILLAGE THAT IS THE BASE OF THE MAIN BUILDING BEYOND. THE OUTDOOR HARDSCAPE BETWEEN THESE TWO BUILDINGS FACING MAIN STREET AND THE NEW RETAIL AT THE BASE OF THE BUILDING WILL BE DESIGNED TO BE WALKABLE AND MULTI-PURPOSE ALLOWING FOR A VARIETY OF USES/ACTIVITIES. THE BOUTIQUE HOTEL WILL FRONT SECOND AVENUE AND PROVIDE AMENITIES FOR THE HOTEL GUESTS, AS WELL AS EVENT SPACE FOR GUESTS AND VISITORS ALIKE. THE MULTI-FAMILY PORTION OF THE PROJECT WILL HOUSE ITS LEASING CENTER, CLUBROOM AND FITNESS CENTER ALONG FIRST AVENUE AS A WAY TO ACTIVATE FIRST AVENUE AND PROVIDE A WAY FOR THE MULTI-FAMILY RESIDENTS TO INTERACT WITH THE GENERAL PUBLIC BRINGING THE OUTSIDE IN. BY PROVIDING NEW OPTIONS IN DOWNTOWN FRANKLIN, FULL TIME MULTI-FAMILY LIVING AND BOUTIQUE STYLE HOTEL ROOMS, THIS PROJECT WILL SERVE A VARIETY OF INDIVIDUALS BOTH FOR LOCAL CITIZENRY, AS WELL AS VISITORS TO OUR COMMUNITY.



VICINITY MAP
 SCALE 1" = 1000'

DEVELOPMENT PLAN REVISION 1
HARPETH SQUARE PUD SUBDIVISION
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CONCEPT ELEVATIONS
 COF# 5994

A3.0



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CONCEPT
ELEVATIONS

COF# 5994

A4.0



BRIDGE STREET ELEVATION
NOT TO SCALE

MATERIALS LIST

- BRICK
- CAST STONE (VENEER AND DETAILS)
- ALUMINUM STOREFRONT AND GLASS
- FIXED AND OPERABLE WINDOWS CONSISTENT WITH THE REQUIREMENTS OF THE CITY OF FRANKLIN HISTORIC GUIDELINES



SECOND AVENUE ELEVATION
NOT TO SCALE



VICINITY MAP
SCALE 1" = 1000'

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CONCEPT
ELEVATIONS

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