

CITY OF FRANKLIN SITE PLAN SUBMITTAL

SCOTT HAMILTON PROTON THERAPY CENTER

MEDCORE MEDICAL BUILDING SUBDIVISION, LOT 3, SITE PLAN, REVISION 1

FRANKLIN, TENNESSEE

MARCH 14, 2016

REVISED APRIL 7, 2016

COF PROJECT #: 6076

SITE DATA CHART

PROJECT NAME:	SCOTT HAMILTON PROTON THERAPY CENTER
COF PROJECT #:	6076
SUBDIVISION:	MEDCORE MEDICAL BLDG
MAP:	MAP # 79
PARCEL #:	48.04
LOT:	3
ADDRESS:	4588 CAROTHERS PARKWAY
CITY:	FRANKLIN
COUNTY:	WILLIAMSON
STATE:	TENNESSEE
CIVIL DISTRICT:	8TH CIVIL DISTRICT
EXISTING ZONING:	GENERAL OFFICE DISTRICT
CHARACTER AREA OVERLAY:	McEWEN 5
OTHER APPLICABLE OVERLAYS:	N/A
DEVELOPMENT STANDARD:	CONVENTIONAL
ACREAGE OF SITE:	11.62 AC
SQUARE FOOTAGE OF SITE:	506,335 SF
OWNER:	MTPC LLC 1400 DOWELL SPRINGS BLVD #350 KNOXVILLE, TN 37909
DEVELOPER:	PROVISION SOLUTIONS ANDY LORENZ 1400 DOWELL SPRINGS BLVD., SUITE 350 KNOXVILLE, TN 37909 (865)321-4701
APPLICANT:	KIMLEY-HORN & ASSOCIATES
Address:	214 OCEANSIDE DRIVE NASHVILLE, TN 37204
Phone:	615-564-2701
Email:	RYAN.MCMASTER@KIMLEY-HORN.COM
Contact Name:	RYAN McMaster
BUILDING SETBACKS:	FRONT=50'; SIDE=25'; REAR=40';
BUILDING SQUARE FOOTAGE:	101,501 SF
PH. 1 BUILDING AREA:	30,804 SF (2-STORY MEDICAL OFFICE) 9,647 SF (PROTON VAULT)
FUTURE BUILDING AREA:	± 61,050 SF (3-STORY MEDICAL OFFICE)
BUILDING HEIGHT:	± 44'
MINIMUM LANDSCAPE SURFACE RATIO:	0.30 (2.07 AC PHASE 1)
PROVIDED LANDSCAPE SURFACE RATIO:	0.52 (3.58 AC PHASE 1)
MINIMUM PARKING REQUIREMENT:	N/A
EXISTING PARKING:	N/A
PARKING PROVIDED:	149 TOTAL SPACES 145 STANDARD SPACES 4 ADA SPACES 0 COMPACT SPACES
EXISTING TREE CANOPY:	9.58 AC EXISTING (82% OF TOTAL SITE)
TREE CANOPY PRESERVATION REQUIRED:	1.44 AC (15% OF TOTAL SITE)
TREE CANOPY PRESERVATION PROVIDED:	1.52 AC (16% OF TOTAL SITE)
PARKLAND(IF APPLICABLE):	N/A
OPEN SPACE REQUIRED:	ALL FORMAL - 0.35 AC (5% OF PHASE 1)
OPEN SPACE PROVIDED:	ALL FORMAL - 0.35 AC (5% OF PHASE 1)

NOTES:

1. WITHIN NEW DEVELOPMENTS AND FOR OFF-SITE LINES CONSTRUCTED AS A RESULT OF, OR TO PROVIDE SERVICE TO, THE NEW DEVELOPMENT, ALL UTILITIES, SUCH AS CABLE TELEVISION, ELECTRICAL (EXCLUDING TRANSFORMERS), GAS, SEWER, TELEPHONE, AND WATER LINES SHALL BE PLACED UNDERGROUND.
2. THIS SITE PLAN HAS BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE CITY OF FRANKLIN STANDARDS AND THE APPROVAL OF PLANNING COMMISSION. CHANGES SHALL NOT BE MADE TO THE APPROVED SITE PLAN UNLESS APPROVED BY EITHER RELEVANT DEPARTMENT SUPERINTENDENT OR THE PLANNING COMMISSION.
3. THE INFORMATION SHOWN ON THIS PLAN IS BASED UPON THE TENNESSEE STATE PLANE COORDINATE SYSTEM, ZONE 5301, FLIPZONE 4100 AND NAD 83 DATUM.
4. BASE INFORMATION WAS TAKEN FROM A TOPOGRAPHIC SURVEY PREPARED BY LITTLEJOHN, DATED MARCH 23, 2015. KIMLEY-HORN AND ASSOCIATES SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF THE BASE INFORMATION SHOWN.
5. THE CONSULTANT HAS FOUND NO EVIDENCE OF THE MINERAL RIGHTS OF THIS PROPERTY BEING TRANSFERRED TO ANY PARTY OTHER THAN THE OWNER.
6. THIS PROJECT DOES NOT PROPOSE FILL WITHIN THE EXISTING FLOODPLAIN. NO BUILDINGS IN THIS PROJECT FALL WITHIN THE 100 YEAR FLOODPLAIN, PER THE FEMA FIRM MAP NUMBER 47187C0212F, DATED SEPTEMBER 29, 2006



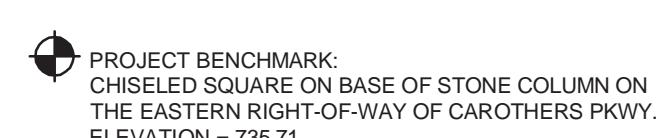
VICINITY MAP
1" = 1,000'

PREPARED BY:

Kimley>>Horn

214 Oceanside Dr, Nashville, TN 37204
Main: 615.564.2701 | www.kimlev-horn.com

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UTILITY AND GOVERNING AGENCIES CONTACT LIST

CITY OF FRANK

109 3rd AVENUE SOUTH, FRANKLIN, TN 37067
CONTACT:
PLANNING CO-LEADER : JOSH KING 615-550-6977
ENGINEERING CO-LEADER : LANCE FITTRO 615-550-6621

<u>WATER</u>	<u>GAS</u>	<u>TELEPHONE</u>	<u>ENGINEER</u>
MILCROFTON UTILITY DISTRICT 6333 ARNO RD. FRANKLIN, TN 37064 PHONE: (615) 794-5947 CONTACT: MIKE JONES	ATMOS ENERGY 200 NOAH DRIVE FRANKLIN, TN 37064 PHONE: (615) 794-2596 CONTACT: RON MYATT	AT&T (615) 595-7816 CONTACT: DAVID TUTTEROW	KIMLEY-HORN AND ASSOCIATES, 214 OCEANSIDE DRIVE NASHVILLE, TN 37204 PHONE: (615) 564-2876 CONTACT: RYAN McMASTER, P.E.
<u>ELECTRIC</u>	<u>SANITARY SEWER</u>	<u>CABLE</u>	<u>SURVEYOR</u>
MIDDLE TN ELECTRIC 2156 EDWARD CURD LN. FRANKLIN, TN 37067 PHONE: (615) 595-4677 CONTACT: DALE HOOD	CITY OF FRANKLIN 124 LUMBER DRIVE FRANKLIN, TN 37064 PHONE: (615)550-6855 CONTACT: BEN MCNEIL	COMCAST 2501 McGAVOCK PK, SUITE 1206 NASHVILLE, TN 37214 (615)550-6855 CONTACT: WHITNEY SCHRIMSHER	LITTLEJOHN 1935 21ST AVENUE SOUTH NASHVILLE, TN 37212 PHONE: (615) 385-4020 CONTACT: ROBERT SEARSON

CONTRACTOR RESPONSIBILITIES

1. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR:

- A. THE CONTRACTOR SHALL VERIFY ALL PROPOSED AND EXISTING CONDITIONS INCLUDING UTILITIES (INVERTS, CONNECTIONS, MATERIALS, ETC.) AND DIMENSIONS WITHIN THE LIMITS OF WORK PRIOR TO THE START OF CONSTRUCTION.
- B. THE CONTRACTOR IS RESPONSIBLE FOR ALL NOTIFICATIONS AND LIAISONS WITH UTILITY COMPANIES DURING THE PROCESS OF LOCATING, RELOCATING, AND TYING INTO PUBLIC UTILITIES.
- C. PRIOR TO COMMENCING LAND DISTURBANCE ACTIVITY, THE LIMITS OF LAND DISTURBANCE SHALL BE CLEARLY AND ACCURATELY DEMARCATED WITH STAKES, RIBBONS, OR OTHER APPROPRIATE MEANS. THE LOCATION AND EXTENT OF ALL AUTHORIZED LAND DISTURBANCE SHALL OCCUR INSIDE THE APPROVED LIMITS INDICATED ON THE APPROVED PLANS.

2. DURING CONSTRUCTION:

- A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEVIATIONS FROM THESE PLANS AND SPECIFICATIONS WITHOUT PRIOR WRITTEN CONSENT OF THE ENGINEER MAY CAUSE THE WORK TO BE UNACCEPTABLE.
- B. THE CONTRACTOR SHALL USE MATERIALS AND EMPLOY CONSTRUCTION METHODS IN ORDER TO COMPLY WITH THE DRAWINGS AND SPECIFICATIONS. WHERE A CONFLICT OCCURS, THE STRICTEST DESIGN SHALL GOVERN. THE ENGINEER'S REVIEW OF SHOP DRAWINGS, PRODUCT DATA, ETC., DOES NOT RELIEVE THE CONTRACTOR FROM COMPLYING WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL INFORM THE ENGINEER IN WRITING OF ANY SPECIFIC DEVIATIONS AND OBTAIN ENGINEER'S WRITTEN APPROVAL OF THE SPECIFIC DEVIATION.
- C. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION.
- D. ALL CONSTRUCTION MUST CONFORM TO THE STANDARDS, SPECIFICATIONS, AND CODES OF THE GOVERNING MUNICIPALITIES.
- E. CONSTRUCTION SHALL MEET ALL STANDARDS SET FORTH IN THE AMERICANS WITH DISABILITIES ACT (VERSION 2010).
- F. IF THE CONTRACTOR DAMAGES ANY EXISTING UTILITIES DURING CONSTRUCTION, HE SHALL, AT HIS OWN EXPENSE, REPLACE OR REPAIR THE UTILITIES TO ORIGINAL CONDITION AND QUALITY AS APPROVED BY THE OWNER AND REPRESENTATIVE OF THE APPROPRIATE UTILITY COMPANY.
- G. SUFFICIENT BARRICADES, LIGHTS, SIGNS, AND OTHER TRAFFIC CONTROL METHODS IN ACCORDANCE WITH GOVERNING ORDINANCES MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC. SAID CONTROL DEVICES SHALL BE PER THE MANUAL OF TRAFFIC CONTROL DEVICES, M.U.T.C.D., CURRENT EDITION, AND SHALL BE PROVIDED AND MAINTAINED THROUGHOUT CONSTRUCTION.
- H. TRAFFIC CONTROLS AND OTHER WARNING DEVICES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY WORK ON CITY, COUNTY, OR TENNESSEE DEPARTMENT OF TRANSPORTATION ROADS. THEY SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL THE CONCLUSION OF ALL WORK.

- I. ALL WARNING DEVICES SHALL BE EITHER TYPE I BARRICADES OR DRUMS WITH WARNING LIGHTS ON EVERY OTHER DEVICE. THEY SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTC.D.), CURRENT EDITION, METRO NASHVILLE STANDARDS FOR COLOR, SIZE, REFLECTIVITY, HEIGHT, AND PLACEMENT.
- J. FIRE DEPARTMENT ACCESS SHALL BE MAINTAINED AT ALL TIMES.
- K. CONTRACTOR SHALL SHORE AND BRACE ALL EARTH, FORMS, CONCRETE, STEEL, WOOD, AND MASONRY TO RESIST GRAVITY, EARTH, WIND, THERMAL, CONSTRUCTION, AND MISCELLANEOUS LOADS DURING CONSTRUCTION.
- L. ON-SITE BURIAL OF DEBRIS IS PROHIBITED.
- M. UNLESS OTHERWISE NOTED THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL FABRICATED MATERIALS TO THE ENGINEER. DESIGN DOCUMENTS SHALL NOT BE REPRODUCED AS SHOP DRAWINGS.
- N. IN CASE OF UNFORESEEN CONSTRUCTION COMPLICATIONS OR DISCREPANCIES, THE CONTRACTOR IS TO IMMEDIATELY NOTIFY THE ENGINEER IN WRITING.
- O. ALL REQUIRED TESTING REPORTS SHALL BE AVAILABLE AT THE JOB SITE.
- P. AS-BUILT DRAWINGS OF ROADWAYS, STORM DRAINS, SANITARY SEWER AND WATER LINES, FIELD APPROVAL BY THE ENGINEER, AND ALL APPLICABLE BONDS ARE REQUIRED PRIOR TO FINAL ACCEPTANCE BY THE OWNER.
- Q. CONTRACTOR SHALL MAINTAIN CONTINUOUS UTILITY SERVICE TO ALL EXISTING BUILDINGS THROUGHOUT CONSTRUCTION UNLESS APPROVAL FOR SERVICE INTERRUPTION IS OBTAINED FROM THE OWNERS IN ADVANCE.
- R. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS TO ENSURE THAT THE NEW WORK SHALL FIT INTO THE EXISTING SITE IN THE MANNER INTENDED AND AS SHOWN ON THE DRAWINGS. SHOULD ANY CONDITIONS EXIST THAT ARE CONTRARY TO THOSE SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE PRIOR TO PERFORMING ANY WORK IN THE AREA INVOLVING DIFFERENCES. NOTIFICATION SHALL BE IN THE FORM OF A DRAWING OR SKETCH INDICATING FIELD MEASUREMENTS AND NOTES RELATING TO THE AREA.
- S. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO THE PREMISES OR ADJACENT PREMISES, OR INJURIES TO THE PUBLIC DURING THE CONSTRUCTION OF THE WORK, WHETHER CAUSED BY HIMSELF, HIS SUBCONTRACTORS, OR THE CARELESSNESS OF ANY OF HIS EMPLOYEES.
- T. THE CONTRACTOR SHALL FURNISH, INSTALL, AND MAINTAIN ALL NECESSARY TEMPORARY WORKS FOR THE PROTECTION OF THE WORK AND THE PUBLIC, INCLUDING BARRICADES, WARNING SIGNS, LIGHTS, ETC.
- U. THE CONTRACTOR IS TO CHECK AND VERIFY ALL MEASUREMENTS, LEVELS, ETC. BEFORE ORDERING MATERIALS AND PROCEEDING WITH THE WORK, AND IS TO BE RESPONSIBLE FOR THE SAME.
- V. CARE SHALL BE TAKEN TO PROTECT ANY UTILITIES, TREES, ETC. WHICH ARE TO REMAIN AND NOT TO BE DISTURBED BY THE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES TO SUCH PROPERTY.

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Release of and proper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

GENERAL NOTES:

1. THE PROJECT SITE IS SHOWN ON WILLIAMSON COUNTY, TAX MAP # 79, PARCEL 48.04.
2. BASE INFORMATION WAS TAKEN FROM A SURVEY PREPARED BY LITTLE JOHN, DATED MARCH 23, 2015. KIMLEY-HORN AND ASSOCIATES SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF THE BASE INFORMATION SHOWN.
3. EXISTING PAVEMENT OF PUBLIC ROADWAYS SHALL BE PATCHED IN ACCORDANCE WITH LOCAL AGENCY STANDARDS WHEREVER UTILITY INSTALLATION REQUIRES REMOVAL OF THE EXISTING PAVEMENT.
4. PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. SLIGHT FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY.
5. WHERE NOT SPECIFIED, THE CONTRACTOR WILL BE REQUIRED TO ADJUST GRADES OF INTERSECTING STREETS, ALLEYS, PUBLIC ENTRANCES AND PRIVATE DRIVES IN ORDER TO ASSURE POSITIVE DRAINAGE TO STORM INLETS.
6. ALL DIMENSIONS ARE TO FACE OF CURB AND/OR EXTERIOR FACE OF BUILDING UNLESS OTHERWISE NOTED.
7. CONCRETE FOR CURBS AND SIDEWALKS SHALL BE 3500 PSI MIN. CONCRETE.
8. ACCESSIBLE RAMPS SHALL HAVE A MAXIMUM SLOPE OF 8.33%. SLOPES WITHIN ACCESSIBLE SPACES SHALL BE MAXIMUM 2% IN ALL DIRECTIONS.
9. THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE MANUAL OF ACCIDENT PREVENTION AND CONSTRUCTION ISSUED BY AGC OF AMERICA, INC. AND THE SAFETY AND HEALTH REGULATIONS OF CONSTRUCTION ISSUED BY THE U.S. DEPARTMENT OF LABOR.
10. CONTRACTOR SHALL REFER TO SITE SPECIFIC GEOTECHNICAL REPORT AND SITE SPECIFIC STORM WATER POLLUTION PREVENTION PLAN (SWPPP) PRIOR TO COMMENCING WITH EARTHWORK ACTIVITIES.
11. PERMANENT CUT AND FILL SLOPES SHALL NOT EXCEED 3:1 UNLESS OTHERWISE NOTED.
12. THE PROPOSED GRADING PLAN IS A RESULT OF AN ENGINEERED DESIGN AND REFLECT A PLANNED INTENT WITH REGARD TO SLOPES AND STORM RUNOFF. SHOULD THE CONTRACTOR HAVE QUESTIONS OR COMMENTS RELATED TO THE PROPOSED DESIGN, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
13. THE CONTRACTOR SHALL NOTIFY "ONE CALL" (811) AT LEAST 72 HOURS PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES. THE CITY OF FRANKLIN WATER MANAGEMENT DEPARTMENT IS NOT A MEMBER OF TN ONE CALL. THE CONTRACTOR SHALL ALSO NOTIFY THE CITY OF FRANKLIN WATER MANAGEMENT DEPARTMENT TO LOCATE WATER AND/OR SEWER AT LEAST 72 HOURS PRIOR TO THE ESTIMATED TIME OF EXCAVATION.
14. EARTHWORK ACTIVITIES MUST BE SUPERVISED BY A LICENSED GEOTECHNICAL ENGINEER.
15. THE CONTRACTOR SHALL PROVIDE AS-BUILT CONDITIONS OF ALL UTILITIES AND STORMWATER PONDS PER THE LOCAL MUNICIPALITY REGULATIONS. AS-BUILT CONDITIONS MUST BE LOCATED BY A LICENSED LAND SURVEYOR.

EROSION AND SEDIMENT CONTROL INFORMATION:

1. **COMPREHENSIVE:**
 - A. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO OR CONCURRENT WITH LAND-DISTURBING ACTIVITIES.
 - B. PROTECT AND PREVENT EROSION OF SOIL FROM THE SITE SHALL BE MAINTAINED IN CONFORMANCE WITH THE REQUIREMENTS OF THE TENNESSEE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
 - C. FAILURE TO INSTALL, OPERATE, OR MAINTAIN ALL EROSION CONTROL MEASURES WILL RESULT IN ALL CONSTRUCTION BEING STOPPED ON THE JOB SITE UNTIL SUCH MEASURES ARE CORRECTED BACK TO THE STANDARDS SPECIFIED IN THE TENNESSEE EROSION AND SEDIMENT CONTROL HANDBOOKS, CURRENT EDITION.
 - D. EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO LAND DISTURBANCE. THE LOCATION OF SOME OF THE EROSION CONTROL DEVICES MAY HAVE TO BE ALTERED FROM THAT SHOWN ON THE APPROVED PLANS IF GRAVITY PATTERNS DURING CONSTRUCTION ARE DIFFERENT FROM THE FINAL PROPOSED DRAINAGE PATTERNS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOMPLISH EROSION CONTROL FOR ALL DRAINAGE PATTERNS CREATED AT VARIOUS STAGES DURING CONSTRUCTION. ANY DIFFICULTY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
 - E. THE CONSTRUCTION OF THE SITE WILL COMMENCE WITH THE INSTALLATION OF EROSION CONTROL MEASURES SUFFICIENT TO CONTROL SEDIMENT DEPOSITS AND EROSION. ALL SEDIMENT CONTROL WILL BE MAINTAINED UNTIL ALL UPSTREAM GROUND WITHIN THE CONSTRUCTION AREA HAS BEEN COMPLETELY STABILIZED WITH PERMANENT VEGETATION AND ALL ROADS/DRIVEWAYS HAVE BEEN PAVED.
 - F. CONSTRUCTION EXITS SHALL BE CONSTRUCTED AT EACH POINT OF ENTRY OR EXIT FROM THE SITE AND SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD INTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH STONE AS CONDITIONS DEMAND, REPAIR, AND/OR CLEANOUT OF ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES OFF SITE ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. ACCESS POINTS PROTECTED WITH A CONSTRUCTION EXIT SHALL BE OTHERWISE BARRICADED UNTIL THE SITE IS STABILIZED.
 - G. EROSION CONTROL DEVICES ARE TO BE INSTALLED AND FULLY OPERATIONAL PRIOR TO ANY DEMOLITION.
 - H. SILT FENCE SHALL BE TYPE C TEMPORARY SILT FENCE AND BE WIRE ENFORCED, UNLESS OTHERWISE NOTED.
 - I. ADDITIONAL EROSION CONTROL MEASURES WILL BE EMPLOYED WHERE DETERMINED NECESSARY BY ACTUAL SITE CONDITIONS.
2. **DURING CONSTRUCTION:**
 - A. ON-SITE DUST CONTROL DURING CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL LOCAL CODES AND REGULATIONS.
 - B. THE CONTRACTOR SHALL REMOVE ACCUMULATED SILT WHEN THE SILT HAS ACCUMULATED TO $\frac{1}{3}$ THE ORIGINAL HEIGHT OF THE BARRIER.
 - C. ALL OPEN SWALES MUST BE GRASSED AND RIP-RAP MUST BE PLACED AS REQUIRED TO CONTROL EROSION. STONE FOR RIP-RAP SHALL CONSIST OF ROUGH UN-HEWN QUARRY GRANITE AS NEARLY AS RECTANGULAR SECTION AS PRACTICAL. THE MINIMUM SIZE STONE SHALL WEIGH BETWEEN 75 AND 150 POUNDS AND SHALL BE HAND PLACED AS A LOOSE STONE EMBANKMENT.
 - D. AT ANY TIME DURING CONSTRUCTION IF IT BECOMES NECESSARY TO PUMP STORM WATER OR GROUNDWATER FROM AN EXCAVATION, THE PUMPED WATER MUST NOT HAVE AN OBJECTIONABLE COLOR CONTRAST WHEN COMPARED TO THE RECEIVING WATERS AND MUST NOT IMPAIR IN ANY WAY THE RECEIVING WATERS. WATER THAT DOES NOT MEET THESE REQUIREMENTS MUST BE FILTERED OR DISCHARGED INTO A TEMPORARY SEDIMENT BASIN OR TANK, FILTERING OUT THE SEDIMENT AND THEN DISCHARGING IT INTO A PERMITTED DEVICE UNTIL IT MEETS THE EFFLUENT REQUIREMENTS. ONCE THE EFFLUENT REQUIREMENTS HAVE BEEN MET THE WATER MAY BE DISCHARGED INTO THE STORM SEWER SYSTEM.

THESE SAME REQUIREMENTS APPLY TO ALL AUTHORIZED NON-STORM WATER DISCHARGES UNDER THE STATE OF TENNESSEE GENERAL NPDES PERMIT NO. TNR 100000 AUTHORIZATION TO DISCHARGE UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY.

- E. NO GRADED SLOPE SHALL EXCEED 3H:1V UNLESS OTHERWISE NOTED.
- F. EPSIC MEASURES SHALL ONLY BE REMOVED AFTER THE SITE HAS ESTABLISHED A SOLID, STABILIZED STAND OF GRASS.

STORM DRAINAGE INFORMATION:

1. **PIPES:**
 - A. UNLESS OTHERWISE NOTED ON THE DRAWING RCP SHALL BE CLASS III WITH "O" RING JOINTS.
 - B. THE PIPE MANUFACTURER SHALL SUPPLY A CLASSIFICATION OF THE PIPE SPECIFICATIONS FOR EACH PIPE PRIOR TO INSTALLATION.
 - C. PIPE INSTALLATION SHALL CONFORM TO THE LOCAL MUNICIPALITY STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, CURRENT EDITION.
 - D. IF UNDERGROUND WATER/SPRINGS ARE UNCOVERED DURING CONSTRUCTION, PERMANENT FRENCH DRAINS MAY BE REQUIRED. CONSULTATION WITH THE ON SITE GEOTECHNICAL ENGINEER WILL BE REQUIRED.

2. **STRUCTURES:**

- A. ALL STRUCTURES SHALL BE MADE OF PRECAST CONCRETE. ALL INVERTS SHALL BE NEATLY FORMED UP TO THE SPRING LINE WITH MORTAR OR BRICK TO INSURE PROPER FLOW.
- B. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL INVERTS AND PIPE SLOPES PRIOR TO INSTALLATION TO ENSURE PROPER COVER AND LENGTHS OF PIPE.
- C. CONTRACTOR SHALL REMOVE SEDIMENT FROM ALL STORM STRUCTURES PRIOR TO ACCEPTANCE BY LOCAL MUNICIPALITY.
- D. THE CONTRACTOR SHALL COMPACT FILL SUFFICIENTLY AROUND ALL STRUCTURES, PIPES, ETC. WITHIN PROPOSED PAVEMENT TO AVOID SETTLEMENT. ANY SETTLEMENT DURING THE WARRANTY/MAINTENANCE PERIOD SHALL BE RESTORED AT THE CONTRACTOR'S EXPENSE.

SANITARY SEWER NOTES:

1. **CONSTRUCTION CRITERIA:**

- A. ALL INSTALLATION, MATERIALS, AND SPECIFICATIONS SHALL BE IN ACCORDANCE WITH THE LOCAL MUNICIPALITY STANDARD SPECIFICATIONS.
- B. ALL WASTEWATER EASEMENTS MUST BE DRESSED AND GRASSED TO CONTROL EROSION AND SEDIMENTATION IN ACCORDANCE WITH REGULATIONS PRIOR TO ACCEPTANCE. TREES SHALL NOT BE PLANTED IN THE PERMANENT EASEMENT AREA.
- C. THE BACKFILL OF ALL TRENCHES SHALL BE COMPAKTED TO 98% OF THE THEORETICAL MAXIMUM DENSITY. BACKFILL MATERIAL SHALL BE FREE OF ROOTS, STUMPS, OR OTHER FOREIGN DEBRIS AND SHALL BE PLACED AT OR NEAR OPTIMUM MOISTURE. CORRECTION OF ANY TRENCH SETTLEMENT WITHIN A YEAR FROM THE DATE OF APPROVAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- D. THE CONTRACTOR FOR VERTICAL CONSTRUCTION SHALL VERIFY THE ELEVATION OF THE SANITARY SEWER SERVICE VS. FINISH FLOOR ELEVATION FOR EACH BUILDING AND ADJUST THE PROPOSED FINISH FLOOR ELEVATION AS NECESSARY IN ORDER TO ENSURE PROPER SEWER SERVICE.
- E. PROPOSED LOT CORNERS SHALL BE STAKED IN THE FIELD PRIOR TO UTILITY SERVICE INSTALLATION.

1. **PIPES:**

- A. THE MINIMUM VERTICAL DISTANCE BETWEEN WATER AND SEWER LINES SHALL BE 18 INCHES. THE MINIMUM HORIZONTAL DISTANCE BETWEEN WATER AND SEWER LINES SHALL BE 10 FEET WHERE PRACTICAL.
- B. LOW PRESSURE AIR TESTING IS REQUIRED FOR ALL WASTEWATER PIPE SYSTEMS. THIS TEST MUST MEET ALL REQUIREMENTS AS OUTLINED IN ASTM C-828-80 OR CURRENT REVISION.
- C. WHERE A SEWER LINE CROSSES UNDER A WATER MAIN, THE TOP OF THE SEWER LINE SHALL BE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN. IF PROPER SEPARATION CANNOT BE PROVIDED, CONSTRUCT THE WATER CROSSING WITH MECHANICAL JOINT DIP FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE SEWER LINE.
- D. ALL SEWER SERVICES SHALL BE 6 INCHES IN DIAMETER AND EXTEND TO THE PROPERTY LINE.
- E. CONTRACTOR SHALL PROVIDE #8 WIRE WITH ALL SEWER SERVICES.

3. **STRUCTURES:**

- A. CONTRACTOR SHALL FIELD VERIFY LOCATION AND INVERT ELEVATIONS OF WASTEWATER PIPE FOR CONNECTION TO EXISTING WASTEWATER SYSTEMS PRIOR TO STARTING UTILITY WORK.
- B. EXISTING MANHOLES LOCATED WITHIN PROPOSED CUT/FILL AREAS SHALL BE ADJUSTED TO ASSURE THAT THE TOP OF GRATE MATCHED PROPOSED FINISH GRADE.
- C. THE OUTSIDE OF ALL MANHOLES SHALL BE COATED WITH BITUMINOUS PAINT.
- D. ALL CONNECTIONS TO EXISTING MANHOLES SHALL BE BY CORING AND RESILIENT SEAL METHOD.

WATER SYSTEM INFORMATION:

1. **NOTIFICATIONS:**

- A. NOTIFY LOCAL MUNICIPALITY AND UTILITY DISTRICT PRIOR TO THE START OF CONSTRUCTION AND THE WATER AND SEWER INSPECTOR FOR WORK WITHIN THE PUBLIC RIGHT-OF-WAY AND ANY METER WORK.
- B. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING THE SEQUENCING OF CONSTRUCTION FOR ALL UTILITIES SO THAT WATER MAINS DO NOT CONFLICT WITH OTHER UTILITIES.
- C. THE CONTRACTOR SHALL PROVIDE ALL HORIZONTAL BENDS IN ORDER TO PROVIDE THE ALIGNMENT SHOWN ON THE PLANS. VERTICAL BENDS SHALL BE PROVIDED IN ORDER TO PASS UNDER/OVER OTHER UTILITY LINES, PROVIDING MINIMUM COVER AS SPECIFIED BY THE LOCAL MUNICIPALITY. PROVIDE BRACING AND SUPPORT AS REQUIRED BY THE LOCAL MUNICIPALITY.

2. **HYDRANTS:**

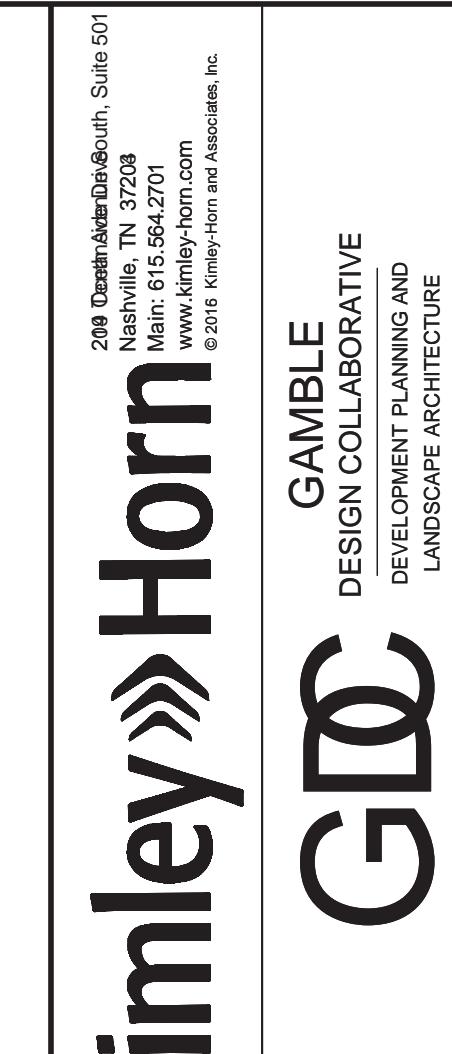
- A. FOR FIRE HYDRANT INSTALLATION REFER TO DETAILS.

3. **PIPES:**

- A. EXISTING DOMESTIC WATER LINES ARE TO BE ABANDONED IN PLACE UNLESS NOTED OTHERWISE.
- B. ALL INSTALLATION, MATERIAL, DISINFECTION, AND INSPECTIONS SHALL BE IN ACCORDANCE WITH THE LOCAL MUNICIPALITY STANDARD SPECIFICATIONS.
- C. PROVIDE A MINIMUM OF 36 INCHES OF COVER OVER ALL WATER MAINS.

4. **WATER MAIN INSTALLATION:**

- A. ALL WATER AND SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH SPECIFICATIONS AND STANDARD DETAILS OF THE LOCAL MUNICIPALITY.
- B. THE CONTRACTOR SHALL ADJUST THE ALIGNMENT OF THE WATER MAIN, AS NECESSARY, IN ORDER TO PROVIDE PROPER SEPARATION OF UTILITIES AND ALLOW SPACING NECESSARY FOR BRACING AT BENDS AND TEES.



<p>STORMWATER EROSION PREVENTION AND SEDIMENT CONTROL REQUIREMENTS:</p> <ul style="list-style-type: none"> • EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DESIGNED TO CONTROL THE RAINFALL AND RUNOFF FROM A 5 YEAR, 24 HOUR STORM, AS A MINIMUM. • EROSION PREVENTION AND SEDIMENT CONTROLS MUST BE INSPECTED ONCE A WEEK AND 24 HOURS BEFORE A RAIN EVENT AFTER A 2.5 INCH RAIN EVENT AND DOCUMENTED ON THE INSPECTION SITE CHECKLIST. • SEDIMENT THAT HAS ESCAPED THE CONSTRUCTION SITE AND HAS COLLECTED IN THE STREET OR DRAINAGE STRUCTURES MUST IMMEDIATELY BE PHYSICALLY REMOVED. • STABILIZATION MEASURES MUST BE PERFORMED WITHIN SEVEN (7) DAYS IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, AND WITHIN FIFTEEN (15) DAYS AFTER FINAL GRADING. THIS IS A COVER CROP WITH AT LEAST 75% COVERAGE. • DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE SPECIFIED RATES. <p>TEMPORARY STABILIZATION & PERMANENT STABILIZATION</p> <ul style="list-style-type: none"> • STRAW MULCH MUST BE APPLIED AT 3.0 TONS PER ACRE. • STRAW MULCH WITH MULCH CONTROL NETTING OR EROSION CONTROL BLANKETS MUST BE INSTALLED ON ALL SLOPES 3:1 AND STEEPER." • STRAW MULCH SHALL BE APPLIED IN LONG STRANDS, NOT CHOPPED OR FINELY BROKEN. • EXCAVATED TOPSOIL TO BE REUSED MUST BE STOCKPILED AND ENCIRCLED WITH SILT FENCING. STOCKPILE HEIGHTS MUST NOT EXCEED 35 FEET. STOCKPILE SLOPES MUST BE 2:1 OR FLATTER. STOCKPILES WHICH HAVE NOT BEEN USED FOR 14 CALENDAR DAYS SHALL BE STABILIZED THROUGH THE APPLICATION OF SOD, SEED AND ANCHORED STRAW MULCH, OR OTHER APPROVED STABILIZATION MEASURES. • OFF-SITE SPOIL OR BORROW AREAS MUST HAVE APPROVED SEDIMENT CONTROL PLANS. • A 25 FOOT UNDISTURBED STREAMSIDE BUFFER ZONE WILL BE LEFT FROM TOP OF BANK ON BOTH SIDES FOR THE ENTIRE LENGTH OF STREAMS THAT TDEC DETERMINES TO BE A PERENNIAL OR INTERMITTENT STREAM. THE STREAMSIDE BUFFER SHALL BE FENCED OFF WHERE THERE IS NO ENCROACHMENT. BUFFER MEANS A VEGETATED AREA, INCLUDING TREES AND SHRUBS THAT EXISTS OR IS ESTABLISHED TO PROTECT A STREAM SYSTEM, LAKE, OR RESERVOIR AREA. THIS BUFFER ALSO APPLIES TO OTHER SENSITIVE AREAS SUCH AS SPRINGS, WETLANDS AND SINKHOLES. TDEC REQUIRES A 60 FOOT CONSTRUCTION BUFFER ON SOME STREAMS. • AN ORANGE CONSTRUCTION FENCE IS REQUIRED TO DESIGNATE THE BUFFER AREA BEFORE CLEARING OR TREE REMOVAL HAS BEGUN. • THIS STREAMSIDE BUFFER WILL BE LEFT IN UNDISTURBED OR ENHANCED (WHEN REQUIRED BY THE CITY) AND WILL BE PART OF OPEN SPACE AND RECOGNIZED ON COVENANTS WITH RESTRICTIONS OF HOW IT IS TO BE MAINTAINED BY HOMEOWNER ASSOCIATION OR NONRESIDENTIAL PROPERTY OWNER. IF MORE THAN REGULAR MAINTENANCE IS EVER NEEDED, I.E. REMOVAL OF SMALL BRUSH OR TREES THAT HAVE FALLEN, A LANDSCAPE PLAN AND A TREE CUTTING PERMIT IS REQUIRED. • ALL SEDIMENT BASINS, TRAP EMBANKMENTS, SWALES, PERIMETER DYES, AND PERMANENT SLOPES STEEPER OR EQUAL TO 3:1 SHALL BE STABILIZED WITH SOD, SEED AND ANCHORED STRAW MULCH OR OTHER APPROVED STABILIZATION MEASURES, WITHIN SEVEN (7) CALENDAR DAYS OF ESTABLISHMENT. ALL AREAS DISTURBED OUTSIDE OF THE PERIMETER SEDIMENT CONTROL SYSTEM MUST BE MINIMIZED AND STABILIZED IMMEDIATELY. MAINTENANCE MUST BE PERFORMED AS NECESSARY TO ENSURE CONTINUED STABILIZATION. RESTABILIZATION OR OVERSEEDING WILL BE REQUIRED, IF NECESSARY. • IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION. • CONSTRUCT AND STABILIZE SEDIMENT POND AND CONVEYANCES FIRST. STABILIZE MEANS: <ul style="list-style-type: none"> A.) A UNIFORM (E. G., EVENLY DISTRIBUTED, WITHOUT LARGE BARE AREAS) PERENNIAL VEGETATIVE COVER WITH A DENSITY OF A MINIMUM OF 75 PERCENT OF THE NATIVE BACKGROUND VEGETATIVE COVER FOR THE AREA ESTABLISHED ON ALL UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES, OR B.) EQUIVALENT PERMANENT STABILIZATION MEASURES (SUCH AS THE USE OF RIPRAP, GABIONS, OR GEOTEXTILE) HAVE BEEN EMPLOYED WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS. • IF THERE IS A GRAVEL ENVELOPE IN FRONT OF THE OUTLET ORIFICE, IT WILL BE REMOVED AS SOON AS THE SITE IS STABILIZED AND BEFORE BONDS ARE RELEASED. • INCLUDE A FOREBAY IN ANY DETENTION POND TO FACILITATE EASIER MAINTENANCE. • WITH EARTHEN WALLS, PLACE AN ANTISEEP COLLAR (OR COLLARS) AROUND THE OUTLET PIPE. <p>SEDIMENT FENCE</p> <p>SEDIMENT FENCE OR OTHER SEDIMENT BARRIERS, HAS BEEN INSTALLED PROPERLY ALONG TOPOGRAPHICAL CONTOURS DOWNSLOPE OF THE AREA TO BE DISTURBED PRIOR TO ANY GRADING, CLEARING AND/OR ANY OTHER CONSTRUCTION ACTIVITY.</p> <p>SEDIMENT FENCE:</p> <p>USE PRINCIPALLY IN AREAS WHERE SHEET FLOW OCCURS.</p> <p>INSTALL ALONG A LEVEL CONTOUR, SO WATER DOES NOT POND MORE THAN 1.5 FEET (0.5 M) AT ANY POINT. THE MAXIMUM SLOPE PERPENDICULAR TO THE FENCE LINE SHOULD BE 1:1, NO MORE THAN 0.25 ACRE (0.1 HA) PER 100 FT. (31.4 M), OR 0.5 CFS (1.4 X 10-2 M3/S) OF CONCENTRATED FLOW SHOULD DRAIN TO ANY POINT ALONG THE SILT FENCE.</p> <p>TURN ENDS OF FENCE UPHILL TO PREVENT SCOUR FROM WASH AROUND. INTERMITTENTLY, TURN FENCE UPHILL.</p> <p>PROVIDE AREA BEHIND THE FENCE FOR RUNOFF TO POND AND SEDIMENT TO SETTLE (APPROX. 1200 SQ. FT. (111.5 M2) PER ACRE (0.4 HA) DRAINING TO THE SILT FENCE).</p> <p>SELECT FILTER FABRIC THAT RETAINS 85% OF THE SOIL, BY WEIGHT, BASED ON SIEVE ANALYSIS, BUT IS NOT FINER THAN AN EQUIVALENT OPENING SIZE OF 70.</p> <ul style="list-style-type: none"> • STRAW/HAY BALES (ARE NOT RECOMMENDED) SILT FENCES, SAND BAG BARRIERS, AND ROCK FILTERS (ESPECIALLY CONTINUOUS BERMS) ARE PREFERRED OVER STRAW/HAY BALES BECAUSE SEDIMENT REMOVAL EFFICIENCIES, DURABILITY, AND MAINTENANCE REQUIREMENTS ARE FAR LESS DESIRABLE IN STRAW/HAY BALES. • INLET PROTECTION: WHERE APPLICABLE, INLET PROTECTIONS FOR NEARBY STORM SEWER CURB AND DROP INLETS HAVE BEEN INSTALLED. <p>STORM DRAIN PROTECTION: WHERE APPLICABLE, PROTECTIONS FOR NEARBY STORM SEWER CURB AND DROP INLETS HAVE BEEN INSTALLED.</p> <p>SAND BAG BARRIER: USED TO CREATE A SMALL SEDIMENT TRAP UPSTREAM OF INLETS ON SLOPED, PAVED STREETS.</p> <p>EXCAVATED DROP INLET SEDIMENT TRAP: AN EXCAVATED AREA AROUND THE INLET TO TRAP.</p> <p>GUTTERBUDDY TYPE PROTECTION: USED TO CREATE A SMALL WATER PONDING AREA TO SETTLE SEDIMENT OUT BEFORE WATER ENTERS STORM DRAIN.</p> <p>(EXCERPT FROM FRANKLIN BEST MANAGEMENT PRACTICE MANUAL)</p> <p>SEDIMENT FENCES:</p> <p>USE PRINCIPALLY IN AREAS WHERE SHEET FLOW OCCURS.</p> <ul style="list-style-type: none"> • INSTALL ALONG A LEVEL CONTOUR, SO WATER DOES NOT POND MORE THAN 1.5 FEET (0.5 M) AT ANY POINT. • THE MAXIMUM SLOPE PERPENDICULAR TO THE FENCE LINE SHOULD BE 1:1. • NO MORE THAN 0.25 ACRE (0.1 HA) PER 100 FT. 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ALL EP&SC DEVICES ARE TO REMAIN IN PLACE UNTIL THE SITE HAS BEEN STABILIZED AND A GOOD STAND OF GRASS HAS BEEN ESTABLISHED.</p> <ul style="list-style-type: none"> • WHEN A SEDIMENT FENCE'S CAPACITY HAS BEEN REDUCED 33%, IT SHALL BE REPLACED. • EROSIONS PREVENTION AND SEDIMENT CONTROL DEVICES, EP&SC, SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD, GENERALLY CONSIDERED TO BE THROUGH THE COMPLETION OF RESTORATION. A COPY OF YOUR EP&SC PLAN ALONG WITH AN INSPECTION CHECKLIST AND STORMWATER PERMIT, IF APPLICABLE, MUST BE AT THE PROJECT SITE AT ALL TIMES. THE INSPECTION CHECKLIST SHALL HAVE A RECORD OF DATES EP&SC DEVICES ARE INSPECTED AND ANY CORRECTION ACTION TAKEN OR MAJOR OBSERVATIONS. • EXCAVATED TOPSOIL TO BE REUSED MUST BE STOCKPILED AND ENCIRCLED WITH SILT FENCING. <p>CONSTRUCTION ENTRANCE: THIS SITE SHALL CONTAIN A TEMPORARY STONE CONSTRUCTION ENTRANCE THAT CONFORMS TO THE CITY OF FRANKLIN'S STORMWATER ORDINANCE AND BEST MANAGEMENT PRACTICE MANUAL. IT MUST BE INSTALLED WITHIN 24 HOURS OF GRADING OR THE PERMIT WILL BE REVOKED. THE USE OF FILTER CLOTH BEHIND CONSTRUCTION ENTRANCE IS REQUIRED. STONES SHOULD BE 3 INCH CRUSHED, WASHED, AND WELL GRADED ROCK TO AT LEAST A 6-INCH (15.2) DEEP AND SHALL BE KEPT CLEAN BY ADDING STONE AS NEEDED. IT SHALL BE 20 FEET WIDE. SEE DETAIL TCP-03 FOR SPECIFIC CONSTRUCTION ENTRANCE DETAILS. SEE HTTP://WWW.FRANKLIN-GOV.COM/ENGINEERING/STORMWATER/BMP/TCPIP-03.PDF</p> <ul style="list-style-type: none"> • A QUALIFIED PERSON WHO HAS TAKEN AN APPROVED EROSION AND SEDIMENTATION COURSE MUST INSPECT BMPs. • WHERE APPLICABLE, INLET PROTECTIONS FOR NEARBY STORM SEWER CURB AND DROP INLETS HAVE BEEN INSTALLED. • WHERE APPLICABLE, EXISTING VEGETATION AND BUFFER WILL BE MAINTAINED AND TEMPORARY COVER CROPS WILL BE USED. • SEDIMENT THAT HAS ESCAPED THE CONSTRUCTION SITE AND HAS COLLECTED IN THE STREET OR DRAINAGE STRUCTURES MUST IMMEDIATELY BE PHYSICALLY REMOVED. • BUILDING AND WASTE MATERIALS, AND NON-STORM WATER DISCHARGES, SUCH AS CONCRETE, PAINT WASHWATER, OR MACHINERY LEAKAGE OR SPILLAGE MUST BE MANAGED TO PREVENT THEM FROM ENTERING THE STORMWATER SYSTEM, GROUND WATER OR NEARBY WATER BODY. • EP&SC AND STORMWATER CONTROLS SHALL BE INSTALLED AND MAINTAINED ACCORDING TO FRANKLIN'S BMP MANUAL. YOU CAN FIND A COPY OF IT AT: HTTP://WWW.FRANKLINGOV.COM/ENGINEERING/STORMWATER/INDEX.HTM • STORMWATER DETENTION/RETENTION AND SEDIMENT PONDS WILL BE INSTALLED AT THE BEGINNING OF THE PROJECT. • LARGE CONSTRUCTION SITES SHALL BE BUILT IN PHASES. • STORMWATER DETENTION/RETENTION AND SEDIMENT PONDS WILL BE INSTALLED AT THE BEGINNING OF THE PROJECT. <p>DEWATERING: SEDIMENT TRAP/BASIN DEWATERING FOR CLEANOUT OR REPAIR MAY ONLY BE DONE WITH THE CITY OF FRANKLIN INSPECTOR'S PERMISSION. THE INSPECTOR MUST APPROVE THE DEWATERING METHOD FOR EACH APPLICATION. THE FOLLOWING METHODS MAY BE CONSIDERED:</p> <ul style="list-style-type: none"> A. PUMP DISCHARGE MAY BE DIRECTED TO ANOTHER ON-SITE SEDIMENT TRAP OR BASIN, PROVIDED IT IS OF SUFFICIENT VOLUME AND THE PUMP INTAKE IS FLOATED TO PREVENT AGITATION OR SUCTION OF DEPOSITED SEDIMENTS; OR B. THE PUMP INTAKE MAY UTILIZE A REMOVABLE PUMPING STATION AND MUST DISCHARGE INTO AN UNDISTURBED AREA THROUGH A NON-EROSIVE OUTLET; OR C. THE PUMP INTAKE MAY BE FLOATED AND DISCHARGE INTO A DIRT BAG (12 OZ. NONWOVEN FABRIC), OR APPROVED EQUIVALENT, LOCATED IN AN UNDISTURBED BUFFER AREA. D. ALL PUMPING OF SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER FILTER BAG OR EQUIVALENT SEDIMENT REMOVAL FACILITY, OVER UNDISTURBED VEGETATED AREAS. <ul style="list-style-type: none"> • ANY REQUEST FOR CHANGES TO THE APPROVED SEDIMENT CONTROL PLAN OR SEQUENCE OF CONSTRUCTION MUST BE SUBMITTED TO THE SEDIMENT CONTROL INSPECTOR AND APPROVED BEFORE IMPLEMENTING CHANGES. MAJOR CHANGES WILL REQUIRE A PLAN REVISION. • THE PERMITTEE SHALL PROTECT ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS TO PREVENT THE DEPOSITION OF MATERIALS ONTO TRAVERSED PUBLIC THOROUGHFARE(S). ALL MATERIALS DEPOSITED ONTO PUBLIC THOROUGHFARE(S) SHALL BE REMOVED IMMEDIATELY. • OBTAINING OF ANY PERMITS IS THE RESPONSIBILITY OF THE STORMWATER MANAGEMENT PERMIT HOLDER OR DEVELOPER. • PERMITTEES SHALL MAINTAIN A RAIN GAUGE AND DAILY RAINFALL RECORDS AT THE SITE, OR USE A REFERENCE SITE FOR A RECORD OF DAILY AMOUNT OF PRECIPITATION. <p>STORMWATER PONDS AND WATER QUALITY MAINTENANCE NOTES</p> <ul style="list-style-type: none"> • CHECK OUTLET REGULARLY FOR CLOGGING AND REMOVE ANY DEBRIS. • CHECK BANKS AND BOTTOM SURFACE OF BASIN FOR EROSION AND CORRECT AS NECESSARY. • CHECK AT LEAST ANNUALLY AND AFTER EACH EXTREME STORM/EVENT, THE FACILITY SHOULD BE CLEANED OF ACCUMULATED DEBRIS. THE BANKS OF SURFACE PONDS SHOULD BE CHECKED AND AREAS OF EROSION REPAIRED. REMOVE NUISANCE WETLAND SPECIES AND TAKE APPROPRIATE MEASURES TO CONTROL MOSQUITOES. • THIS MAINTENANCE TYPICALLY INCLUDES SEDIMENT, FLOATABLE, AND DEBRIS REMOVAL FROM INLETS, OUTLETS AND SKIMMERS • POND VEGETATION NEEDS TO BE TRIMMED OR HARVESTED AS APPROPRIATE, GRASSY AREAS FREQUENTLY MOVED. • THE OUTLET STRUCTURE FILTER SHALL BE CHECKED REGULARLY FOR CLOGGING AND SHALL BE CLEANED AND REPAIRED AS NECESSARY. • REMOVE SEDIMENT WHEN ACCUMULATION REACHED 6 INCHES, OR IF RE-SUSPENSION IS OBSERVED OR PROBABLE. SEDIMENT MAY BE PERMITTED TO ACCUMULATE DEEPER THAN 6 INCHES IF THERE IS A PERMANENT MARKER INDICATING DEPTH WHERE SEDIMENT NEEDS TO BE REMOVED, AND THAT MARK HAS NOT BEEN MET. • SOME SEDIMENT MAY CONTAIN CONTAMINANTS OR WHICH THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION (TDEC) REQUIRES SPECIAL DISPOSAL PROCEDURE. IF THERE IS ANY UNCERTAINTY ABOUT WHAT THE SEDIMENT CONTAINS OR IT IS KNOWN TO CONTAIN CONTAMINANTS, THEN TDEC SHOULD BE CONSULTED AND THEIR DISPOSAL RECOMMENDATIONS FOLLOWED. TDEC DIVISION OF WATER POLLUTION CONTROL SHOULD BE CONTACTED AT (615) 532-0625. GENERALLY, SPECIAL ATTENTION ON SAMPLING SHOULD BE GIVEN TO SEDIMENT ACCUMULATED IN FACILITIES SERVING INDUSTRIAL, MANUFACTURING OR HEAVY COMMERCIAL SITES, FUELING CENTERS OR AUTOMOTIVE MAINTENANCE AREAS, LARGE PARKING AREAS, OR OTHER AREAS WHERE POLLUTANTS (OTHER THAN CLEAN SOIL) ARE SUSPECTED TO ACCUMULATE AND BE CONVEYED BY STORM RUNOFF. SOME SEDIMENT COLLECTED MAY BE INNOCUOUS (FREE OF POLLUTANTS) AND CAN BE USED AS FILL MATERIAL, COVER OR LAND SPREADING. IT IS IMPORTANT THAT THIS MATERIAL NOT BE PLACED IN ANY WAY THAT WILL PROMOTE OR ALLOW RE-SUSPENSION IN STORM RUNOFF. <p>ENHANCED SWALE INSPECTION AND MAINTENANCE NOTES</p> <table border="1"> <thead> <tr> <th>ACTIVITY</th> <th>SCHEDULE</th> </tr> </thead> <tbody> <tr> <td>FOR DRY SWALES, MOW GRASS TO MAINTAIN A HEIGHT OF 4 TO 6 INCHES. 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THE LICENSED PROFESSIONAL SHALL CERTIFY THAT: THE FACILITIES HAVE BEEN CONSTRUCTED AS SHOWN ON THE "ASBUILT" PLAN, AND FACILITIES MEET THE APPROVED STORMWATER MANAGEMENT PLAN AND SPECIFICATIONS, OR ACHIEVE THE FUNCTION FOR WHICH THEY WERE DESIGNED. COORDINATE DATA SHALL BE PRESENTED IN THE STATE OF TENNESSEE PLANE SYSTEM WITH THE NORTH AMERICAN DATUM 1983 (NAD83) AND NORTH AMERICAN VERTICAL DATUM (NAVD) OF 1988. ELECTRONIC AND 2 PAPER COPIES (PER CITY REQUIREMENTS) ARE REQUIRED.</p> <p>A. (SEE WEB SITE HTTP://WWW.FRANKLIN-GOV.COM/PDF/ASBUILTREQUIREMENTS.)</p>		ACTIVITY	SCHEDULE	FOR DRY SWALES, MOW GRASS TO MAINTAIN A HEIGHT OF 4 TO 6 INCHES. REMOVE GRASS CLIPPINGS.	AS NEEDED (FREQUENT/SEASONAL)	INSPECT GRASS ALONG SIDE SLOPES FOR EROSION AND FORMATION OF RILLS OR GULLIES AND CORRECT.	ANNUALLY (SEMI-ANNUALLY THE FIRST YEAR)	REMOVE TRASH AND DEBRIS ACCUMULATED IN THE INFLOW FOREBAY.	INSPECT AND CORRECT EROSION PROBLEMS IN THE SAND/SOIL BED OF DRY SWALES.	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This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Use of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

SITE DATA CHART

PROJECT NAME: SCOTT HAMILTON PROTON THERAPY CENTER

COF PROJECT #: 6076

SUBDIVISION: MEDCORE MEDICAL BLDG

MAP: MAP # 79

PARCEL #: 48.04

LOT: 3

ADDRESS: 4588 CAROTHERS PARKWAY

CITY: FRANKLIN

COUNTY: WILLIAMSON

STATE: TENNESSEE

CIVIL DISTRICT: 8TH CIVIL DISTRICT

EXISTING ZONING: GENERAL OFFICE DISTRICT

CHARACTER AREA OVERLAY: McEWEN 5

OTHER APPLICABLE OVERLAYS: N/A

DEVELOPMENT STANDARD: CONVENTIONAL

ACREAGE OF SITE: 11.62 AC

SQUARE FOOTAGE OF SITE: 506,335 SF

OWNER: MTPC LLC

1400 DOWELL SPRINGS BLVD #350

KNOXVILLE, TN 37909

DEVELOPER: PROVISION SOLUTIONS

ANDY LORENZ

1400 DOWELL SPRINGS BLVD., SUITE 350

KNOXVILLE, TN 37909

(865)321-4701

APPLICANT: KIMLEY-HORN & ASSOCIATES

Address: 214 OCEANSIDE DRIVE

NASHVILLE, TN 37204

Phone: 615-564-2701

Email: RYAN.MCMASTER@KIMLEY-HORN.COM

Contact Name: RYAN McMASTER

BUILDING SETBACKS: FRONT=50'; SIDE=25'; REAR=40'; 101,501 SF

BUILDING SQUARE FOOTAGE: 30,804 SF (2-STORY MEDICAL OFFICE)

PH. 1 BUILDING AREA: 9,647 SF (PROTON VAULT)

FUTURE BUILDING AREA: ± 61,050 SF (3-STORY MEDICAL OFFICE)

BUILDING HEIGHT: ± 44'

MINIMUM LANDSCAPE SURFACE RATIO: 0.30 (2.07 AC PHASE 1)

PROVIDED LANDSCAPE SURFACE RATIO: 0.52 (3.58 AC PHASE 1)

MINIMUM PARKING REQUIREMENT: N/A

EXISTING PARKING: N/A

PARKING PROVIDED: 149 TOTAL SPACES

145 STANDARD SPACES

4 ADA SPACES

0 COMPACT SPACES

EXISTING TREE CANOPY: 9.58 AC EXISTING (82% OF TOTAL SITE)

TREE CANOPY PRESERVATION REQUIRED: 1.44 AC (15% OF TOTAL SITE)

TREE CANOPY PRESERVATION PROVIDED: 1.52 AC (16% OF TOTAL SITE)

PARKLAND(IF APPLICABLE): N/A

OPEN SPACE REQUIRED: ALL FORMAL - 0.35 AC (5% OF PHASE 1)

OPEN SPACE PROVIDED: ALL FORMAL - 0.35 AC (5% OF PHASE 1)

NOTES:

1. WITHIN NEW DEVELOPMENTS AND FOR OFF-SITE LINES CONSTRUCTED AS A RESULT OF, OR TO PROVIDE SERVICE TO, THE NEW DEVELOPMENT, ALL UTILITIES, SUCH AS CABLE TELEVISION, ELECTRICAL (EXCLUDING TRANSFORMERS), GAS, SEWER, TELEPHONE, AND WATER LINES SHALL BE PLACED UNDERGROUND.
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3. THE INFORMATION SHOWN ON THIS PLAN IS BASED UPON THE TENNESSEE STATE PLANE COORDINATE SYSTEM, ZONE 5301, FLIPZONE 4100 AND NAD 83 DATUM.
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6. THIS PROJECT DOES NOT PROPOSE FILL WITHIN THE EXISTING FLOODPLAIN. NO BUILDINGS IN THIS PROJECT FALL WITHIN THE 100 YEAR FLOODPLAIN, PER THE FEMA FIRM MAP NUMBER 4718700212F, DATED SEPTEMBER 29, 2006

EXISTING OUTFALL 1 GRADING AND DRAINAGE CHART

	ON-SITE	OFFSITE	TOTAL
TOTAL AREA	11.62 ACRES	12.03 ACRES	23.65 ACRES
IMPERVIOUS AREA	0.00	0.38	0.38
2-YEAR STORM FLOW RATE	6.65 CFS	22.37 CFS	29.02 CFS
5-YEAR STORM FLOW RATE	13.65 CFS	25.9 CFS	39.55 CFS
10-YEAR STORM FLOW RATE	18.87 CFS	28.79 CFS	45.66 CFS
25-YEAR STORM FLOW RATE	25.96 CFS	32.38 CFS	58.34 CFS
50-YEAR STORM FLOW RATE	31.46 CFS	35.28 CFS	66.74 CFS
100-YEAR STORM FLOW RATE	37.03 CFS	37.6 CFS	74.63 CFS

DOWNSTREAM STORM STRUCTURES

THE NEXT THREE DOWNSTREAM STRUCTURES ARE MEASURED FROM THE SOUTHWEST CORNER OF THE PROPERTY BOUNDARY:

- 1) 707' - 30" CMP (POND OUTLET)
- 2) 717' - 42" X 120" BOX CULVERT (POND OVERFLOW)
- 3) 1218' - 25' X 9' ARCH CULVERT (ENTRY DRIVE TO HOSPITAL)

SLOPE LEGEND

EXISTING SLOPES	SHADE
14-19.99%	
20%+	

NOTE: NO PORTIONS OF THE PLANNED ROADWAY NETWORK ARE WITHIN 1500' OF THE SITE PER THE FRANKLIN MAJOR THOROUGHFARE PLAN, OTHER THAN THE EXISTING CAROTHERS PARKWAY.

LINE TABLE

LINE	LENGTH	BEARING
L1	24.50'	N42°25'25"E
L2	5.00'	S82°25'54"E
L3	54.27'	N07°34'06"E

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHD BEARING
C1	77.04'	92.00'	47°58'48"	40.94'	74.81'	N16°51'24"W
C2	32.84'	108.00'	17°25'13"	16.55'	32.71'	N32°08'09"W

0 GRAPHIC SCALE IN FEET

50 100 200

SHEET NUMBER

C1.0

214 Oceanside Drive
Nashville, TN 37204
www.kimley-horn.com
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KIMLEY-HORN
GAMBLE
DESIGN COLLABORATIVE
LANDSCAPE ARCHITECTURE

SCOTT HAMILTON PROTON THERAPY CENTER
FRANKLIN, TENNESSEE

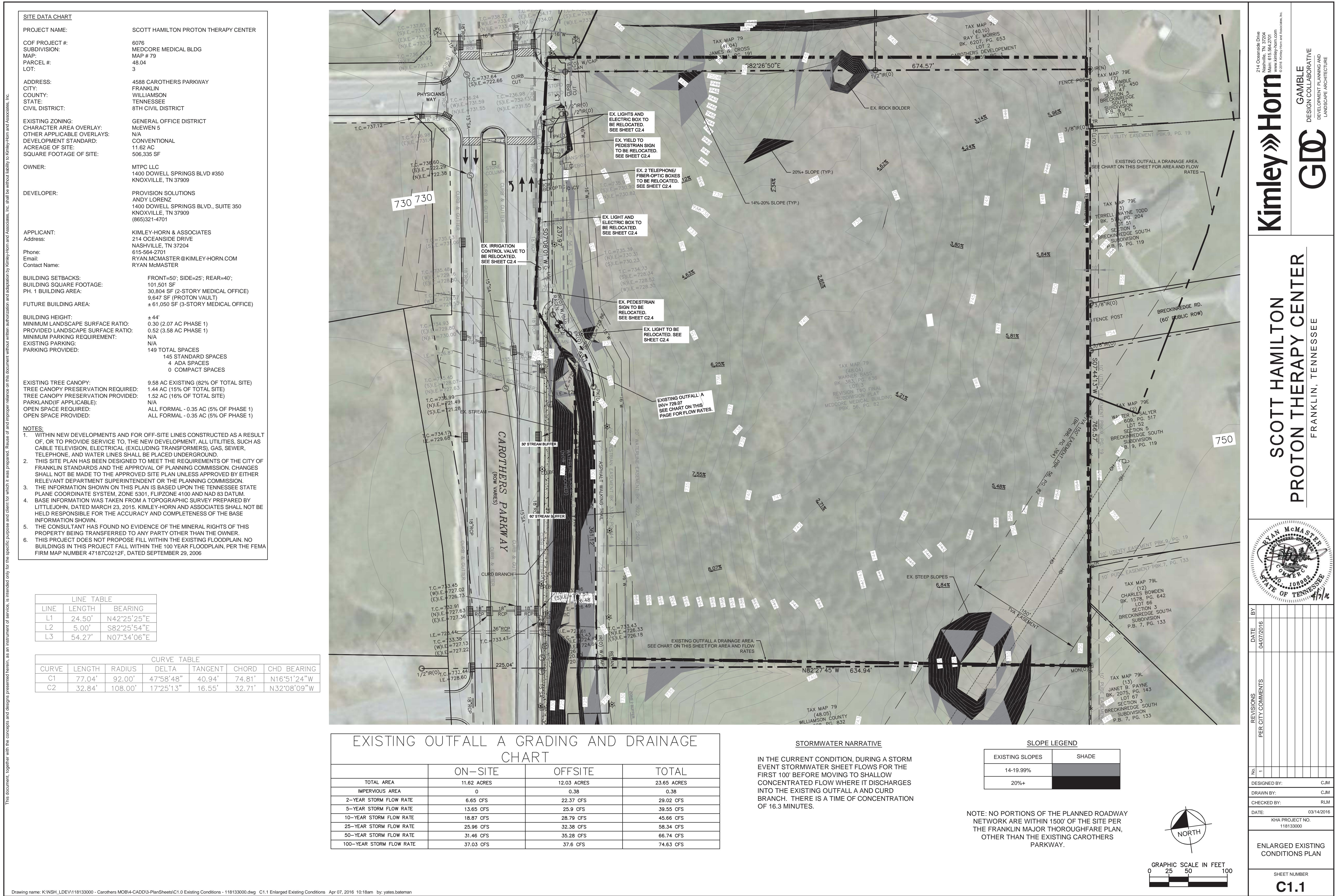
RYAN McMASTER
PARKLAND
STATE OF TENNESSEE
4718700212F

REVISIONS
1
PER CITY COMMENTS
04/07/2016
BY
RJA

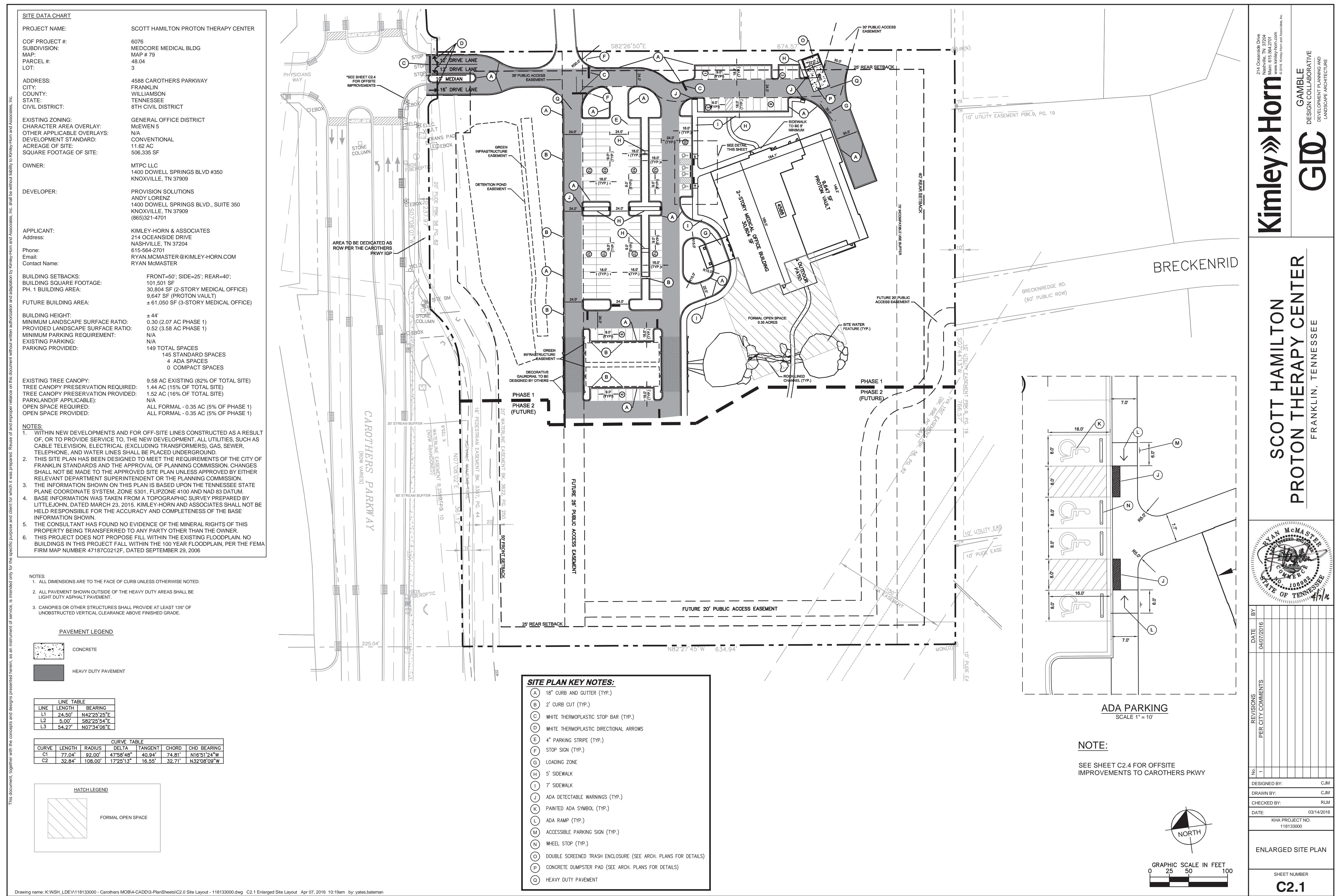
DESIGNED BY: RJA
DRAWN BY: RJA
CHECKED BY: BRC
DATE: 03/14/2016
KHA PROJECT NO. 118133000

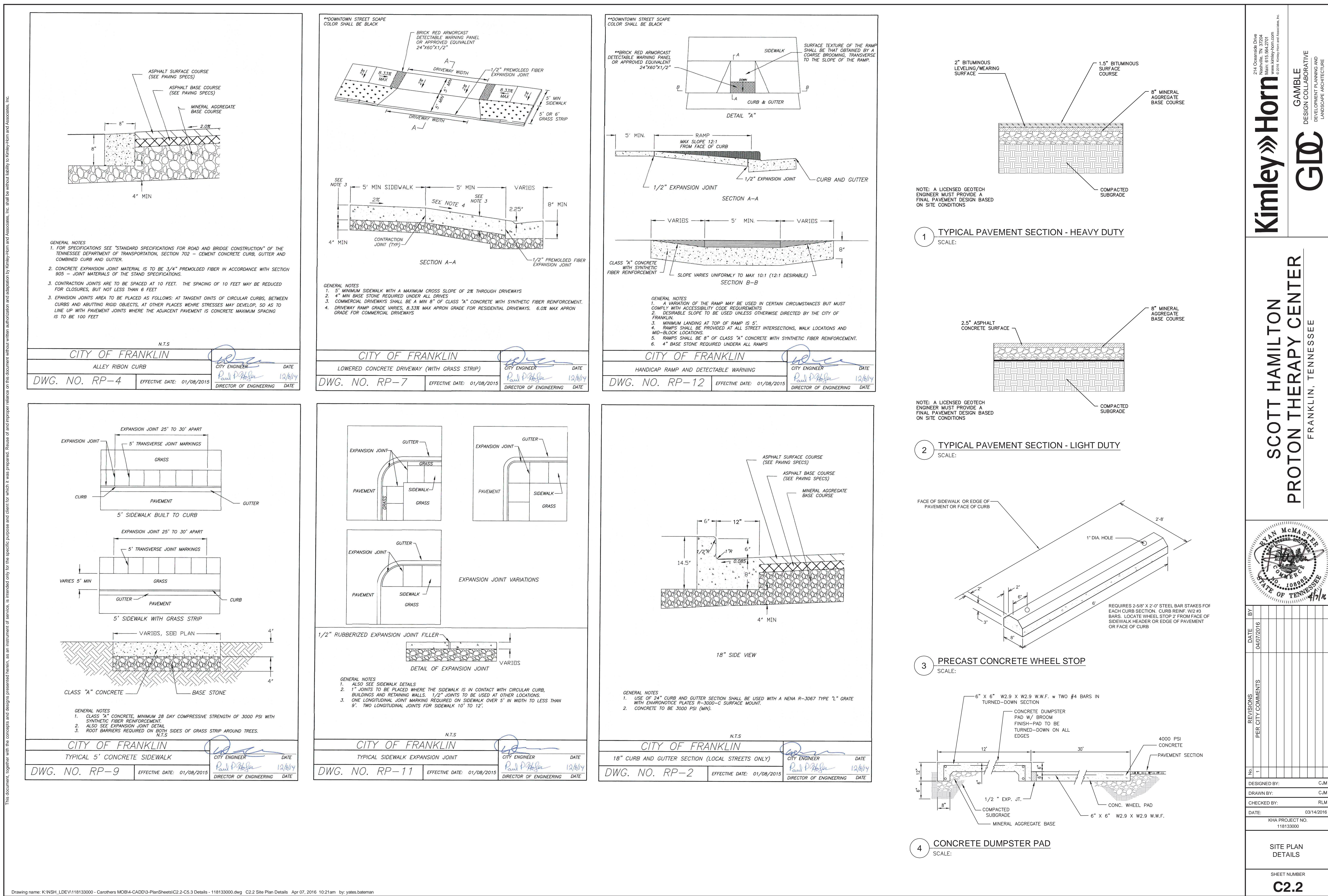
OVERALL EXISTING CONDITIONS PLAN

SHEET NUMBER









4 HANDICAP RAMP AND DETECTABLE WARNING
SCALE:

GENERAL NOTES
1. 5' MAXIMUM SIDEWALK WITH A MAXIMUM CROSS SLOPE OF 2% THROUGH DRIVEWAYS
2. 4" MIN BASE STONE REQUIRED UNDER ALL DRIVES
3. COMMERCIAL DRIVEWAYS SHALL BE A MIN 8" OF CLASS "A" CONCRETE WITH SYNTHETIC FIBER REINFORCEMENT.
4. DRIVEWAY RAMP GRADE VARIES 8.33% MAX APRON GRADE FOR RESIDENTIAL DRIVEWAYS. 6.0% MAX APRON GRADE FOR COMMERCIAL DRIVEWAYS
5. CONTRACTION JOINTS ARE TO BE PLACED AS FOLLOWS: AT TANGENT JOINTS OF CIRCULAR CURBS, BETWEEN CURBS AND ADJACENT RIGID OBJECTS, AT OTHER PLACES WHERE STRESSES MAY DEVELOP, SO AS TO LINE UP WITH PAVEMENT JOINTS WHERE THE ADJACENT PAVEMENT IS CONCRETE MAXIMUM SPACING IS TO BE 100 FEET
N.T.S.

CITY OF FRANKLIN
CITY ENGINEER *[Signature]* DATE 12/8/14
DIRECTOR OF ENGINEERING *[Signature]* DATE 12/8/14

DWG. NO. RP-4 | EFFECTIVE DATE: 01/08/2015

5 HANDICAP RAMP AND DETECTABLE WARNING
SCALE:

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CITY OF FRANKLIN
CITY ENGINEER *[Signature]* DATE 12/8/14
DIRECTOR OF ENGINEERING *[Signature]* DATE 12/8/14

DWG. NO. RP-7 | EFFECTIVE DATE: 01/08/2015

6 HANDICAP RAMP AND DETECTABLE WARNING
SCALE:

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N.T.S.

CITY OF FRANKLIN
CITY ENGINEER *[Signature]* DATE 12/8/14
DIRECTOR OF ENGINEERING *[Signature]* DATE 12/8/14

DWG. NO. RP-12 | EFFECTIVE DATE: 01/08/2015

7 HANDICAP RAMP AND DETECTABLE WARNING
SCALE:

GENERAL NOTES
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CITY OF FRANKLIN
CITY ENGINEER *[Signature]* DATE 12/8/14
DIRECTOR OF ENGINEERING *[Signature]* DATE 12/8/14

DWG. NO. RP-4 | EFFECTIVE DATE: 01/08/2015

8 HANDICAP RAMP AND DETECTABLE WARNING
SCALE:

GENERAL NOTES
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CITY OF FRANKLIN
CITY ENGINEER *[Signature]* DATE 12/8/14
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DWG. NO. RP-7 | EFFECTIVE DATE: 01/08/2015

9 HANDICAP RAMP AND DETECTABLE WARNING
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CITY ENGINEER *[Signature]* DATE 12/8/14
DIRECTOR OF ENGINEERING *[Signature]* DATE 12/8/14

DWG. NO. RP-12 | EFFECTIVE DATE: 01/08/2015

10 HANDICAP RAMP AND DETECTABLE WARNING
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DWG. NO. RP-4 | EFFECTIVE DATE: 01/08/2015

11 HANDICAP RAMP AND DETECTABLE WARNING
SCALE:

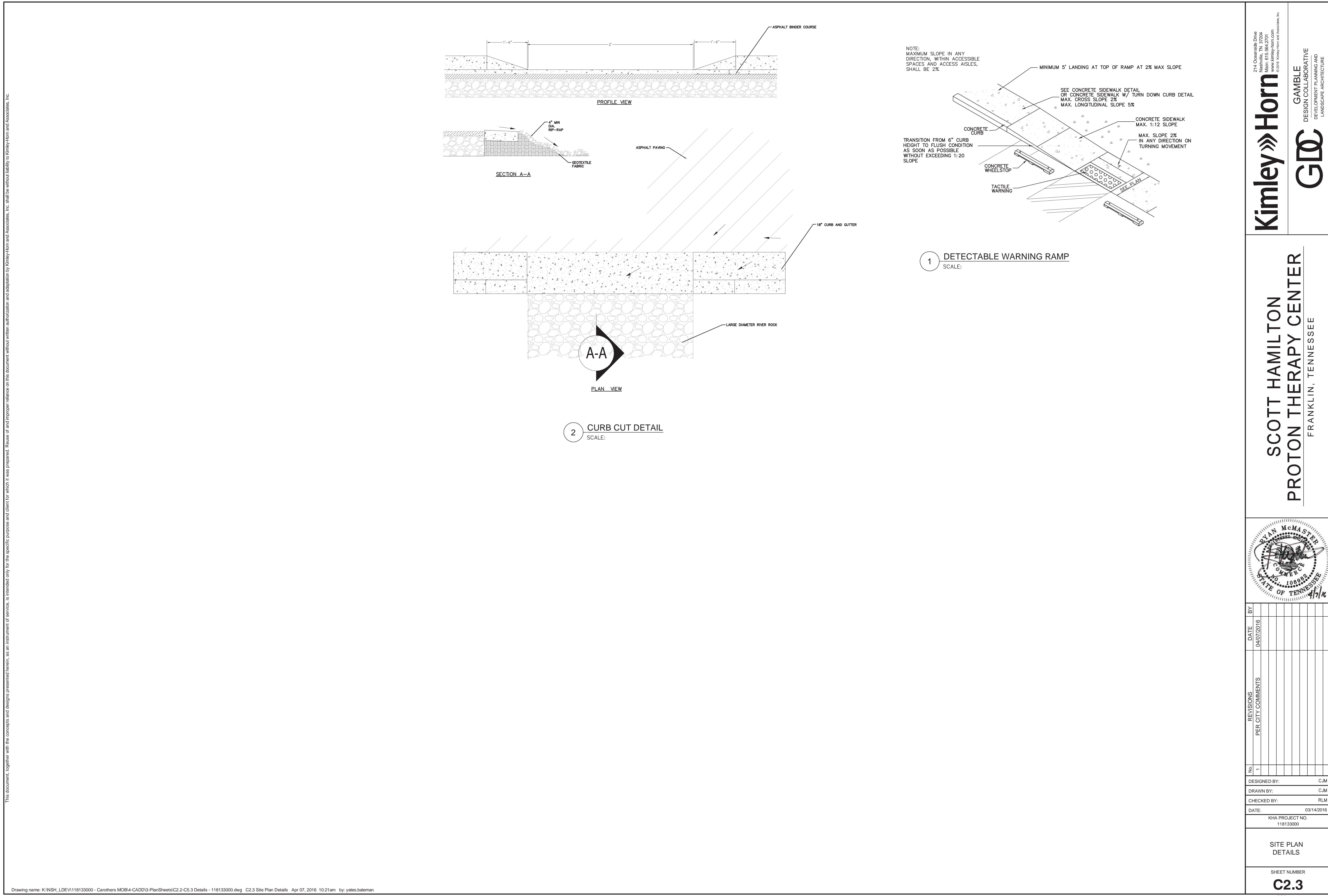
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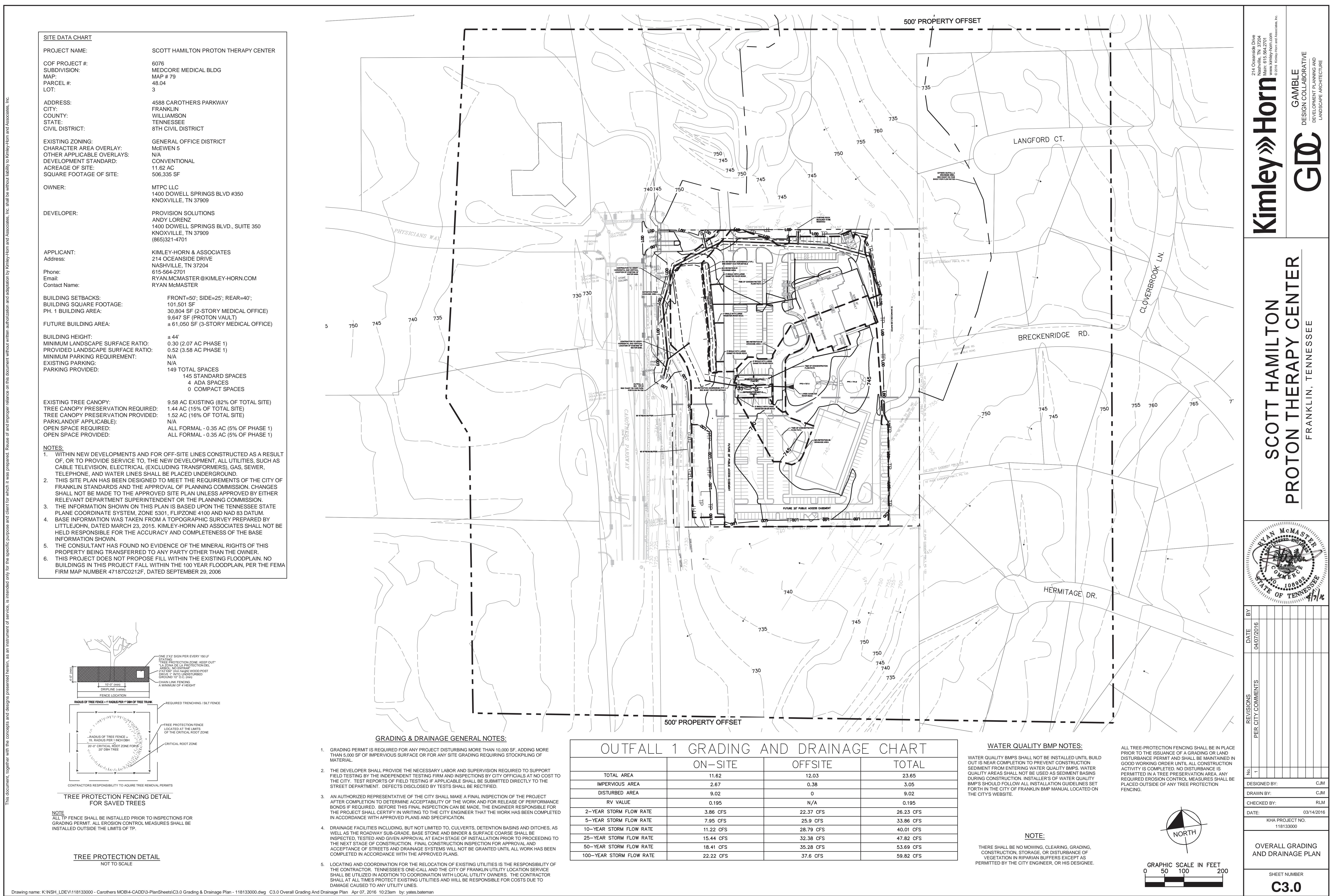
CITY OF FRANKLIN
CITY ENGINEER *[Signature]* DATE 12/8/14
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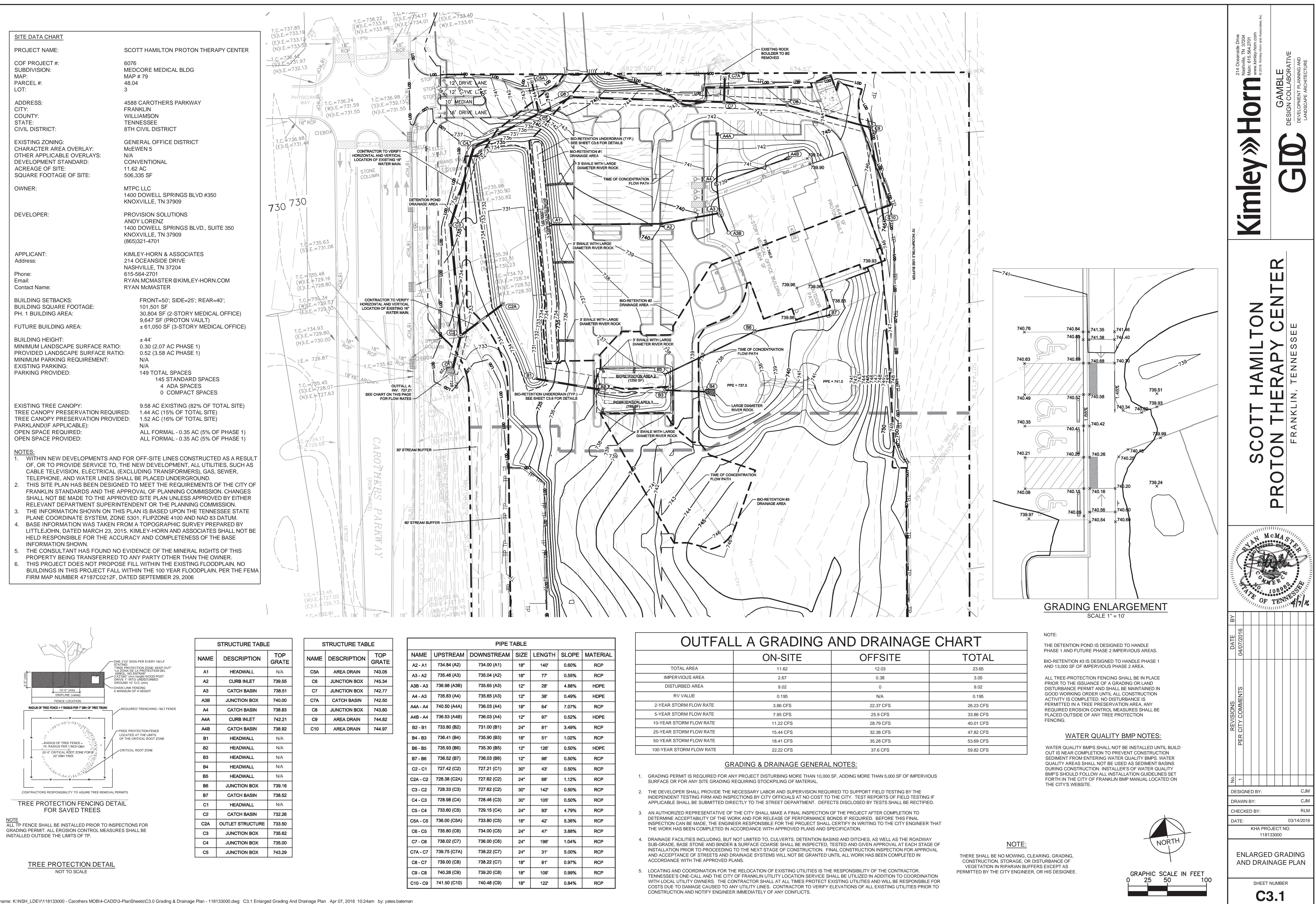
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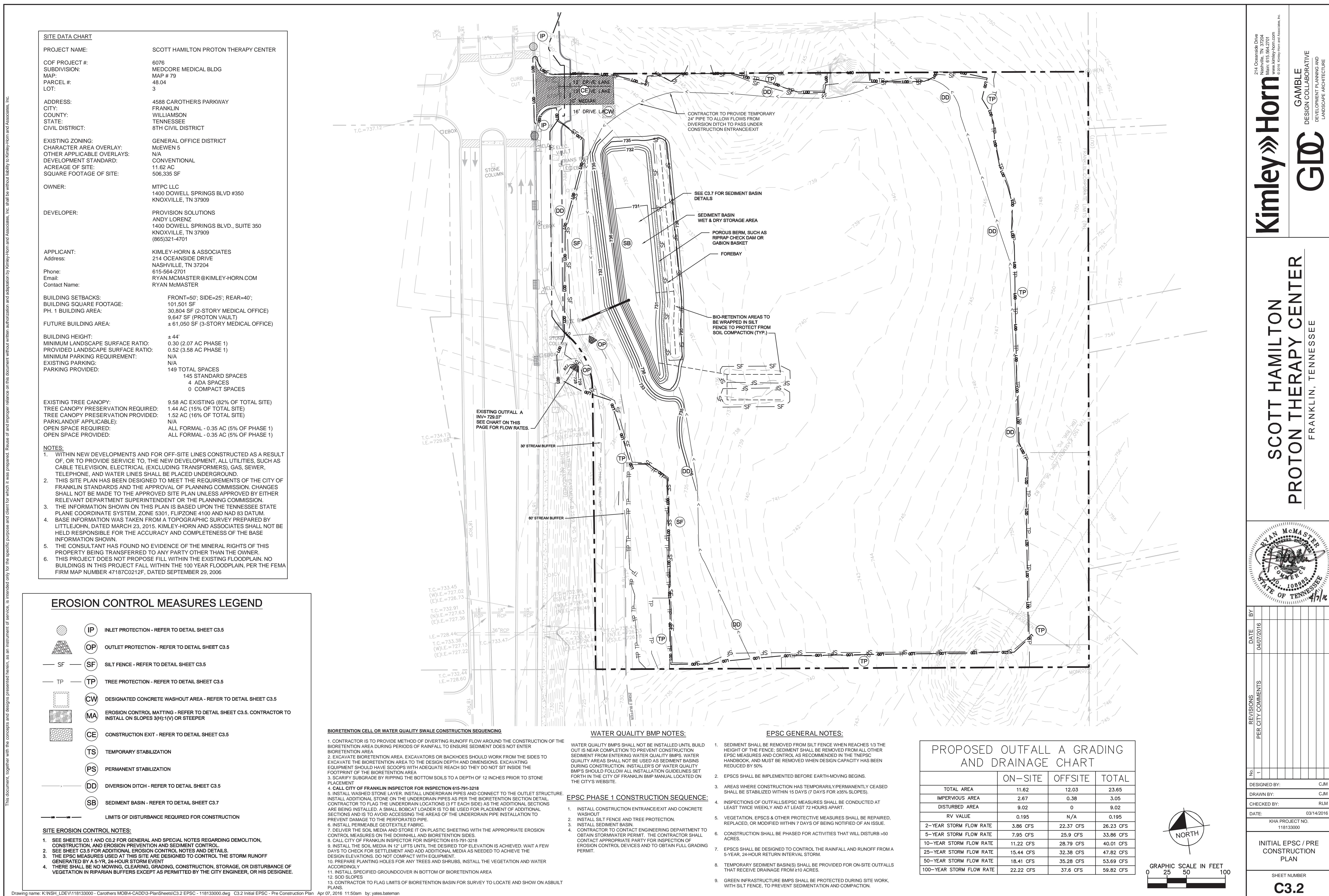
12 HANDICAP RAMP AND DETECTABLE WARNING
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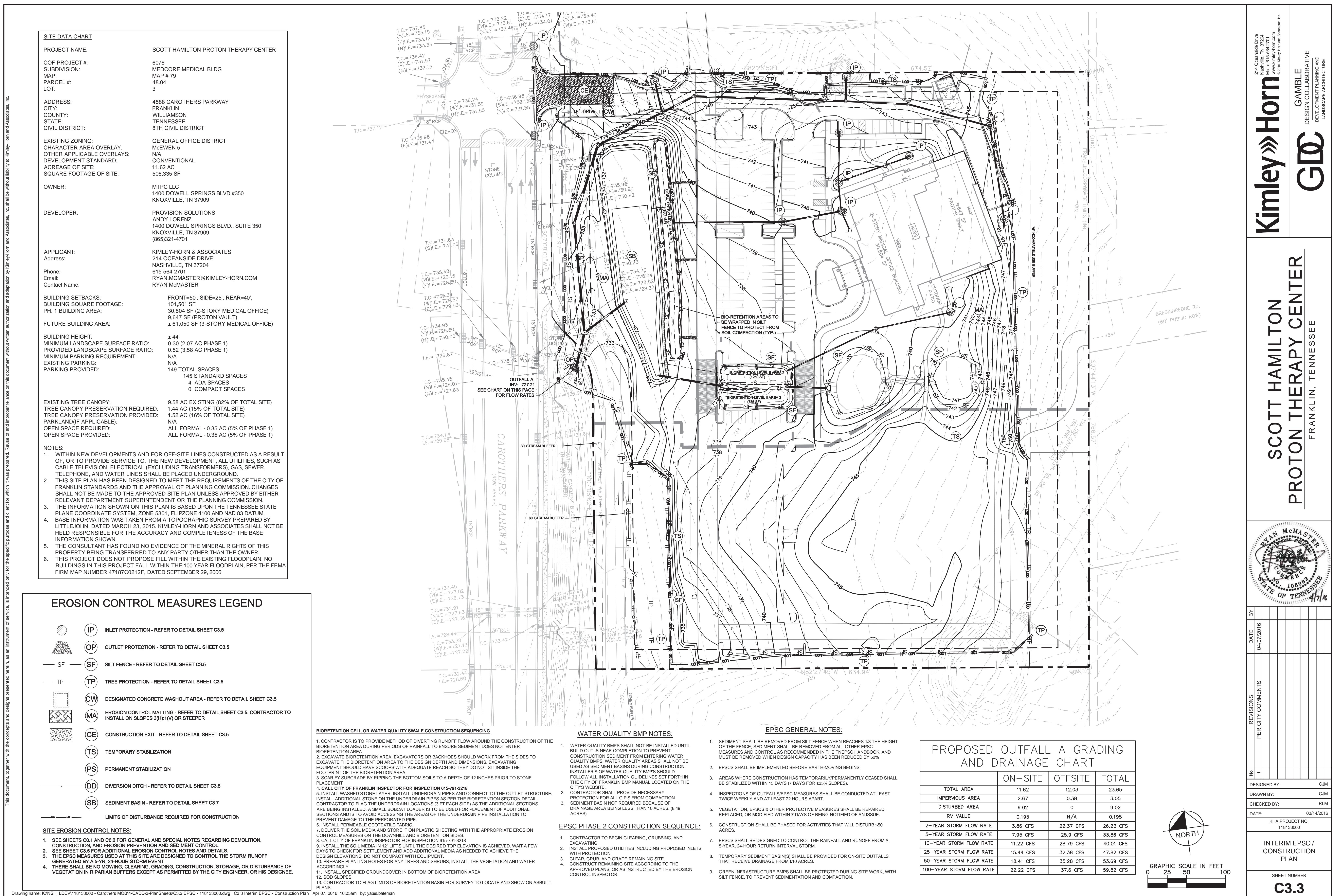
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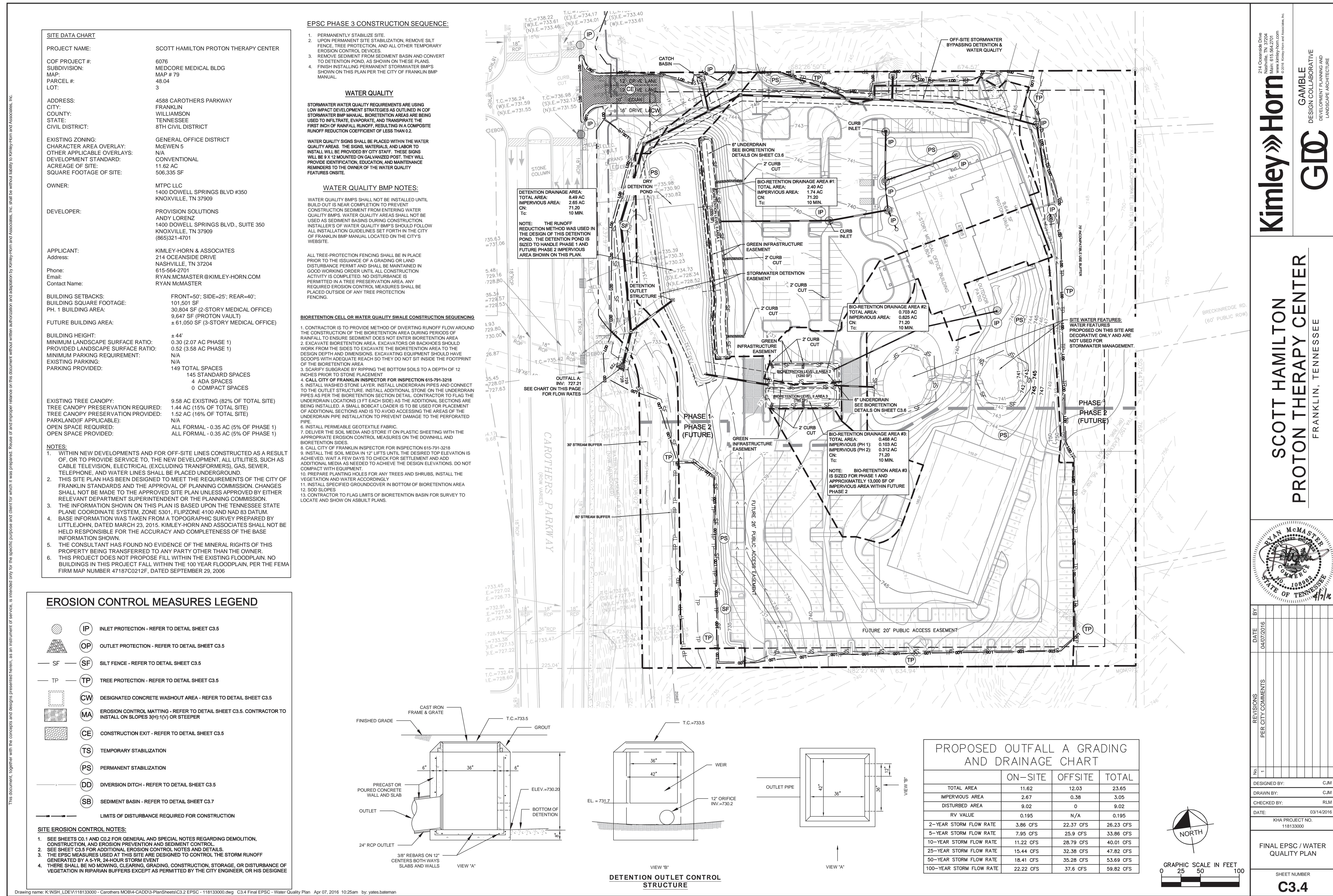


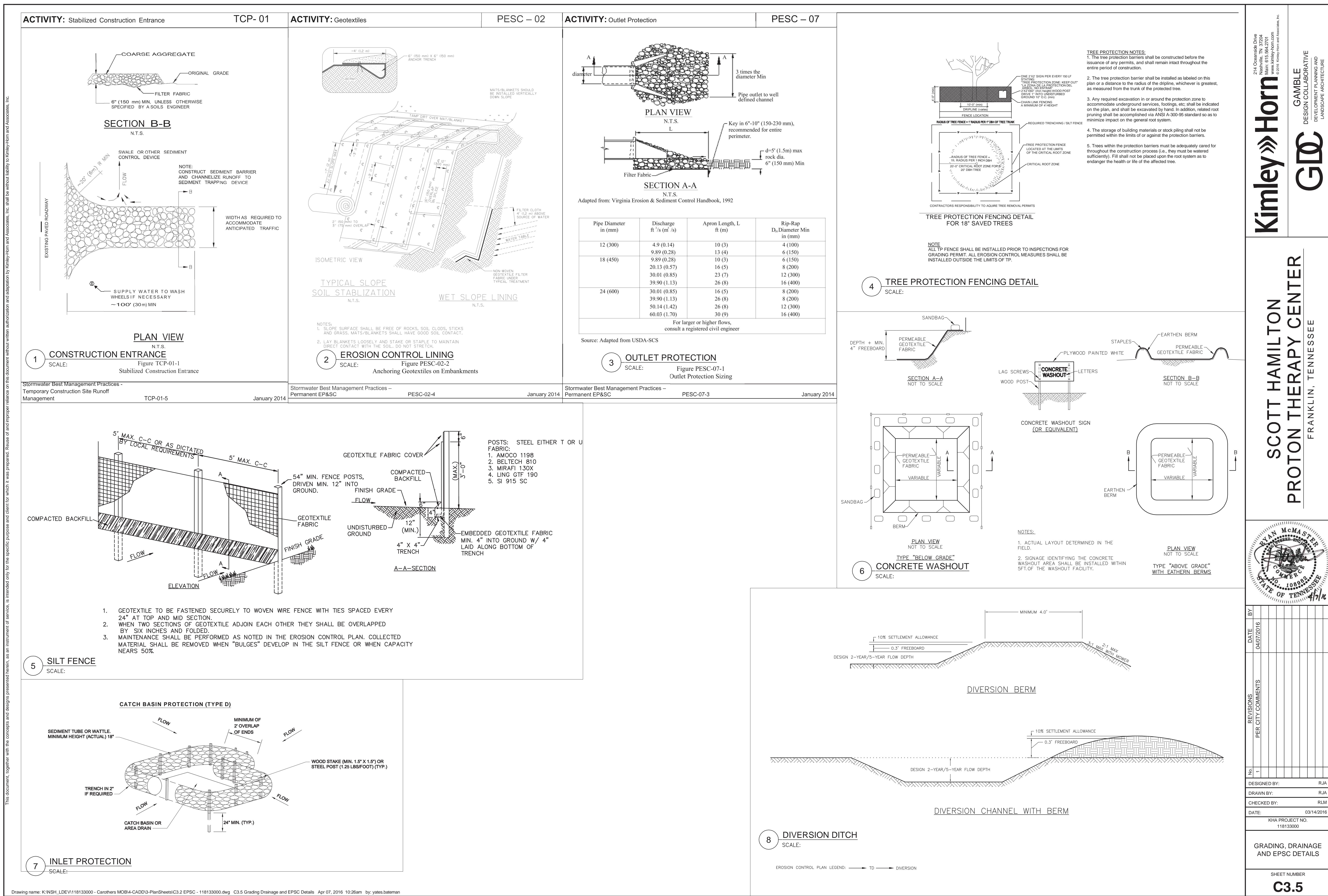


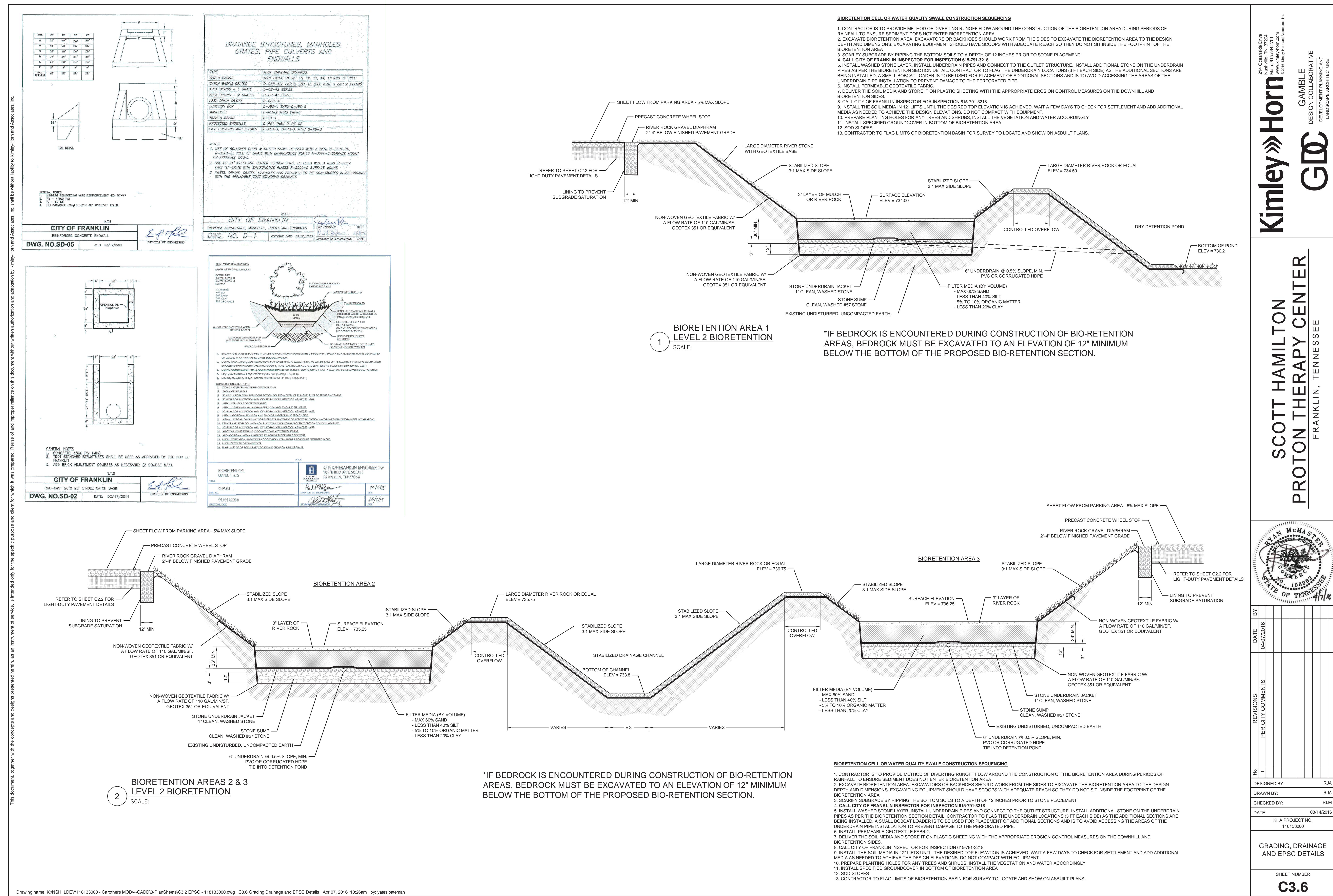


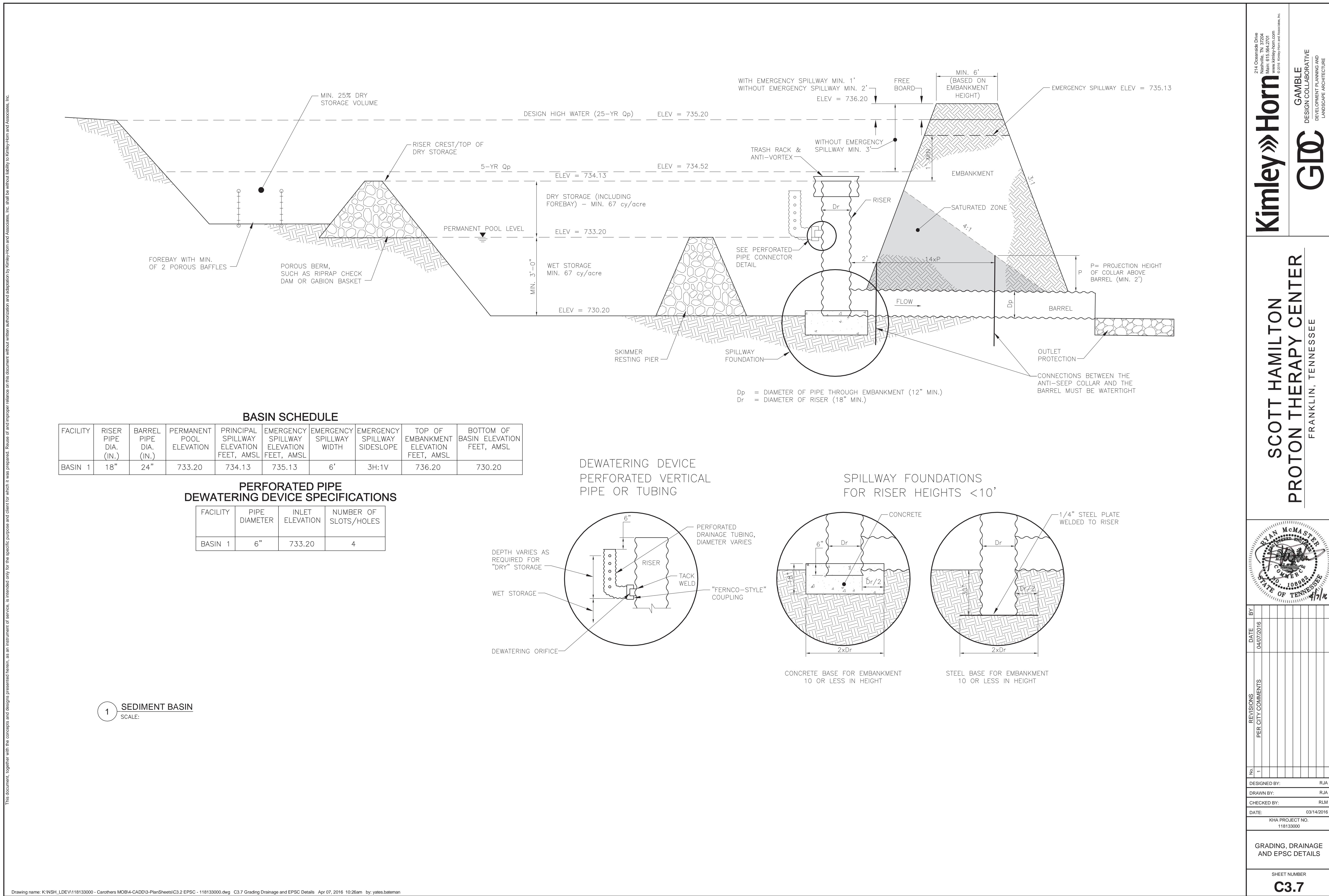


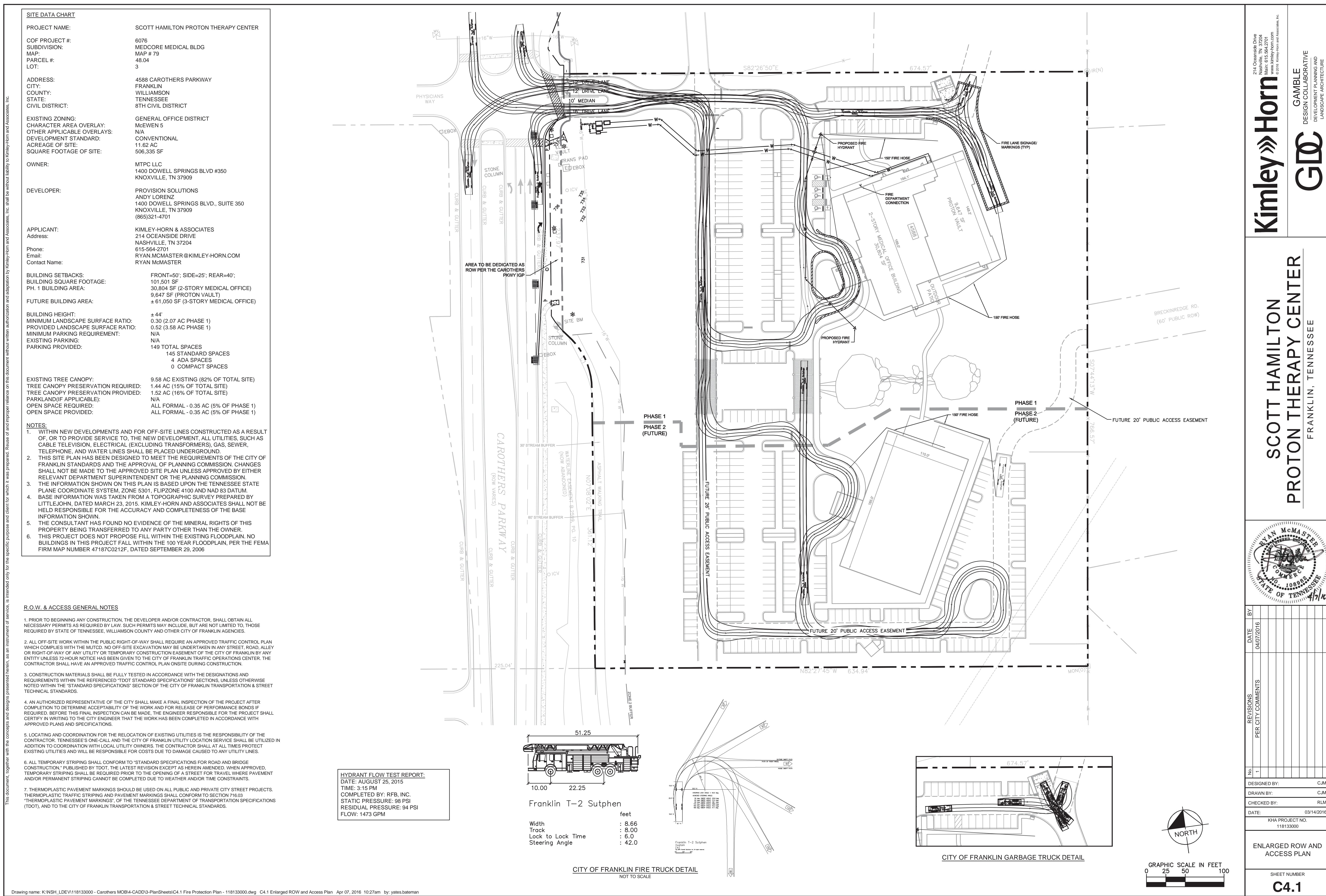










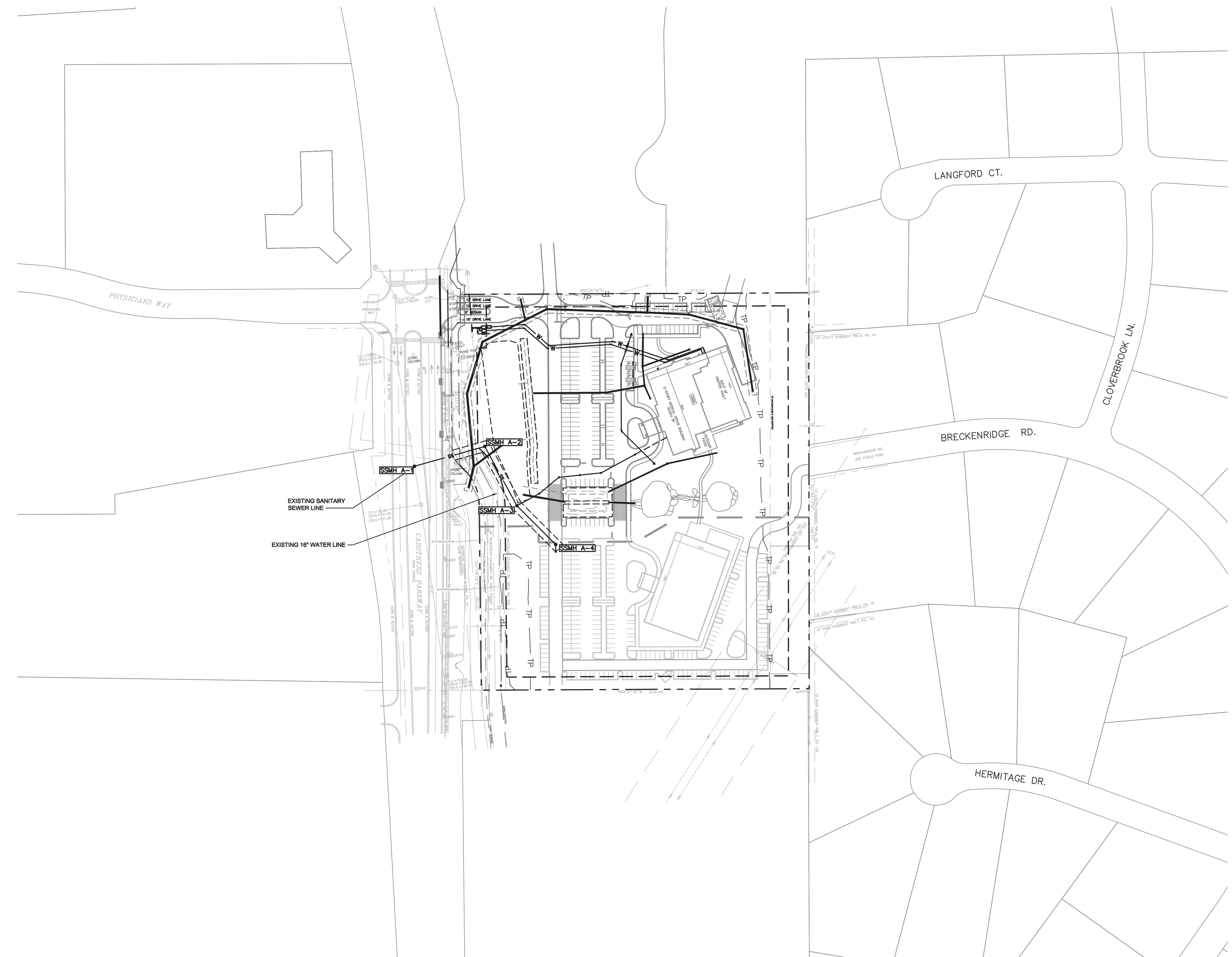


SITE DATA CHART

PROJECT NAME:	SCOTT HAMILTON PROTON THERAPY CENTER
COF PROJECT #:	6076
SUBDIVISION:	MEDCORE MEDICAL BLDG
MAP:	MAP # 79
PARCEL #:	48.04
LOT:	3
ADDRESS:	4588 CAROTHERS PARKWAY
CITY:	FRANKLIN
COUNTY:	WILLIAMSON
STATE:	TENNESSEE
CIVIL DISTRICT:	8TH CIVIL DISTRICT
EXISTING ZONING:	GENERAL OFFICE DISTRICT
CHARACTER AREA OVERLAY:	McEWEN 5
OTHER APPLICABLE OVERLAYS:	N/A
DEVELOPMENT STANDARD:	CONVENTIONAL
ACREAGE OF SITE:	11.62 AC
SQUARE FOOTAGE OF SITE:	506,335 SF
OWNER:	MTPC LLC 1400 DOWELL SPRINGS BLVD #350 KNOXVILLE, TN 37909
DEVELOPER:	PROVISION SOLUTIONS ANDY LORENZ 1400 DOWELL SPRINGS BLVD., SUITE 350 KNOXVILLE, TN 37909 (865)321-4701
APPLICANT:	KIMLEY-HORN & ASSOCIATES
Address:	214 OCEANSIDE DRIVE NASHVILLE, TN 37204
Phone:	615-564-2701
Email:	RYAN.MCMASTER@KIMLEY-HORN.COM
Contact Name:	RYAN McMASTER
BUILDING SETBACKS:	FRONT=50'; SIDE=25'; REAR=40';
BUILDING SQUARE FOOTAGE:	101,501 SF
PH. 1 BUILDING AREA:	30,804 SF (2-STORY MEDICAL OFFICE) 9,647 SF (PROTON VAULT)
FUTURE BUILDING AREA:	± 61,050 SF (3-STORY MEDICAL OFFICE)
BUILDING HEIGHT:	± 44'
MINIMUM LANDSCAPE SURFACE RATIO:	0.30 (2.07 AC PHASE 1)
PROVIDED LANDSCAPE SURFACE RATIO:	0.52 (3.58 AC PHASE 1)
MINIMUM PARKING REQUIREMENT:	N/A
EXISTING PARKING:	N/A
PARKING PROVIDED:	149 TOTAL SPACES 145 STANDARD SPACES 4 ADA SPACES 0 COMPACT SPACES
EXISTING TREE CANOPY:	9.58 AC EXISTING (82% OF TOTAL SITE)
TREE CANOPY PRESERVATION REQUIRED:	1.44 AC (15% OF TOTAL SITE)
TREE CANOPY PRESERVATION PROVIDED:	1.52 AC (16% OF TOTAL SITE)
PARKLAND(IF APPLICABLE):	N/A
OPEN SPACE REQUIRED:	ALL FORMAL - 0.35 AC (5% OF PHASE 1)
OPEN SPACE PROVIDED:	ALL FORMAL - 0.35 AC (5% OF PHASE 1)

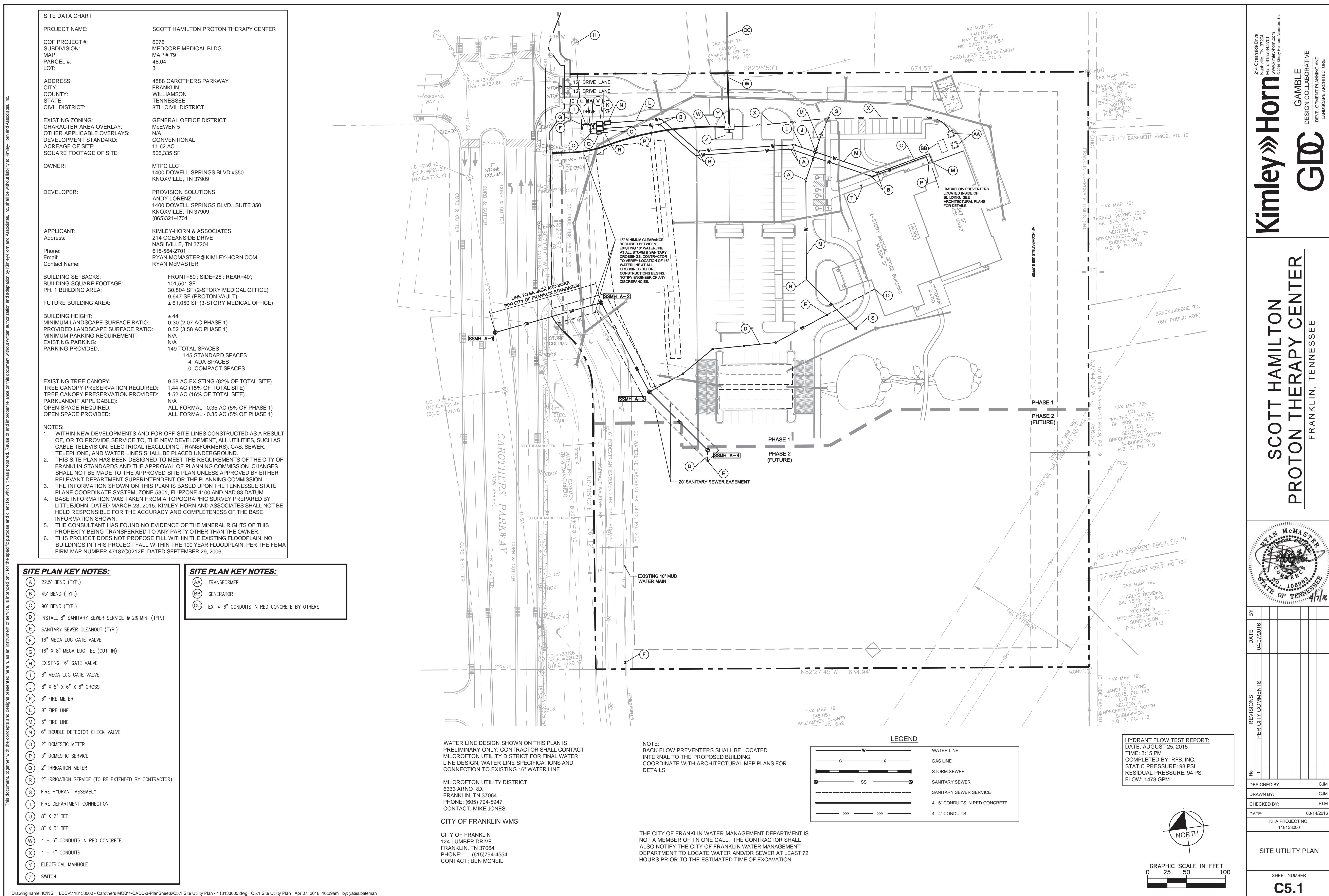
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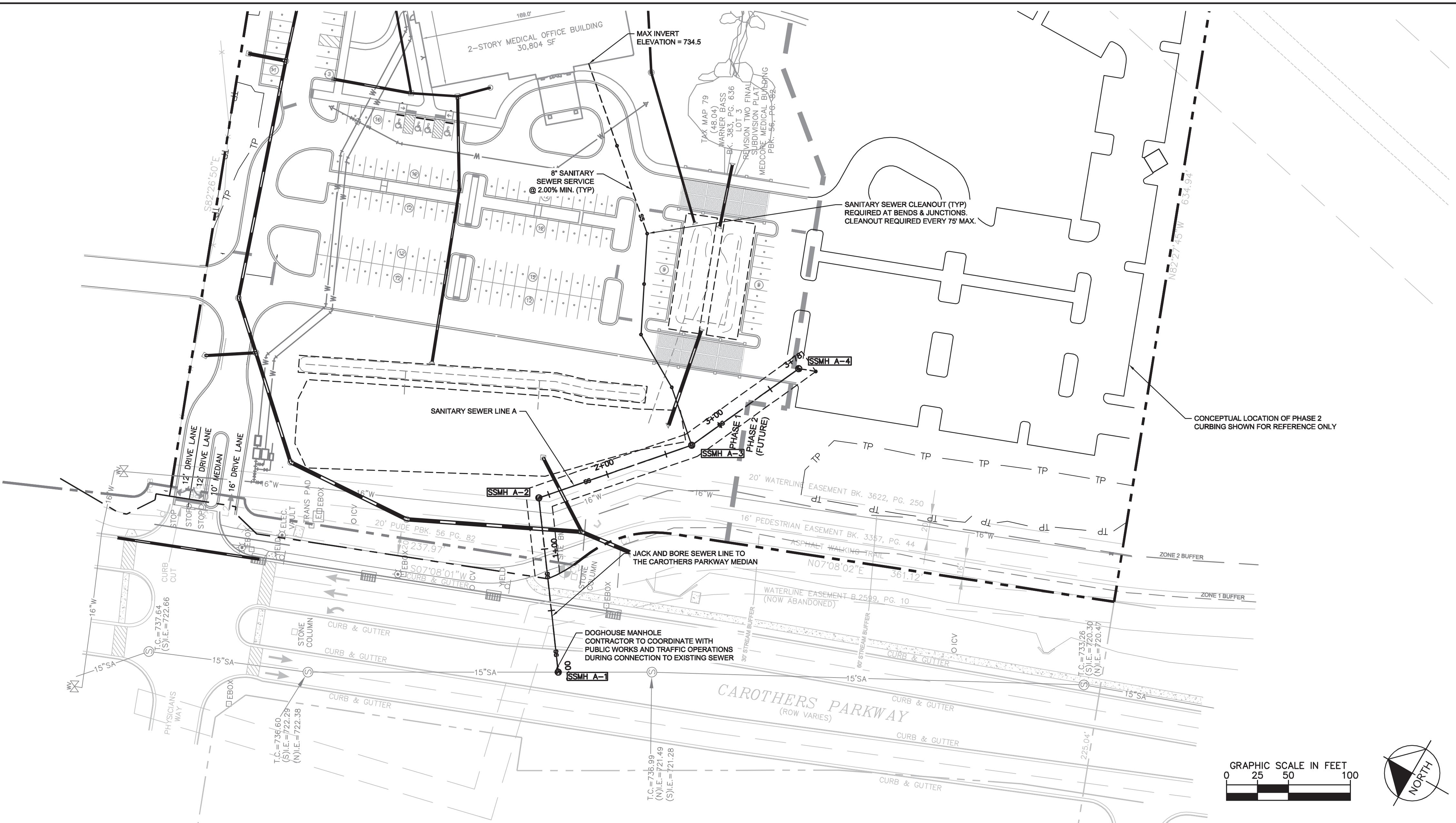
GRAPHIC SCALE IN FEET

SCOTT HAMILTON PROTON THERAPY CENTER		FRANKLIN, TENNESSEE
1	PER CITY COMMENTS	04/07/2016
DESIGNED BY:		RJA
DRAWN BY:		RJA
CHECKED BY:		RLM
DATE:		03/14/2016
KHA PROJECT NO. 118133000		
OVERALL UTILITY PLAN		
SHEET NUMBER		C5.0



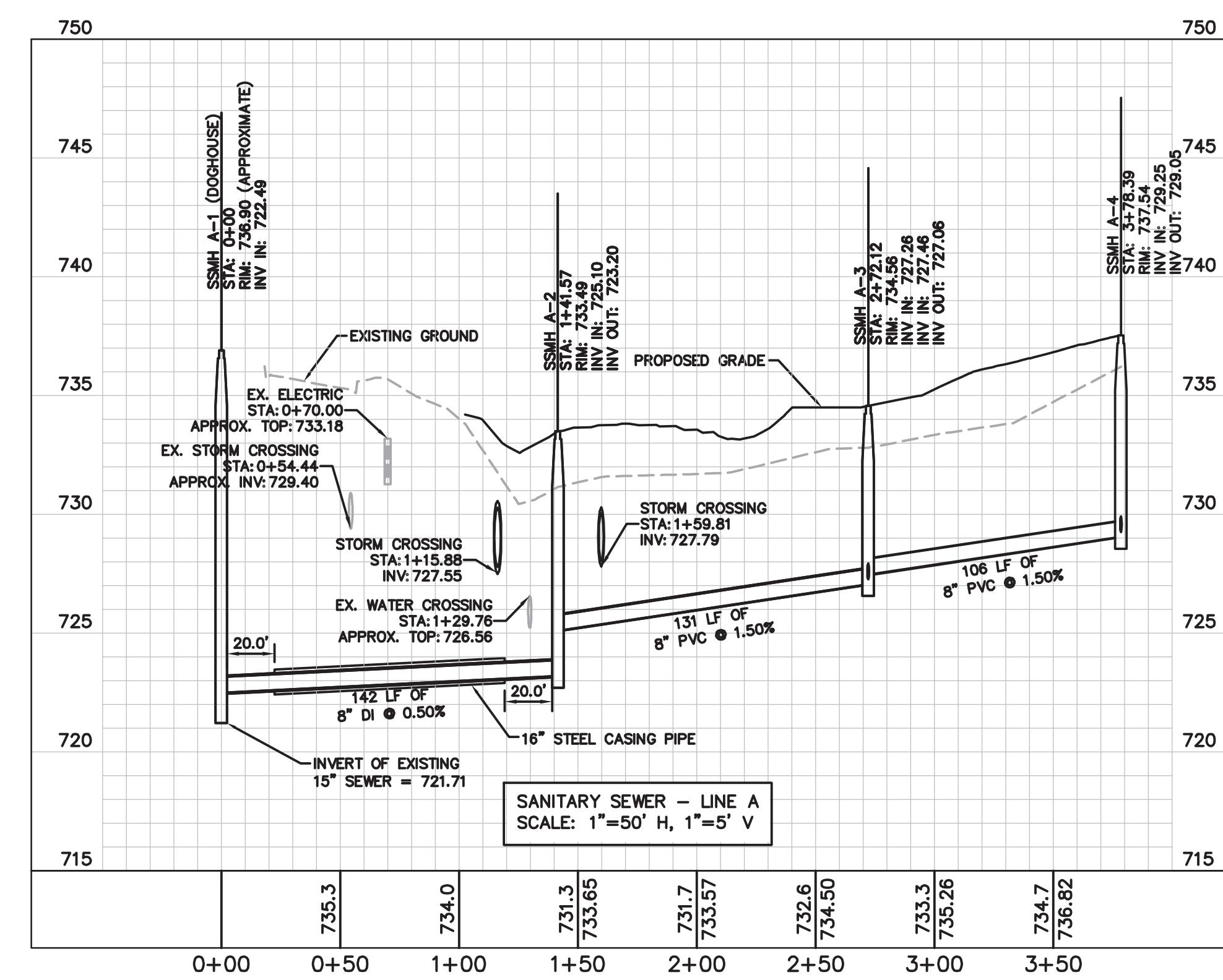
PRELIMINARY ONLY. CONTRACTOR SHALL CONTACT
MILCROFTON UTILITY DISTRICT FOR FINAL WATER
LINE DESIGN, WATER LINE SPECIFICATIONS AND
CONNECTION TO EXISTING 16" WATER LINE.

MILCROFTON UTILITY DISTRICT
6333 ARNO RD.
FRANKLIN, TN 37064
PHONE: (605) 794-5947
CONTACT: MIKE JONES



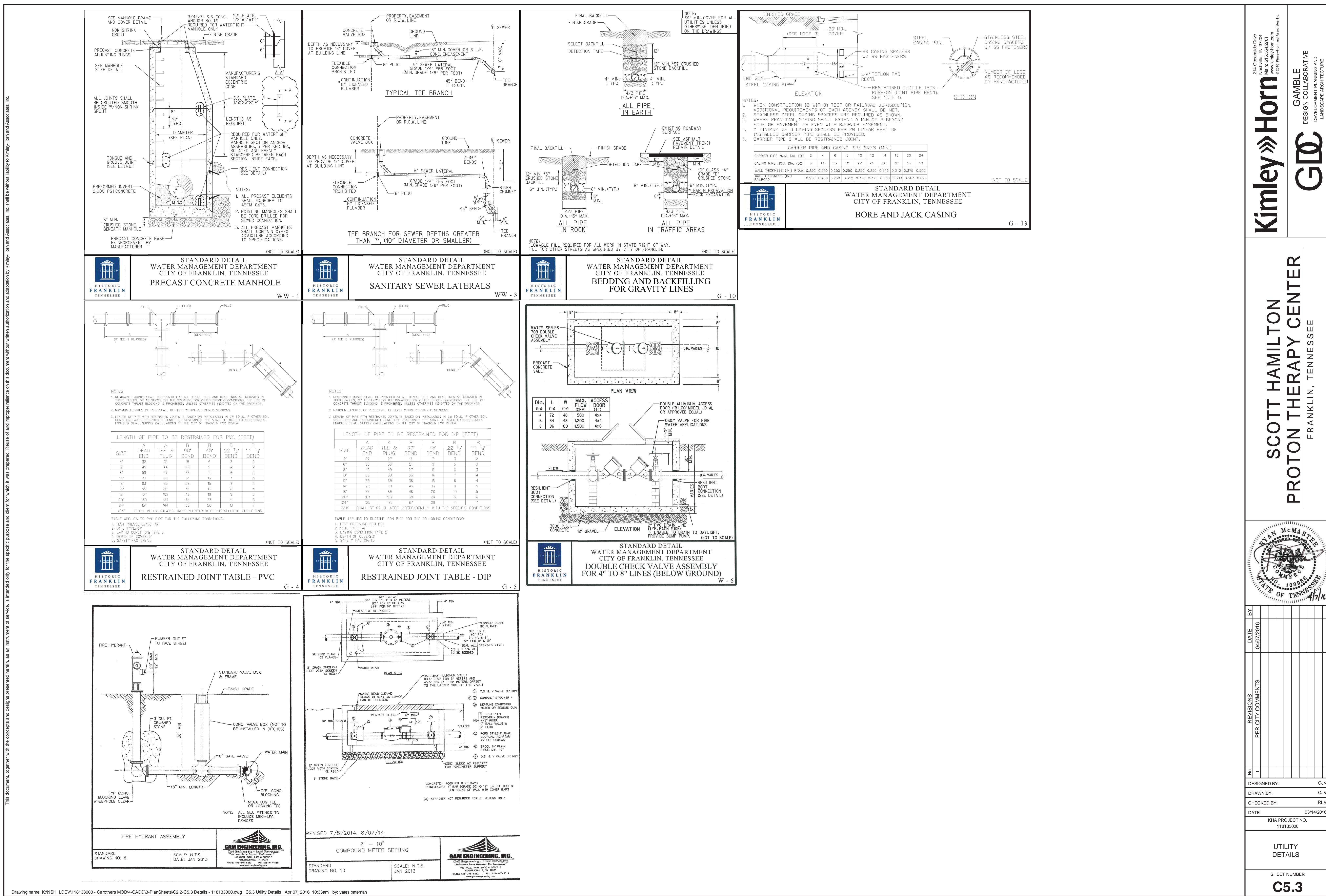
SCOTT HAMILTON PROTON THERAPY CENTER

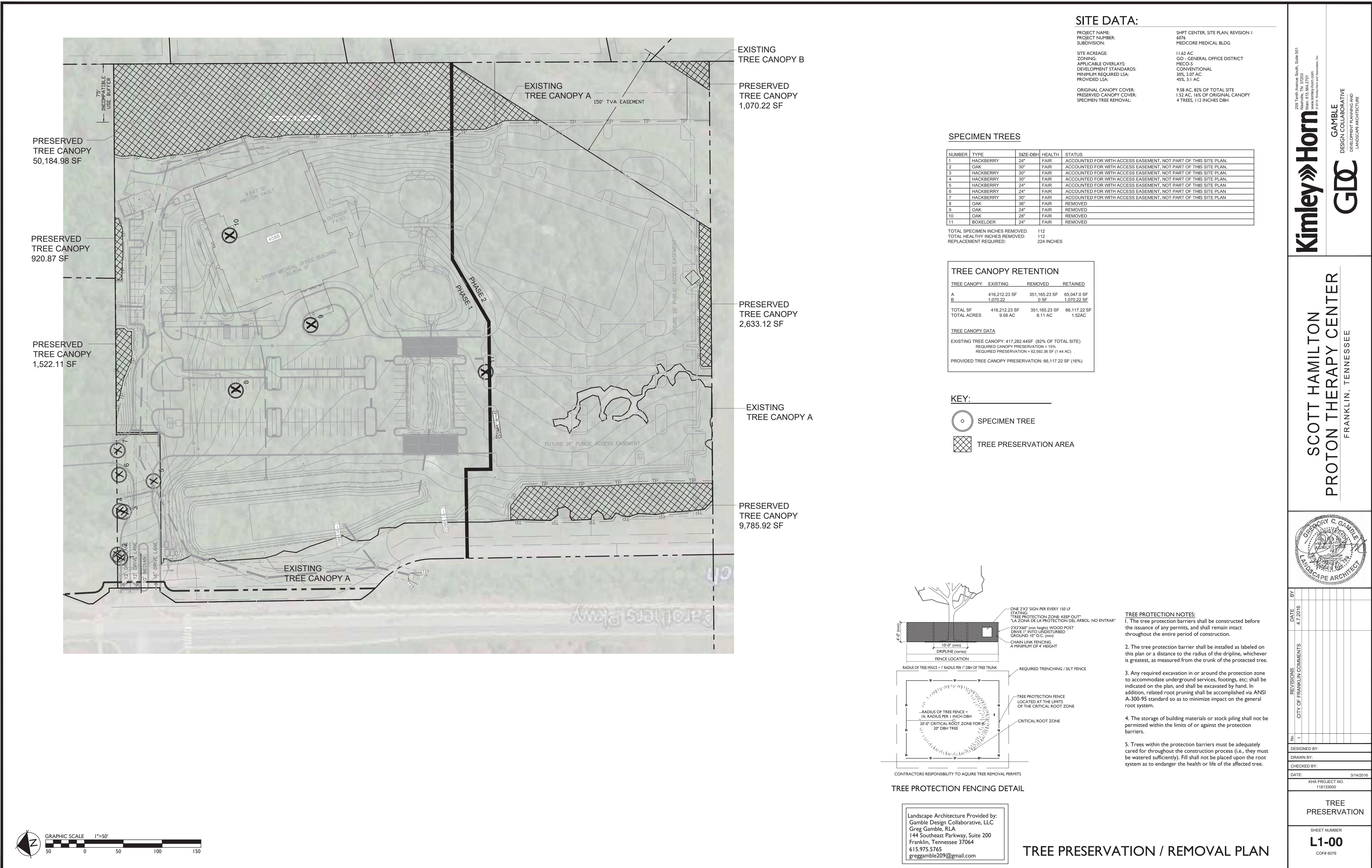
FRANKLIN, TENNESSEE

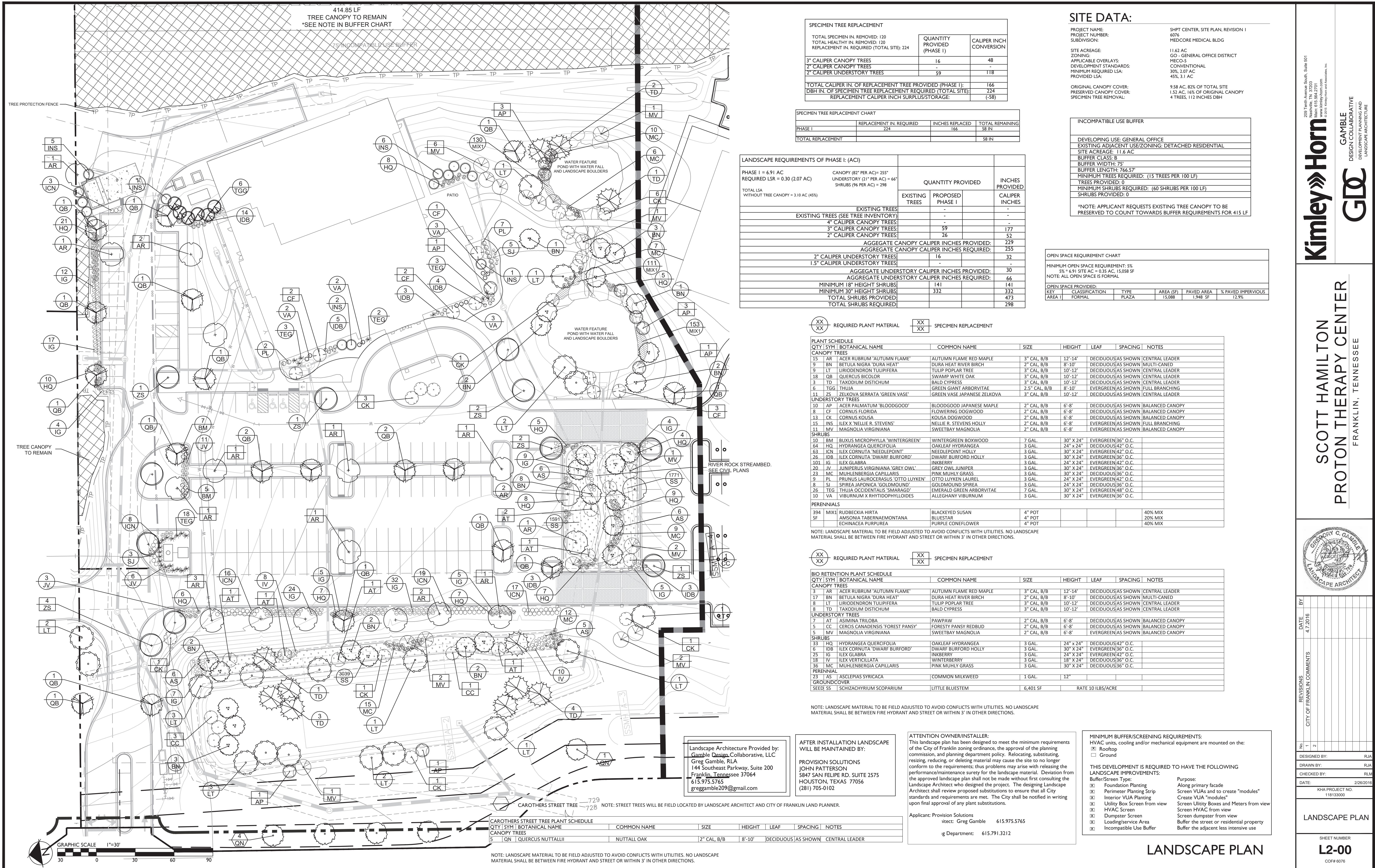


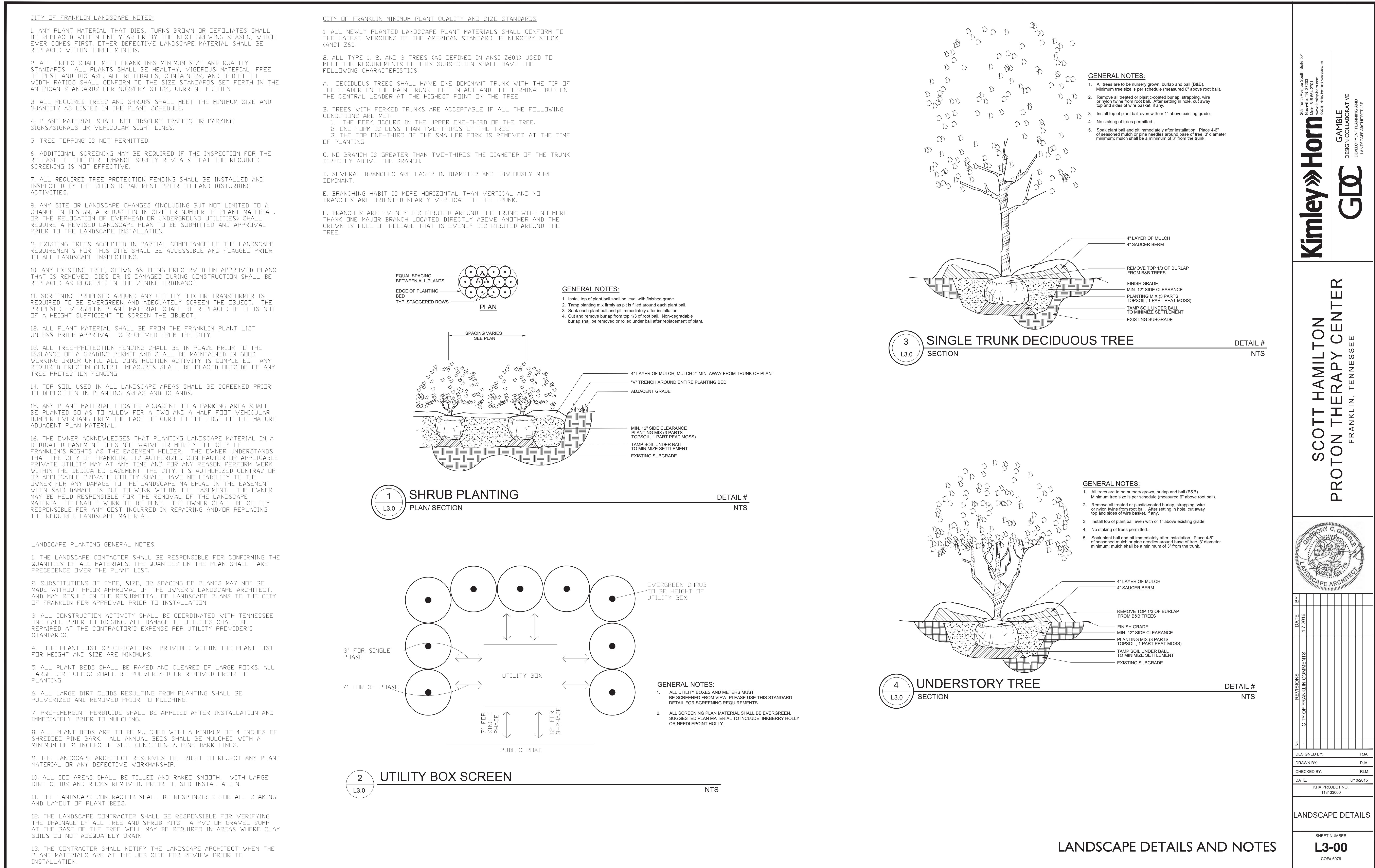
NOTE:
THE VERTICAL LOCATION OF EXISTING UTILITIES
SHOWN ON THIS PLAN ARE APPROXIMATE AND
SHOULD BE FIELD VERIFIED PRIOR TO
CONSTRUCTION. CONTRACTOR TO FIELD VERIFY THE
HORIZONTAL AND VERTICAL LOCATION OF ALL
UTILITY CROSSINGS PRIOR TO ORDERING
STRUCTURES. IF CONFLICTS EXIST, THE ENGINEER
SHALL BE NOTIFIED IMMEDIATELY.

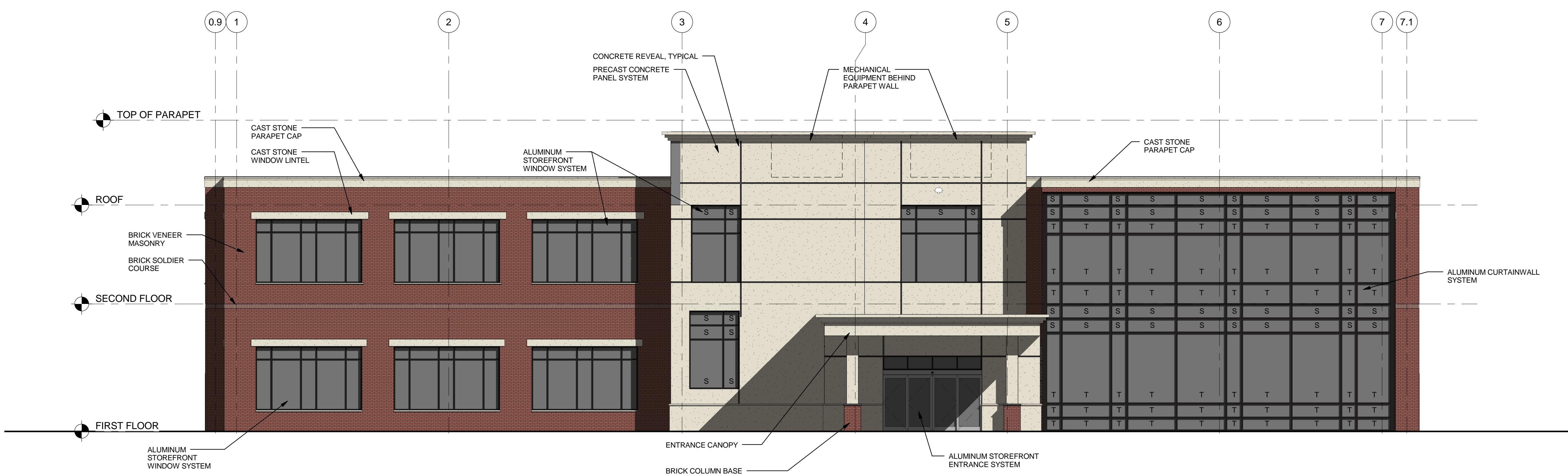
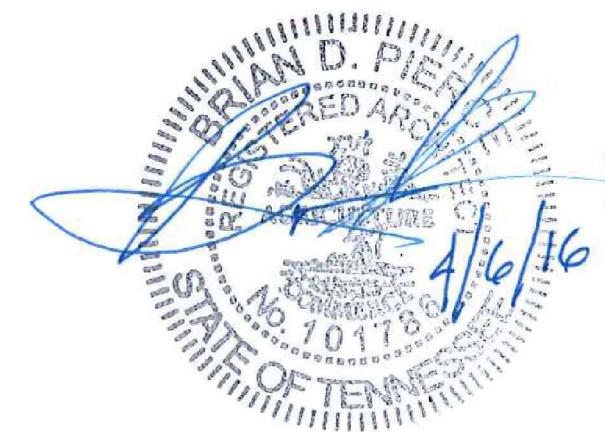
ENED BY:	CJM
EN BY:	CJM
ED BY:	RLM
03/14/2016	
KHA PROJECT NO. 118133000	
ITE UTILITY PLAN AND PROFILE - ANITARY SEWER	
SHEET NUMBER	
C5.2	











WEST ELEVATION

SCALE: 1/8" = 1'-0"

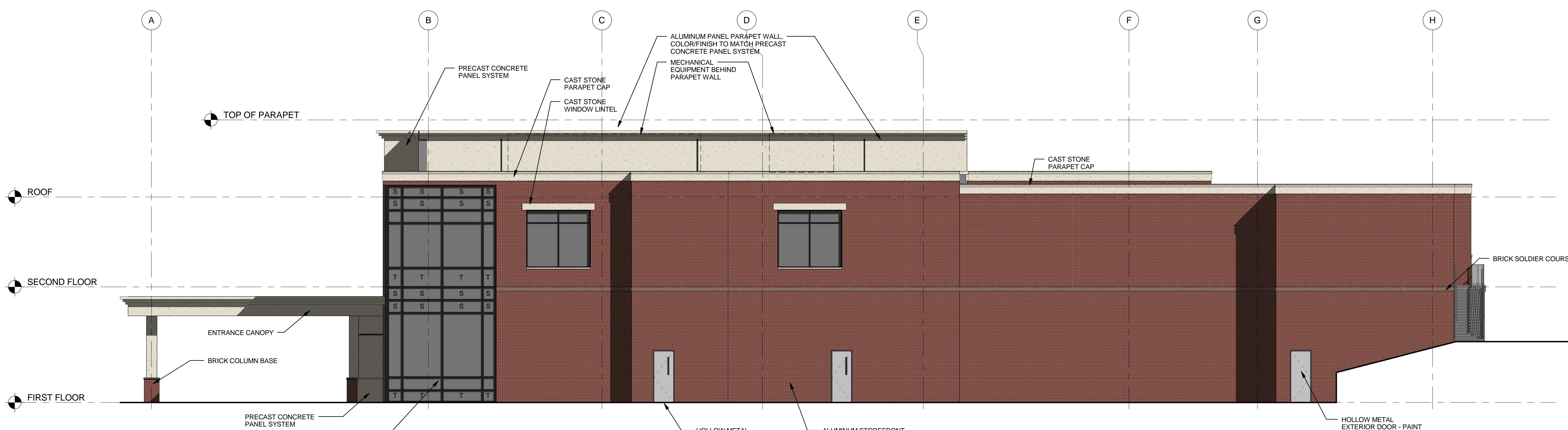
WEST ELEVATION		
TYPE	SURFACE AREA	PERCENTAGE
BRICK	1573.11	23.88
CAST STONE	345.42	5.24
ARCHITECTURAL PRECAST	1738.43	26.39
WINDOWS/DOORS	2929.70	44.48
TOTAL:	6586.66	

DUMPSTER ENCLOSURE ELEVATION

SCALE: 1/8" = 1'-0"

EXTERIOR ELEVATION GENERAL...

- 1 "CJ" DENOTES CONTROL JOINT. REFER TO DETAIL X/X.XX.
- 2 "SJ" DENOTES EIFS SCORE JOINT. REFER TO DETAIL X/X.XX.
- 3 "EJ" DENOTES EXPANSION CONTROL JOINT. REFER TO DETAIL X/X.XX.
- 4 "AR" DENOTES AESTHETIC REVEAL. REFER TO DETAIL X/X.XX.
- 5 "S" DENOTES SPANDREL GLAZING.
- 6 "T" DENOTES TEMPERED GLAZING.



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

SOUTH ELEVATION

TYPE	SURFACE AREA	PERCENTAGE
BRICK	4576.42	67.52
CAST STONE	510.65	7.53
ARCHITECTURAL PRECAST	763.01	11.26
WINDOWS/DOORS	927.78	13.69
TOTAL:	6777.86	

THESE ELEVATIONS HAVE BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE CITY OF FRANKLIN'S GENERAL DESIGN STANDARDS AND THE APPROVAL OF THE PLANNING COMMISSION OF FRANKLIN. CHANGES SHALL NOT BE MADE TO THE APPROVED ELEVATIONS UNLESS APPROVED BY EITHER THE BNS DIRECTOR OR THE PLANNING COMMISSION.

SCOTT HAMILTON CENTER FOR PROTON THERAPY
FRANKLIN, TENNESSEE

A NEW BUILDING FOR:

THIS DRAWING HAS BEEN ISSUED:
 FOR REVIEW ONLY
 FOR PERMITTING ONLY
 SCHEMATIC DESIGN
 DESIGN DEVELOPMENT
 CONSTRUCTION DOCUMENTS

Drawing Title: EXTERIOR ELEVATIONS

Date: 03/14/2016

Designed By: B.D.P.
Drawn By: T.D.B.
Reviewed By: C.M.G.

Comm. No. 160221

Revisions:

Sheet: of Sheet No. A4.1
of

PHOTOMETRIC SUMMARY

PHOTOMETRIC SUMMARY										
OVIEDO FL, CANCER TREATMENT CENTER										
	SYMBOL	AVG	MAX	MIN	MAX/MIN	AVG/MIN	L.L.F.			
E	+	1.5	FC	19.6	FC	0.0	FC	N/A	N/A	0.95
FRONT	*	3.0	FC	5.5	FC	1.1	FC	5.0 : 1	2.7 : 1	0.95
SIDE	*	3.7	FC	4.7	FC	2.0	FC	2.4 : 1	1.9 : 1	0.95

NOTES:

1. SEE SHEET E0.1 FOR ELECTRICAL LEGEND AND GENERAL NOTES.
2. MOUNT FIXTURES SO THAT LIGHT IS DIRECTED IN THE DIRECTION OF THE ARROWS SHOWN ON THIS PLAN.
3. LIGHTING SHALL COMPLY WITH APPLICABLE REQUIREMENTS OF ALL COUNTY AND CITY CODES.

SITE LIGHTING FIXTURE SCHEDULE

LAMP	NO.	WATTS	VOLTS	MOUNTING	HEIGHT	MANUFACTURER	CATALOG NO.	REMARKS
LED	1	188	208	POLE	28'-0"	LITHONIA	DSX2-LED-80C-700-40K-T3M-MVOLT-SPA-HS-DDBXD	DARK SKIES LED AREA LIGHT. COLOR: DARK BRONZE
LED	2	188	208	POLE	28'-0"	LITHONIA	DSX2-LED-80C-700-40K-T3M-MVOLT-SPA-DDBXD	DARK SKIES LED AREA LIGHT. 2@180°. COLOR: DARK BRONZE
LED	1	68	208	POLE	16'-0"	LITHONIA	DSX1-LED-80C-700-40K-T2M-MVOLT-SPA-DDBXD	DARK SKIES LED AREA LIGHT. COLOR: DARK BRONZE
LED	1	47	208	POLE	10'-0"	LITHONIA	WSQ-LED-2-10A700/40K-SR3-MVOLT-ELCW	DARK SKIES LED WALL PACK. COLOR: DARK BRONZE
LED	1	31	208	GRADE	42"	LITHONIA	DSXB-LED-12C-700-40K-ASY	DARK SKIES LED BOLLARD. COLOR: DARK BRONZE
						HAPCO	SSA25F5-4-BM (FOR FIXTURE TYPE "SA" & "SB")	25'-0" SQUARE STRAIGHT ALUMINUM POLE. COLOR: DARK BRONZE
						HAPCO	SSA16D4-4-BM (FOR FIXTURE TYPE "SC")	16'-0" SQUARE STRAIGHT ALUMINUM POLE. COLOR: DARK BRONZE

FINISH AND INSTALL LAMPS FOR ALL FIXTURES

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