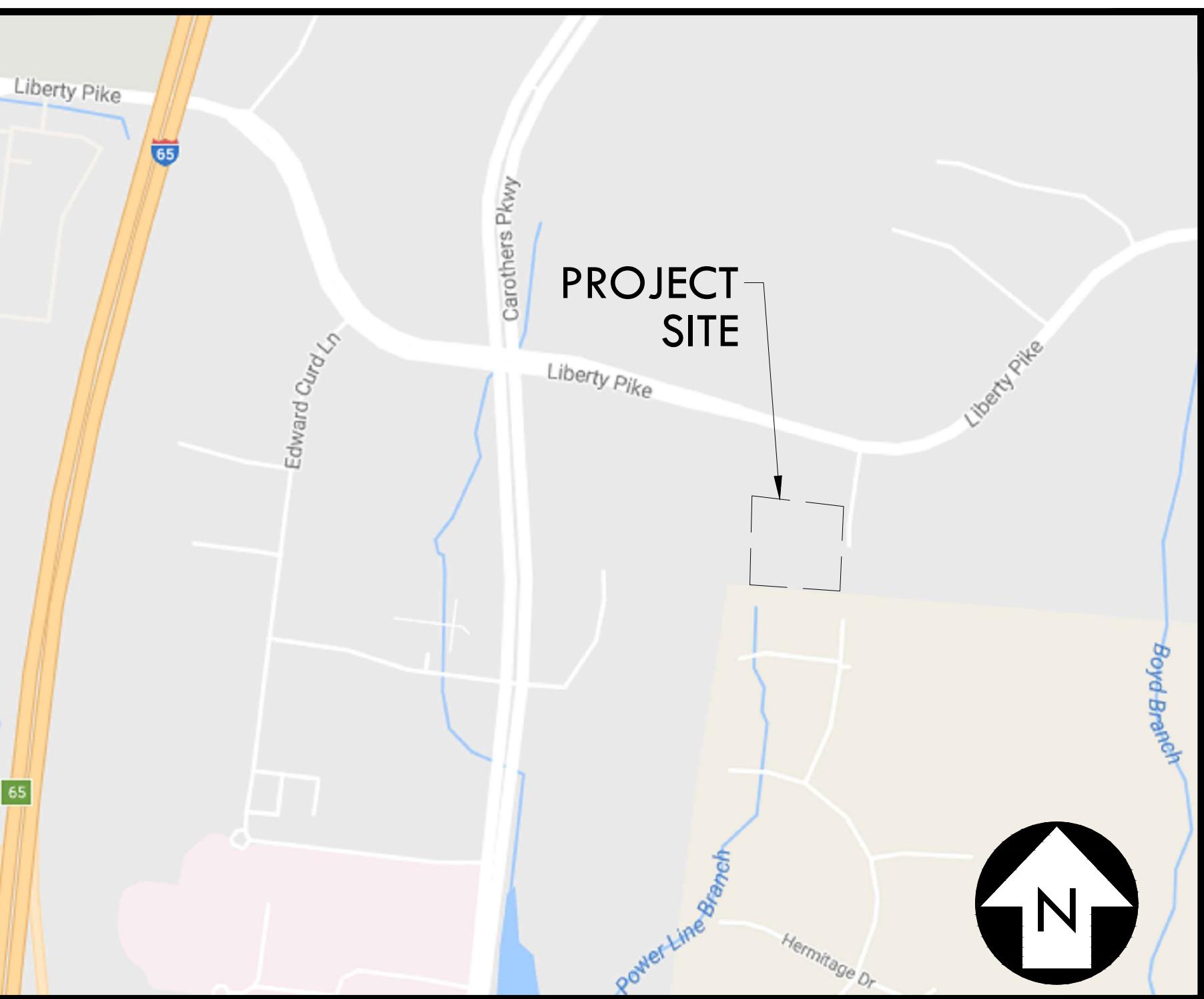


CAROTHERS DEVELOPMENT SUBDIVISION, SITE PLAN, LOT 2, REVISION 1 (PRIME HEALTH)

1219 LIBERTY PIKE
FRANKLIN, TN 37067

SITE DATA

PROJECT NAME	
PRIME HEALTH OFFICE BUILDING	
ADDRESS:	
CITY:	FRANKLIN
COUNTY:	WILLIAMSON
STATE:	TENNESSEE
CIVIL DISTRICT:	9TH
MAP, GROUP AND PARCEL NUMBERS:	WILLIAMSON CO. TAX MAP 79, 04010
EXISTING ZONING:	GO (GENERAL OFFICE DISTRICT)
CHARACTER AREA OVERLAY:	MECO 4
OTHER APPLICABLE OVERLAYS:	CONVENTIONAL
APPLICABLE DEVELOPMENT STANDARD:	3.53 ACRES
ACREAGE OF SITE:	153,597 SQUARE FEET
SQUARE FOOTAGE OF SITE:	OFFICE USE
MINIMUM REQUIRED SETBACK LINES:	30'
YARD FACING ON ANY STREET:	25'
SIDE YARD:	40'
REAR YARD:	
OWNER/MINER RIGHTS HOLDER:	RAY MORRIS
ADDRESS:	5660 PEACHTREE INDUSTRIAL BLVD. NORCROSS, GA 30071
PHONE NO.:	770-441-7202
E-MAIL ADDRESS:	KATHIH@VENTURECONSTRUCTION.COM
APPLICANT:	CRUNK ENGINEERING LLC
ADDRESS:	1894 GENERAL GEORGE PATTON DRIVE SUITE 600 FRANKLIN, TN 37067
PHONE NO.:	615-873-1795
E-MAIL ADDRESS:	adam@crunkeng.com
CONTACT NAME:	MR. ADAM CRUNK, P.E.
BUILDING SQUARE FOOTAGE:	
GENERAL OFFICE - PARKING GARAGE	20,658 S.F.
GENERAL OFFICE - 1ST FLOOR	20,658 S.F.
GENERAL OFFICE - 2ND FLOOR	20,658 S.F.
TOTAL	61,974 S.F.
BUILDING HEIGHT:	
ALLOWABLE:	6 STORIES MAXIMUM
PROPOSED OFFICE:	2 STORIES
FLOOR AREA RATIO OF SITE:	0.27
PROPOSED LANDSCAPE SURFACE RATIO:	
MINIMUM LANDSCAPE SURFACE RATIO:	0.30
PARKING:	0
DRIVING:	0
REQUIRED (4 SPACES PER 1000SF GEN OFFICE AT 41,300 S.F.)	168
MAXIMUM PARKING:	202
PROPOSED:	218
CIRCULAR SPACES:	100
CARAGE SPACES:	63
COMPACT SPACES (0 % OF TOTAL PROVIDED)	0
ADA SPACES:	7
PERVIOUS SPACES:	32
EXCESS SPACES (PERVIOUS)	16
BICYCLE FACILITIES:	
REQUIRED (1 SPOT PER 20 PARKING SPACES)	4
PROVIDED	4
RESIDENTIAL DENSITY:	N/A
TREE CANOPY:	
PARKLAND DEDICATION:	22% PRESERVED TREE CANOPY SHOWN NOT APPLICABLE
OPEN SPACE:	
FORMAL OPEN SPACE REQ'D (5% OF 3.53 AC.)	7688 SF
FORMAL OPEN SPACE PROPOSED	9400 SF
USE BUFFER:	75FT BUFFER AGAINST SINGLE FAMILY
BUILDING OCCUPANCY:	GROUP B, BUSINESS
CONSTRUCTION TYPE:	TYPE IIB



LOCATION MAP

NOT TO SCALE

Design Modification Request: To allow the main entrance of the building to not face Liberty Pike, but instead face the neighboring building.

Responses to the four (4) findings:

- I. The request to locate the main entrance to the east, toward the Jones Company office building, will not be detrimental to the public safety, health, or welfare to other properties in the surrounding neighborhood. We believe that the design is consistent with section 5.3.6 (1) (b) (i) that states the facade shall be parallel to the street they front unless an alternative orientation is consistent with existing adjacent development.
 - II. Due to the fact that this 3.5 acre lot being created is not technically adjacent to Liberty Pike, and it will be the only property adjacent to the Jones Company building, we feel that this is a unique situation that will not apply to other properties on this site. A site plan had been approved for an office building in the northeast corner of Lot 2 that faced Liberty Pike. Keep in mind that the rear of the previously approved office building would be directly in front of a main entrance to this proposed building that faced Liberty Pike. This site is also very unique with the steep grades that slope east to west, making it very difficult to provide a flat parking area at a location that would act as the main entrance on the north side of the building. The adjacent high voltage power lines and poles would mean that a north facing entrance would be looking directly toward the unsightly power lines.
 - III. The future tenant of this building, Prime Health Services, is a business that handles highly sensitive information. They have a strong desire for only one primary entrance into this building. They do not want to have a faux entrance on the Liberty Pike side of the building that would remain locked and potentially confuse visitors to the property. Therefore, if it were required to have an entrance on the Liberty Pike side of the building, or a faux entrance, it would make this site undevelopable for this future business looking to relocate from Brentwood to Franklin.
 - IV. Based on our understanding of the Franklin Land Use Plan, our proposed design modification does not create conflict with the land use plan.
- We understand the concerns that this design standard is seeking to eliminate. It is our belief that our building entrance location is in keeping with the zoning ordinance because it is adjacent to a road that is accessible to this property, and it is oriented similar to a neighboring development.

DEVELOPMENT SUMMARY

PLAN PREPARATION DATE:	MAY 4, 2017
DESIGN PROFESSIONALS:	
CIVIL ENGINEER:	CRUNK ENGINEERING LLC 1894 GEN. GEORGE PATTON DR. SUITE 600 FRANKLIN, TN 615-873-1795 CONTACT: ADAM CRUNK, PE adam@crunkeng.com
ARCHITECT:	HEREFORD DOOLEY ARCHITECTS 1720 WEST END AVE. SUITE 300 NASHVILLE, TN 37203
US FEMIA FIRM:	MAP NO. 47187C0212F EFFECTIVE DATE - SEPTEMBER 29, 2006 ZONE X - NO FLOOD HAZARD

SHEET INDEX:

- C0.0 COVER
- C1.0 NOTES
- C2.0 EXISTING CONDITIONS PLAN
- C3.0 DEMOLITION PLAN
- C4.0 INITIAL ESCP & WATER QUALITY PLAN
- C4.1 INTERIM ESCP & WATER QUALITY PLAN
- C4.2 FINAL ESCP & WATER QUALITY PLAN
- C4.3 ESCP & WATER QUALITY DETAILS
- C5.0 OVERALL SITE LAYOUT PLAN
- C5.1 SITE LAYOUT PLAN
- C5.2 ACCESS PLAN
- C5.3 EASEMENT PLAN
- C6.0 SITE GRADING & DRAINAGE PLAN
- C6.1 EAST ACCESS DRIVE PROFILE
- C6.2 DOWNSTREAM GRADING & DRAINAGE PLAN
- C6.3 LOT 2 FRONTAGE SIDEWALK GRADING
- C7.0 UTILITY PLAN
- C7.1 UTILITY PROFILE
- C8.0 DETAILS
- C8.1 DETAILS
- C8.2 DETAILS
- C8.3 DETAILS
- C8.4 DETAILS
- C8.5 DETAILS
- L1.0 LANDSCAPE PLAN
- L2.0 LANDSCAPE DETAILS
- L3.0 TREE PRESERVATION PLAN
- L3.1 SPECIMEN TREE PRESERVATION PLAN
- E100 SITE PLAN - LIGHTING CALCS
- A200 EXTERIOR ELEVATIONS
- A201 EXTERIOR ELEVATIONS

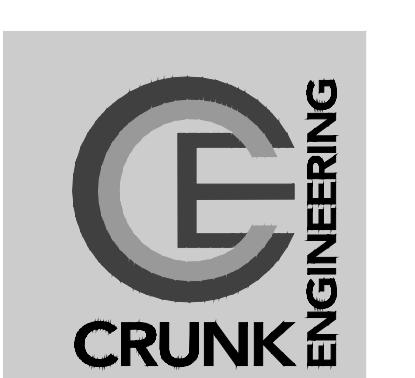
Carothers
Development
Subdivision, Site
Plan, Revision 1
(Prime Health)
C.O.F. # 6323

CONSTRUCTION DOCUMENTS



05/04/17

DATES OF ISSUANCE



CRUNK ENGINEERING LLC
1894 GENERAL GEORGE PATTON DR.
SUITE 600
FRANKLIN, TN 37067
(615) 873-1795
WWW.CRUNKENG.COM

SHEET TITLE
C0.0

COVER

GENERAL NOTES:

1. BASE INFORMATION WAS TAKEN FROM A PARTIAL BOUNDARY & TOPOGRAPHIC SURVEY PERFORMED BY WEATHERFORD & ASSOCIATES. WITH SOME BASE INFORMATION TAKEN FROM A PARTIAL BOUNDARY & TOPOGRAPHIC SURVEY PERFORMED BY WILSON & ASSOCIATES. CRUNK ENGINEERING LLC SHALL NOT BE RESPONSIBLE FOR ERRORS AND OMISSIONS RESULTING FROM THIS INFORMATION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL AND LABOR TO CONSTRUCT THE PROJECT AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES, SPECIFICATIONS AND REQUIREMENTS.
3. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONSTRUCTION DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, AND SPECIAL CONDITIONS AND COPIES OF ANY REQUIRED CONSTRUCTION PERMITS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL QUANTITIES, TAKE-OFF MEASUREMENTS, MATERIALS, ETC., DURING THE BID PROCESS. ANY QUANTITIES PROVIDED ON PLANS ARE PROVIDED AS A COURTESY. WHEN DISCREPANCIES OCCUR, THE PHYSICAL PLAN TAKES PRECEDENCE.
5. A COPY OF THE ELECTRONIC DRAWING FILE MAY BE REQUESTED FROM ENGINEER BY CONTRACTOR TO PROVIDE COORDINATES FOR LOCATION IN FIELD. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REQUEST ELECTRONIC FILES AFTER ANY REVISIONS TO PLANS, IF ANY OCCUR.
6. THE CONTRACTOR SHALL CHECK ALL EXISTING CONDITIONS, UTILITY INVERTS, UTILITY ROUTINGS, UTILITY CROSSINGS, AND DIMENSIONS IN THE FIELD PRIOR TO COMMENCEMENT OF WORK. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO INSTALLATION.
7. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY. THE CONTRACTOR SHALL CALL NATIONAL ONE CALL (811) 72 HOURS PRIOR TO PROCEEDING WITH ANY EXCAVATION. THE CONTRACTOR SHALL REPAIR ANY DAMAGED UTILITIES ACCORDING TO LOCAL STANDARDS AT THE CONTRACTOR'S EXPENSE.
8. THE CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES AND RECEIVE APPROVAL WHERE NECESSARY BEFORE CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR DOCUMENTING AND MAINTAINING AS-BUILT INFORMATION WHICH SHALL BE RECORDED AS CONSTRUCTION PROGRESSES OR AT THE COMPLETION OF APPROPRIATE CONSTRUCTION INTERVALS. ALL AS-BUILTS SHALL BE PREPARED IN ACCORDANCE WITH LOCAL AGENCY(S) REQUIREMENTS. IF A CERTIFIED AS-BUILT SURVEY IS REQUIRED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A STAMPED SURVEY AND SUBMITTING TO ENGINEER.
9. THE CONTRACTOR SHALL LIMIT CONSTRUCTION OPERATIONS TO WITHIN THE LIMITS OF CONSTRUCTION. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ANY DAMAGES OUTSIDE THE LIMITS OF CONSTRUCTION. CARE SHALL BE TAKEN TO PROTECT ANY UTILITIES, TREES, BUILDINGS ETC. WHICH ARE TO REMAIN AND NOT TO BE DISTURBED BY THE CONSTRUCTION.
10. EXISTING PAVEMENT OF PUBLIC ROADWAYS SHALL BE PATCHED IN ACCORDANCE WITH LOCAL AGENCY STANDARDS WHEREVER UTILITY INSTALLATION REQUIRES REMOVAL OF THE EXISTING PAVEMENT. COORDINATE PAVEMENT TRENCHING LOCATIONS WITH SITE CIVIL, PLUMBING AND ELECTRICAL PLANS.
11. DIMENSIONS AND COORDINATES PROVIDED ARE TO FACE OF CURB AND/OR EXTERIOR FACE OF BUILDING UNLESS OTHERWISE NOTED.
12. THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE MANUAL OF ACCIDENT PREVENTION AND CONSTRUCTION ISSUED BY AGC OF AMERICA, INC. AND THE SAFETY AND HEALTH REGULATIONS OF CONSTRUCTION ISSUED BY THE U.S. DEPARTMENT OF LABOR.
13. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY WORKS SUCH AS BRACING, SHEETING AND SHORING, BLASTING PROTECTION, WARNING LIGHTS AND BARRICADES, ETC. AS MAY BE NECESSARY FOR THE PROTECTION OF LIFE AND PROPERTY FOR HIS OWN EMPLOYEES AND THE GENERAL PUBLIC.
14. PORTIONS OF THE WORK SHOWN ON THESE PLANS MAY REQUIRE TRENCH AND/OR MASS EXCAVATION. IN SOME CASES, THIS WILL REQUIRE THE REMOVAL OF ROCK. IN THE USE OF EXPLOSIVES FOR THE SUBSEQUENT EXCAVATION OF ROCK MATERIAL, ALL APPLICABLE LOCAL AND STATE REQUIREMENTS REGARDING THE USE AND STORAGE OF EXPLOSIVE MATERIAL SHALL BE FOLLOWED. THE PROPER PERMITS MUST BE SECURED AND PRE-BLAST SURVEYS WILL BE CONDUCTED IN AREAS WHERE ADJACENT PROPERTIES OR IMPROVEMENTS OFF THE PROJECT PROPERTY COULD BE IMPACTED. IN PORTIONS OF THE PROJECT WHERE TRENCH EXCAVATION IS REQUIRED, THE CONTRACTOR WILL BECOME FAMILIAR WITH ALL APPLICABLE TRENCH SAFETY REQUIREMENTS AND REGULATIONS AND TAKE THE NECESSARY MEASURES TO INSURE THE SAFETY OF HIS EMPLOYEES AND ANY OTHER INDIVIDUALS HAVING A NEED TO BE IN AND AROUND THE WORK.
15. ANY WORK UNACCEPTABLE TO THE OWNER'S REPRESENTATIVE OR TO THE LOCAL AGENCY(S) SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL DEMANDS TO THE OWNER.
1. THE CONTRACTOR SHALL VERIFY THE LIMITS OF DEMOLITION WITH THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF WORK.
2. THE CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS UNLESS OTHERWISE INDICATED, REMOVING TREES, STUMPS, ROOTS, MUCK, EXISTING PAVEMENT AND ALL OTHER DELETERIOUS MATERIAL. UPON REMOVAL NO ROOT GREATER THAN THREE INCHES IN DIAMETER SHALL REMAIN WITHIN FIVE FEET OF AN UNDERGROUND STRUCTURE OR UTILITY LINE OR UNDER PAVED FOOTINGS OR PAVED AREAS.
3. IN AREAS WHERE EXISTING PAVEMENT, WALKS, OR CURBS ARE TO BE REMOVED, SAW CUT TO PROVIDE A CLEAN EDGE. COORDINATE EXTENT OF PAVEMENT DEMOLITION WITH THE LIMIT OF IMPROVEMENTS ON THE SITE LAYOUT PLAN AND UTILITY PLAN.
4. THE CONTRACTOR SHALL COORDINATE PHASING OF THE DEMOLITION WITH THE OWNER'S REPRESENTATIVE AND UTILITY PROVIDERS PRIOR TO BEGINNING WORK. DISRUPTION OF EXISTING UTILITY SERVICES AND TRAFFIC PATTERNS SHALL BE MINIMIZED TO THE EXTENT POSSIBLE AND INITIATED ONLY AFTER APPROVAL BY THE LOCAL AGENCY(S) AND UTILITY PROVIDER(S).
5. NO UTILITY OR STORM SEWER LINES SHALL BE DEMOLISHED UNTIL THE NEW LINES HAVE BEEN INSTALLED AND ARE PLACED INTO OPERATION.
6. THE CONTRACTOR SHALL INCORPORATE INTO HIS WORK ANY ISOLATION VALVES OR TEMPORARY PLUGS REQUIRED TO CONSTRUCT NEW UTILITY LINES AND DEMOLISH EXISTING UTILITY LINES.
7. WHERE WATER LINE AND SEWER LINE ABANDONMENT IS PLANNED, THE CONTRACTOR MAY ABANDON WATER LINES AND SEWER LINES IN PLACE WHERE THEY OCCUR AT LEAST 24 INCHES (TO TOP OF PIPE) BELOW FINAL SUBGRADE ELEVATIONS AND OUTSIDE THE BUILDING FOOT PRINT. ALL UTILITY LINES BEING ABANDONED IN PLACE SHALL HAVE ALL ENDS PERMANENTLY CLOSED USING A CONCRETE PLUG.
8. CAVITIES AND TRENCHES LEFT BY DEMOLITION WORK SHALL BE BACKFILLED AND COMPAKTED IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS.
9. ALL MATERIALS BEING REMOVED AND NOT RELOCATED UNDER THE NEW CONSTRUCTION, INCLUDING TREES AND SHRUBS, SIGNS, LIGHT POLES, UTILITY STRUCTURES, ETC., SHALL BE FIRST OFFERED TO THE OWNER'S REPRESENTATIVE AND IF NOT ACCEPTED SHALL THEN BE PROPERLY DISPOSED OF BY THE CONTRACTOR.

SITE GRADING NOTES:

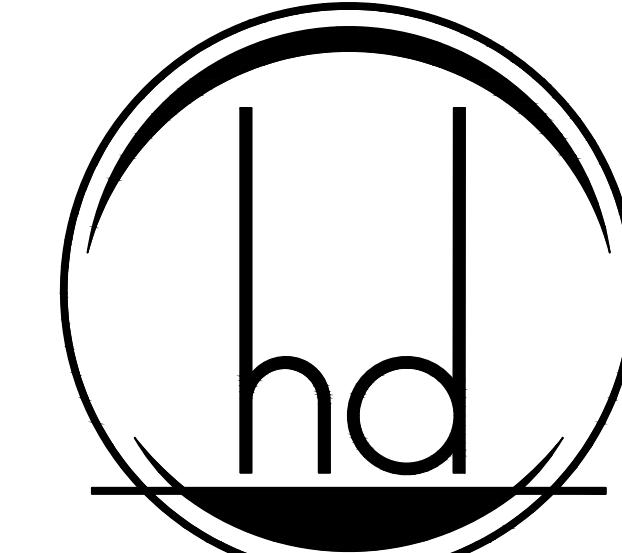
1. BASE INFORMATION WAS TAKEN FROM A PARTIAL BOUNDARY & TOPOGRAPHIC SURVEY PERFORMED BY WEATHERFORD & ASSOCIATES. WITH SOME BASE INFORMATION TAKEN FROM A PARTIAL BOUNDARY & TOPOGRAPHIC SURVEY PERFORMED BY WILSON & ASSOCIATES. CRUNK ENGINEERING LLC SHALL NOT BE RESPONSIBLE FOR ERRORS AND OMISSIONS RESULTING FROM THIS INFORMATION.
2. THE DISTURBED AREA FOR THIS PROJECT IS APPROXIMATELY 4.60 ACRES.
3. THE SUBJECT PROPERTY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE ACCORDING TO PLAN NO. 47187C0212F OF THE F.E.M.A. FLOOD INSURANCE RATE MAPS FOR WILLIAMSON COUNTY, TENNESSEE, DATED 9/29/2006.
4. MULCH AND SEED ALL DISTURBED AREAS AS SOON AS POSSIBLE AFTER FINAL GRADING IS COMPLETED, UNLESS OTHERWISE INDICATED. CONTRACTOR SHALL TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
5. THE CONTRACTOR SHALL CHECK EXISTING GRADES AND DIMENSIONS PRIOR TO BEGINNING WORK AND REPORT ANY DISCREPANCIES TO THE ENGINEER. THIS GRADING & DRAINAGE PLAN IS NOT A DETERMINATION OR GUARANTEE OF THE SUITABILITY OF THE SUBSURFACE CONDITIONS FOR THE WORK INDICATED. A GEOTECHNICAL SOILS REPORT HAS BEEN PREPARED AND IS AVAILABLE FROM THE OWNER. DETERMINATION OF THE SUBSURFACE CONDITIONS FOR THE WORK INDICATED IS THE CONTRACTOR'S SOLE RESPONSIBILITY.
6. IF ANY SPRINGS OR UNDERGROUND STREAMS ARE EXPOSED DURING CONSTRUCTION THE OWNER'S REPRESENTATIVE AND ENGINEER SHALL BE NOTIFIED IMMEDIATELY. PERMANENT MEDIATION MAY BE REQUIRED, THE LOCATION AND SPECIFICATION OF WHICH WILL BE DETERMINED BY THE CONDITIONS WHICH ARE ENCOUNTERED.
7. THE PROPOSED GRADING AND DRAINAGE PLAN CONTAIN CONTOUR LINES AND SPOT ELEVATIONS RESULTING FROM AN ENGINEERED DESIGN AND REFLECT A PLANNED INTENT WITH REGARD TO DRAINAGE AND MOVEMENT OF MATERIALS. SHOULD THE CONTRACTOR HAVE ANY QUESTION OF THE INTENT OR ANY PROBLEM WITH THE CONTINUITY OF GRADES, THE ENGINEER SHALL BE CONTACTED IMMEDIATELY.
8. ALL CUT AND FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE INDICATED ON PLANS. FILL SLOPES OF 3:1 AND GREATER SHALL BE PLACED AND COMPAKTED A MINIMUM OF 5 FEET BEYOND THE PROPOSED SLOPE LIMITS AND THEN EXCAVATED BACK TO THE PROPOSED LOCATION.
9. THE MAXIMUM SLOPE WITHIN ACCESSIBLE PARKING SPACES SHALL BE 2.0% IN ANY DIRECTION. THE MINIMUM GRADE ON ASPHALT OR CONCRETE PAVING SHALL BE 1.0% UNLESS OTHERWISE INDICATED ON PLANS.
10. PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. SLIGHT FIELD ADJUSTMENT MAY BE REQUIRED. THE CONTRACTOR WILL BE REQUIRED TO ADJUST GRADES OF INTERSECTING STREETS, ALLEYS, PUBLIC ENTRANCES AND PRIVATE DRIVES AS DIRECTED BY THE ENGINEER.
11. THE CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AT ALL TIMES DURING AND AFTER CONSTRUCTION. SOIL AFFECTED BY PERCHED WATER IN FOUNDATION AND PAVEMENT AREAS MUST BE UNDERTAKEN AND REPLACED WITH SUITABLE FILL MATERIALS APPROVED BY A GEOTECHNICAL ENGINEER. GROUNDWATER INFILTRATION INTO EXCAVATIONS SHOULD BE EXPECTED, AND THE WATER SHALL BE REMOVED USING GRAVITY DRAINAGE OR PUMPING.
12. THE CONTRACTOR SHALL TAKE SPECIAL CARE TO COMPACT FILL SUFFICIENTLY AROUND AND OVER ALL PIPES, STRUCTURES, VALVE STEMS, ETC., INSIDE THE PROPOSED PAVED AREAS TO AVOID SETTLEMENT. ANY SETTLEMENT DURING THE WARRANTY PERIOD SHALL BE RESTORED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
13. THE CONTRACTOR SHALL NOT DISTURB VEGETATION OR REMOVE ANY TREES EXCEPT WHEN NECESSARY FOR GRADING PURPOSES.
14. THE CONTRACTOR SHALL STRIP TOPSOIL FROM ALL CUT AND FILL AREAS AND STOCKPILE. UPON COMPLETION OF GENERAL GRADING THE TOPSOIL SHALL BE PLACED OVER ALL DISTURBED AREAS TO A MINIMUM DEPTH OF 6'. CONTRACTOR SHALL PROVIDE ADDITIONAL TOPSOIL IF INSUFFICIENT QUANTITIES EXIST ON SITE. THE CONTRACTOR SHALL PROVIDE MEASURES TO PREVENT SEDIMENT FROM STOCKPILED TOPSOIL OR FILL MATERIAL FROM CONTAMINATING SURROUNDING AREAS OR ENTERING NEARBY STREAMS.
15. ALL FILL MATERIAL SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT. THIS MATERIAL SHALL BE PLACED IN LISTS AND COMPAKTED AS DIRECTED BY THE GEOTECHNICAL ENGINEER (TO 95% STANDARD PROCTOR).
16. THE CONTRACTOR IS RESPONSIBLE FOR PERMITTING ANY SITE USED FOR DISPOSAL AND/OR STOCKPILE OF ANY MATERIAL FOR SUCH ACTIVITY. A COPY OF THE APPROVED PERMIT MUST BE PROVIDED TO THE INSPECTOR PRIOR TO COMMENCEMENT OF WORK ON ANY PROPERTY. FAILURE TO DO SO MAY RESULT IN THE CONTRACTOR REMOVING ANY ILLEGALLY PLACED MATERIAL AT HIS OWN EXPENSE.
17. ANY EXCESS EARTH MATERIAL AS A RESULT FROM GRADING ACTIVITIES SHALL BE FIRST OFFERED TO THE OWNER. IF NOT ACCEPTED BY THE OWNER, THE CONTRACTOR SHALL DISPOSE OF EARTH MATERIAL OFF SITE AT NO ADDITIONAL COST TO THE OWNER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO IMPORT SUITABLE MATERIAL FOR GRADING ACTIVITIES IF SUFFICIENT AMOUNTS OF EARTH MATERIAL ARE NOT AVAILABLE ON SITE AT NO ADDITIONAL COST TO THE OWNER.
18. SEGMENTAL WALLS SHALL BE PROVIDED BY THE CONTRACTOR ON A DESIGN BUILD BASIS. WALL DESIGN PLANS STAMPED BY A REGISTERED ENGINEER IN THE STATE OF THE PROJECT SHALL BE SUBMITTED TO THE ENGINEER AS A SHOP DRAWING AND INCLUDED IN THE CONSTRUCTION DOCUMENTS.
19. TOP OF GRATE ELEVATIONS FOR DRAINAGE STRUCTURES SHALL BE AS SHOWN ON THE DETAIL AND GRADING PLAN, UNLESS NOTED OTHERWISE. THE GRATES SHALL SLOPE WITH THE PAVEMENT AND/OR CURB AND GUTTER GRADES. LOCATION OF DRAINAGE STRUCTURES IS AS SHOWN ON THE GRADING PLAN.
20. THE CONTRACTOR SHALL COORDINATE EXACT LOCATION OF STORM DRAIN CONNECTIONS AT THE BUILDING WITH THE PLUMBING PLANS.
21. REINFORCED CONCRETE STORM PIPE SHALL MEET ASTM 74 CLASS III, WALL TYPE "B" MESH REINFORCEMENT. HIGH DENSITY POLYETHYLENE PIPE (HDPE) SHALL MEET ASTM F 2648. POLYVINYLCHLORIDE PIPE (PVC) SHALL MEET ASTM D3034, SDR 35.

EROSION CONTROL NOTES:

1. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE AND FUNCTIONAL BEFORE GRADING ACTIVITIES BEGIN AND MUST BE CONSTRUCTED AND MAINTAINED THROUGH THE DURATION OF THE PROJECT. TEMPORARY MEASURES MAY BE REMOVED AT THE BEGINNING OF THE WORKDAY BUT MUST BE REPLACED AT THE END OF THE WORKDAY.
2. THE CONTRACTOR SHALL SEQUENCE CONSTRUCTION TO MINIMIZE THE EXPOSURE TIME OF GRADED AND DENUDED AREAS.
3. CONSTRUCT SILT BARRIERS BEFORE BEGINNING GRADING OPERATIONS.
4. PROVIDE TEMPORARY CONSTRUCTION ACCESS(E'S) AT THE POINT(S) WHERE CONSTRUCTION VEHICLES EXIT THE CONSTRUCTION AREA. MAINTAIN PUBLIC ROADWAYS FREE OF TRACKED MUD AND DIRT.
5. EXISTING VEGETATION AND GROUND COVER SHALL NOT BE DESTROYED, REMOVED OR DISTURBED MORE THAN 10 DAYS PRIOR TO GRADING OR EARTH MOVING UNLESS THE AREA IS SEEDED AND/OR MULCHED OR OTHER TEMPORARY COVER IS INSTALLED.
6. USE TEMPORARY VEGETATION AND/OR MULCH TO PROTECT BARE AREAS FROM EROSION DURING CONSTRUCTION.
7. INSPECTION AND MAINTENANCE OF EROSION CONTROL DEVICES SHALL BE PERFORMED ON A REGULAR BASIS. IF AT ANY TIME DURING CONSTRUCTION, THE EROSION AND SEDIMENT CONTROL MEASURES INSTALLED FAIL TO FUNCTION PROPERLY, NEED MAINTENANCE OR REPAIR, OR NEED NEW REPLACEMENT IN KIND, THE CONTRACTOR WILL EFFECT SUCH ACTIONS AS ARE NEEDED TO CORRECT THE SITUATION AT NO ADDITIONAL COST TO THE OWNER.
8. THE CONTRACTOR SHALL USE WATER SPRINKLING AND OTHER SUITABLE METHODS AS NECESSARY TO CONTROL DUST AND DIRT CAUSED BY CONSTRUCTION ACTIVITY. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST CONTROL ARE PROHIBITED.
9. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAILED AND PROPERLY TREATED OR DISPOSED.
10. STABILIZATION PRACTICES SHOULD BE INITIATED AS SOON AS PRACTICAL, BUT IN NO CASE MORE THAN 7 DAYS WHERE CONSTRUCTION HAS TEMPORARILY OR PERMANENTLY CEASED. DISTURBED AREAS WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY STABILIZED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRED.
11. SEDIMENT SHOULD BE REMOVED FROM SEDIMENT AND EROSION CONTROL DEVICES AS NECESSARY AND MUST BE REMOVED WHEN DESIGN CAPACITY HAS BEEN REDUCED BY 50% OR AS DIRECTED BY OWNER'S REPRESENTATIVE.
12. THE CONTRACTOR SHALL REMOVE SEDIMENT BUILD UP FROM ALL DRAINAGE STRUCTURES BEFORE ACCEPTANCE BY LOCAL GOVERNING AGENCY OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
13. THE CONTRACTOR SHALL REMOVE THE TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES ONLY AFTER A GOOD STAND OF VEGETATIVE COVER HAS BEEN ESTABLISHED ON GRADED AREAS AND WHEN IN THE OPINION OF THE OWNER'S REPRESENTATIVE, THEY ARE NO LONGER NEEDED.
14. THE CONTRACTOR SHALL PROVIDE ALL HORIZONTAL AND VERTICAL BENDS TO ATTAIN THE ALIGNMENT INDICATED ON THE PLANS. PROVIDE VERTICAL BENDS WHERE NECESSARY TO ALLOW WATER LINES TO PASS UNDER OR OVER OTHER UTILITY LINES (ALL BENDS AND BRACES NEEDED MAY NOT BE SHOWN ON THESE PLANS). PROVIDE BRACING AND/OR RODDING AT ALL BENDS AND TEES AS REQUIRED.
15. THE CONTRACTOR SHALL COORDINATE EXACT LOCATION OF UTILITY CONNECTIONS AT THE BUILDING WITH PLUMBING PLANS.
16. PROPOSED GAS LINE, ELECTRIC LINE AND TELEPHONE LINE CONSTRUCTION AND INSTALLATION SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY PROVIDERS.
17. EXISTING CASTINGS LOCATED IN FILL/CUT AREAS SHALL BE ADJUSTED TO ENSURE THAT THE TOP OF CASTING IS FLUSH WITH THE FINISHED GRADE.
18. THE CONTRACTOR SHALL MARK THE LOCATION OF ALL NEW PVC LINES WITH #8 WIRE.
19. ALL CONNECTIONS TO EXISTING MANHOLES SHALL BE BY THE CORING AND RESILIENT SEAL METHOD.
20. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTIVE MEASURES TO SAFEGUARD EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION OF THIS PROJECT. IN THE EVENT THAT SPECIAL EQUIPMENT IS REQUIRED TO WORK OVER AND AROUND THE UTILITIES, THE CONTRACTOR WILL BE REQUIRED TO FURNISH SUCH EQUIPMENT AT NO ADDITIONAL COST TO THE OWNER.
21. ALL FIRE LINES SHALL BE INSTALLED BY A SPRINKLER CONTRACTOR LICENSED IN THE STATE OF THE PROJECT.
22. PRIOR TO SUBMITTING OF BID, THE CONTRACTOR WILL BE RESPONSIBLE FOR CONTACTING OWNERS OF ALL AFFECTED UTILITIES IN ORDER TO DETERMINE THE EXTENT TO WHICH UTILITY RELOCATIONS AND/OR ADJUSTMENTS WILL HAVE UPON THE SCHEDULE OF WORK FOR THE PROJECT. WHILE SOME WORK MAY BE REQUIRED 'AROUND' UTILITY FACILITIES THAT WILL REMAIN IN PLACE, OTHER UTILITY FACILITIES MAY NEED TO BE ADJUSTED CONCURRENTLY WITH THE CONTRACTOR'S OPERATIONS.

UTILITY NOTES:

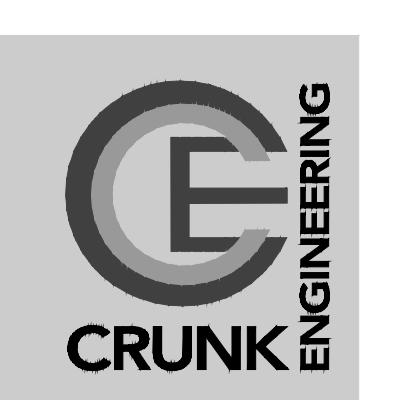
1. ALL WATER LINES, SEWER LINES AND APPURTENANCES SHALL BE CONSTRUCTED OF MATERIALS THAT CONFORM WITH LOCAL AGENCY(S) AND UTILITY PROVIDER DETAILS AND SPECIFICATIONS.
2. SANITARY SEWER SHALL BE OF MATERIAL AS SPECIFIED ON PLANS. POLYVINYLCHLORIDE (PVC) SHALL MEET ASTM D3034 SDR35. DUCTILE IRON PIPE (DIP) SHALL MEET ANSI21.51/AWWA C-151 CLASS 52.
3. WATER LINES SHALL BE OF MATERIAL AS SPECIFIED ON PLANS. CEMENT LINED DUCTILE IRON (DIP) SHALL MEET AWWA C-151 CLASS 52. POLYVINYLCHLORIDE (PVC) SHALL MEET AWWA C-900, SDR 18, CLASS 150.
4. A MINIMUM COVER OF 36" SHALL BE PROVIDED OVER ALL WATER LINES.
5. THE CONTRACTOR SHALL MAINTAIN A HORIZONTAL SEPARATION OF 10 FEET BETWEEN SANITARY SEWER LINES AND WATER LINES. WHERE THESE CRITERIA CANNOT BE MET, THE CONTRACTOR SHALL MAINTAIN 18" VERTICAL SEPARATION BETWEEN WATER AND SEWER LINES.
6. EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE SURVEYOR AT THE TIME OF THE TOPOGRAPHIC SURVEY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ENTIRELY ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE HE COMMENCES ANY WORK IN THE VICINITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
7. THE CONTRACTOR SHALL VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF THE POINT OF CONNECTIONS OF ALL UTILITIES PRIOR TO ORDERING OF MATERIALS OR COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
8. THE CONTRACTOR SHALL COORDINATE THE SEQUENCE OF CONSTRUCTION FOR ALL UTILITY LINES TO PREVENT CONFLICTS WITH EXISTING OR PROPOSED WATER LINES, SANITARY SEWER LINES, SANITARY SEWER SERVICES, STORM SEWERS, OR ANY OTHER UTILITY OR STRUCTURE.
9. BEFORE CONNECTIONS ARE MADE INTO EXISTING UTILITIES, THE NEW LINES ARE TO BE FLUSHED AND TESTED BY THE CONTRACTOR IN ACCORDANCE WITH THE LOCAL AGENCY(S) AND UTILITY PROVIDER(S) WATER AND SEWER SPECIFICATIONS.
10. REDUCED PRESSURE BACKFLOW PREVENTOR (RPBP) OR DUAL CHECK VALVE BE REQUIRED ON ALL TESTS AND FILL LINES (JUMPER) NEEDED FOR WATER MAIN CONSTRUCTION AND MUST BE APPROVED BY LOCAL AGENCY AND UTILITY PROVIDER.
11. THE CONTRACTOR SHALL PROVIDE ALL HORIZONTAL AND VERTICAL BENDS TO ATTAIN THE ALIGNMENT INDICATED ON THE PLANS. PROVIDE VERTICAL BENDS WHERE NECESSARY TO ALLOW WATER LINES TO PASS UNDER OR OVER OTHER UTILITY LINES (ALL BENDS AND BRACES NEEDED MAY NOT BE SHOWN ON THESE PLANS). PROVIDE BRACING AND/OR RODDING AT ALL BENDS AND TEES AS REQUIRED.
12. THE CONTRACTOR SHALL COORDINATE EXACT LOCATION OF UTILITY CONNECTIONS AT THE BUILDING WITH PLUMBING PLANS.
13. PROPOSED GAS LINE, ELECTRIC LINE AND TELEPHONE LINE CONSTRUCTION AND INSTALLATION SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY PROVIDERS.
14. EXISTING CASTINGS LOCATED IN FILL/CUT AREAS SHALL BE ADJUSTED TO ENSURE THAT THE TOP OF CASTING IS FLUSH WITH THE FINISHED GRADE.
15. THE CONTRACTOR SHALL MARK THE LOCATION OF ALL NEW PVC LINES WITH #8 WIRE.
16. ALL CONNECTIONS TO EXISTING MANHOLES SHALL BE BY THE CORING AND RESILIENT SEAL METHOD.
17. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTIVE MEASURES TO SAFEGUARD EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION OF THIS PROJECT. IN THE EVENT THAT SPECIAL EQUIPMENT IS REQUIRED TO WORK OVER AND AROUND THE UTILITIES, THE CONTRACTOR WILL BE REQUIRED TO FURNISH SUCH EQUIPMENT AT NO ADDITIONAL COST TO THE OWNER.
18. ALL FIRE LINES SHALL BE INSTALLED BY A SPRINKLER CONTRACTOR LICENSED IN THE STATE OF THE PROJECT.
19. PRIOR TO SUBMITTING OF BID, THE CONTRACTOR WILL BE RESPONSIBLE FOR CONTACTING OWNERS OF ALL AFFECTED UTILITIES IN ORDER TO DETERMINE THE EXTENT TO WHICH UTILITY RELOCATIONS AND/OR ADJUSTMENTS WILL HAVE UPON THE SCHEDULE OF WORK FOR THE PROJECT. WHILE SOME WORK MAY BE REQUIRED 'AROUND' UTILITY FACILITIES THAT WILL REMAIN IN PLACE, OTHER UTILITY FACILITIES MAY NEED TO BE ADJUSTED CONCURRENTLY WITH THE CONTRACTOR'S OPERATIONS.
20. THE CONTRACTOR SHALL COORDINATE EXACT LOCATION OF STORM DRAIN CONNECTIONS AT THE BUILDING WITH THE PLUMBING PLANS.
21. REINFORCED CONCRETE STORM PIPE SHALL MEET ASTM 74 CLASS III, WALL TYPE "B" MESH REINFORCEMENT. HIGH DENSITY POLYETHYLENE PIPE (HDPE) SHALL MEET ASTM F 2648. POLYVINYLCHLORIDE PIPE (PVC) SHALL MEET ASTM D3034, SDR 35.



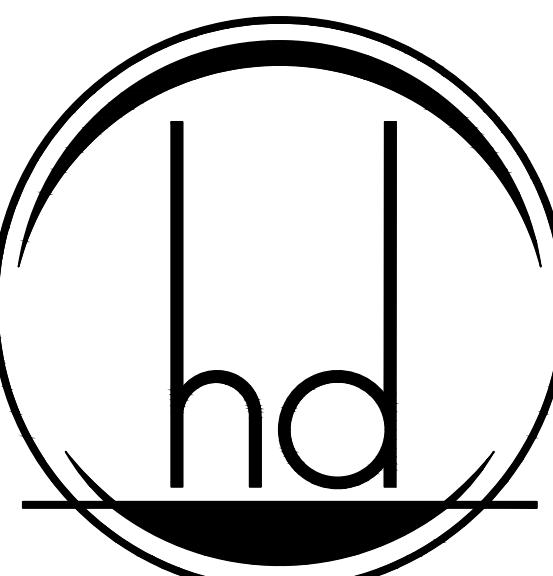
216042.00
PROJECT LOCATION
1217 Liberty Pike
Franklin TN 37067
Prime Health Services

Carothers Development Subdivision, Site Plan, Revision 1 (Prime Health) C.O.F. # 6323
CONSTRUCTION DOCUMENTS

05/04/17
DATES OF ISSUANCE
05/04/17
NOTES
SHEET C1.0



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(615) 873-1795
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CONSTRUCTION
DOCUMENTS

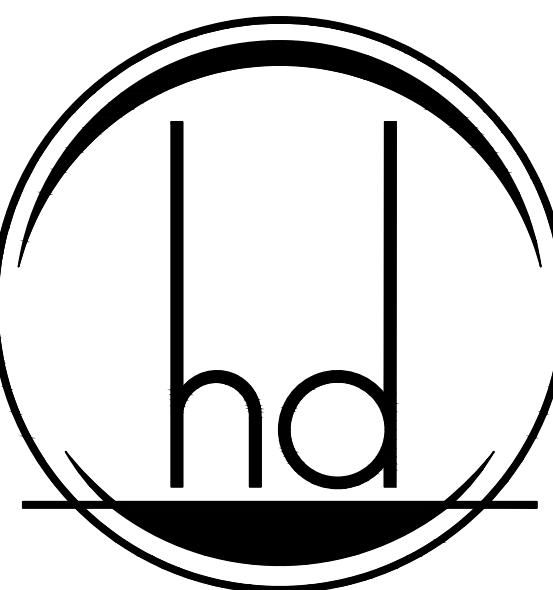
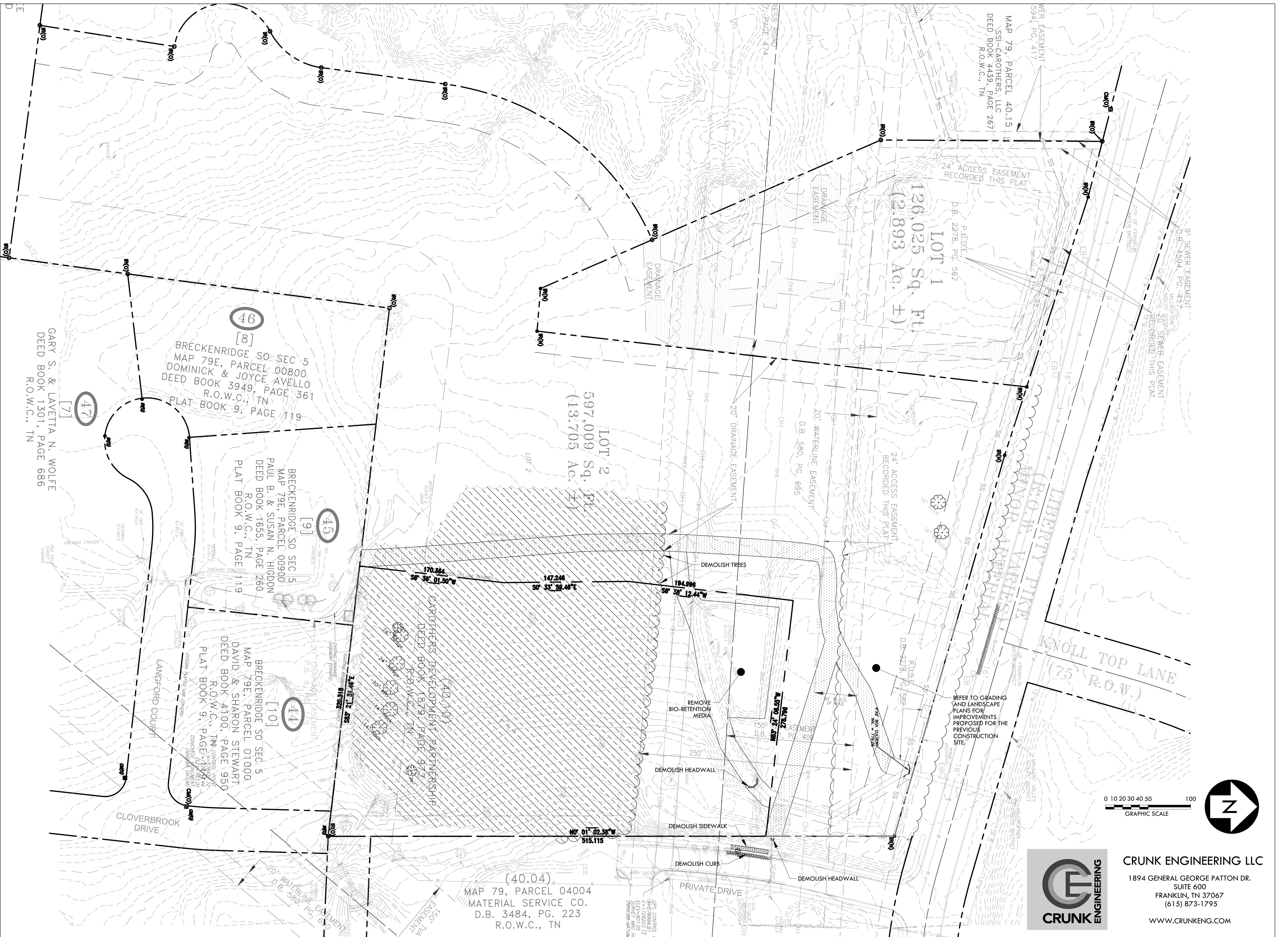


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DATES OF ISSUANCE

EXISTING
CONDITIONS

C2.0



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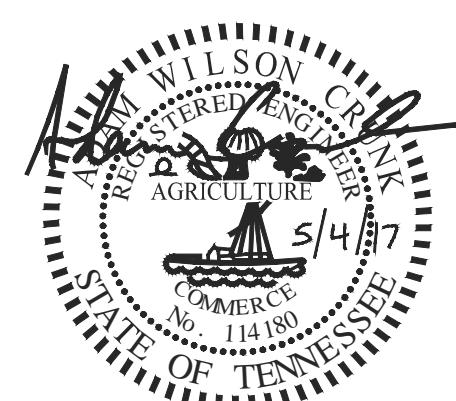
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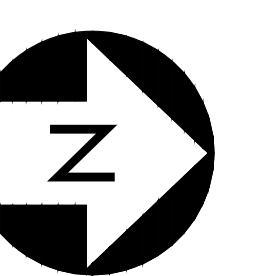
11. *What is the primary purpose of the following statement?*

Carothers Development

Development Subdivision, Site Plan, Revision 1 (Prime Health) C.O.F. # 6323



05/04/17



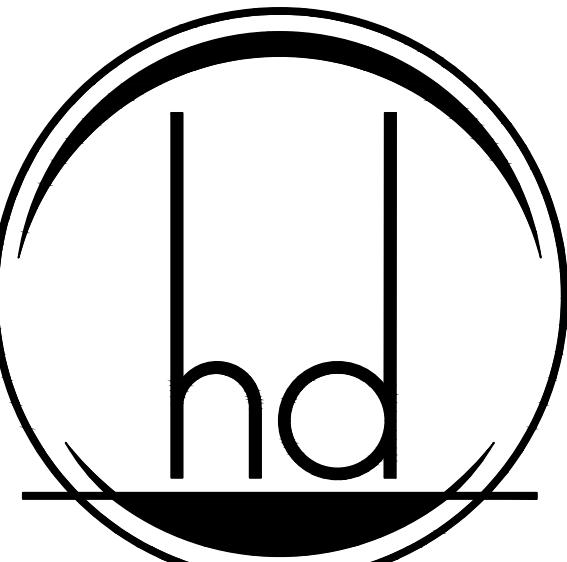
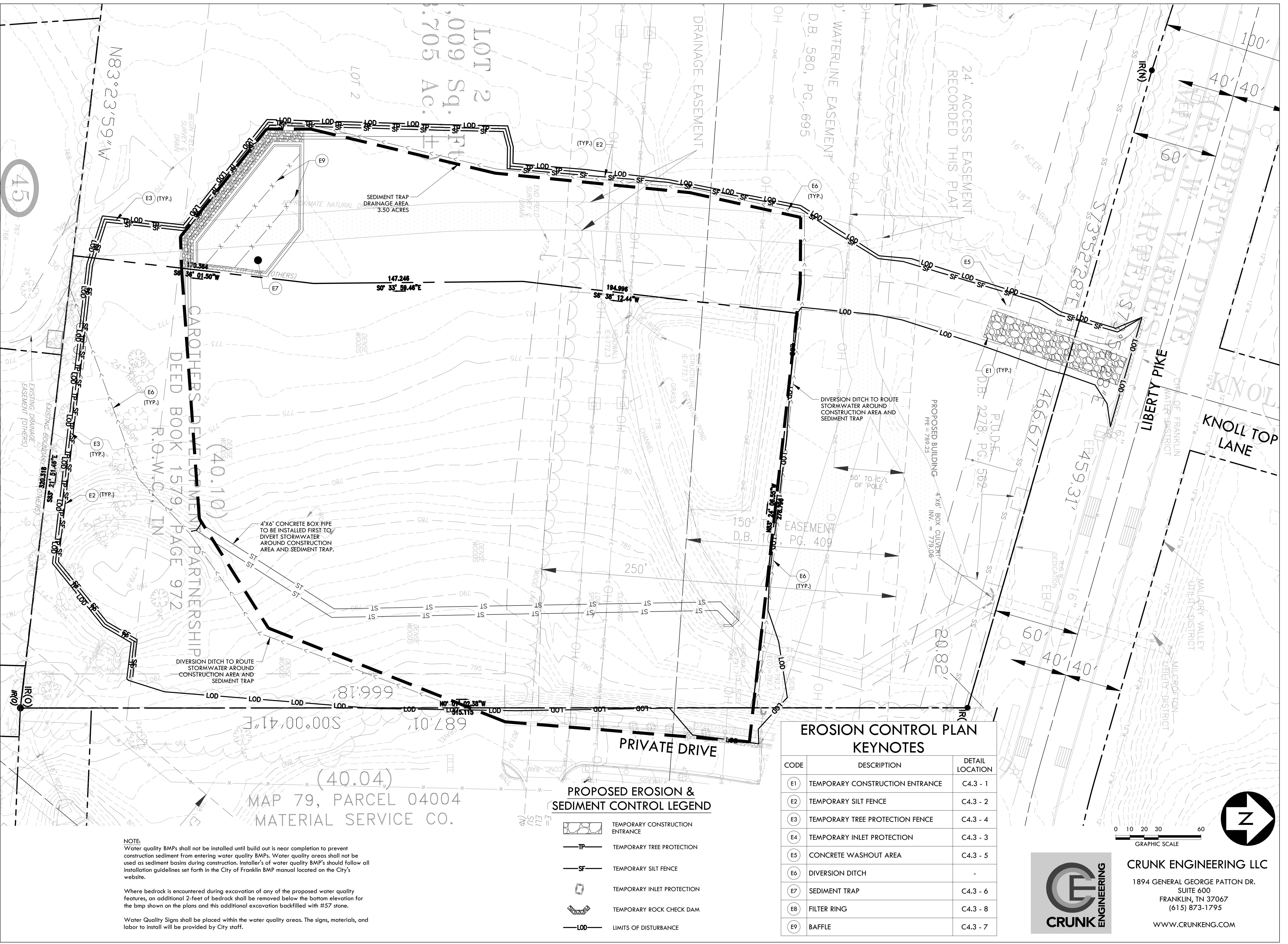
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DEMOLITION PLAN

C3.0



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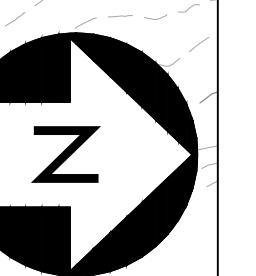
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CONSTRUCTION DOCUMENTS



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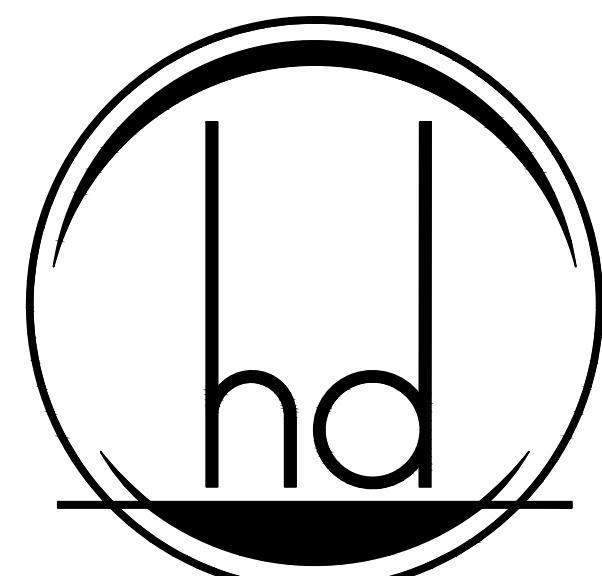
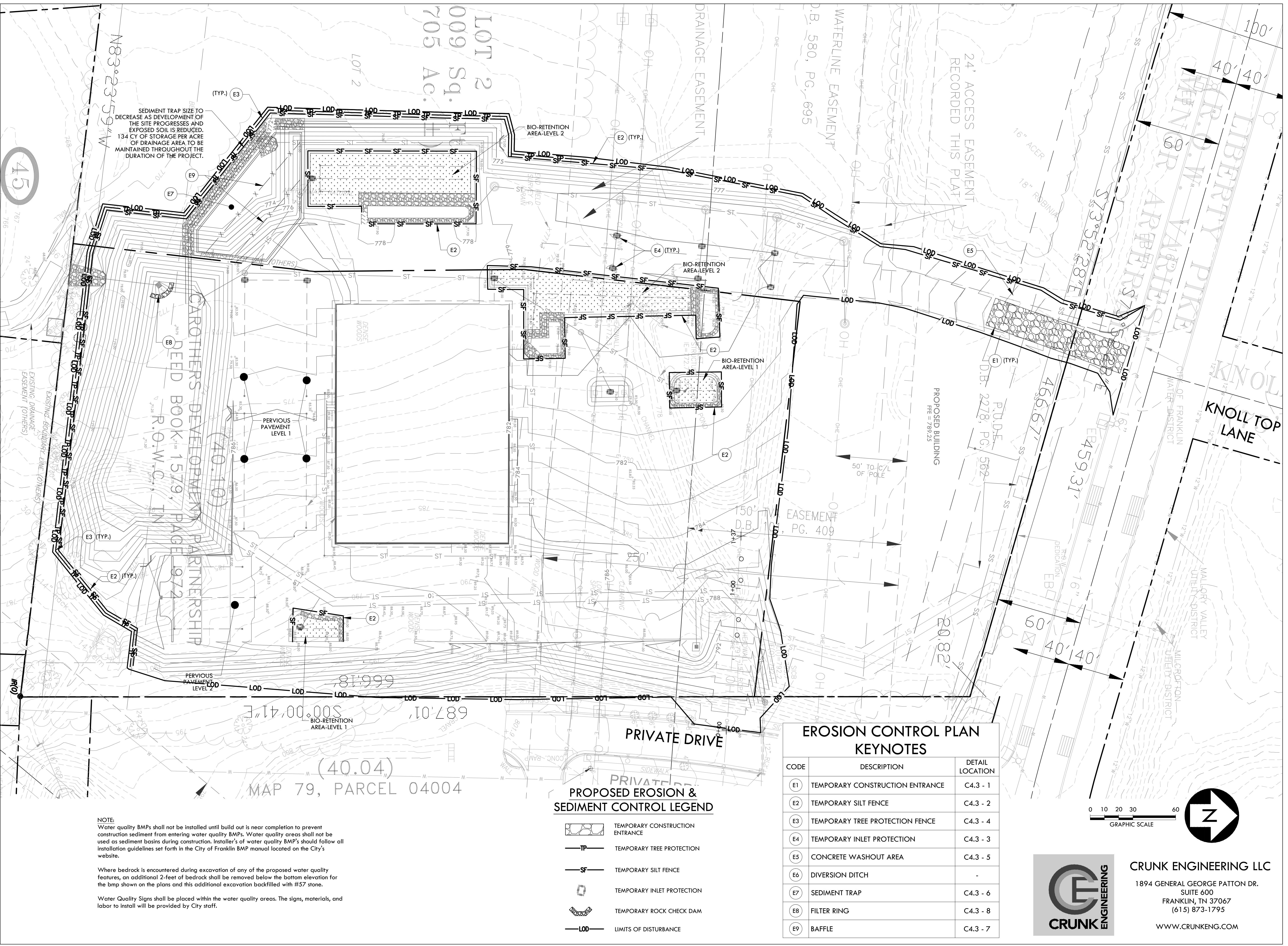
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CRUNK ENGINEERING

INITIAL EPSC & WATER QUALITY PLAN

C4.0



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Prime Health Services

CLIENT LOCATION PROJECT

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Development
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Plan, Revision 1
(Prime Health)
C.O.F. # 6323

CONSTRUCTION
DOCUMENTS



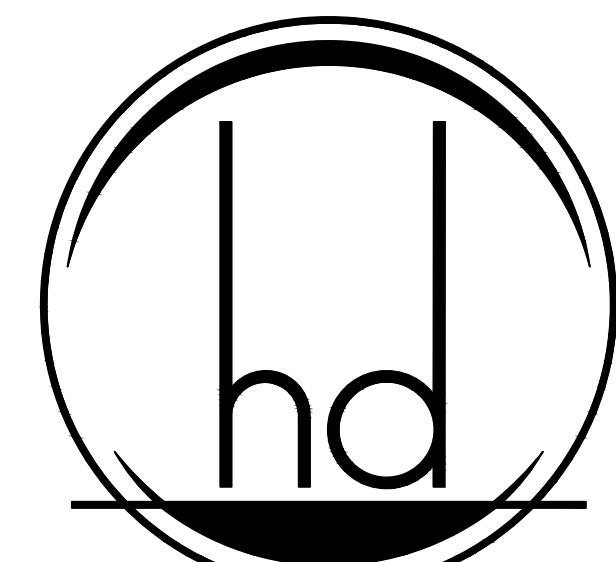
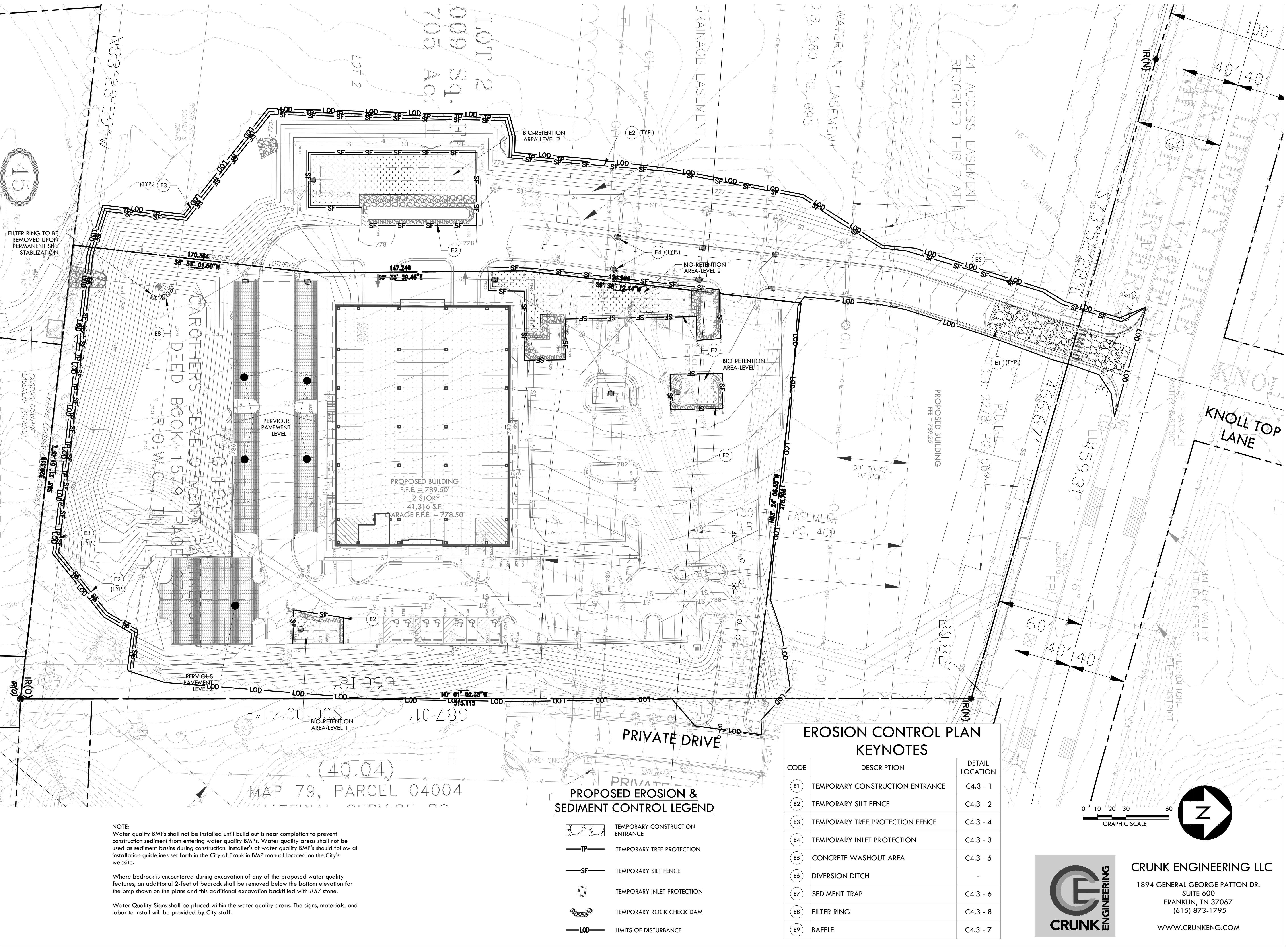
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DATES OF ISSUANCE

INTERIM EPSC &
WATER QUALITY PLAN

SHEET TITLE

C4.1



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Prime Health Services

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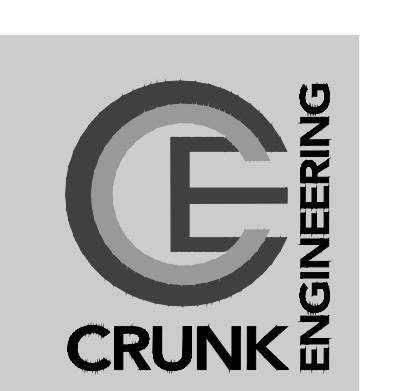
CONSTRUCTION
DOCUMENTS



05/04/17



DATES OF ISSUANCE



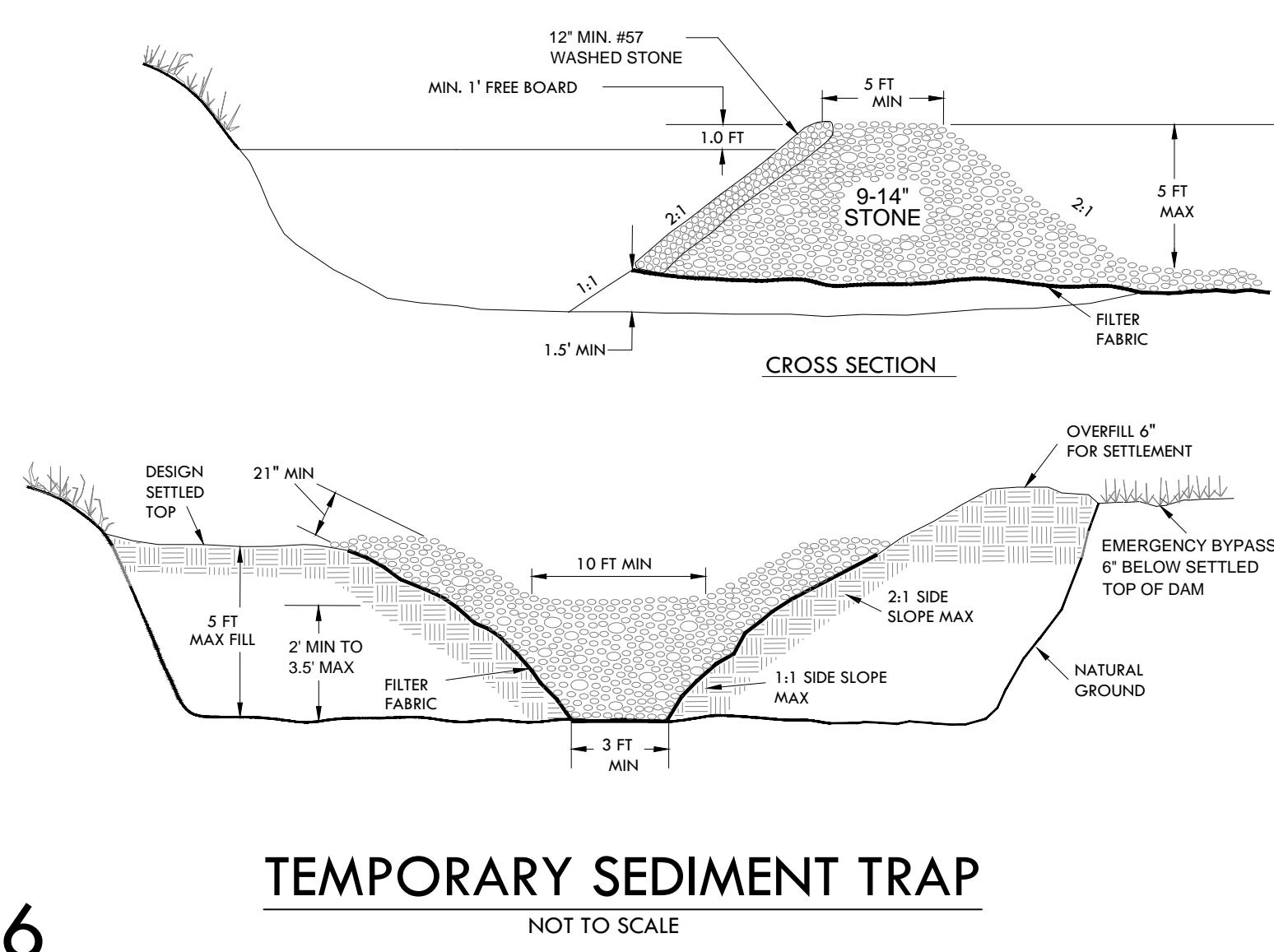
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FRANKLIN, TN 37067
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FINAL EPSC & WATER
QUALITY PLAN

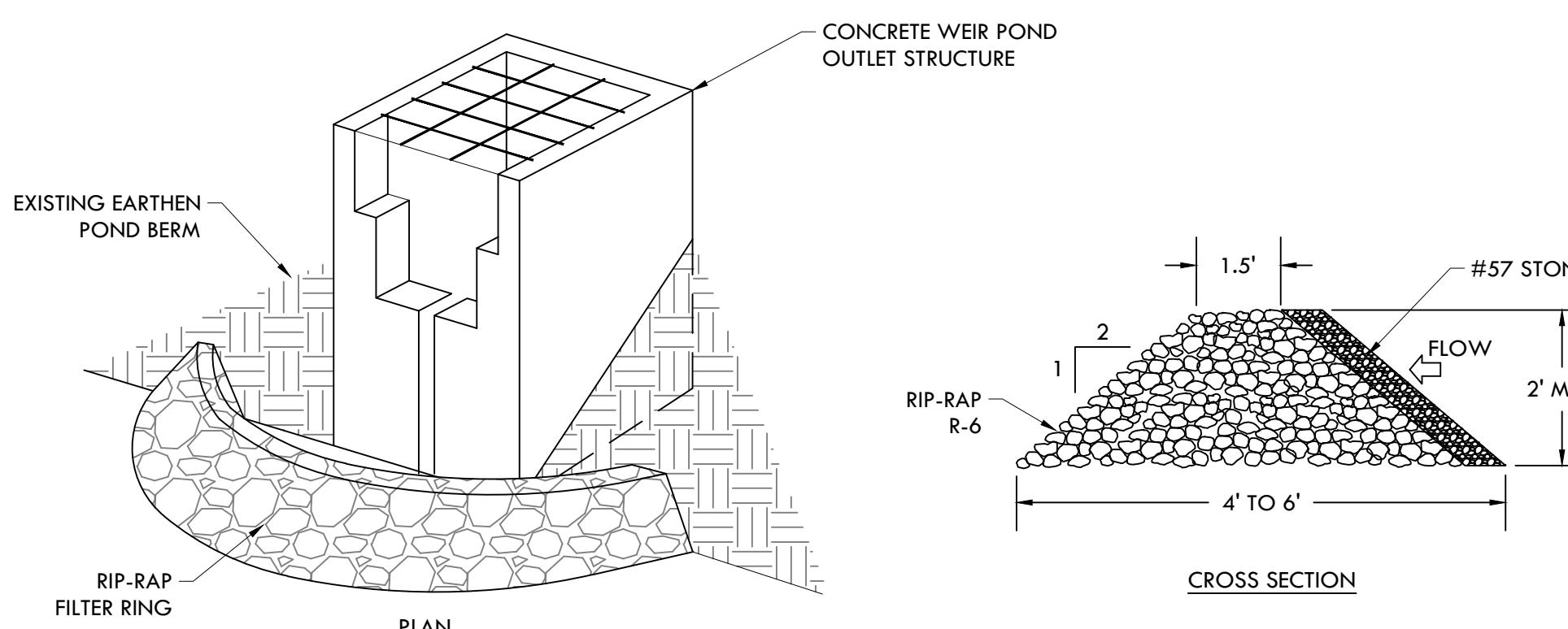
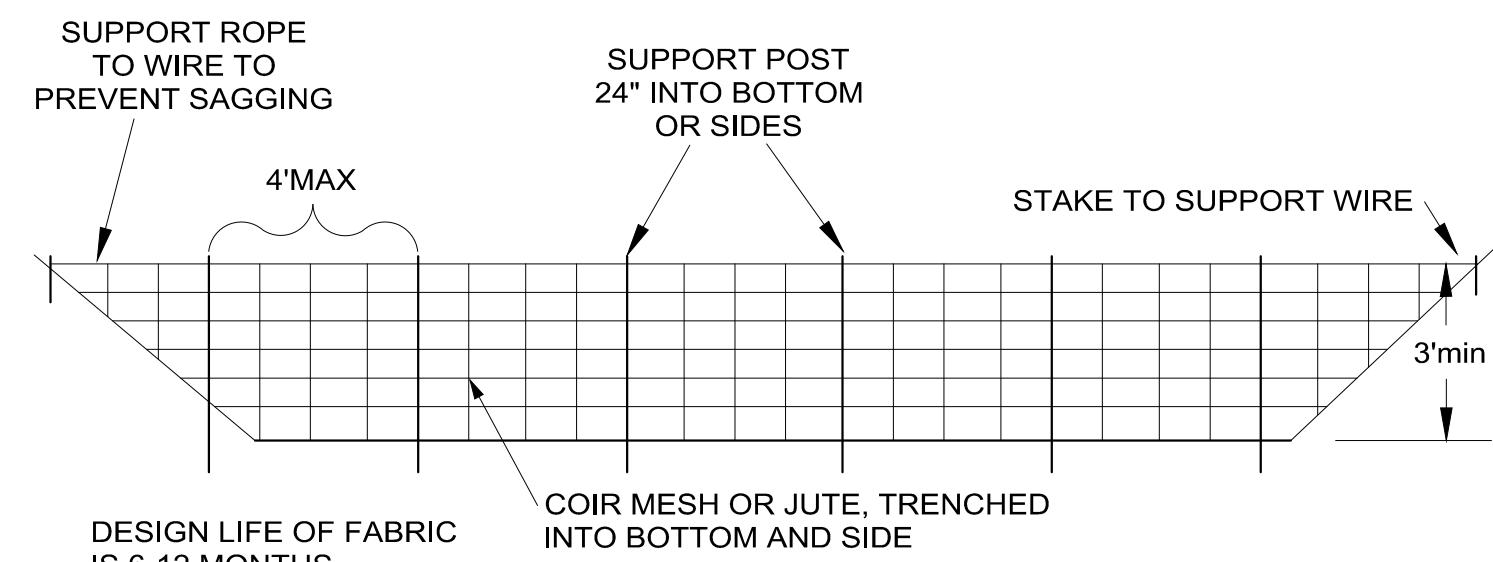
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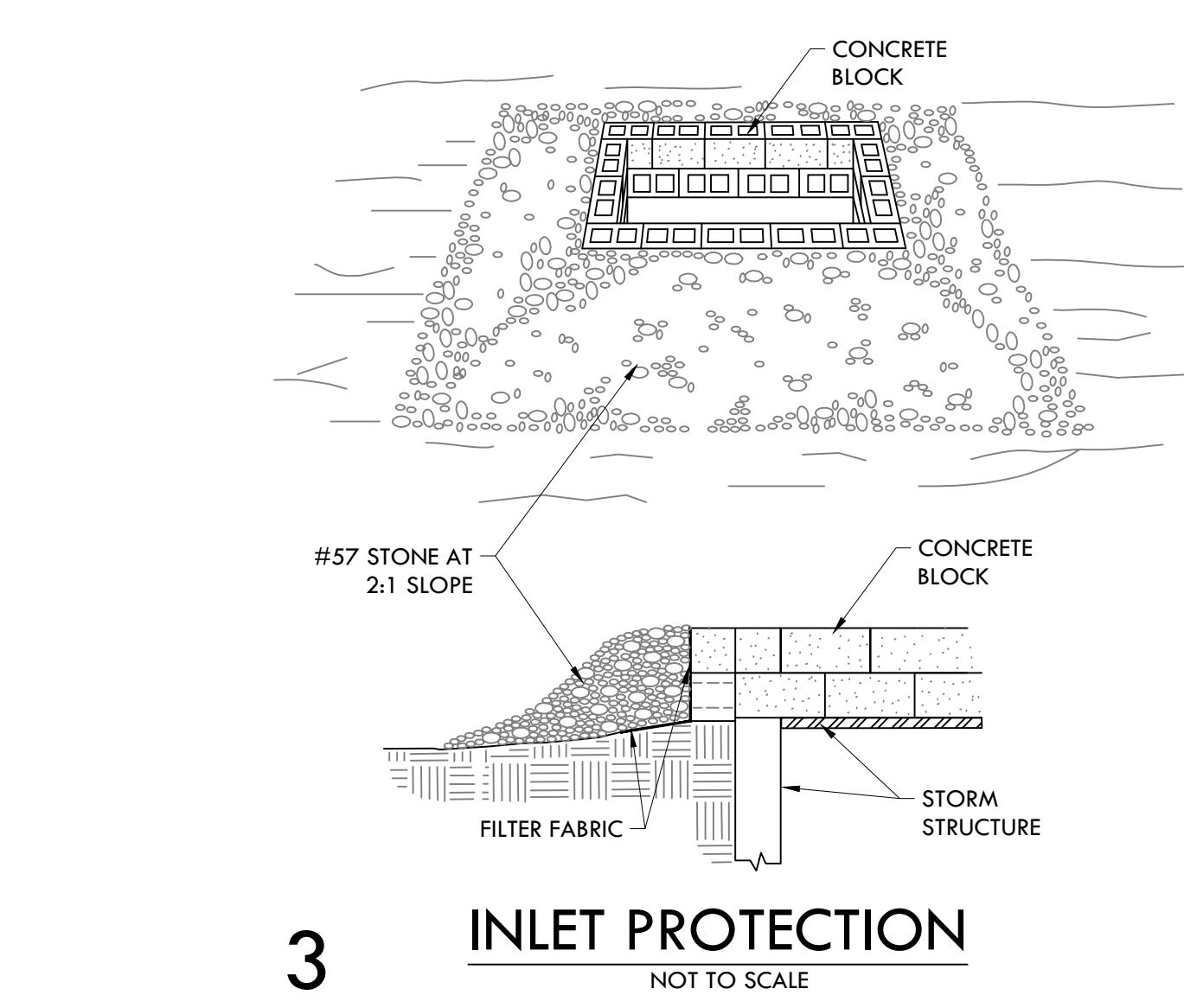
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TITLE



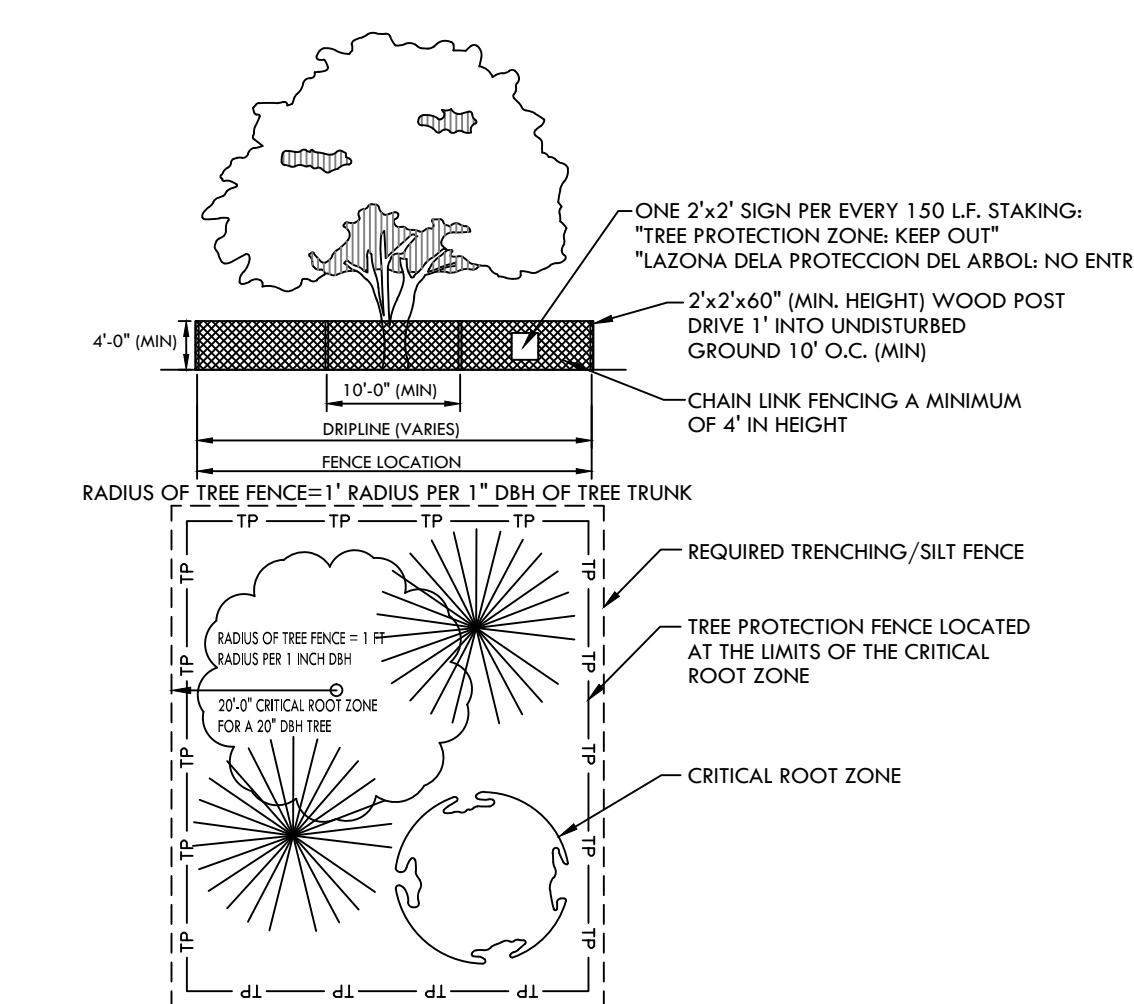
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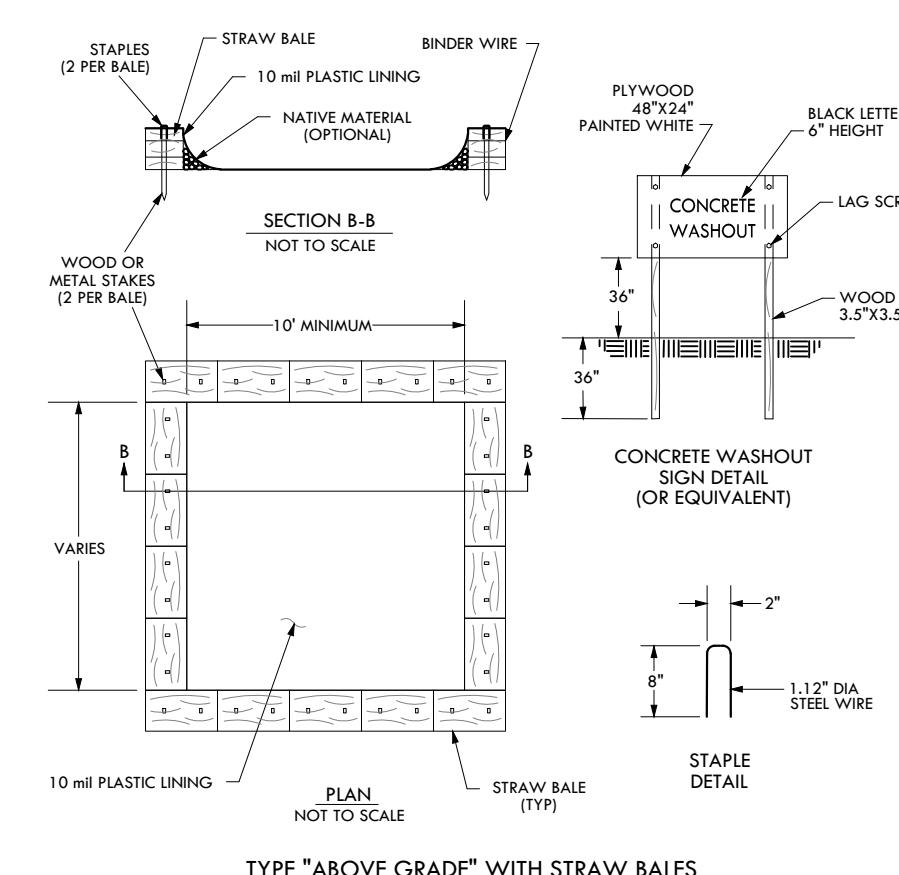
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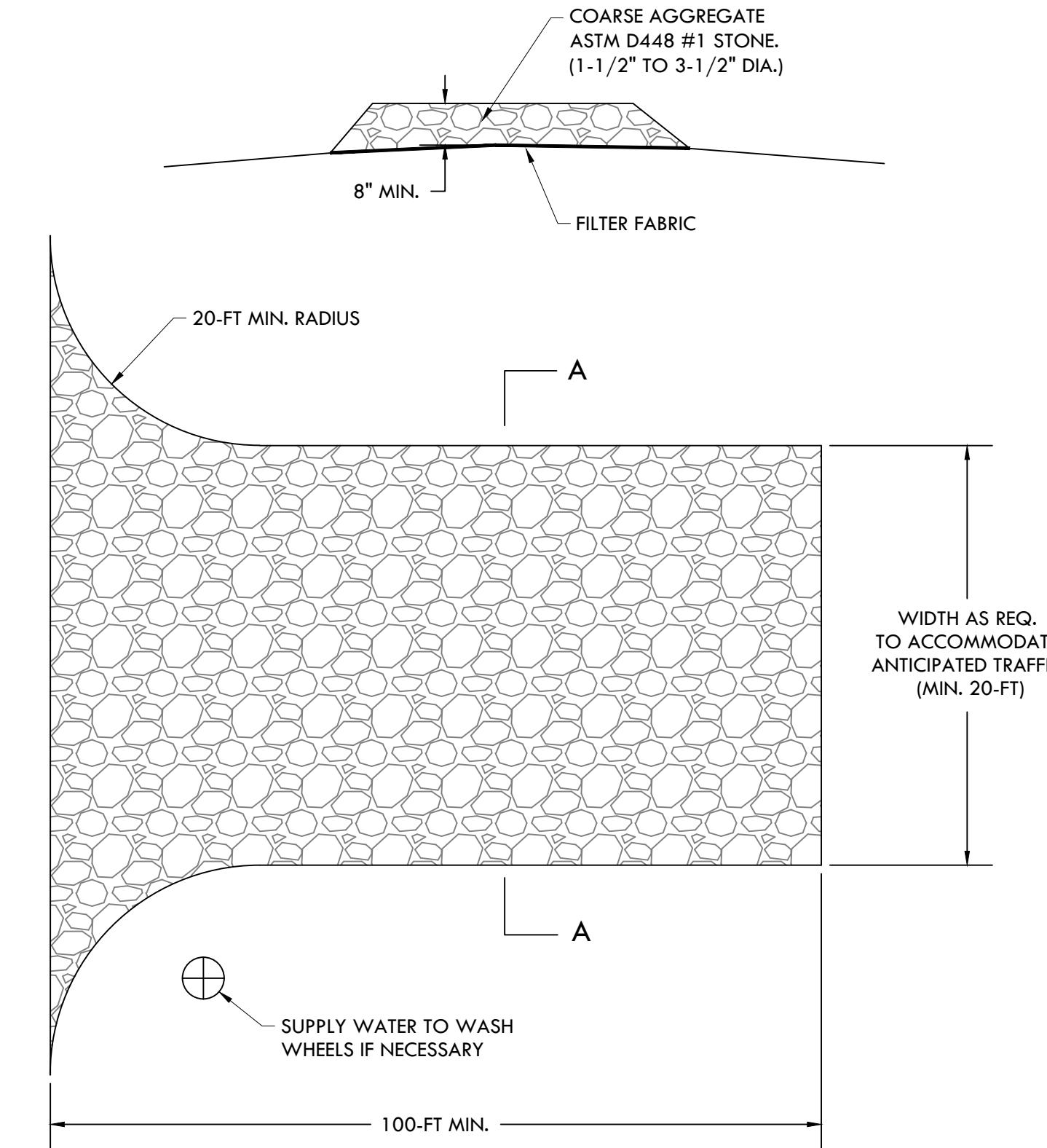
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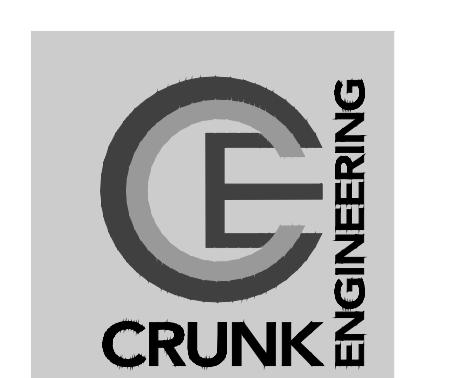
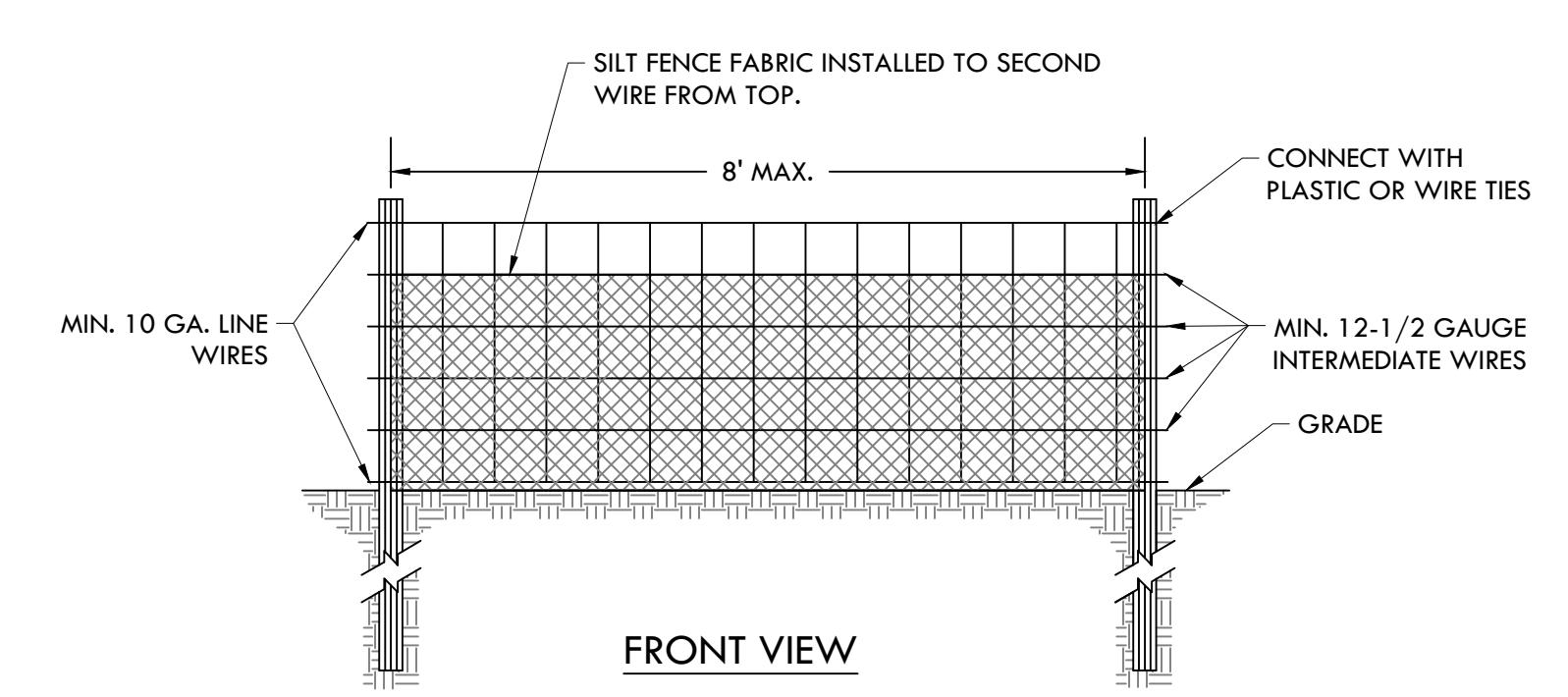
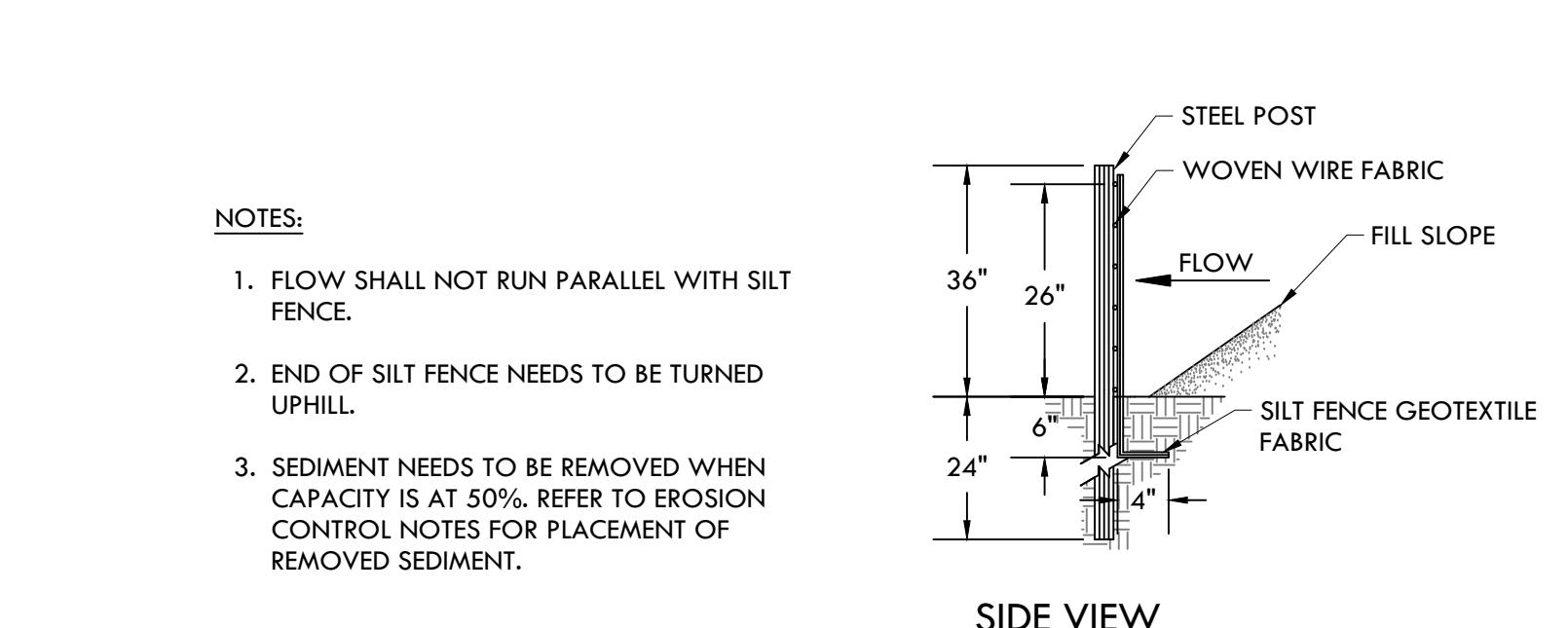
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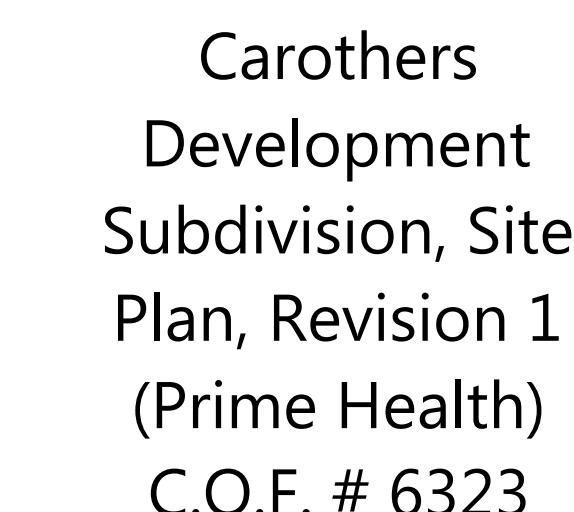


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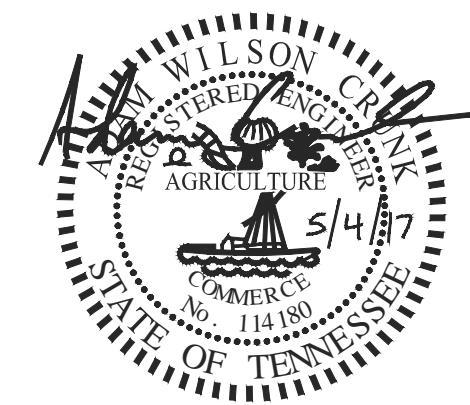


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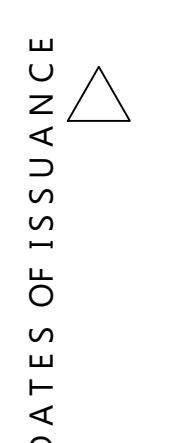
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CONSTRUCTION DOCUMENTS

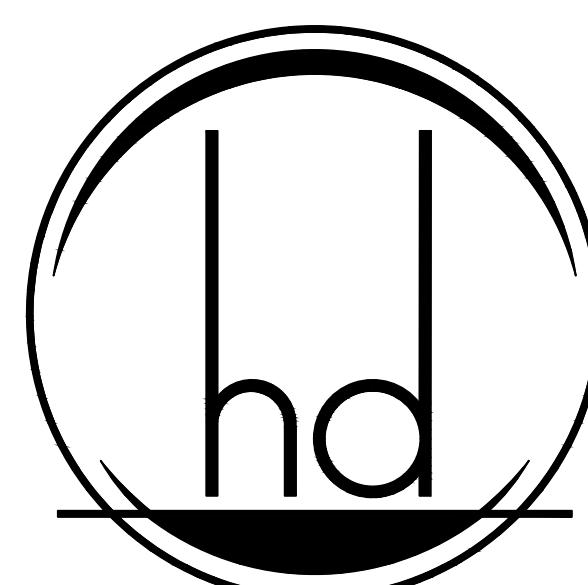
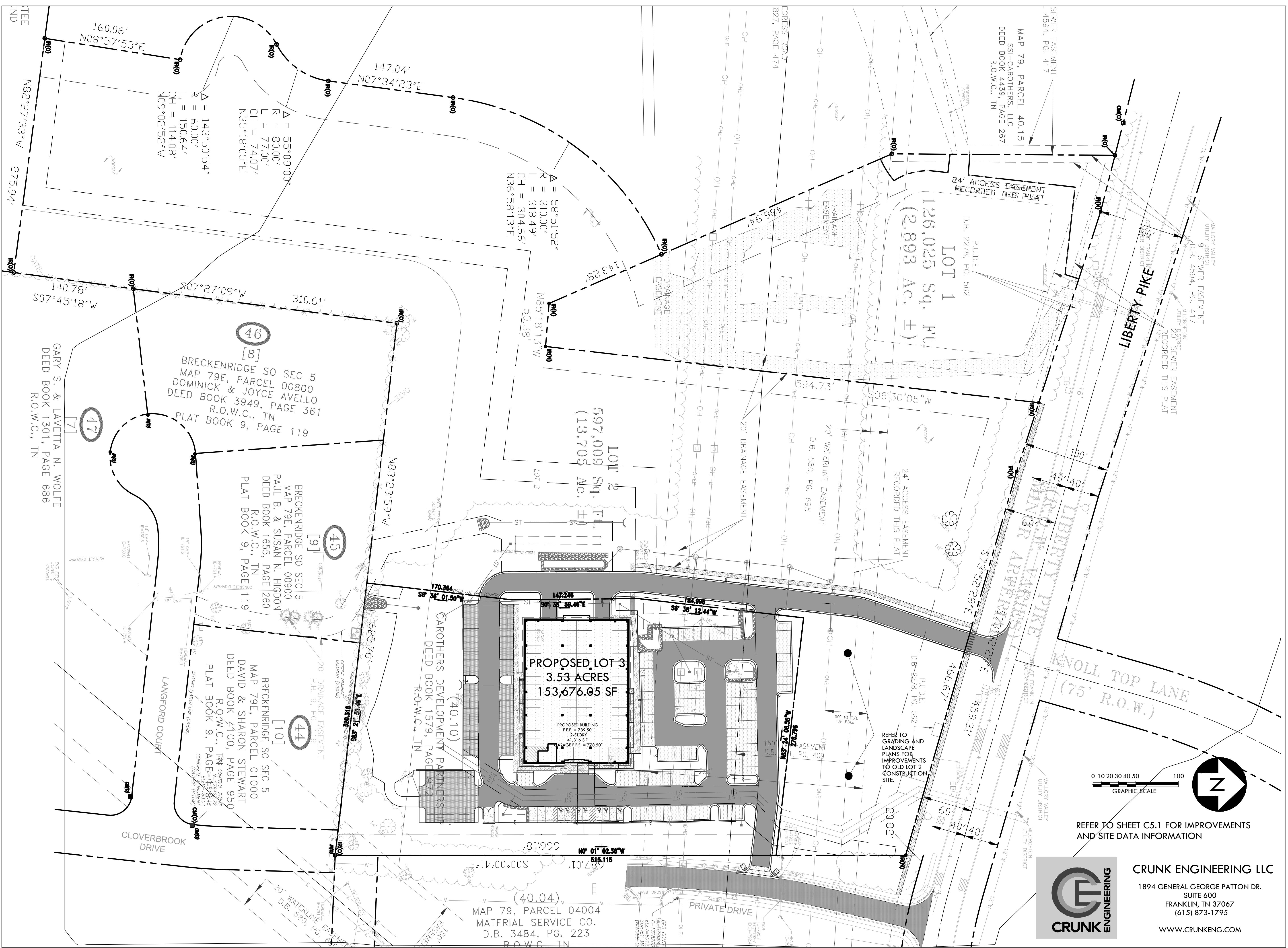


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EROSION CONTROL DETAILS

C4.3



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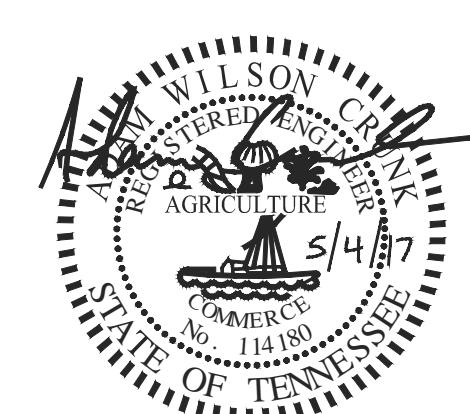
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Carothers Development Subdivision, Site Plan, Revision 1 (Prime Health) C.O.F. # 6323



05/04/17

A single triangle symbol, likely representing a vertex or a specific point in the geometric diagram.

OVERALL SITE LAYOUT PLAN

C5.0



R O W & Access General Notes

- K.O.W. & Access General Notes**

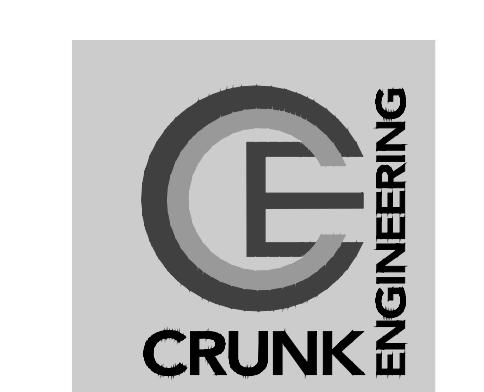
 1. Prior to beginning any construction, the Developer and/or Contractor, shall obtain all necessary permits as required by law. Such permits may include, but are not limited to, those required by State of Tennessee, Williamson County and other City of Franklin agencies.
 2. All off-site work within the public right-of-way shall require an approved traffic control plan which complies with the MUTCD. No off-site excavation may be undertaken in any street, road, alley or right-of-way of any utility or temporary construction easement of the City of Franklin by any entity unless 72-hour notice has been given to the City of Franklin Traffic Operations Center. The contractor shall have an approved traffic control plan onsite during construction.
 3. Construction materials shall be fully tested in accordance with the designations and requirements within the referenced "TDOT Standard Specifications" sections, unless otherwise noted within the "Standard Specifications" section of the City of Franklin Transportation & Street Technical Standards.
 4. An authorized representative of the City shall make a final inspection of the project after completion to determine acceptability of the work and for release of performance bonds if required. Before this final inspection can be made, the Engineer responsible for the project shall certify in writing to the City Engineer that the work has been completed in accordance with approved plans and specifications.
 5. Locating and coordination for the relocation of existing utilities is the responsibility of the contractor. Tennessee's One-Call and the City of Franklin utility location service shall be utilized in addition to coordination with local utility owners. The contractor shall at all times protect existing utilities and will be responsible for costs due to damage caused to any utility lines.
 6. All temporary striping shall conform to "Standard Specifications for Road and Bridge Construction," published by TDOT, the latest revision except as herein amended. When approved, temporary striping shall be required prior to the opening of a street for travel where pavement and/or permanent striping cannot be completed due to weather and/or time constraints.
 7. Thermoplastic pavement markings should be used on all public and private City street projects. Thermoplastic traffic striping and pavement markings shall conform to Section 716.03 "Thermoplastic Pavement Markings", of the Tennessee Department of Transportation Specifications (TDOT), and to the City of Franklin Transportation & Street Technical Standards.

Prime Health Office Building R.O.W. & Access Data Chart
Daily Trip Generation: XX veh per day
Peak Hour Trip Generation: XX veh per hour
Traffic Impact Study Required: NO
Circle: B, D, E, and NO

Access Management
Min. Distance Between Intersection: N/A
Min. Distance Between high volume/alleys & Intersections: N/A
Min. Distance Between driveway & Intersections: XX ft
Driveway Width (two-way): 24 ft
Driveway Approach Street Configuration: 15 ft Radial Return on Curb Cut

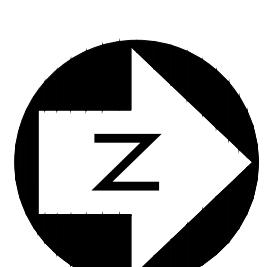
FIRE TRUCK TURNING MOVEMENT INFORMATION

Number of Front Axles = 1
Front Track Width = 8'
Wheels on Each Front Axle = 2
Number of Rear Axles = 2
Rear Track Width = 8'
Wheel Base = 21.316' (Front Axle to Front Rear Axle)
Rear Axle Spacing = 4.417'
Body Length = 50.0417
Width = 8.333'
Rear Overhang = 22.1424'
Body Style = Fire Truck
Turning Radius Wall to Wall = 42'



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A horizontal number line with tick marks at 0, 10, 20, and 30. The segment from 0 to 10 is shaded black, representing the domain of the function $y = \sqrt{10 - x}$.

GRAPHIC SCALE

G CRUNK

1894 CE

1894 GE

1

[G]

WV

DATES OF ISSUANCE

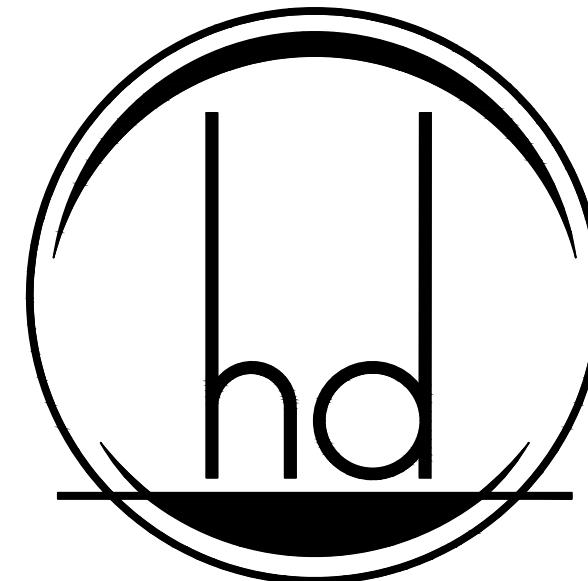
TITLE

ACCESS PLAN

SHEET C5.2



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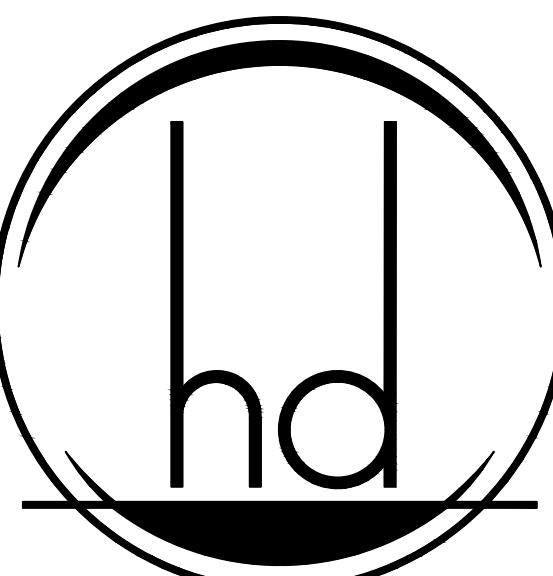
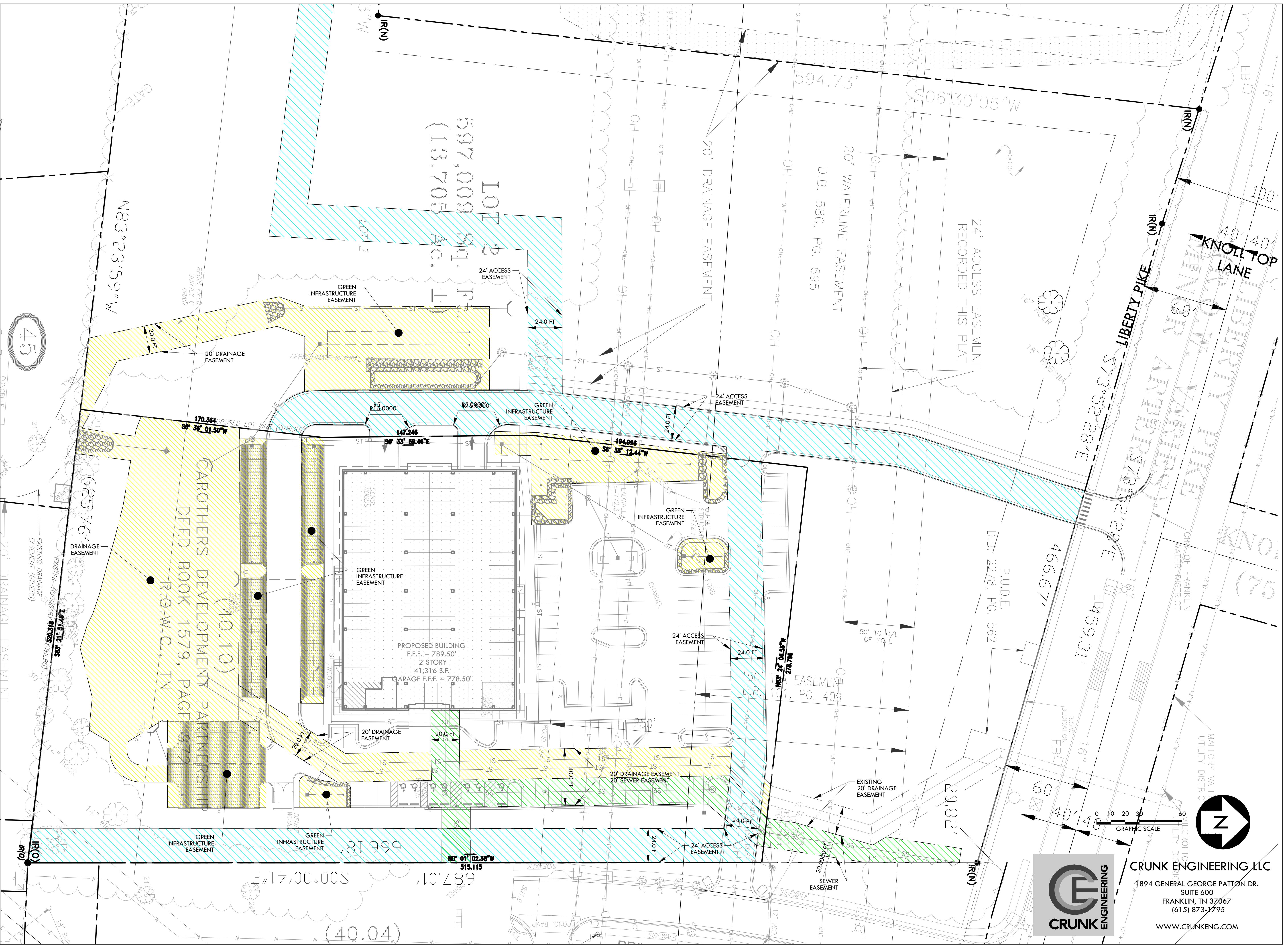
PROJECT
216042.00

LOCATION
1217 Liberty Pike
Franklin TN 37067

Carothers Development Subdivision, Site Plan, Revision 1 (Prime Health) C.O.F. # 6323

CONSTRUCTION DOCUMENTS

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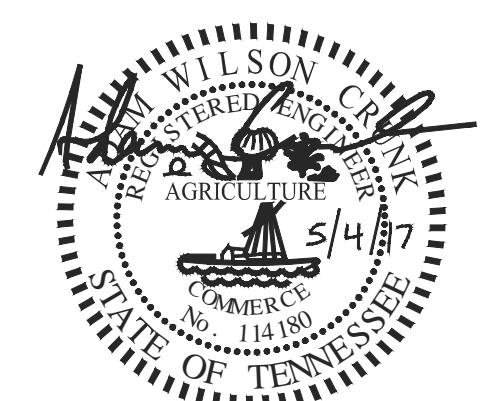
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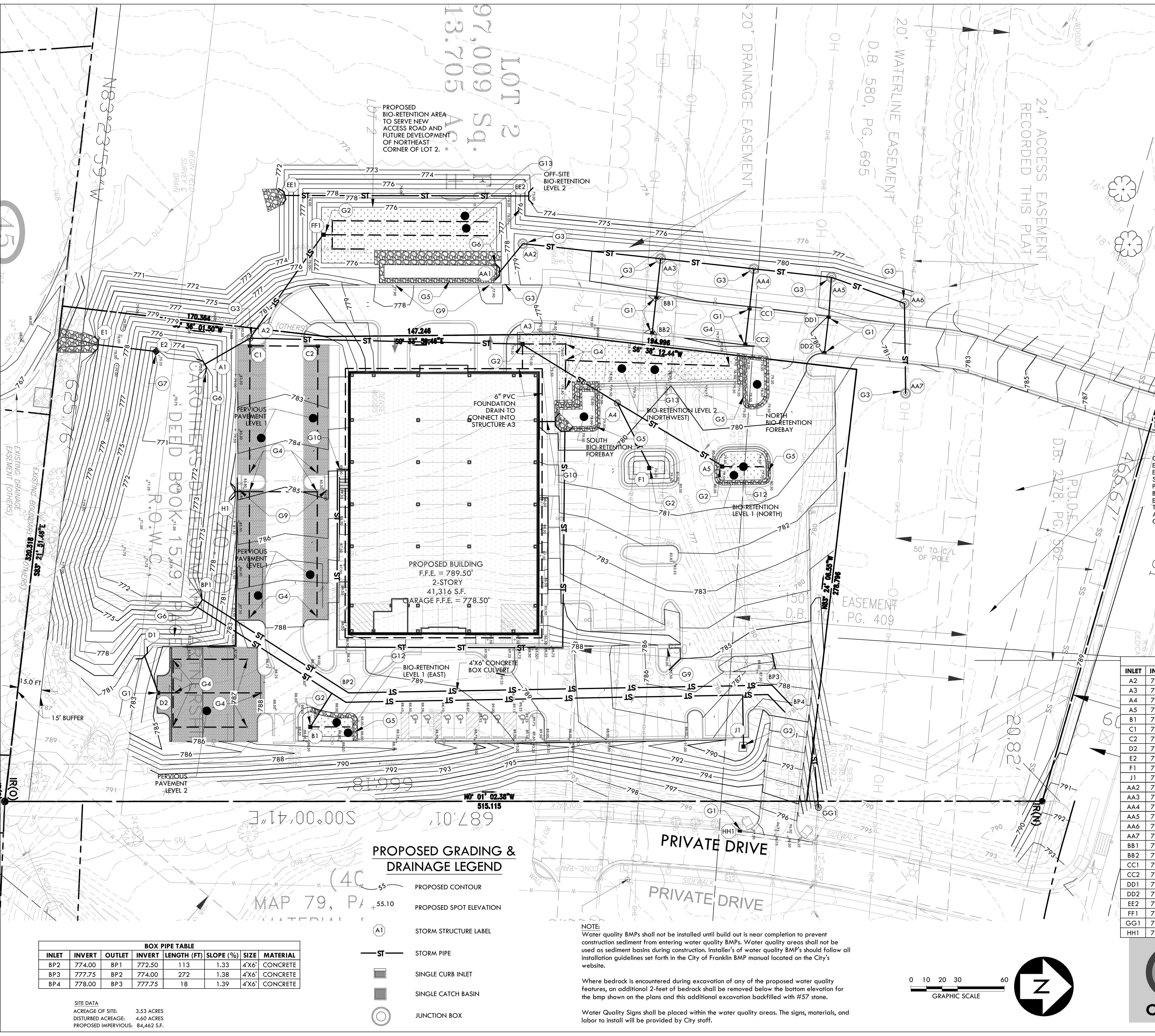


05/04/17

EASEMENT PLAN

A business card for Crunk Engineering LLC. The card features a large, stylized 'CE' logo on the left, with 'CRUNK' in bold, block letters below it and 'ENGINEERING' in a smaller, sans-serif font to its right. To the right of the logo, the company name 'CRUNK ENGINEERING LLC' is printed in a large, bold, sans-serif font. Below the company name, the address '1894 GENERAL GEORGE PATTON DR.' is followed by 'SUITE 600', 'FRANKLIN, TN 37067', and the phone number '(615) 873-1795'. At the bottom, the website 'WWW.CRUNKENG.COM' is listed. The background of the card is white with a faint, large watermark of the same 'CE' logo in the center.

C5.3



GRADING & DRAINAGE PLAN KEYNOTES

CODE	DESCRIPTION	DETAIL LOCATION
G1	SINGLE CURB INLET	C8.1 - 1
G2	SINGLE CATCH BASIN	C8.1 - 3
G3	JUNCTION BOX	C8.1 - 2
G4	CLEANOUT	C8.1 - 4
G5	GRAVEL DIAPHRAGM	C8.4 - 1
G6	CONCRETE HEADWALL	C8.2 - 1
G7	REGIONAL DETENTION POND OUTLET STRUCTURE	C8.1 - 5
G8	BIO-RETENTION OUTLET STRUCTURE	C8.1 - 6
G9	CONCRETE FLUME	C8.1 - 8
G10	DOWNSPOUT CONNECTION	C8.1 - 9
G11	RIVERSTONE OUTLET PROTECTION	C8.1 - 7
G12	BIO-RETENTION AREA - LEVEL 1	C8.4 - 2
G13	BIO-RETENTION AREA - LEVEL 2	C8.4 - 2

STORM STRUCTURE TABLE			
LABEL	TYPE	RIM	INVERT
A1	HEADWALL	N/A	770.75
A2	JUNCTION	782.00	771.00
A3	SINGLE CATCH BASIN	779.00	773.90
A4	JUNCTION	779.70	774.50
A5	SINGLE CATCH BASIN	780.00	776.00
B1	SINGLE CATCH BASIN	787.50	783.50
C1	SINGLE CURB INLET	782.00	779.50
C2	SINGLE CURB INLET	782.00	778.80
D1	HEADWALL	N/A	781.00
D2	SINGLE CURB INLET	784.50	782.00
E1	HEADWALL	N/A	770.00
E2	POD OUTLET STRUCTURE	N/A	770.20
F1	SINGLE CATCH BASIN	776.50	775.00
H1	HEADWALL	N/A	780.00
J1	SINGLE CATCH BASIN	788.50	781.00
AA1	HEADWALL	N/A	776.00
AA2	JUNCTION	779.75	776.10
AA3	JUNCTION	780.25	776.60
AA4	JUNCTION	780.50	776.95
AA5	JUNCTION	781.00	777.30
AA6	JUNCTION	781.25	777.65
AA7	JUNCTION	781.50	778.00
BB1	SINGLE CURB INLET	779.00	776.70
BB2	SINGLE CURB INLET	779.00	777.00
CC1	SINGLE CURB INLET	779.50	777.15
CC2	SINGLE CURB INLET	779.50	777.45
DD1	SINGLE CURB INLET	780.00	777.50
DD2	SINGLE CURB INLET	780.00	777.80
EE1	HEADWALL	N/A	772.00
EE2	HEADWALL	N/A	773.00
FF1	SINGLE CATCH BASIN	777.25	771.50
GG1	JUNCTION	794.50	791.30
HH1	SINGLE CURB INLET	797.60	793.00

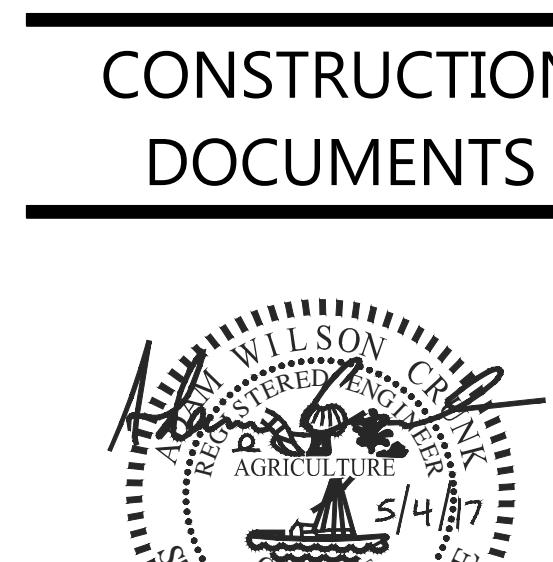
STORM PIPE TABLE							
INLET	INVERT	OUTLET	INVERT	LENGTH (FT)	SLOPE (%)	DIAMETER (IN)	MATERIAL
A2	771.00	A1	770.75	33	0.76	24	HDPE
A3	773.90	A2	771.10	174	1.61	18	HDPE
A4	774.50	A3	774.00	71	0.70	12	HDPE
A5	776.00	A4	774.60	77	1.82	12	HDPE
B1	783.50	BOX PIPE	783.00	24	2.08	12	HDPE
C1	778.80	A2	778.60	5	4.00	12	HDPE
C2	779.50	C1	779.00	41	1.22	6	HDPE
D2	782.00	D1	781.00	34	2.94	6	HDPE
E2	770.20	E1	770.00	38	0.53	30	HDPE
F1	775.00	A4	774.60	45	0.89	6	HDPE
J1	781.00	BOX PIPE	776.00	32	15.63	18	RCP
AA2	776.10	AA1	776.00	23	0.43	24	RCP
AA3	776.60	AA2	776.20	89	0.45	24	RCP
AA4	776.95	AA3	776.70	60	0.42	24	RCP
AA5	777.30	AA4	777.05	50	0.50	24	RCP
AA6	777.65	AA5	777.40	50	0.50	24	RCP
AA7	778.00	AA6	777.75	58	0.43	24	RCP
BB1	776.70	AA2	776.60	5	2.00	12	HDPE
BB2	777.00	BB1	776.80	25	0.80	6	HDPE
CC1	777.15	AA3	777.05	5	2.00	12	HDPE
CC2	777.45	CC1	777.25	25	0.80	6	HDPE
DD1	777.50	AA4	777.40	5	2.00	12	HDPE
DD2	777.80	DD1	777.60	25	0.80	6	HDPE
EE2	773.00	EE1	772.00	156	0.64	18	HDPE
FF1	771.50	A2	771.10	80	0.50	24	HDPE
GG1	791.50	BOX PIPE	781.00	45	23.33	12	RCP
HH1	793.00	EX1	792.20	46	1.74	12	RCP

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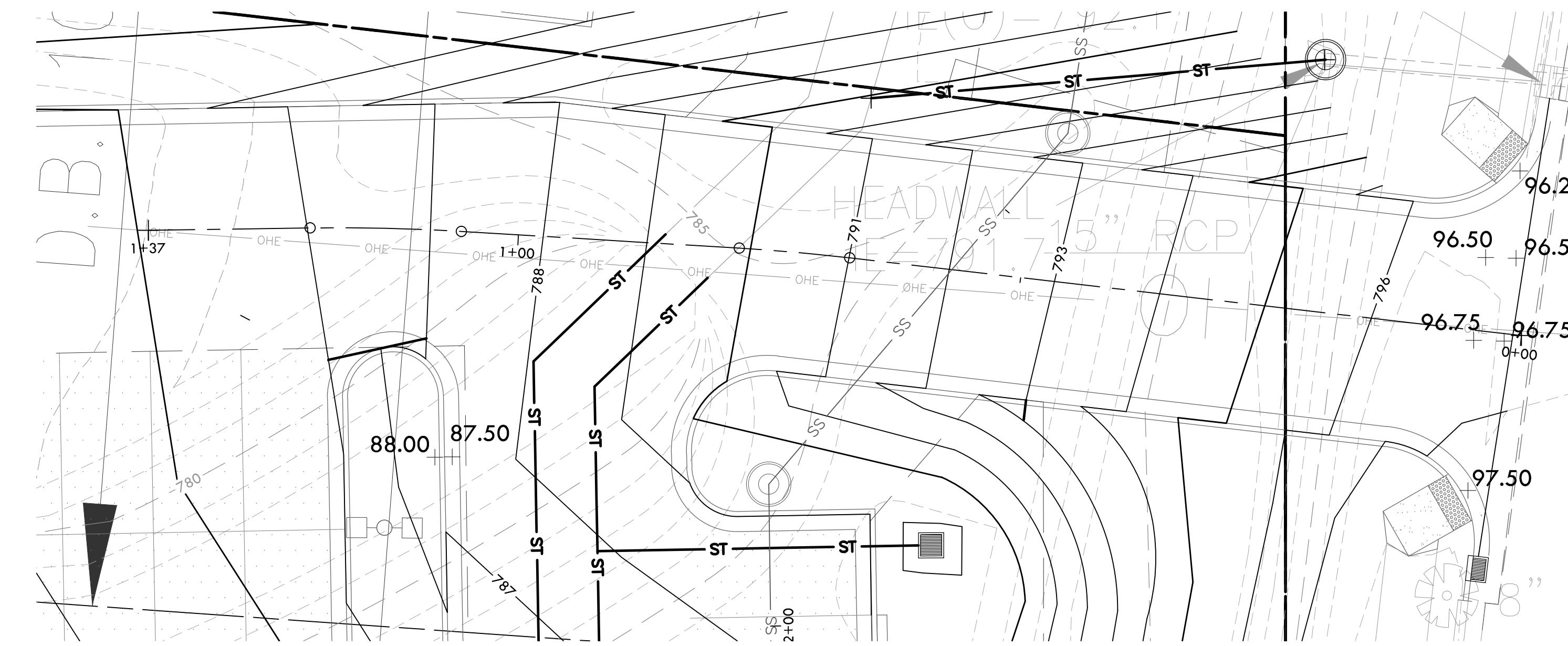


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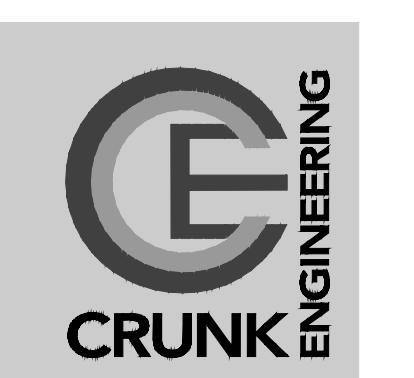
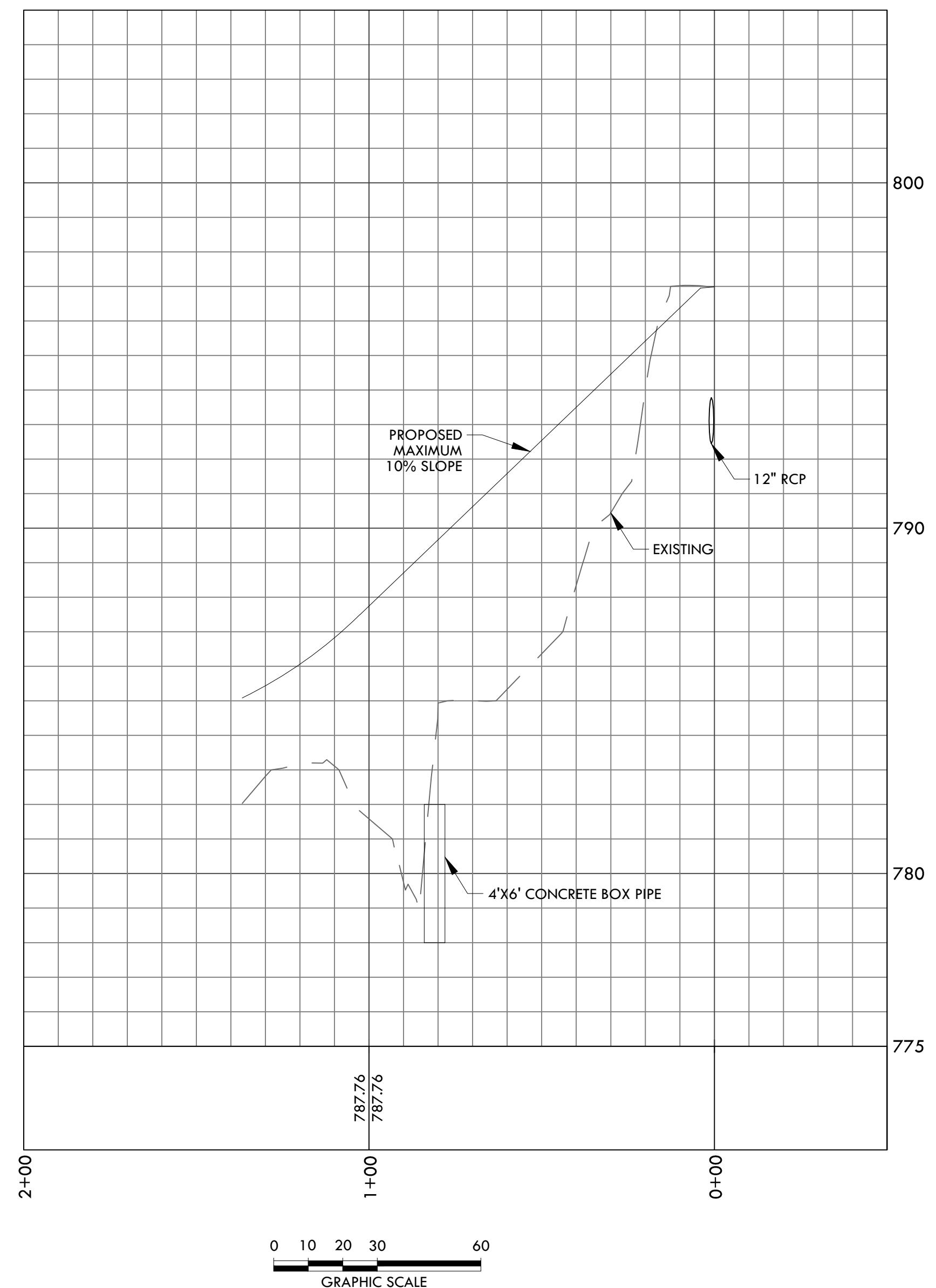
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1217 Liberty Pike
Franklin TN 37067
Prime Health Services
Carothers Development Subdivision, Site Plan, Revision 1 (Prime Health) C.O.F. # 6323



05/04/17
DATES OF ISSUANCE
CONSTRUCTION DOCUMENTS
TITLE
GRADING & DRAINAGE PLAN
SHEET
C6.0



Private Drive Connection



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DRIVE PROFILE

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PROJECT
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LOCATION
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CLIENT
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DOCUMENTS

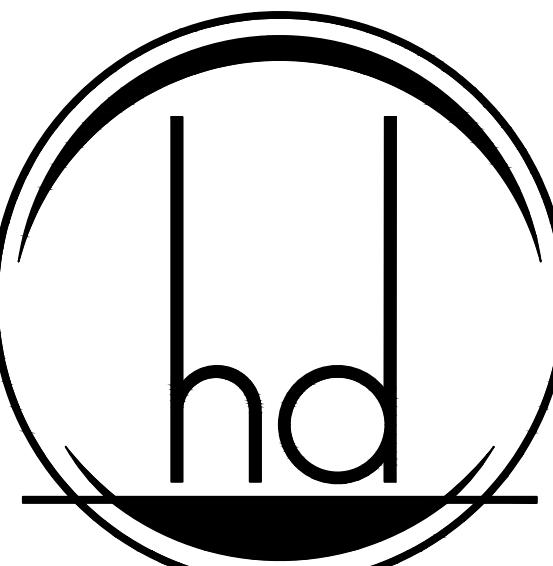


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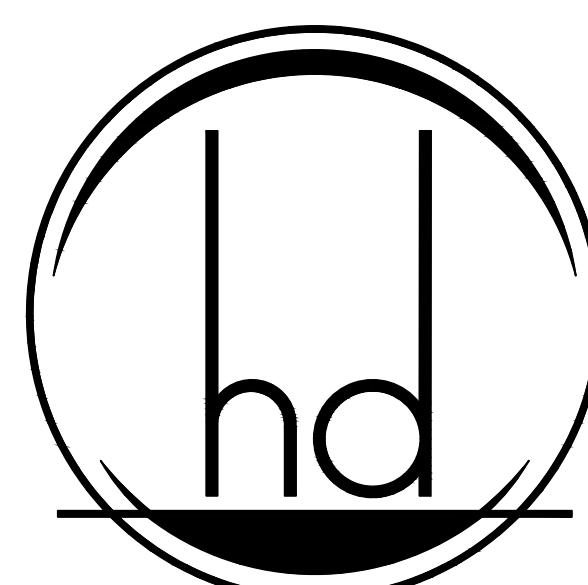
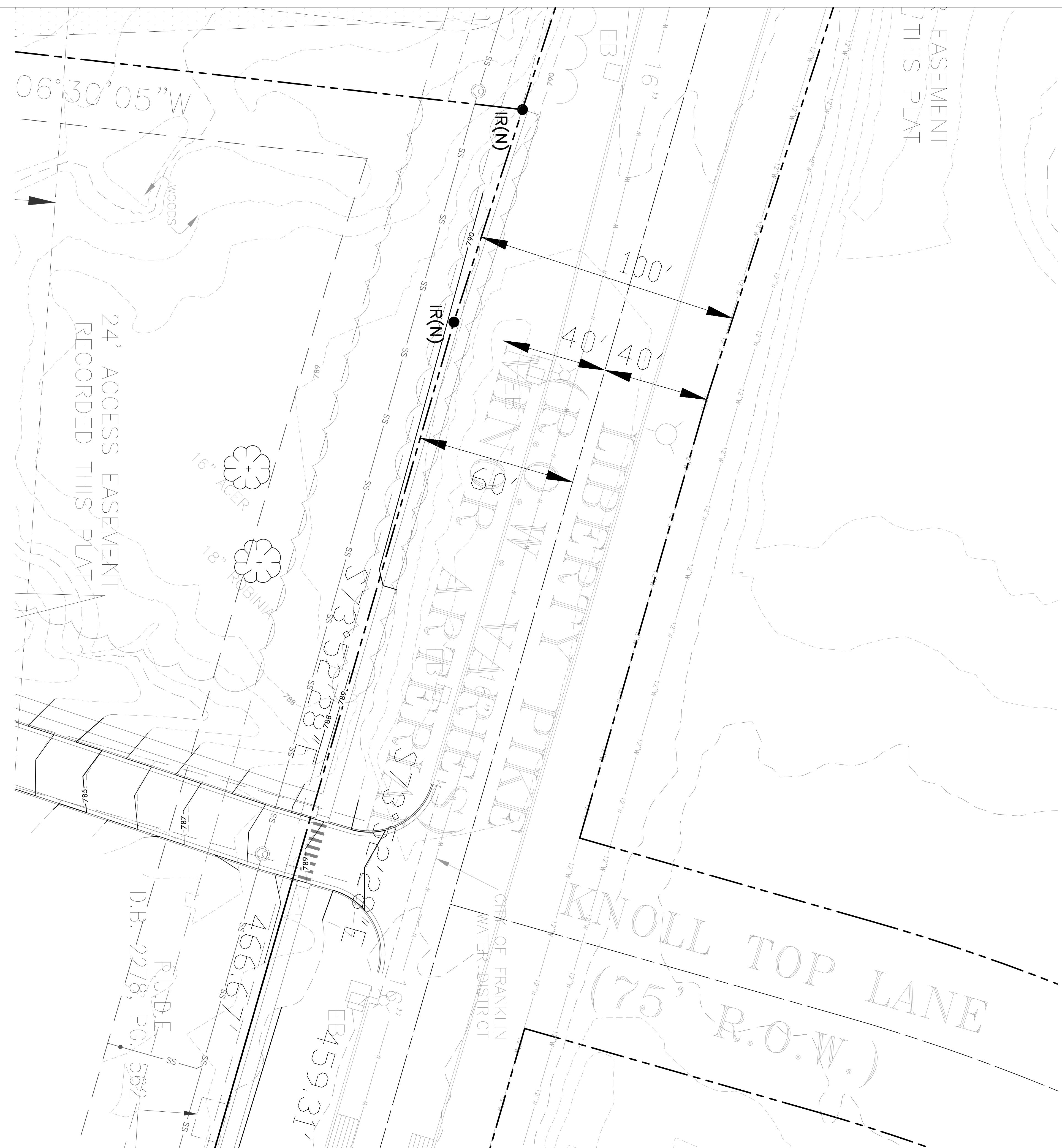
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DOWNSTREAM GRADING & DRAINA PLAN

C6.2



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Prime Health Services

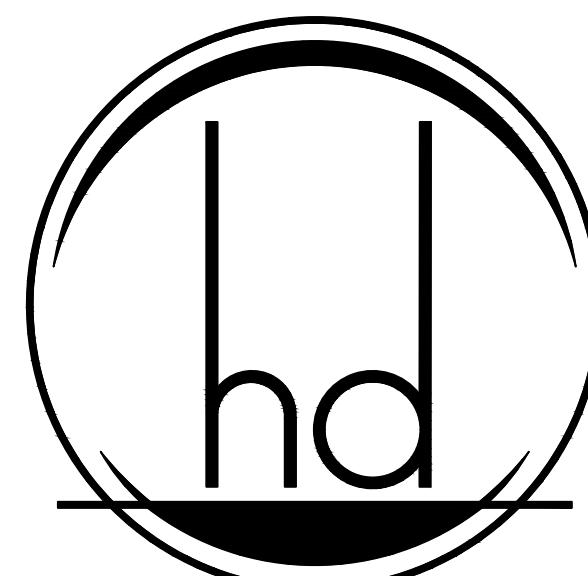
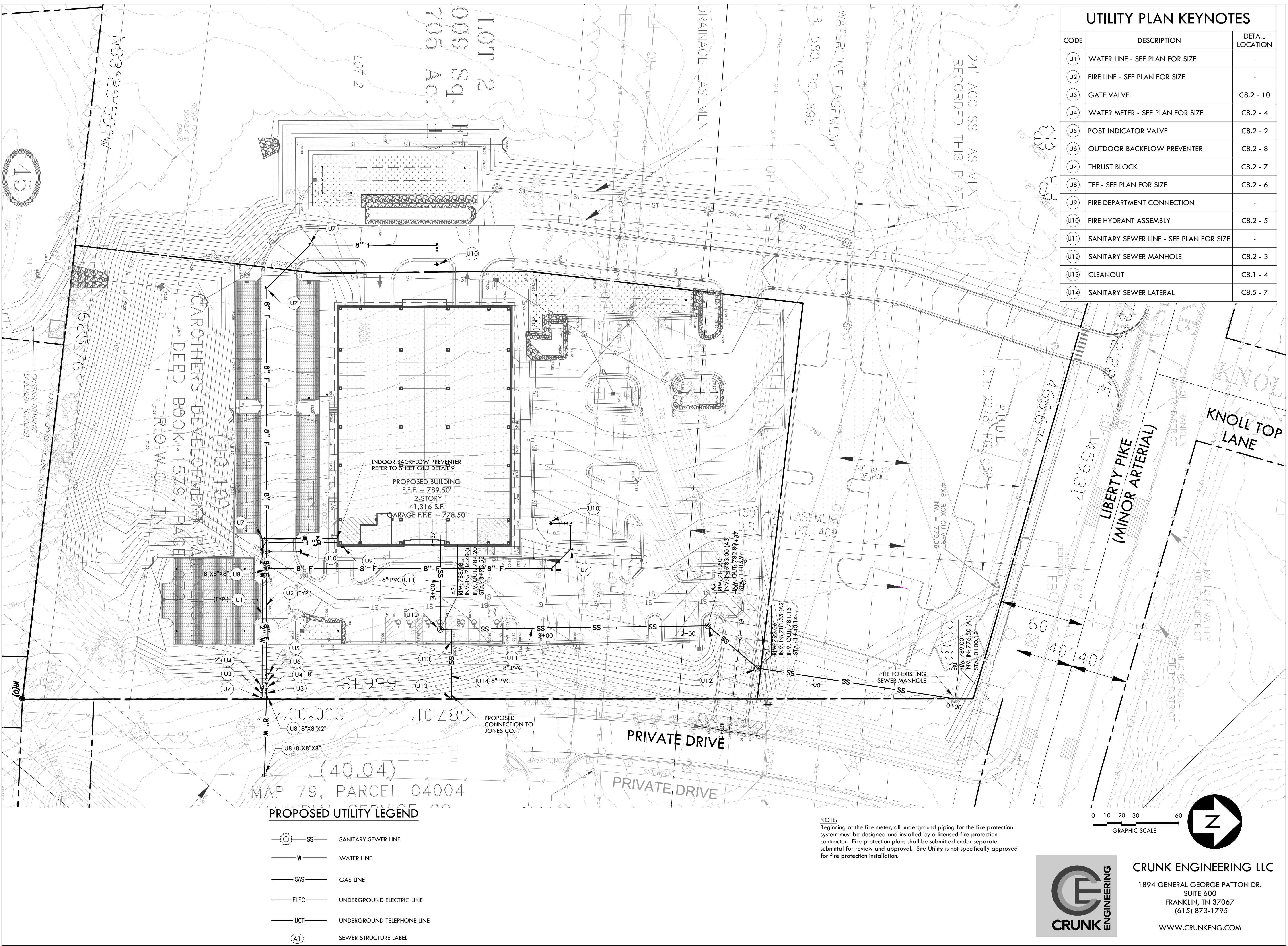
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CONSTRUCTION
DOCUMENTS



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DATES OF ISSUANCE
△

SHEET TITLE
LOT 2 FRONTAGE
SIDEWALK GRADING



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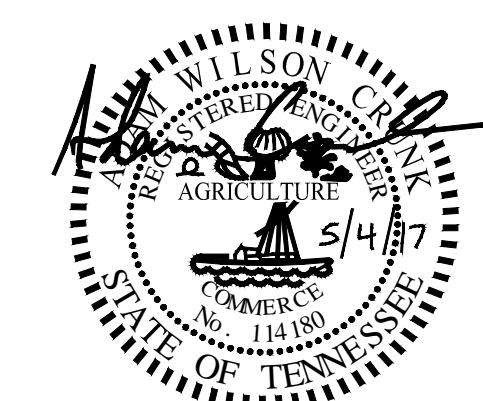
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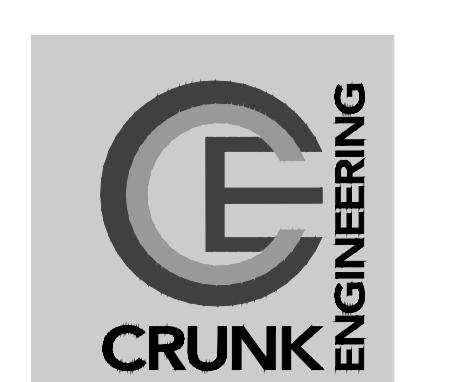
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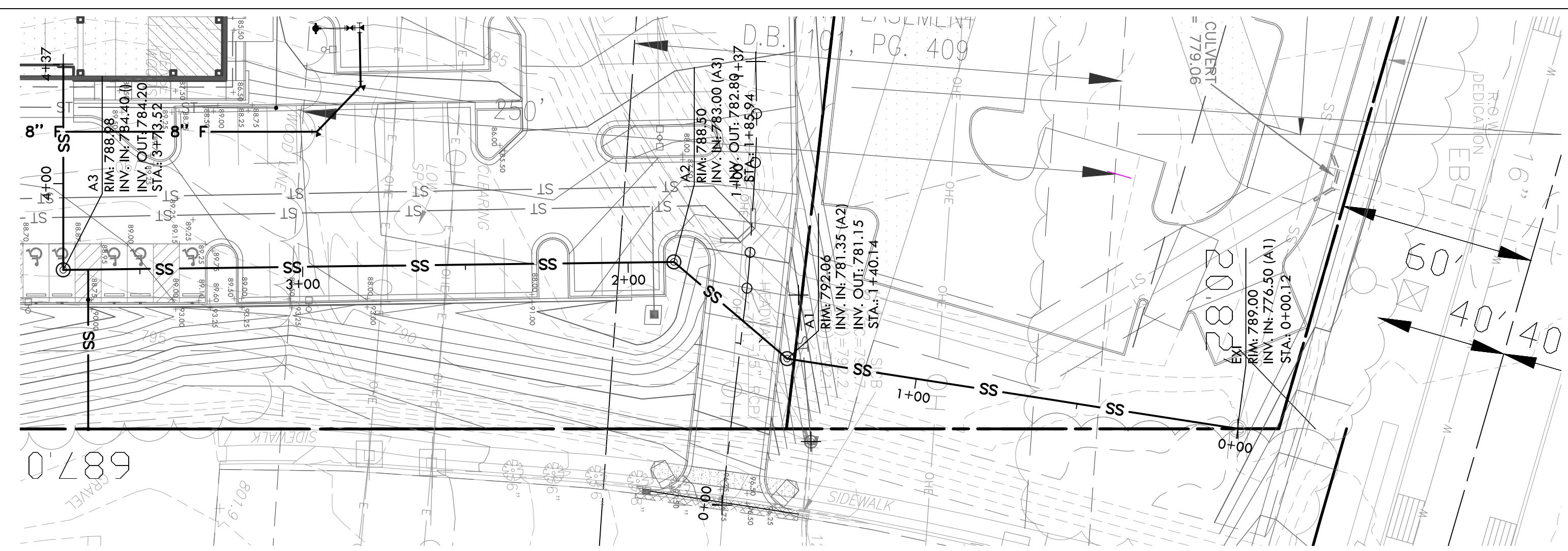
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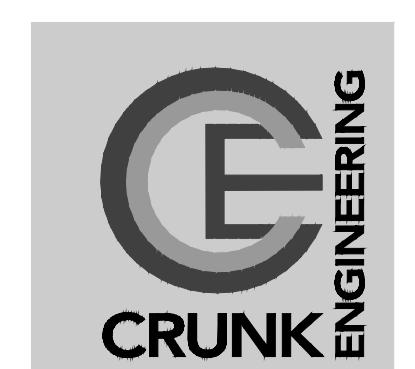
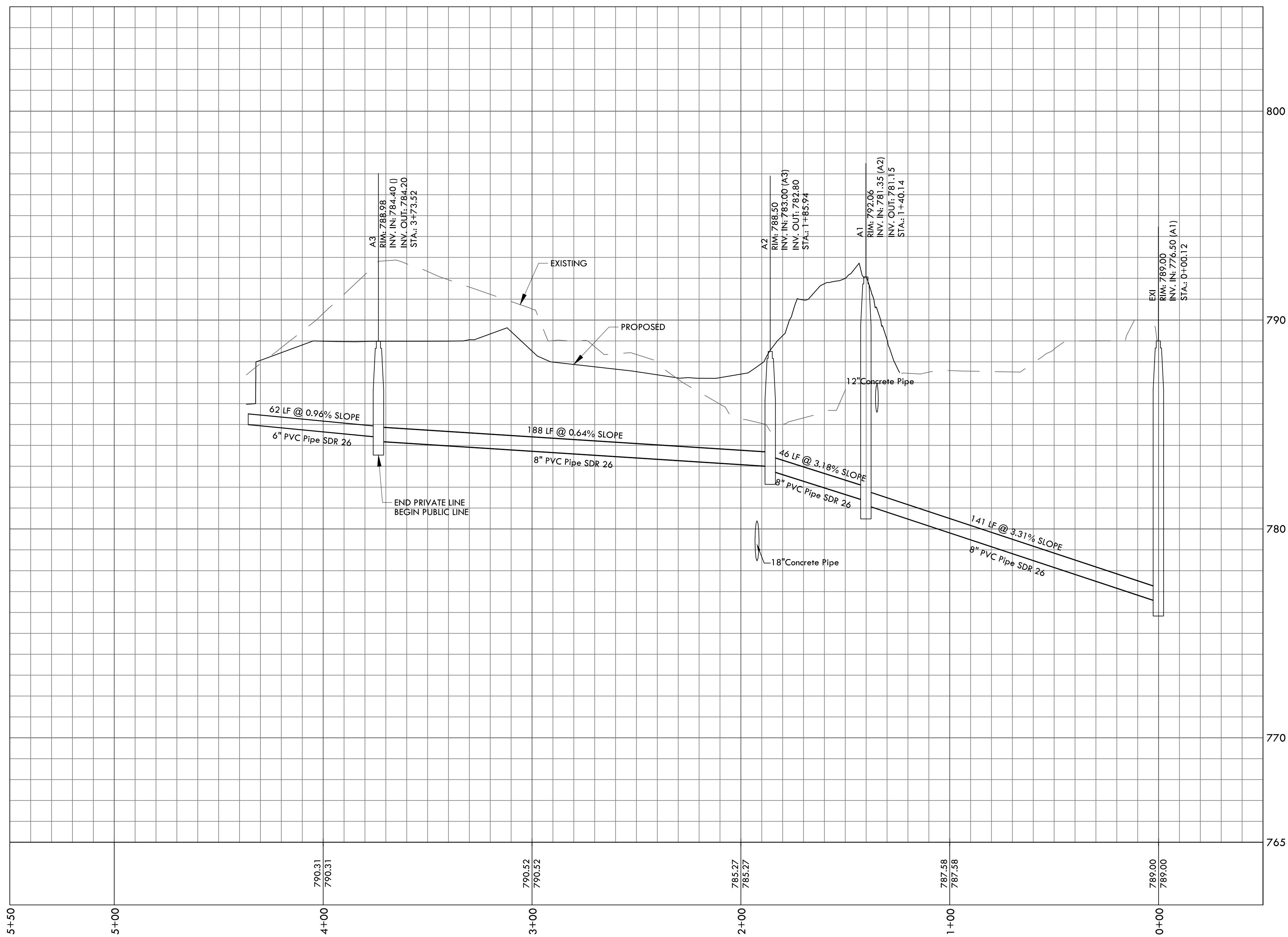
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UTILITY PLAN

C7.0



Proposed Public Sanitary Sewer Line

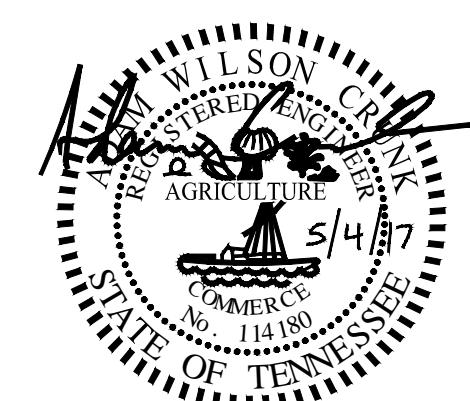


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DATES OF ISSUANCE

UTILITY PROFILE

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CLIENT LOCATION

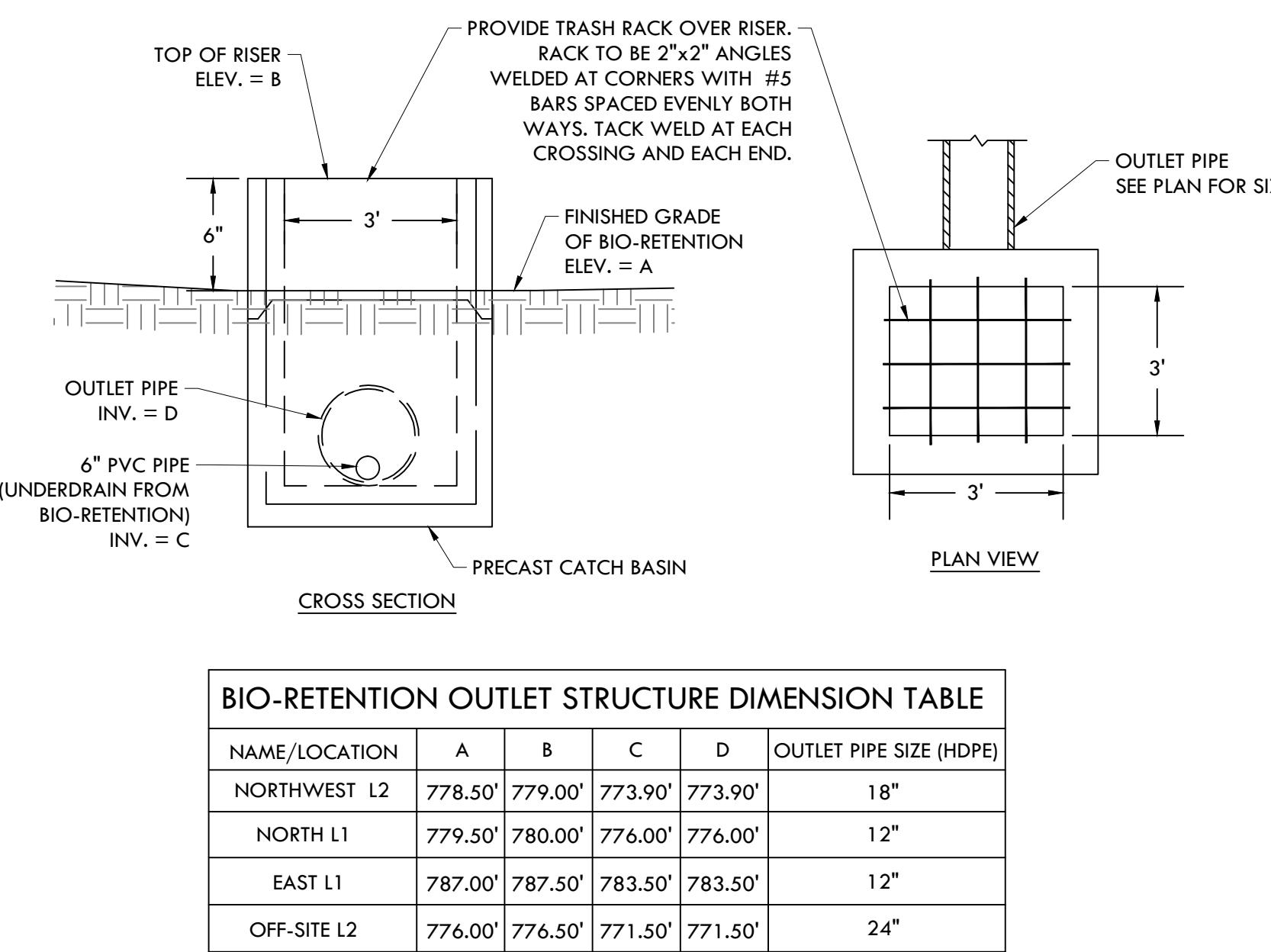
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**CONSTRUCTION
DOCUMENTS**

DATES OF ISSUANCE

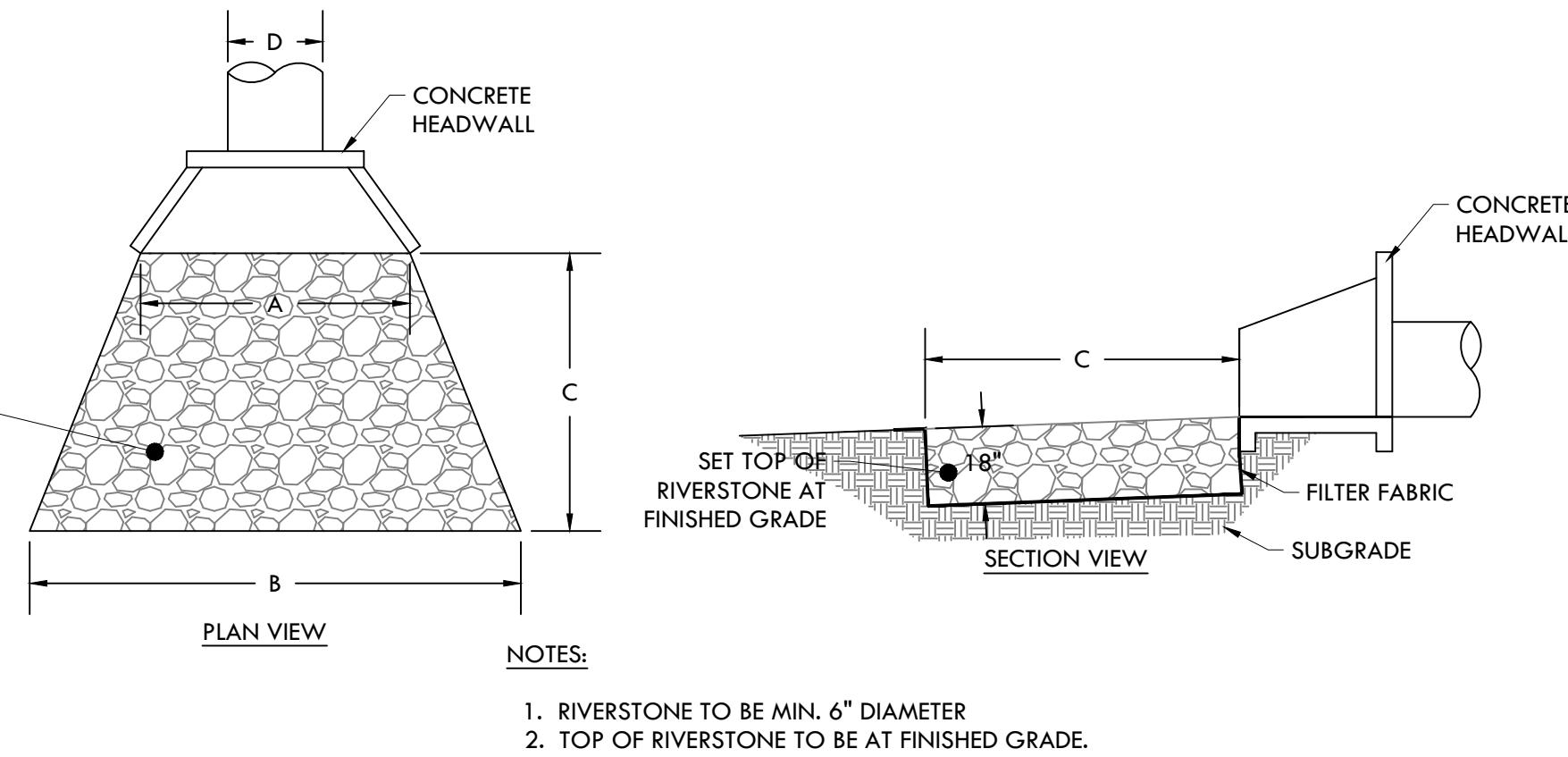
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SHEET TITLE



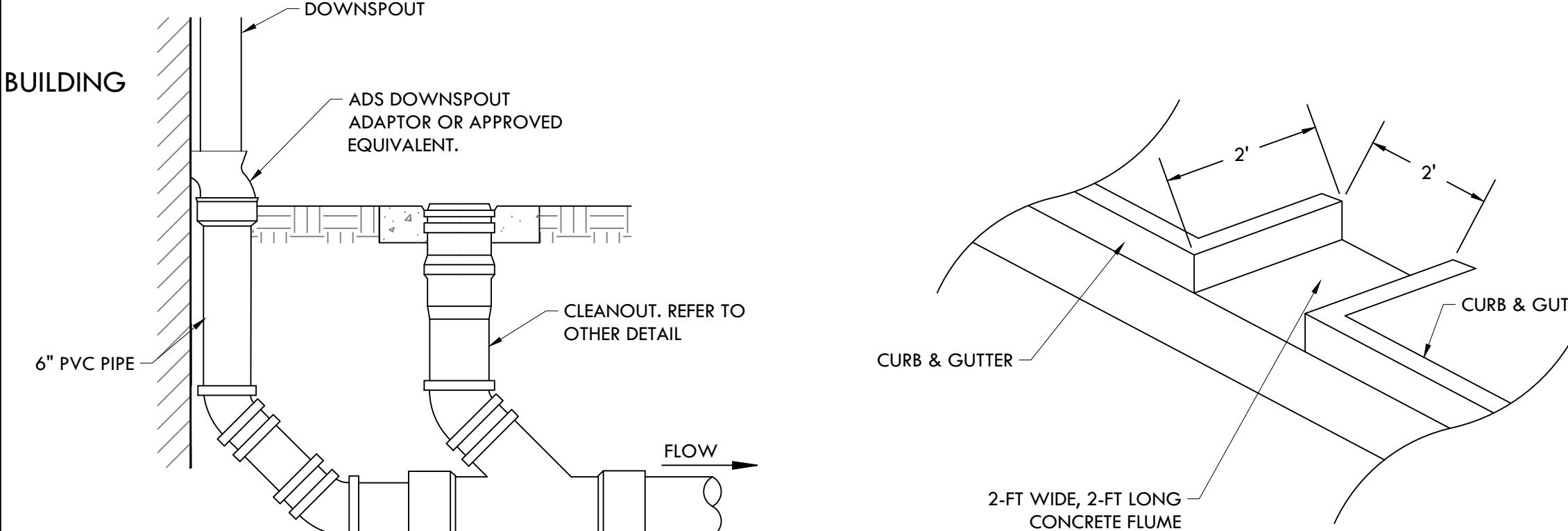
6 BIO-RETENTION OUTLET STRUCTURE

NOT TO SCALE



7 RIVERSTONE OUTLET PROTECTION

NOT TO SCALE

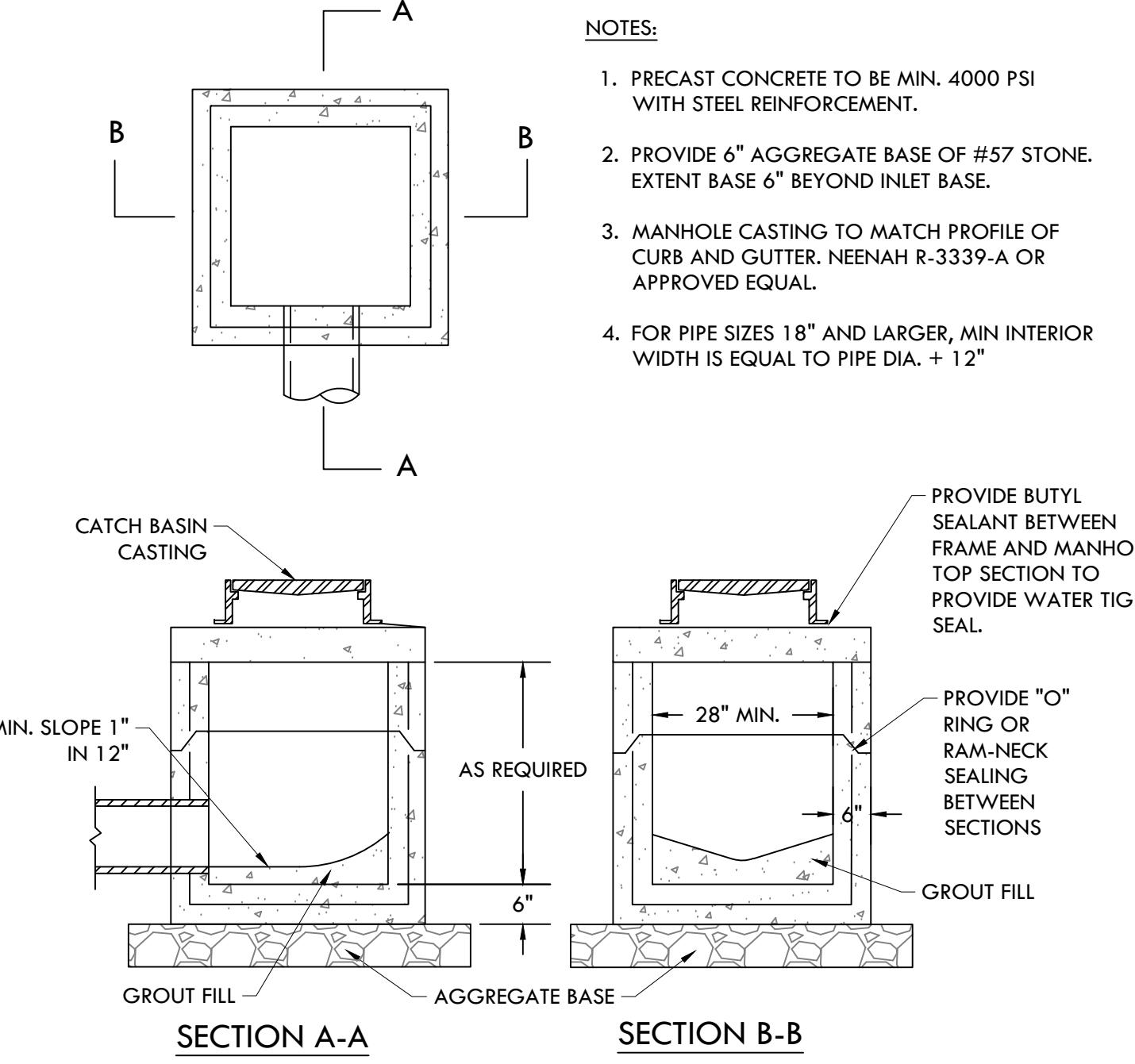


9 DOWNSPOUT CONNECTION

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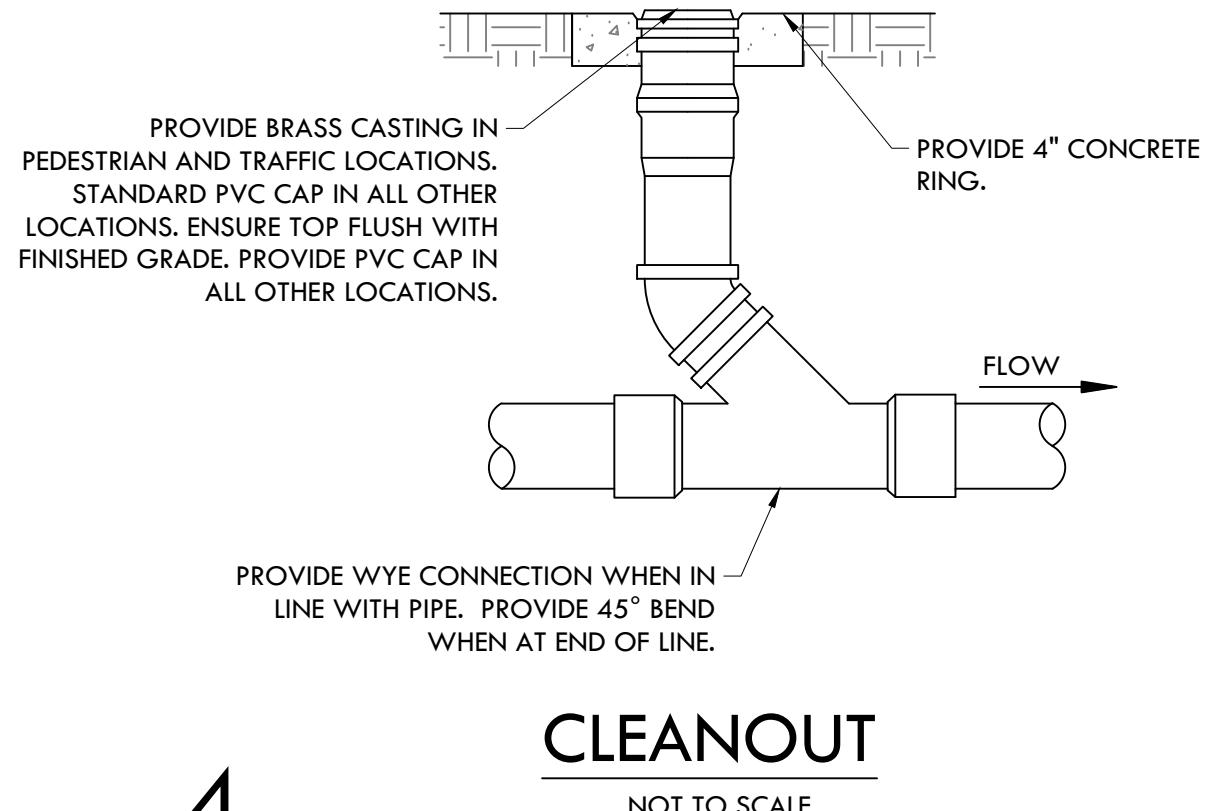
8 CONCRETE FLUME

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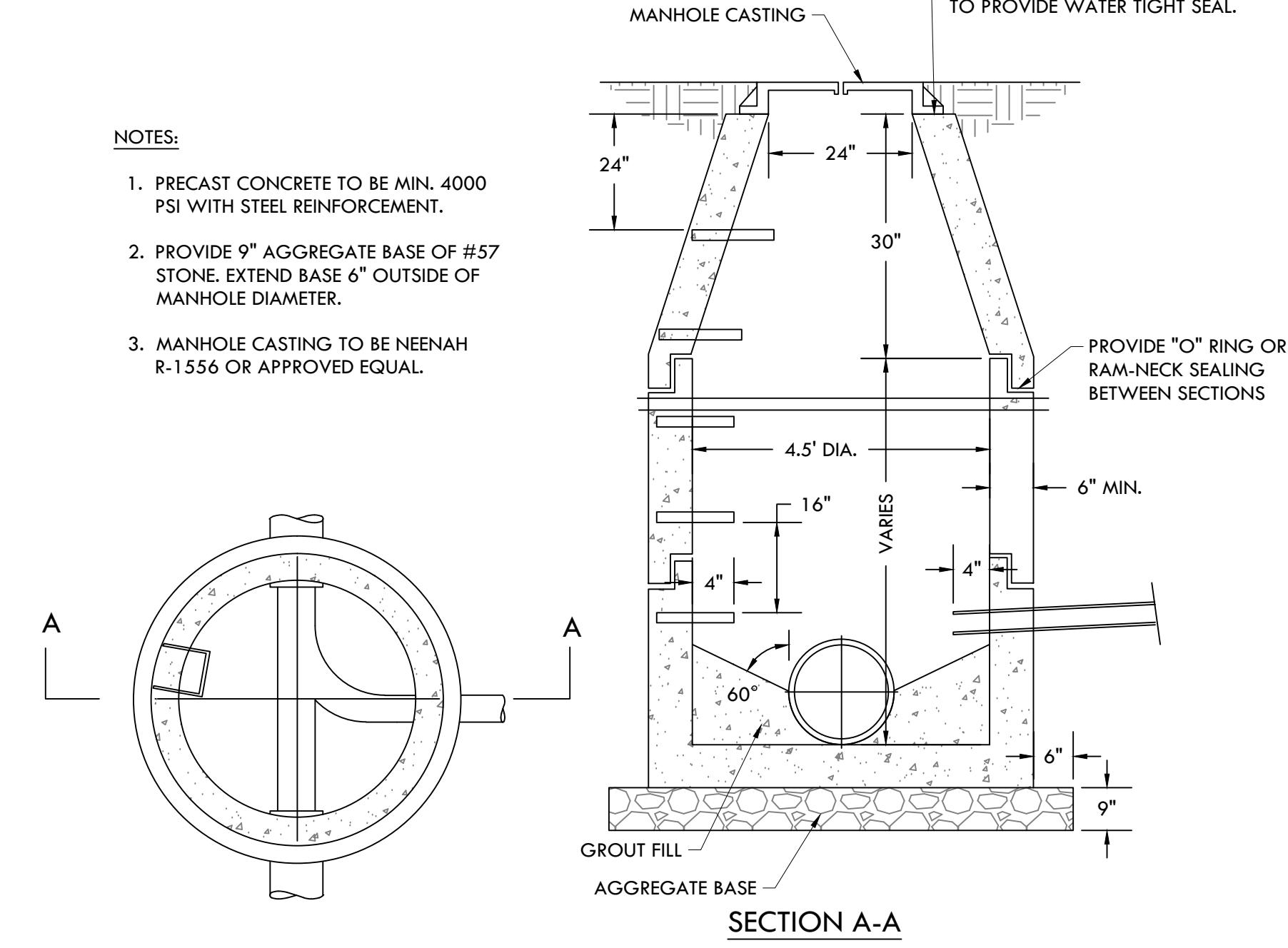
3 SINGLE CATCH BASIN

NOT TO SCALE



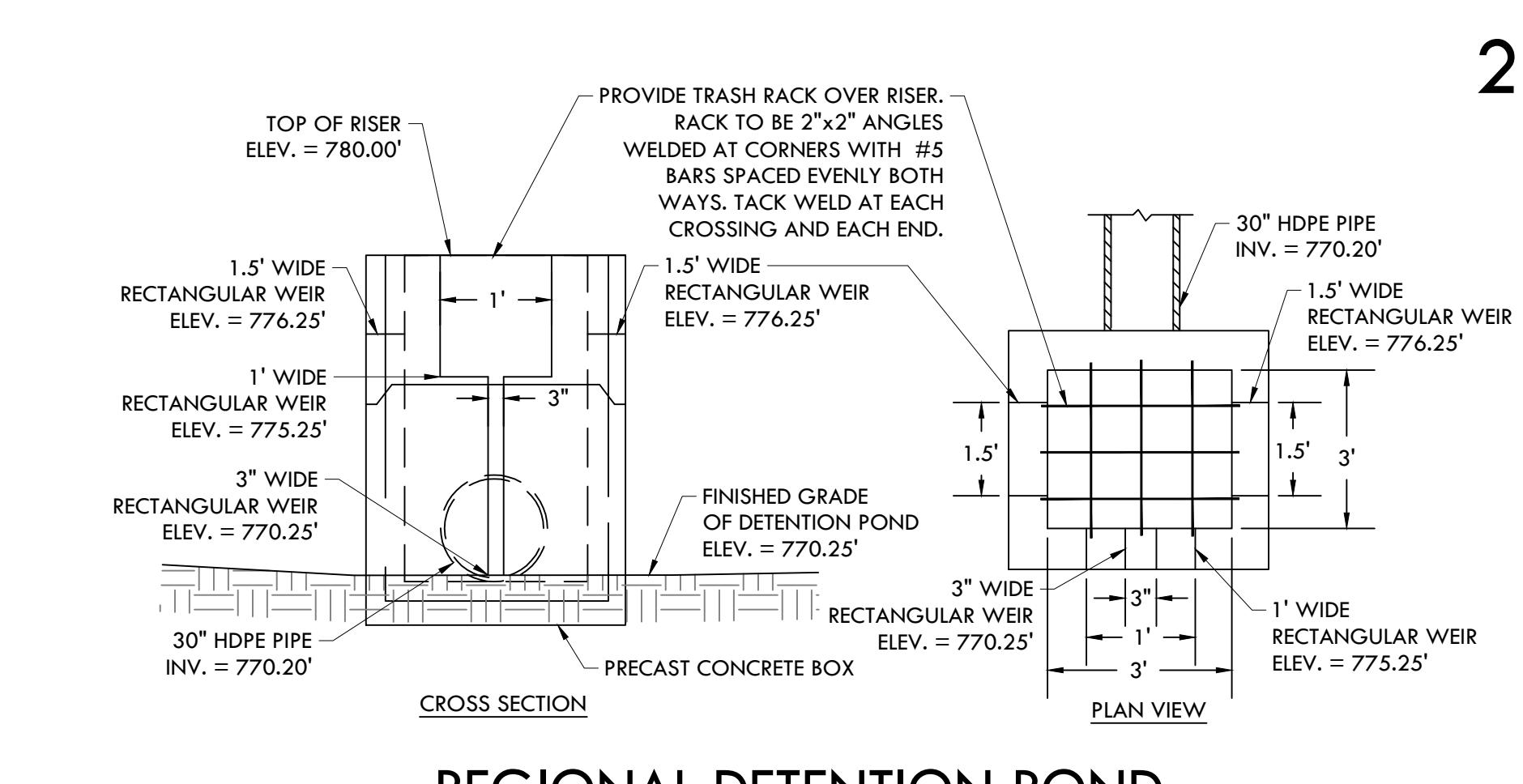
1 SINGLE CURB INLET

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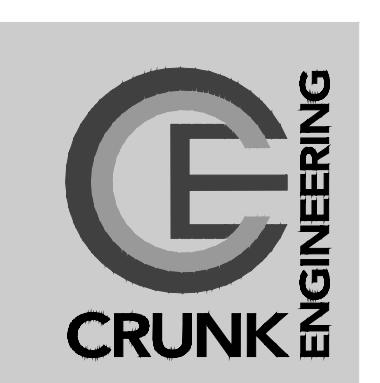


4 CLEANOUT

NOT TO SCALE



5



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DATES OF ISSUANCE

DETAILS

TITLE

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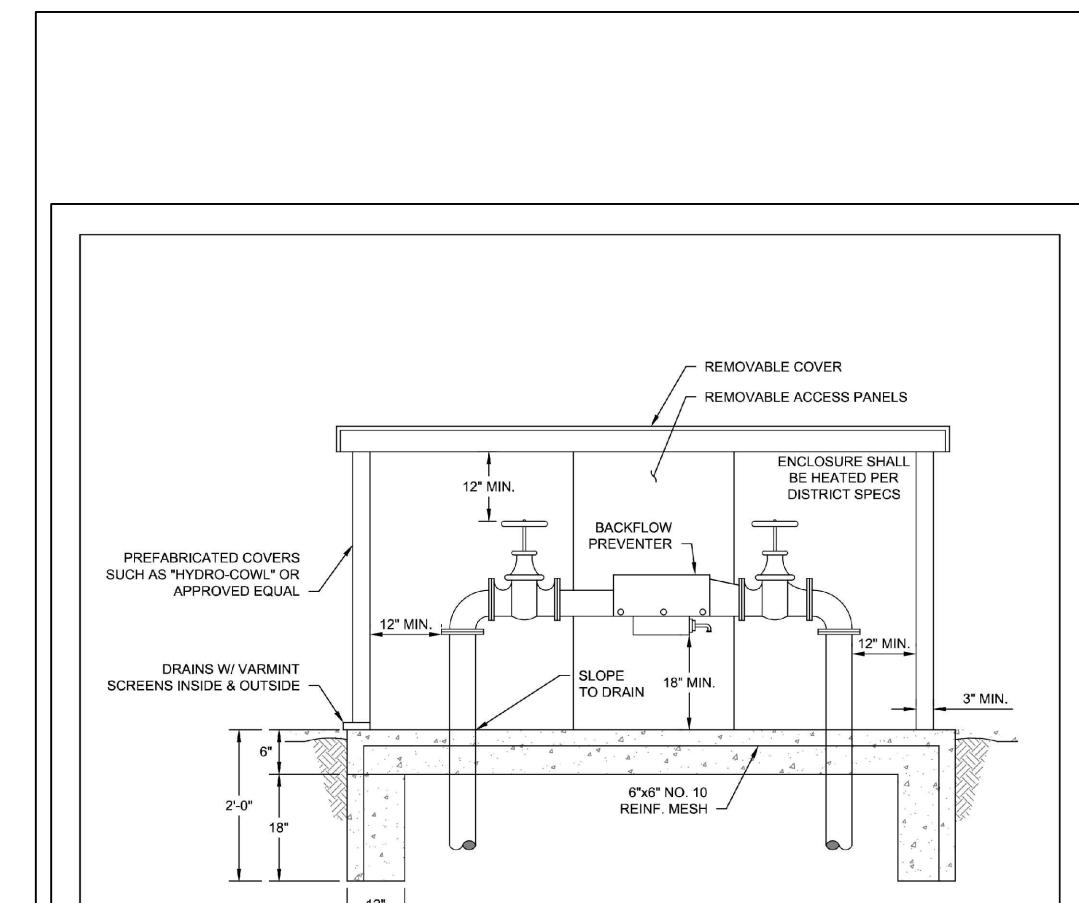


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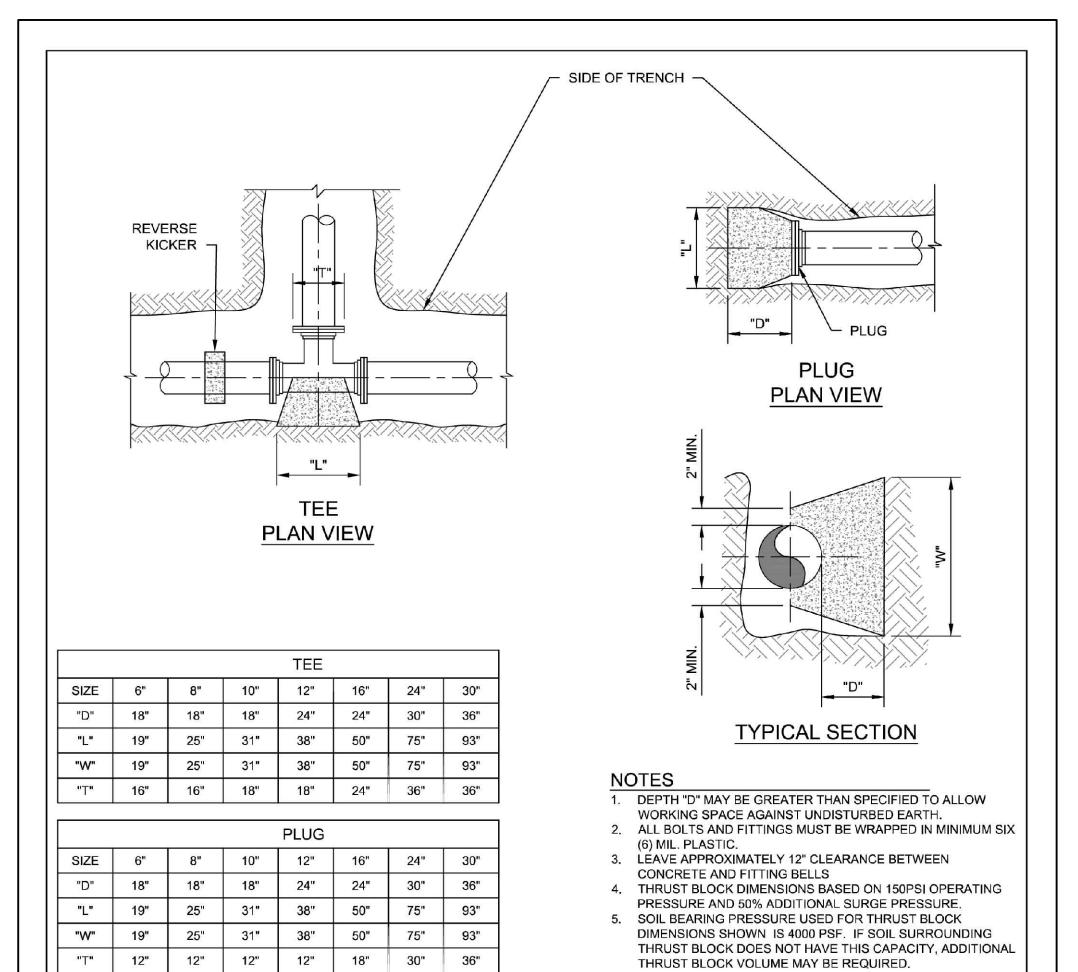


8 BACKFLOW PREVENTER - OUTDOOR INSTALLATION STANDARD DETAIL (DOUBLE DETECTOR CHECK BACKFLOW PREVENTER)

MP GROUP

MILCROFTON UTILITY DISTRICT STANDARD DETAIL NO. 13

ISSUE DATE: DEC. 2016 DRAWN BY: CCS
SCALE: NOT TO SCALE CHECKED BY: MWB

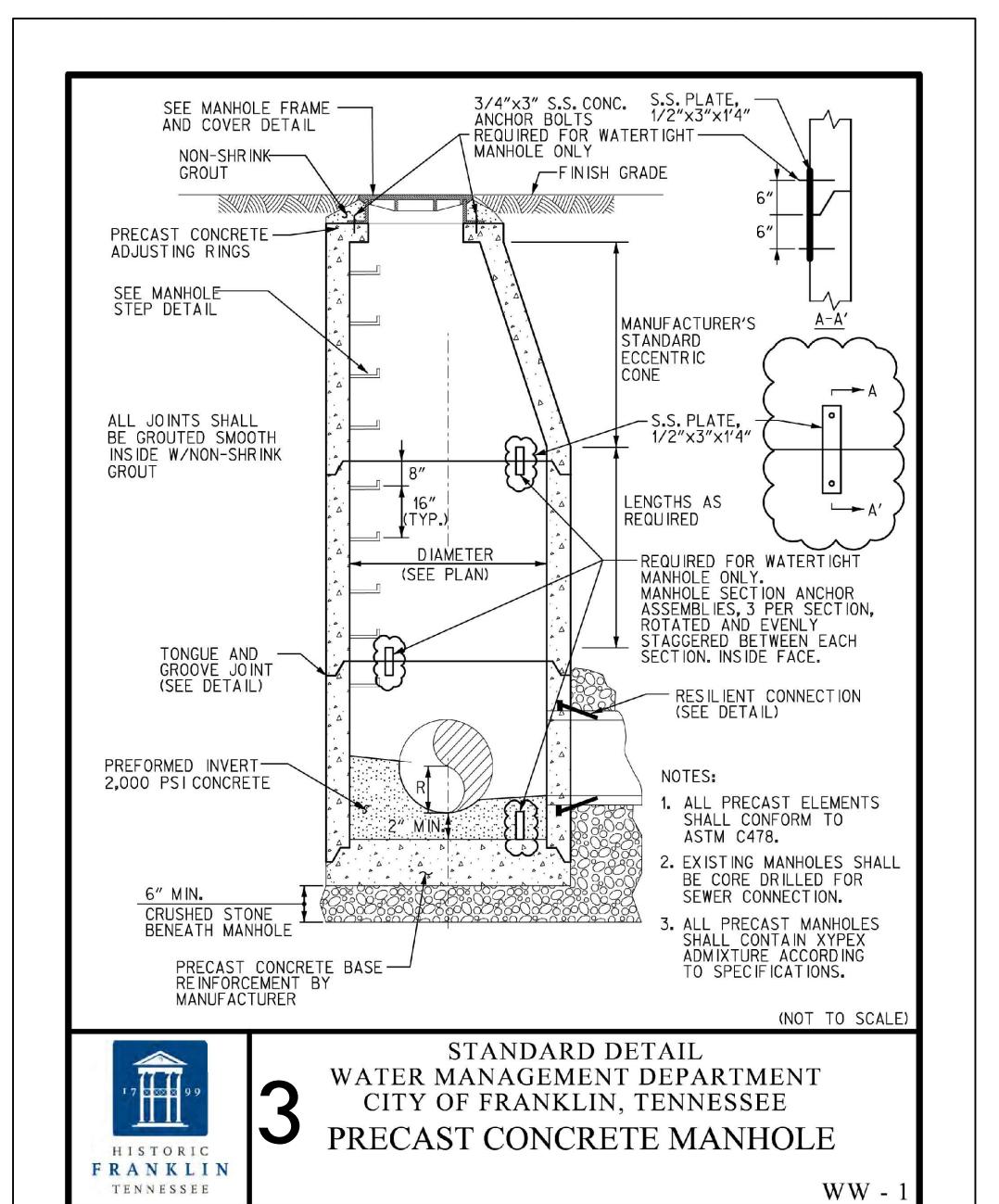


6 CONCRETE BLOCKING DETAILS

MP GROUP

MILCROFTON UTILITY DISTRICT STANDARD DETAIL NO. 4

ISSUE DATE: DEC. 2016 DRAWN BY: CCS
SCALE: NOT TO SCALE CHECKED BY: MWB

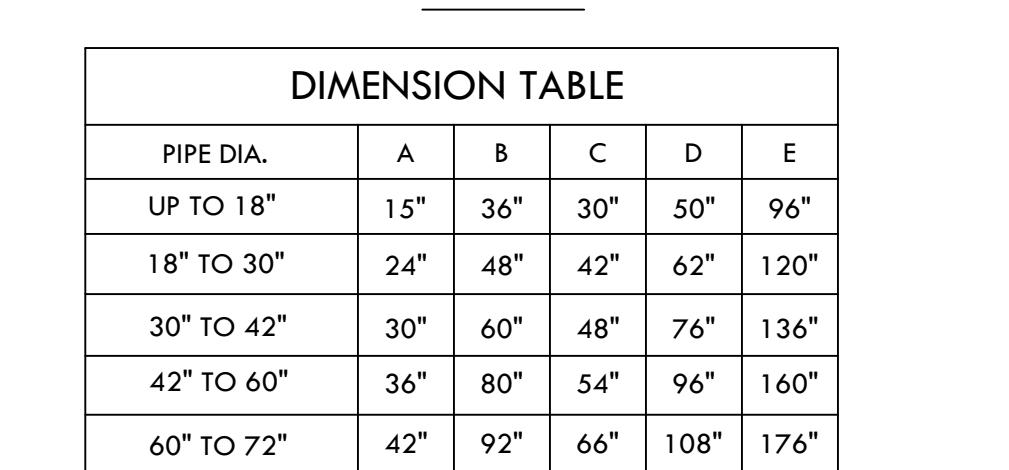
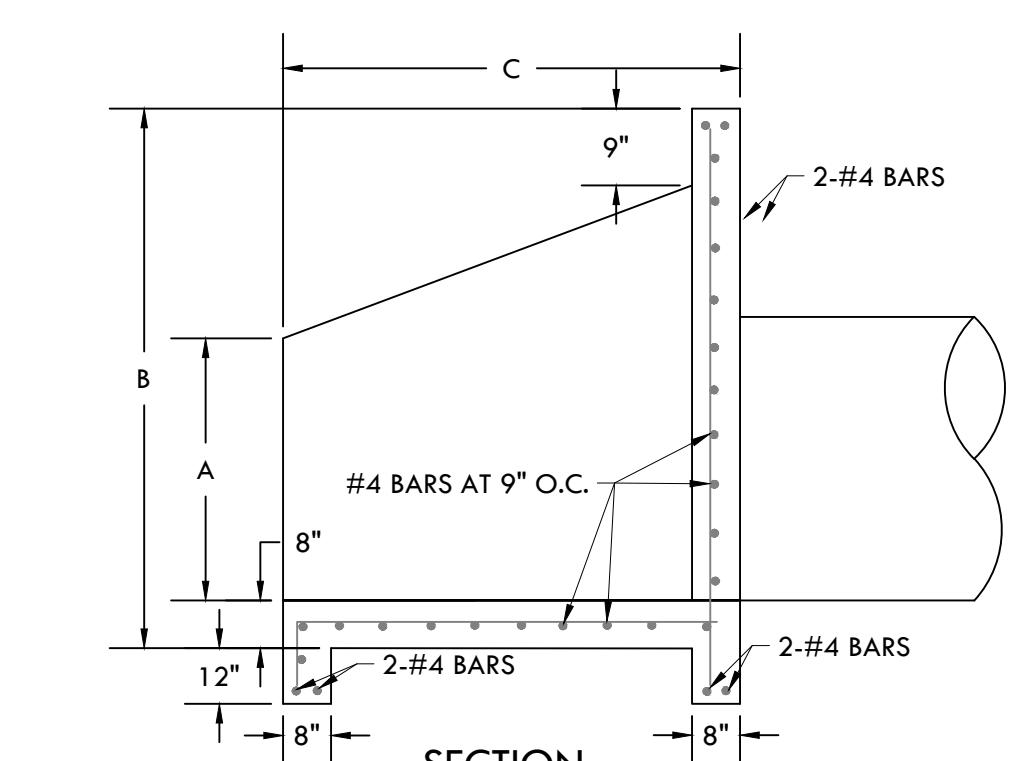
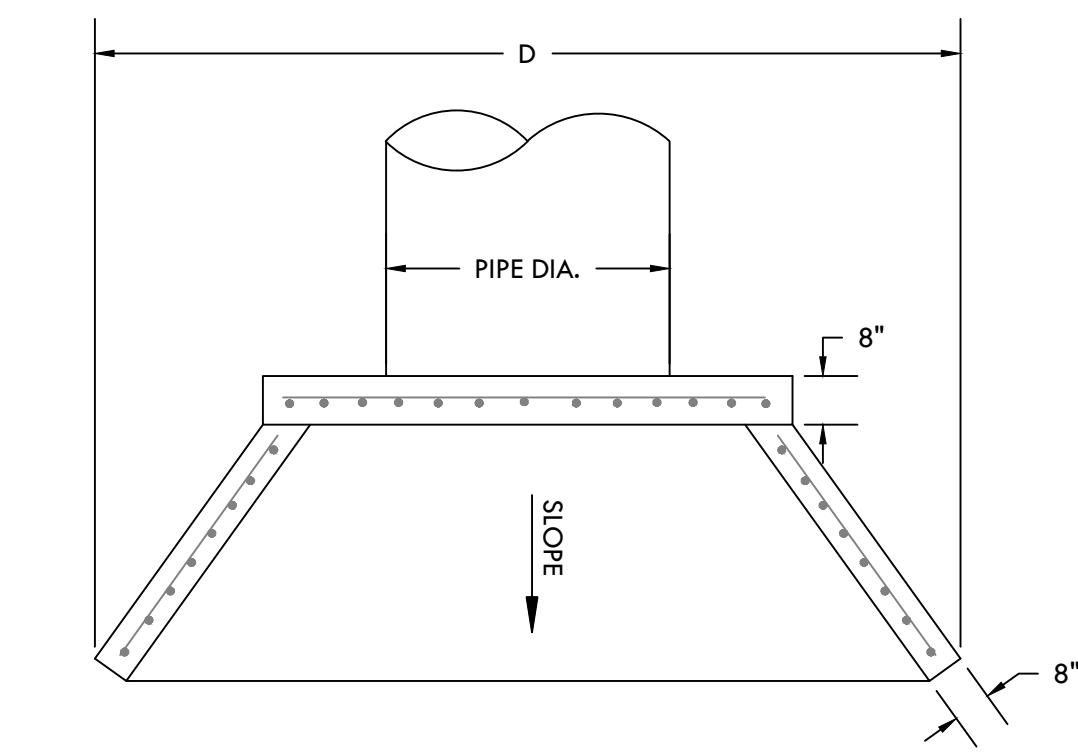
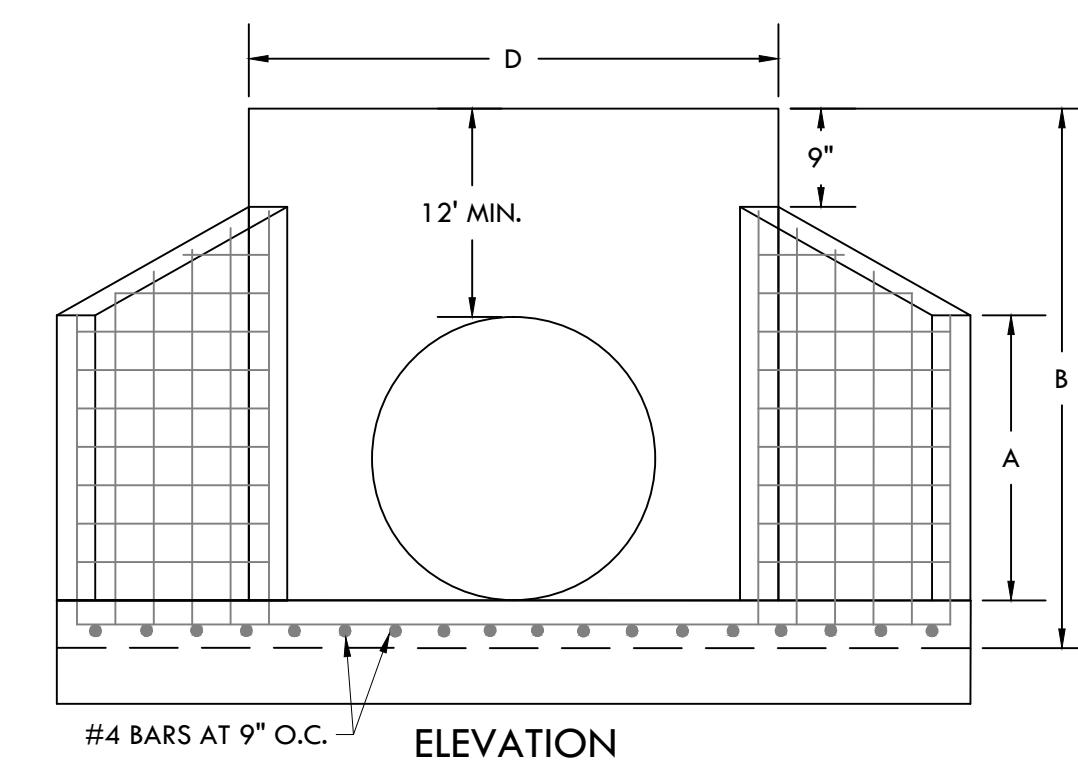


3 STANDARD DETAIL WATER MANAGEMENT DEPARTMENT CITY OF FRANKLIN, TENNESSEE PRECAST CONCRETE MANHOLE

MP GROUP

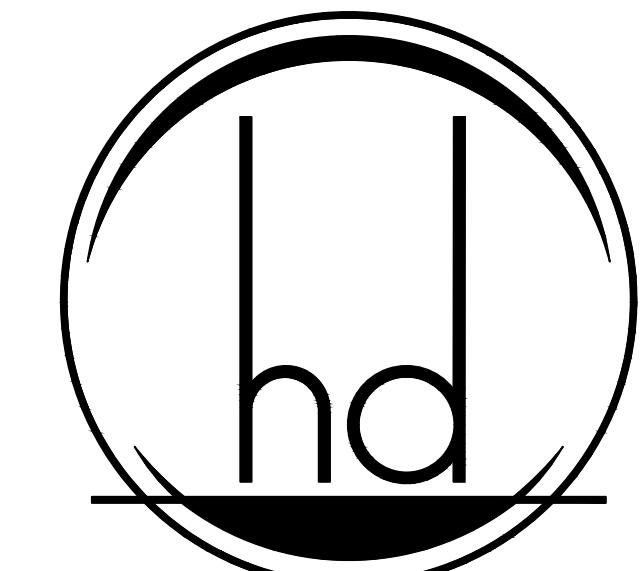
HISTORIC FRANKLIN TENNESSEE

WW - 1



NOTES:

1. CONCRETE TO BE 4000 PSI.
2. REINFORCING STEEL SHALL MEET ASTM A615 FOR GRADE 60.
3. MIN. 2" CLEARANCE.
4. PRECAST HEADWALLS ARE ACCEPTABLE IN LIEU OF CAST IN PLACE. PRECAST ELEMENTS TO MEET ASTM C913
5. CHAMFER ALL CORNERS 1".



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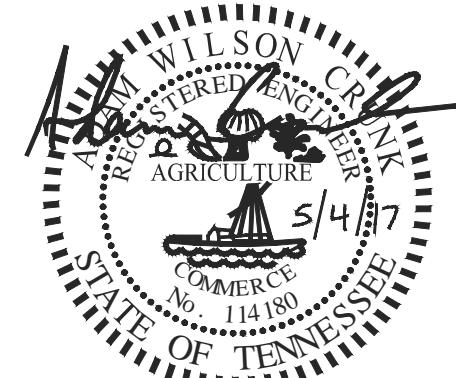
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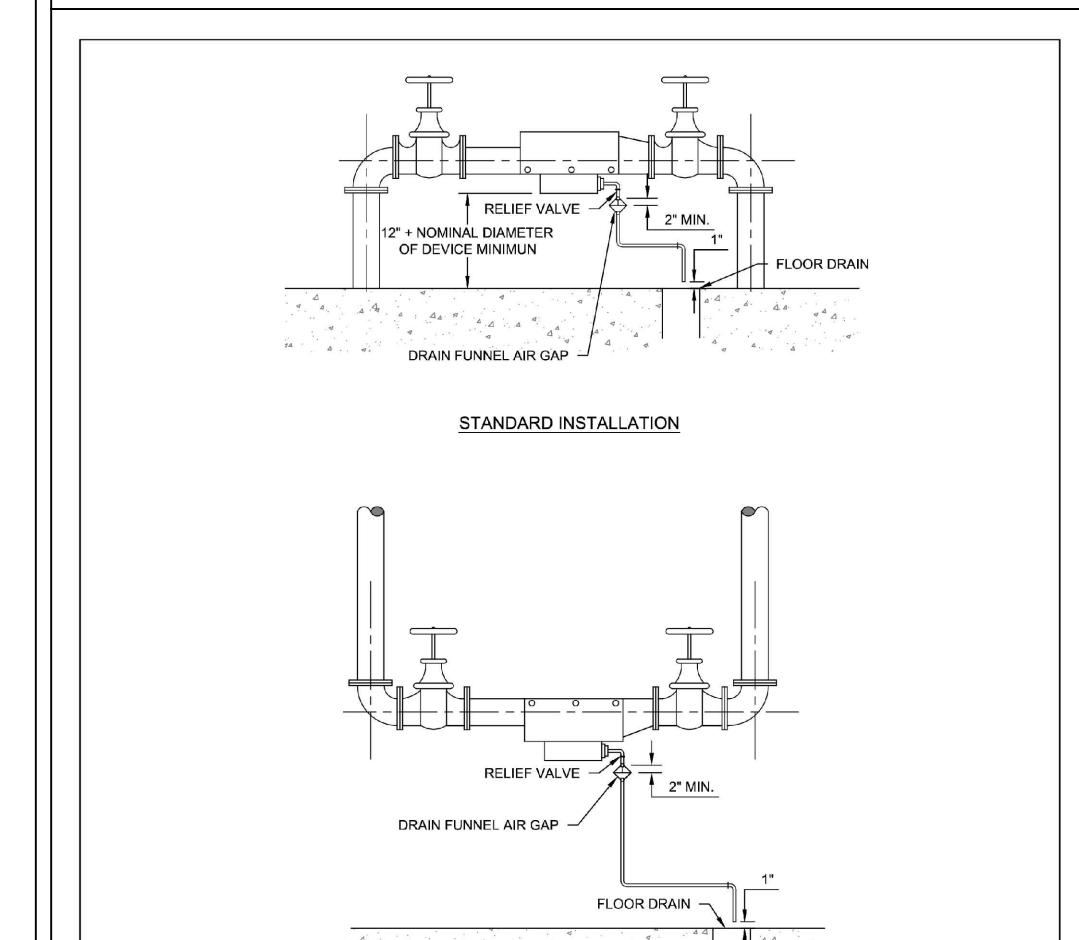
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CONSTRUCTION
DOCUMENTS



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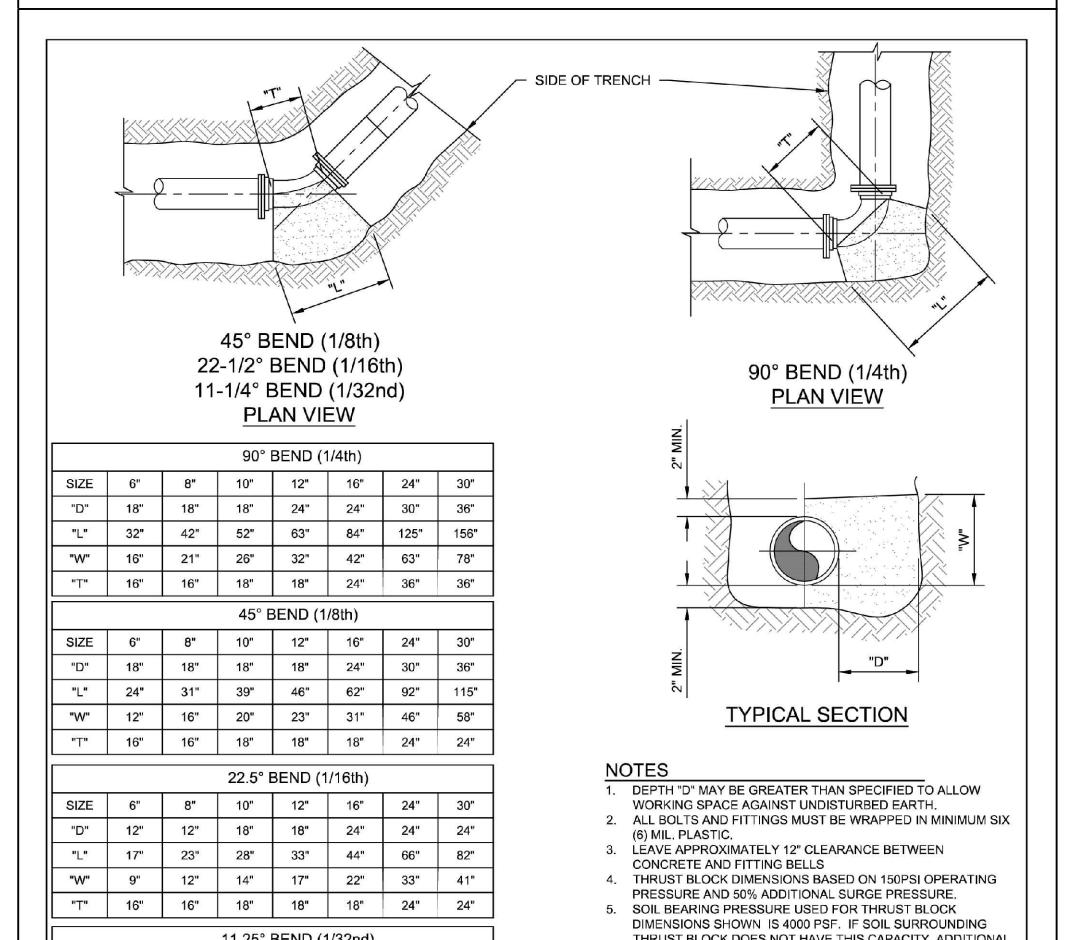


9 BACKFLOW PREVENTER - INDOOR INSTALLATION STANDARD DETAIL (DOUBLE CHECK BACKFLOW PREVENTER)

MP GROUP

MILCROFTON UTILITY DISTRICT STANDARD DETAIL NO. 12

ISSUE DATE: DEC. 2016 DRAWN BY: CCS
SCALE: NOT TO SCALE CHECKED BY: MWB

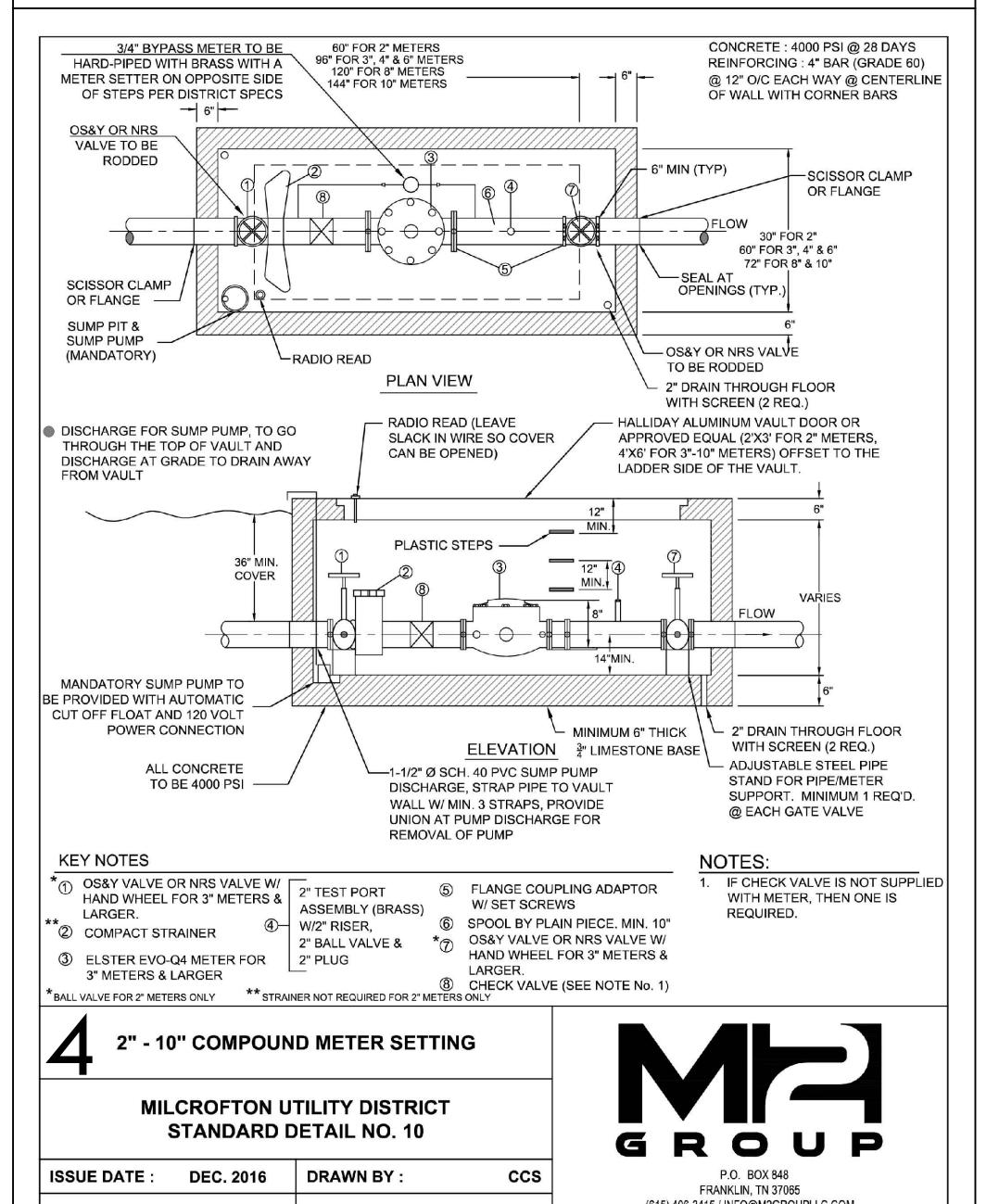


7 CONCRETE BLOCKING DETAILS

MP GROUP

MILCROFTON UTILITY DISTRICT STANDARD DETAIL NO. 5

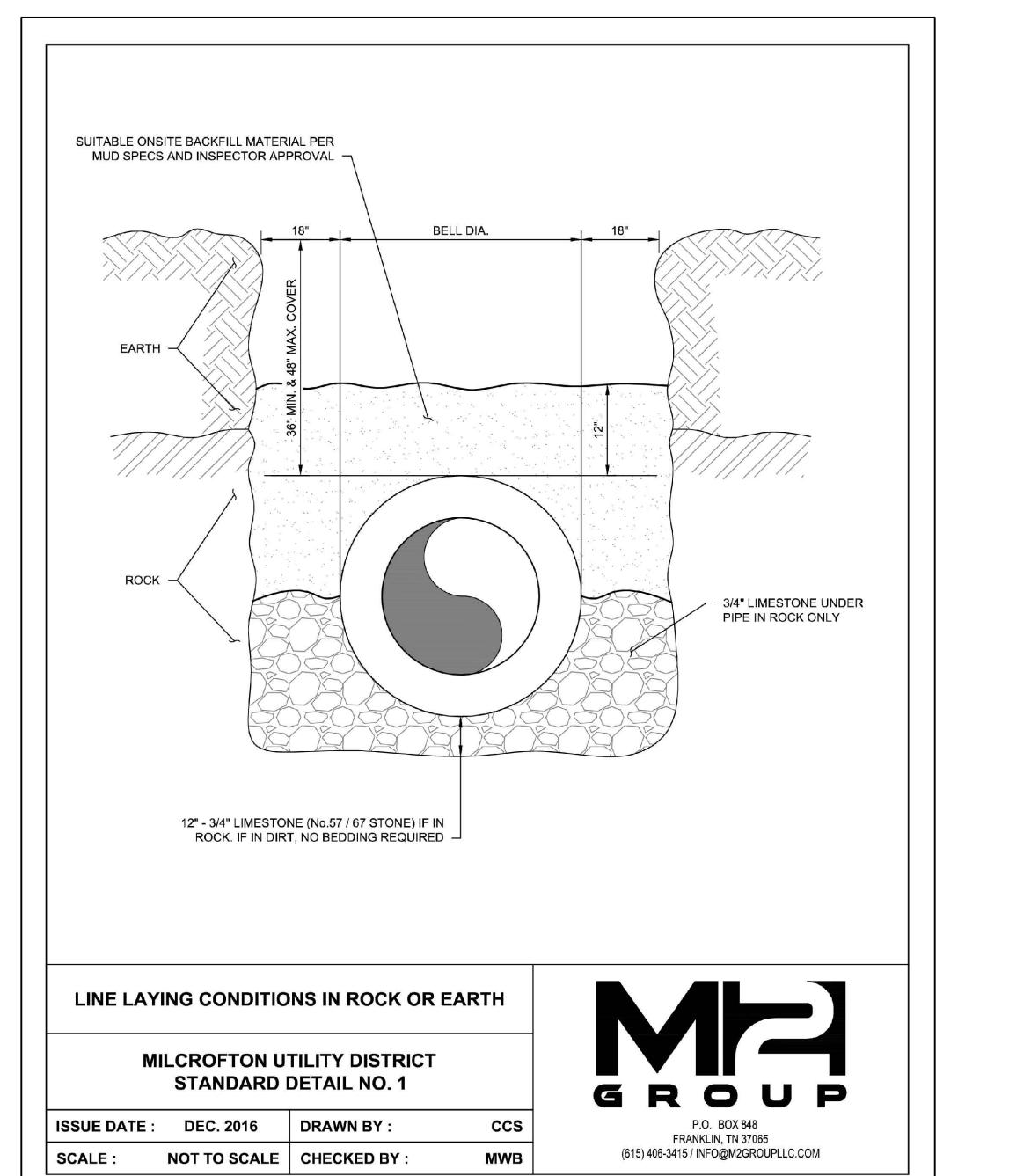
ISSUE DATE: DEC. 2016 DRAWN BY: CCS
SCALE: NOT TO SCALE CHECKED BY: MWB



4 2" TO 10" COMPOUND METER SETTING

MILCROFTON UTILITY DISTRICT STANDARD DETAIL NO. 10

ISSUE DATE: DEC. 2016 DRAWN BY: CCS
SCALE: NOT TO SCALE CHECKED BY: MWB



1 LINE LAYING CONDITIONS IN ROCK OR EARTH

MP GROUP

MILCROFTON UTILITY DISTRICT STANDARD DETAIL NO. 1

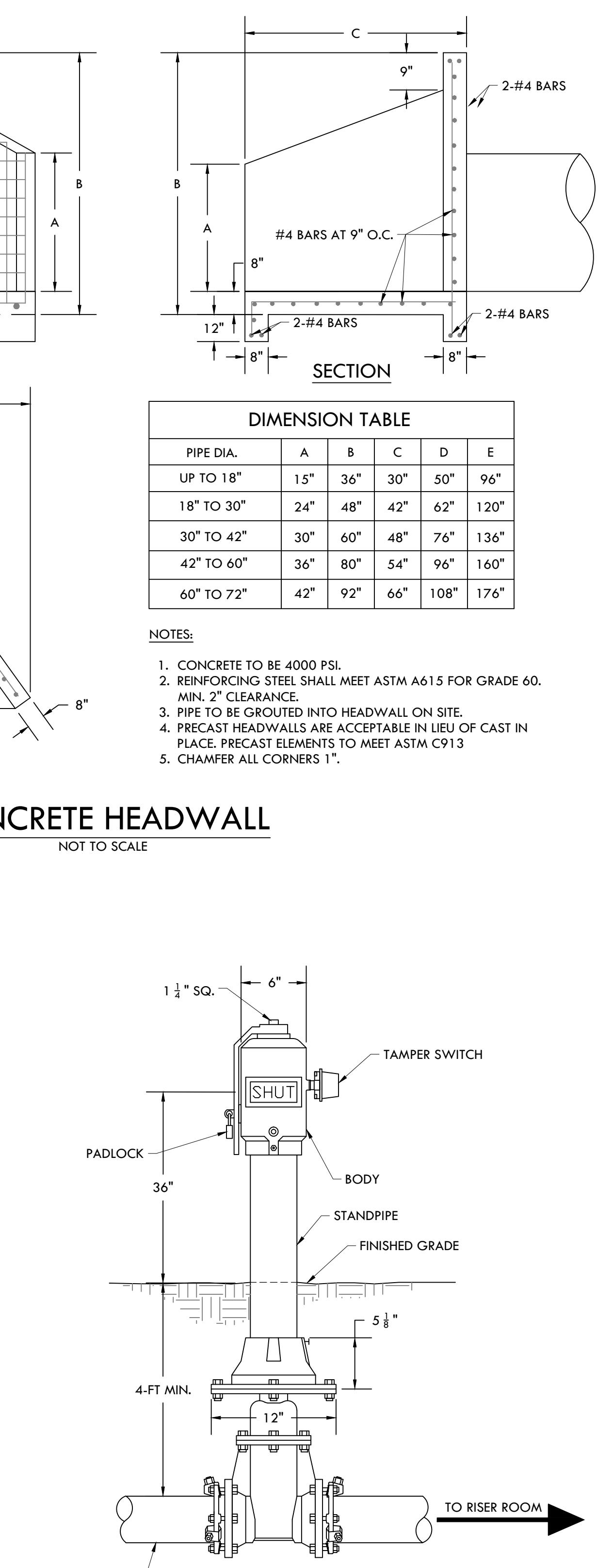
ISSUE DATE: DEC. 2016 DRAWN BY: CCS
SCALE: NOT TO SCALE CHECKED BY: MWB



5 FIRE HYDRANT ASSEMBLY DETAIL

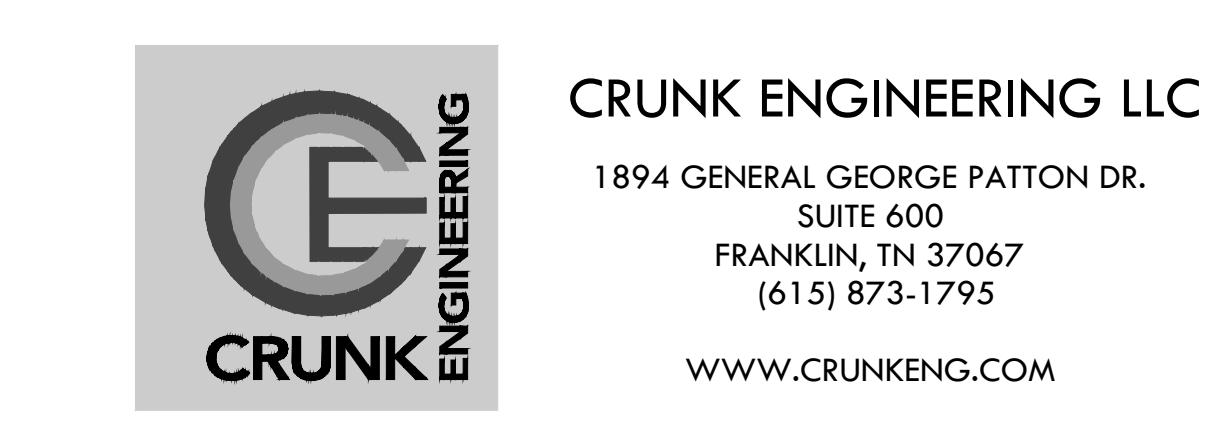
MILCROFTON UTILITY DISTRICT STANDARD DETAIL NO. 8

ISSUE DATE: DEC. 2016 DRAWN BY: CCS
SCALE: NOT TO SCALE CHECKED BY: MWB



2 POST INDICATOR VALVE

NOT TO SCALE



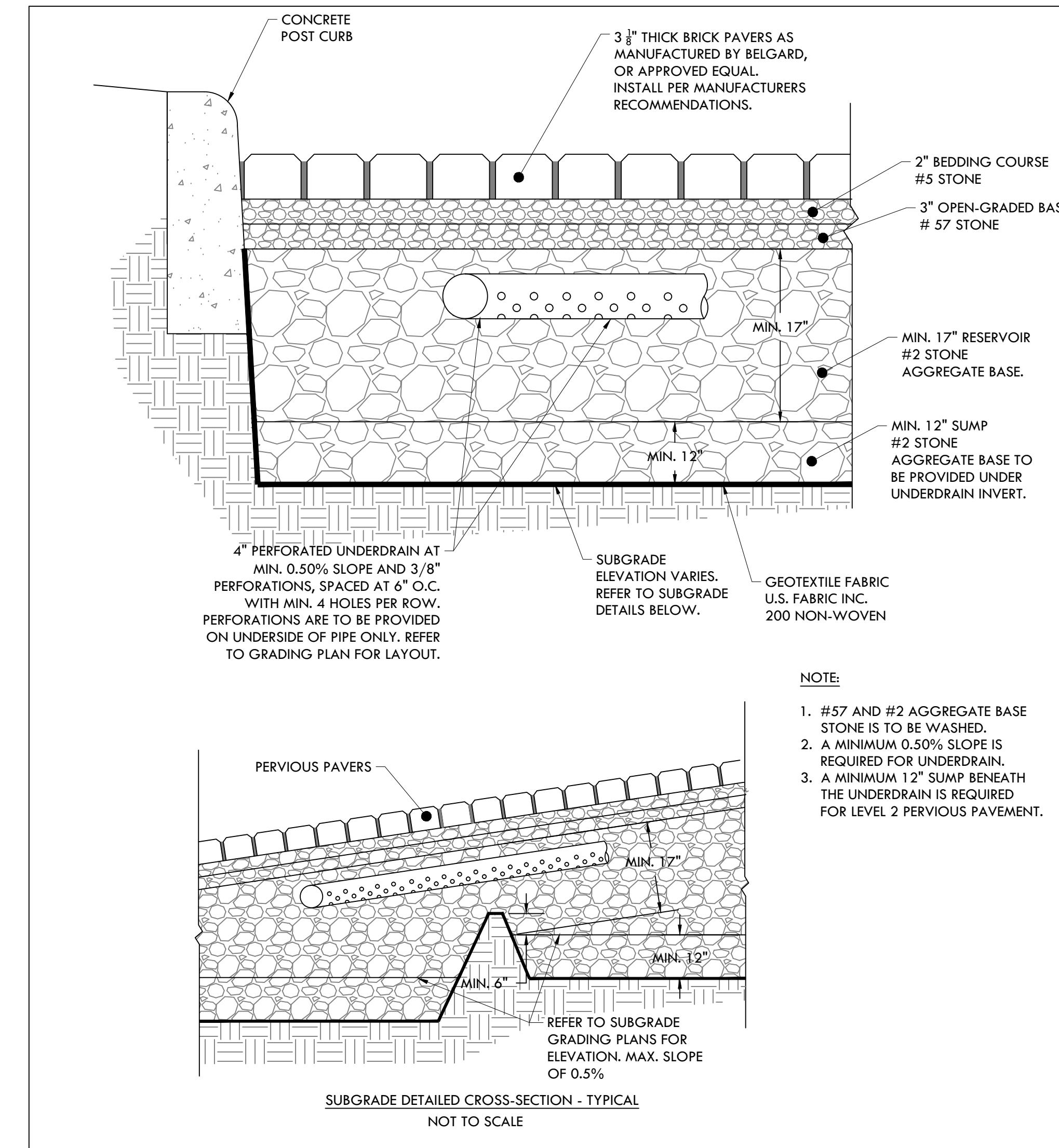
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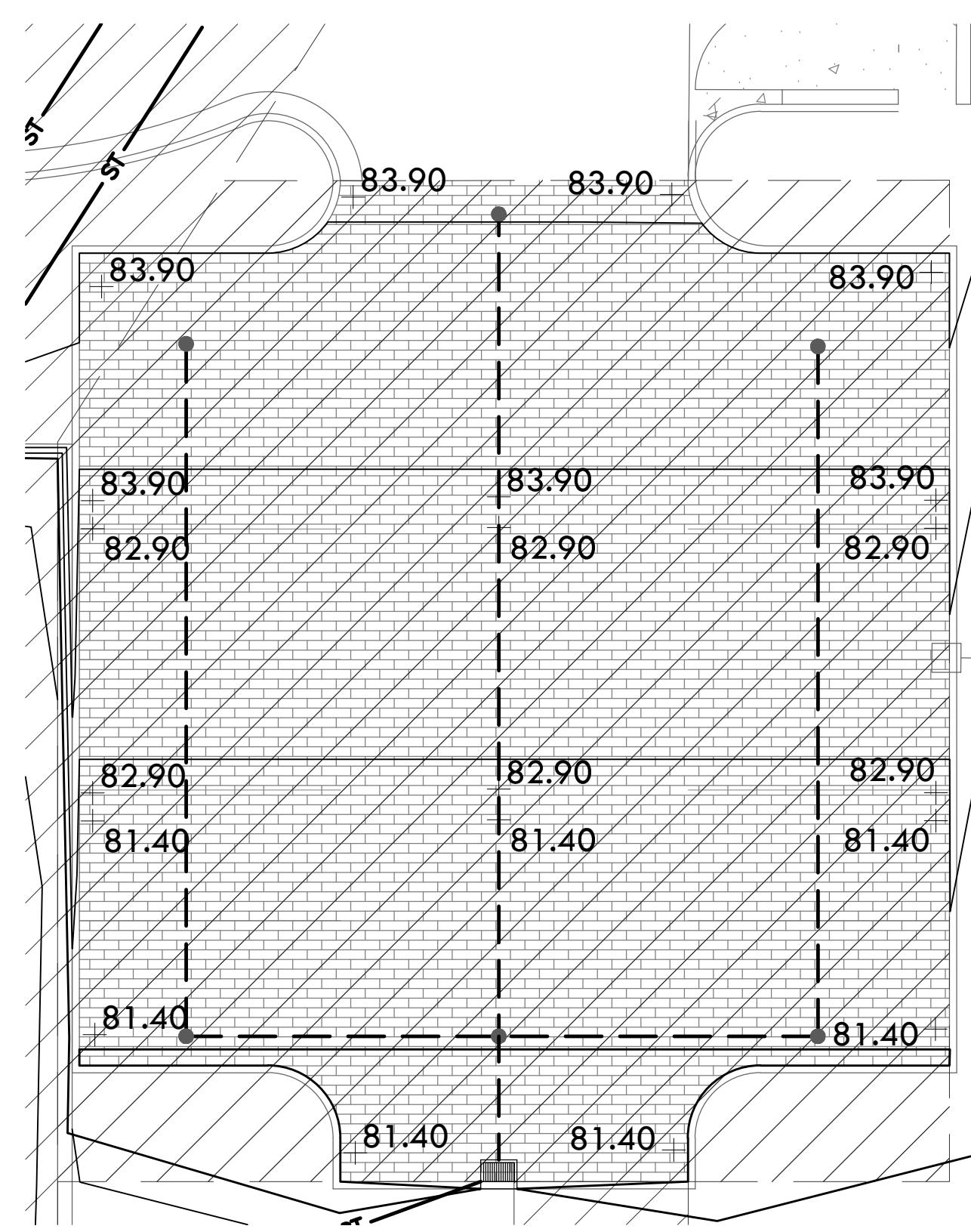
DATES OF ISSUANCE

DETAILS

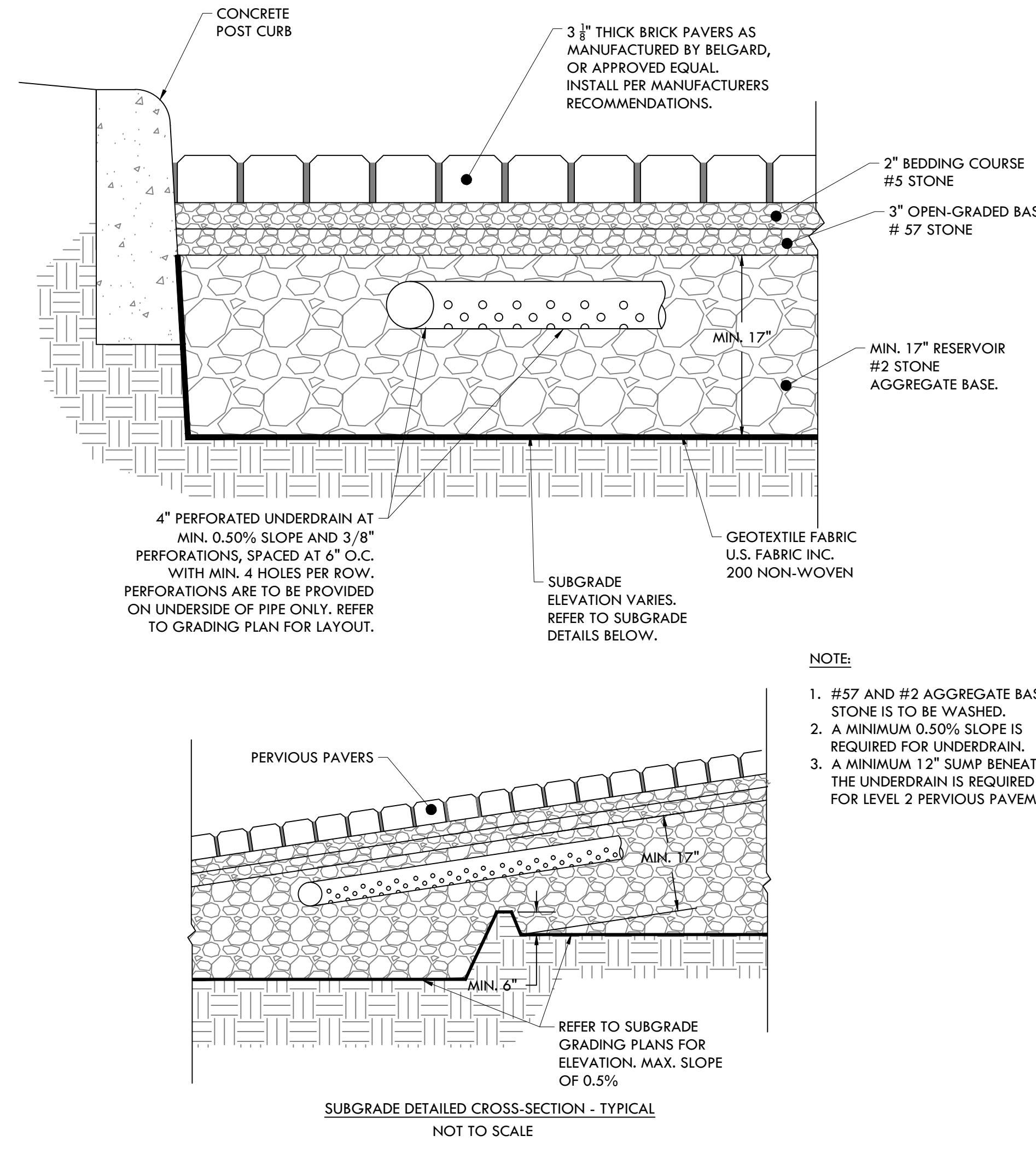
SHEET TITLE C8.2



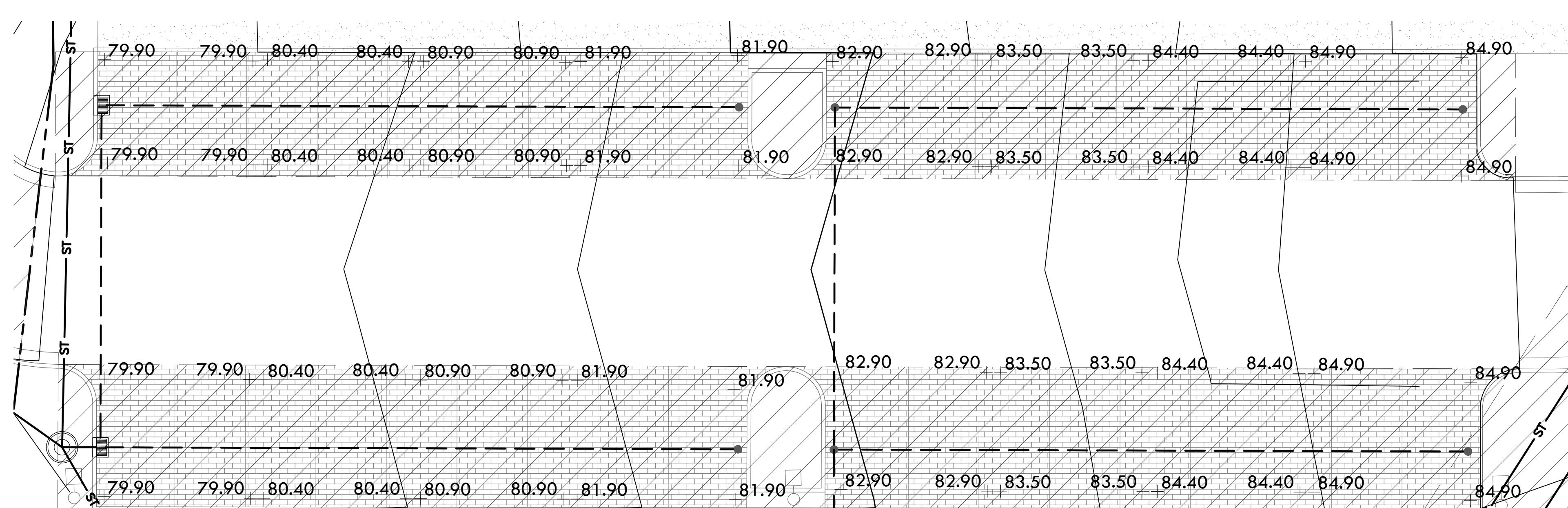
2 PERVIOUS PAVERS LEVEL 2 - SECTION



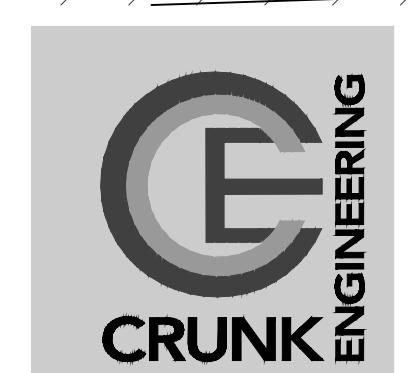
PREVIOUS PAVER LEVEL 2 - SUBGRADE DETAILS



PERVIOUS PAVERS LEVEL 1 - SECTION



PERVIOUS PAVER LEVEL 1 - SUBGRADE DETAILS



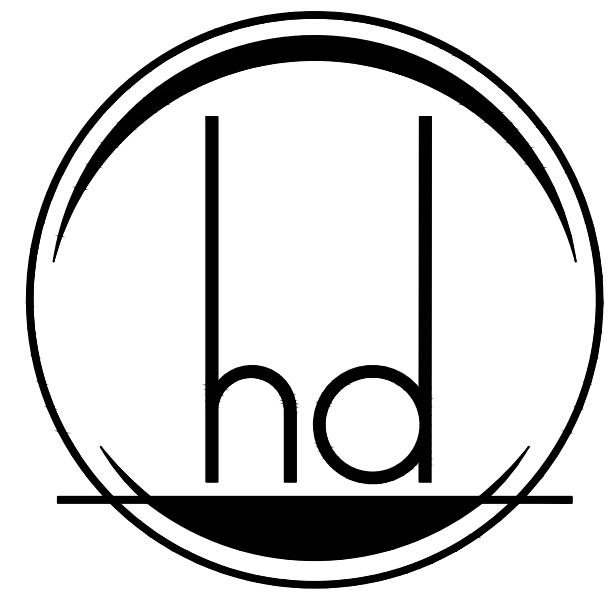
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SHEET ■ TITLE ■ DATES OF ISSUANCE

DETAILS

C8.3



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2100 12.00

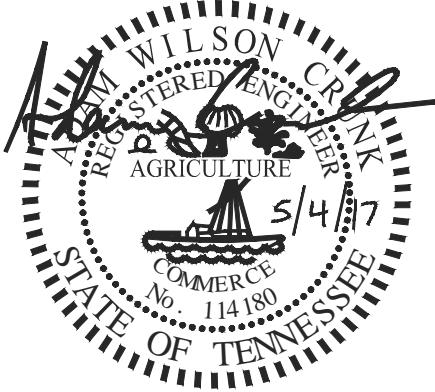
1217 Liberty Pike

Franklin TN 37067

Prime Health Services

Carothers Development Subdivision, Site Plan, Revision 1 (Prime Health) C.O.F. # 6323

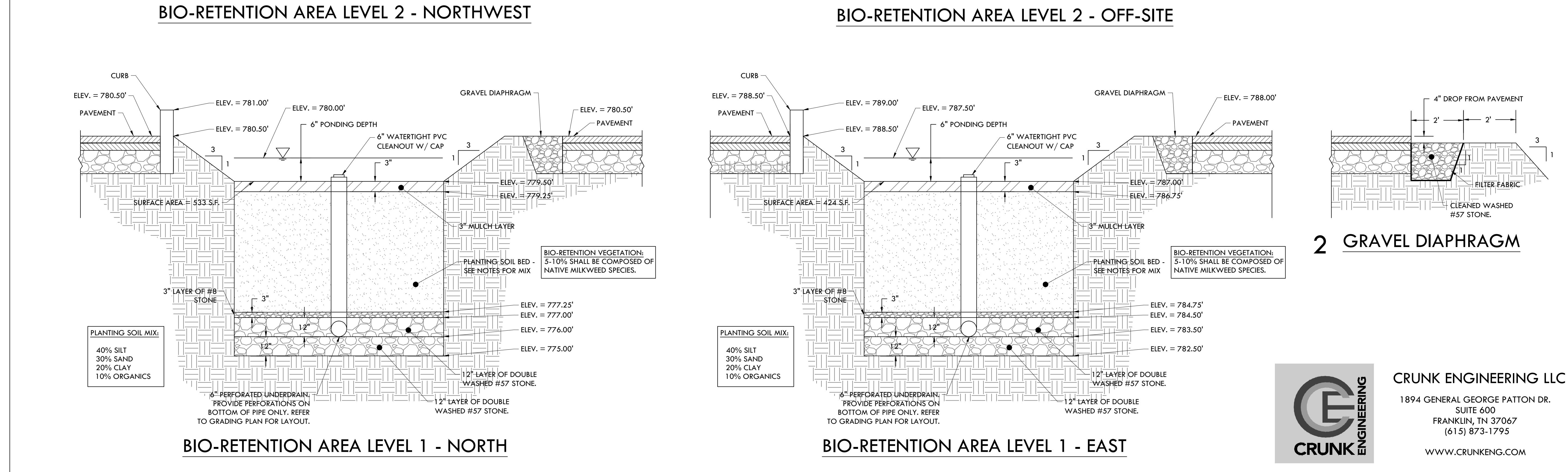
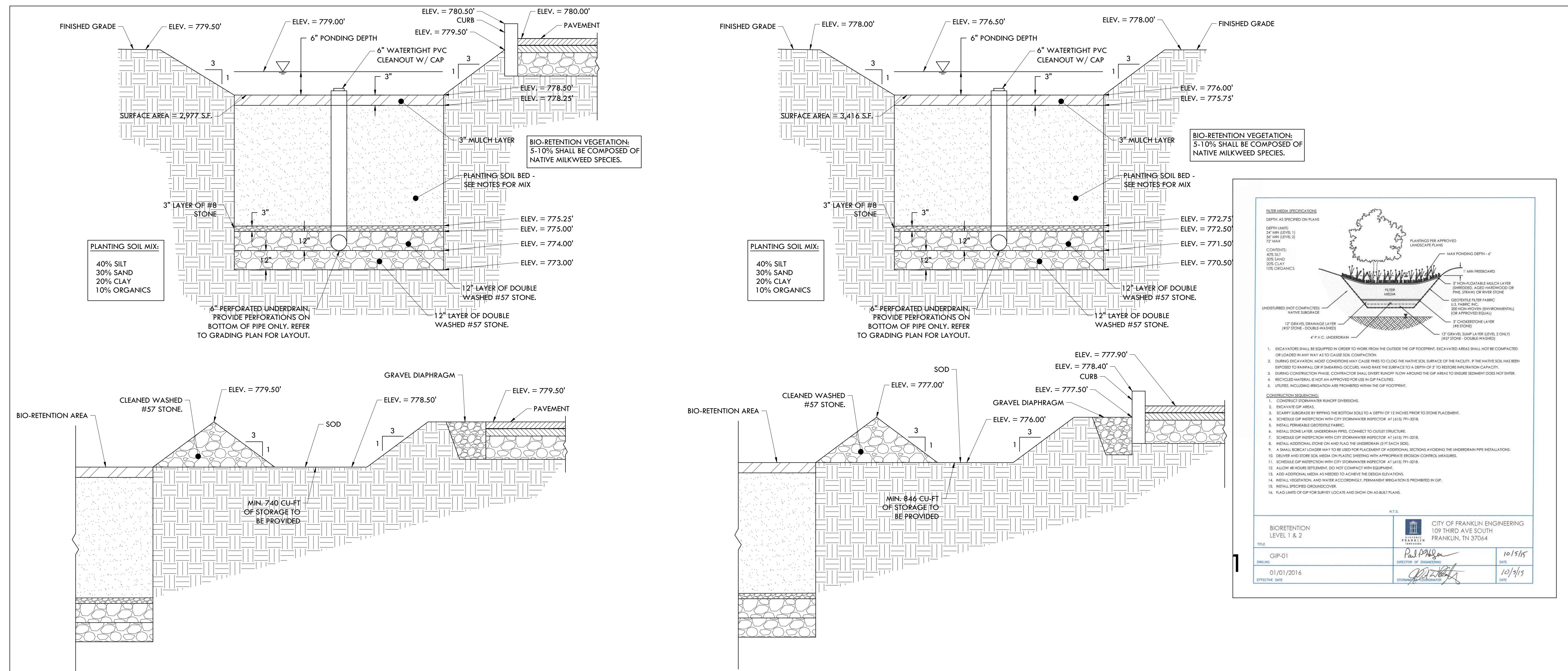
CONSTRUCTION DOCUMENTS

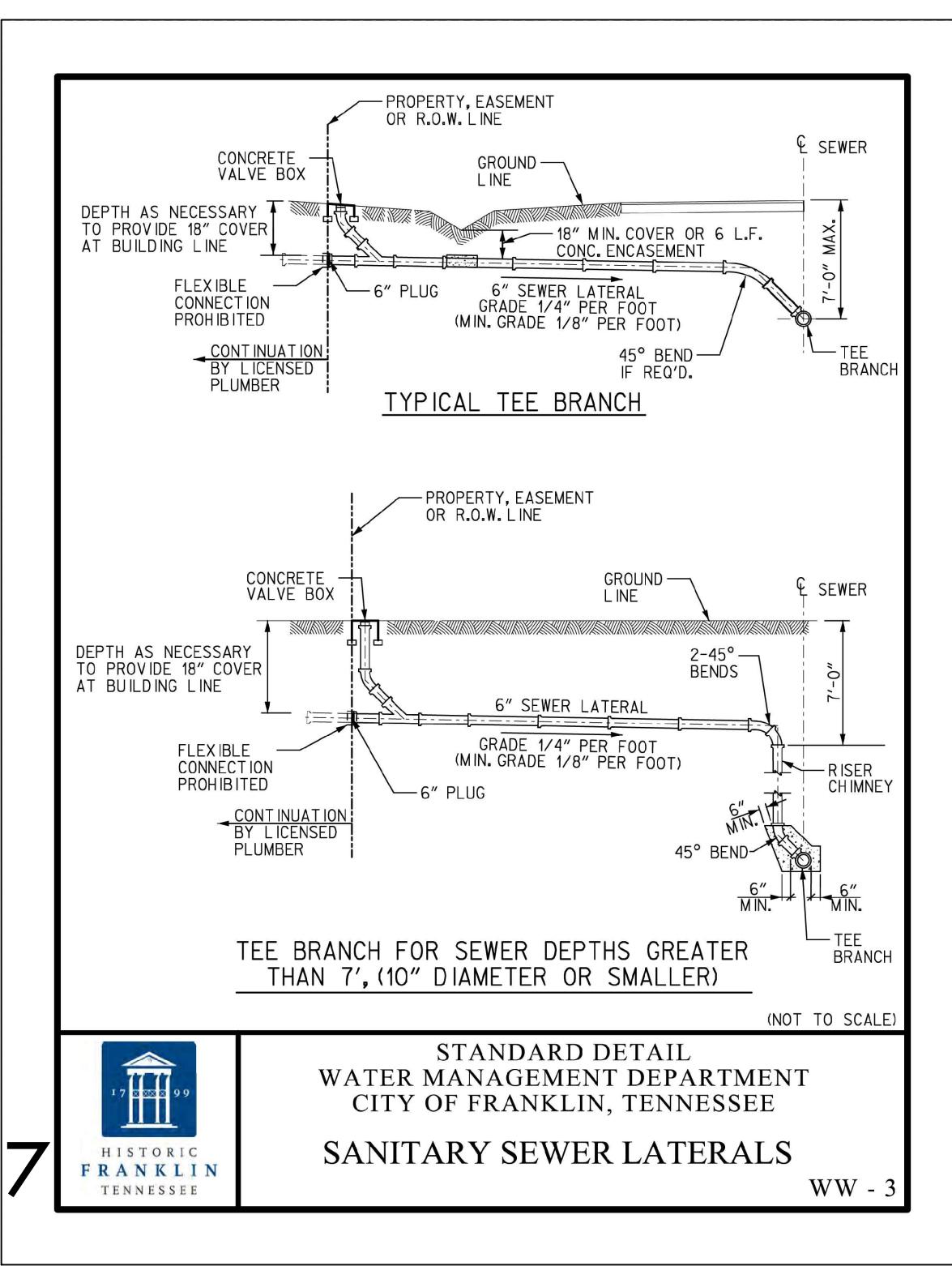


05/04/17

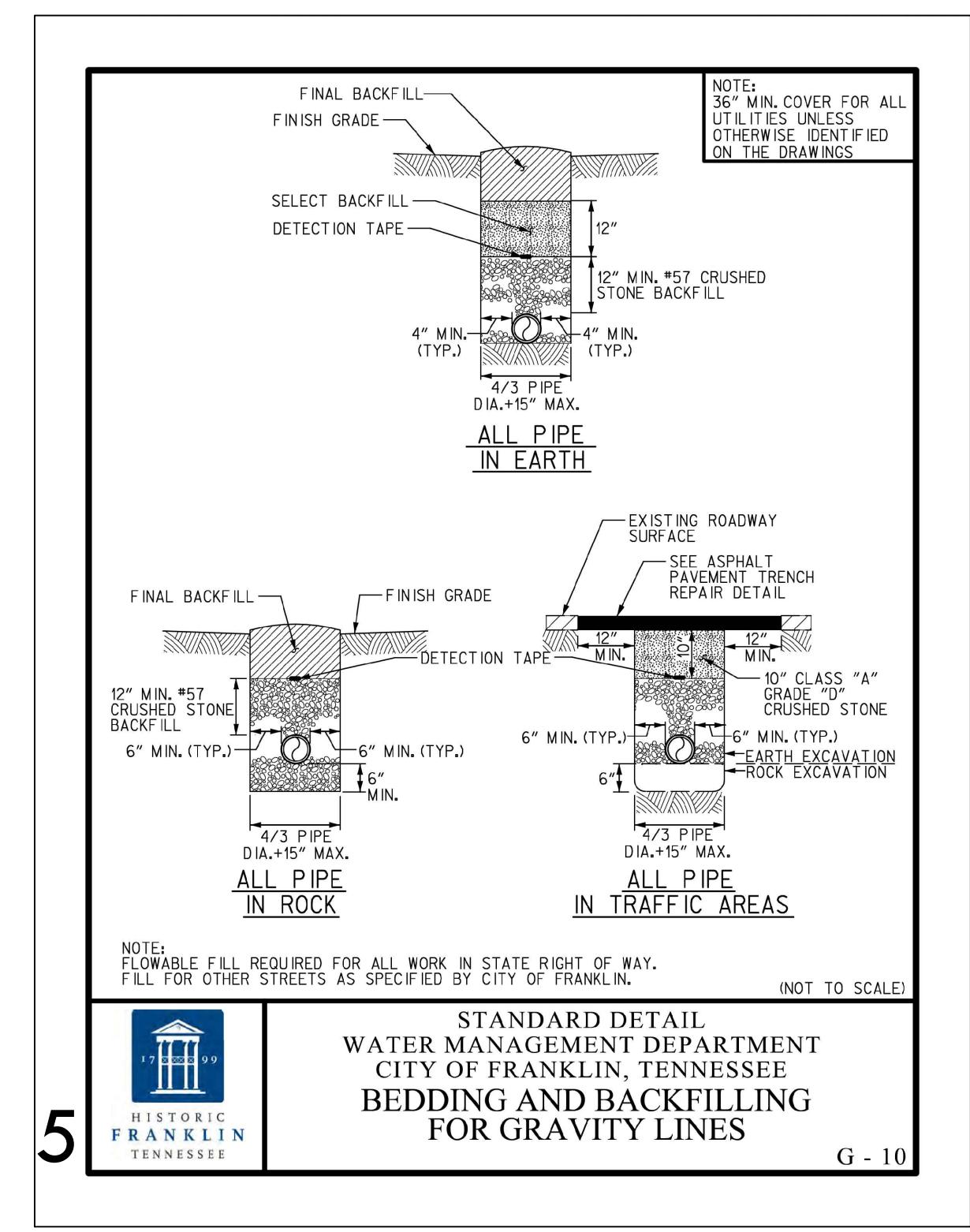
DETAILS

C8.3

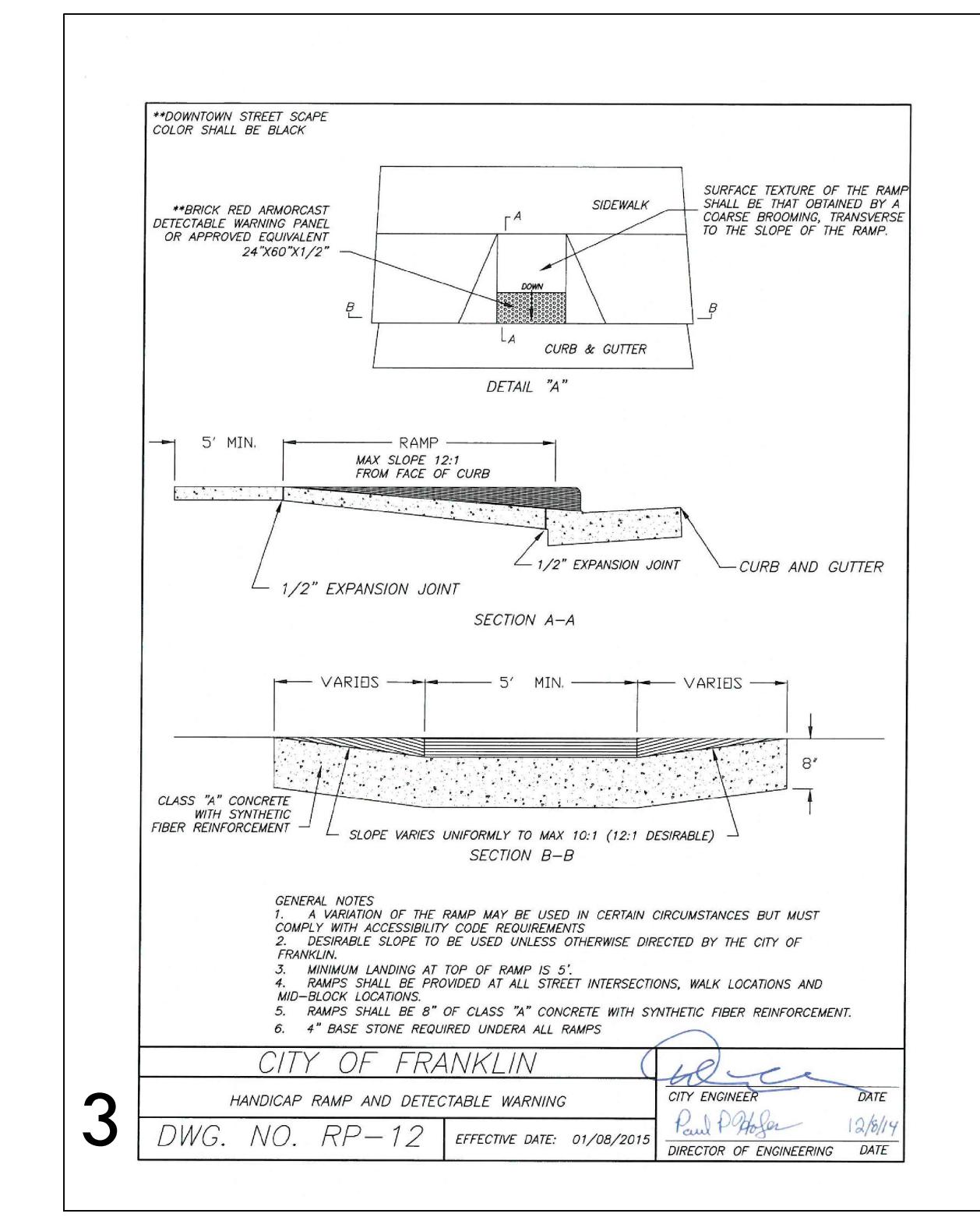




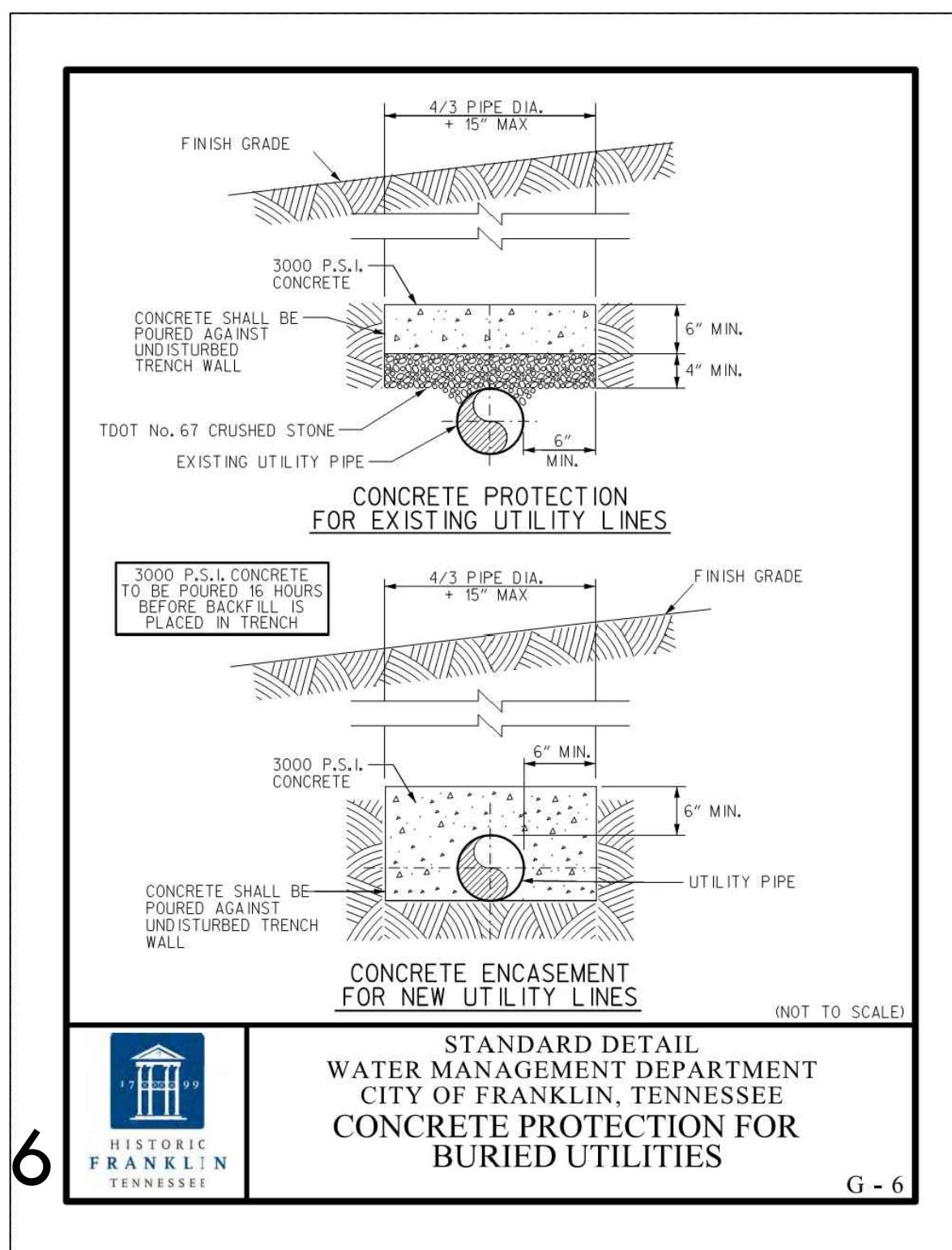
STANDARD DETAIL
WATER MANAGEMENT DEPARTMENT
CITY OF FRANKLIN, TENNESSEE
SANITARY SEWER LATERALS
WW - 3



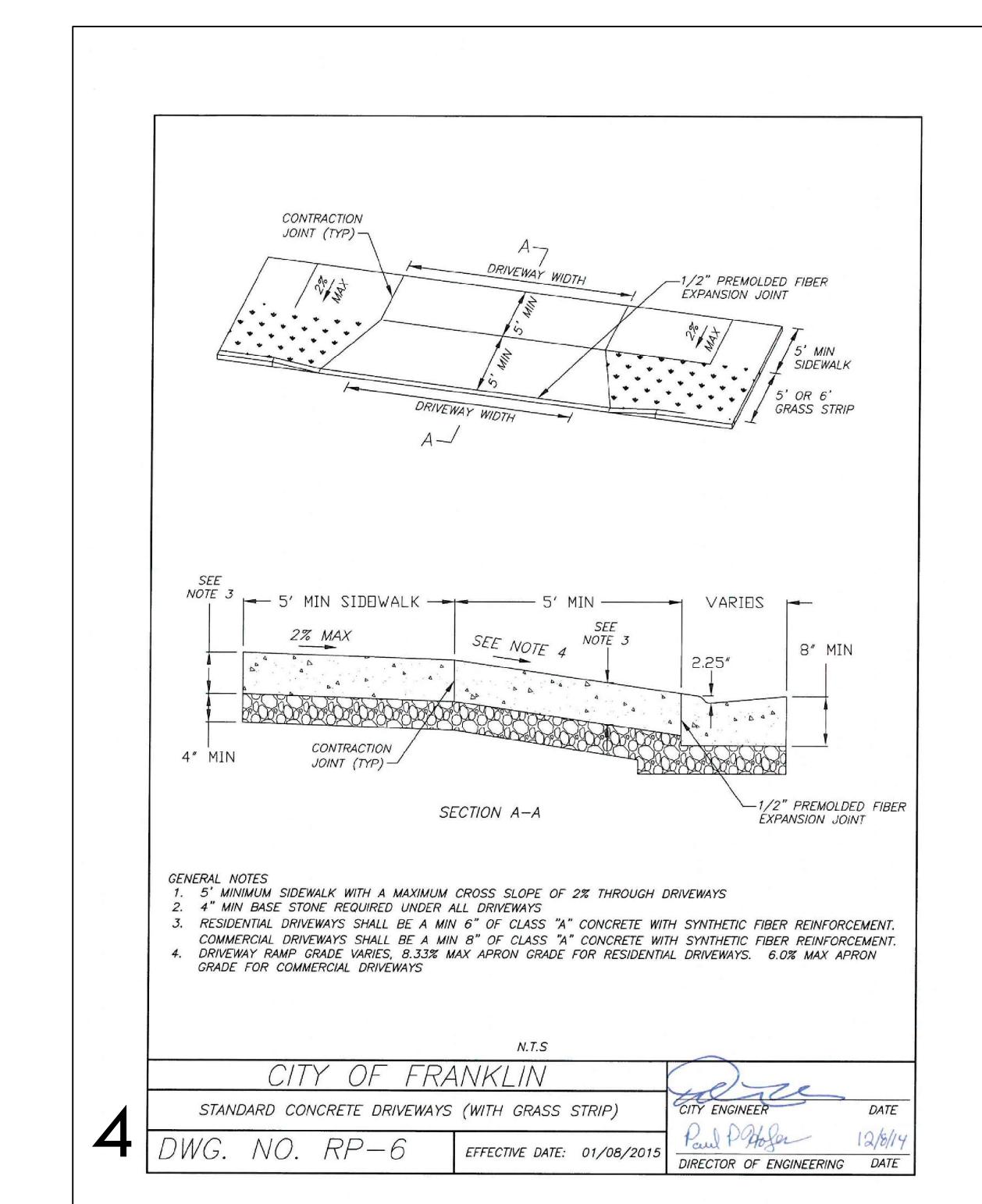
STANDARD DETAIL
WATER MANAGEMENT DEPARTMENT
CITY OF FRANKLIN, TENNESSEE
BEDDING AND BACKFILLING
FOR GRAVITY LINES
G - 10



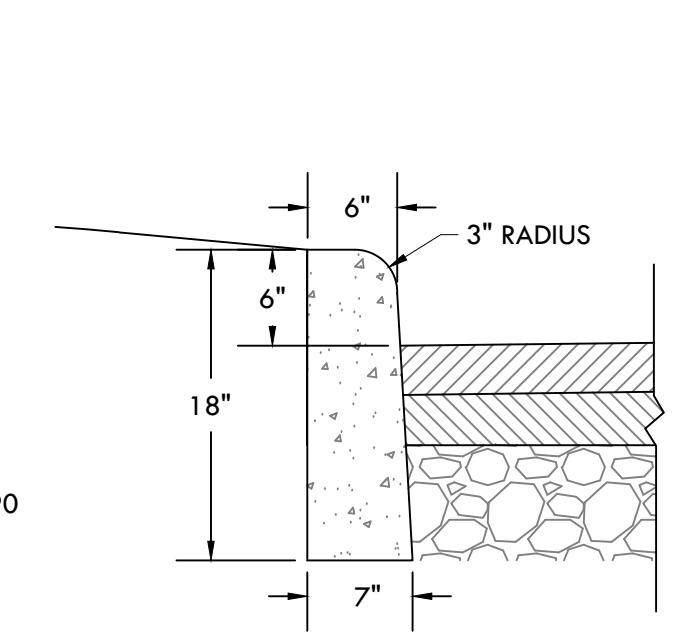
CITY OF FRANKLIN
HANDICAP RAMP AND DETECTABLE WARNING
DWG. NO. RP-12
EFFECTIVE DATE: 01/08/2015
CITY ENGINEER
P. J. McPherson
DIRECTOR OF ENGINEERING
DATE
12/6/14



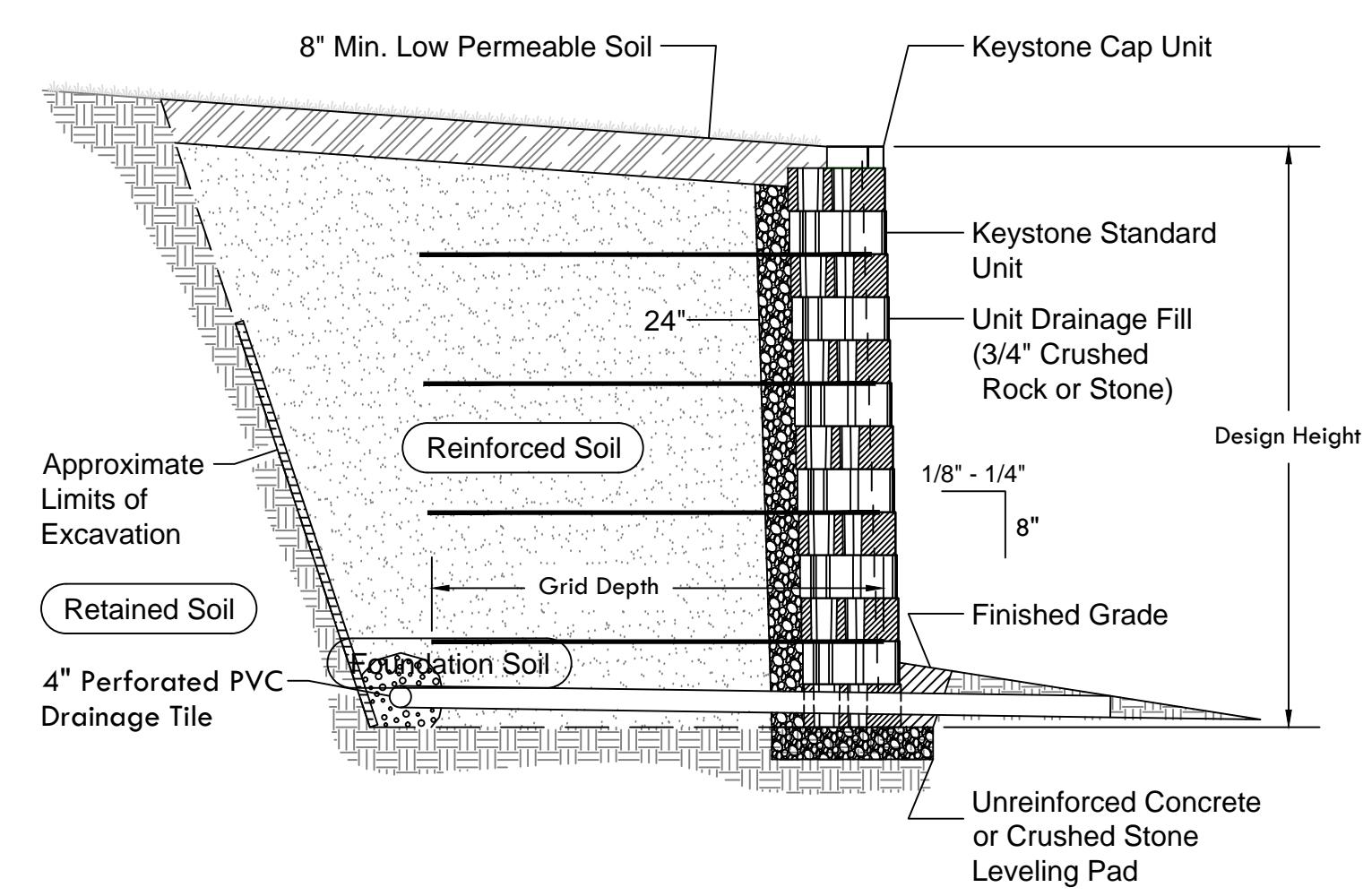
STANDARD DETAIL
WATER MANAGEMENT DEPARTMENT
CITY OF FRANKLIN, TENNESSEE
CONCRETE PROTECTION FOR
BURIED UTILITIES
G - 6



CITY OF FRANKLIN
STANDARD CONCRETE DRIVEWAYS (WITH GRASS STRIP)
DWG. NO. RP-6
EFFECTIVE DATE: 01/08/2015
CITY ENGINEER
P. J. McPherson
DIRECTOR OF ENGINEERING
DATE
12/6/14



1
POST CURB
NOT TO SCALE

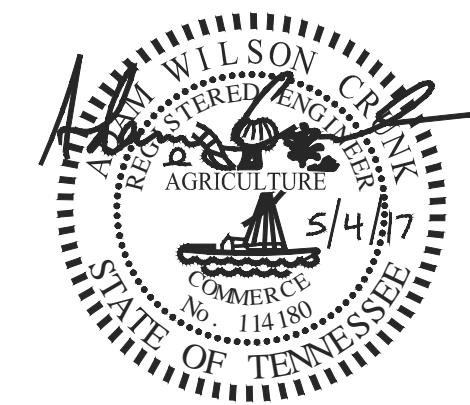


NOTE:
THIS DETAIL IS PROVIDED AS A REFERENCE. THE CONTRACTOR SHALL COORDINATE WITH THE SEGMENTAL WALL MANUFACTURER TO PROVIDE STAMPED ENGINEERED PLANS FOR THE PROPOSED WALL FOR APPROVAL OF ENGINEER. CONTRACTOR SHALL SUBMIT THE STAMPED PLANS TO LOCAL JURISDICTION FOR ANY REQUIRED APPROVALS.

2
SEGMENTAL RETAINING WALL
NOT TO SCALE

Carothers
Development
Subdivision, Site
Plan, Revision 1
(Prime Health)
C.O.F. # 6323

CONSTRUCTION
DOCUMENTS



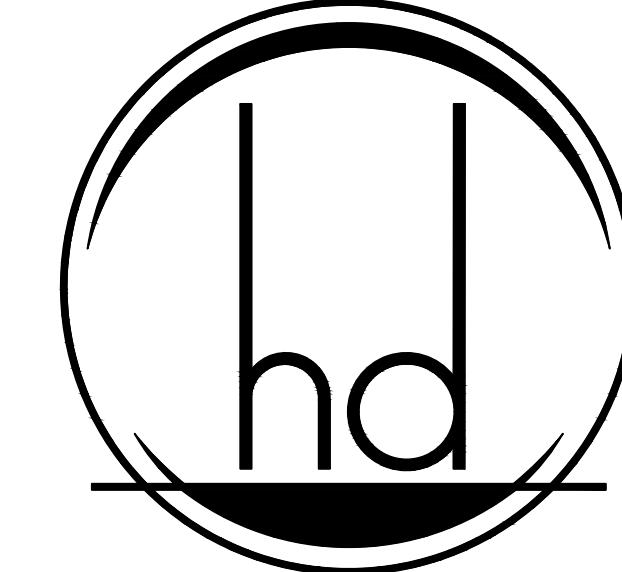
05/04/17

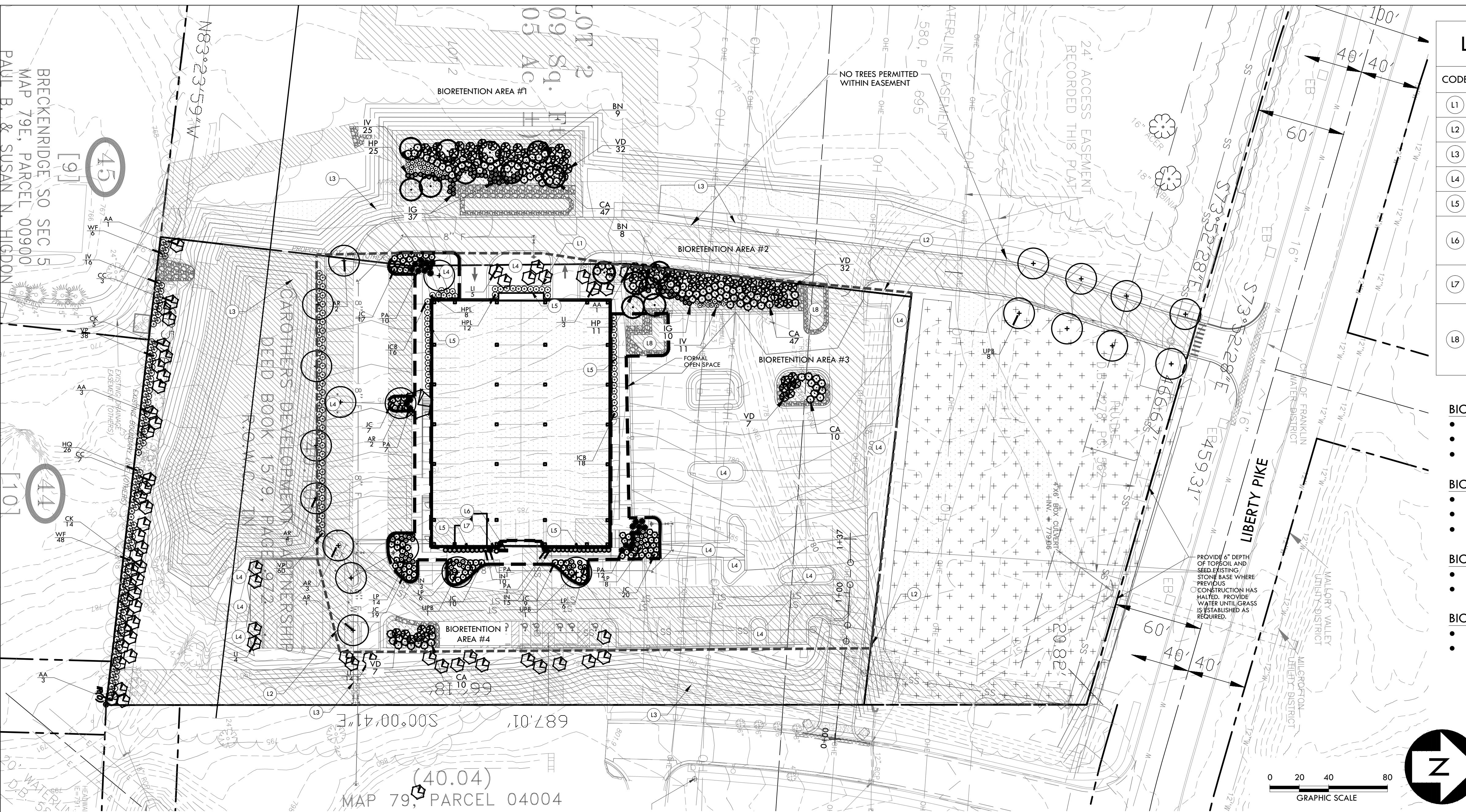
DATES OF ISSUANCE

SHEET TITLE

DETAILS

C8.5





LANDSCAPE PLAN KEYNOTES		
CODE	DESCRIPTION	DETAIL LOCATION
L1	PLANTING BED LIMITS	L2.0 - 2
L2	IRRIGATION LIMITS	L2.0 - NOTES
L3	AREA TO BE SEEDDED LAWN	SPECS
L4	AREA TO BE SODDED LAWN	SPECS
L5	RIVER STONE MULCH	L2.0 - 3
L6	BENCH	SEE PRODUCT LISTING/THIS SHEET
L7	TRASH RECEPTACLE	SEE PRODUCT LISTING/THIS SHEET
L8	BIORETENTION AREA TO BE WETLAND SEED MIX WITH STRAW MAT. STRAW MAT TO BE SECURED WITH GROUND STAPLES	SEE BIORETENTION DETAILS THIS SHEET: C.6.0 - 4: SEE SPECS

BIORETENTION AREA #1 LEVEL 2
 • 3,416 S.F. - 75% SHRUB COVERAGE
 • SHRUBS - 3 GAL
 • TREES 2" CAL. 1/400 S.F. = 9

BIORETENTION AREA #2 LEVEL 2
 • 2,977 S.F. 75% SHRUB COVERAGE
 • SHRUBS - 3 GAL
 • TREES 2" CAL. 1/400 S.F. = 8

BIORETENTION AREA #3 LEVEL 1
 • 533 S.F. - 75% SHRUB COVERAGE
 • SHRUBS - 3 GAL

BIORETENTION AREA #4 LEVEL 1
 • 424 S.F. - 75% SHRUB COVERAGE
 • SHRUBS - 3 GAL

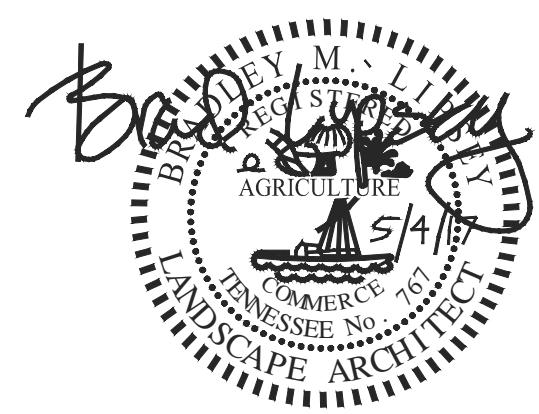
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1720 WEST END AVE - SUITE 300
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Plan, Revision 1
(Prime Health)
C.O.F. # 6323

CONSTRUCTION
DOCUMENTS



05/04/17

DATES OF ISSUANCE
05/04/17

LANDSCAPE
PLAN

L1.0

MINIMUM BUFFERING/SCREENING REQUIREMENTS
 HVAC UNITS, COOLING AND/OR MECHANICAL EQUIPMENT ARE MOUNTED ON THE:
 ROOFTOP
 GROUND
 NOT APPLICABLE

LANDSCAPE IMPROVEMENTS:
 BUFFER/SCREEN TYPE
 FOUNDATION PLANTING
 PERIMETER PLANTING STRIPE
 INTERIOR VUA PLANTING
 VUA MODULES
 VUA SCREEN
 DUMPTER SCREEN
 SCREEN FROM NEW VUA
 INCOMPATIBLE USE BUFFER
 BUFFER THE STREET FROM RESIDENTIAL PROPERTY
 40-FOOT FRONT YARD BUFFER
 BUFFER THE ADJACENT HATCHER BYPASS
 STREET TREES
 OTHER: _____

ATTENTION OWNER/INSTALLER:
 THIS LANDSCAPE PLAN HAS BEEN DESIGNED TO MEET THE MINIMUM REQUIREMENTS OF THE CITY OF FRANKLIN ZONING COMMISSION, APPROVAL OF THE CITY OF FRANKLIN PLANNING AND ZONING DEPARTMENT POLICY. RELOCATING, SUBSTITUTING, RESIZING, REDUCING, OR DELETING MATERIAL MAY CAUSE THE SITE TO NO LONGER CONFORM TO THE REQUIREMENTS; THUS PROBLEMS MAY ARISE WITH RELEASES THE PERFORMANCE /MAINTENANCE SURETY FOR THE LANDSCAPE MATERIAL DEVIATION FROM THE APPROVED LANDSCAPE PLAN SHALL NOT BE MADE WITHOUT FIRST CONSULTING THE LANDSCAPE ARCHITECT AND THE CITY OF FRANKLIN PLANNING AND ZONING DEPARTMENT. THE LANDSCAPE ARCHITECT SHALL REVIEW PROPOSED SUBSTITUTIONS TO ENSURE THAT ALL CITY STANDARDS AND REQUIREMENTS ARE MET. THE CITY SHALL BE NOTIFIED IN WRITING UPON FINAL APPROVAL OF ANY PLANT SUBSTITUTIONS. OWNER:
 LANDSCAPE ARCHITECT: BRAD LIPSEY, CRUNK ENGINEERING (615) 873-1795
 FRANKLIN PLANNING DEPARTMENT: (615) 791-3212 PHONE

PRODUCT LISTING FOR EXTERIOR SITE FURNISHINGS

TRASH RECEPTACLE:
 'DISPATCH' BY FORMS + SURFACES. SINGLE STREAM,
 36 GALLON, FINISH: SLATE GLOSS;

ALUMINUM SIDE PANEL; MOUNTING: SURFACE MOUNTED.
 BENCH TYPE 'A' - 'CAMBER' BY FORMS + SURFACES. SLATTING: ALUMINUM,
 FINISH: POWDERCOAT 'SLATE GLOSS'; MOUNTING: SURFACE MOUNTED.
 FORMS+SURFACES, PH. 800.451.0410, WEB: WWW.FORMS-SURFACES.COM.

LANDSCAPE REQUIREMENTS: (ACI)			
	QUANTITY PROVIDED	INCHES PROVIDED	
LSR 0.46 PROVIDED (MIN.0.31)			
LSA = 1.63 Ac.			
(0.00 AC. IN BUFFER AREAS + 1.22 AC. DEVELOPMENT/OPEN SPACE)			
EXISTING TREES 14": 6 . . . 84			
EXISTING TREES 24": 2 . . . 48			
EXISTING TREES 30": 3 . . . 90			
EXISTING TREES 36": 2 . . . 72			
2" CALIPER CANOPY TREES: 294			
AGGREGATE CANOPY CALIPER INCHES PROVIDED: 294			
AGGREGATE CANOPY CALIPER INCHES REQUIRED: 234			
2" CALIPER UNDERSTORY TREES: 0			
1" CALIPER UNDERSTORY TREES: 0			
AGGREGATE UNDERSTORY CALIPER INCHES PROVIDED: 0			
AGGREGATE UNDERSTORY CALIPER INCHES REQUIRED: 59			
MIN. 18" HEIGHT SHRUBS: XXX			
MIN. 30" HEIGHT SHRUBS: XXX			
TOTAL SHRUBS PROVIDED: 290			
TOTAL SHRUBS REQUIRED: 270			

NOTE: EXIST. TREES OVER 14" IN PRESERVATION ZONE CREDITED AT 1.25 TIMES CALIPER SIZE.

NOTE: REFER TO TREE INVENTORY - L1.0

SPECIMEN TREE REPLACEMENT		QUANTITY PROVIDED	CALIPER INCH CONVERSION
5" + CALIPER CANOPY TREES: X	X		
4" CALIPER CANOPY TREES: X	X		
3" CALIPER CANOPY TREES: X	X		
2.5" CALIPER CANOPY TREES: X	X		
2" CALIPER CANOPY TREES: X	X		
2" CALIPER UNDERSTORY TREES: X	X		
TOTAL CALIPER INCHES OF REPLACEMENT TREES PROVIDED: 0			
DBH INCHES OF SPECIMEN TREE REPLACEMENT REQUIRED: 0			
REPLACEMENT CALIPER INCH SURPLUS/SHORTAGE: X			

MINIMUM OPEN SPACE REQUIREMENTS

MINIMUM OPEN SPACE REQUIREMENT: 5% OF GROSS DEVELOPABLE AREA (100% FORMAL OPEN SPACE)
 GROSS DEVELOPABLE AREA = EFFECTIVE DEVELOPABLE SITE AREA (2.9 AC)
 FORMAL OPEN SPACE REQUIRED (5% OF 2.9): 0.15 AC (6,534 S.F.)
 INFORMAL OPEN SPACE: N/A (NOT REQUIRED)

OPEN SPACE PROVIDED:	CLASSIFICATION	TYPE	SQ. FT OF OPEN SPACE	AC. OF OPEN SPACE	PAVED AREA	PERCENT PAVED
KEY AREA A	FORMAL	PLAZA	9,000 S.F.	0.20 Ac.	4,496 S.F.	50 %
TOTAL	9,000 S.F.		0.20 Ac.	4,496 S.F.		50 %

BIORETENTION DETAILS / PLANT LIST

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	SPREAD	REMARKS
BN	17		Betula nigra 'Heritage'	Heritage River Birch	B & B	2"	10-12'	5-6'	Multi stem - 1 STEM MIN 2" CAL.
CA	114		Callicarpa americana	American Beautyberry	#7 Cont.	24-27"	18-21"	60" o.c.	
HP	36		Hypericum prolificum	Shrubby St. John's Wort	#3 Cont.	24"		36" o.c.	
IG	35		Ilex glabra 'Compacta'	Compact Inkberry	#3 Cont.	18-21"	18-21"	36" o.c.	
IV	28		Ilex verticillata	Winterberry Holly	#7 Cont.	36"		36" o.c.	
VD	78		Viburnum dentatum	Arrowwood Viburnum	B & B	36-42"	27-30"	72" o.c.	

Retention Basin Floor Seed Mix

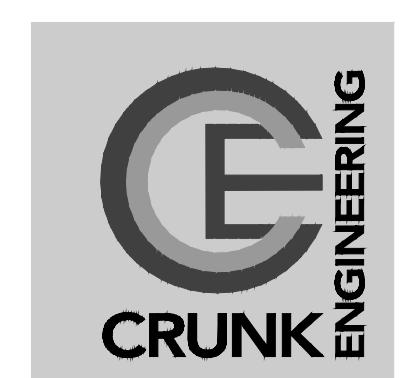
25% : 1.5 lb - Redtop Panicgrass, PA Ecotype (*Panicum rigidulum* (*P. stipitatum*))
 16% : 0.9 lb - Virginia Wildrye, PA Ecotype (*Elymus virginicus*)
 16% : 0.9 lb - Ticklegrass (Rough Bentgrass), (*Agrisstis scabra*)
 16% : 0.9 lb - Swamp Milkweed (*Asclepias incarnata*)
 9% : 0.5 lb - Butterfly Milkweed (*Asclepias tuberosa*)
 5% : 0.3 lb - Wild Bergamot, (*Monarda fistulosa*)
 5% : 0.3 lb - Purple Bergamot, (*Monarda media*)
 5% : 0.3 lb - Soft Rush (*Juncus effusus*)
 2% : 0.1 lb - Autumn Bentgrass, (*Agrisstis perennans*)
 1% : 0.1 lb - Path Rush (*Juncus tenuis*)

Total: 100%
 APPLICATION RATE: 1 lb per 1,000 sq ft
 SEED SHOULD BE LOCALLY SOURCED

BIORETENTION SOIL TO BE APPLIED AT A DEPTH OF 36" BELOW
 FINISH GRADE. SEE C.6.0 FOR GRADING IN THIS AREA.

BIORETENTION SOIL TO CONSIST OF THE FOLLOWING.

MAX 60% SAND
 LESS THAN 40% SILT
 5% - 10% ORGANIC MATTER
 LESS THAN 20% CLAY

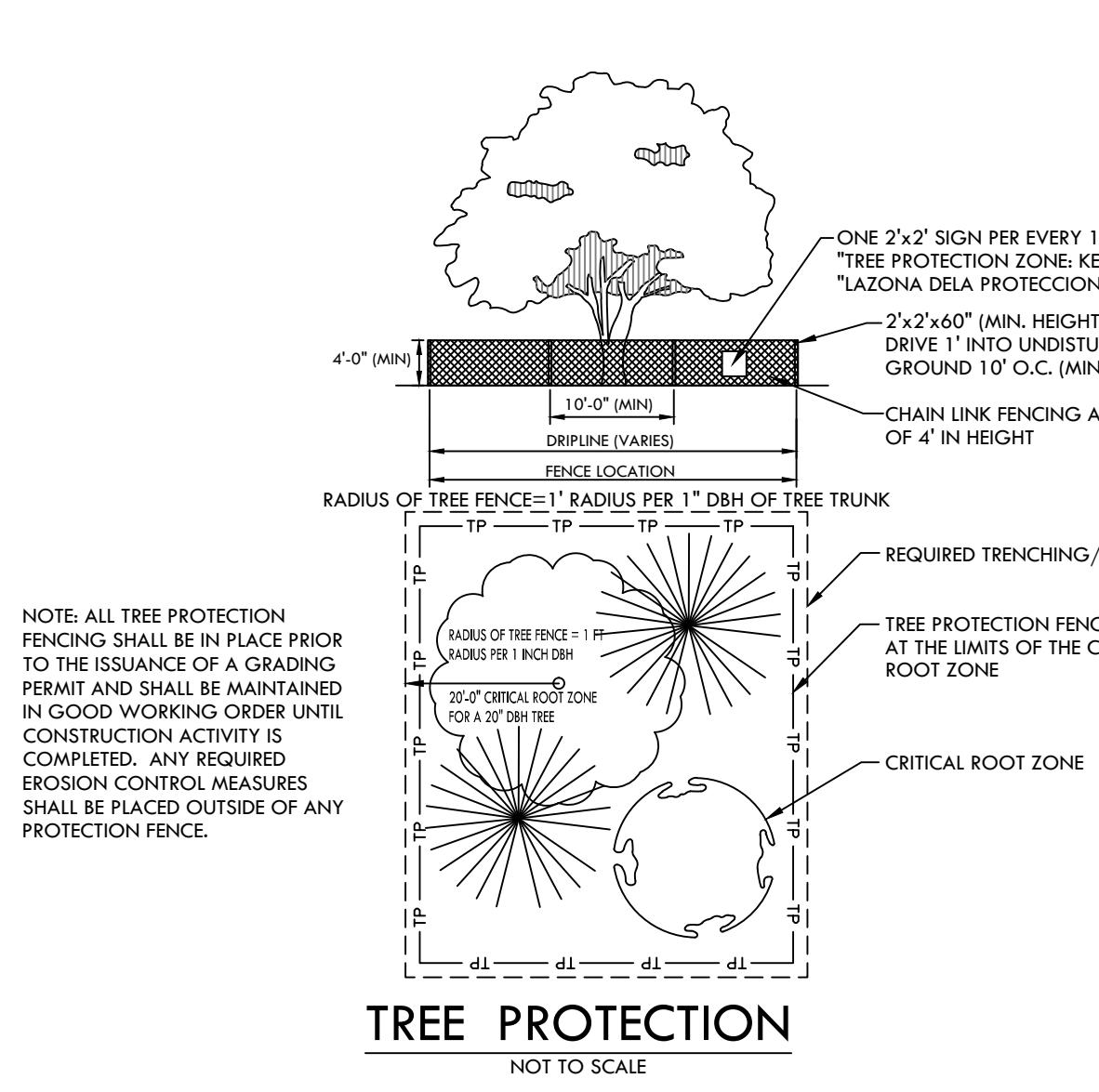


CRUNK ENGINEERING LLC
 1894 GENERAL GEORGE PATTON DR.
 SUITE 600
 FRANKLIN, TN 37067
 (615) 873-1795
 WWW.CRUNKENG.COM

DATES OF ISSUANCE
05/04/17

TITLE
LANDSCAPE
PLAN

SHEET
L1.0



TREE CANOPY RETENTION STANDARDS

LOT 3 (PROPOSED SITE)

SITE ACREAGE 3.53 Ac.

EXISTING TREE CANOPY COVER 2.48 Ac. (70.3%)

MINIMUM REQUIRED TREE CANOPY RETENTION BY ZONING DISTRICT (GO) 0.446 Ac. (18%)

TREE CANOPY RETENTION PROVIDED 0.241 Ac. (9.7%)

TREE CANOPY AREA TO BE REMOVED SQUARE FEET 97,417 (2.24 ACRES)

TOTAL 97,417 (2.24 ACRES)

TREE CANOPY AREA TO REMAIN SQUARE FEET 10,510 (0.241 ACRES)

TOTAL 10,510 (0.241 ACRES)

LOT 2 (REMAINING SITE)

SITE ACREAGE 10.18 Ac.

EXISTING TREE CANOPY COVER 8.26 Ac. (81.1%)

MINIMUM REQUIRED TREE CANOPY RETENTION BY ZONING DISTRICT (GO) 1.49 Ac. (18%)

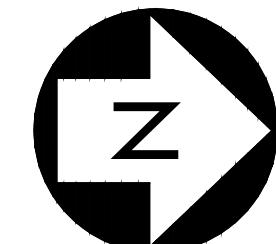
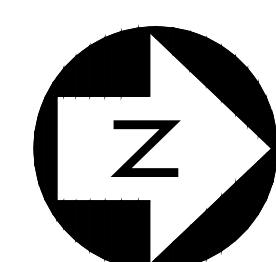
TREE CANOPY RETENTION PROVIDED 6.45 Ac. (78%)

TREE CANOPY AREA TO BE REMOVED SQUARE FEET 44,178 (1.07 ACRES)

TOTAL 44,178 (1.07 ACRES)

TREE CANOPY AREA TO REMAIN SQUARE FEET 285,711 (6.56 ACRES)

TOTAL 285,711 (6.56 ACRES)



LANDSCAPE DATA

SITE ACREAGE 3.53 Ac. 2.4 Ac. GENERAL OFFICE (GO) MECO-4

EFFECTIVE DEVELOPABLE SITE AREA: SITE ZONING CLASSIFICATION: APPLICABLE OVERLAY:

DEVELOPMENT STANDARD: MIN. REQUIRED LANDSCAPE SURFACE AREA: RATIO:

ACREAGE PROVIDED LANDSCAPE SURFACE AREA: RATIO:

ACREAGE ORIGINAL TREE CANOPY COVER: PERCENT:

ACREAGE TREE CANOPY REQUIRED: PERCENT:

ACREAGE PRESERVED TREE CANOPY COVER PROVIDED: PERCENT:

ACREAGE SPECIMEN TREES REMOVED (HEALTHY TREES) TOTAL DBH 0"

CONVENTIONAL



CRUNK ENGINEERING LLC

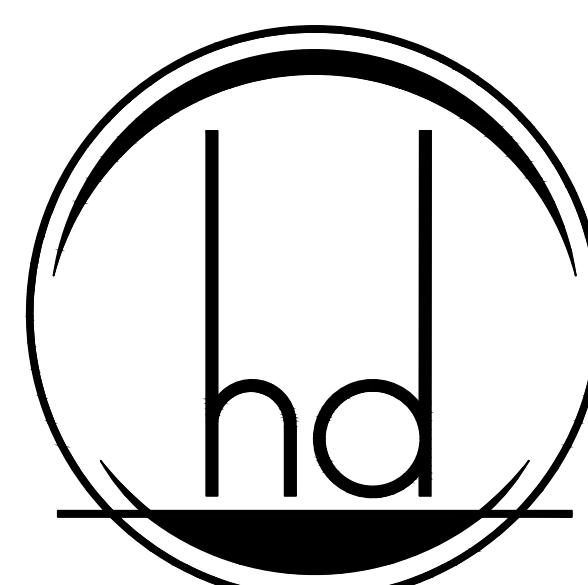
1894 GENERAL GEORGE PATTON DR.
SUITE 600
FRANKLIN, TN 37067
(615) 873-1795

WWW.CRUNKENG.COM

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DATES OF ISSUANCE

TREE CANOPY
PRESERVATION/
REMOVAL PLAN

L3.0



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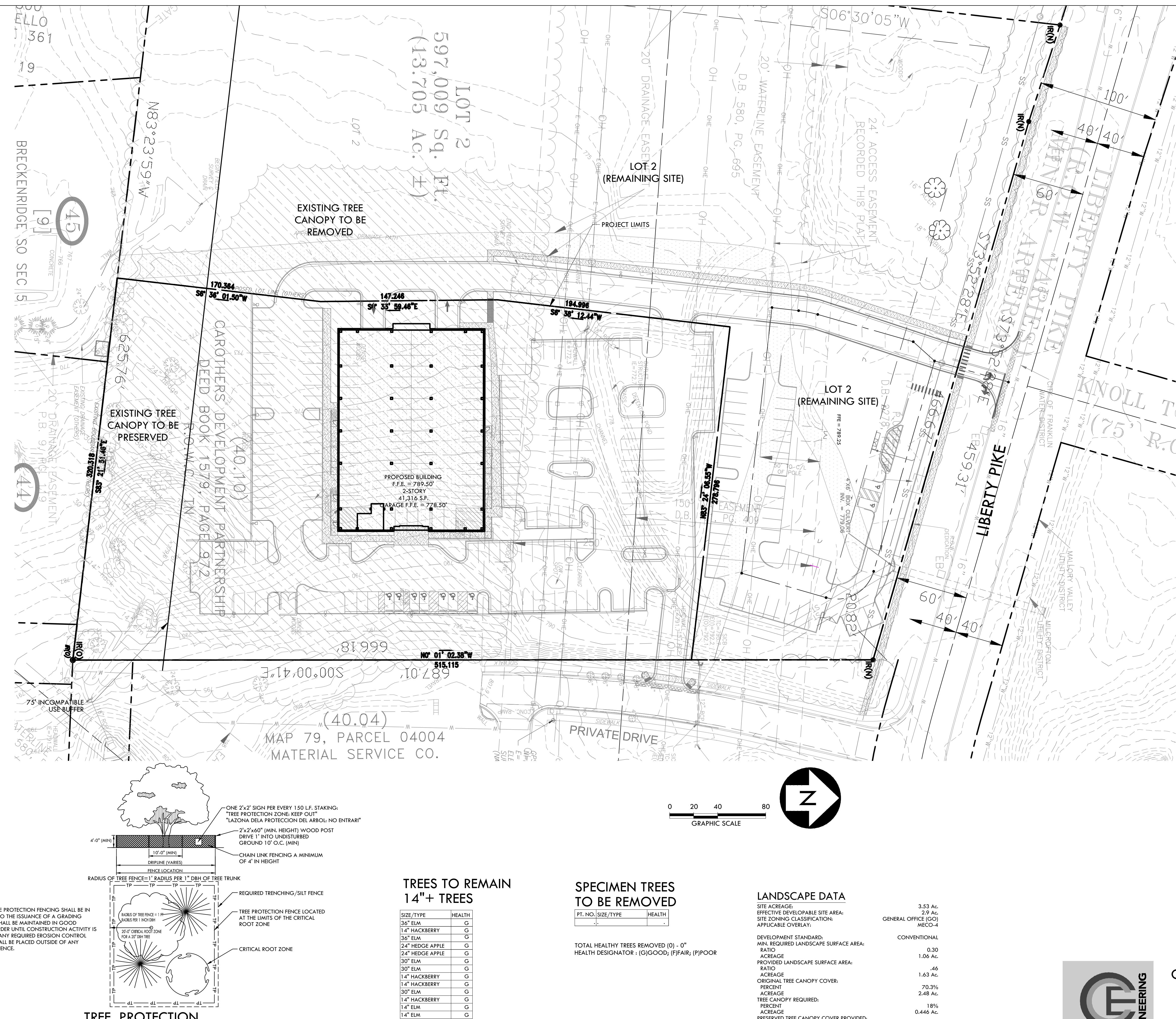
CLIENT LOCATION
1217 Liberty Pike
Franklin TN 37067

Prime Health Services

Carothers
Development
Subdivision, Site
Plan, Revision 1
(Prime Health)
C.O.F. # 6323

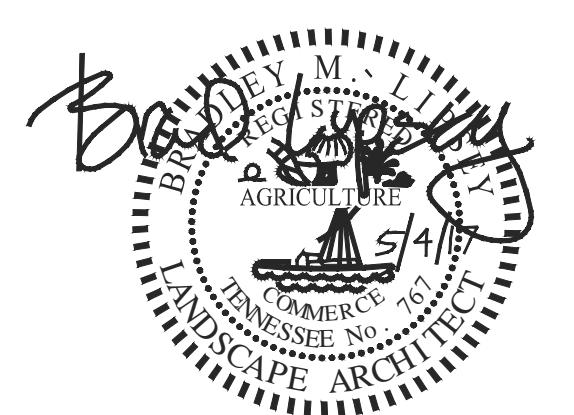
CONSTRUCTION
DOCUMENTS





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C.O.F. # 6323

CONSTRUCTION
DOCUMENTS



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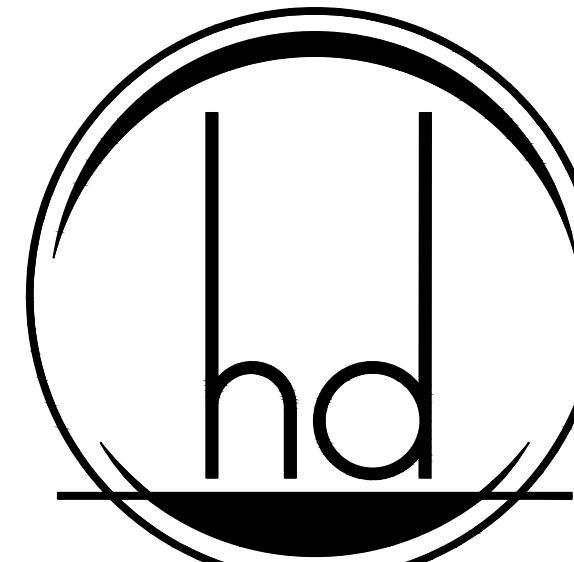
DATE OF ISSUANCE

SPECIMEN TREE
PRESERVATION/
REMOVAL PLAN

L3.1

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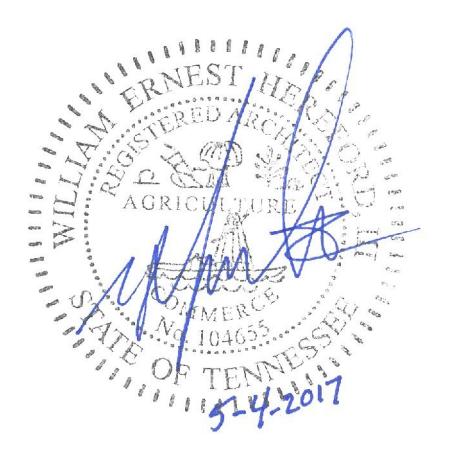
PROJECT
216042.00

LOCATION
7110 Crossroads Blvd, Suite 100,
Brentwood TN 37027

CLIENT
Prime Health Services

PRIME HEALTH
OFFICE BUILDING

NOT FOR
CONSTRUCTION



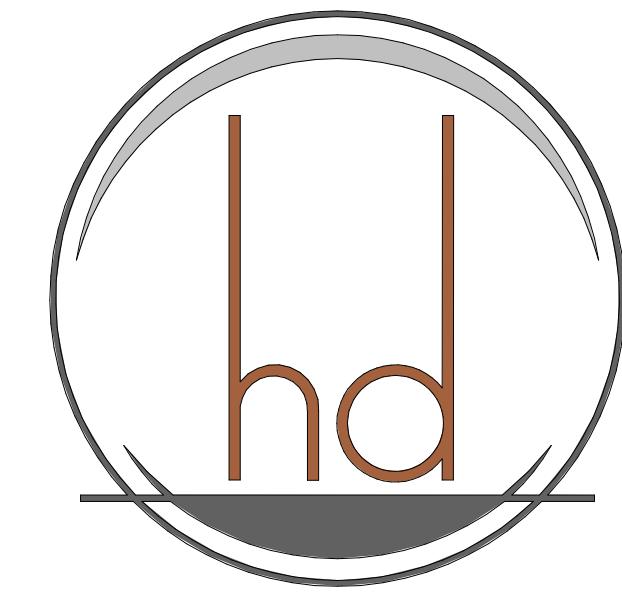
William E. Hereford III

05/04/2017

DATES OF ISSUANCE
△

TITLE
EXTERIOR
ELEVATIONS

SHEET
A200



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NASHVILLE • TENNESSEE • 37203
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05/04/2017

PROJECT 216042.00

LOCATION 7110 Crossroads Blvd, Suite 100,
Brentwood TN 37027

CLIENT Prime Health Services

PRIME HEALTH
OFFICE BUILDING

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CONSTRUCTION



William E. Hereford III

05/04/2017

DATES OF ISSUANCE

EXTERIOR
ELEVATIONS

SHEET A201