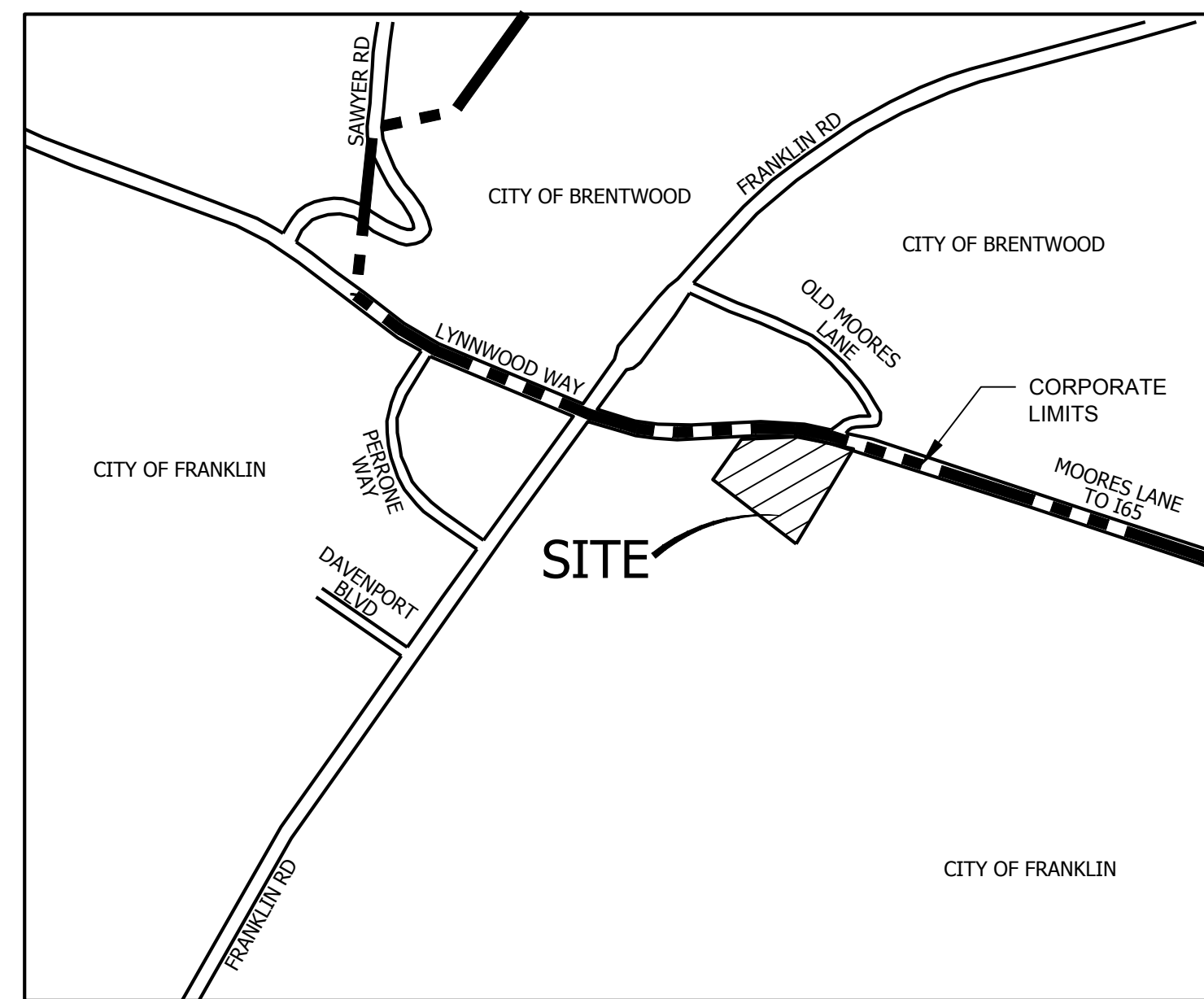


# 7007 MOORES LANE PUD LOT 1 - IMAC REGENERATIVE CENTER SITE PLAN

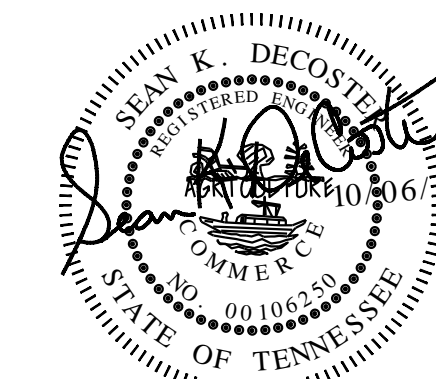
7007 MOORES LANE  
CITY OF FRANKLIN, WILLIAMSON COUNTY, TENNESSEE  
MAP 036, PARCEL 55.02

## SHEET INDEX

C0.01	COVER
C0.02	CIVIL NOTES
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C2.00	EXISTING CONDITIONS PLAN
C2.01	SITE LAYOUT AND UTILITY PLAN
C2.01	SITE LAYOUT AND UTILITY DETAILS
C3.00	GRADING AND DRAINAGE PLAN
C3.01	SWPPP STAGE 1 PLAN
C3.02	SWPPP STAGE 2 PLAN
C3.03	GRADING, DRAINAGE & SWPPP DETAILS
L1.0	TREE PRESERVATION PLAN
L2.0	LANDSCAPE PLAN
L2.1	LANDSCAPE PLAN
A.01	MISCELLANEOUS DETAILS
A1.0	NORTH AND EAST ELEVATIONS
A2.0	SOUTH AND WEST ELEVATIONS
A3.0	3D ELEVATIONS
SP1.0	SITE PHOTOMETRIC PLAN



VICINITY MAP N.T.S.



## OWNER / DEVELOPER

ELM HILL DEVELOPMENT CORP.  
403 GRANNY WHITE PIKE  
BRENTWOOD, TN 37027  
CONTACT: LARRY BEADLE  
PH: (615) 948-7644  
E-MAIL: larry.beadle@colliers.com

## ENGINEER

CIVIL SITE DESIGN GROUP  
630 SOUTHGATE AVE, SUITE A  
NASHVILLE, TN 37203  
CONTACT: SEAN DECOSTER  
PH: (615) 248-9999  
E-MAIL: seand@civil-site.com

## SURVEYOR

CRAWFORD & CUMMINGS, PC  
1929 21ST AVENUE SOUTH  
NASHVILLE, TN 37212  
CONTACT: J. ALAN CUMMINGS  
PH: (615) 292-2661  
E-MAIL: alan@ccsurveyors.net

## LANDSCAPE ARCHITECT

GAMBLE DESIGN COLLABORATIVE  
144 SOUTHEAST PARKWAY, SUITE 200  
FRANKLIN, TN 37064  
CONTACT: KELI FRYMIRE  
PH: (615) 415-6855  
E-MAIL: kelireneefry@gmail.com

## ARCHITECT

H. MICHAEL HINDMAN ARCHITECTS, PC  
1607 WESTGATE CIRCLE, #100  
BRENTWOOD, TN 37027  
CONTACT: CHRIS ALEXANDER  
PH: (615) 370-3252  
E-MAIL: calexander@hnmharchitects.com

### Site Data:

Project Name: IMAC Regenerative Center  
Address: 7007 Moors Lane  
Franklin, TN  
Civil District: 8th  
Map, Parcels, Group: 36, 55.02  
Owner/Developer: Elm Hill Development Corp.  
403 Granny White Pike  
Brentwood, TN 37027  
Contact: Larry Beadle  
Phone: (615)948-7644  
Site Area: ±48,957 sf / ±1.12 ac  
Disturbed Area: ±1.01 ac  
Existing Zoning: SD-X 5.25/11,000  
Proposed Zoning: SD-X 5.25/11,000  
Character Area Overlay: Berry's Chapel (BCCO-4)  
Building Use: Medical Office (Commercial)  
Other Overlays: HHO & 500ft Buffer of HHO  
Incompatible Buffer: Type 'B' Buffer Adjacent to City  
of Franklin Park, Dry Branch Wetland  
Development Standard: Conventional  
Drainage Basin: Dry Branch Creek  
Existing Structures: None  
Building setbacks: 50' Front  
25' Side  
40' Rear  
Prop. Building Area: 11,000 sf  
Proposed Building Height: 37', 2 stories  
Min. Landscape Surface Ratio: 0.20  
Proposed LSR: 0.34  
Required Loading Spaces: 1  
Proposed Loading Spaces: 1  
Bike Parking Required: 3  
Bike Parking Provided: 3  
Parking: See parking chart

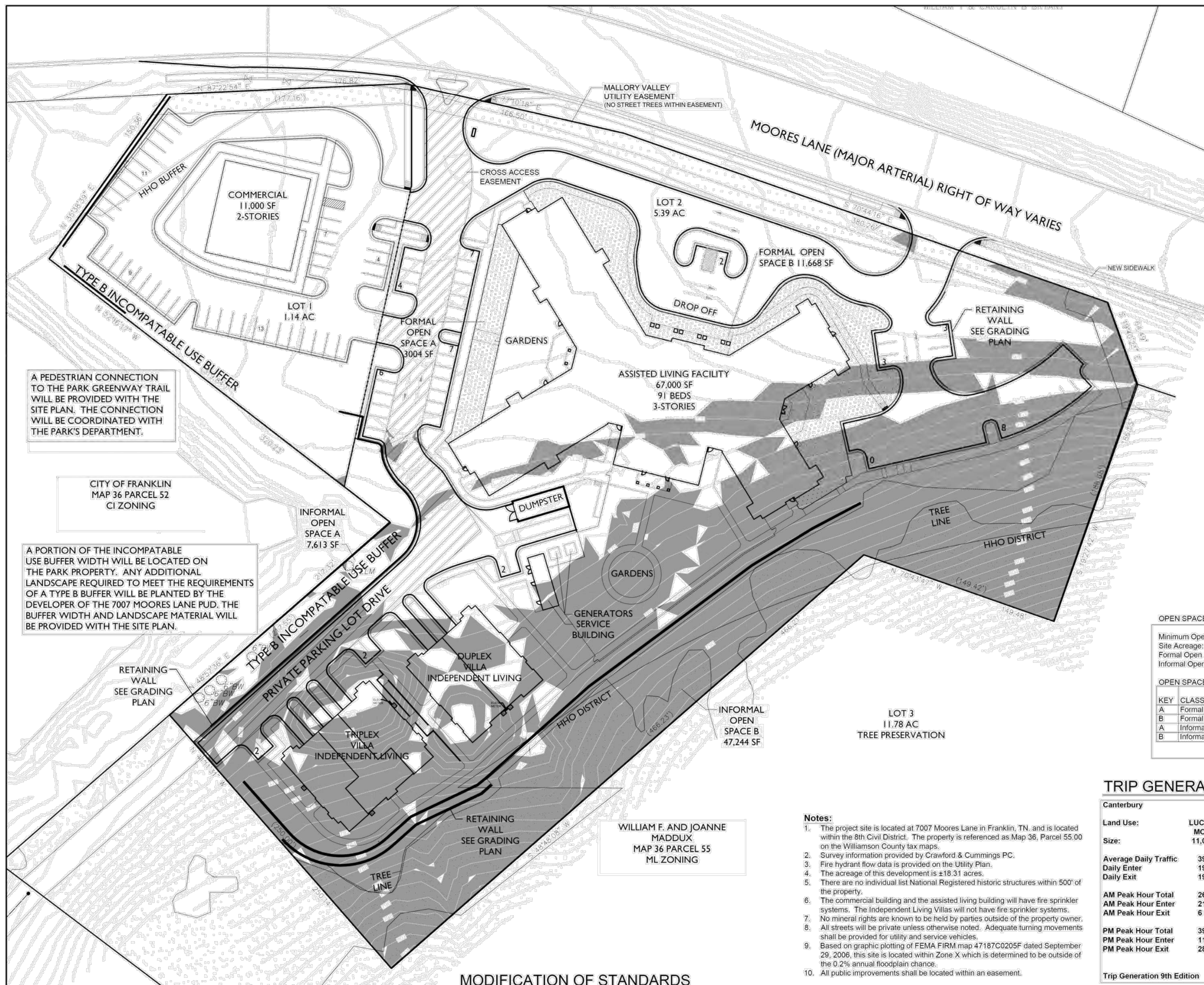
**CIVIL SITE**  
DESIGN GROUP  
ENGINEERS • PLANNERS • LANDSCAPE ARCHITECTS  
630 SOUTHGATE AVENUE, SUITE A - NASHVILLE, TN 37203  
615.248.9999 www.civil-site.com



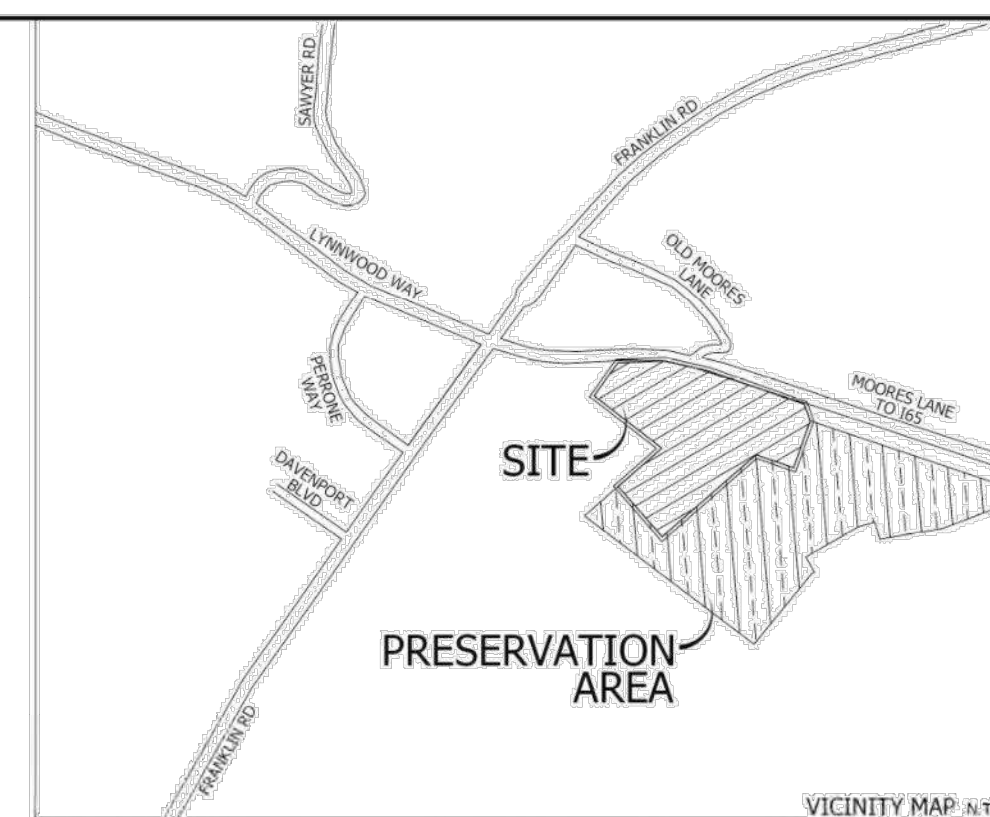
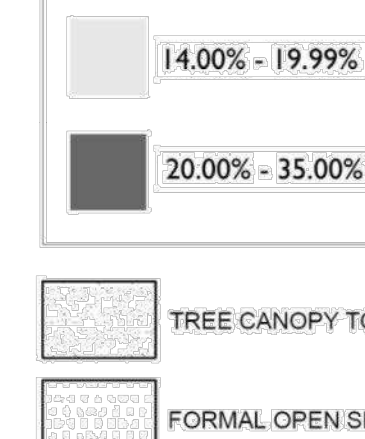
DRWN BY:	CHKD BY:	DATE	COMMENTS	REV.
LEB	SKD	08/22/16	PRE-APP SUBMITTAL	
LEB	SKD	09/12/16	SITE PLAN SUBMITTAL	
LEB	SKD	10/06/16	CITY COMMENTS	



Oct 05, 2016 - 9:00am T:\cadd\2016\16-036-02\CADD\CivilSite\Plan\16-036-02\_c002 Approved Development Plan.dwg



Slopes:



Site Data:

Project Name: Canterfield at Franklin  
Address: 7007 Moores Lane, Franklin, TN  
City District: 8th  
Map, Parcels: M 36, P 55.00  
Owner: William F. and Joanne Maddux  
Developer: Medical Development Corp.  
Site Area: Lot 1 ± 45,269 sf / ± 1.14 ac  
Disturbed Area: Lot 2 ± 239,019 sf / ± 5.39 ac  
Existing Zoning: Local Mixed Use District (ML)  
Proposed Zoning: Character Area Overlay: Berry's Chapel (BCCO-4)

OPEN SPACE REQUIREMENT CHART

Minimum Open Space Requirement: 15% Required  
Site Area: 6.53 AC Open Space Area Required: 0.98 AC  
Formal Open Space Required: 14,222.34 (0.33 AC)  
Informal Open Space Required: 28,444.68 (0.65 AC)

Table with columns: KEY CLASSIFICATION, TYPE, AREA OF OPEN SPACE. Rows include Formal Linear Park (3,004 SF), Formal Linear Park (11,668 SF), Informal Buffer (7,613 SF), and Informal Tree Preservation Area (47,244 SF).

TRIP GENERATION DATA

Table for Canterbury trip generation. Columns: Land Use, LUC 720, LUC 254, LUC 251, TOTAL. Rows include Average Daily Traffic, Daily Enter/Exit, AM/PM Peak Hour Total/Enter/Exit.

Notes:

- 1. The project site is located at 7007 Moores Lane in Franklin, TN, and is located within the 8th Civil District. The property is referenced as Map 36, Parcel 55.00 on the Williamson County tax maps.
- 2. Survey information provided by Crawford & Cummings PC.
- 3. Fire hydrant flow data is provided on the Utility Plan.
- 4. The acreage of this development is ±18.31 acres.
- 5. There are no individual listed National Registered historic structures within 500' of the property.

Statement of Impacts:

- 1. Water - The property is within the Mallory Valley Utility District for domestic water. This project will have a domestic water demand of approximately 7,210 gallons per day.
- 2. Sewer - The property is within the City of Franklin service district for sanitary sewer service. Proposed sewer main will connect to the proposed gravity sewer line at the south east corner of the site.
- 3. Reclaimed Water - Re-purified water from the City of Franklin is not available to this project.
- 4. Street Network - The Major Thoroughfare Plan indicates the future improvement of Franklin Road from Mack Hatcher Parkway to Moores Lane. The identified improvements would widen the road from 2 lanes to 4 lanes. There are no other improvements near the Site.

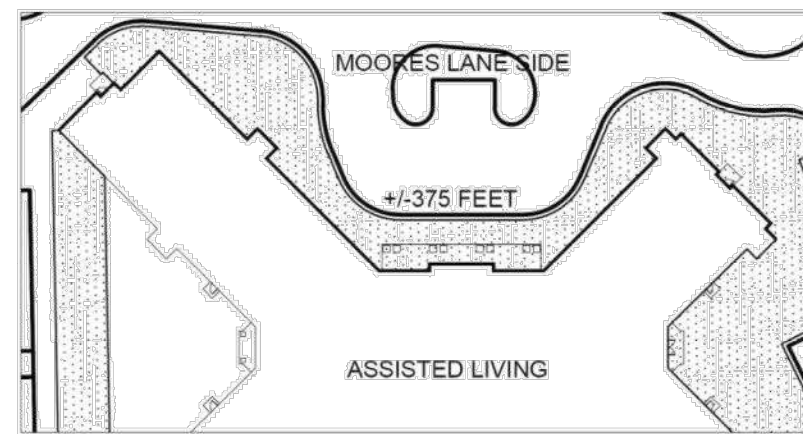
A PEDESTRIAN CONNECTION TO THE PARK GREENWAY TRAIL WILL BE PROVIDED WITH THE SITE PLAN. THE CONNECTION WILL BE COORDINATED WITH THE PARK'S DEPARTMENT.

CITY OF FRANKLIN MAP 36 PARCEL 52 CI ZONING

A PORTION OF THE INCOMPATIBLE USE BUFFER WIDTH WILL BE LOCATED ON THE PARK PROPERTY. ANY ADDITIONAL LANDSCAPE REQUIRED TO MEET THE REQUIREMENTS OF A TYPE B BUFFER WILL BE PLANTED BY THE DEVELOPER OF THE 7007 MOORES LANE PUD. THE BUFFER WIDTH AND LANDSCAPE MATERIAL WILL BE PROVIDED WITH THE SITE PLAN.

MODIFICATION OF STANDARDS

- 1. MOS1: (APPROVED IN ORIGINAL PUD 2007) ESTABLISH MINIMUM PARKING STANDARD FOR ASSISTED LIVING FACILITY AT 0.5 SPACES PER BEDROOM.
- 2. MOS2: SECTION 5.3.5 (3) (B) REQUEST TO INCREASE THE MAXIMUM BUILDING LENGTH OF ANY ATTACHED RESIDENTIAL BUILDING FROM 200 FEET TO A LENGTH OF 375 FEET. IS DISTANCE IS THE PERIMETER OF THE BUILDING VISIBLE FROM MOORES LANE AS MEASURED BELOW.



- 3. MOS 3. SECTION 5.3.5 (1) (e) (i) REQUEST TO REDUCE THE MINIMUM FINISHED FLOOR ELEVATION OF THE FRONT FACADE ABOVE THE GRADE FROM 18" TO 8" FOR THE INDEPENDENT LIVING VILLAS TO ACCOMMODATE ADA ACCESSIBILITY TO EACH UNIT.

LAND USE PLAN COMPLIANCE:

CHARACTER AREA OVERLAY: BCCO 4  
APPLICABLE DEVELOPMENT STANDARD CONVENTIONAL/TRADITIONAL

7007 MOORES LANE PUD WAS APPROVED IN AUGUST 2007. A PORTION OF THE PROPERTY IS WITHIN THE HHO AND THE ENTIRE PROPERTY IS WITHIN THE HHO BUFFER.

- 1. THIS SPECIAL AREA IS DESIGNATED AS MIXED USE CENTER INCLUDING COMMERCIAL, ATTACHED RESIDENTIAL, AND INSTITUTIONAL USES. THE PROPOSED USES WITHIN THE PUD ARE CONSISTENT WITH CHARACTER OF THIS SPECIAL AREA.
- 2. ENVIRONMENTAL FEATURES WITHIN THIS SPECIAL AREA ARE TO BE PROTECTED. THIS PROPERTY HAS A PRESERVATION AREA DESIGNATED FOR THE HILLSIDE OF APPROXIMATELY 12 ACRES TO BE PLACED IN CONSERVATION.

LOCAL COMPATIBILITY

THE DESIGN CHARACTER OF THIS PUD FOLLOWS THE STANDARDS FOR THE MIXED USE DESIGN CONCEPT AS REQUIRED IN THE CITY OF FRANKLIN LAND USE PLAN. THE COMMERCIAL AND INSTITUTIONAL USES PROPOSED COMPLEMENT THE OTHER THREE CORNERS OF MOORES LANE AND FRANKLIN ROAD WHERE COMMERCIAL USES ARE ALREADY ESTABLISHED.

CIVIL SITE DESIGN GROUP



DEVELOPMENT PLAN  
7007 MOORES LANE  
CANTERFIELD AT FRANKLIN  
FRANKLIN, WILLIAMSON COUNTY, TENNESSEE  
MAP 036, PARCEL 055.00

Table with columns: REV, COMMENTS, DATE. Includes rows for ORIGINAL SUBMITTAL, REVISED PER COF COMMENTS, and REVISED PER COF COMMENTS.

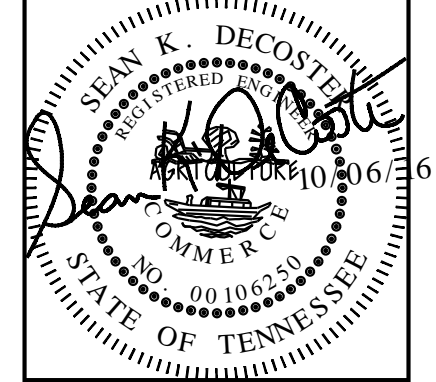
MAP 036 PARCEL 055.00

PROJECT BENCHMARK:  
DESCRIPTION: NE PROPERTY CORNER - CONCRETE MONUMENT  
ELEVATION: 837.93'

C2.00

JOB NO.: 13-134-01  
COF Proj. #4518

CIVIL SITE DESIGN GROUP  
ENGINEERS • PLANNERS • LANDSCAPE ARCHITECTS  
919 SOUTH GULF AVENUE SUITE 11111  
MEMPHIS, TN 38117



APPROVED DEVELOPMENT PLAN  
SITE PLAN  
7007 MOORES LANE PUD  
LOT 1 - IMAC REGENERATIVE CENTER  
FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

Table with columns: REV, COMMENTS, DATE. Includes rows for PRE-APP SUBMITTAL, SITE PLAN SUBMITTAL, and CITY COMMENTS.

Table with columns: DRWN, DATE, CHKD, DATE. Includes rows for DRW, CHK, and DATE.

C0.02

JOB NO.: 16-036-02  
COF # 6253

**Site Data:**

Project Name: IMAC Regenerative Center  
 Address: 7007 Moores Lane  
 Franklin, TN  
 8th  
 36, 55.02  
 Map, Parcels, Group:  
 Owner/Developer: Elm Hill Development Corp.  
 403 Granny White Pike  
 Brentwood, TN 37027  
 Contact: Larry Beadle  
 Phone: (615)948-7644  
 ±48,957 sf / ±1.12 ac

Site Area:  
 Disturbed Area: ±1.01 ac  
 Existing Zoning: SD-X 5.25/11,000  
 Proposed Zoning: SD-X 5.25/11,000  
 Character Area Overlay: Berry's Chapel (BCCO-4)  
 Building Use: Medical Office (Commercial)  
 Other Overlays: HHO & 500ft Buffer of HHO  
 Incompatible Buffer: Type 'B' Buffer Adjacent to City of Franklin Park, Dry Branch Wetland

Development Standard: Conventional  
 Drainage Basin: Dry Branch Creek  
 Existing Structures: None  
 Building setbacks:  
 50' Front  
 25' Side  
 40' Rear

Prop. Building Area: 11,000 sf  
 Proposed Building Height: 37', 2 stories  
 Min. Landscape Surface Ratio: 0.20  
 Proposed LSR: 0.34  
 Required Loading Spaces: 1  
 Proposed Loading Spaces: 1  
 Bike Parking Required: 3  
 Bike Parking Provided: 3  
 Parking: See parking chart

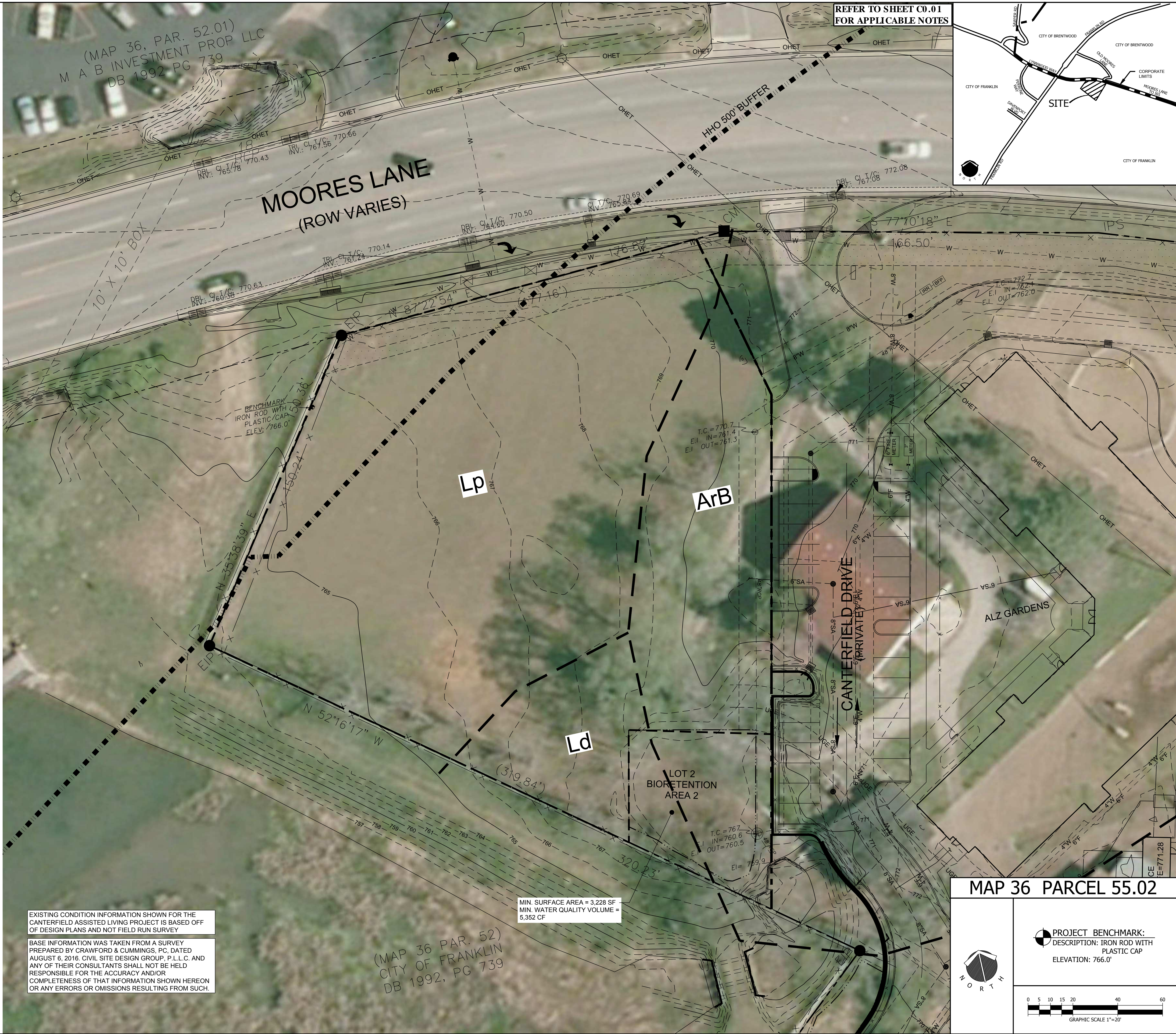
**EXISTING CONDITIONS**

**DRAINAGE BASIN A**

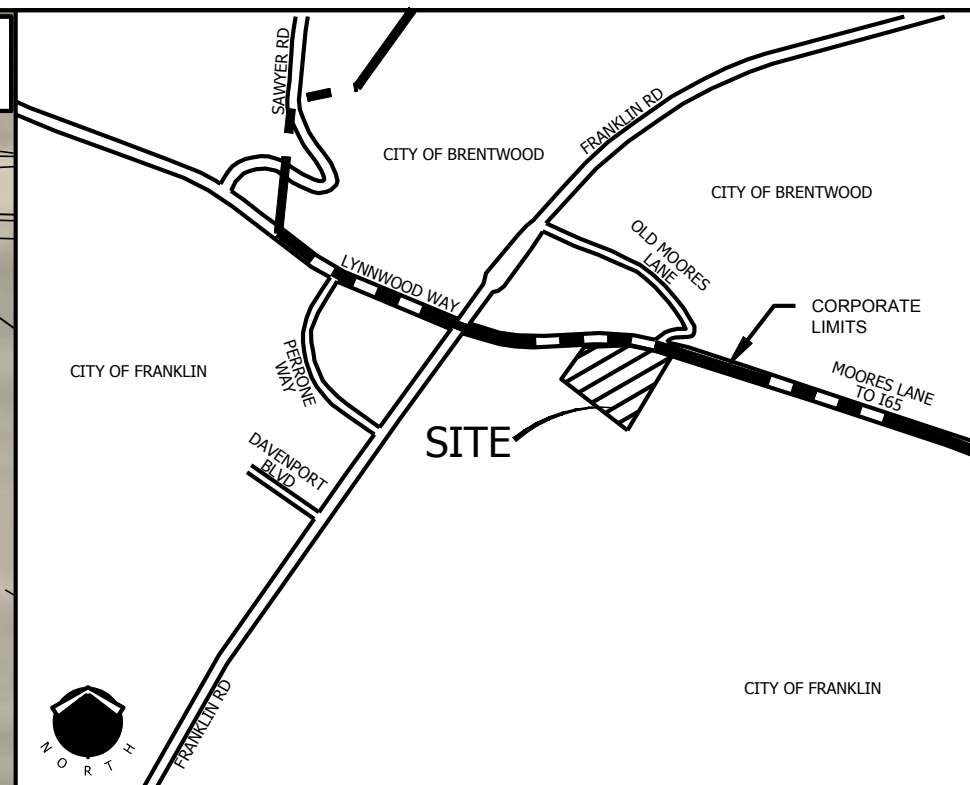
AREA: 1.02 ac  
 IMPERVIOUS AREA: 0.00 ac  
 DISTURBED AREA: 0.00 ac  
 Rv VALUE: 0.18

**PEAK FLOW RUNOFF:**

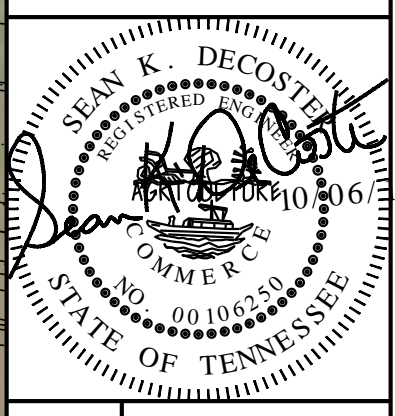
2yr - 1.518 cfs  
 5yr - 2.333 cfs  
 10yr - 3.032 cfs  
 25yr - 4.057 cfs  
 50yr - 4.932 cfs  
 100yr - 5.863 cfs



REFER TO SHEET C0.01 FOR APPLICABLE NOTES



**CIVIL SITE DESIGN GROUP**  
 ENGINEERS • PLANNERS • LANDSCAPE ARCHITECTS  
 619 SOUTHGATE AVENUE, SUITE 100, NASHVILLE, TN 37203  
 615.259.8888 • WWW.CIVILSITEDESIGN.COM



**EXISTING CONDITIONS PLAN**  
 SITE PLAN  
 7007 MOORES LANE PUD  
**LOT 1 - IMAC REGENERATIVE CENTER**  
 FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

REV.	COMMENTS	DATE
1	PRE-APP SUBMITTAL	08/22/16
2	SITE PLAN SUBMITTAL	09/12/16
3	CITY COMMENTS	10/06/16

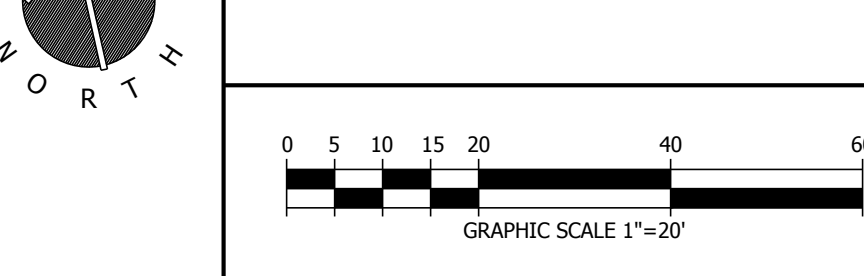
EXISTING CONDITION INFORMATION SHOWN FOR THE CANTERFIELD ASSISTED LIVING PROJECT IS BASED OFF OF DESIGN PLANS AND NOT FIELD RUN SURVEY

BASE INFORMATION WAS TAKEN FROM A SURVEY PREPARED BY CRAWFORD & CUMMINGS, PC, DATED AUGUST 6, 2016. CIVIL SITE DESIGN GROUP, P.L.L.C. AND ANY OF THEIR CONSULTANTS SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND/OR COMPLETENESS OF THAT INFORMATION SHOWN HEREON OR ANY ERRORS OR OMISSIONS RESULTING FROM SUCH.

MIN. SURFACE AREA = 3,228 SF  
 MIN. WATER QUALITY VOLUME = 5,352 CF

MAP 36 PARCEL 55.02

**PROJECT BENCHMARK:**  
 DESCRIPTION: IRON ROD WITH PLASTIC CAP  
 ELEVATION: 766.0'



CHKD BY: SKD  
 DATE: 08/22/16

DRWN BY: LEB  
 DATE: 09/12/16

DATE: 10/06/16

**C1.00**

JOB NO.: 16-036-02  
 COF # 6253

Oct 05, 2016 - 9:00am T:\CAD\2016\16-036-02\CAD\Civil\Site Plan\16-036-02\_C100 Existing Conditions Plan.dwg

**Site Data:**

Project Name: IMAC Regenerative Center  
 Address: 7007 Moores Lane, Franklin, TN 37207  
 Civil District: 8th  
 Map, Parcels, Group: 36, 55.02  
 Owner/Developer: Elm Hill Development Corp., 403 Granny White Pike, Brentwood, TN 37027  
 Contact: Larry Beadle, Phone: (615)948-7644  
 Site Area: ±48,957 sf / ±1.12 ac  
 Disturbed Area: ±1.01 ac  
 Existing Zoning: SD-X 5.25/11,000  
 Proposed Zoning: SD-X 5.25/11,000  
 Character Area Overlay: Berry's Chapel (BCCO-4)  
 Building Use: Medical Office (Commercial)  
 Other Overlays: HHO & 500ft Buffer of HHO  
 Incompatible Buffer: Type 'B' Buffer Adjacent to City of Franklin Park, Dry Branch Wetland  
 Development Standard: Conventional  
 Drainage Basin: Dry Branch Creek  
 Existing Structures: None  
 Building setbacks: 50' Front, 25' Side, 40' Rear  
 Prop. Building Area: 11,000 sf  
 Proposed Building Height: 37', 2 stories  
 Min. Landscape Surface Ratio: 0.20  
 Proposed LSR: 0.34  
 Required Loading Spaces: 1  
 Proposed Loading Spaces: 1  
 Bike Parking Required: 3  
 Bike Parking Provided: 3  
 Parking: See parking chart

REQUIRED PARKING				
Use	Unit	Rate	Quantity	Parking Required
Office	Gross Sq. Ft.	4 sp/1,000 sf	11,000	44
PROVIDED PARKING				
Accessible Parking Spaces				3
Standard Parking Spaces				41
Compact Parking Spaces				7
<b>Total Parking Spaces</b>				<b>51</b>

Compact Spaces = ±16% (7/44) of minimum number of required spaces

- Notes:**
- The project site is located at 7007 Moores Lane in Franklin, TN and is located within the 8th Civil District. The property is referenced as Map 36, Parcel 55.02 on the Williamson County tax maps.
  - Survey information provided by Crawford & Cummings PC.
  - There are no National Registered historic structures within 500' of the property.
  - Proposed building shall have a fire sprinkler system.
  - No mineral rights are known to be held by parties outside of the property owner.
  - Based on graphic plotting of FEMA FIRM map 47187C0205F dated September 29, 2006, this site is located within Zone X which is determined to be outside of the 0.2% annual floodplain chance.
  - All public improvements shall be located within an easement.
  - The minimum width for standard 90° parking spaces adjacent to parking islands or green space shall be 10'.

Within new developments and for off-site lines contracted as a result of, or to provide service to, the new development, all utilities such as cable television, electrical (excluding transformers), gas, sewer, telephone and waterlines shall be placed underground. Light industrial and heavy industrial districts shall be permitted to have their off-site overhead. Changes shall not be made to the lines approved overhead site plan unless approved by either the relevant department superintendent or the planning commission.

This site plan has been designed to meet the City of Franklin standards and the approval of the planning commission, changes shall not be made to the approved site plan unless approved by either the relevant department superintendent or the planning commission.

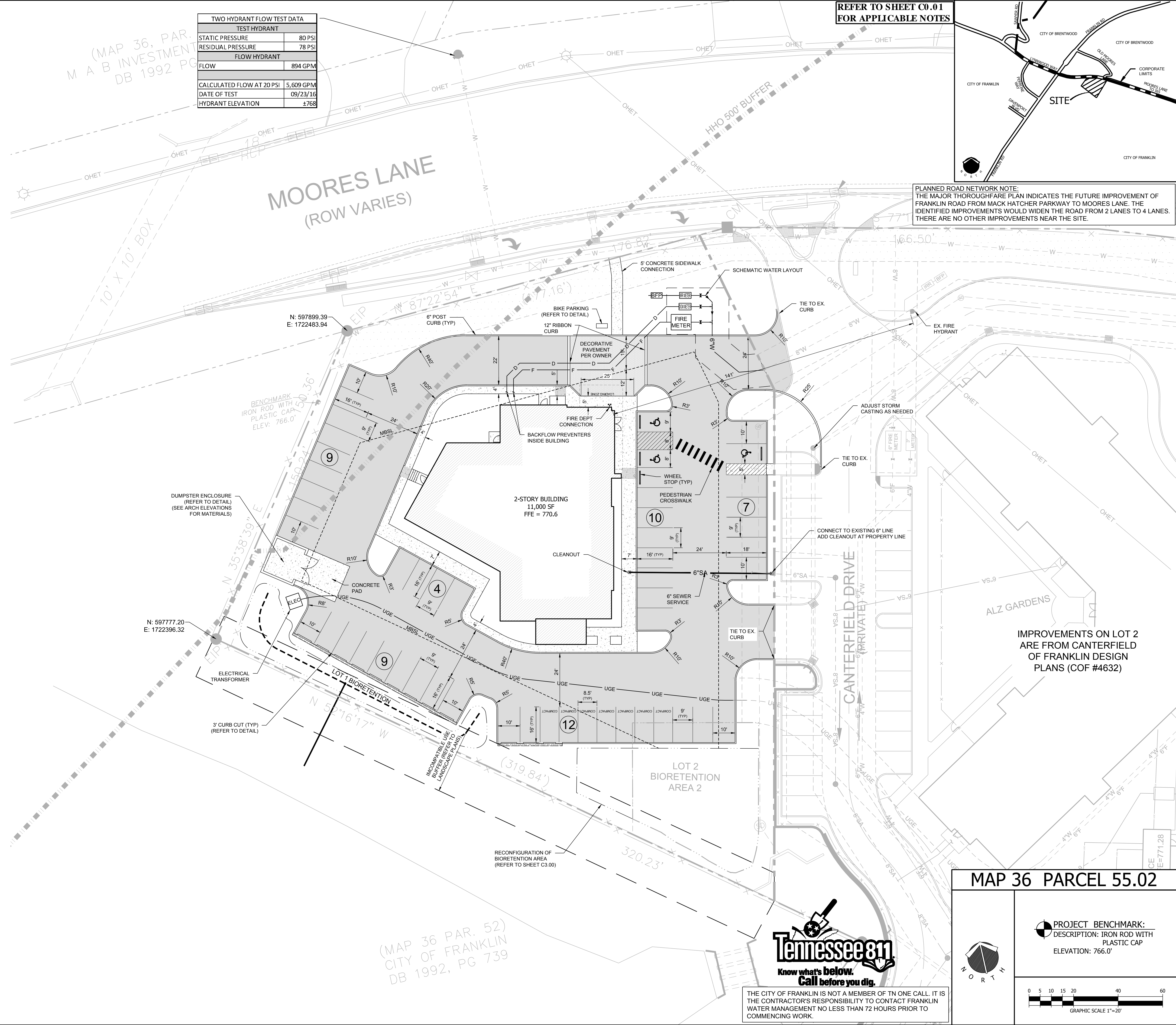
**NOTE:** PROPOSED WATER SERVICE LAYOUT IS CONCEPTUAL. REFER TO MALLORY VALLEY UTILITY DISTRICT PLANS FOR FINAL CONSTRUCTIONS

**NOTE:** CONTRACTOR SHALL COORDINATE FINAL UTILITY SERVICE SIZES AND LOCATIONS WITH PLUMBING PLANS

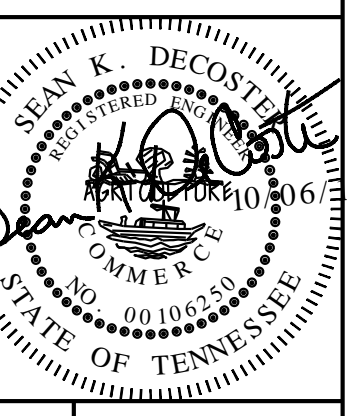
TWO HYDRANT FLOW TEST DATA	
TEST HYDRANT	
STATIC PRESSURE	80 PSI
RESIDUAL PRESSURE	78 PSI
FLOW HYDRANT	
FLOW	894 GPM
CALCULATED FLOW AT 20 PSI	5,609 GPM
DATE OF TEST	09/23/16
HYDRANT ELEVATION	±768

REFER TO SHEET C0.01 FOR APPLICABLE NOTES

PLANNED ROAD NETWORK NOTE: THE MAJOR THOROUGHFARE PLAN INDICATES THE FUTURE IMPROVEMENT OF FRANKLIN ROAD FROM MACK HATCHER PARKWAY TO MOORES LANE. THE IDENTIFIED IMPROVEMENTS WOULD WIDEN THE ROAD FROM 2 LANES TO 4 LANES. THERE ARE NO OTHER IMPROVEMENTS NEAR THE SITE.



**CIVIL SITE DESIGN GROUP**  
 ENGINEERS • PLANNERS • LANDSCAPE ARCHITECTS  
 619 SOUTHGATE AVENUE, SUITE 100, NASHVILLE, TN 37203  
 615.266.9999 • WWW.CIVILSITEDESIGN.COM

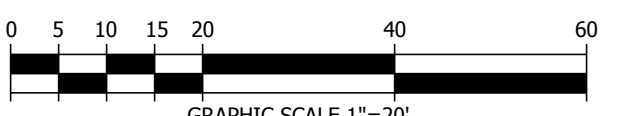


**SITE LAYOUT AND UTILITY PLAN**  
 SITE PLAN  
 7007 MOORES LANE PUD  
**LOT 1 - IMAC REGENERATIVE CENTER**  
 FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

REV.	COMMENTS	DATE
1	PRE-APP SUBMITTAL	08/22/16
2	SITE PLAN SUBMITTAL	09/12/16
3	CITY COMMENTS	10/06/16

MAP 36 PARCEL 55.02

PROJECT BENCHMARK:  
 DESCRIPTION: IRON ROD WITH PLASTIC CAP  
 ELEVATION: 766.0'

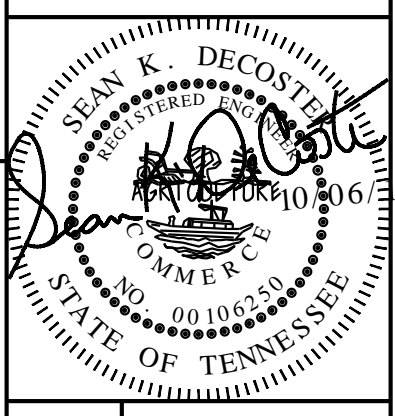
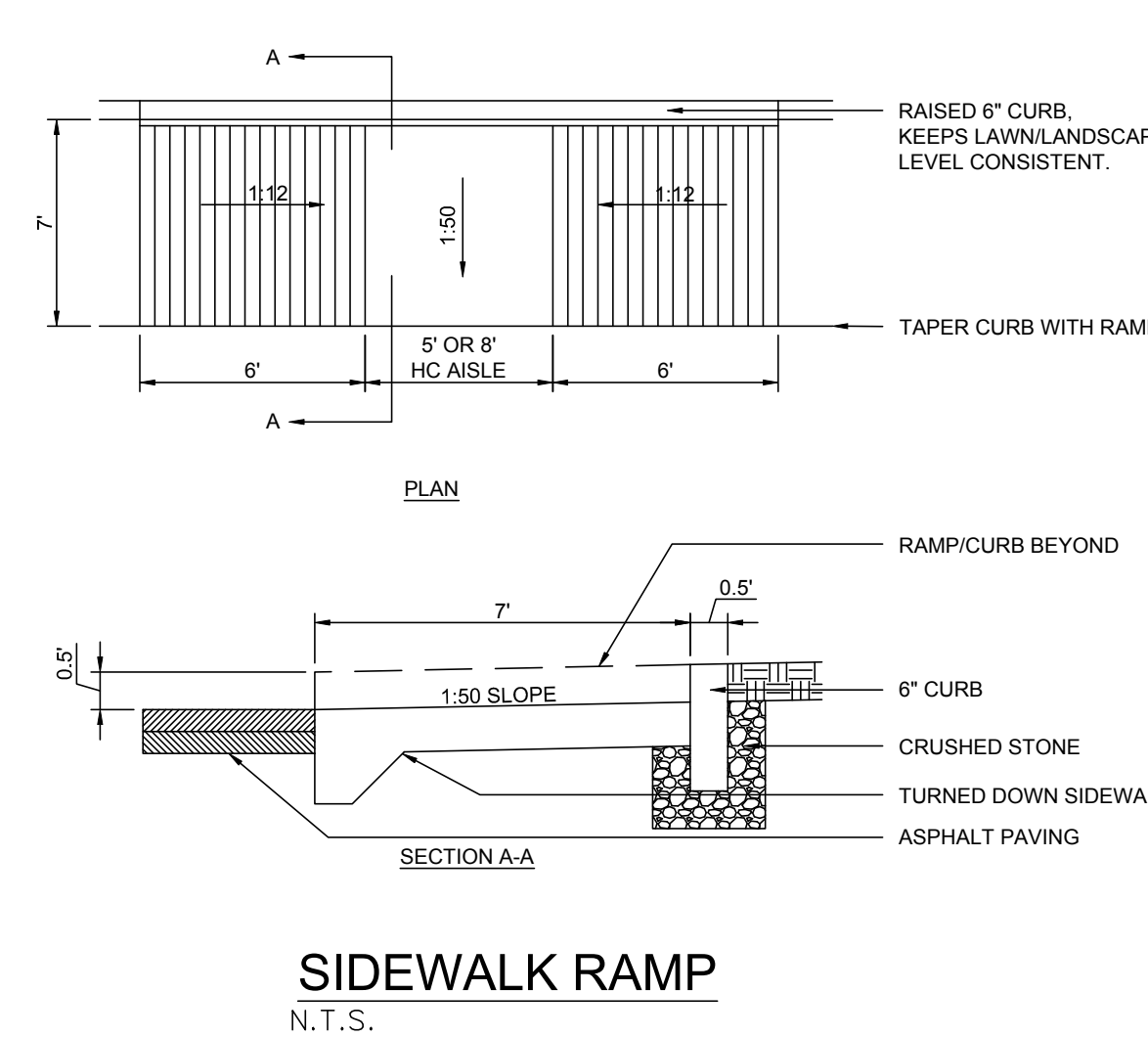
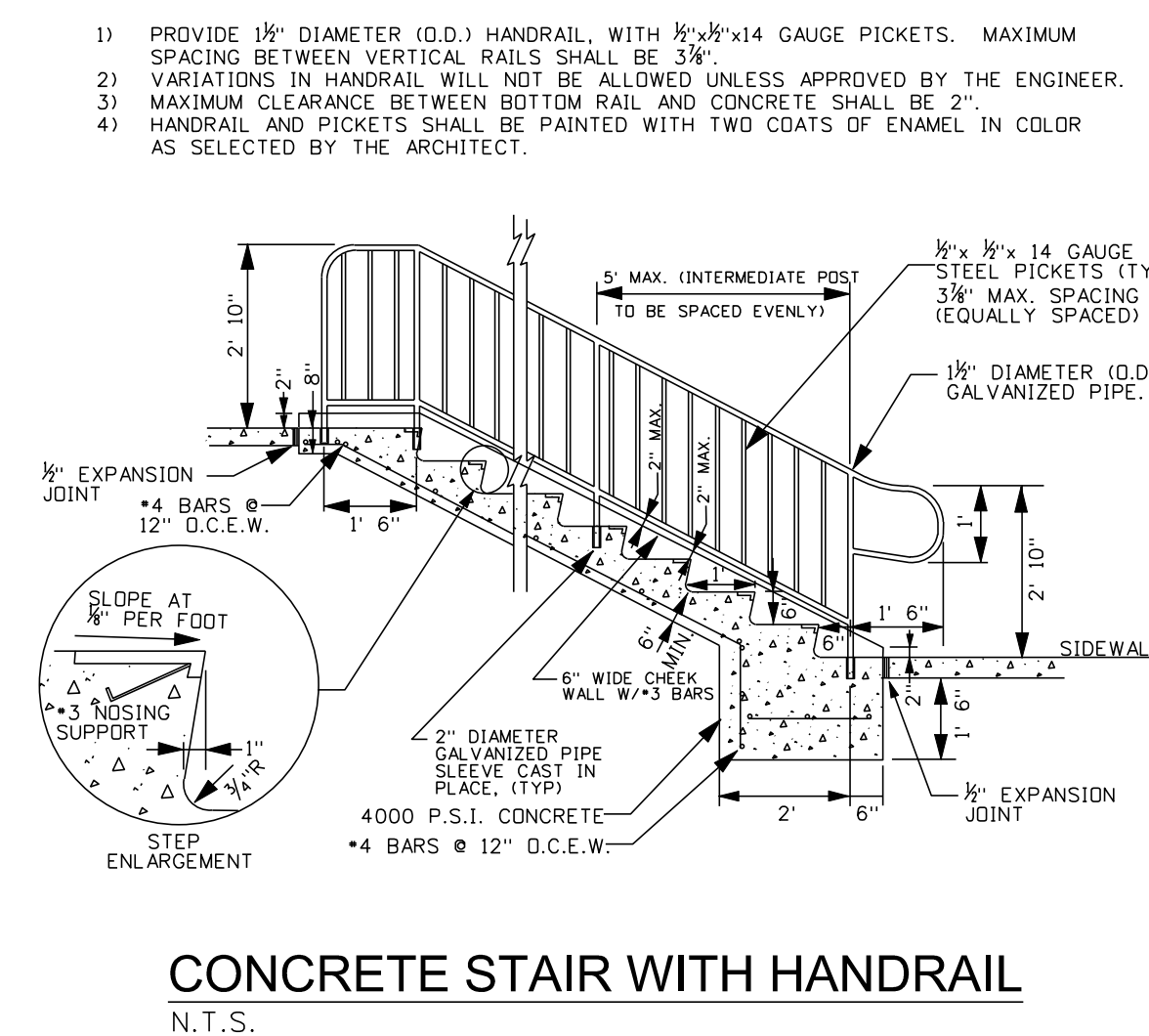
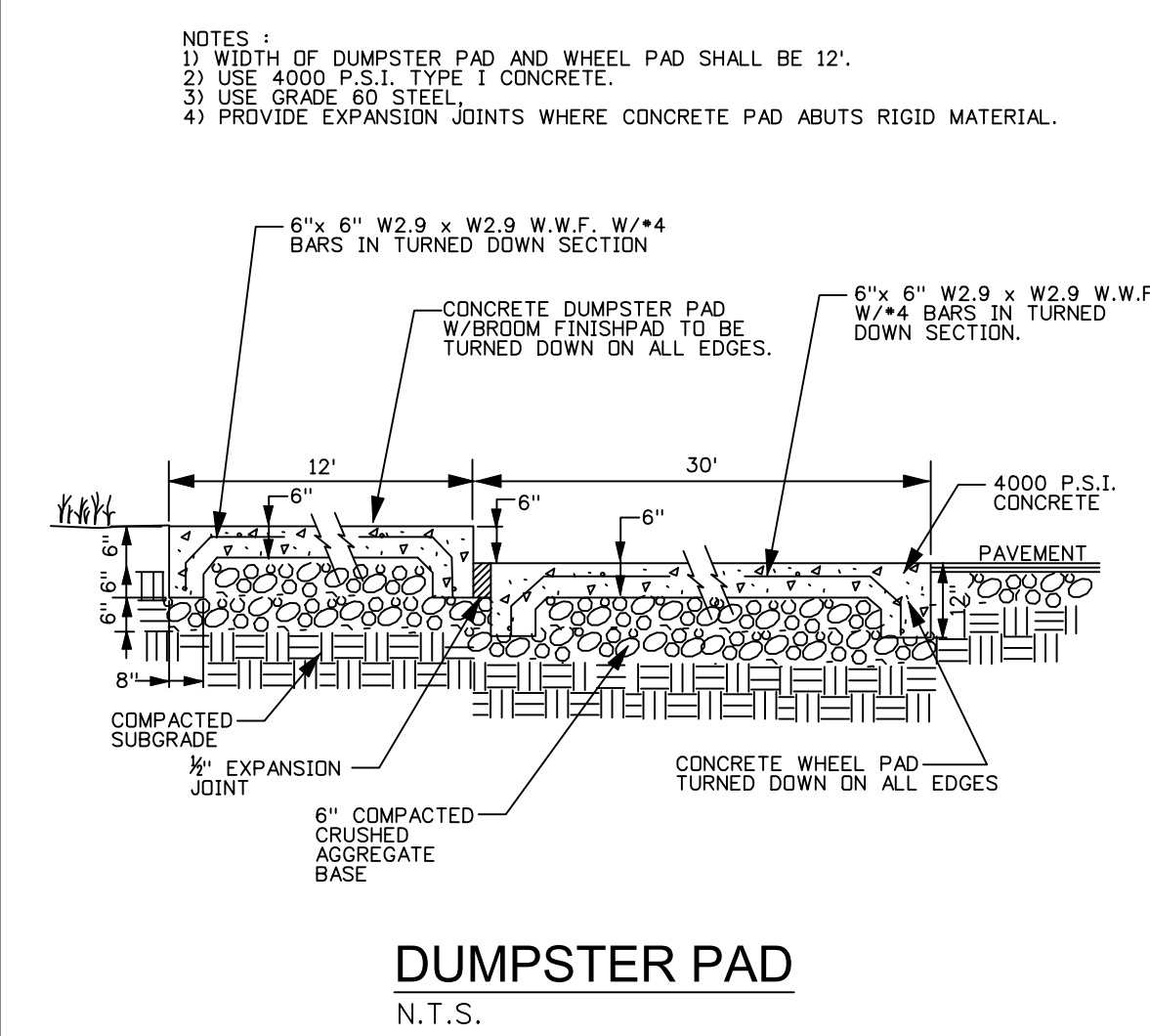
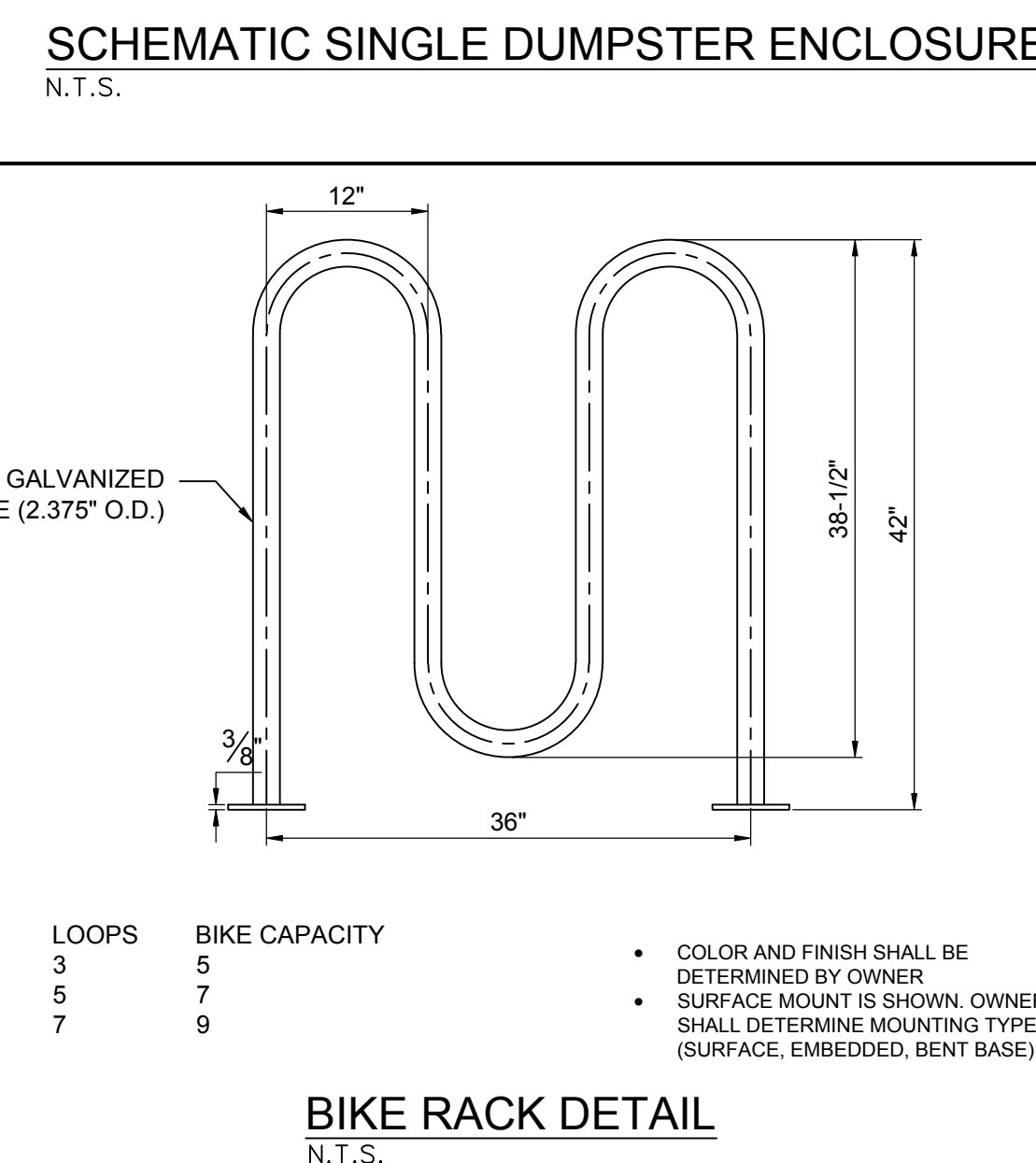
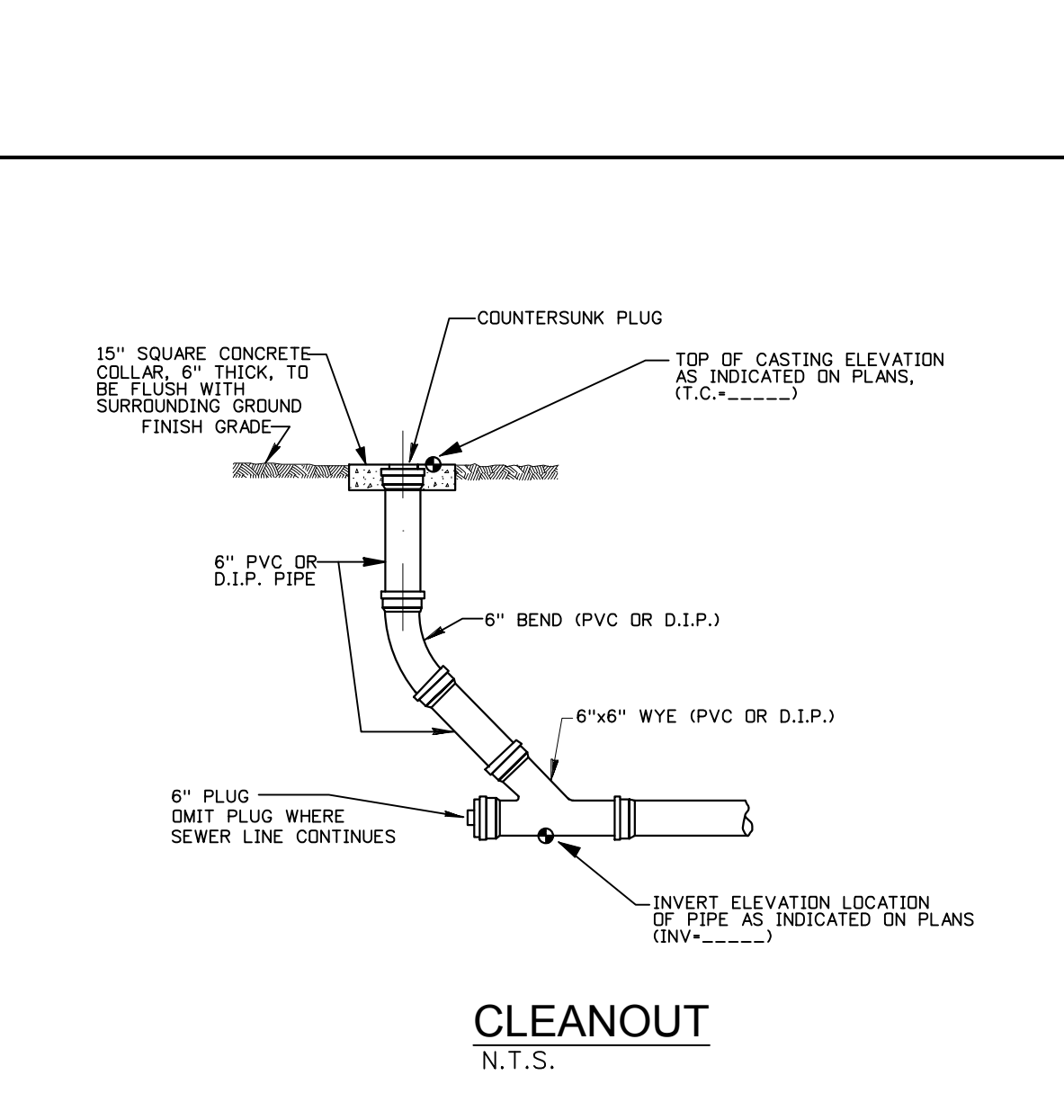
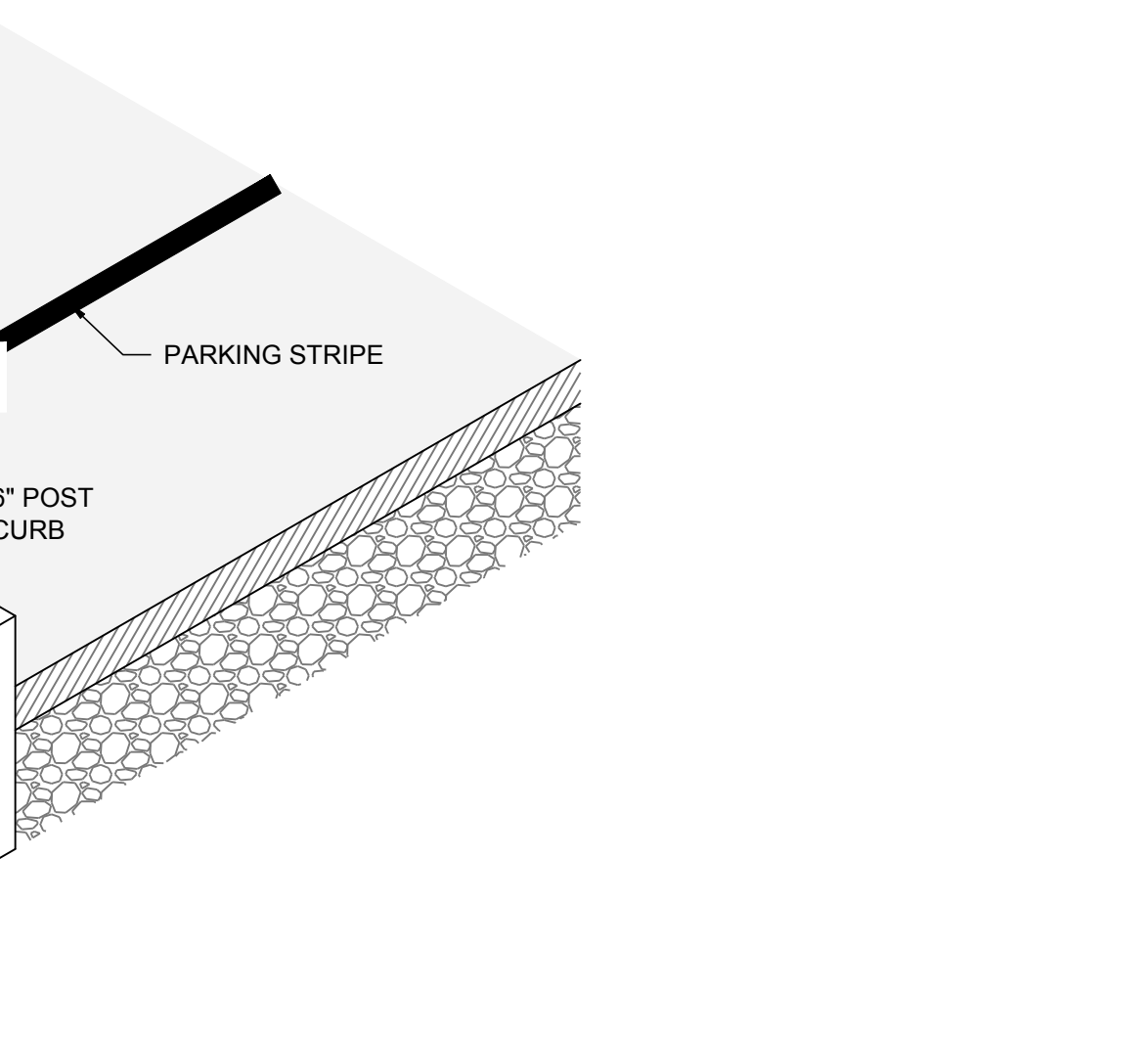
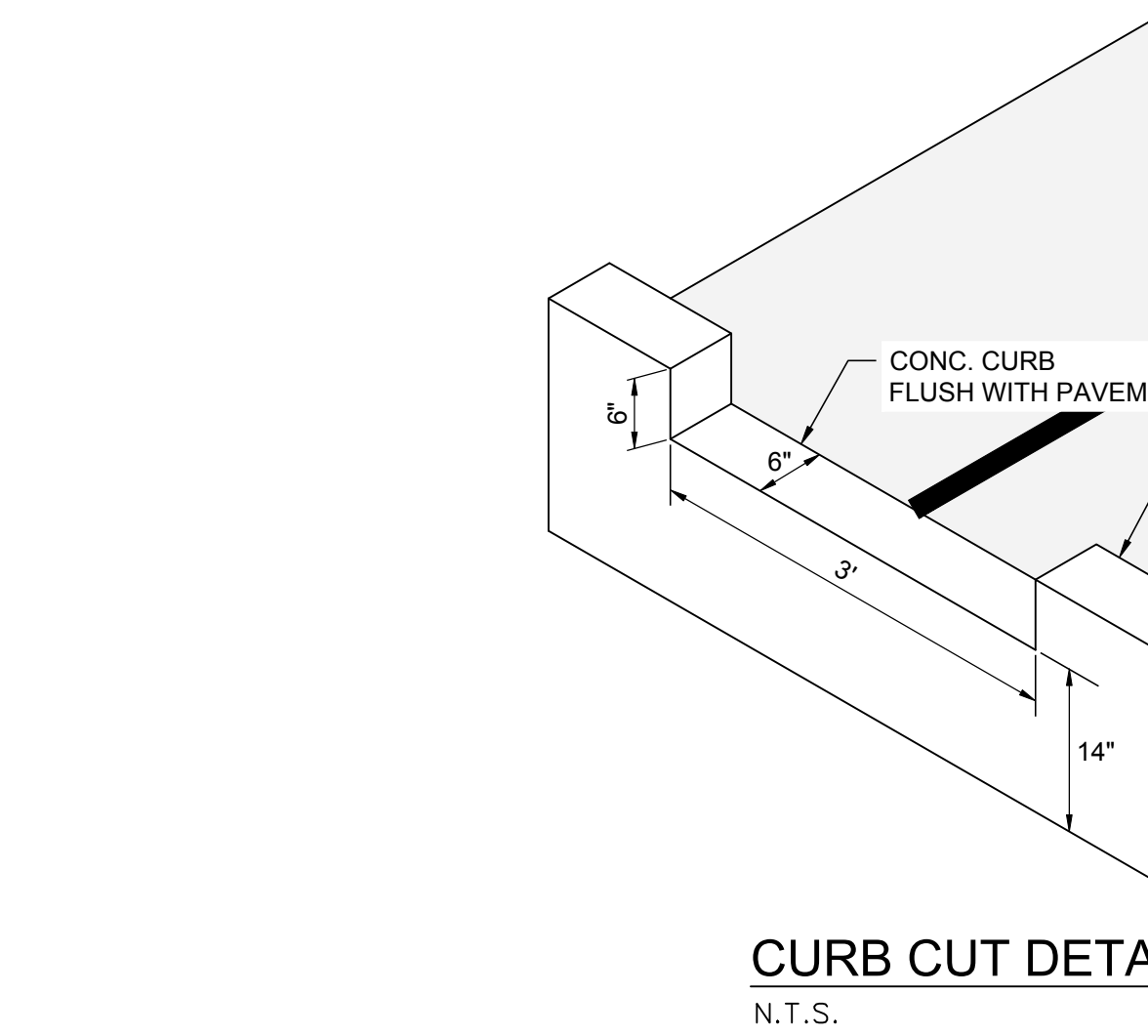
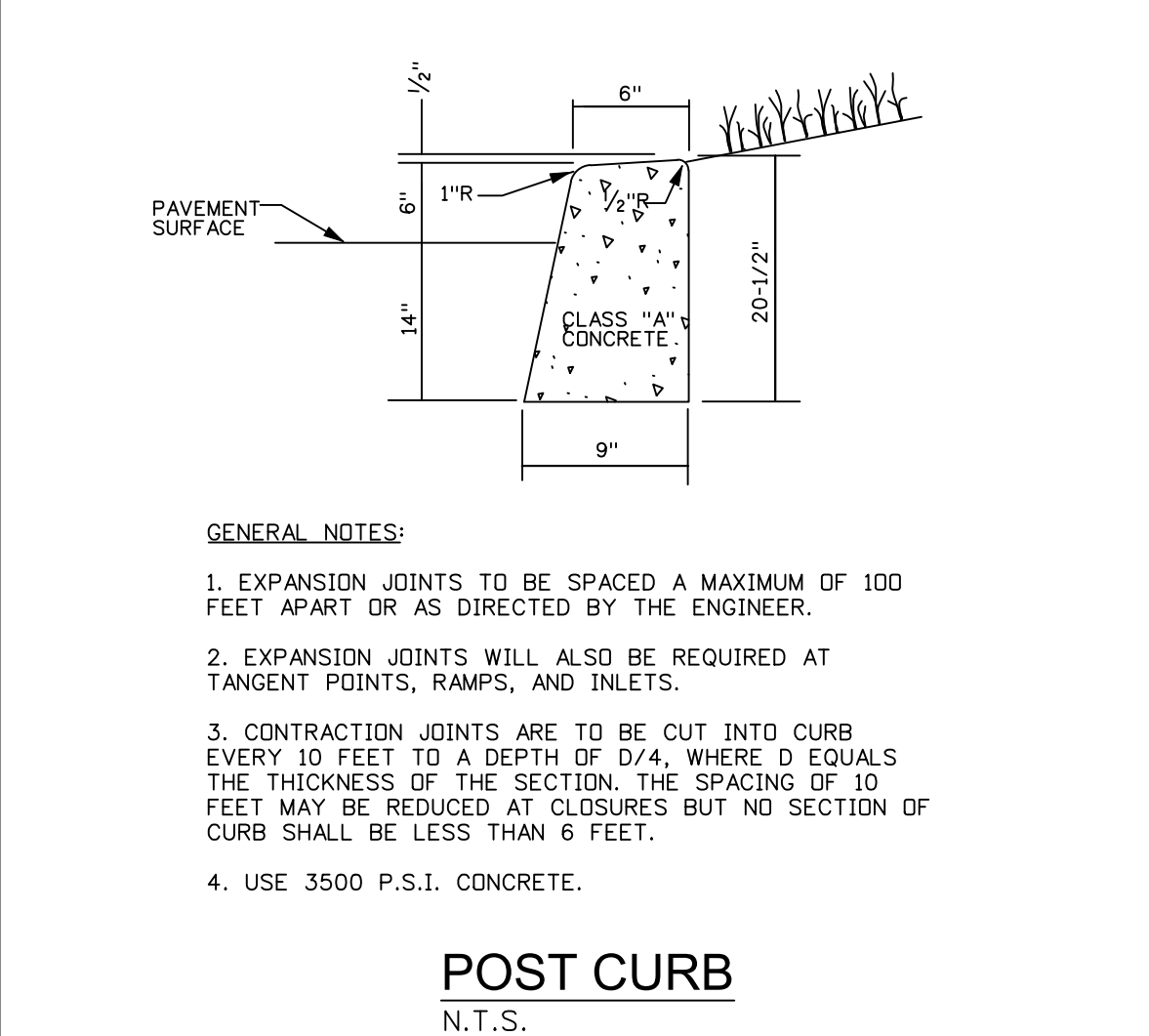
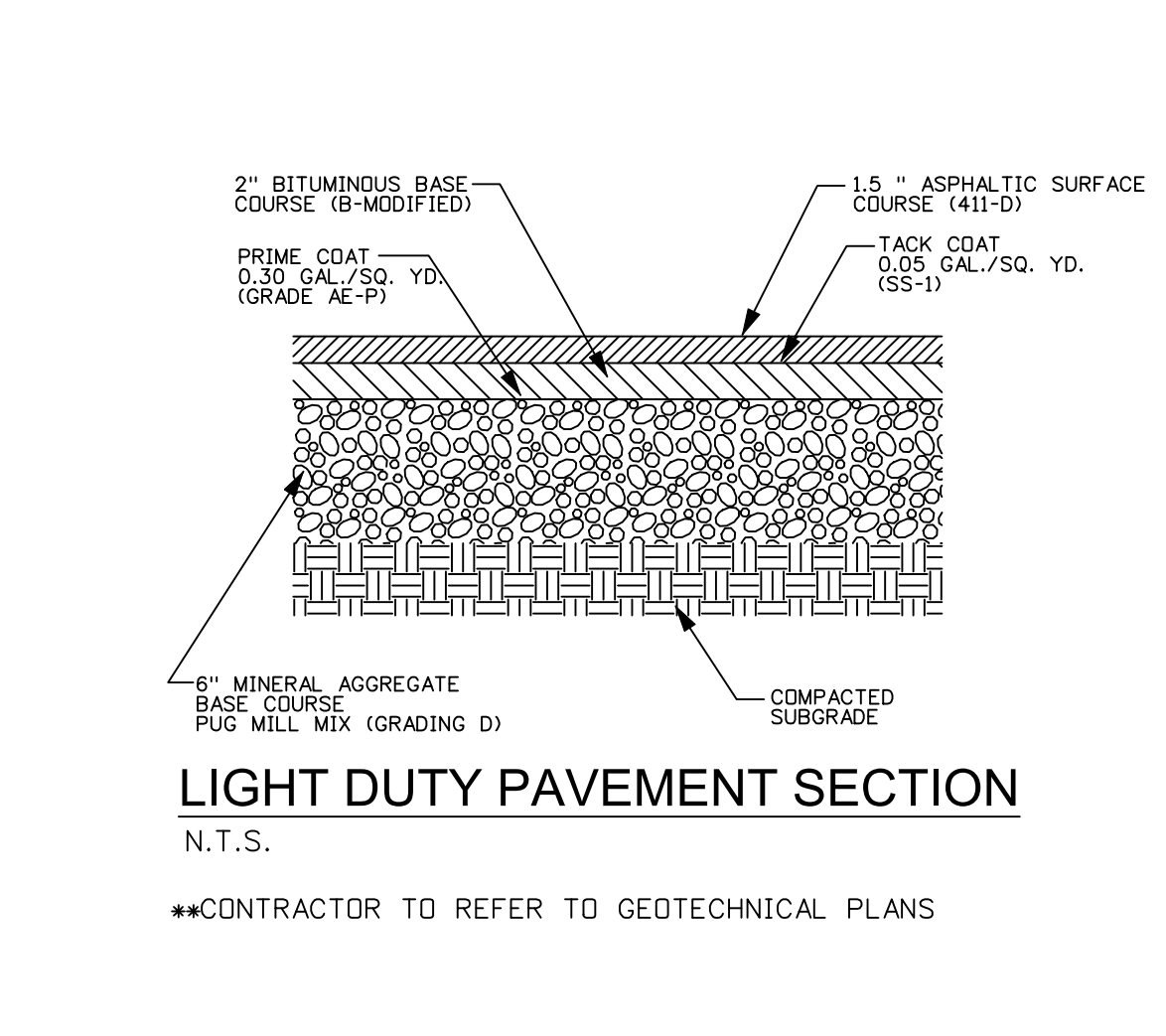
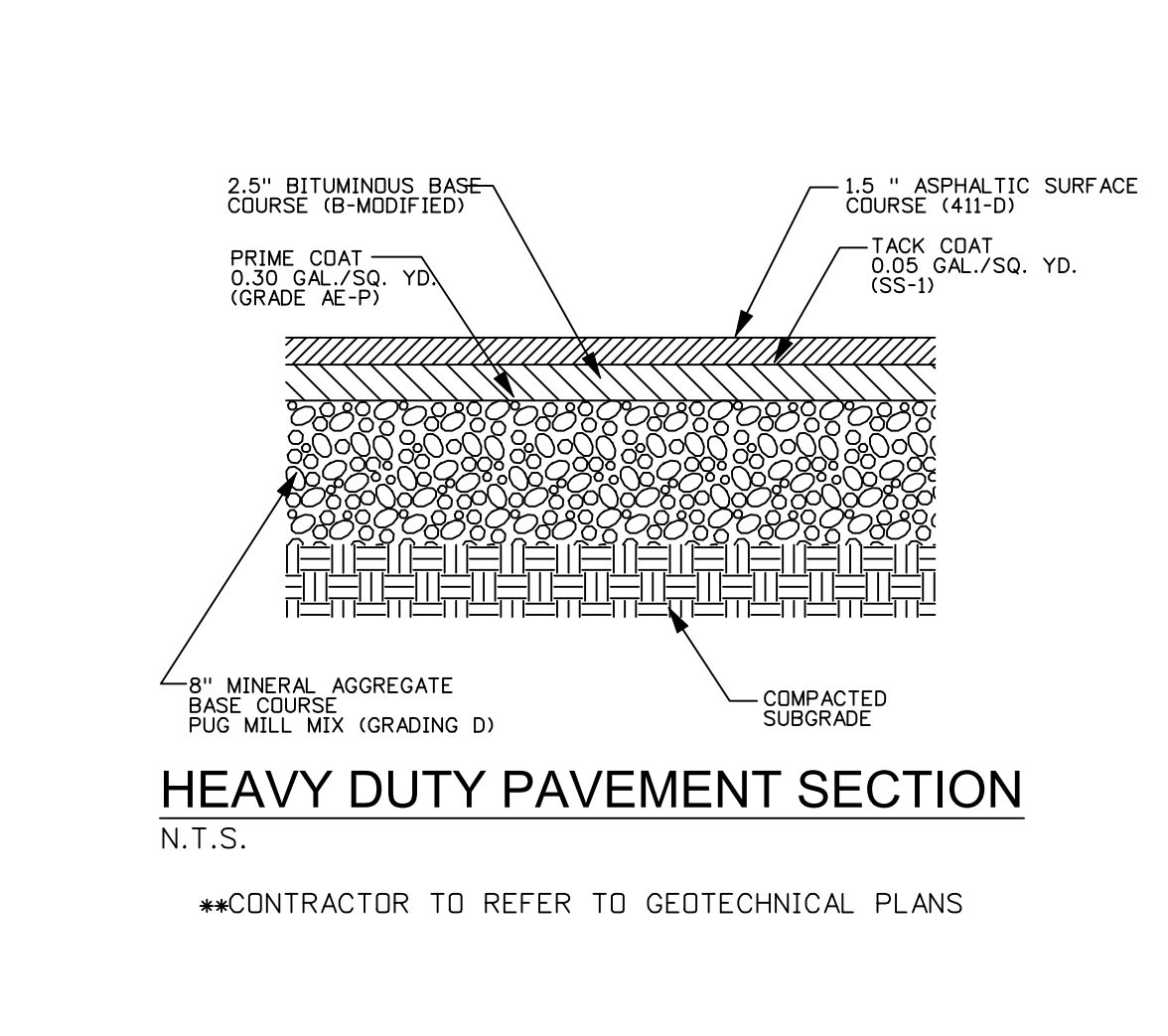
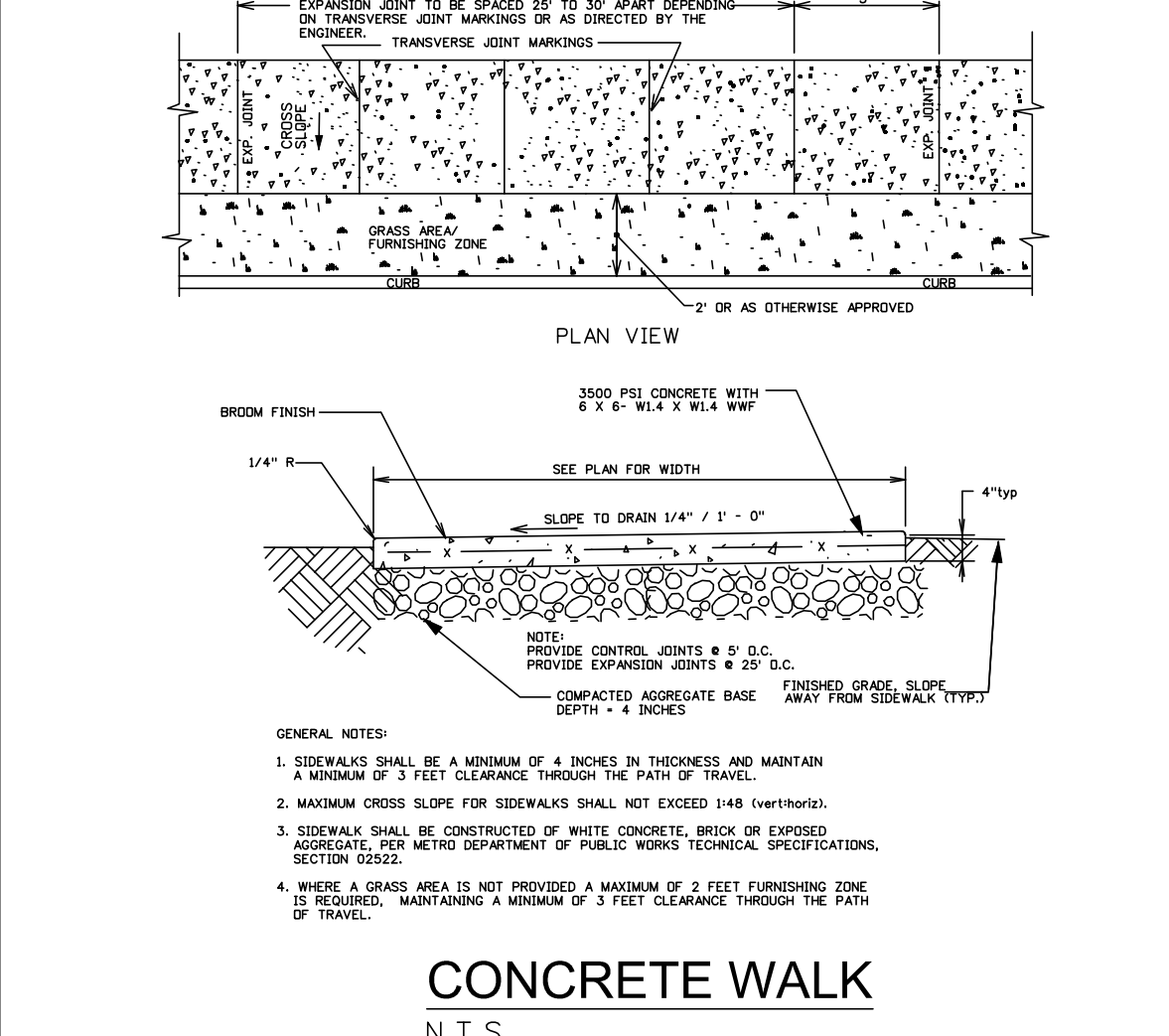
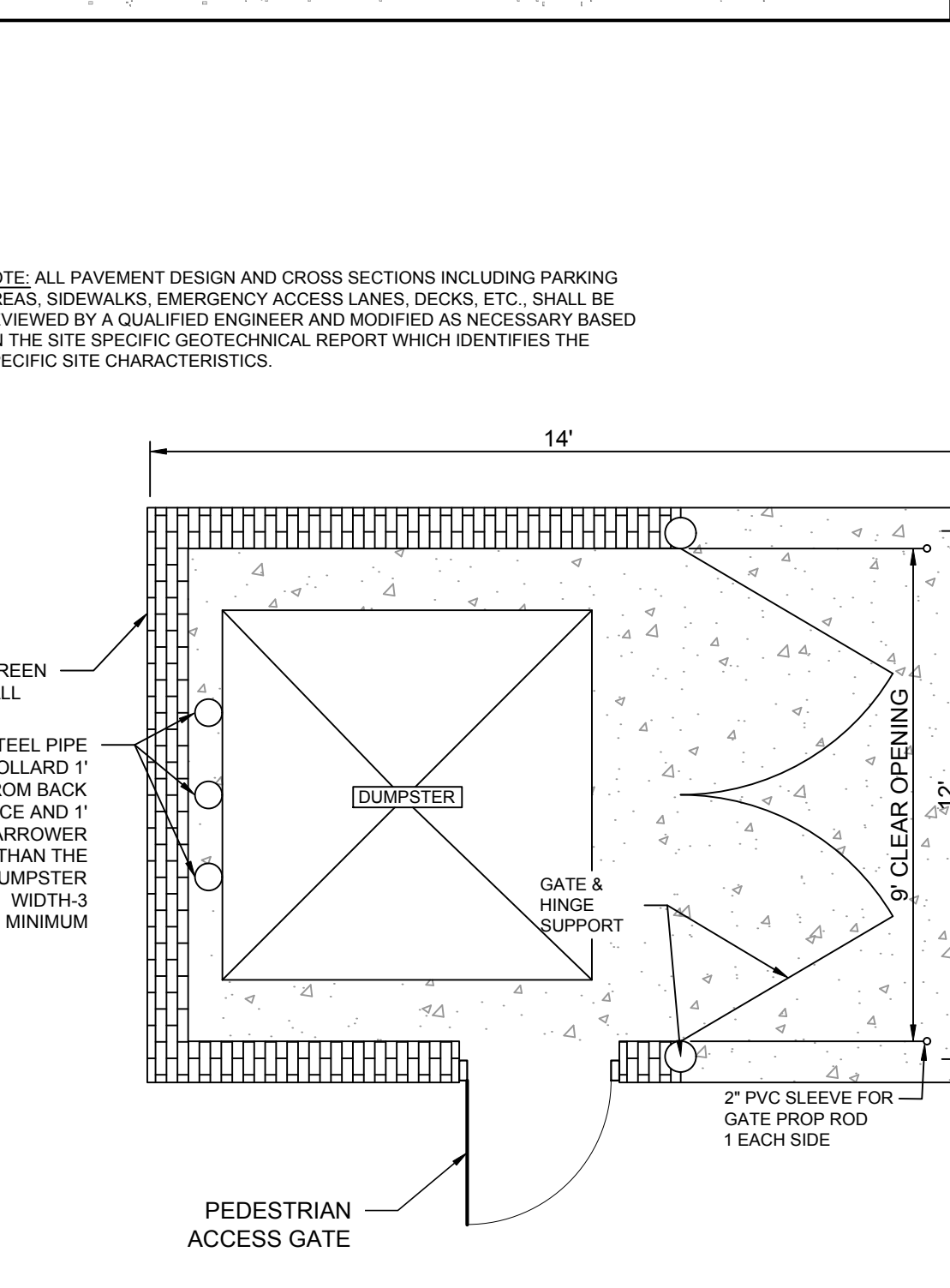
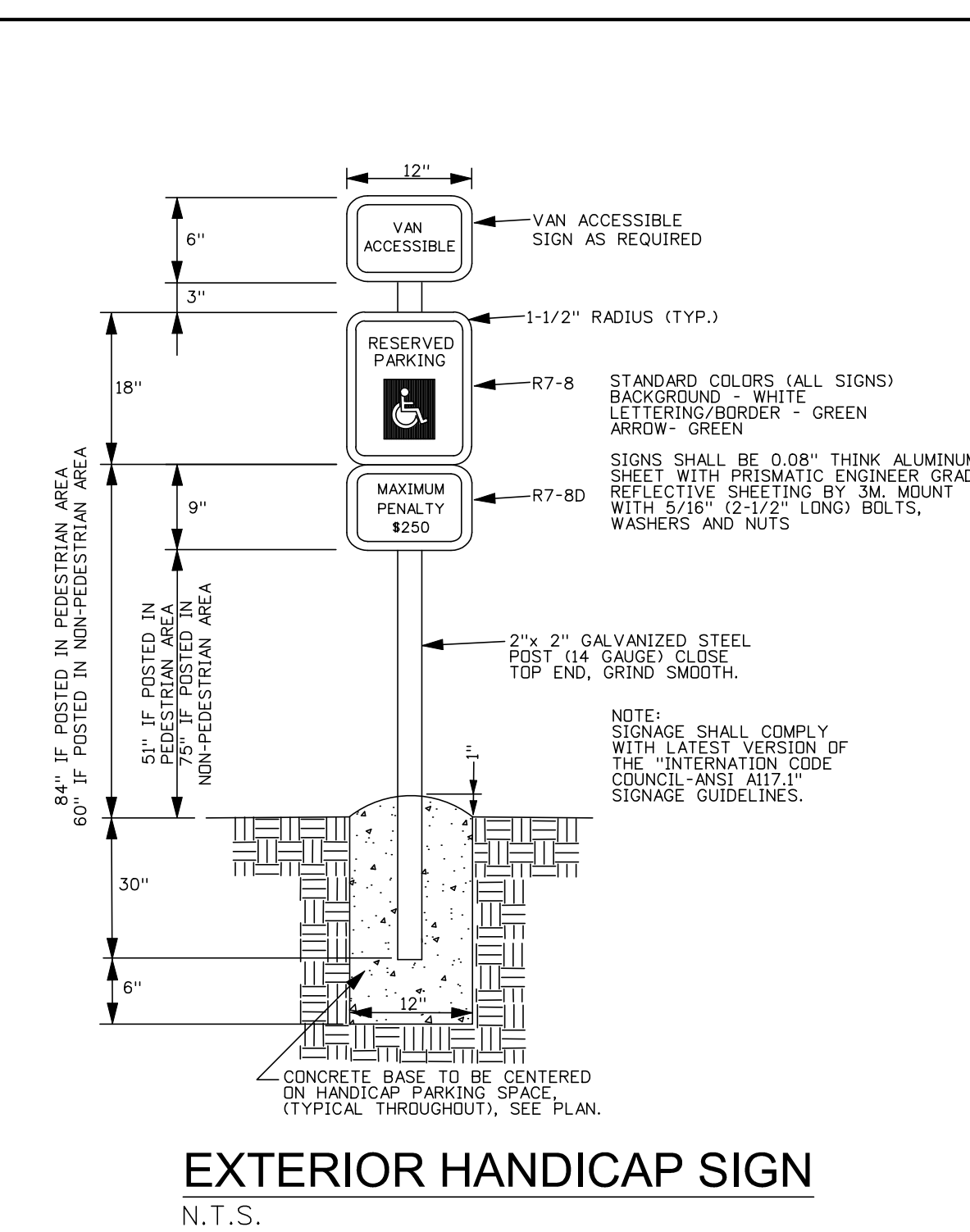
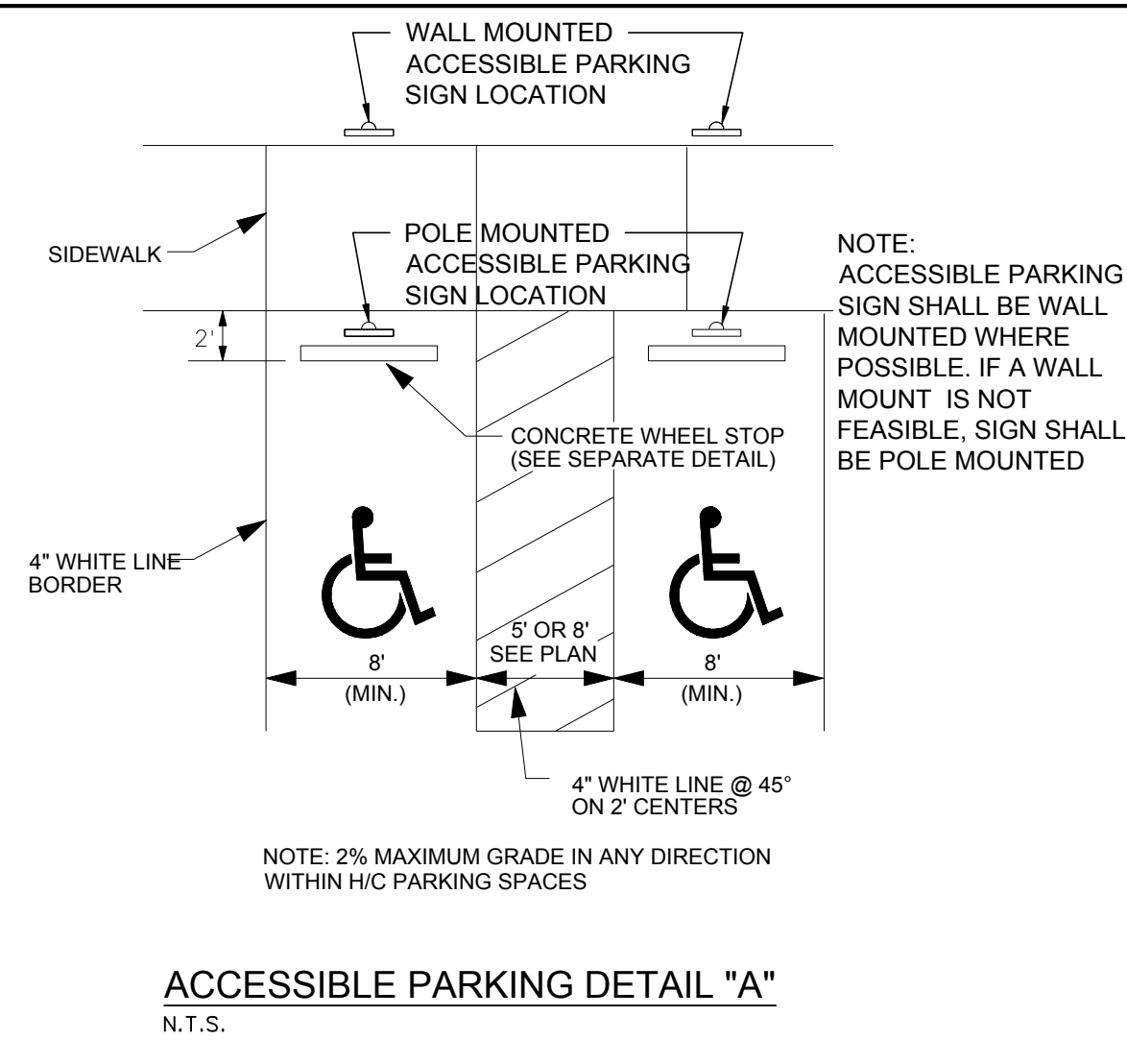
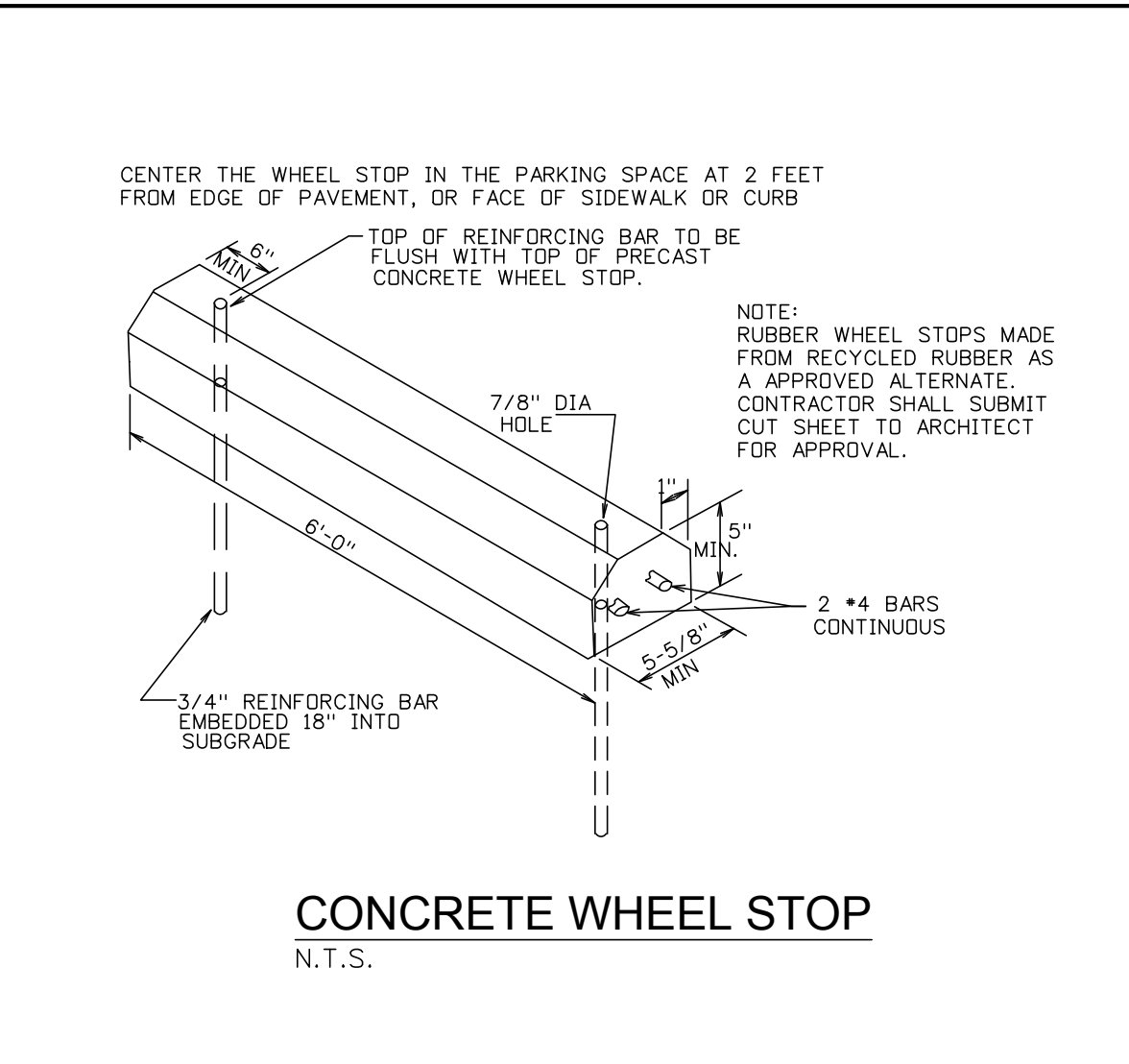
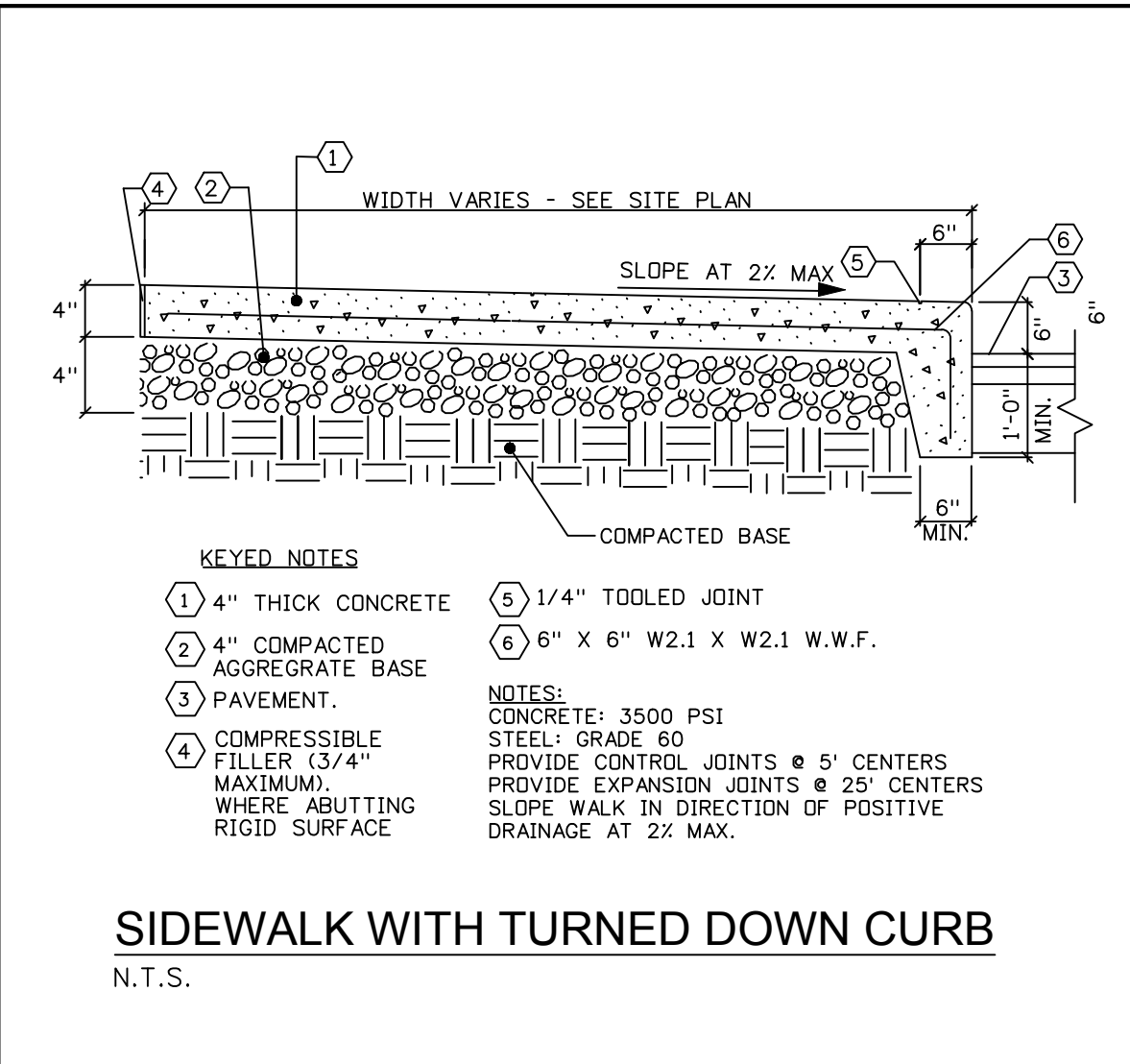
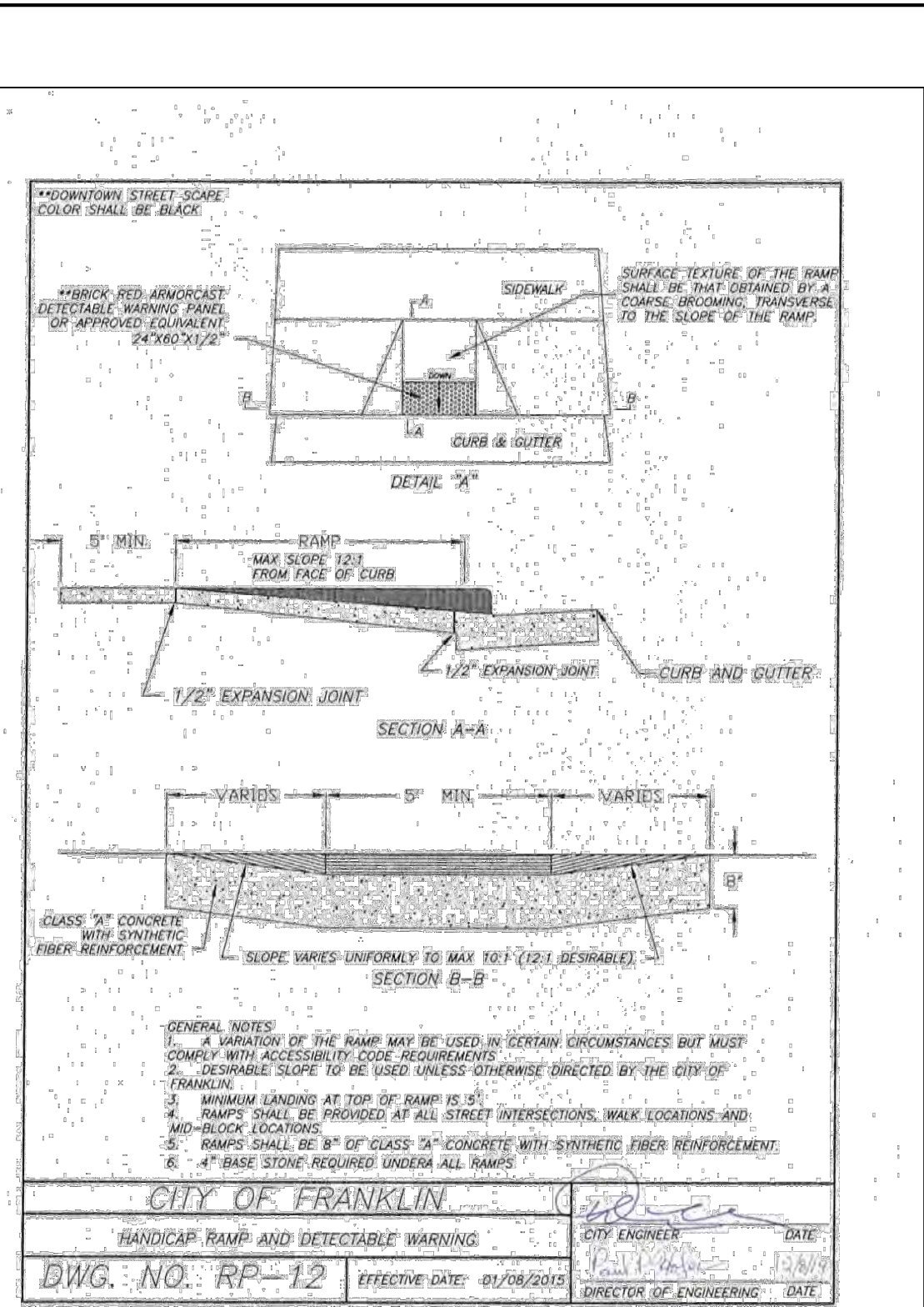
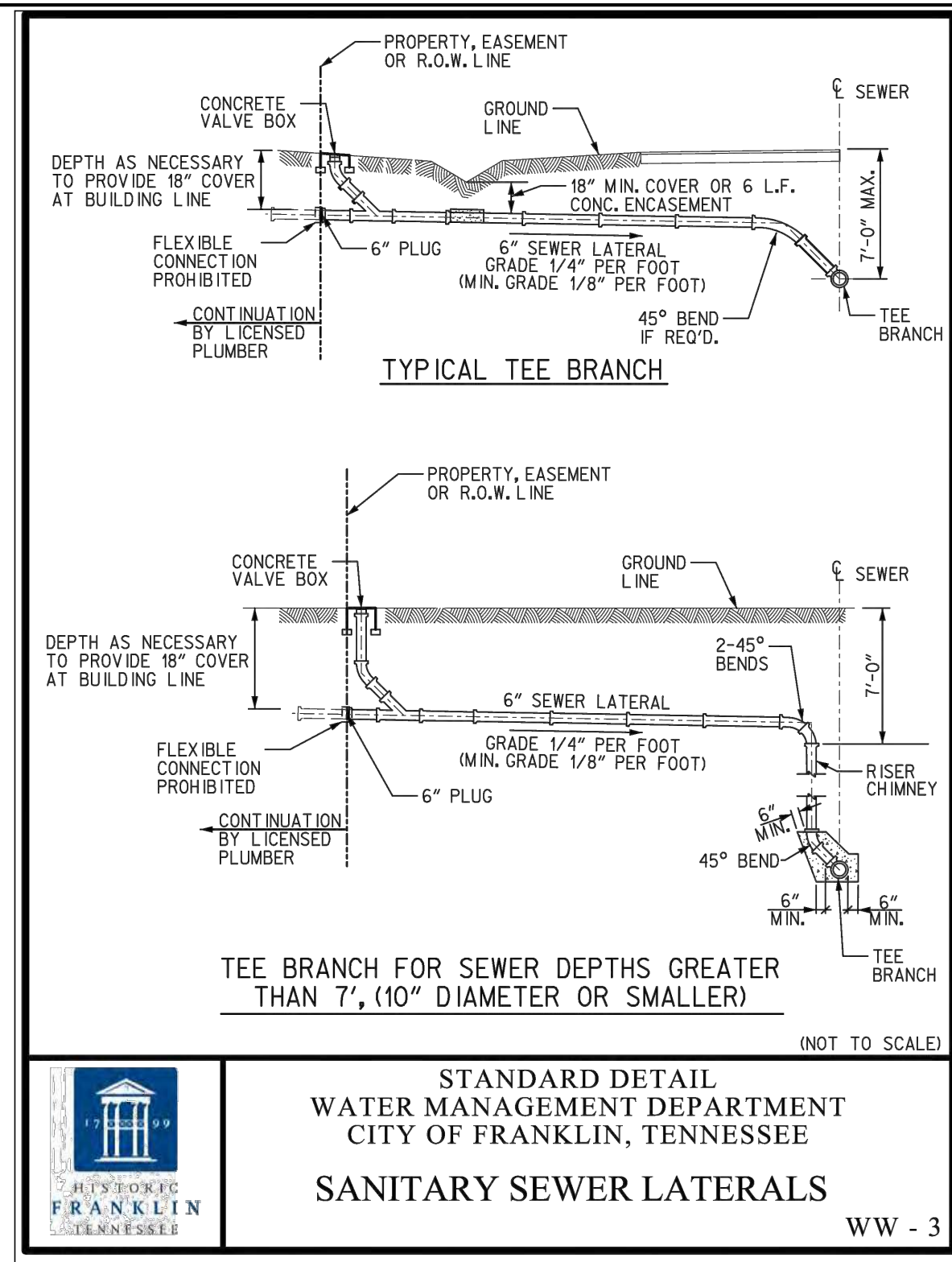


**C2.00**

JOB NO.: 16-036-02  
 COF # 6253



THE CITY OF FRANKLIN IS NOT A MEMBER OF TN ONE CALL. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT FRANKLIN WATER MANAGEMENT NO LESS THAN 72 HOURS PRIOR TO COMMENCING WORK.



REV.	DATE	COMMENTS
1	08/22/16	PRE-APP SUBMITTAL
2	09/12/16	SITE PLAN SUBMITTAL
3	10/06/16	CITY COMMENTS

CHKD	DATE
SKD	08/22/16
SKD	09/12/16
SKD	10/06/16

**C2.01**

JOB NO.: 16-036-02  
 COF # 6253

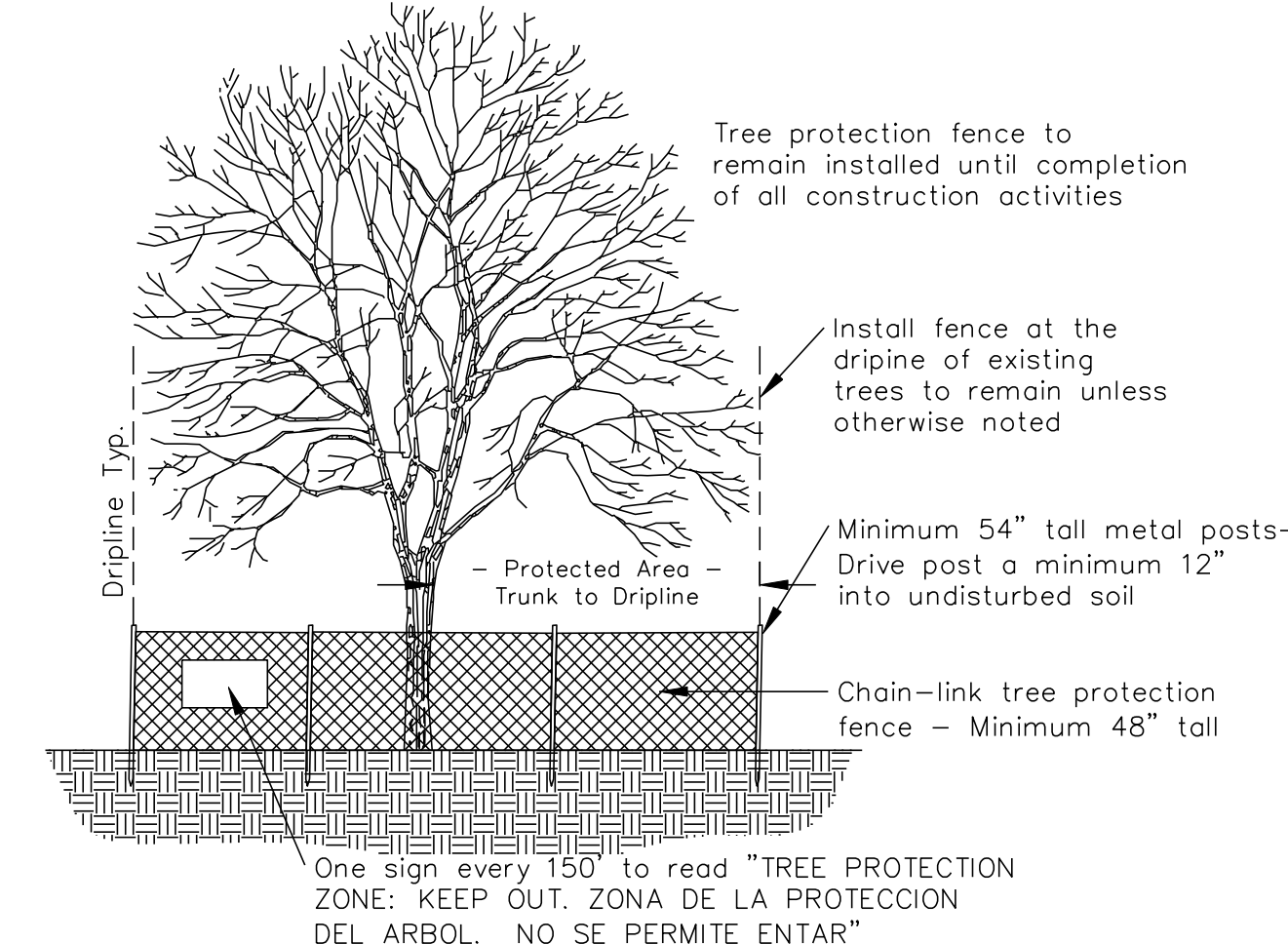
**Site Data:**  
 Project Name: IMAC Regenerative Center  
 Address: 7007 Moores Lane, Franklin, TN 37077  
 Civil District: 8th  
 Map, Parcels, Group: 36, 55.02  
 Owner/Developer: Elm Hill Development Corp., 403 Granny White Pike, Brentwood, TN 37027  
 Site Area: ±48,957 sf / ±1.12 ac  
 Disturbed Area: ±1.01 ac  
 Existing Zoning: SD-X 5.25/11,000  
 Proposed Zoning: SD-X 5.25/11,000  
 Character Area Overlay: Berry's Chapel (BCCO-4)  
 Building Use: Medical Office (Commercial)  
 Other Overlays: HHO & 500ft Buffer of HHO  
 Incompatible Buffer: Type 'B' Buffer Adjacent to City of Franklin Park, Dry Branch Wetland  
 Development Standard: Conventional  
 Drainage Basin: Dry Branch Creek  
 Existing Structures: None  
 Building setbacks: 50' Front, 25' Side, 40' Rear  
 Prop. Building Area: 11,000 sf  
 Proposed Building Height: 37', 2 stories  
 Min. Landscape Surface Ratio: 0.20  
 Proposed LSR: 0.34  
 Required Loading Spaces: 1  
 Proposed Loading Spaces: 1  
 Bike Parking Required: 3  
 Bike Parking Provided: 3  
 Parking: See parking chart

- Notes:**
- The project site is located at 7007 Moores Lane in Franklin, TN and is located within the 8th Civil District. The property is referenced as Map 36, Parcel 55.02 on the Williamson County tax maps.
  - Survey information provided by Crawford & Cummings PC.
  - There are no National Registered historic structures within 500' of the property.
  - Proposed building shall have a fire sprinkler system.
  - No mineral rights are known to be held by parties outside of the property owner.
  - Based on graphic plotting of FEMA FIRM map 47187C0205F dated September 29, 2006, this site is located within Zone X which is determined to be outside of the 0.2% annual floodplain chance.
  - All public improvements shall be located within an easement.
  - The minimum width for standard 90° parking spaces adjacent to parking islands or green space shall be 10'.

Within new developments and for off-site lines constructed as a result of, or to provide service to, the new development, all utilities such as cable television, electrical (excluding transformers), gas, sewer, telephone and waterlines shall be placed underground. Light industrial and heavy industrial districts shall be permitted to have their off-site overhead. Changes shall not be made to the lines approved site plan unless approved by either the relevant department superintendent or the planning commission.

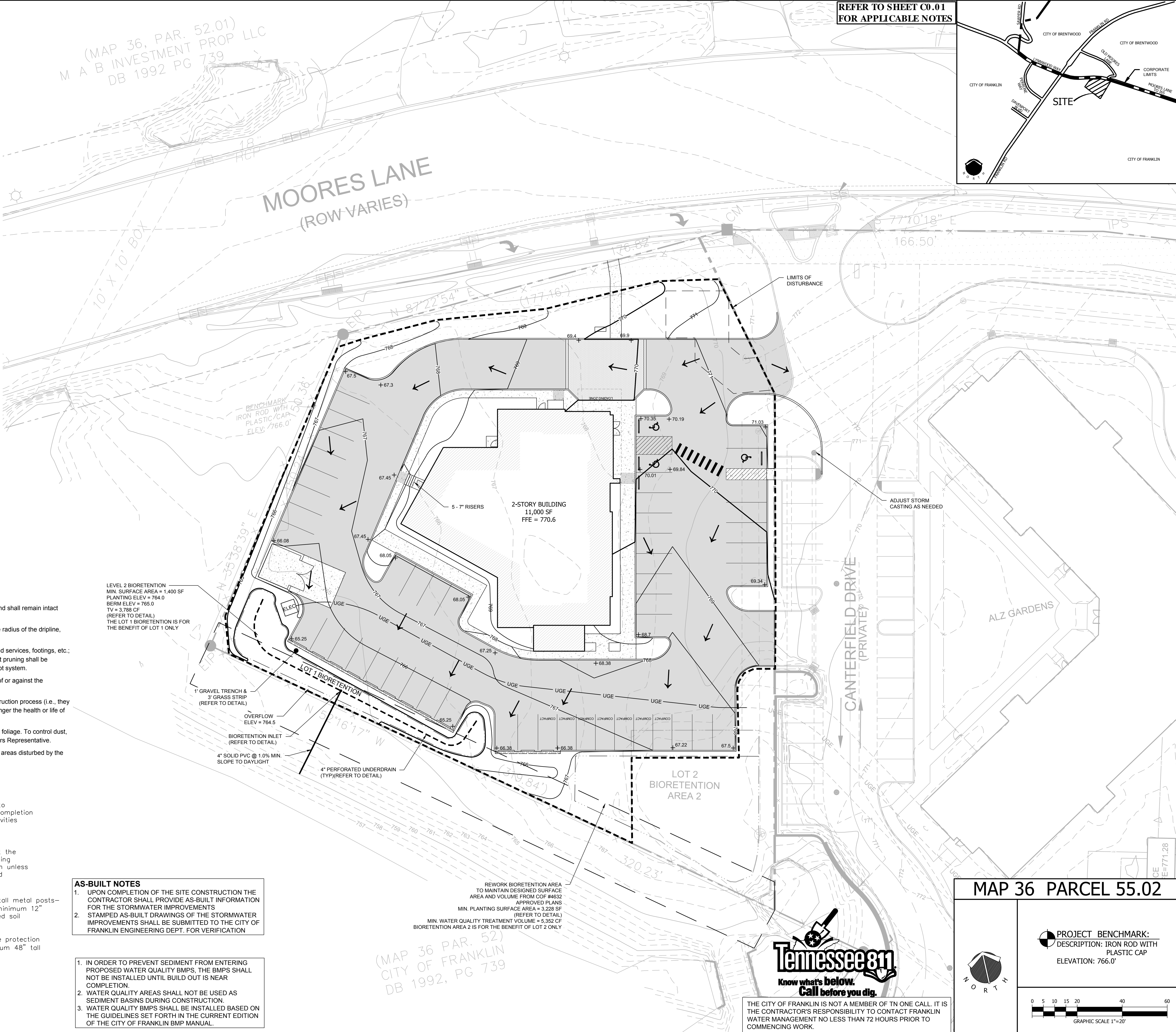
This site plan has been designed to meet the City of Franklin standards and the approval of the planning commission, changes shall not be made to the approved site plan unless approved by either the relevant department superintendent or the planning commission.

- Tree Protection Notes:**
- The tree protection barriers shall be constructed before the issuance of any permits, and shall remain intact throughout the entire period of construction.
  - The tree protection barrier shall be installed as labeled on this plan or a distance to the radius of the dripline, whichever is greatest, as measured from the trunk of the protected tree.
  - Any required excavation in or around the protection zone to accommodate underground services, footings, etc., shall be indicated on the plan, and shall be excavated by hand. In addition, related root pruning shall be accomplished via ANSI A-300-95 standard so as to minimize impact on the general root system.
  - The storage of building materials or stockpiling shall not be permitted within the limits of or against the protection barriers.
  - Trees within the protection barriers must be adequately cared for throughout the construction process (i.e., they must be watered sufficiently). Fill shall not be placed upon the root system as to endanger the health or life of the affected tree.
  - Heavy accumulation of dust from construction activity may occur on the surface of tree foliage. To control dust, tree foliage may be hosed down upon the request of the Landscape Architect or Owners Representative.
  - Removal of all tree protection fencing will be done by the Contractor. Restoration of all areas disturbed by the fencing will be the Contractor's responsibility.

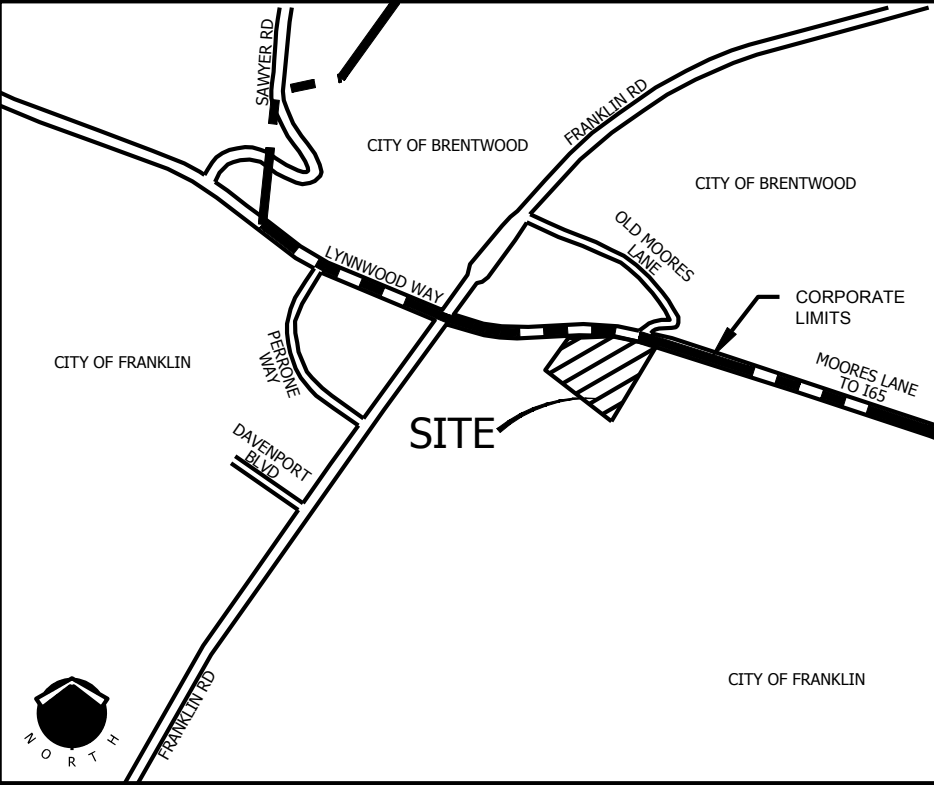


- AS-BUILT NOTES**
- UPON COMPLETION OF THE SITE CONSTRUCTION THE CONTRACTOR SHALL PROVIDE AS-BUILT INFORMATION FOR THE STORMWATER IMPROVEMENTS
  - STAMPED AS-BUILT DRAWINGS OF THE STORMWATER IMPROVEMENTS SHALL BE SUBMITTED TO THE CITY OF FRANKLIN ENGINEERING DEPT. FOR VERIFICATION

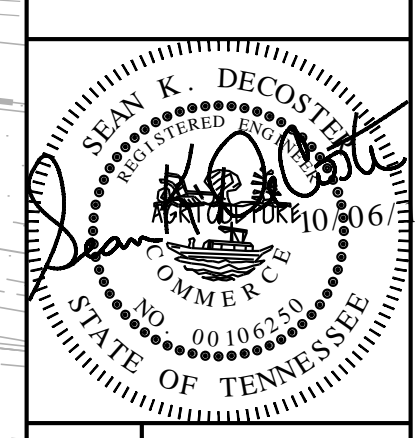
- IN ORDER TO PREVENT SEDIMENT FROM ENTERING PROPOSED WATER QUALITY BMPs, THE BMPs SHALL NOT BE INSTALLED UNTIL BUILD OUT IS NEAR COMPLETION.
- WATER QUALITY AREAS SHALL NOT BE USED AS SEDIMENT BASINS DURING CONSTRUCTION.
- WATER QUALITY BMPs SHALL BE INSTALLED BASED ON THE GUIDELINES SET FORTH IN THE CURRENT EDITION OF THE CITY OF FRANKLIN BMP MANUAL.



REFER TO SHEET C0.01 FOR APPLICABLE NOTES



**CIVIL SITE DESIGN GROUP**  
 ENGINEERS • PLANNERS • LANDSCAPE ARCHITECTS  
 619 SOUTHGATE AVENUE, SUITE 100, NASHVILLE, TN 37203  
 615.244.9966 • WWW.CIVILSITEDESIGN.COM



**GRADING AND DRAINAGE PLAN**  
 SITE PLAN  
 7007 MOORES LANE PUD  
**LOT 1 - IMAC REGENERATIVE CENTER**  
 FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

REV.	COMMENTS	DATE
01	PRE-APP SUBMITTAL	08/22/16
02	SITE PLAN SUBMITTAL	09/12/16
03	CITY COMMENTS	10/06/16

CHKD BY: SKD  
 DATE: 08/22/16  
 DRAWN BY: LEB  
 DATE: 09/12/16  
 CHECKED BY: LEB  
 DATE: 10/06/16

**C3.00**

JOB NO.: 16-036-02  
 COF # 6253

**MAP 36 PARCEL 55.02**

**PROJECT BENCHMARK:**  
 DESCRIPTION: IRON ROD WITH PLASTIC CAP  
 ELEVATION: 766.0'

**Tennessee 811**  
 Know what's below. Call before you dig.

THE CITY OF FRANKLIN IS NOT A MEMBER OF TN ONE CALL. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT FRANKLIN WATER MANAGEMENT NO LESS THAN 72 HOURS PRIOR TO COMMENCING WORK.

**GRAPHIC SCALE 1"=20'**

Oct 05, 2016 - 9:02am T:\CAD\2016\16-036-02\CAD\Civil\Site Plan\16-036-02\_c300 Grading and Drainage Plan.dwg

Within new developments and for off-site lines contracted as a result of, or to provide service to, the new development, all utilities such as cable television, electrical (excluding transformers), gas, sewer, telephone and waterlines shall be placed underground. Light industrial and heavy industrial districts shall be permitted to have their off-site overhead. Changes shall not be made to the lines approved site plan unless approved by either the relevant department superintendent or the planning commission.

This site plan has been designed to meet the City of Franklin standards and the approval of the planning commission, changes shall not be made to the approved site plan unless approved by either the relevant department superintendent or the planning commission.

All sediment & erosion control measures have been designed for the 2-year, 24-hour storm event.

All stormwater BMPs have been designed in accordance with the city's best management practices stormwater management manual.

Installation of water quality BMPs shall follow all installation guidelines set forth in the city of Franklin BMP manual.

Water quality (bioretention) areas shall not be used as sediment basins during construction in order to minimize compaction and sediment accumulation during construction.

1. IN ORDER TO PREVENT SEDIMENT FROM ENTERING PROPOSED WATER QUALITY BMPs, THE BMPs SHALL NOT BE INSTALLED UNTIL BUILD OUT IS NEAR COMPLETION.
2. WATER QUALITY AREAS SHALL NOT BE USED AS SEDIMENT BASINS DURING CONSTRUCTION.
3. WATER QUALITY BMPs SHALL BE INSTALLED BASED ON THE GUIDELINES SET FORTH IN THE CURRENT EDITION OF THE CITY OF FRANKLIN BMP MANUAL.

**Concrete Washdown Note:**

Contractor to provide an area for concrete wash down and equipment fueling. Contractor to coordinate exact location with City of Franklin during pre-construction meeting. Grading Permittee to include BMP's designed to control site wastes such as discarded building materials, chemicals, litter, and sanitary wastes that may cause adverse impacts to water quality. The location of and / or notes referring to said BMP's shall be shown on the EPSC Plan.

**SWPPP LEGEND**

- CD** CHECK DAM
- CE** CONSTRUCTION ENTRANCE
- FR** FILTER RING
- IP** INLET PROTECTION
- RR** RIPRAP
- SF** SILT FENCE
- CW** CONCRETE WASHOUT

**N.O.C. Certification**

Tennessee Construction General Permit Notice of Coverage (N.O.C.) Certification:

Please fill out and sign/date one of the following statements:

1. The project associated with these submitted plans is covered under Tennessee Construction General Permit. TN. \_\_\_\_\_

Signature: *Sean K. Acote* Date: 10/06/16

Circle one: Developer  Project Engineer  Other \_\_\_\_\_

Please attach a copy of the Notice of Coverage under the Construction General Permit.

NOTE: A project will not be scheduled for a Pre-Construction Meeting until the State Construction general Permit N.O.C. letter is submitted.

2. I hereby certify that this project does not require coverage under a Tennessee Construction General Permit. The total Disturbed Area is: 0.99 acres.

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

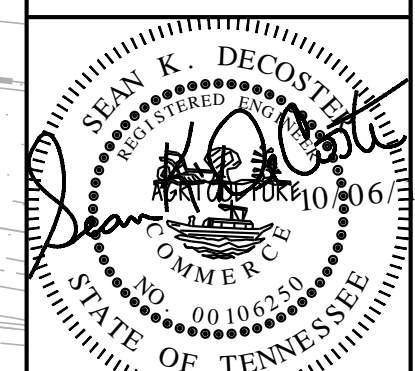
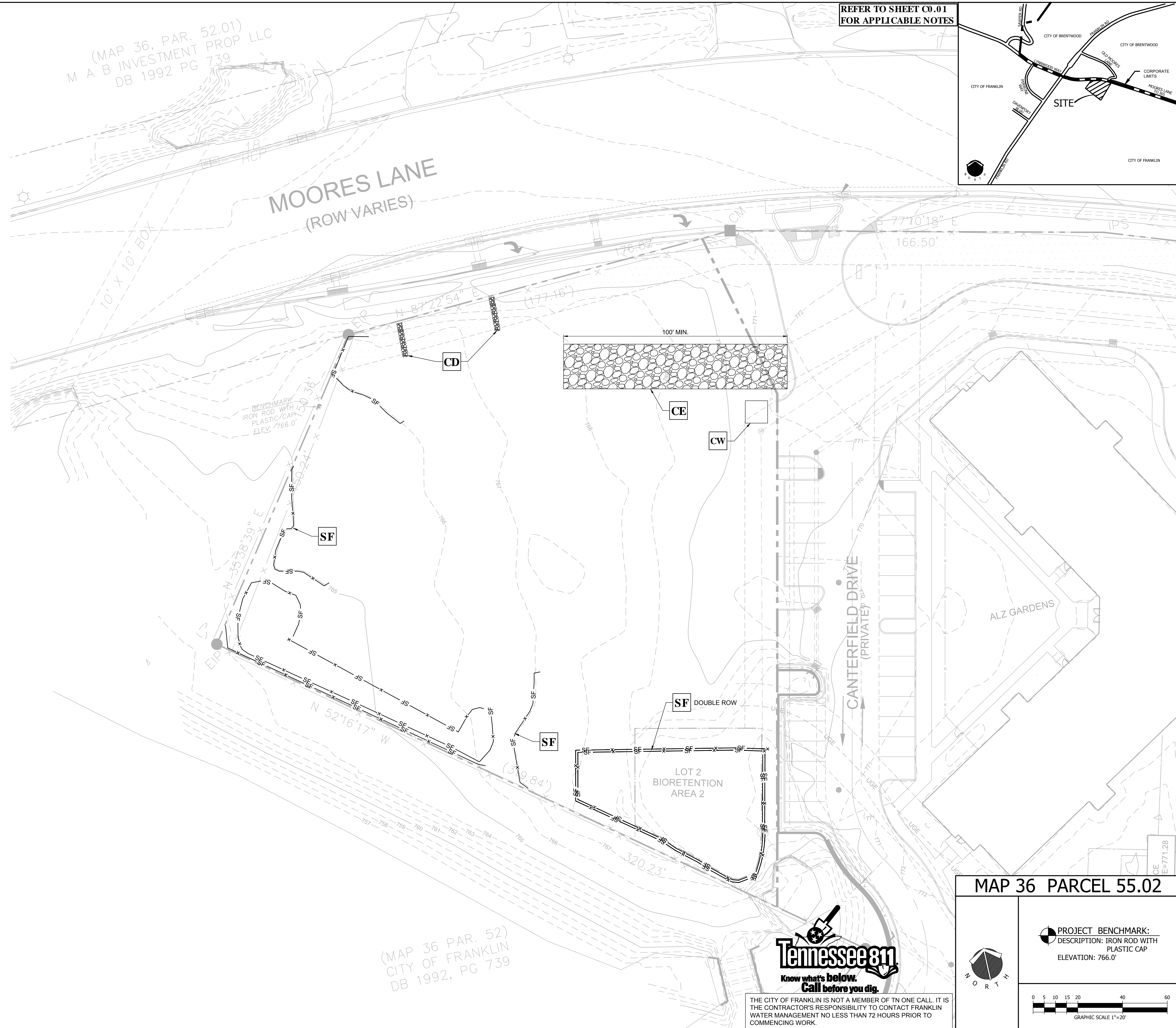
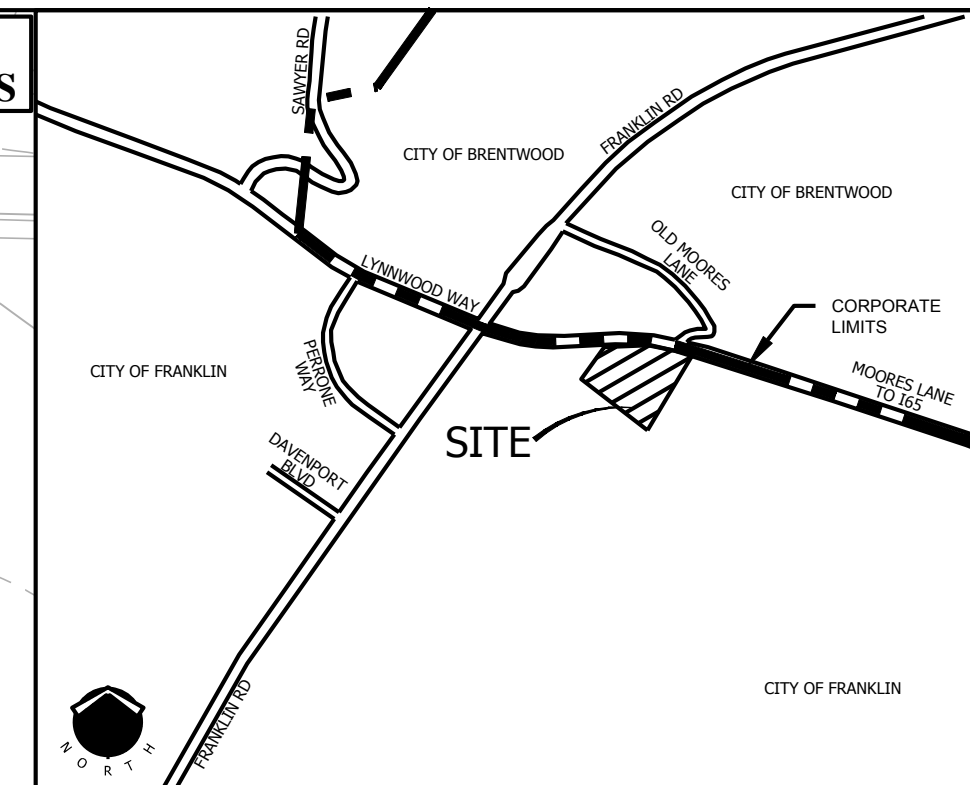
Circle one: Developer  Project Engineer  Other \_\_\_\_\_

Please attach a copy of the Notice of Coverage under the Construction General Permit.

NOTE: Projects of one (1) or more acres require State permit coverage, while projects of less than one (1) acre do not require State permit coverage. Also, projects less than one (1) acre that are part of a total development of one (1) or more acres require State permit coverage.

**DISTURBED AREA: 1.01 ACRES**

REFER TO SHEET C0.01 FOR APPLICABLE NOTES



STORMWATER POLLUTION PREVENTION PLAN - STAGE 1  
 SITE PLAN  
 7007 MOORES LANE PUD  
**LOT 1 - IMAC REGENERATIVE CENTER**  
 FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

REV.	COMMENTS	DATE
1	PRE-APP SUBMITTAL	08/22/16
2	SITE PLAN SUBMITTAL	09/12/16
3	CITY COMMENTS	10/06/16

MAP 36 PARCEL 55.02

**PROJECT BENCHMARK:**  
 DESCRIPTION: IRON ROD WITH PLASTIC CAP  
 ELEVATION: 766.0'

**Tennessee 811**  
 Know what's below. Call before you dig.

THE CITY OF FRANKLIN IS NOT A MEMBER OF TN ONE CALL. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT FRANKLIN WATER MANAGEMENT NO LESS THAN 72 HOURS PRIOR TO COMMENCING WORK.

**C3.01**

JOB NO.: 16-036-02  
 COF # 6253

Oct 05, 2016 - 9:03am T:\CAD\2016\16-036-02\CAD\Civil\Site\_Plan\16-036-02\_C301 SWPPP Stage 1\_Plan.dwg



Within new developments and for off-site lines contracted as a result of, or to provide service to, the new development, all utilities such as cable television, electrical (excluding transformers), gas, sewer, telephone and waterlines shall be placed underground. Light industrial and heavy industrial districts shall be permitted to have their off-site overhead. Changes shall not be made to the lines approved site plan unless approved by either the relevant department superintendent or the planning commission.

This site plan has been designed to meet the City of Franklin standards and the approval of the planning commission, changes shall not be made to the approved site plan unless approved by either the relevant department superintendent or the planning commission.

All sediment & erosion control measures have been designed for the 2-year, 24-hour storm event.

All stormwater BMPs have been designed in accordance with the city's best management practices stormwater management manual.

Installation of water quality BMPs shall follow all installation guidelines set forth in the city of Franklin BMP manual.

Water quality (bioretention) areas shall not be used as sediment basins during construction in order to minimize compaction and sediment accumulation during construction.

- IN ORDER TO PREVENT SEDIMENT FROM ENTERING PROPOSED WATER QUALITY BMPs, THE BMPs SHALL NOT BE INSTALLED UNTIL BUILD OUT IS NEAR COMPLETION.
- WATER QUALITY AREAS SHALL NOT BE USED AS SEDIMENT BASINS DURING CONSTRUCTION.
- WATER QUALITY BMPs SHALL BE INSTALLED BASED ON THE GUIDELINES SET FORTH IN THE CURRENT EDITION OF THE CITY OF FRANKLIN BMP MANUAL.

### SWPPP LEGEND

- CD** CHECK DAM
- CE** CONSTRUCTION ENTRANCE
- FR** FILTER RING
- IP** INLET PROTECTION
- RR** RIPRAP
- SF** SILT FENCE
- OUTFALL LOCATION

### N.O.C. Certification

Tennessee Construction General Permit Notice of Coverage (N.O.C.) Certification:

Please fill out and sign/date one of the following statements:

- The project associated with these submitted plans is covered under Tennessee Construction General Permit. TN.

Signature: Sean K. DeCote Date: 10/06/16

Circle one: Developer  Project Engineer  Other

Please attach a copy of the Notice of Coverage under the Construction General Permit.

NOTE: A project will not be scheduled for a Pre-Construction Meeting until the State Construction general Permit N.O.C. letter is submitted.

- I hereby certify that this project does not require coverage under a Tennessee Construction General Permit. The total Disturbed Area is: 0.99 acres.

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Circle one: Developer  Project Engineer  Other

Please attach a copy of the Notice of Coverage under the Construction General Permit.

NOTE: Projects of one (1) or more acres require State permit coverage, while projects less than one (1) acre do not require State permit coverage. Also, projects less than one (1) acre that are part of a total development of one (1) or more acres require State permit coverage.

**DISTURBED AREA: 1.01 ACRES**

### Stormwater Management

- The project site is located at 7007 Moores Lane in Franklin, TN, and is located within the 8th Civil District. The property is referenced as Map 36, Parcel 55.02 on the Williamson County tax maps.
- Total site area is ±1.12 ac of which ±1.01 ac will be disturbed as part of this development.
- Approximate Construction Time Table:  
Begin Construction - January 2017  
Complete Construction - November 2017
- Construction Sequence:
  - Install construction entrance
  - Install erosion prevention and sediment control measures
  - Install sediment basin, if required
  - Contact City of Franklin - Storm Water Management Section to obtain Storm Water Management and Grading
  - Contact City of Franklin - Streets Department for inspection of erosion prevention and sediment control devices and to obtain a full grading permit
  - Clear, grub, and grade site
  - Construct remainder of site per approved plans including the installation of all additional EPSC measure shown on the plan or as directed by the EPSC Inspector
  - Upon permanent stabilization of the site, remove silt fence, tree protection, and other temporary erosion control devices.
- Refer to geotechnical report for detailed soil data.
- Total New Impervious Area = 0.85 ac

#### PROPOSED DRAINAGE BASIN B (BYPASS)

AREA: 0.022 ac  
IMPERVIOUS AREA: 0.00 ac  
DISTURBED AREA: 0.022 ac  
Rv VALUE: 0.18

#### PEAK FLOW RUNOFF:

2yr - 0.033 fs  
5yr - 0.051 cfs  
10yr - 0.067 cfs  
25yr - 0.090 cfs  
50yr - 0.109 cfs  
100yr - 0.130 cfs

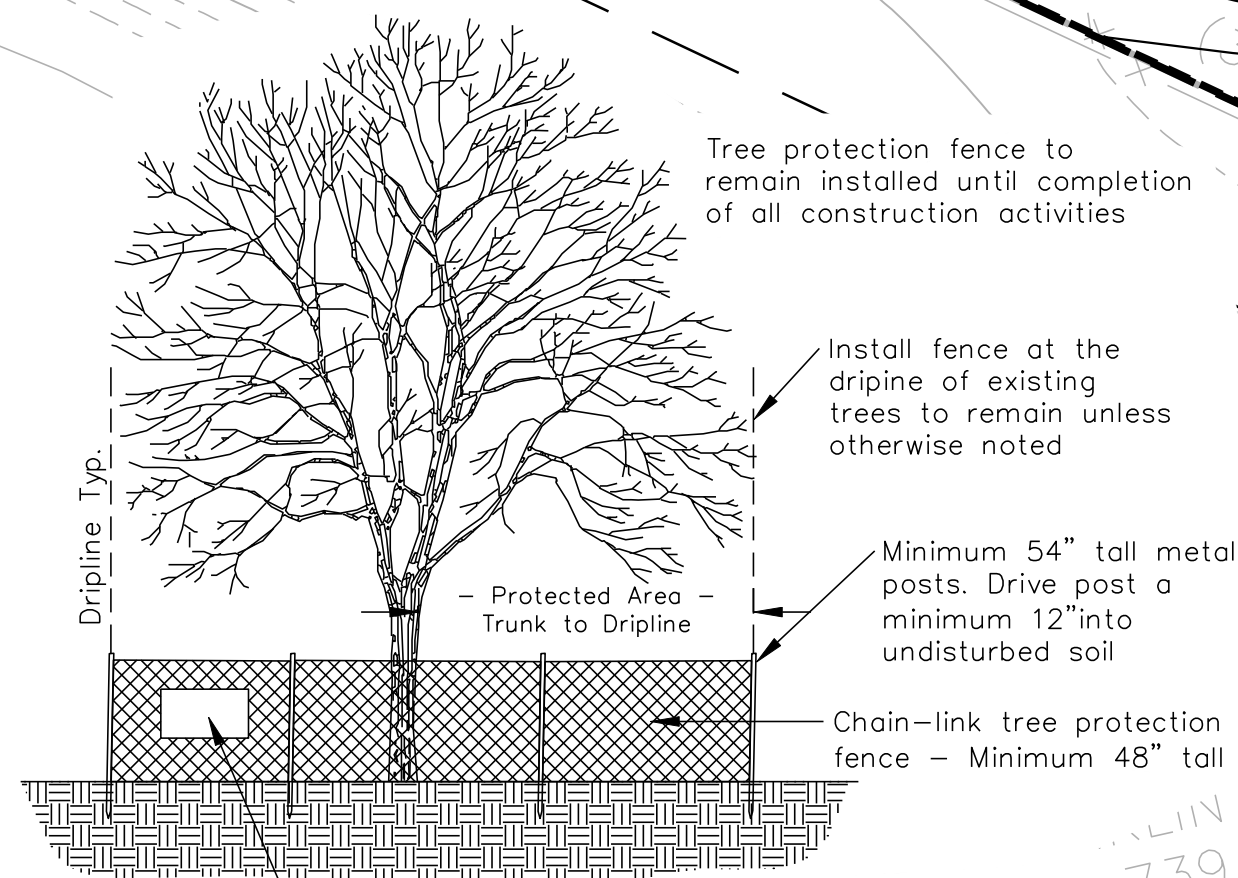
#### PROPOSED DRAINAGE BASIN A (TO BIO AREA)

AREA: 1.0 ac  
IMPERVIOUS AREA: 0.85 ac  
DISTURBED AREA: 0.99 ac  
Rv VALUE: 0.83

PEAK FLOW RUNOFF:  
2yr - 4.260 cfs  
5yr - 5.327 cfs  
10yr - 6.176 cfs  
25yr - 7.357 cfs  
50yr - 8.309 cfs  
100yr - 9.285 cfs

### Franklin Tree Protection Notes

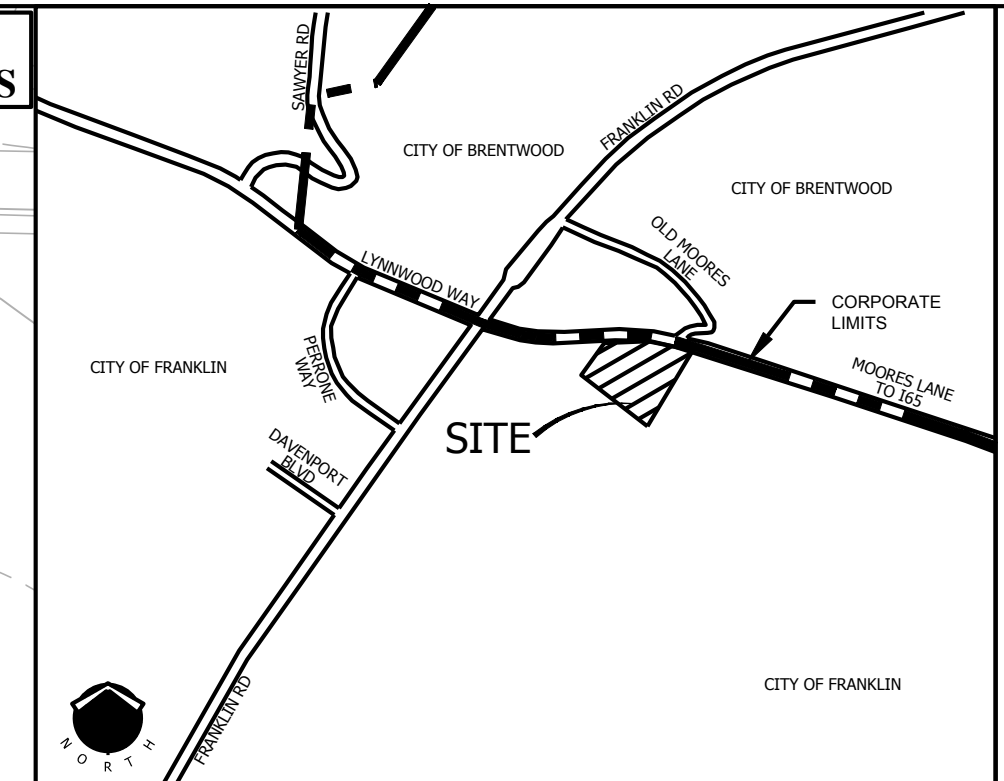
- The tree protection barriers shall be constructed before the issuance of any permits, and shall remain intact throughout the entire period of construction.
- The tree protection barrier shall be installed as labeled on this plan or a distance to the radius of the dripline, whichever is greatest, as measured from the trunk of the protected tree.
- Any required excavation in or around the protection zone to accommodate underground services, footings, etc., shall be indicated on the plan, and shall be excavated by hand. In addition, related root pruning shall be accomplished via ANSI A-300-95 standard so as to minimize impact on the general root system.
- The storage of building materials or stockpiling shall not be permitted within the limits of or against the protection barriers.
- Trees within the protection barriers must be adequately cared for throughout the construction process (i.e., they must be watered sufficiently). Fill shall not be placed upon the root system as to endanger the health or life of the affected tree.
- Heavy accumulation of dust from construction activity may occur on the surface of tree foliage. To control dust, tree foliage may be hosed down upon the request of the Landscape Architect or Owners Representative.
- Removal of all tree protection fencing will be done by the Contractor. Restoration of all areas disturbed by the fencing will be the Contractor's responsibility.



### TREE PROTECTION FENCE DETAIL

N.T.S.

REFER TO SHEET C0.01 FOR APPLICABLE NOTES



### Bioretention Cell or Water Quality Swale Construction Sequencing

- Contractor is to provide method of diverting runoff flow around the construction of the bioretention area during periods of rainfall to ensure sediment does not enter bioretention area
- Excavate bioretention area. Excavators or backhoes should work from the sides to excavate the bioretention area to the design depth and dimensions. Excavating equipment should have scoops with adequate reach so they do not sit inside the footprint of the bioretention area
- Scarify subgrade by ripping the bottom soils to a depth of 12 inches prior to stone placement
- CALL CITY OF FRANKLIN INSPECTOR FOR INSPECTION 615-791-3218
- Install washed stone layer. Install underdrain pipes and connect to the outlet structure. Install additional stone on the underdrain pipes as per the bioretention section detail. Contractor to flag the underdrain locations (3 FT each side) as the additional sections are being installed. A small bobcat loader is to be used for placement of additional sections and is to avoid accessing the areas of the underdrain pipe installation to prevent damage to the perforated pipe.
- Install permeable geotextile fabric.
- Deliver the soil media and store it on plastic sheeting with the appropriate erosion control measures on the downhill and bioretention sides.
- CALL CITY OF FRANKLIN INSPECTOR FOR INSPECTION 615-791-3218
- Install the soil media in 12" lifts until the desired top elevation is achieved. Wait a few days to check for settlement and add additional media as needed to achieve the design elevations. DO NOT COMPACT WITH EQUIPMENT.
- Prepare planting holes for any trees and shrubs, install the vegetation and water accordingly
- Sod slopes
- Contractor to flag limits of bioretention basin for survey to locate and show on AS-BUILT plans.

### Additional BMP Notes

- Construction of the bio-retention area shall begin only after the contributing drainage area has been stabilized.
- Installation of the bio-retention area shall follow the guidelines of the City of Franklin BMP manual which can be found on the City's website.
- Bio-retention area shall be protected during construction by silt fence or construction fencing to prevent soil compaction by heavy equipment.
- In order to prevent sediment from entering proposed water quality bmps, the bmps shall not be installed until build out is near completion.
- Water quality areas shall not be used as sediment basins during construction.
- Water quality BMP's shall be installed based on the guidelines set forth in the current edition of the city of Franklin BMP manual.
- Water Quality signs shall be placed within the water quality areas. The signs, materials, and labor to install will be provided by City staff.

STORMWATER POLLUTION PREVENTION PLAN - STAGE 2

SITE PLAN

7007 MOORES LANE PUD

LOT 1 - IMAC REGENERATIVE CENTER

FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

REV.	COMMENTS
1	PRE-APP SUBMITTAL
2	SITE PLAN SUBMITTAL
3	CITY COMMENTS

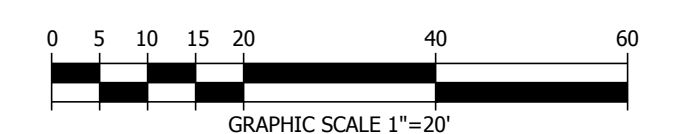
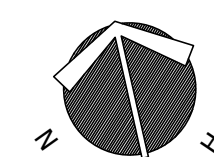
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BY: SKD	08/22/16
BY: LEB	09/12/16
BY: LEB	10/06/16

**C3.02**

JOB NO.: 16-036-02  
COF # 6253

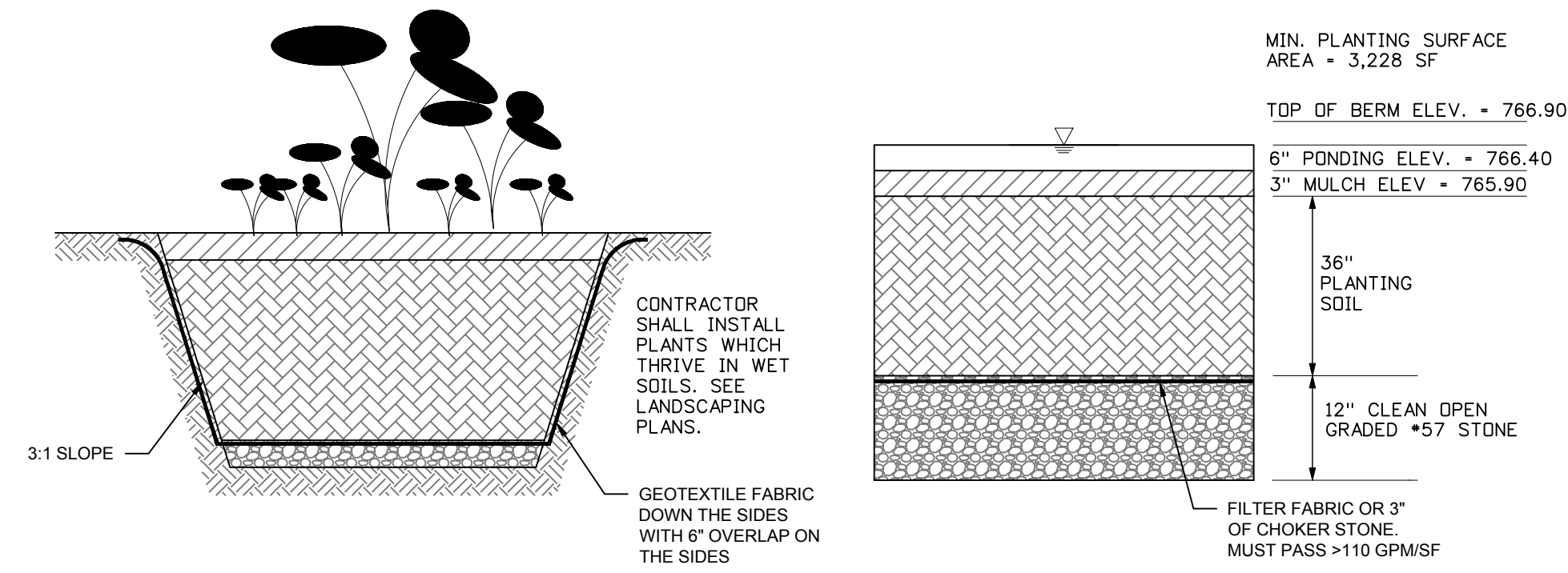
### MAP 36 PARCEL 55.02

PROJECT BENCHMARK:  
DESCRIPTION: IRON ROD WITH PLASTIC CAP  
ELEVATION: 766.0'

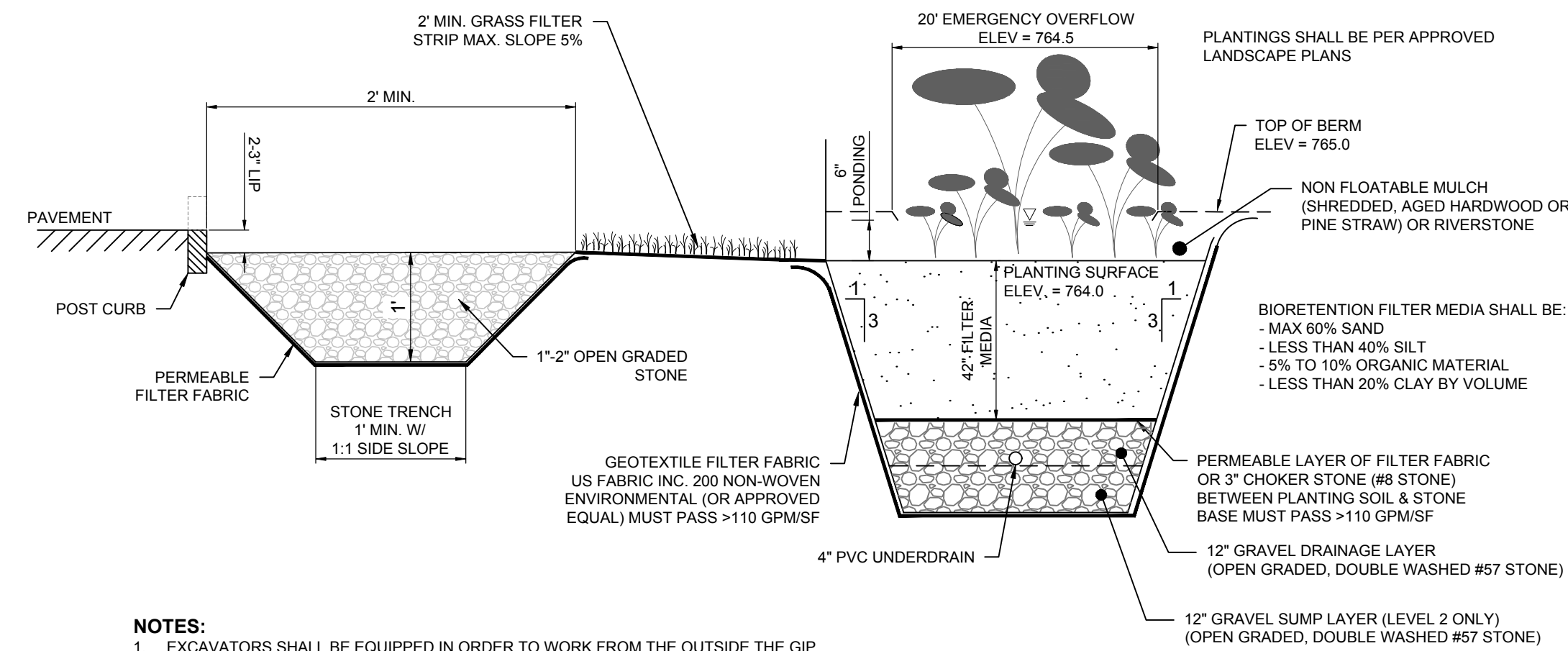


THE CITY OF FRANKLIN IS NOT A MEMBER OF TN ONE CALL. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT FRANKLIN WATER MANAGEMENT NO LESS THAN 72 HOURS PRIOR TO COMMENCING WORK.

- NOTES:
- MULCH MUST BE A MINIMUM OF 6" DEEP.
  - MULCH SHALL BE ONE OF THE FOLLOWING AT THE OWNER'S DIRECTION:
    - NON-FLOATABLE SHREDDED HARDWOOD MULCH
    - PINE STRAW
    - 4"-6" OPEN GRADED RIVER STONE
  - BIORETENTION SOIL MEDIA SHALL BE MAX 60% SAND; LESS THAN 40% SILT; 5% TO 10% ORGANIC MATERIAL AND LESS THAN 20% CLAY BY VOLUME.
  - AFTER BIORETENTION AREA CONSTRUCTION, THE DEVELOPER SHALL HAVE AN AS-BUILT CERTIFICATION OF THE BIORETENTION AREA CONDUCTED BY A REGISTERED PROFESSIONAL ENGINEER.

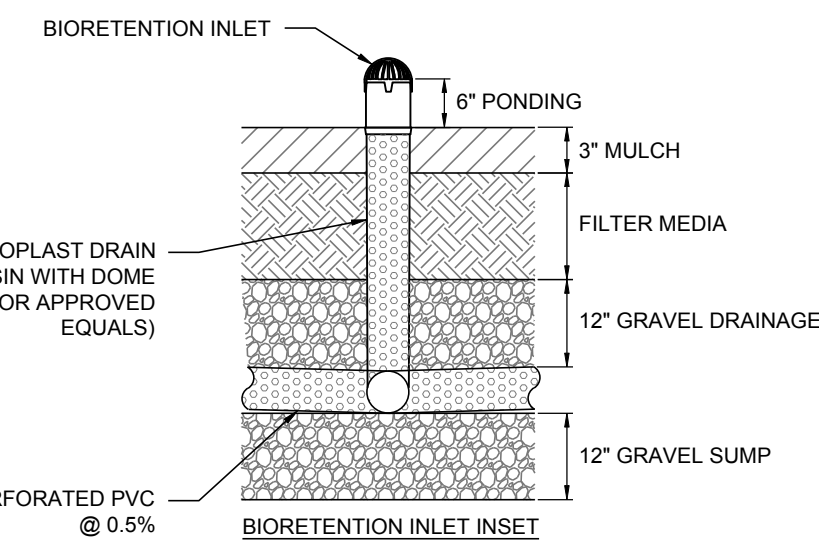


LOT 2 BIORETENTION AREA 2 - CANTERFIELD AT FRANKLIN - COF PROJ. #4632  
N.T.S.

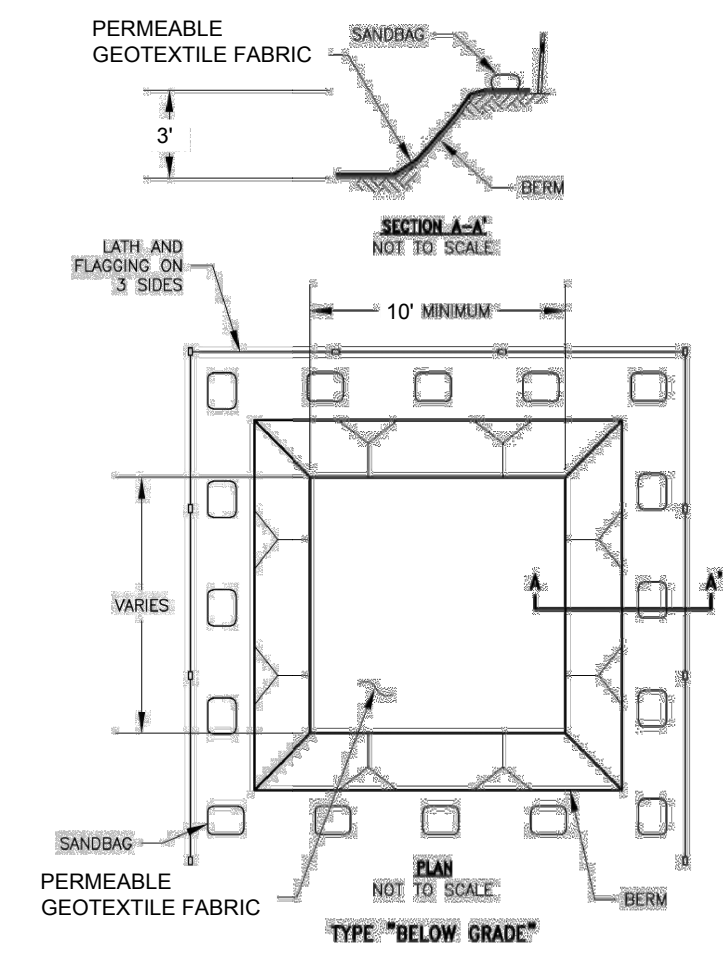


- NOTES:
- EXCAVATORS SHALL BE EQUIPPED IN ORDER TO WORK FROM THE OUTSIDE THE GIP FOOTPRINT. EXCAVATED AREAS SHALL NOT BE COMPACTED OR LOADED IN ANY WAY AS TO CAUSE SOIL COMPACTION.
  - DURING EXCAVATION, MOIST CONDITIONS MAY CAUSE FINES TO CLOG THE NATIVE SOIL SURFACE OF THE FACILITY. IF THE NATIVE SOIL HAS BEEN EXPOSED TO RAINFALL OR IF SMEARING OCCURS, HAND RAKE THE SURFACE TO A DEPTH OF 3" TO RESTORE INFILTRATION CAPACITY.
  - DURING CONSTRUCTION PHASE, CONTRACTOR SHALL DIVERT RUNOFF FLOW AROUND THE GIP AREAS TO ENSURE SEDIMENT DOES NOT ENTER.
  - RECYCLED MATERIAL IS NOT AN APPROVED FOR USE IN GIP FACILITIES.
  - UTILITIES, INCLUDING IRRIGATION ARE PROHIBITED WITHIN THE GIP FOOTPRINT.

- CONSTRUCTION SEQUENCE:
- CONSTRUCT STORMWATER RUNOFF DIVERSIONS.
  - EXCAVATE GIP AREAS.
  - SCARIFY SUBGRADE BY RIPPING THE BOTTOM SOILS TO A DEPTH OF 12 INCHES PRIOR TO STONE PLACEMENT.
  - SCHEDULE GIP INSPECTION WITH CITY STORMWATER INSPECTOR AT (615)791-3218.
  - INSTALL PERMEABLE GEOTEXTILE FABRIC.
  - INSTALL STONE LAYER, UNDERDRAIN PIPES, CONNECT TO OUTLET STRUCTURE.
  - SCHEDULE GIP INSPECTION WITH CITY STORMWATER INSPECTOR AT (615)791-3218.
  - INSTALL ADDITIONAL STONE ON AND FLAG THE UNDERDRAIN (3 FT. EACH SIDE).
  - A SMALL BOBCAT LOADER MAY BE USED FOR PLACEMENT OF ADDITIONAL SECTIONS AVOIDING THE UNDERDRAIN PIPE INSTALLATIONS.
  - DELIVER AND STORE SOIL MEDIA ON PLASTIC SHEETING WITH APPROPRIATE EROSION CONTROL MEASURES.
  - SCHEDULE GIP INSPECTION WITH CITY STORMWATER INSPECTOR AT (615)791-3218.
  - ALLOW 48 HOURS SETTLEMENT. DO NOT COMPACT WITH EQUIPMENT.
  - ADD ADDITIONAL MEDIA AS NEEDED TO ACHIEVE THE DESIGN ELEVATIONS.
  - INSTALL VEGETATION, AND WATER ACCORDINGLY. PERMANENT IRRIGATION IS PROHIBITED IN GIP.
  - INSTALL SPECIFIED GROUND COVER.
  - FLAG LIMITS OF GIP FOR SURVEY LOCATE AND SHOW ON AS-BUILT PLANS.
  - AFTER BIORETENTION AREA CONSTRUCTION, THE DEVELOPER SHALL HAVE AN AS-BUILT CERTIFICATION OF THE BIORETENTION AREA CONDUCTED BY A REGISTERED PROFESSIONAL ENGINEER. CONTRACTOR SHALL SUPPLY ENGINEER WITH AS-BUILT INFORMATION AND PICTURES OF BIORETENTION CONSTRUCTION.
  - WHERE BEDROCK IS ENCOUNTERED DURING THE EXCAVATION OF THE BIORETENTION AREA AN ADDITIONAL 2' OF BEDROCK SHALL BE REMOVED BELOW THE PROPOSED STONE SUMP OF THE BIORETENTION POND AND BACKFILLED WITH #57 STONE.

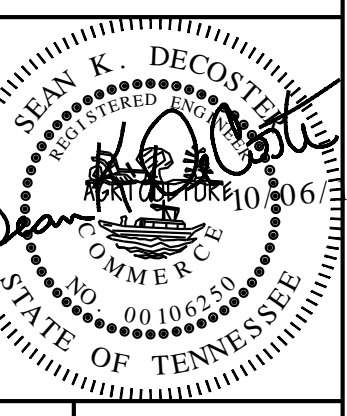
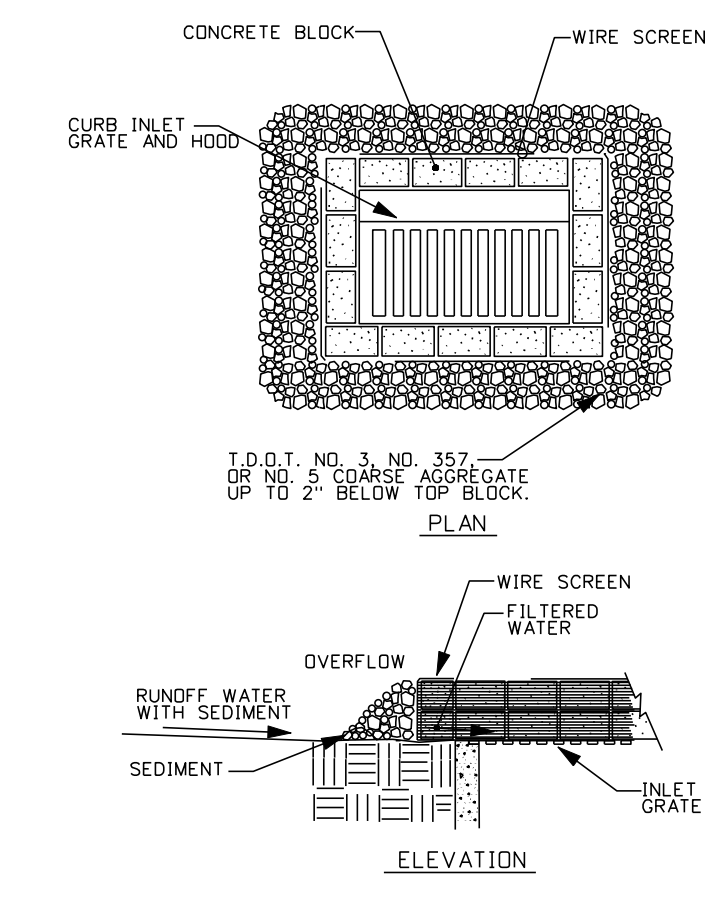
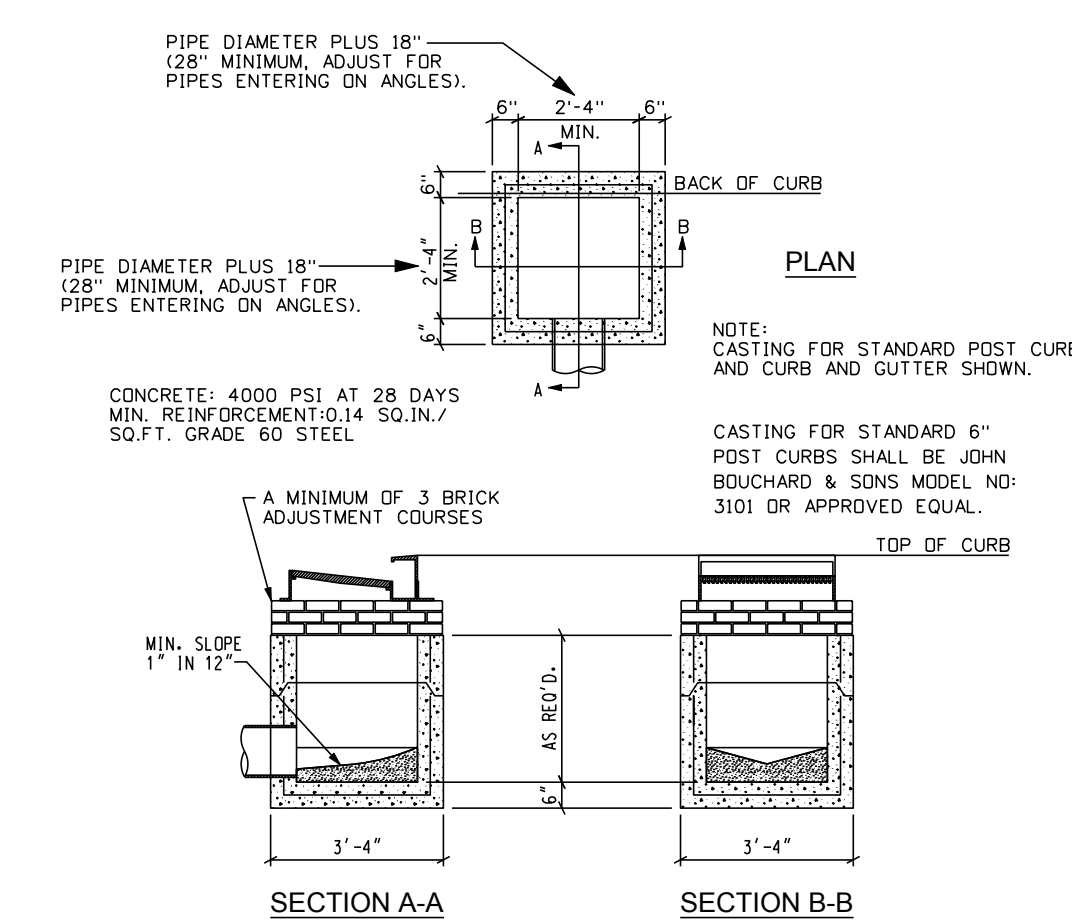
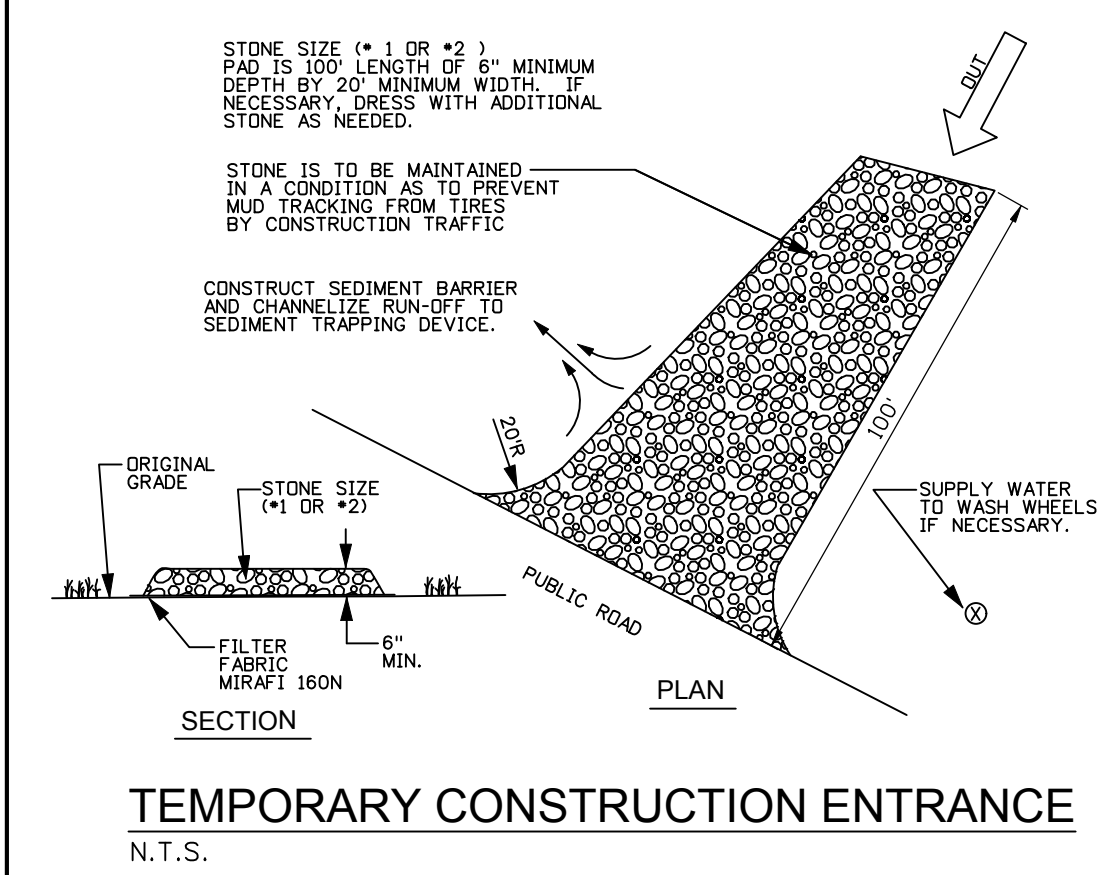
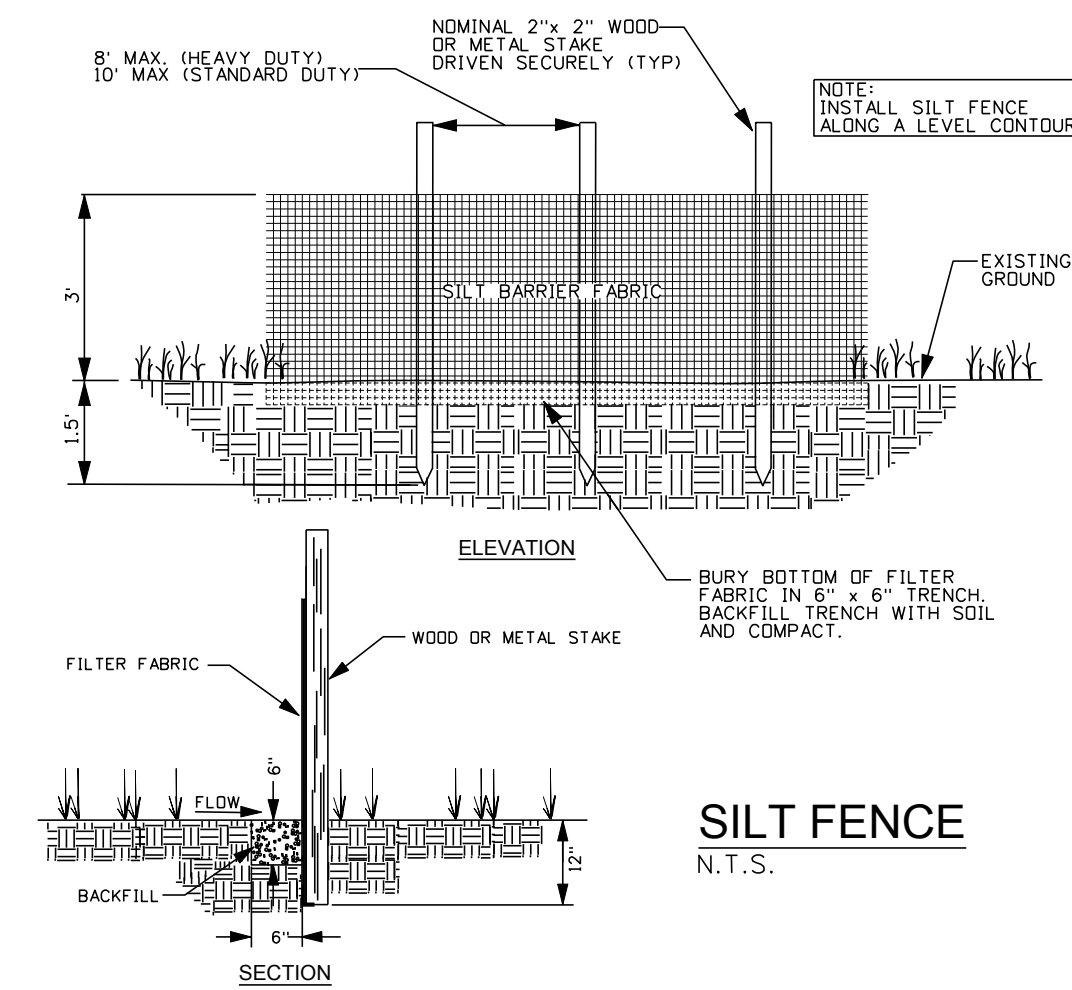
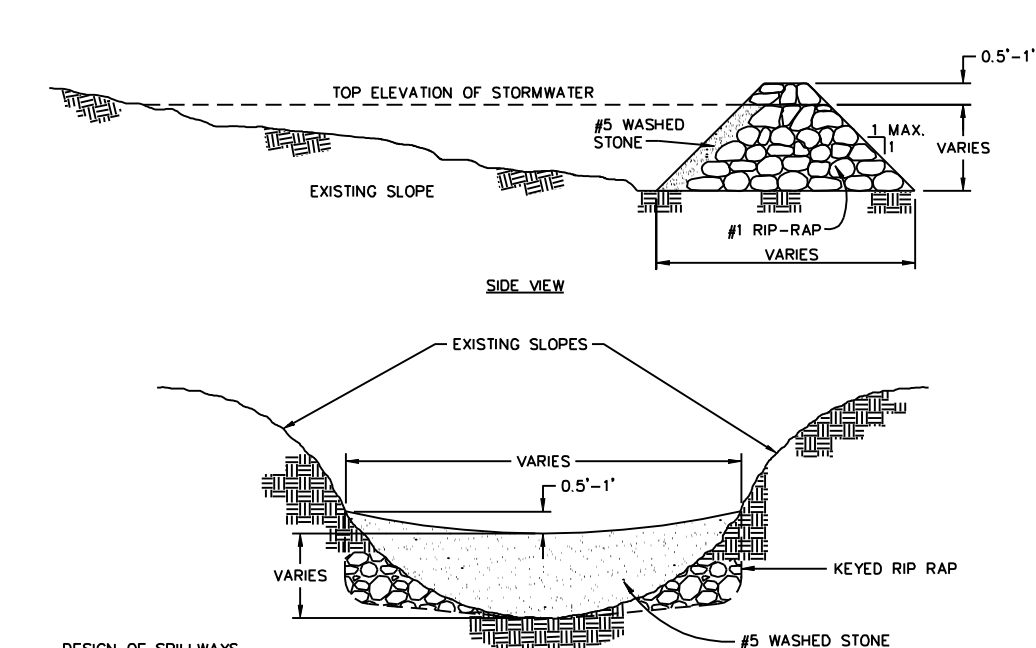
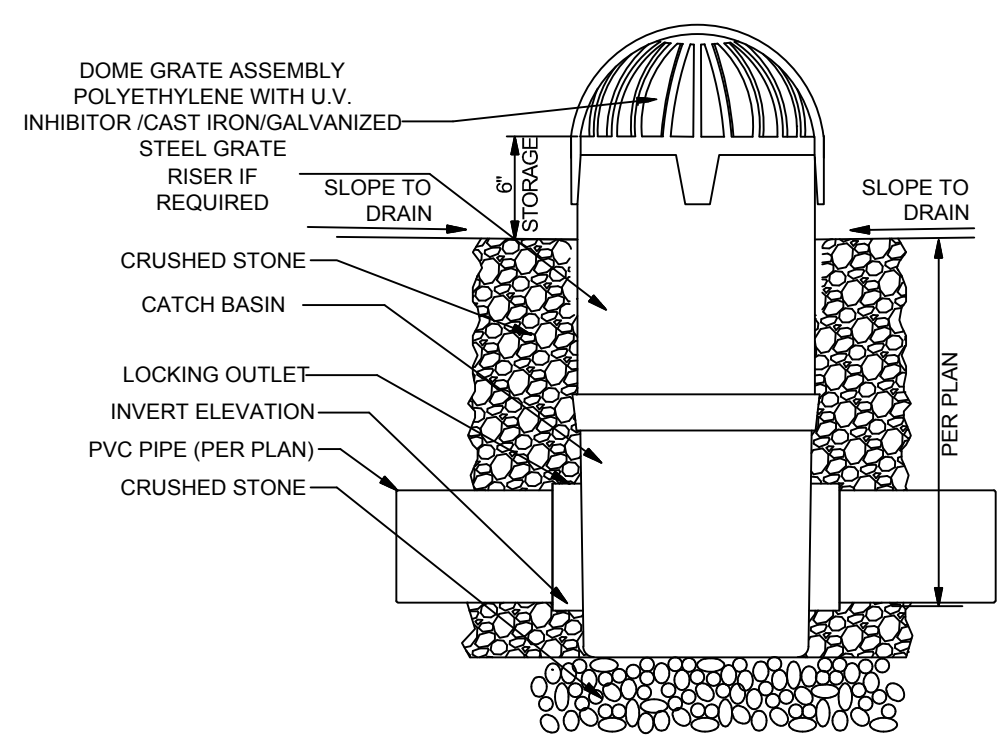


LOT 1 LEVEL 2 BIORETENTION AREA  
N.T.S.



- NOTES:
- CONTRACTOR SHALL PROVIDE AN AREA FOR CONCRETE WASH DOWN IN ACCORDANCE WITH FRANKLIN CP-10
  - ACTUAL LAYOUT DETERMINED IN FIELD
  - CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY
  - MINIMUM FREEBOARD OF 12"
  - WASHOUT FACILITY SHALL BE CLEAN OR NEW FACILITY CONSTRUCTED ONCE THE WASHOUT IS 75% FULL

CONCRETE WASHOUT FACILITY  
N.T.S.



REV.	DATE	COMMENTS
1	08/22/16	PRE-APP SUBMITTAL
2	09/12/16	SITE PLAN SUBMITTAL
3	10/06/16	CITY COMMENTS

**LANDSCAPE DATA**

SITE AREA: 148,957 SF / ±1.12 AC  
 PROPOSED ZONING: SD-X 5.25/11.000  
 CHARACTER AREA OVERLAY: BENNY'S CHAPEL (BCCO-4)  
 BUILDING USE: MEDICAL OFFICE (COMMERCIAL)  
 OTHER OVERLAYS: HHO & 500FT BUFFER OF HHO  
 DEVELOPMENT STANDARD: CONVENTIONAL  
 MIN. LANDSCAPE SURFACE RATIO: 0.20  
 PROPOSED LSR: 35  
 EXISTING TREE CANOPY (TOTAL SITE): 522,727 SF (66%)  
 REQUIRED TREE CANOPY PRESERVATION (TOTAL SITE): 36% OF TOTAL CANOPY = 188,182 SF  
 PROVIDED CANOPY PRESERVED (TOTAL SITE): 448,147 SF (86% OF EXISTING CANOPY)

**TREE CANOPY AREAS:**

EXISTING TREE CANOPY:

TC 1	498,383 SF
TC 2	483 SF
TC 3	227 SF
TC 4	3,049 SF
TC 5	2,292 SF
TC 6	1,747 SF
TC 7	3,067 SF
TC 8	1,122 SF
TC 9	2,542 SF
TC 10	7,132 SF
TC 11	2,683 SF
<b>TOTAL EXISTING TREE CANOPY:</b>	<b>522,727 SF</b>

PRESERVED TREE CANOPY:

TP A	432,781 SF
TP B	2,452 SF
TP C	7,132 SF
TP D	2,883 SF
TP E	3,099 SF
<b>TOTAL PRESERVED TREE CANOPY:</b>	<b>448,147 SF</b>

**TREE CANOPY DATA**

EXISTING TREE CANOPY: 522,727 SF  
 522,727 SF / 797,471 SF = .66 (66%) OF TOTAL SITE  
 REQUIRED CANOPY PRESERVATION = 36% OF TOTAL CANOPY  
 522,727 SF \* 36% = 188,182 SF  
 PROVIDED CANOPY PRESERVED = 448,147 SF (86% OF TOTAL EXISTING CANOPY)

**SPECIMEN TREES**

TOTAL HEALTHY INCHES REMOVED: 74"  
 11 TREES SURVEYED IN LOT 3  
 11 REPLACEMENT SPECIMEN TREES AT 14" OF  
 REPLACEABLE INCHES PER TREE = 154" OF  
 REPLACEMENT CREDIT.

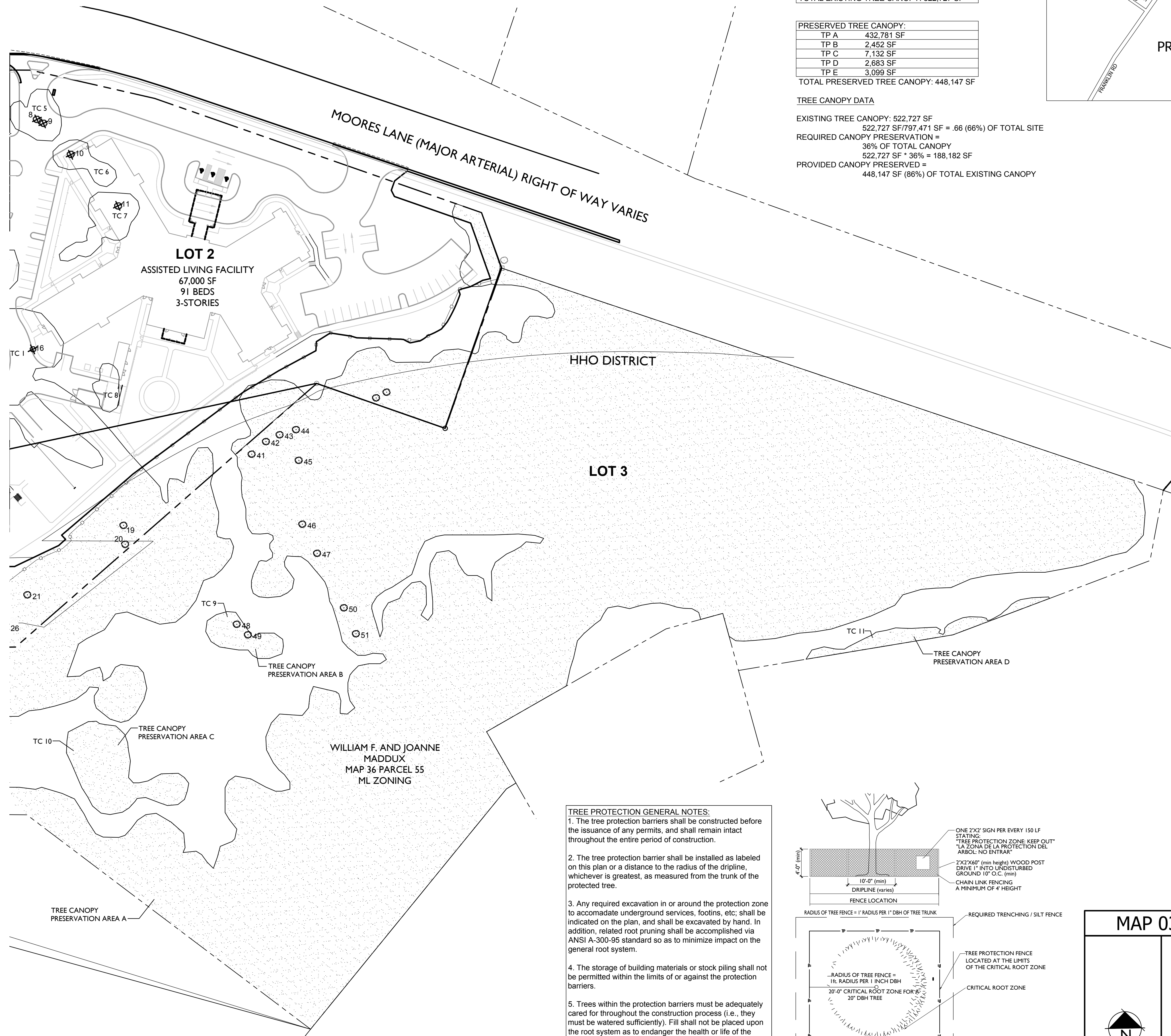
**QUANTITY PROVIDED**

SIZE	TOTAL PROTECTED
14"	11

EXISTING TREES 14" OR GREATER  
 COUNTED AS 14"  
 SEE SHEET L1.0 FOR SURVEY AND LOCATION  
 REQUIRED REPLACEMENT PER  
 THE DEVELOPMENT PLAN: 148"

**LOT 3 SPECIMEN TREES**

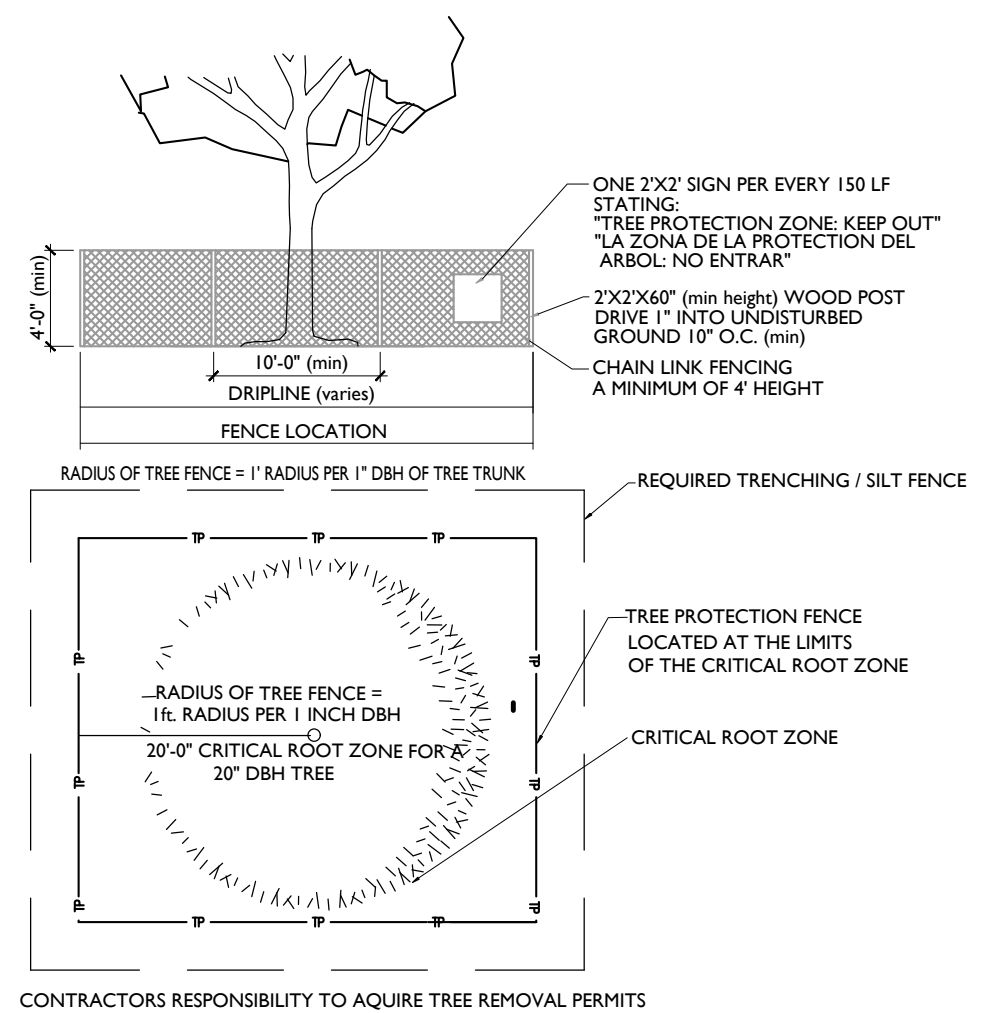
Number	Type	Size
41	Hackberry	28"
42	Elm	24"
43	Elm	26"
44	Elm	30"
45	Locust	24"
46	Hackberry	28"
47	Locust	24"
48	Ash	24"
49	Loblolly pine	28"
50	Locust	26"
51	Hackberry	42"



ACEMENT LOTS 2 & 3: 540"  
 ACEMENT LOT 1: 148"

**TREE PROTECTION GENERAL NOTES:**

- The tree protection barriers shall be constructed before the issuance of any permits, and shall remain intact throughout the entire period of construction.
- The tree protection barrier shall be installed as labeled on this plan or a distance to the radius of the dripline, whichever is greatest, as measured from the trunk of the protected tree.
- Any required excavation in or around the protection zone to accommodate underground services, footings, etc; shall be indicated on the plan, and shall be excavated by hand. In addition, related root pruning shall be accomplished via ANSI A-300-95 standard so as to minimize impact on the general root system.
- The storage of building materials or stock piling shall not be permitted within the limits of or against the protection barriers.
- Trees within the protection barriers must be adequately cared for throughout the construction process (i.e., they must be watered sufficiently). Fill shall not be placed upon the root system as to endanger the health or life of the affected tree.
- There shall be no clearing, grading, construction, storage, or disturbance of vegetation allowed in the stream buffer except as permitted by the City Engineer.



TREE PROTECTION FENCING DETAIL



MAP 036 PARCEL 055.02

PROJECT BENCHMARK:  
 DESCRIPTION: NE PROPERTY CORNER -  
 CONCRETE MONUMENT  
 ELEVATION: 837.93'



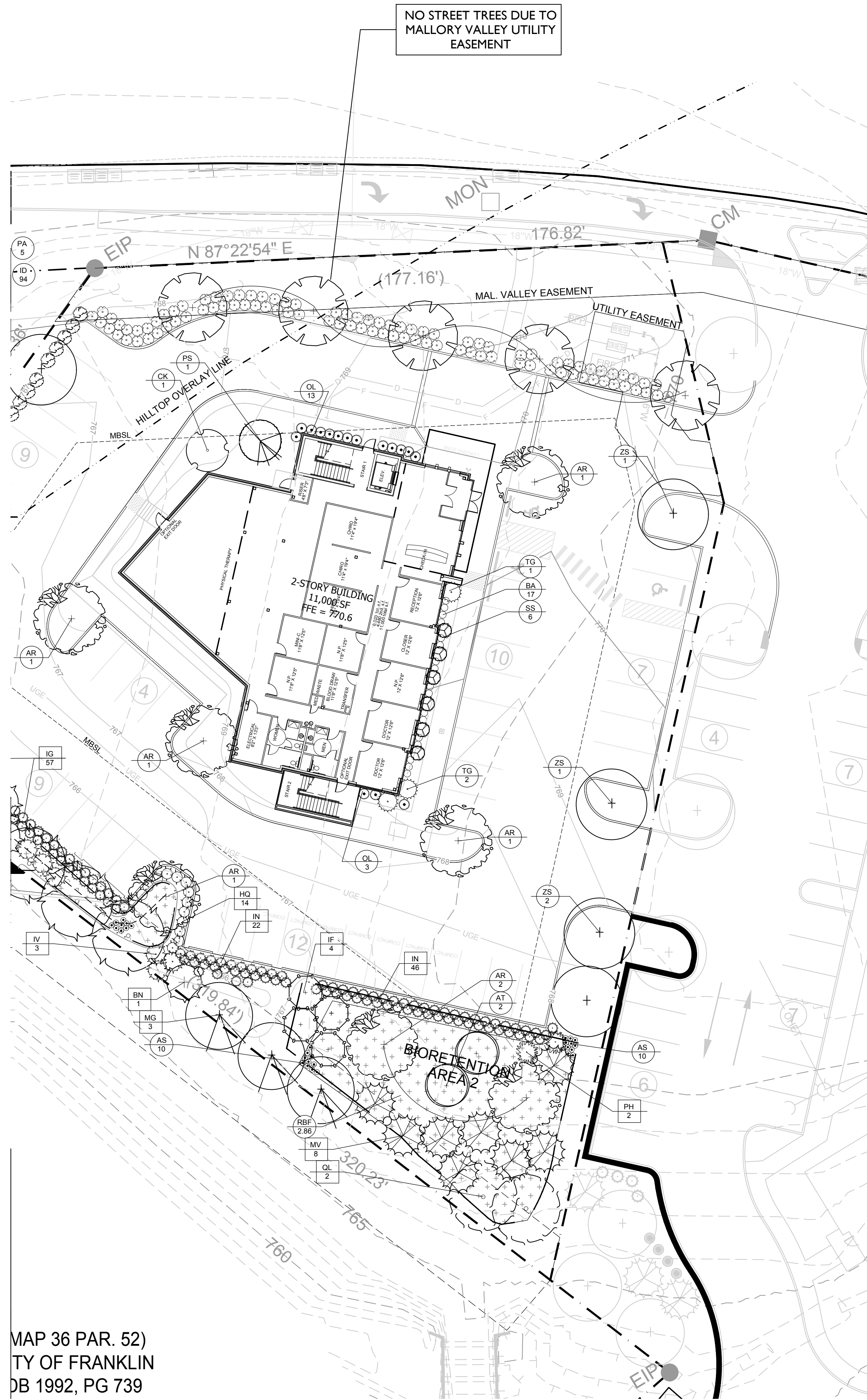
**CIVIL SITE DESIGN GROUP**  
 ENGINEERS, PLANNERS, LANDSCAPE ARCHITECTS  
 816 SOUTHVIEW BLVD., SUITE 200  
 FRANKLIN, TN 37070  
 615.746.9999 WWW.CIVILSITE.COM



**TREE PRESERVATION**  
**IMAC REGENERATION CLINIC**  
 FRANKLIN, WILLIAMSON COUNTY, TENNESSEE  
 MAP 036, PARCEL 055.02

REV.	COMMENTS	DATE	CHKD BY:	DRWN BY:

**L1.0**  
 COF Proj. 6253



**DEVIATION FROM PLAN**  
 ATTENTION OWNER INSTALLER:  
 THIS LANDSCAPE PLAN HAS BEEN DESIGNED TO MEET THE MINIMUM REQUIREMENTS OF THE CITY OF FRANKLIN ZONING ORDINANCE, THE APPROVAL OF THE PLANNING COMMISSION, AND PLANNING DEPARTMENT POLICY. RELOCATING, SUBSTITUTING, RESIZING, REDUCING, OR DELETING MATERIAL MAY CAUSE THE SITE TO NO LONGER CONFORM TO REQUIREMENTS. THIS PROBLEMS MAY ARISE WITH RELEASING THE PERFORMANCE / MAINTENANCE SURETY FOR THE LANDSCAPE MATERIAL. DEVIATION FROM THE APPROVED LANDSCAPE PLAN SHALL NOT BE MADE WITHOUT FIRST CONSULTING THE LANDSCAPE ARCHITECT WHO DESIGNED THE PROJECT. THE DESIGNING LANDSCAPE ARCHITECT SHALL REVIEW PROPOSED SUBSTITUTIONS TO ENSURE THAT ALL CITY STANDARDS AND REQUIREMENTS ARE MET. THE CITY SHALL BE NOTIFIED IN WRITING UPON FINAL APPROVAL OF ANY PLANT SUBSTITUTIONS.  
 OWNERS: ELM HILL DEVELOPMENT CORP, CONTACT LARRY BEADLE 615-948-7644  
 LANDSCAPE ARCHITECT: GREG GAMBLE, 615-795-5765  
 FRANKLIN PLANNING DEPARTMENT: 615-791-3212

**LANDSCAPE DATA**

SITE AREA:	148,957 SF ± 1.12 AC
PROPOSED ZONING:	SD-X 3.25(1) L000
CHARACTER AREA OVERLAY:	BERRY'S CHAPEL (BCCO-4)
BUILDING USE:	MEDICAL OFFICE (COMMERCIAL)
OTHER OVERLAYS:	HMO & 500' BUFFER OF HMO
DEVELOPMENT STANDARD:	CONVENTIONAL
MIN. LANDSCAPE SURFACE RATIO:	0.20
PROPOSED LSR:	35
EXISTING TREE CANOPY (TOTAL SITE):	522,727 SF (66%)
REQUIRED TREE CANOPY PRESERVATION (TOTAL SITE):	36% OF TOTAL CANOPY = 188,182 SF
PROVIDED CANOPY PRESERVED (TOTAL SITE):	448,147 SF (86% OF EXISTING CANOPY)

**PLANT SCHEDULE**

QTY	SYM	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	LEAF	SPACING	NOTES
<b>CANOPY TREES</b>								
4	AR	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2.5" CAL., B/B	10'-12'	DECIDUOUS	AS NOTED	CENTRAL LEADER; FULL BRANCHING; BALANCED CANOPY
3	MG	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	2.5" CAL., B/B	10'-12'	EVERGREEN	AS NOTED	CENTRAL LEADER; FULL BRANCHING; BALANCED CANOPY
5	PA	PLATANUS X ACERIFOLIA	LONDON PLANETREE	2.5" CAL., B/B	10'-12'	DECIDUOUS	AS NOTED	CENTRAL LEADER; FULL BRANCHING; BALANCED CANOPY
6	ZS	ZELKOVA SERRATA 'VILLAGE GREEN'	'VILLAGE GREEN' JAPANESE ZELKOVA	2.5" CAL., B/B	10'-12'	DECIDUOUS	AS NOTED	CENTRAL LEADER; FULL BRANCHING; BALANCED CANOPY
<b>UNDERSTORY TREES</b>								
1	BN	BETULA NIGRA 'DURA HEAT'	'DURA HEAT' RIVER BIRCH	2" CAL., B/B	8'-10'	DECIDUOUS	AS NOTED	MULTI-LEADER; FULL BRANCHING; BALANCED CANOPY
1	CK	CORNUS KOUSA	KOUSA DOGWOOD	2" CAL., B/B	8'-10'	DECIDUOUS	AS NOTED	MULTI-LEADER; FULL BRANCHING; BALANCED CANOPY
1	PS	PRUNUS SERRULATA 'KWANZAN'	'KWANZAN' CHERRY	2" CAL., B/B	8'-10'	DECIDUOUS	AS NOTED	CENTRAL LEADER; FULL BRANCHING; BALANCED CANOPY
6	SS	LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE'	'SLENDER SILHOUETTE' SWEETGUM	2" CAL., B/B	8'-10'	DECIDUOUS	AS NOTED	CENTRAL LEADER
<b>SHRUBS</b>								
17	BA	RHOODENDRON X 'RLH1-1P2'	BLOOM-A-THON RED AZALEA	3 GAL.	30"	EVERGREEN	AS NOTED	
14	HQ	HYDRANGEA QUERCIFOLIA 'ALICE'	'ALICE' OAKLEAF HYDRANGEA	3" x 3"	30"	EVERGREEN	36" O.C.	
94	ID	ILEX CORNUTA 'DWARF BURFORD'	DWARF BURFORD HOLLY	3" x 3"	30"	EVERGREEN	36" O.C.	
57	IG	ILEX GLABRA	INKBERRY	3" x 3"	30"	EVERGREEN	36" O.C.	
68	IN	ILEX CORNUTA X 'NEEDLEPOINT'	NEEDLEPOINT HOLLY	30" x 30"	3'	DECIDUOUS	AS NOTED	
3	IV	ITEA VIRGINICA 'HENRY'S GARNET'	VIRGINIA SWEETSPIRE	3"	30"	DECIDUOUS	AS NOTED	
5	JC	JUNIPERUS VIRGINIANA 'CANNABERT'	'CANNABERT' JUNIPER	6"	3'	EVERGREEN	AS NOTED	
16	OL	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN LAUREL	2"	2'	EVERGREEN	24" O.C.	
20	PL	PRUNUS LAUROCERASUS 'SCHIPKENSIS'	SCHIP LAUREL	3"	3'	EVERGREEN	36" O.C.	
3	TG	THUJA OCCIDENTALIS 'EMERALD GREEN'	EMERALD GREEN ARBORVITAE	6-8"	3'	EVERGREEN	AS NOTED	

NOTE: LANDSCAPE MATERIAL TO BE FIELD ADJUSTED TO AVOID CONFLICTS WITH UTILITIES. NO LANDSCAPE MATERIAL SHALL BE BETWEEN FIRE HYDRANT AND STREET OR WITHIN 3' IN OTHER DIRECTIONS.

**BIO-RETENTION AREA 1 PLANT SCHEDULE**

QTY	SYM	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	LEAF	SPACING	NOTES
<b>CANOPY TREES</b>								
1	AR	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2.5" CAL., B/B	10'-12'	DECIDUOUS	AS NOTED	CENTRAL LEADER; FULL BRANCHING; BALANCED CANOPY
3	QB	QUERCUS BICOLOR	SWAMP WHITE OAK	2.5" CAL., B/B	10'-12'	DECIDUOUS	AS NOTED	CENTRAL LEADER; FULL BRANCHING; BALANCED CANOPY
3	QL	QUERCUS LYRATA	OVERCUP OAK	2.5" CAL., B/B	10'-12'	DECIDUOUS	AS NOTED	CENTRAL LEADER; FULL BRANCHING; BALANCED CANOPY
<b>UNDERSTORY TREES</b>								
4	BN	BETULA NIGRA 'DURA HEAT'	'DURA HEAT' RIVER BIRCH	2" CAL., B/B	8'-10'	DECIDUOUS	AS NOTED	MULTI-LEADER; FULL BRANCHING; BALANCED CANOPY
2	MV	MAGNOLIA VIRGINIANA	SWEETBAY MAGNOLIA	2" CAL., B/B	8'-10'	EVERGREEN	AS NOTED	MULTI-LEADER; FULL BRANCHING; BALANCED CANOPY
<b>SHRUBS</b>								
10	AS	ASCLEPIAS SYRIACA	COMMON MILKWEEED	1 GAL.	12"	DECIDUOUS	12" O.C.	
7	PH	ILEX X DECIDUA 'WARREN'S RED'	POSSUMHAW	3"	30"	DECIDUOUS	AS NOTED	
3	IV	ITEA VIRGINICA 'HENRY'S GARNET'	VIRGINIA SWEETSPIRE	3"	30"	DECIDUOUS	AS NOTED	
<b>GROUND COVER</b>								
SEED	RBF	RETENTION BASIN FLOOR MIX - LOW MAINTENANCE - BY ERNST SEED COMPANY		1 LB PER 1000 SF	1,240 SF	1.24 LBS		

**BIO-RETENTION AREA 2 PLANT SCHEDULE**

QTY	SYM	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	LEAF	SPACING	NOTES
<b>CANOPY TREES</b>								
2	AR	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2.5" CAL., B/B	10'-12'	DECIDUOUS	AS NOTED	CENTRAL LEADER; FULL BRANCHING; BALANCED CANOPY
2	QL	QUERCUS LYRATA	OVERCUP OAK	2.5" CAL., B/B	10'-12'	DECIDUOUS	AS NOTED	CENTRAL LEADER; FULL BRANCHING; BALANCED CANOPY
<b>UNDERSTORY TREES</b>								
2	AT	ASIMINA TRILOBA	PAW PAW	2" CAL., B/B	8'-10'	DECIDUOUS	AS NOTED	CENTRAL LEADER; FULL BRANCHING; BALANCED CANOPY
4	IF	ILEX X FOSTERIA	FOSTER HOLLY	2" CAL., B/B	8'-10'	EVERGREEN	AS NOTED	CENTRAL LEADER; FULL BRANCHING; BALANCED CANOPY
8	MV	MAGNOLIA VIRGINIANA	SWEETBAY MAGNOLIA	2" CAL., B/B	8'-10'	EVERGREEN	AS NOTED	MULTI-LEADER; FULL BRANCHING; BALANCED CANOPY
<b>SHRUBS</b>								
20	AS	ASCLEPIAS SYRIACA	COMMON MILKWEEED	1 GAL.	12"	DECIDUOUS	12" O.C.	
2	PH	ILEX X DECIDUA 'WARREN'S RED'	POSSUMHAW	3"	30"	DECIDUOUS	36" O.C.	
<b>GROUND COVER</b>								
SEED	RBF	RETENTION BASIN FLOOR MIX - LOW MAINTENANCE - BY ERNST SEED COMPANY		1 LB PER 1000 SF	2,860 SF	2.86 LBS		

**INCOMPATIBLE USE BUFFER**

Developing Use:	SD-X
Existing Adjacent Use/Zoning:	1.12
Site Acres:	8
Buffer Class:	30'
Buffer Width:	276'
Buffer Length:	28
Minimum Trees Required:	29
Trees Provided (Buffer):	166
Minimum Shrubs Required:	166
Shrubs Provided (Buffer):	166

NOTE:  
 30' BUFFER IS SHARED BETWEEN THIS PROPERTY AND ADJACENT CITY PROPERTY. ALL PLANT MATERIAL IS PLANNED FOR THIS PROPERTY.

**LANDSCAPE REQUIREMENTS: (ACI)**

	QUANTITY PROVIDED		INCHES PROVIDED
	EXISTING TREES	REQUIRED	
TOTAL ACI AREA: 35 AC			
TOTAL FORESTED AREA IN OPEN SPACE: 0			
TOTAL NON FORESTED OPEN SPACE: 35 AC			
82 ACI x .35 AC = 29 CANOPY ACI REQUIRED			
21 ACI x .35 AC = 8 UNDERSTORY ACI REQUIRED			
96 ACI x .35 AC = 18 SHRUBS REQUIRED			
3" CAL. CANOPY TREES:		16	40
2.5" CAL. CANOPY TREES:		15	30
2" CAL. UNDERSTORY TREES:		70	37
AGGREGATE CALIPER INCHES PROVIDED:			175
AGGREGATE CALIPER INCHES REQUIRED:			175
MINIMUM 18" HEIGHT SHRUBS (50 PER AC):	18	175	
TOTAL SHRUBS PROVIDED:		175	
TOTAL SHRUBS REQUIRED:		18	

**MINIMUM BUFFER/SCREENING REQUIREMENTS:**  
 HVAC units, cooling and/or mechanical equipment are mounted on the:  
 Rooftop

**THIS DEVELOPMENT IS REQUIRED TO HAVE THE FOLLOWING LANDSCAPE IMPROVEMENTS:**

Buffer/Screen Type:	Purpose
<input checked="" type="checkbox"/> Foundation Planting	Along Primary Facade
<input checked="" type="checkbox"/> Perimeter Planting Strip	Screen Vehicle Use Areas and to Create "Modules"
<input checked="" type="checkbox"/> Utility Box Screen from view	Screen Utility Boxes and Meters from View
<input checked="" type="checkbox"/> Dumpster Screen	Screen Dumpster from View
<input checked="" type="checkbox"/> Loading/Service Area	Buffer the Street or Residential Property
<input checked="" type="checkbox"/> Incompatible Use Buffer	Buffer the adjacent less intensive use

Landscape Architecture Provided by:  
 Gamble Design Collaborative, LLC  
 Greg Gamble, RLA  
 144 Southeast Parkway, Suite 200  
 Franklin, Tennessee 37064  
 615.975.5765  
 greggamble209@gmail.com

AFTER INSTALLATION LANDSCAPE WILL BE MAINTAINED BY:  
 ELM HILL DEVELOPMENT CORP.  
 403 GRANNY WHITE PIKE  
 BRENTWOOD, TN 37027  
 (615) 948-7644



**MAP 036 PARCEL 055.02**

PROJECT BENCHMARK:  
 DESCRIPTION: NE PROPERTY CORNER - CONCRETE MONUMENT  
 ELEVATION: 837.93'

Scale: 1"=20'

MAP 36 PAR. 52)  
 TY OF FRANKLIN  
 DB 1992, PG 739

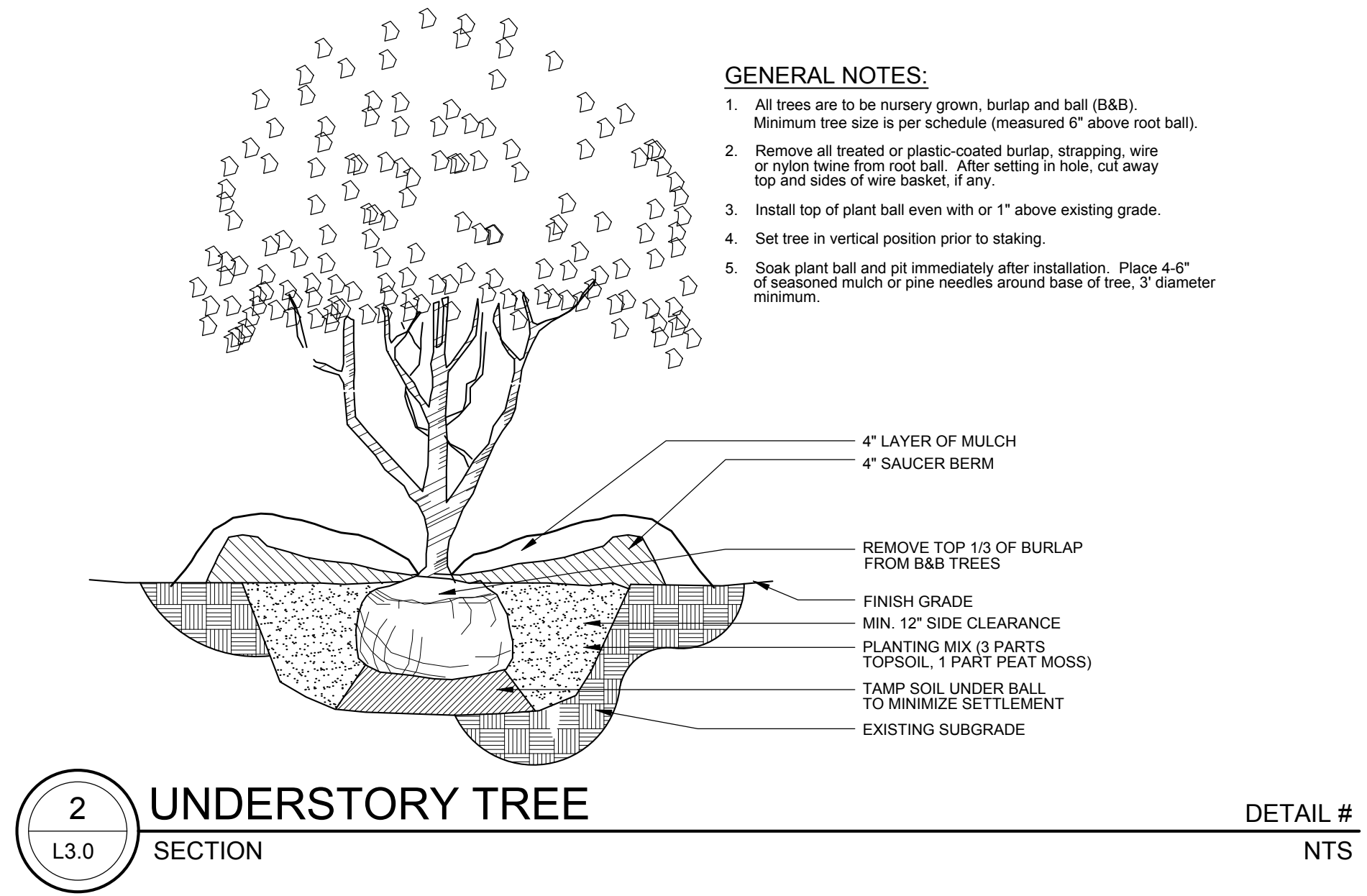
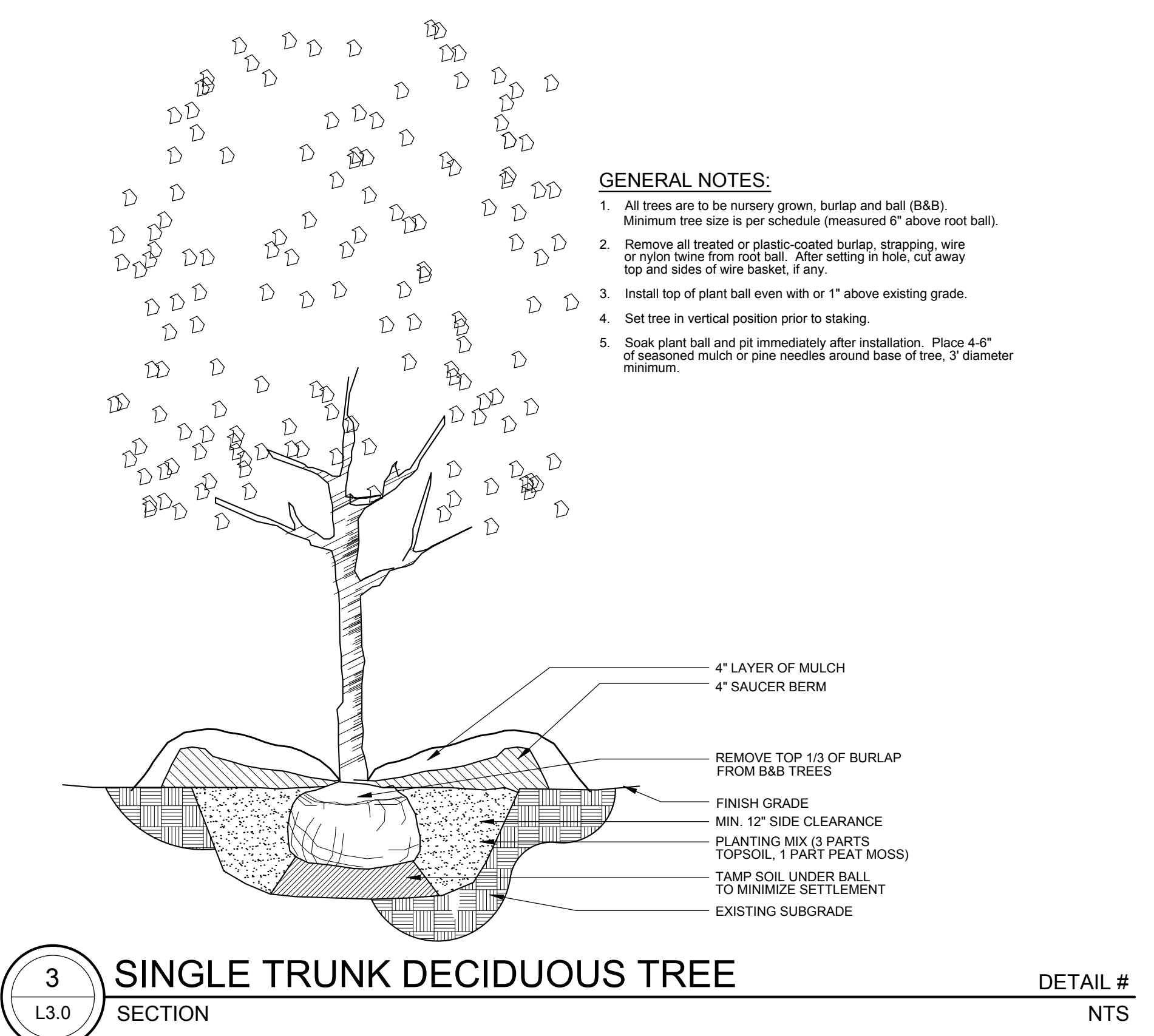
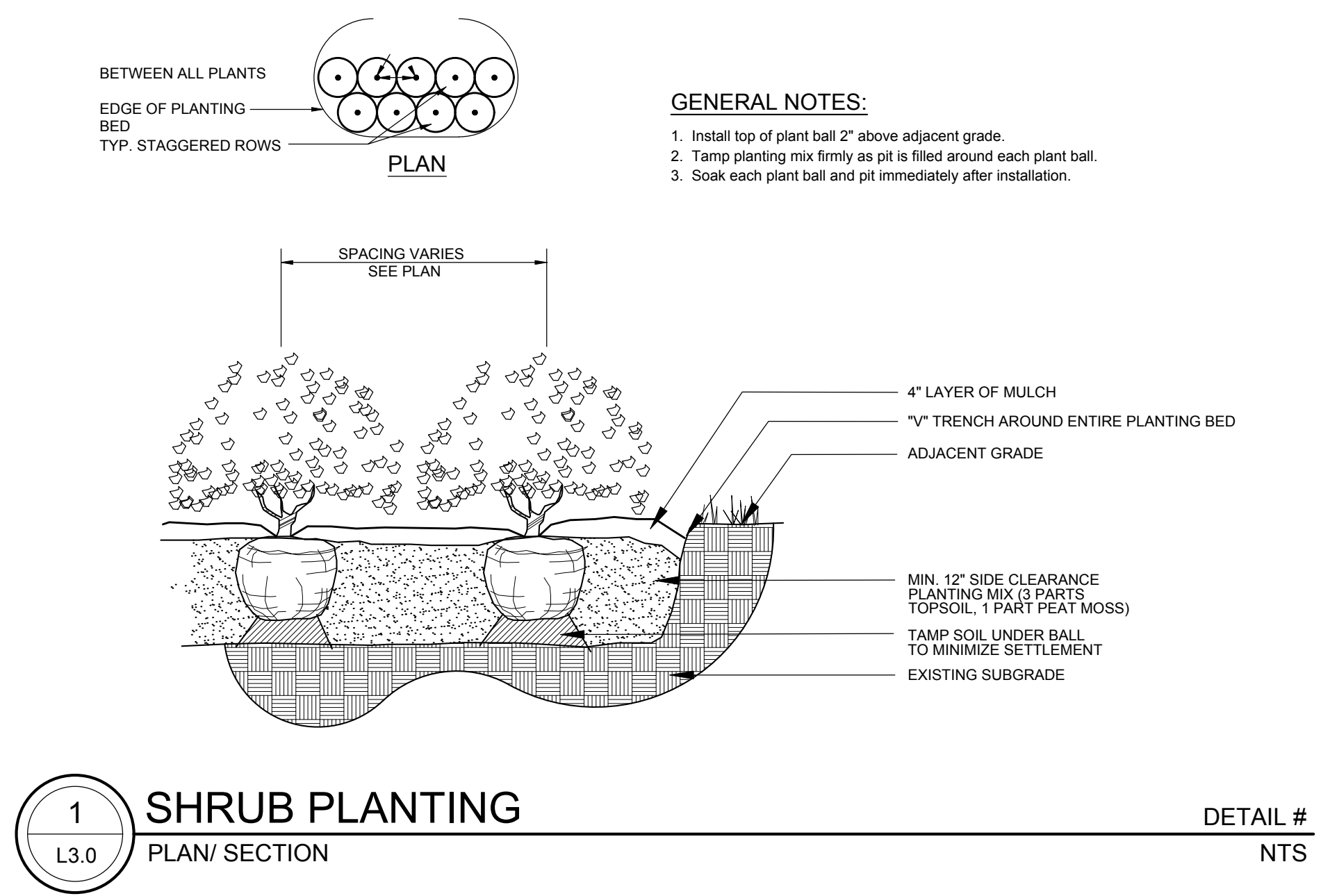


REV.	DATE	COMMENTS
1	10/06/2016	REVISED PER COE COMMENTS

CHD BY:	DATE

DRWN BY:	DATE

**L2.0**  
 COF Proj. 6253



**3 SINGLE TRUNK DECIDUOUS TREE**  
 L3.0 SECTION DETAIL # NTS

**LANDSCAPE PLANTING GENERAL NOTES**

1. THE LANDSCAPE CONTACTOR SHALL BE RESPONSIBLE FOR CONFIRMING THE QUANTITIES OF ALL MATERIALS. THE QUANTITIES ON THE PLAN SHALL TAKE PRECEDENCE OVER THE PLANT LIST.
2. SUBSTITUTIONS OF TYPE, SIZE, OR SPACING OF PLANTS MAY NOT BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER'S LANDSCAPE ARCHITECT, AND MAY RESULT IN THE RESUBMITTAL OF LANDSCAPE PLANS TO THE CITY OF FRANKLIN FOR APPROVAL PRIOR TO INSTALLATION.
3. ALL CONSTRUCTION ACTIVITY SHALL BE COORDINATED WITH TENNESSEE ONE CALL PRIOR TO DIGGING. ALL DAMAGE TO UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE PER UTILITY PROVIDER'S STANDARDS.
4. THE PLANT LIST SPECIFICATIONS PROVIDED WITHIN THE PLANT LIST FOR HEIGHT AND SIZE ARE MINIMUMS.
5. ALL PLANT BEDS SHALL BE RAKED AND CLEARED OF LARGE ROCKS. ALL LARGE DIRT CLOUDS SHALL BE PULVERIZED OR REMOVED PRIOR TO PLANTING.
6. ALL LARGE DIRT CLOUDS RESULTING FROM PLANTING SHALL BE PULVERIZED AND REMOVED PRIOR TO MULCHING.
7. PRE-EMERGENT HERBICIDE SHALL BE APPLIED AFTER INSTALLATION AND IMMEDIATELY PRIOR TO MULCHING.
8. ALL PLANT BEDS ARE TO BE MULCHED WITH A MINIMUM OF 4 INCHES OF SHREDDED PINE BARK. ALL ANNUAL BEDS SHALL BE MULCHED WITH A MINIMUM OF 2 INCHES OF SOIL CONDITIONER, PINE BARK FINES.
9. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL OR ANY DEFECTIVE WORKMANSHIP.
10. ALL SOD AREAS SHALL BE TILLED AND RAKED SMOOTH, WITH LARGE DIRT CLOUDS AND ROCKS REMOVED, PRIOR TO SOD INSTALLATION.
11. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL STAKING AND LAYOUT OF PLANT BEDS.
12. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE DRAINAGE OF ALL TREE AND SHRUB PITS. A PVC OR GRAVEL SUMP AT THE BASE OF THE TREE WELL MAY BE REQUIRED IN AREAS WHERE CLAY SOILS DO NOT ADEQUATELY DRAIN.
13. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT WHEN THE PLANT MATERIALS ARE AT THE JOB SITE FOR REVIEW PRIOR TO INSTALLATION.

**GDC**  
**GAMBLE**  
 DESIGN COLLABORATIVE  
 DEVELOPMENT PLANNING AND  
 LANDSCAPE ARCHITECTURE

Landscape Architecture Provided by:  
 Gamble Design Collaborative, LLC  
 Greg Gamble, RLA  
 144 Southeast Parkway, Suite 200  
 Franklin, Tennessee 37064  
 615.975.5765  
 greggamble209@gmail.com

REV.	DATE	COMMENTS

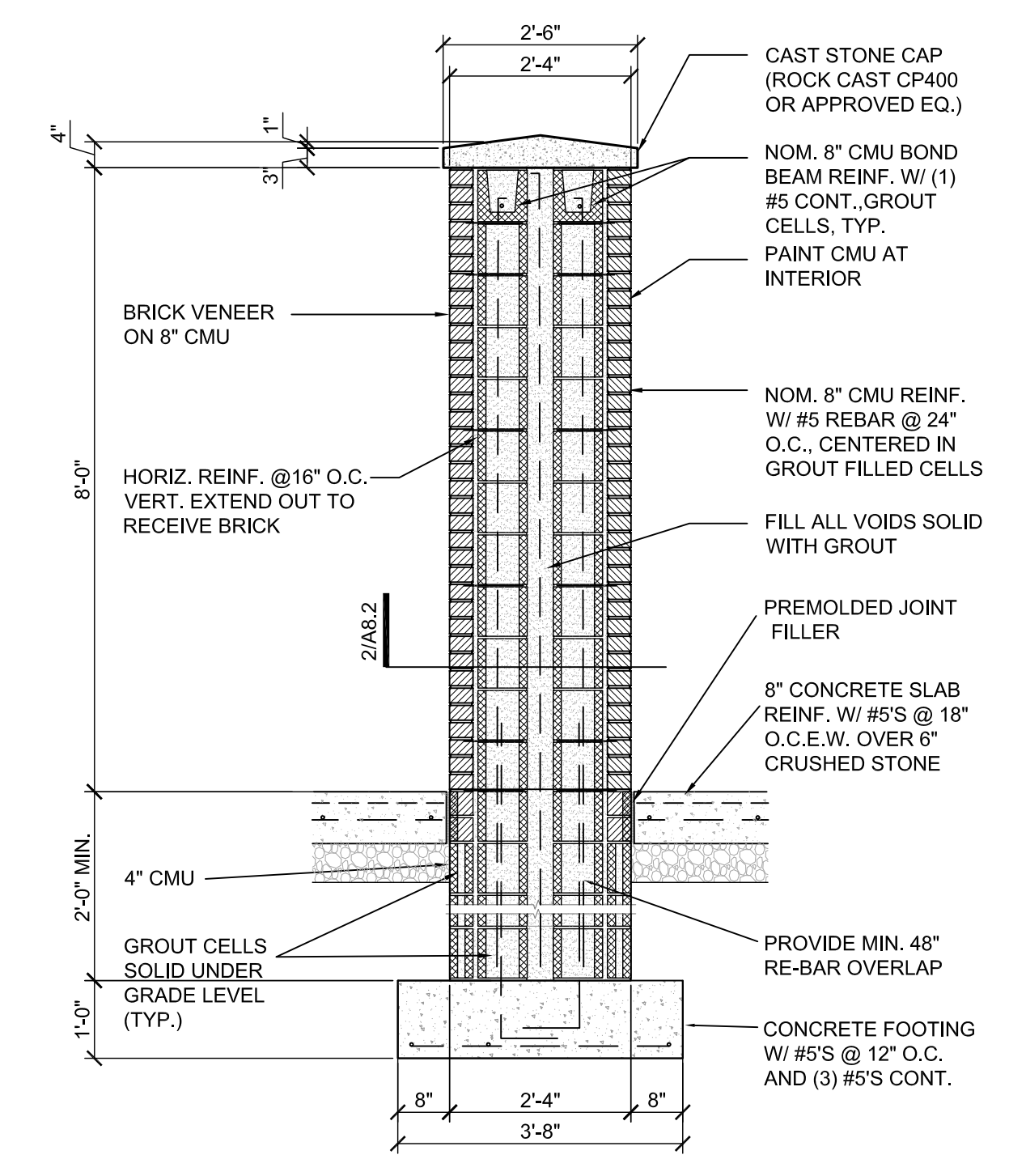
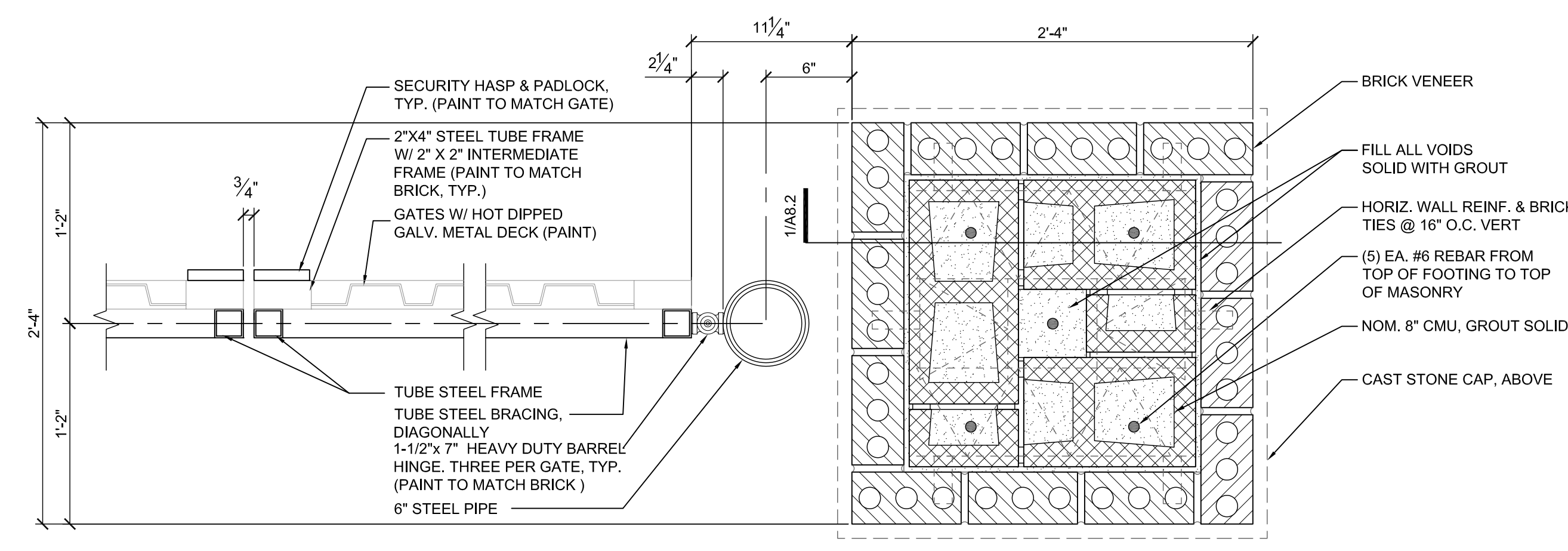
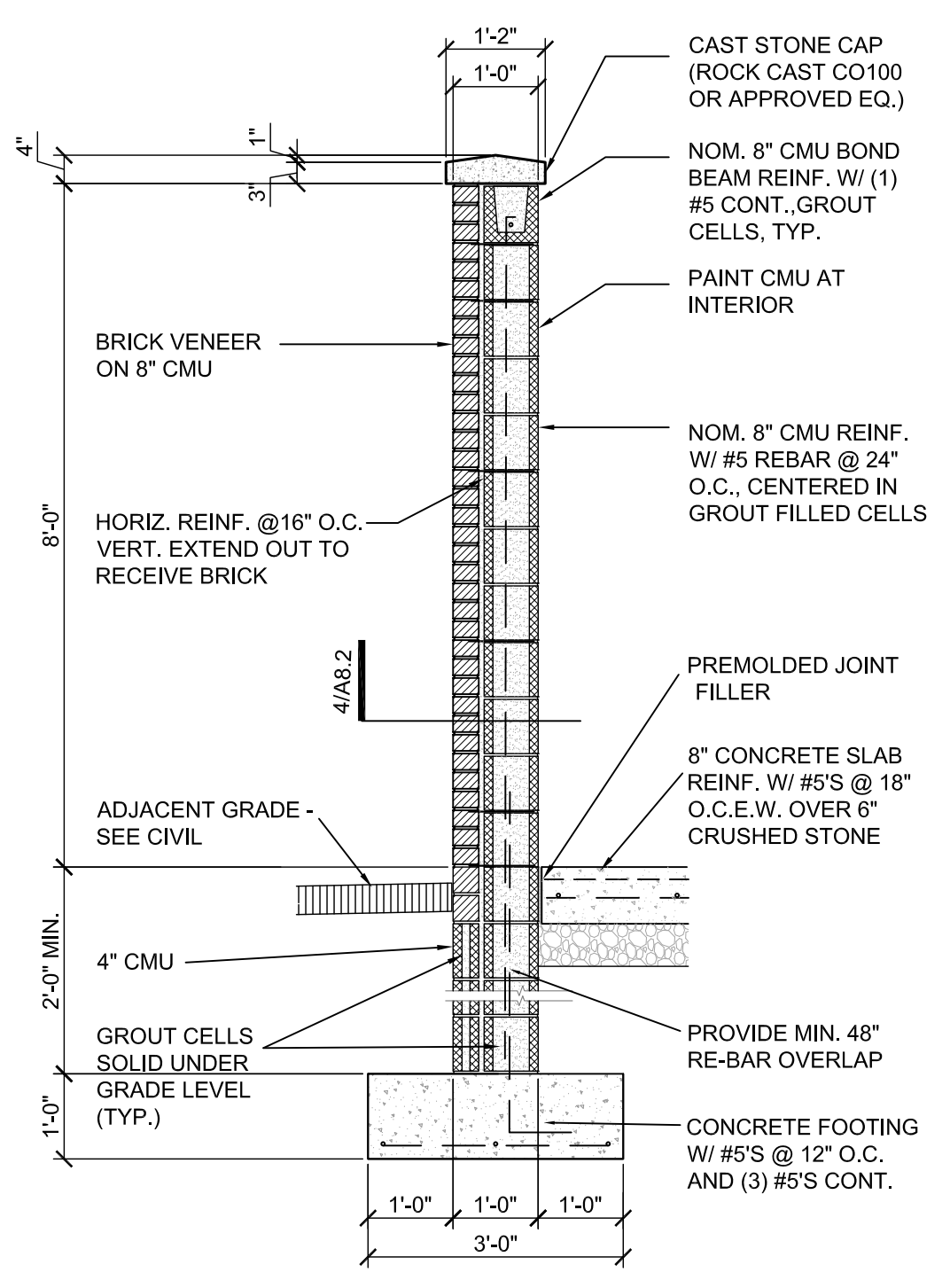
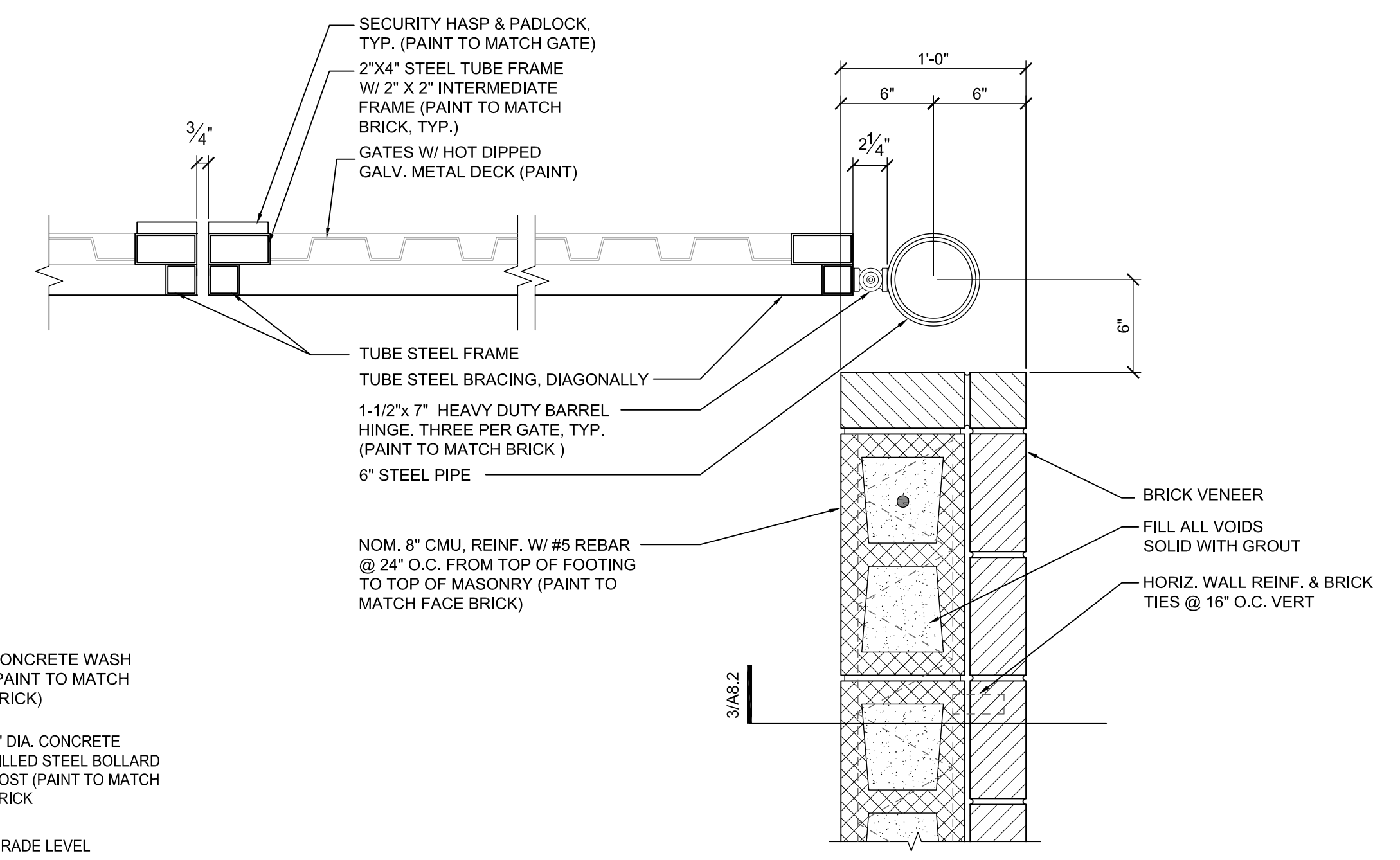
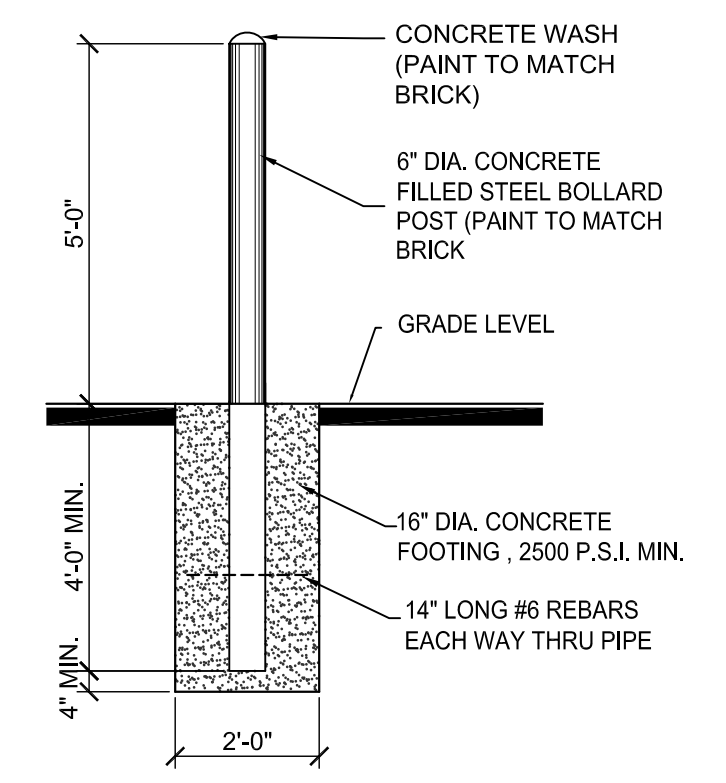
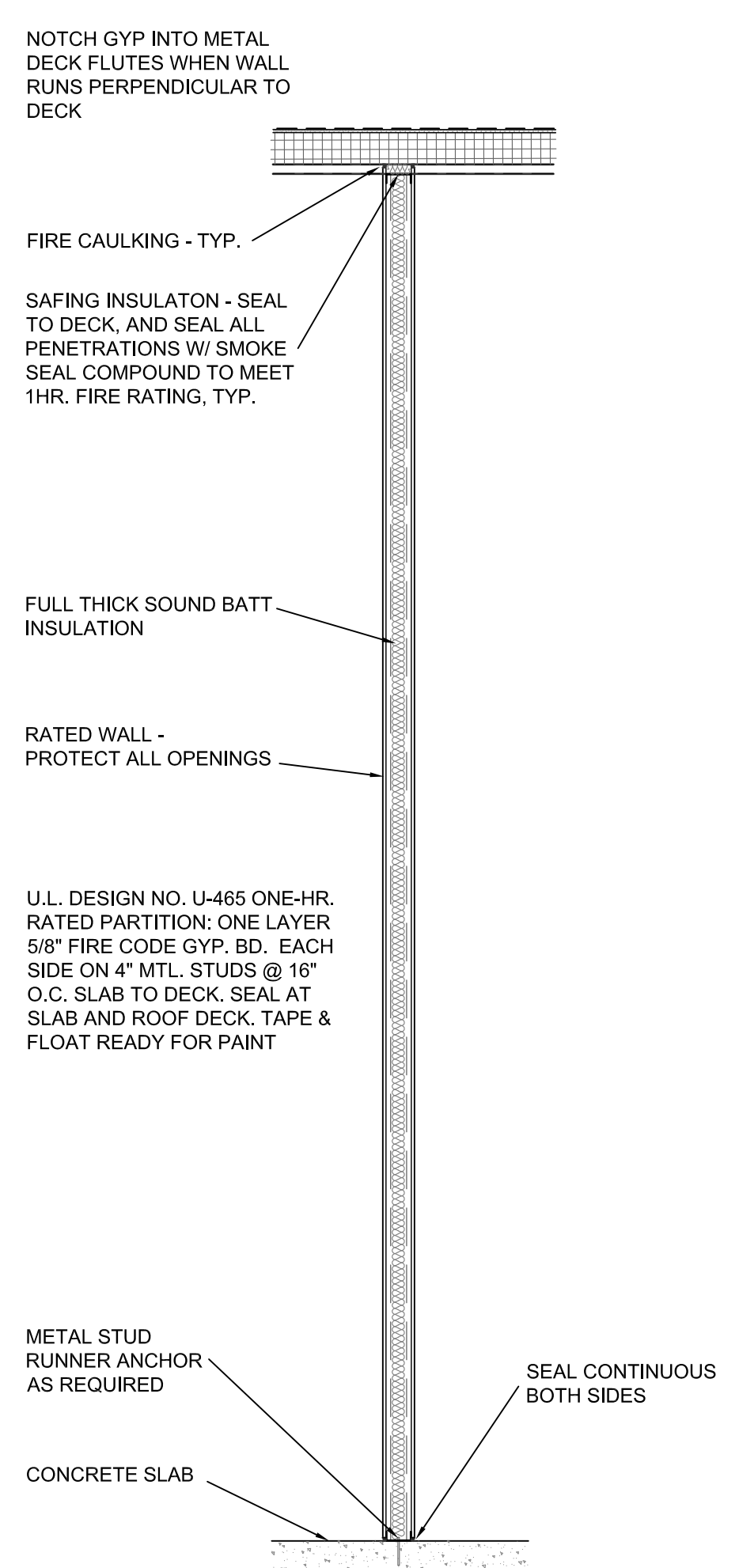
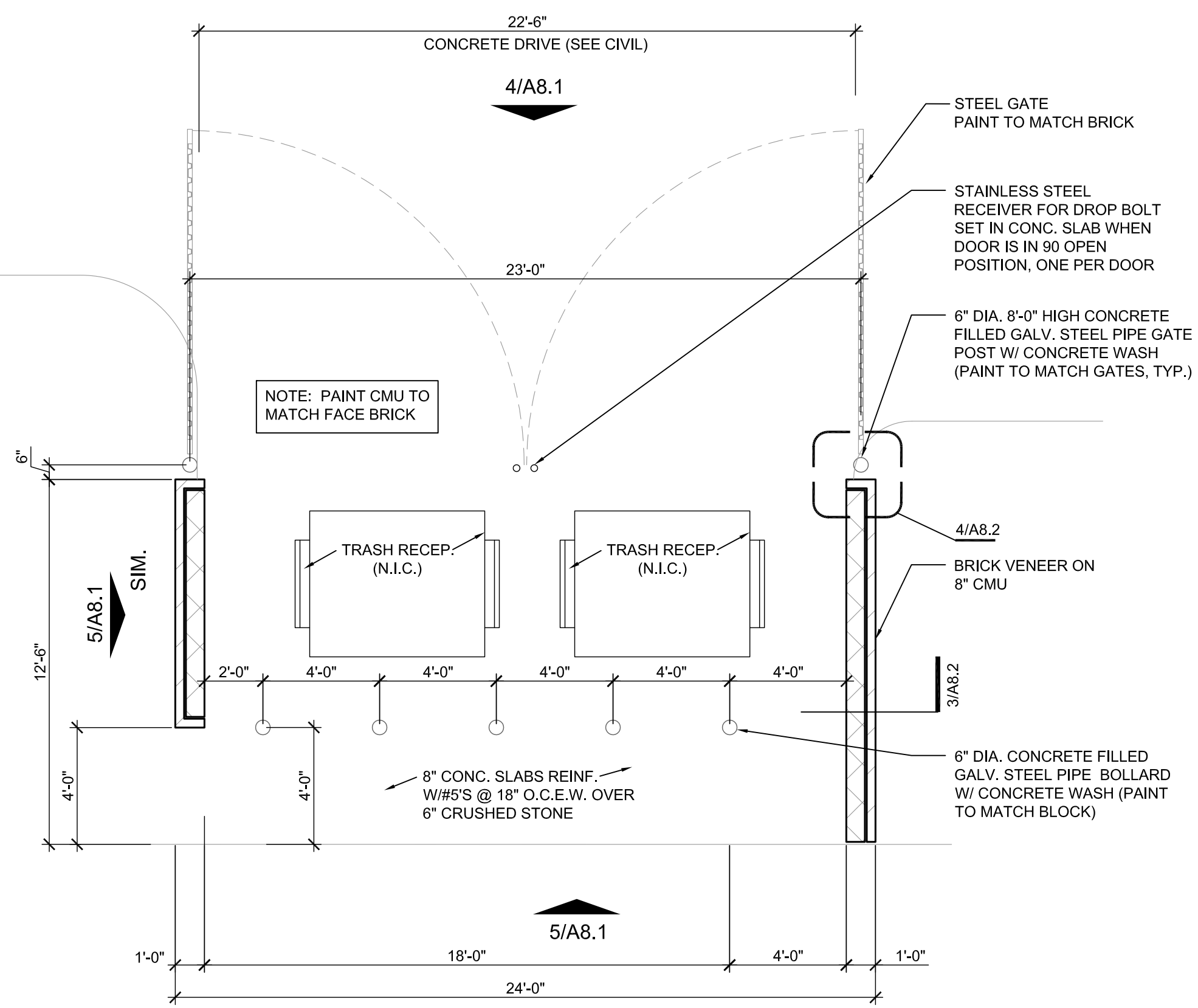


**IMAC  
REGENERATION CENTER**  
 7007 MOORES LANE  
 FRANKLIN, WILLIAMSON COUNTY TENNESSEE  
 MAP 036, PARCEL 055.02

Revisions

HMH Job Number  
16025  
 Drawn By  
WCA  
 Date  
09-12-2016

Drawing  
MISCELLANEOUS  
DETAILS





**IMAC REGENERATION CENTER**  
 7007 MOORES LANE  
 FRANKLIN, WILLIAMSON COUNTY, TENNESSEE  
 MAP 036, PARCEL 055.02  
 CITY PROJECT NUMBER - #6253

**NOTES**

1. LOCATION AND NUMBERS OF STOREFRONT DOORS SUBJECT TO CHANGE PER TENANT REQUIREMENTS.
2. LOCATION AND NUMBERS OF REAR & EGRESS DOORS SUBJECT TO CHANGE PER TENANT REQUIREMENTS.
3. TENANT SIGNS WILL BE SUBMITTED FOR APPROVAL AS TENANT REQUIREMENTS ARE DETERMINED.
4. SPECIFIED MATERIALS MAY CHANGE SUBJECT TO AVAILABILITY AT TIME OF CONSTRUCTION AND SUBJECT TO APPROVAL OF BNS DEPARTMENT OR PLANNING COMMISSION.
5. THESE ELEVATIONS HAVE BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE CITY OF FRANKLIN'S ARCHITECTURAL DESIGN STANDARDS AND THE APPROVAL OF THE PLANNING COMMISSION. CHANGES SHALL NOT BE MADE TO THE APPROVED ELEVATIONS UNLESS APPROVED BY EITHER THE BNS DEPARTMENT OR THE PLANNING COMMISSION.
6. HVAC UNITS ARE LOCATED ON THE ROOFS OF THE BUILDING AND ARE SCREENED FROM PUBLIC VIEW BY PARAPET WALLS.
7. CAVITY WALL CONSTRUCTION SHALL BE USED WHEREVER INTEGRALLY COLORED, UNPAINTED, SPLIT FACE CONCRETE BLOCK IS USED TO PREVENT WATER PENETRATION.

**EXTERIOR FINISH LEGEND**

- BRICK ONE**  
 STYLE/SIZE: MODULAR  
 COLOR: VELOUR BROWN  
 MANUFACTURER: TBD  
 MORTAR COLOR: BUFF  
 MORTAR MANUF.: TBD
- BRICK TWO**  
 STYLE/SIZE: MODULAR  
 COLOR: VELOUR MEDIUM GRAY  
 MANUFACTURER: TBD  
 MORTAR COLOR: BUFF  
 MORTAR MANUF.: TBD
- CUT STONE**  
 STYLE/SIZE: SMOOTH  
 COLOR: BUFF / HONED  
 MANUFACTURER: TBD  
 MORTAR COLOR: BUFF / HONED  
 MORTAR MANUF.: TBD
- CAST STONE ACCENT**  
 STYLE/SIZE: SMOOTH  
 COLOR: BUFF / HONED  
 MANUFACTURER: TBD  
 MORTAR COLOR: BUFF  
 MORTAR MANUF.: TBD
- COMPOSITE ALUM. PANEL**  
 STYLE/SIZE: SATIN  
 COLOR: SATIN ALUM. OR SLATE BLUE  
 MANUFACTURER: TBD
- STOREFRONT & CURTAIN WALL**  
 STYLE/SIZE: ALUMINUM RECTANGULAR  
 COLOR: CLEAR ANODIZED  
 MANUFACTURER: TBD
- GLAZING**  
 STYLE/SIZE: 1" INSULATED LOW-E  
 COLOR: SOLAR BLUE + SOLARBAN 70XL (3)  
 MANUFACTURER: TBD
- PREFINISHED METAL PARAPET COPING**  
 COLOR: CLEAR ANODIZED  
 MANUFACTURER: TBD
- CANOPY STRUCTURE & TRANSPARENT PANEL**  
 STYLE/SIZE: ALUMINUM RECTANGULAR  
 ALUM. COLOR: CLEAR ANODIZED  
 TRANS. PANEL COLOR: SOLAR BLUE  
 MANUFACTURER: TBD
- PAINT**  
 COLOR: TBD

**MATERIAL AREA NOTES**

1. MINOR MATERIALS INCLUDING COPINGS, FLASHING, AND TRIM INSTALLED OVER BRICK ARE NOT INCLUDED IN MATERIAL AREA CALCULATIONS.
2. NET WALL AREA EXCLUDES STOREFRONT, DOORS, LOUVERS AND MINOR TRIM.

**MATERIAL CALCULATIONS**

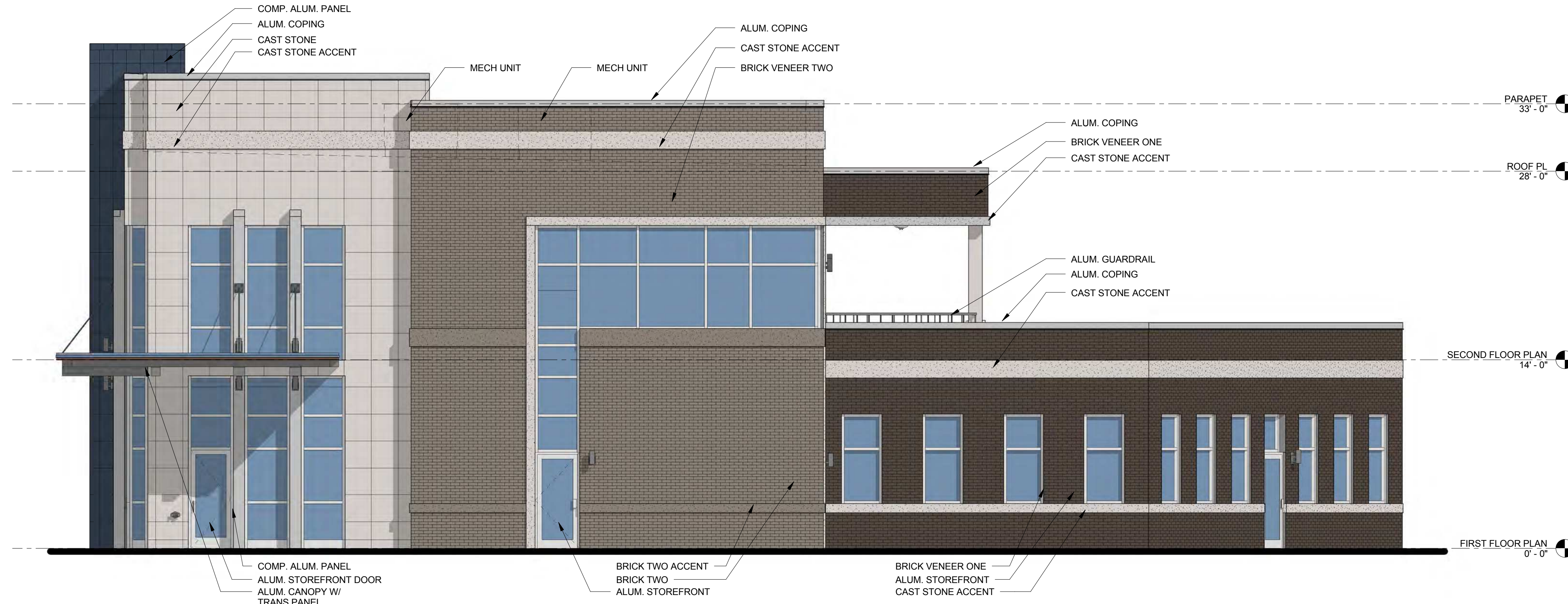
**NORTH ELEVATION**

	AREA	% OF NET
GROSS WALL AREA	2,507.14' S.F.	NA%
NET WALL AREA	2,047.50' S.F.	100%
BRICK 1 & 2 AREA	1,030.97' S.F.	50.34%
CUT STONE AREA	598.04' S.F.	28.71%
METAL PANEL/CANOPY	486.50' S.F.	20.92%
GLAZING	459.64' S.F.	NA%

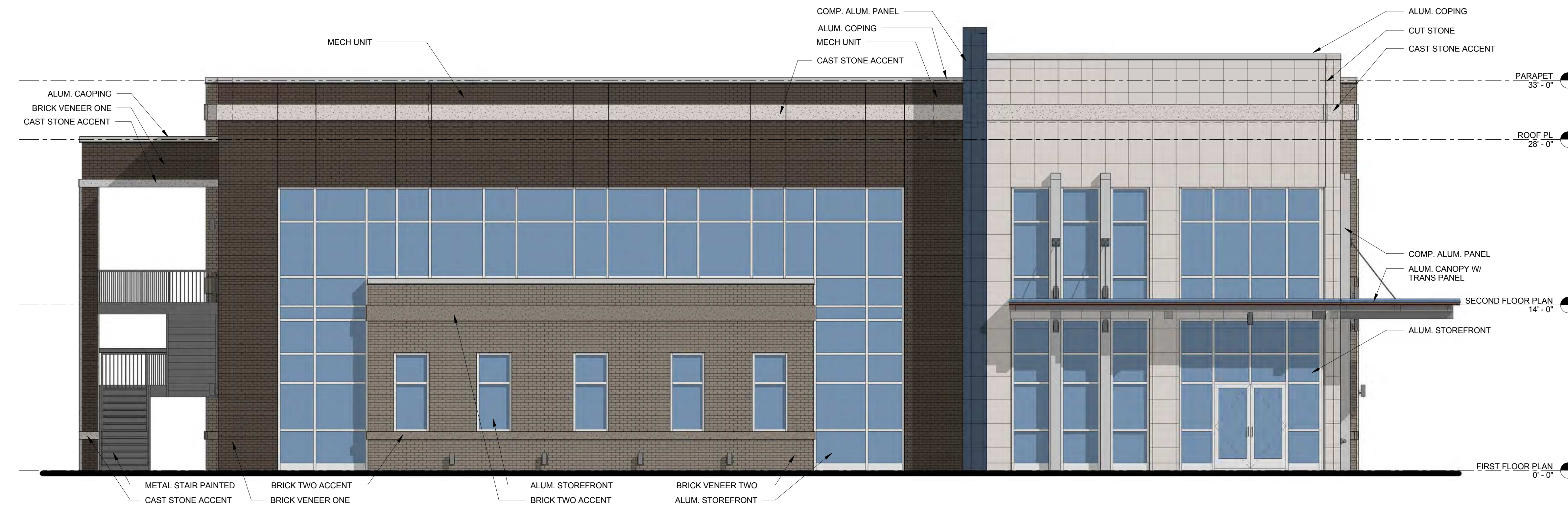
**EAST ELEVATION**

	AREA	% OF NET
GROSS WALL AREA	3,590.77' S.F.	NA%
NET WALL AREA	2,359.72' S.F.	100%
BRICK 1 & 2 REA	1,276.24' S.F.	54.07%
CUT STONE AREA	671.25' S.F.	28.44%
METAL PANEL/CANOPY	363.46' S.F.	15.39%
GLAZING	1,231.05' S.F.	NA%

**HVAC UNITS, COOLING AND/OR MECHANICAL UNITS ARE LOCATED ON THE: ROOF**



**1 NORTH ELEVATION**  
 A1.0 SCALE: 3/16" = 1'-0"



**2 EAST ELEVATION**  
 A1.0 SCALE: 3/16" = 1'-0"

Revisions

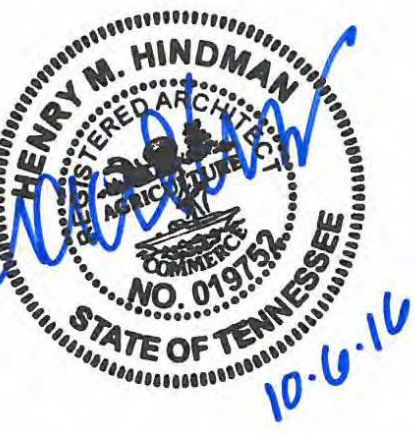
HMH Job Number  
16025

Drawn By  
WCA

Date  
10/06/2016

Drawing  
EXTERIOR ELEVATIONS

**A1.0**



**IMAC REGENERATION CENTER**  
 7007 MOORES LANE  
 FRANKLIN, WILLIAMSON COUNTY, TENNESSEE  
 MAP 036, PARCEL 055.02  
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**EXTERIOR FINISH LEGEND**

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STYLE/SIZE: MODULAR  
COLOR: VELOUR BROWN  
MANUFACTURER: TBD  
MORTAR COLOR: BUFF  
MORTAR MANUF.: TBD
- BRICK TWO**  
STYLE/SIZE: MODULAR  
COLOR: VELOUR MEDIUM GRAY  
MANUFACTURER: TBD  
MORTAR COLOR: BUFF  
MORTAR MANUF.: TBD
- CUT STONE**  
STYLE/SIZE: SMOOTH  
COLOR: BUFF  
MANUFACTURER: TBD  
MORTAR COLOR: BUFF / HONED  
MORTAR MANUF.: TBD
- CAST STONE ACCENT**  
STYLE/SIZE: SMOOTH  
COLOR: BUFF / HONED  
MANUFACTURER: TBD  
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COLOR: CLEAR ANODIZED  
MANUFACTURER: TBD
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COLOR: SOLAR BLUE + SOLARBAN 70XL (3)  
MANUFACTURER: TBD
- PREFINISHED METAL PARAPET COPING**  
COLOR: CLEAR ANODIZED  
MANUFACTURER: TBD
- CANOPY STRUCTURE & TRANSPARENT PANEL**  
STYLE/SIZE: ALUMINUM RECTANGULAR  
ALUM. COLOR: CLEAR ANODIZED  
TRANS. PANEL COLOR: SOLAR BLUE  
MANUFACTURER: TBD
- PAINT**  
COLOR: TBD

**MATERIAL AREA NOTES**

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**MATERIAL CALCULATIONS**

**SOUTH ELEVATION**

	AREA	% OF NET
GROSS WALL AREA	2,322.57' S.F.	NA%
NET WALL AREA	2,139.42' S.F.	100%
BRICK 1 & 2 AREA	1,030.97' S.F.	50.34%
CUT STONE AREA	149.94' S.F.	7.00%
METAL PANEL/CANOPY	210.55' S.F.	9.83%
GLAZING	183.15' S.F.	NA%

**WEST ELEVATION**

	AREA	% OF NET
GROSS WALL AREA	4,108.94' S.F.	NA%
NET WALL AREA	3,527.05' S.F.	100%
BRICK 1 & 2 REA	2,836.96' S.F.	80.43%
CUT STONE AREA	515.07' S.F.	14.60%
METAL PANEL/CANOPY	175.02' S.F.	4.45%
GLAZING	581.89' S.F.	NA%

**HVAC UNITS, COOLING AND/OR MECHANICAL UNITS ARE LOCATED ON THE: ROOF**

Revisions

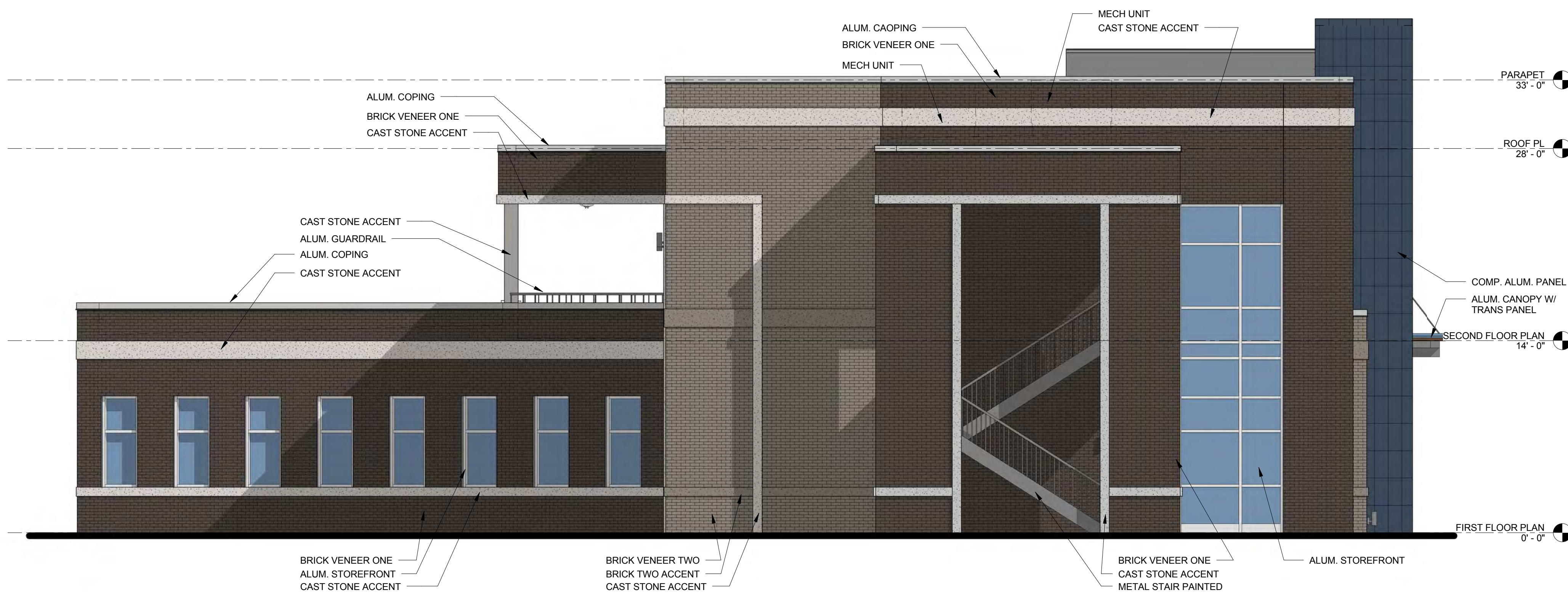
HMH Job Number  
16025

Drawn By  
Author

Date  
10/06/2016

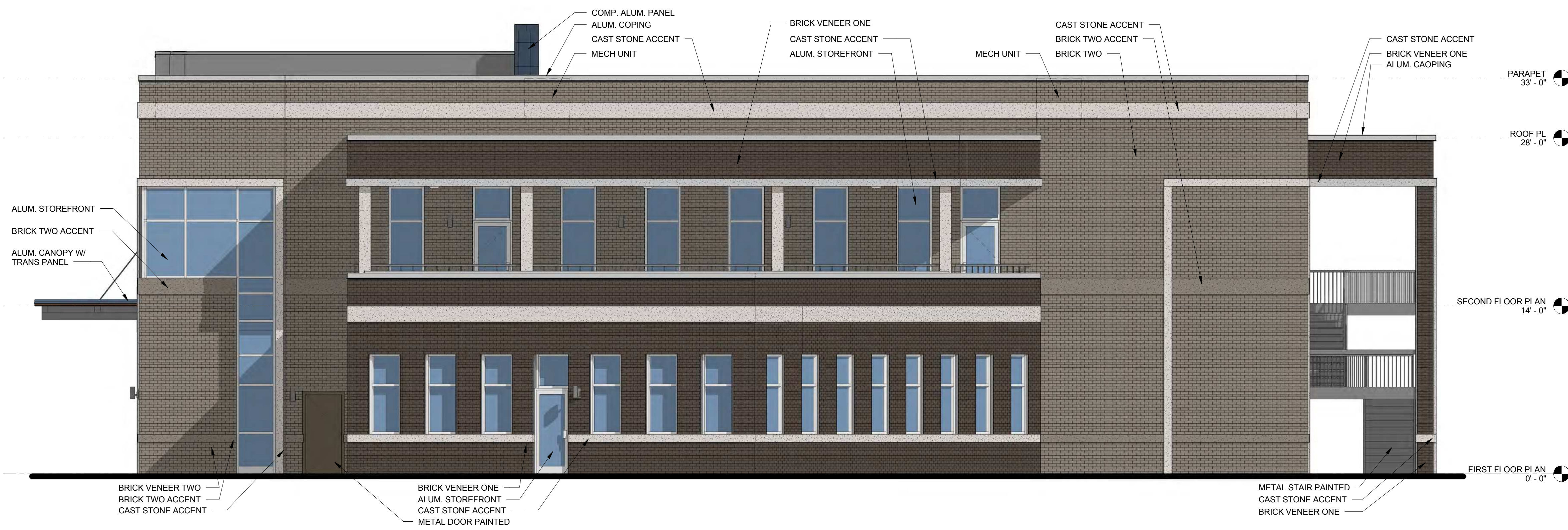
Drawing  
EXTERIOR  
ELEVATIONS

**A2.0**



**3 SOUTH ELEVATION**

A2.0 SCALE: 3/16" = 1'-0"



**4 WEST ELEVATION**

A2.0 SCALE: 3/16" = 1'-0"





**NORTH EAST CORNER**  
NOT TO SCALE



**SOUTH EAST CORNER**  
NOT TO SCALE



**SOUTH WEST CORNER**  
NOT TO SCALE



**NORTH WEST CORNER**  
NOT TO SCALE

**IMAC REGENERATION CENTER**

7007 MOORES LANE  
FRANKLIN, WILLIAMSON COUNTY, TENNESSEE  
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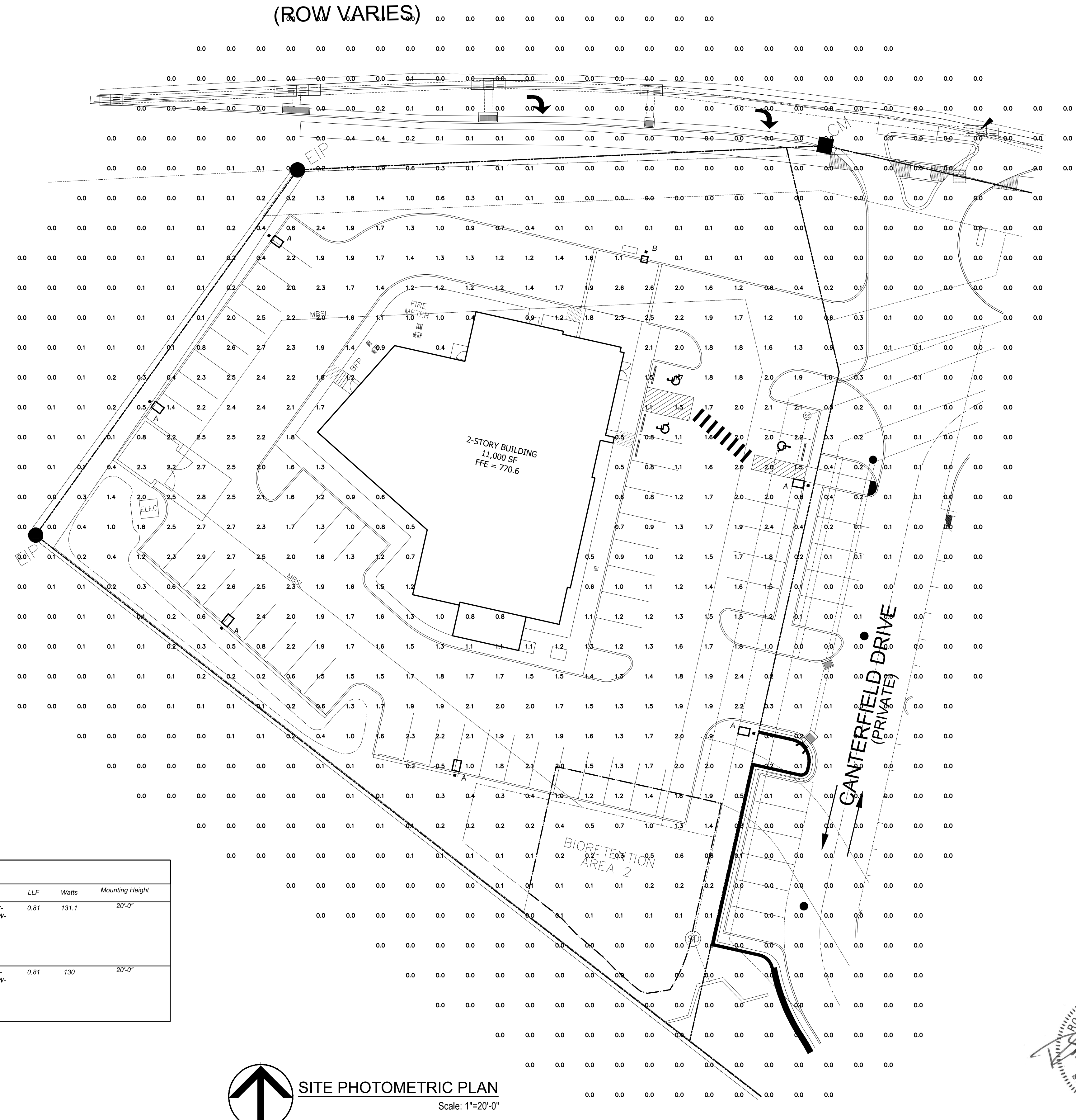
Drawing  
Perspective

**A3.0**



PARKING LOT LIGHTING FIXTURE DETAIL  
NO SCALE

MOORES LANE  
(ROW VARIES)



SITE PHOTOMETRIC PLAN

Scale: 1"=20'-0"

SITE PHOTOMETRIC NOTES

1. CALCULATIONS SHOWN REPRESENT MAINTAINED LIGHTING LEVELS IN FOOTCANDLES AT GRADE WITH A TOTAL LIGHT LOSS FACTOR OF 0.81. CALCULATIONS DO NOT INCLUDE CONTRIBUTIONS FROM OTHER LIGHT SOURCES.
2. CIVIL BASE PLAN AS PROVIDED TO PARSONS ENGINEERING, INC. SHOWED NO OVERHEAD UTILITIES. THE CIVIL ENGINEER SHALL VERIFY THAT THERE ARE NO CONFLICTS WITH EXISTING OR PROPOSED UTILITY LINES OR EASEMENTS.
3. THESE CALCULATIONS HAVE BEEN GENERATED FROM MANUFACTURER SUPPLIED PHOTOMETRIC FILES. PARSONS ENGINEERING, INC. HAS MADE A REASONABLE ATTEMPT TO OBTAIN THE MOST CURRENT PHOTOMETRIC REPORT. PARSONS ENGINEERING, INC. IS NOT RESPONSIBLE FOR ERRANT RESULTS DUE TO MANUFACTURERS' QUALITY CONTROL OR DESIGN CHANGES.

LUMINAIRE SCHEDULE									
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	LLF	Watts	Mounting Height
□	A	6	RZR-IV-FT-80PLED-525m-NW-HS	RAZAR PLED, TYPE IV-FT DISTRIBUTION, 4 CIRCUIT BOARDS EACH WITH 20 LEDS, 4000K, 1 CLEAR PLASTIC OPTIC BELOW EACH LED, 1 MOLDED BLACK PLASTIC HOUSE SIDE SHIELD BELOW EACH OPTIC	EIGHTY WHITE LIGHT EMITTING DIODES (LEDS), VERTICAL BASE-UP POSITION.	RZR-4FTS-80PLED-NW-525.ies	0.81	131.1	20'-0"
□	B	1	RZR-III-W-80PLED-NW-525-HS	RAZAR PLED, TYPE III-W DISTRIBUTION, 4 CIRCUIT BOARDS EACH WITH 20 LEDS, 4000K, 1 CLEAR PLASTIC OPTIC BELOW EACH LED, 1 MOLDED BLACK PLASTIC HOUSE SIDE SHIELD BELOW EACH OPTIC	EIGHTY WHITE LIGHT EMITTING DIODES (LEDS), VERTICAL BASE-UP POSITION.	RZR-3WS-80PLED-NW-525.ies	0.81	130	20'-0"

IMAC Regeneration Clinic

A DEVELOPMENT OF LARRY BEADLE  
FRANKLIN, TENNESSEE

Revisions

HMH Job Number  
16025

Drawn By  
RDR

Date  
09.01.2016

Drawing  
SITE PHOTOMETRIC  
PLAN

SP1.0

