

CITY OF FRANKLIN SITE PLAN SUBMITTAL

SCOTT HAMILTON PROTON THERAPY CENTER

MEDCORE MEDICAL BUILDING SUBDIVISION, LOT 3, SITE PLAN, REVISION 1

FRANKLIN, TENNESSEE

MARCH 14, 2016

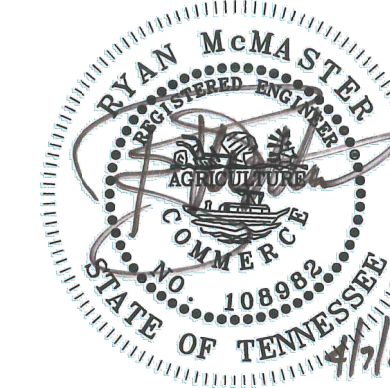
REVISED APRIL 7, 2016

COF PROJECT #: 6076



VICINITY MAP
1" = 1000'

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SITE DATA CHART	
PROJECT NAME:	SCOTT HAMILTON PROTON THERAPY CENTER
COF PROJECT #:	6076
SUBDIVISION:	MEDCORE MEDICAL BLDG
MAP:	MAP # 79
PARCEL #:	48.04
LOT:	3
ADDRESS:	4588 CAROTHERS PARKWAY
CITY:	FRANKLIN
COUNTY:	WILLIAMSON
STATE:	TENNESSEE
CIVIL DISTRICT:	8TH CIVIL DISTRICT
EXISTING ZONING:	GENERAL OFFICE DISTRICT
CHARACTER AREA OVERLAY:	MCEWEN 5
OTHER APPLICABLE OVERLAYS:	N/A
DEVELOPMENT STANDARD:	CONVENTIONAL
ACREAGE OF SITE:	11.62 AC
SQUARE FOOTAGE OF SITE:	506,335 SF
OWNER:	MTPC LLC 1400 DOWELL SPRINGS BLVD #350 KNOXVILLE, TN 37909
DEVELOPER:	PROVISION SOLUTIONS ANDY LORENZ 1400 DOWELL SPRINGS BLVD., SUITE 350 KNOXVILLE, TN 37909 (865)321-4701
APPLICANT:	KIMLEY-HORN & ASSOCIATES
Address:	214 OCEANSIDE DRIVE NASHVILLE, TN 37204
Phone:	615-564-2701
Email:	RYAN.MCMASTER@KIMLEY-HORN.COM
Contact Name:	RYAN MCMASTER
BUILDING SETBACKS:	FRONT=50'; SIDE=25'; REAR=40'; 101,501 SF
BUILDING SQUARE FOOTAGE:	30,804 SF (2-STORY MEDICAL OFFICE)
PH. 1 BUILDING AREA:	9,647 SF (PROTON VAULT)
FUTURE BUILDING AREA:	± 61,050 SF (3-STORY MEDICAL OFFICE)
BUILDING HEIGHT:	± 44'
MINIMUM LANDSCAPE SURFACE RATIO:	0.30 (2.07 AC PHASE 1)
PROVIDED LANDSCAPE SURFACE RATIO:	0.52 (3.58 AC PHASE 1)
MINIMUM PARKING REQUIREMENT:	N/A
EXISTING PARKING:	N/A
PARKING PROVIDED:	149 TOTAL SPACES 145 STANDARD SPACES 4 ADA SPACES 0 COMPACT SPACES
EXISTING TREE CANOPY:	9.58 AC EXISTING (82% OF TOTAL SITE)
TREE CANOPY PRESERVATION REQUIRED:	1.44 AC (15% OF TOTAL SITE)
TREE CANOPY PRESERVATION PROVIDED:	1.52 AC (16% OF TOTAL SITE)
PARKLAND(IF APPLICABLE):	N/A
OPEN SPACE REQUIRED:	ALL FORMAL - 0.35 AC (5% OF PHASE 1)
OPEN SPACE PROVIDED:	ALL FORMAL - 0.35 AC (5% OF PHASE 1)
NOTES:	
1. WITHIN NEW DEVELOPMENTS AND FOR OFF-SITE LINES CONSTRUCTED AS A RESULT OF, OR TO PROVIDE SERVICE TO, THE NEW DEVELOPMENT, ALL UTILITIES, SUCH AS CABLE TELEVISION, ELECTRICAL (EXCLUDING TRANSFORMERS), GAS, SEWER, TELEPHONE, AND WATER LINES SHALL BE PLACED UNDERGROUND.	
2. THIS SITE PLAN HAS BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE CITY OF FRANKLIN STANDARDS AND THE APPROVAL OF PLANNING COMMISSION. CHANGES SHALL NOT BE MADE TO THE APPROVED SITE PLAN UNLESS APPROVED BY EITHER RELEVANT DEPARTMENT SUPERINTENDENT OR THE PLANNING COMMISSION.	
3. THE INFORMATION SHOWN ON THIS PLAN IS BASED UPON THE TENNESSEE STATE PLANE COORDINATE SYSTEM, ZONE 5301, FLIPZONE 4100 AND NAD 83 DATUM.	
4. BASE INFORMATION WAS TAKEN FROM A TOPOGRAPHIC SURVEY PREPARED BY LITTLEJOHN, DATED MARCH 23, 2015. KIMLEY-HORN AND ASSOCIATES SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF THE BASE INFORMATION SHOWN.	
5. THE CONSULTANT HAS FOUND NO EVIDENCE OF THE MINERAL RIGHTS OF THIS PROPERTY BEING TRANSFERRED TO ANY PARTY OTHER THAN THE OWNER.	
6. THIS PROJECT DOES NOT PROPOSE FILL WITHIN THE EXISTING FLOODPLAIN. NO BUILDINGS IN THIS PROJECT FALL WITHIN THE 100 YEAR FLOODPLAIN, PER THE FEMA FIRM MAP NUMBER 47187C0212F, DATED SEPTEMBER 29, 2006	

PROJECT BENCHMARK:
CHRISLER SQUARE ON BASE OF STONE COLUMN ON
THE EASTERN RIGHT-OF-WAY OF CAROTHERS PKWY.
ELEVATION = 735.71

PREPARED BY:

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GDC

GAMBLE
DESIGN COLLABORATIVE

DEVELOPMENT PLANNING AND
LANDSCAPE ARCHITECTURE

UTILITY AND GOVERNING AGENCIES CONTACT LIST

CITY OF FRANKLIN

109 3rd AVENUE SOUTH, FRANKLIN, TN 37067
CONTACT:
PLANNING CO-LEADER : JOSH KING 615-550-6977
ENGINEERING CO-LEADER : LANCE FITTRO 615-550-6676

WATER

MILCROFTON UTILITY DISTRICT
6333 ARNO RD.
FRANKLIN, TN 37064
PHONE: (615) 794-5947
CONTACT: MIKE JONES

GAS

ATMOS ENERGY
200 NOAH DRIVE
FRANKLIN, TN 37064
PHONE: (615) 794-2596
CONTACT: RON MYATT

TELEPHONE

AT&T
(615) 595-7816
CONTACT: DAVID TUTTEROW

ENGINEER

KIMLEY-HORN AND ASSOCIATES, INC.
214 OCEANSIDE DRIVE
NASHVILLE, TN 37204
PHONE: (615) 564-2876
CONTACT: RYAN MCMASTER, P.E.

ELECTRIC

MIDDLE TN ELECTRIC
2156 EDWARD CURD LN.
FRANKLIN, TN 37067
PHONE: (615) 595-4677
CONTACT: DALE HOOD

SANITARY SEWER

CITY OF FRANKLIN
124 LUMBER DRIVE
FRANKLIN, TN 37064
PHONE: (615)550-6855
CONTACT: BEN MCNEIL

CABLE

COMCAST
2301 MCGAVOCK PK, SUITE 1206
NASHVILLE, TN 37214
PHONE: (615)550-6855
CONTACT: WHITNEY SCHRIMSHER

SURVEYOR

LITTLEJOHN
1935 21ST AVENUE SOUTH
NASHVILLE, TN 37212
PHONE: (615) 385-4020
CONTACT: ROBERT SEARSON

PLAN REVISIONS

REVISION NO.	DATE	REMARKS
1	04/07/16	PER CITY COMMENTS



THE CITY OF FRANKLIN WATER MANAGEMENT DEPARTMENT IS NOT A MEMBER OF TN ONE CALL. THE CONTRACTOR SHALL ALSO NOTIFY THE CITY OF FRANKLIN WATER MANAGEMENT DEPARTMENT TO LOCATE WATER AND/OR SEWER AT LEAST 72 HOURS PRIOR TO THE ESTIMATED TIME OF EXCAVATION.

FILE NUMBER 118133000	SHEET NUMBER CO.0	TOTAL SHEETS 29
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Drawing name: K:\NSH_LDEV\118133000 - Carothers - CO.0 Cover Sheet - 118133000.dwg
Apr 07, 2016 10:16am by: yates.bateman

CONTRACTOR RESPONSIBILITIES

- 1. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR:
A. THE CONTRACTOR SHALL VERIFY ALL PROPOSED AND EXISTING CONDITIONS INCLUDING UTILITIES (INVERTS, CONNECTIONS, MATERIALS, ETC.) AND DIMENSIONS WITHIN THE LIMITS OF WORK PRIOR TO THE START OF CONSTRUCTION.
B. THE CONTRACTOR IS RESPONSIBLE FOR ALL NOTIFICATIONS AND LIAISONS WITH UTILITY COMPANIES DURING THE PROCESS OF LOCATING, RELOCATING, AND TYING INTO PUBLIC UTILITIES.
C. PRIOR TO COMMENCING LAND DISTURBANCE ACTIVITY, THE LIMITS OF LAND DISTURBANCE SHALL BE CLEARLY AND ACCURATELY DEMARCATED WITH STAKES, RIBBONS, OR OTHER APPROPRIATE MEANS. THE LOCATION AND EXTENT OF ALL AUTHORIZED LAND DISTURBANCE SHALL OCCUR INSIDE THE APPROVED LIMITS INDICATED ON THE APPROVED PLANS.
2. DURING CONSTRUCTION:
A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEVIATIONS FROM THESE PLANS AND SPECIFICATIONS WITHOUT PRIOR WRITTEN CONSENT OF THE ENGINEER MAY CAUSE THE WORK TO BE UNACCEPTABLE.
B. THE CONTRACTOR SHALL USE MATERIALS AND EMPLOY CONSTRUCTION METHODS IN ORDER TO COMPLY WITH THE DRAWINGS AND SPECIFICATIONS. WHERE A CONFLICT OCCURS, THE STRICTEST DESIGN SHALL GOVERN. THE ENGINEER'S REVIEW OF SHOP DRAWINGS, PRODUCT DATA, ETC., DOES NOT RELIEVE THE CONTRACTOR FROM COMPLYING WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL INFORM THE ENGINEER IN WRITING OF ANY SPECIFIC DEVIATIONS AND OBTAIN ENGINEER'S WRITTEN APPROVAL OF THE SPECIFIC DEVIATION.
C. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION.
D. ALL CONSTRUCTION MUST CONFORM TO THE STANDARDS, SPECIFICATIONS, AND CODES OF THE GOVERNING MUNICIPALITIES.
E. CONSTRUCTION SHALL MEET ALL STANDARDS SET FORTH IN THE AMERICANS WITH DISABILITIES ACT (VERSION 2010).
F. IF THE CONTRACTOR DAMAGES ANY EXISTING UTILITIES DURING CONSTRUCTION, HE SHALL, AT HIS OWN EXPENSE, REPLACE OR REPAIR THE UTILITIES TO ORIGINAL CONDITION AND QUALITY AS APPROVED BY THE OWNER AND REPRESENTATIVE OF THE APPROPRIATE UTILITY COMPANY.
G. SUFFICIENT BARRICADES, LIGHTS, SIGNS, AND OTHER TRAFFIC CONTROL METHODS IN ACCORDANCE WITH GOVERNING ORDINANCES MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC. SAID CONTROL DEVICES SHALL BE PER THE MANUAL OF TRAFFIC CONTROL DEVICES, MUTCD, CURRENT EDITION, AND SHALL BE PROVIDED AND MAINTAINED THROUGHOUT CONSTRUCTION.
H. TRAFFIC CONTROLS AND OTHER WARNING DEVICES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY WORK ON CITY, COUNTY, OR TENNESSEE DEPARTMENT OF TRANSPORTATION ROADS. THEY SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL THE CONCLUSION OF ALL WORK.
I. ALL WARNING DEVICES SHALL BE EITHER TYPE I BARRICADES OR DRUMS WITH WARNING LIGHTS ON EVERY OTHER DEVICE. THEY SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), CURRENT EDITION, METRO NASHVILLE STANDARDS FOR COLOR, SIZE, REFLECTIVITY, HEIGHT, AND PLACEMENT.
J. FIRE DEPARTMENT ACCESS SHALL BE MAINTAINED AT ALL TIMES.
K. CONTRACTOR SHALL SHORE AND BRACE ALL EARTH, FORMS, CONCRETE, STEEL, WOOD, AND MASONRY TO RESIST GRAVITY, EARTH, WIND, THERMAL, CONSTRUCTION, AND MISCELLANEOUS LOADS DURING CONSTRUCTION.
L. ON-SITE BURIAL OF DEBRIS IS PROHIBITED.
M. UNLESS OTHERWISE NOTED THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL FABRICATED MATERIALS TO THE ENGINEER. DESIGN DOCUMENTS SHALL NOT BE REPRODUCED AS SHOP DRAWINGS.
N. IN CASE OF UNFORESEEN CONSTRUCTION COMPLICATIONS OR DISCREPANCIES, THE CONTRACTOR IS TO IMMEDIATELY NOTIFY THE ENGINEER IN WRITING.
O. ALL REQUIRED TESTING REPORTS SHALL BE AVAILABLE AT THE JOB SITE.
P. AS-BUILT DRAWINGS OF ROADWAYS, STORM DRAINS, SANITARY SEWER AND WATER LINES, FIELD APPROVAL BY THE ENGINEER, AND ALL APPLICABLE BONDS ARE REQUIRED PRIOR TO FINAL ACCEPTANCE BY THE OWNER.
Q. CONTRACTOR SHALL MAINTAIN CONTINUOUS UTILITY SERVICE TO ALL EXISTING BUILDINGS THROUGHOUT CONSTRUCTION UNLESS APPROVAL FOR SERVICE INTERRUPTION IS OBTAINED FROM THE OWNERS IN ADVANCE.
R. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS TO ENSURE THAT THE NEW WORK SHALL FIT INTO THE EXISTING SITE IN THE MANNER INTENDED AND AS SHOWN ON THE DRAWINGS. SHOULD ANY CONDITIONS EXIST THAT ARE CONTRARY TO THOSE SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE PRIOR TO PERFORMING ANY WORK IN THE AREA INVOLVING DIFFERENCES. NOTIFICATION SHALL BE IN THE FORM OF A DRAWING OR SKETCH INDICATING FIELD MEASUREMENTS AND NOTES RELATING TO THE AREA.
S. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO THE PREMISES OR ADJACENT PREMISES, OR INJURIES TO THE PUBLIC DURING THE CONSTRUCTION OF THE WORK, WHETHER CAUSED BY HIMSELF, HIS SUBCONTRACTORS, OR THE CARELESSNESS OF ANY OF HIS EMPLOYEES.
T. THE CONTRACTOR SHALL FURNISH, INSTALL AND MAINTAIN ALL NECESSARY TEMPORARY WORKS FOR THE PROTECTION OF THE WORK AND THE PUBLIC, INCLUDING BARRICADES, WARNING SIGNS, LIGHTS, ETC.
U. THE CONTRACTOR IS TO CHECK AND VERIFY ALL MEASUREMENTS, LEVELS, ETC. BEFORE ORDERING MATERIALS AND PROCEEDING WITH THE WORK, AND IS TO BE RESPONSIBLE FOR THE SAME.
V. CARE SHALL BE TAKEN TO PROTECT ANY UTILITIES, TREES, ETC. WHICH ARE TO REMAIN AND NOT TO BE DISTURBED BY THE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES TO SUCH PROPERTY.

GENERAL NOTES:

- 1. THE PROJECT SITE IS SHOWN ON WILLIAMSON COUNTY, TAX MAP # 79, PARCEL 48.04.
2. BASE INFORMATION WAS TAKEN FROM A SURVEY PREPARED BY LITTLE, JOHN, DATED MARCH 23, 2015. KIMLEY-HORN AND ASSOCIATES SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF THE BASE INFORMATION SHOWN.
3. EXISTING PAVEMENT OF PUBLIC ROADWAYS SHALL BE PATCHED IN ACCORDANCE WITH LOCAL AGENCY STANDARDS WHEREVER UTILITY INSTALLATION REQUIRES REMOVAL OF THE EXISTING PAVEMENT.
4. PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. SLIGHT FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY.
5. WHERE NOT SPECIFIED, THE CONTRACTOR WILL BE REQUIRED TO ADJUST GRADES OF INTERSECTING STREETS, ALLEYS, PUBLIC ENTRANCES AND PRIVATE DRIVES IN ORDER TO ASSURE POSITIVE DRAINAGE TO STORM INLETS.
6. ALL DIMENSIONS ARE TO FACE OF CURB AND/OR EXTERIOR FACE OF BUILDING UNLESS OTHERWISE NOTED.
7. CONCRETE FOR CURBS AND SIDEWALKS SHALL BE 3500 PSI MIN. CONCRETE.
8. ACCESSIBLE RAMPS SHALL HAVE A MAXIMUM SLOPE OF 8.33%. SLOPES WITHIN ACCESSIBLE SPACES SHALL BE MAXIMUM 2% IN ALL DIRECTIONS.
9. THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE MANUAL OF ACCIDENT PREVENTION AND CONSTRUCTION ISSUED BY AGC OF AMERICA, INC. AND THE SAFETY AND HEALTH REGULATIONS OF CONSTRUCTION ISSUED BY THE U.S. DEPARTMENT OF LABOR.
10. ALL ROADWAY AND SIDEWALK CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE LOCAL MUNICIPALITY.
11. ALL CONSTRUCTION MATERIALS AND INSTALLATION SHALL CONFORM TO THE LOCAL MUNICIPALITY AND STATE DOT REGULATIONS AND SPECIFICATIONS.
12. THE CONTRACTOR SHALL PAVE AND COLD PLANE IN THE DIRECTION OF TRAFFIC.
13. ANY WORK UNACCEPTABLE TO THE OWNER'S REPRESENTATIVE OR TO THE LOCAL GOVERNING AUTHORITY SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.

DEMOLITION INFORMATION:

- 1. NOTIFICATIONS:
THE CONTRACTOR SHALL NOTIFY THE OWNER AND CITY INSPECTOR(S) 24 HOURS PRIOR TO ANY DEMOLITION OR CONSTRUCTION.
2. DISPOSAL GUIDELINES:
A. ONLY ITEMS SPECIFICALLY NOTED TO BE DEMOLISHED SHALL BE REMOVED FROM THE SITE.
B. REMOVE EXISTING PAVED AREAS AS SHOWN INCLUDING DRIVEWAYS, SIDEWALKS, PARKING AREAS, SERVICE AREAS, EQUIPMENT PADS, AND ALL MISCELLANEOUS PAVING.
C. ALL DEBRIS RESULTING FROM DEMOLITION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY BY THE CONTRACTOR IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS. BACKFILL ALL TRENCHES AND EXCAVATIONS RESULTING FROM DEMOLITION.
D. ALL DEMOLISHED MATERIAL BECOMES THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE NOTED.
3. TREE PROTECTION GUIDELINES:
PROTECT ALL EXISTING TREES NOTED TO REMAIN AND ALL ITEMS TO BE TURNED OVER TO THE OWNER DURING DEMOLITION. TAKE ALL NECESSARY PRECAUTIONS AND PROTECTIVE MEASURES. ANY EXISTING ITEMS TO BE TURNED OVER TO THE OWNER WHICH ARE DAMAGED DURING DEMOLITION SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER. TREES WHICH ARE DAMAGED WILL BE REPLACED OR REIMBURSED AT A RATE TO BE DETERMINED BY THE OWNER.
4. UTILITIES:
A. PRIOR TO REMOVING OR ABANDONING ANY UTILITY THE CONTRACTOR SHALL VERIFY THAT NO UPSTREAM SERVICE WILL BE TERMINATED. THE CONTRACTOR SHALL INFORM THE ENGINEER IN WRITING OF ANY TERMINATION NOT SHOWN ON THE PLANS.
B. ALL ABANDONED WATER LINES, STORM SEWER PIPE, SANITARY SEWER PIPES, GAS LINES, OR ANY OTHER ABANDONED UNDERGROUND UTILITY SHALL BE ABANDONED IN PLACE UNLESS NOTED OTHERWISE.

SITE GRADING:

- 1. THE DISTURBED AREA FOR THIS PROJECT IS APPROXIMATELY 9.02 ACRES.
2. THIS PROJECT DOES NOT PROPOSE FILL WITHIN THE EXISTING FLOODPLAIN. NO PROPOSED RESIDENTIAL UNITS IN THIS PROJECT FALL WITHIN THE 100 YEAR FLOODPLAIN, PER THE FEMA FIRM MAP NUMBER 47187C0212F, DATED SEPTEMBER 29, 2006.
3. TOPSOIL SHALL BE STORED ON SITE IN LOCATIONS APPROVED BY THE OWNER'S REPRESENTATIVE. DRAINAGE SHALL ROUTE AROUND THESE TOPSOIL STOCKPILES FOR THE DURATION OF THE GRADING OPERATIONS. EROSION CONTROL MEASURES SHALL BE UTILIZED TO PREVENT LOSS OF TOPSOIL MATERIAL.
2. UNSUITABLE SOILS SHALL BE REMOVED FROM THE SITE AT NO ADDITIONAL COST TO THE OWNER.
3. FILL AREA SHALL BE PROOF-ROLLED UNDER THE DIRECTION OF A QUALIFIED SOILS ENGINEER WITH RUBBER-TIRED EQUIPMENT WITH A MINIMUM WEIGHT OF FIFTEEN TONS PRIOR TO BEGINNING FILL OPERATION. AREAS WHICH ARE SOFT OR UNSTABLE SHALL BE UNDERCUT UNTIL STABLE SOILS ARE FOUND.
4. CUT AREA SHALL BE PROOF-ROLLED AFTER FINAL SUBGRADE IS ACHIEVED IN THE SAME MANNER AS FILLED AREAS. SOFT OR UNSTABLE SOILS SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 12".
5. ALL FILL AREAS SHALL BE RAISED IN LIFTS NOT EXCEEDING 6 INCHES, UNLESS OTHERWISE APPROVED BY QUALIFIED SOIL ENGINEER TO OBTAIN REQUIRED COMPACTION.
6. ALL GRADING SHALL BE COMPLETED TO THE LEVEL INDICATED BY THE SCOPE OF WORK LISTED IN THE BID DOCUMENTS.
7. ALL AREAS SHALL BE GRADED TO PROVIDE PROPER DRAINAGE AND PREVENT STANDING WATER.
8. ELEVATIONS SHOWN ON THE PLANS ARE THE FINISH GRADE ELEVATIONS.
9. ALL BACKFILL BEHIND WALLS SHALL BE INSTALLED PER WALL MANUFACTURER'S INSTALLATION SPECIFICATIONS OR AS NOTED ON PLANS, WHICHEVER IS MORE RESTRICTIVE.

- 10. CONTRACTOR SHALL REFER TO SITE SPECIFIC GEOTECHNICAL REPORT AND SITE SPECIFIC STORM WATER POLLUTION PREVENTION PLAN (SWPPP) PRIOR TO COMMENCING WITH EARTHWORK ACTIVITIES.
11. PERMANENT CUT AND FILL SLOPES SHALL NOT EXCEED 3:1 UNLESS OTHERWISE NOTED.
12. THE PROPOSED GRADING PLAN IS A RESULT OF AN ENGINEERED DESIGN AND REFLECT A PLANNED INTENT WITH REGARD TO SLOPES AND STORM RUNOFF. SHOULD THE CONTRACTOR HAVE QUESTIONS OR COMMENTS RELATED TO THE PROPOSED DESIGN, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
13. THE CONTRACTOR SHALL NOTIFY "ONE CALL" (811) AT LEAST 72 HOURS PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES. THE CITY OF FRANKLIN WATER MANAGEMENT DEPARTMENT IS NOT A MEMBER OF "ONE CALL". THE CONTRACTOR SHALL ALSO NOTIFY THE CITY OF FRANKLIN WATER MANAGEMENT DEPARTMENT TO LOCATE WATER AND/OR SEWER AT LEAST 72 HOURS PRIOR TO THE ESTIMATED TIME OF EXCAVATION.
14. EARTHWORK ACTIVITIES MUST BE SUPERVISED BY A LICENSED GEOTECHNICAL ENGINEER.
15. THE CONTRACTOR SHALL PROVIDE AS-BUILT CONDITIONS OF ALL UTILITIES AND STORMWATER PONDS PER THE LOCAL MUNICIPALITY REGULATIONS. AS-BUILT CONDITIONS MUST BE LOCATED BY A LICENSED LAND SURVEYOR.

EROSION AND SEDIMENT CONTROL INFORMATION:

- 1. COMPREHENSIVE:
A. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO OR CONCURRENT WITH LAND-DISTURBING ACTIVITIES.
B. PROVISIONS TO PREVENT EROSION OF SOIL FROM THE SITE SHALL BE AT A MINIMUM IN CONFORMANCE WITH THE REQUIREMENTS OF THE TENNESSEE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
C. FAILURE TO INSTALL, OPERATE, OR MAINTAIN ALL EROSION CONTROL MEASURES WILL RESULT IN ALL CONSTRUCTION BEING STOPPED ON THE JOB SITE UNTIL SUCH MEASURES ARE CORRECTED BACK TO THE STANDARDS SPECIFIED IN THE TENNESSEE EROSION AND SEDIMENT CONTROL HANDBOOKS, CURRENT EDITION.
D. EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO LAND DISTURBANCE. THE LOCATION OF SOME OF THE EROSION CONTROL DEVICES MAY HAVE TO BE ALTERED FROM THAT SHOWN ON THE APPROVED PLANS IF DRAINAGE PATTERNS DURING CONSTRUCTION ARE DIFFERENT FROM THE FINAL PROPOSED DRAINAGE PATTERNS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOMPLISH EROSION CONTROL FOR ALL DRAINAGE PATTERNS CREATED AT VARIOUS STAGES DURING CONSTRUCTION. ANY DIFFICULTY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
E. THE CONSTRUCTION OF THE SITE WILL COMMENCE WITH THE INSTALLATION OF EROSION CONTROL MEASURES SUFFICIENT TO CONTROL SEDIMENT DEPOSITS AND EROSION. ALL SEDIMENT CONTROL WILL BE MAINTAINED UNTIL ALL UPSTREAM GROUND WITHIN THE CONSTRUCTION AREA HAS BEEN COMPLETELY STABILIZED WITH PERMANENT VEGETATION AND ALL ROADS/DRIVEWAYS HAVE BEEN PAVED.
F. CONSTRUCTION EXITS SHALL BE CONSTRUCTED AT EACH POINT OF ENTRY OR EXIT FROM THE SITE AND SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH STONE AS CONDITIONS DEMAND, REPAIR, AND/OR CLEANOUT OF ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES OFF SITE ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. ACCESS POINTS PROTECTED WITH A CONSTRUCTION EXIT SHALL BE OTHERWISE BARRICADED UNTIL THE SITE IS STABILIZED.
G. EROSION CONTROL DEVICES ARE TO BE INSTALLED AND FULLY OPERATIONAL PRIOR TO ANY DEMOLITION.
H. SILT FENCE SHALL BE TYPE C TEMPORARY SILT FENCE AND BE WIRE ENFORCED, UNLESS OTHERWISE NOTED.
I. ADDITIONAL EROSION CONTROL MEASURES WILL BE EMPLOYED WHERE DETERMINED NECESSARY BY ACTUAL SITE CONDITIONS.

- 2. DURING CONSTRUCTION:
A. ON-SITE DUST CONTROL DURING CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL LOCAL CODES AND REGULATIONS.
B. THE CONTRACTOR SHALL REMOVE ACCUMULATED SILT WHEN THE SILT HAS ACCUMULATED TO 3 THE ORIGINAL HEIGHT OF THE BARRIER.
C. ALL OPEN SWALES MUST BE GRASSED AND RIP-RAP MUST BE PLACED AS REQUIRED TO CONTROL EROSION. STONE FOR RIP-RAP SHALL CONSIST OF ROUGH UNHEWN QUARRY GRANITE AS NEARLY IN RECTANGULAR SECTION AS PRACTICAL. THE MINIMUM SIZE STONE SHALL WEIGH BETWEEN 75 AND 150 POUNDS AND SHALL BE HAND PLACED AS A LOOSE STONE EMBANKMENT.
D. AT ANY TIME DURING CONSTRUCTION IF IT BECOMES NECESSARY TO PUMP STORM WATER OR GROUNDWATER FROM AN EXCAVATION, THE PUMPED WATER MUST NOT HAVE AN OBJECTIONABLE COLOR CONTRAST WHEN COMPARED TO THE RECEIVING WATERS AND MUST NOT IMPAIR IN ANY WAY THE RECEIVING WATERS. WATER THAT DOES NOT MEET THESE REQUIREMENTS MUST BE FILTERED OR DISCHARGED INTO A TEMPORARY SEDIMENT BASIN, WEIR TANK, DEWATERING TANK, GRAVITY BAG FILTER, SAND MEDIA FILTER, OR OTHER APPROVED DEVICE UNTIL IT MEETS THE EFFLUENT REQUIREMENTS. ONCE THE EFFLUENT REQUIREMENTS HAVE BEEN MET THE WATER MAY BE DISCHARGED INTO THE STORM SEWER SYSTEM.
THESE SAME REQUIREMENTS APPLY TO ALL AUTHORIZED NON-STORM WATER DISCHARGES UNDER THE STATE OF TENNESSEE GENERAL NPDES PERMIT NO. TN9 100000. AUTHORIZATION TO DISCHARGE UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY.
E. NO GRADED SLOPE SHALL EXCEED 3H:1V UNLESS OTHERWISE NOTED.
F. EPSC MEASURES SHALL ONLY BE REMOVED AFTER THE SITE HAS ESTABLISHED A SOLID, STABILIZED STAND OF GRASS.

STORM DRAINAGE INFORMATION:

- 1. PIPES:
A. UNLESS OTHERWISE NOTED ON THE DRAWING RCP SHALL BE CLASS III WITH "O" RING JOINTS.
B. THE PIPE MANUFACTURER SHALL SUPPLY A CLASSIFICATION OF THE PIPE SPECIFICATIONS FOR EACH PIPE PRIOR TO INSTALLATION.
C. PIPE INSTALLATION SHALL CONFORM TO THE LOCAL MUNICIPALITY STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, CURRENT EDITION.
D. IF UNDERGROUND WATER/SPRINGS ARE UNCOVERED DURING CONSTRUCTION, PERMANENT FRENCH DRAINS MAY BE REQUIRED. CONSULTATION WITH THE ONSITE GEOTECHNICAL ENGINEER WILL BE REQUIRED.

- 2. STRUCTURES:
A. ALL STRUCTURES SHALL BE MADE OF PRECAST CONCRETE. ALL INVERTS SHALL BE NEATLY FORMED UP TO THE SPRING LINE WITH MORTAR OR BRICK TO INSURE PROPER FLOW.
B. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL INVERTS AND PIPE SLOPES PRIOR TO INSTALLATION TO ENSURE PROPER COVER AND LENGTHS OF PIPE.
C. CONTRACTOR SHALL REMOVE SEDIMENT FROM ALL STORM STRUCTURES PRIOR TO ACCEPTANCE BY LOCAL MUNICIPALITY.
D. THE CONTRACTOR SHALL COMPACT FILL SUFFICIENTLY AROUND ALL STRUCTURES, PIPES, ETC. WITHIN PROPOSED PAVEMENT TO AVOID SETTLEMENT. ANY SETTLEMENT DURING THE WARRANTY/MAINTENANCE PERIOD SHALL BE RESTORED AT THE CONTRACTORS EXPENSE.

SANITARY SEWER NOTES:

- 1. CONSTRUCTION CRITERIA:
A. ALL INSTALLATION, MATERIALS, AND SPECIFICATIONS SHALL BE IN ACCORDANCE WITH THE LOCAL MUNICIPALITY STANDARD SPECIFICATIONS.
B. ALL WASTEWATER EASEMENTS MUST BE DRESSED AND GRASSED TO CONTROL EROSION AND SEDIMENTATION IN ACCORDANCE WITH REGULATIONS PRIOR TO ACCEPTANCE. TREES SHALL NOT BE PLANTED IN THE PERMANENT EASEMENT AREA.
C. THE BACKFILL OF ALL TRENCHES SHALL BE COMPACTED TO 98% OF THE THEORETICAL MAXIMUM DENSITY. BACKFILL MATERIAL SHALL BE FREE OF ROOTS, STUMPS, OR OTHER FOREIGN DEBRIS AND SHALL BE PLACED AT OR NEAR OPTIMUM MOISTURE. CORRECTION OF ANY TRENCH SETTLEMENT WITHIN A YEAR FROM THE DATE OF APPROVAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
D. THE CONTRACTOR FOR VERTICAL CONSTRUCTION SHALL VERIFY THE ELEVATION OF THE SANITARY SEWER SERVICE VS. FINISH FLOOR ELEVATION FOR EACH BUILDING AND ADJUST THE PROPOSED FINISH FLOOR ELEVATION AS NECESSARY IN ORDER TO ASSURE PROPER SEWER SERVICE.
E. PROPOSED LOT CORNERS SHALL BE STAKED IN THE FIELD PRIOR TO UTILITY SERVICE INSTALLATION.
2. PIPES:
A. THE MINIMUM VERTICAL DISTANCE BETWEEN WATER AND SEWER LINES SHALL BE 18 INCHES. THE MINIMUM HORIZONTAL DISTANCE BETWEEN WATER AND SEWER LINES SHALL BE 10 FEET WHERE PRACTICAL.
B. LOW PRESSURE AIR TESTING IS REQUIRED FOR ALL WASTEWATER PIPE SYSTEMS. THIS TEST MUST MEET ALL REQUIREMENTS AS OUTLINED IN ASTM C-828-80 OR CURRENT REVISION.
C. WHERE A SEWER LINE CROSSES UNDER A WATER MAIN, THE TOP OF THE SEWER LINE SHALL BE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN. IF PROPER SEPARATION CANNOT BE PROVIDED, CONSTRUCT THE WATER CROSSING WITH MECHANICAL JOINT DIP FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE SEWER LINE.
D. ALL SEWER SERVICES SHALL BE 6 INCHES IN DIAMETER AND EXTEND TO THE PROPERTY LINE.
E. CONTRACTOR SHALL PROVIDE #8 WIRE WITH ALL SEWER SERVICES.
3. STRUCTURES:
A. CONTRACTOR SHALL FIELD VERIFY LOCATION AND INVERT ELEVATIONS OF WASTEWATER PIPE FOR CONNECTION TO EXISTING WASTEWATER SYSTEMS PRIOR TO STARTING UTILITY WORK.
B. EXISTING MANHOLES LOCATED WITHIN PROPOSED CUT/FILL AREAS SHALL BE ADJUSTED TO ASSURE THAT THE TOP OF GRATE MATCHED PROPOSED FINISH GRADE.
C. THE OUTSIDE OF ALL MANHOLES SHALL BE COATED WITH BITUMINOUS PAINT.
D. ALL CONNECTIONS TO EXISTING MANHOLES SHALL BE BY CORING AND RESILIENT SEAL METHOD.

WATER SYSTEM INFORMATION:

- 1. NOTIFICATIONS:
A. NOTIFY LOCAL MUNICIPALITY AND UTILITY DISTRICT PRIOR TO THE START OF CONSTRUCTION AND THE WATER AND SEWER INSPECTOR FOR WORK WITHIN THE PUBLIC RIGHT-OF-WAY AND ANY METER WORK.
B. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING THE SEQUENCING OF CONSTRUCTION FOR ALL UTILITIES SO THAT WATER MAINS DO NOT CONFLICT WITH OTHER UTILITIES.
C. THE CONTRACTOR SHALL PROVIDE ALL HORIZONTAL BENDS IN ORDER TO PROVIDE THE ALIGNMENT SHOWN ON THE PLANS. VERTICAL BENDS SHALL BE PROVIDED IN ORDER TO PASS UNDER/OVER OTHER UTILITY LINES. PROVIDING MINIMUM COVER AS SPECIFIED BY THE LOCAL MUNICIPALITY. PROVIDE BRACING AND SUPPORT AS REQUIRED BY THE LOCAL MUNICIPALITY.
2. HYDRANTS:
A. FOR FIRE HYDRANT INSTALLATION REFER TO DETAILS.
3. PIPES:
A. EXISTING DOMESTIC WATER LINES ARE TO BE ABANDONED IN PLACE UNLESS NOTED OTHERWISE.
B. ALL INSTALLATION, MATERIAL, DISINFECTION, AND INSPECTIONS SHALL BE IN ACCORDANCE WITH THE LOCAL MUNICIPALITY STANDARD SPECIFICATIONS.
C. PROVIDE A MINIMUM OF 36 INCHES OF COVER OVER ALL WATER MAINS.
4. WATER MAIN INSTALLATION:
A. ALL WATER AND SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH SPECIFICATIONS AND STANDARD DETAILS OF THE LOCAL MUNICIPALITY.
B. THE CONTRACTOR SHALL ADJUST THE ALIGNMENT OF THE WATER MAIN, AS NECESSARY, IN ORDER TO PROVIDE PROPER SEPARATION OF UTILITIES AND ALLOW SPACING NECESSARY FOR BRACING AT BENDS AND TEES.

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GAMBLE DESIGN COLLABORATIVE DEVELOPMENT PLANNING AND LANDSCAPE ARCHITECTURE

GDC

SCOTT HAMILTON PROTON THERAPY CENTER FRANKLIN, TENNESSEE

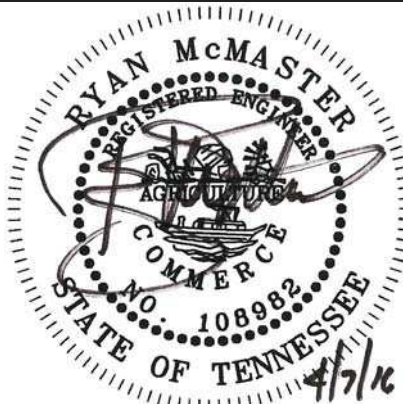


Table with columns for Revisions, Date, and City Comments. Includes a revision entry for 04/07/2016.

DESIGNED BY: RJA
DRAWN BY: RJA
CHECKED BY: RLM
DATE: 03/14/2016
KHA PROJECT NO. 118133000

GENERAL NOTES

SHEET NUMBER C0.1

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STORMWATER EROSION PREVENTION AND SEDIMENT CONTROL REQUIREMENTS:

- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DESIGNED TO CONTROL THE RAINFALL AND RUNOFF FROM A 5 YEAR, 24 HOUR STORM, AS A MINIMUM.
- EROSION PREVENTION AND SEDIMENT CONTROL MUST BE INSPECTED ONCE A WEEK AND 24 HOURS BEFORE A RAIN EVENT AFTER A 25 INCH RAIN EVENT AND DOCUMENTED ON THE INSPECTION SITE CHECKLIST.
- SEDIMENT THAT HAS ESCAPED THE CONSTRUCTION SITE AND HAS COLLECTED IN THE STREET OR DRAINAGE STRUCTURES MUST IMMEDIATELY BE PHYSICALLY REMOVED.
- STABILIZATION MEASURES MUST BE PERFORMED WITHIN SEVEN (7) DAYS IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, AND WITHIN FIFTEEN (15) DAYS AFTER FINAL GRADING. THIS IS A COVER CROP WITH AT LEAST 75% COVERAGE.
- DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE SPECIFIED RATES.

TEMPORARY STABILIZATION & PERMANENT STABILIZATION

- STRAW MULCH MUST BE APPLIED AT 3.0 TONS PER ACRE.
- STRAW MULCH WITH MULCH CONTROL NETTING OR EROSION CONTROL BLANKETS MUST BE INSTALLED ON ALL SLOPES 3:1 AND STEEPER.
- STRAW MULCH SHALL BE APPLIED IN LONG STRANDS, NOT CHOPPED OR FINELY BROKEN.
- EXCAVATED TOPSOIL TO BE REUSED MUST BE STOCKPILED AND ENCIRCLED WITH SILT FENCING. STOCKPILE HEIGHTS MUST NOT EXCEED 35 FEET. STOCKPILE SLOPES MUST BE 2:1 OR FLATTER. STOCKPILES WHICH HAVE NOT BEEN USED FOR 14 CALENDAR DAYS SHALL BE STABILIZED THROUGH THE APPLICATION OF SOD, SEED AND ANCHORED STRAW MULCH, OR OTHER APPROVED STABILIZATION MEASURES.
- OFF-SITE SPOIL OR BORROW AREAS MUST HAVE APPROVED SEDIMENT CONTROL PLANS.
- A 25 FOOT UNDISTURBED STREAMSIDE BUFFER ZONE WILL BE LEFT FROM TOP OF BANK ON BOTH SIDES FOR THE ENTIRE LENGTH OF STREAMS THAT TDEC DETERMINES TO BE A PERENNIAL OR INTERMITTENT STREAM. THE STREAMSIDE BUFFER SHALL BE FENCED OFF WHERE THERE IS NO ENCROACHMENT. BUFFER MEANS A VEGETATED AREA, INCLUDING TREES AND SHRUBS THAT EXISTS OR IS ESTABLISHED TO PROTECT A STREAM SYSTEM, LAKE, OR RESERVOIR AREA. THIS BUFFER ALSO APPLIES TO OTHER SENSITIVE AREAS SUCH AS SPRINGS, WETLANDS AND SINKHOLES. TDEC REQUIRES A 60 FOOT CONSTRUCTION BUFFER ON SOME STREAMS.
- AN ORANGE CONSTRUCTION FENCE IS REQUIRED TO DESIGNATE THE BUFFER AREA BEFORE CLEARING OR TREE REMOVAL HAS BEGUN.
- THIS STREAMSIDE BUFFER WILL BE LEFT IN UNDISTURBED OR ENHANCED (WHEN REQUIRED BY THE CITY) AND WILL BE PART OF OPEN SPACE AND RECOGNIZED ON COVENANTS WITH RESTRICTIONS OF HOW IT IS TO BE MAINTAINED BY HOMEOWNER ASSOCIATION OR NONRESIDENTIAL PROPERTY OWNER, IF MORE THAN REGULAR MAINTENANCE IS EVER NEEDED, I.E. REMOVAL OF SMALL BRUSH OR TREES THAT HAVE FALLEN, A LANDSCAPE PLAN AND A TREE CUTTING PERMIT IS REQUIRED.
- ALL SEDIMENT BASINS, TRAP EMBANKMENTS, SWALES, PERIMETER DKES, AND PERMANENT SLOPES STEEPER OR EQUAL TO 3:1 SHALL BE STABILIZED WITH SOD, SEED AND ANCHORED STRAW MULCH OR OTHER APPROVED STABILIZATION MEASURES. WITHIN SEVEN (7) CALENDAR DAYS OF ESTABLISHMENT, ALL AREAS DISTURBED OUTSIDE OF THE PERIMETER SEDIMENT CONTROL SYSTEM MUST BE MINIMIZED AND STABILIZED IMMEDIATELY. MAINTENANCE MUST BE PERFORMED AS NECESSARY TO ENSURE CONTINUED STABILIZATION. RESTABILIZATION OR OVERSEEDING WILL BE REQUIRED, IF NECESSARY.
- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.
- CONSTRUCT AND STABILIZE SEDIMENT POND AND CONVEYANCES FIRST. STABILIZE MEANS:
 - A.) A UNIFORM (E. G., EVENLY DISTRIBUTED, WITHOUT LARGE BARE AREAS) PERENNIAL VEGETATIVE COVER WITH A DENSITY OF A MINIMUM OF 75 PERCENT OF THE NATIVE BACKGROUND VEGETATIVE COVER FOR THE AREA ESTABLISHED ON ALL UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES, OR
 - B.) EQUIVALENT PERMANENT STABILIZATION MEASURES (SUCH AS THE USE OF RIPRAP, GABIONS, OR GEOTEXTILE) HAVE BEEN EMPLOYED WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.
 - IF THERE IS A GRAVEL ENVELOPE IN FRONT OF THE OUTLET ORIFICE, IT WILL BE REMOVED AS SOON AS THE SITE IS STABILIZED AND BEFORE BONDS ARE RELEASED.
 - INCLUDE A FOREBAY IN ANY DETENTION POND TO FACILITATE EASIER MAINTENANCE.
 - WITH EARTHEN WALLS, PLACE AN ANTISEEP COLLAR (OR COLLARS) AROUND THE OUTLET PIPE.

SEDIMENT FENCE

SEDIMENT FENCES OR OTHER SEDIMENT BARRIERS, HAS BEEN INSTALLED PROPERLY ALONG TOPOGRAPHICAL CONTOURS DOWNSLOPE OF THE AREA TO BE DISTURBED PRIOR TO ANY GRADING, CLEARING AND/OR ANY OTHER CONSTRUCTION ACTIVITY.

SEDIMENT FENCES:
USE PRINCIPALLY IN AREAS WHERE SHEET FLOW OCCURS.
INSTALL ALONG A LEVEL CONTOUR, SO WATER DOES NOT POND MORE THAN 1.5 FEET (0.5 M) AT ANY POINT. THE MAXIMUM SLOPE PERPENDICULAR TO THE FENCE LINE SHOULD BE 1:1. NO MORE THAN 0.25 ACRE (0.1 HA) PER 100 FT. (31.4 M), OR 0.5 CFS (1.4 X 10-2 M3/S) OF CONCENTRATED FLOW SHOULD DRAIN TO ANY POINT ALONG THE SILT FENCE.
TURN ENDS OF FENCE UPHILL TO PREVENT SCOUR FROM WASH AROUND. INTERMITTENTLY, TURN FENCE UPHILL
PROVIDE AREA BEHIND THE FENCE FOR RUNOFF TO POND AND SEDIMENT TO SETTLE (APPROX. 1200 SQ. FT. (111.5 M2) PER ACRE (0.4 HA) DRAINING TO THE SILT FENCE).
SELECT FILTER FABRIC THAT RETAINS 85% OF THE SOIL, BY WEIGHT, BASED ON SIEVE ANALYSIS, BUT IS NOT FINER THAN AN EQUIVALENT OPENING SIZE OF 70.

- STRAW/HAY BALES (ARE NOT RECOMMENDED) SILT FENCES, SAND BAG BARRIERS, AND ROCK FILTERS (ESPECIALLY CONTINUOUS BERMS) ARE PREFERRED OVER STRAW/HAY BALES BECAUSE SEDIMENT REMOVAL EFFICIENCIES, DURABILITY, AND MAINTENANCE REQUIREMENTS ARE FAR LESS DESIRABLE IN STRAW/HAY BALES.

- INLET PROTECTION: WHERE APPLICABLE, INLET PROTECTIONS FOR NEARBY STORM SEWER CURB AND DROP INLETS HAVE BEEN INSTALLED.

- IDENTIFY STORM DRAIN PROTECTION: WHERE APPLICABLE, PROTECTIONS FOR NEARBY STORM SEWER CURB AND DROP INLETS HAVE BEEN INSTALLED.

SAND BAG BARRIER: USED TO CREATE A SMALL SEDIMENT TRAP UPSTREAM OF INLETS ON SLOPED, PAVED STREETS.

EXCAVATED DROP INLET SEDIMENT TRAP: AN EXCAVATED AREA AROUND THE INLET TO TRAP.

GUTTERBUDDY TYPE PROTECTION: USED TO CREATE A SMALL WATER PONDING AREA TO SETTLE SEDIMENT OUT BEFORE WATER ENTERS STORM DRAIN.

(EXCERPT FROM FRANKLIN BEST MANAGEMENT PRACTICE MANUAL)
SEDIMENT FENCES:

- USE PRINCIPALLY IN AREAS WHERE SHEET FLOW OCCURS.
- INSTALL ALONG A LEVEL CONTOUR, SO WATER DOES NOT POND MORE THAN 1.5 FEET (0.5 M) AT ANY POINT.
- THE MAXIMUM SLOPE PERPENDICULAR TO THE FENCE LINE SHOULD BE 1:1.
- NO MORE THAN 0.25 ACRE (0.1 HA) PER 100 FT. (31.4 M), OR 0.5 CFS (1.4 X 10-2 M3/S) OF CONCENTRATED FLOW SHOULD DRAIN TO ANY POINT ALONG THE SILT FENCE.
- TURN ENDS OF FENCE UPHILL TO PREVENT SCOUR FROM WASH AROUND.
- PROVIDE AREA BEHIND THE FENCE FOR RUNOFF TO POND AND SEDIMENT TO SETTLE (APPROX. 1200 SQ. FT. (111.5 M2) PER ACRE (0.4 HA) DRAINING TO THE SILT FENCE).
- SELECT FILTER FABRIC THAT RETAINS 85% OF THE SOIL, BY WEIGHT, BASED ON SIEVE ANALYSIS, BUT IS NOT FINER THAN AN EQUIVALENT OPENING SIZE OF 70.

- SEDIMENT MUST BE REMOVED FROM SEDIMENT BARRIERS, PONDS AND OTHER SEDIMENT CONTROLS WHEN DESIGN CAPACITY HAS BEEN REDUCED BY 33%. ALL EP&SC DEVICES ARE TO REMAIN IN PLACE UNTIL THE SITE HAS BEEN STABILIZED AND A GOOD STAND OF GRASS HAS BEEN ESTABLISHED.
- WHEN A SEDIMENT FENCE'S CAPACITY HAS BEEN REDUCED 33%, IT SHALL BE REPLACED.
- EROSIONS PREVENTION AND SEDIMENT CONTROL DEVICES, EP&SC, SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD; GENERALLY CONSIDERED TO BE THROUGH THE COMPLETION OF RESTORATION. A COPY OF YOUR EP&SC PLAN ALONG WITH AN INSPECTION CHECKLIST AND STORMWATER PERMIT, IF APPLICABLE, MUST BE AT THE PROJECT SITE AT ALL TIMES. THE INSPECTION CHECKLIST SHALL HAVE A RECORD OF DATES EP&SC DEVICES ARE INSPECTED AND ANY CORRECTION ACTION TAKEN OR MAJOR OBSERVATIONS.
- EXCAVATED TOPSOIL TO BE REUSED MUST BE STOCKPILED AND ENCIRCLED WITH SILT FENCING.

CONSTRUCTION ENTRANCE: THIS SITE SHALL CONTAIN A TEMPORARY STONE CONSTRUCTION ENTRANCE THAT CONFORMS TO THE CITY OF FRANKLIN'S STORMWATER ORDINANCE AND BEST MANAGEMENT PRACTICE MANUAL. IT MUST BE INSTALLED WITHIN 24 HOURS OF GRADING OR THE PERMIT WILL BE REVOKED. THE USE OF FILTER CLOTH BENEATH CONSTRUCTION ENTRANCE IS REQUIRED. STONES SHOULD BE 3 INCH CRUSHED, WASHED, AND WELL GRADED ROCK TO AT LEAST A 6-INCH (15.2) DEEP AND SHALL BE KEPT CLEAN BY ADDING STONE AS NEEDED. IT SHALL BE 20 FEET WIDE. SEE DETAIL TOP-03 FOR SPECIFIC CONSTRUCTION ENTRANCE DETAILS. SEE [HTTP://WWW.FRANKLIN-GOV.COM/ENGINEERING/STORMWATER/BMP/TC/P7CP-03.PDF](http://www.franklin-gov.com/engineering/stormwater/bmp/tc/p7cp-03.pdf)
• A QUALIFIED PERSON WHO HAS TAKEN AN APPROVED EROSION AND SEDIMENTATION COURSE MUST INSPECT B.M.P.S.
• WHERE APPLICABLE, INLET PROTECTIONS FOR NEARBY STORM SEWER CURB AND DROP INLETS HAVE BEEN INSTALLED.
• WHERE APPLICABLE, EXISTING VEGETATION AND BUFFER WILL BE MAINTAINED AND TEMPORARY COVER CROPS WILL BE USED.
• SEDIMENT THAT HAS ESCAPED THE CONSTRUCTION SITE AND HAS COLLECTED IN THE STREET OR DRAINAGE STRUCTURES MUST IMMEDIATELY BE PHYSICALLY REMOVED.
• BUILDING AND WASTE MATERIALS, AND NON-STORM WATER DISCHARGES, SUCH AS CONCRETE, PAINT WASHWATER, OR MACHINERY LEAKAGE OR SPILLAGE MUST BE MANAGED TO PREVENT THEM FROM ENTERING THE STORMWATER SYSTEM, GROUND WATER OR NEARBY WATER BODY.
• EP&SC AND STORMWATER CONTROLS SHALL BE INSTALLED AND MAINTAINED ACCORDING TO FRANKLIN'S BMP MANUAL. YOU CAN FIND A COPY OF IT AT: [HTTP://WWW.FRANKLINGOV.COM/ENGINEERING/STORMWATER/INDEX.HTM](http://www.franklingov.com/engineering/stormwater/index.htm)
• STORMWATER DETENTION/RETENTION AND SEDIMENT PONDS WILL BE INSTALLED AT THE BEGINNING OF THE PROJECT.
• LARGE CONSTRUCTION SITES SHALL BE BUILT IN PHASES.
• STORMWATER DETENTION/RETENTION AND SEDIMENT PONDS WILL BE INSTALLED AT THE BEGINNING OF THE PROJECT.

DEWATERING: SEDIMENT TRAP/BASIN DEWATERING FOR CLEANOUT OR REPAIR MAY ONLY BE DONE WITH THE CITY OF FRANKLIN INSPECTOR'S PERMISSION. THE INSPECTOR MUST APPROVE THE DEWATERING METHOD FOR EACH APPLICATION. THE FOLLOWING METHODS MAY BE CONSIDERED:
A. PUMP DISCHARGE MAY BE DIRECTED TO ANOTHER ON-SITE SEDIMENT TRAP OR BASIN, PROVIDED IT IS OF SUFFICIENT VOLUME AND THE PUMP INTAKE IS FLOATED TO PREVENT AGITATION OR SUCTION OF DEPOSITED SEDIMENTS; OR
B. THE PUMP INTAKE MAY UTILIZE A REMOVABLE PUMPING STATION AND MUST DISCHARGE INTO AN UNDISTURBED AREA THROUGH A NON-EROSIVE OUTLET; OR
C. THE PUMP INTAKE MAY BE FLOATED AND DISCHARGE INTO A DIRT BAG (12 OZ. NONWOVEN FABRIC), OR APPROVED EQUIVALENT, LOCATED IN AN UNDISTURBED BUFFER AREA.
D. ALL PUMPING OF SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER FILTER BAG OR EQUIVALENT SEDIMENT REMOVAL FACILITY, OVER UNDISTURBED VEGETATED AREAS.
• ANY REQUEST FOR CHANGES TO THE APPROVED SEDIMENT CONTROL PLAN OR SEQUENCE OF CONSTRUCTION MUST BE SUBMITTED TO THE SEDIMENT CONTROL INSPECTOR AND APPROVED BEFORE IMPLEMENTING CHANGES. MAJOR CHANGES WILL REQUIRE A PLAN REVISION.
• THE PERMITTEE SHALL PROTECT ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS TO PREVENT THE DEPOSITION OF MATERIALS ONTO TRAVERSED PUBLIC THOROUGHFARE(S). ALL MATERIALS DEPOSITED ONTO PUBLIC THOROUGHFARE(S) SHALL BE REMOVED IMMEDIATELY.
• OBTAINING OF ANY PERMITS IS THE RESPONSIBILITY OF THE STORMWATER MANAGEMENT PERMIT HOLDER OR DEVELOPER.
• PERMITTEES SHALL MAINTAIN A RAIN GAUGE AND DAILY RAINFALL RECORDS AT THE SITE, OR USE A REFERENCE SITE FOR A RECORD OF DAILY AMOUNT OF PRECIPITATION.

STORMWATER PONDS AND WATER QUALITY MAINTENANCE NOTES

- CHECK OUTLET REGULARLY FOR CLOGGING AND REMOVE ANY DEBRIS.
- CHECK BANKS AND BOTTOM SURFACE OF BASIN FOR EROSION AND CORRECT AS NECESSARY.
- CHECK AT LEAST ANNUALLY AND AFTER EACH EXTREME STORMEVENT, THE FACILITY SHOULD BE CLEANED OF ACCUMULATED DEBRIS. THE BANKS OF SURFACE PONDS SHOULD BE CHECKED AND AREAS OF EROSION REPAIRED. REMOVE NUISANCE WETLAND SPECIES AND TAKE APPROPRIATE MEASURES TO CONTROL MOSQUITOES.
- THIS MAINTENANCE TYPICALLY INCLUDES SEDIMENT, FLOATABLE, AND DEBRIS REMOVAL FROM INLETS, OUTLETS AND SKIMMERS
- POND VEGETATION NEEDS TO BE TRIMMED OR HARVESTED AS APPROPRIATE, GRASSY AREAS FREQUENTLY MOWED.
- THE OUTLET STRUCTURE FILTER SHALL BE CHECKED REGULARLY FOR CLOGGING AND SHALL BE CLEANED AND REPAIRED AS NECESSARY.
- REMOVE SEDIMENT WHEN ACCUMULATION REACHED 6 INCHES, OR IF RE-SUSPENSION IS OBSERVED OR PROBABLE. SEDIMENT MAY BE PERMITTED TO ACCUMULATE DEEPER THAN 6 INCHES IF THERE IS A PERMANENT MARKER INDICATING DEPTH WHERE SEDIMENT NEEDS TO BE REMOVED, AND THAT MARK HAS NOT BEEN MET.
- SOME SEDIMENT MAY CONTAIN CONTAMINANTS OR WHICH THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION (TDEC) REQUIRES SPECIAL DISPOSAL PROCEDURE. IF THERE IS ANY UNCERTAINTY ABOUT WHAT THE SEDIMENT CONTAINS OR IT IS KNOWN TO CONTAIN CONTAMINANTS, THEN TDEC SHOULD BE CONSULTED AND THEIR DISPOSAL RECOMMENDATIONS FOLLOWED. THE TDEC DIVISION OF WATER POLLUTION CONTROL SHOULD BE CONTACTED AT (615) 632-0625. GENERALLY, SPECIAL ATTENTION OR SAMPLING SHOULD BE GIVEN TO SEDIMENT ACCUMULATED IN FACILITIES SERVING INDUSTRIAL, MANUFACTURING OR HEAVY COMMERCIAL SITES, FUELING CENTS OR AUTOMOTIVE MAINTENANCE AREAS, LARGE PARKING AREAS, IR OTHER AREAS WHERE POLLUTANTS (OTHER THAN CLEAN SOIL) ARE SUSPECTED TO ACCUMULATE AND BE CONVEYED BY STORM RUNOFF. SOME SEDIMENT COLLECTED MY BE INNOCUOUS (FREE OF POLLUTANTS) AND CAN BE USED AS FILL MATERIAL. COVER OR LAND SPREADING. IT IS IMPORTANT THAT THIS MATERIAL NOT BE PLACED IN ANY WAY THAT WILL PROMOTE OR ALLOW RE-SUSPENSION IN STORM RUNOFF.

ENHANCED SWALE INSPECTION AND MAINTENANCE NOTES

ACTIVITY	SCHEDULE
FOR DRY SWALES, MOW GRASS TO MAINTAIN A HEIGHT OF 4 TO 6 INCHES. REMOVE GRASS CLIPPINGS.	AS NEEDED (FREQUENT/SEASONAL)
INSPECT GRASS ALONG SIDE SLOPES FOR EROSION AND FORMATION OF RILLS OR GULLIES AND CORRECT. REMOVE TRASH AND DEBRIS ACCUMULATED IN THE INFLOW FOREBAY.	ANNUALLY (SEMI-ANNUALLY THE FIRST YEAR)
INSPECT AND CORRECT EROSION PROBLEMS IN THE SAND/SOIL BED OF DRY SWALES.	
BASED ON INSPECTION, PLANT AN ALTERNATIVE GRASS SPECIES IF THE ORIGINAL GRASS COVER HAS NOT BEEN SUCCESSFULLY ESTABLISHED.	
REPLANT WETLAND SPECIES (FOR WET SWALE) IF NOT SUFFICIENTLY ESTABLISHED.	
INSPECT PEA GRAVEL DIAPHRAGM FOR CLOGGING AND CORRECT THE PROBLEM.	AS NEEDED
ROTO-TILL OR CULTIVATE THE SURFACE OF THE SAND/SOIL BED OF DRY SWALES IF TEH SWALE DOES NOT DRAW DOWN WITHIN 48 HOURS.	
REMOVE SEDIMENT BUILDUP WITHIN THE BOTTOM OF THE SWALE ONCE IT HAS ACCUMULATED 25% OF THE ORIGINAL DESIGN VOLUME.	

STORMWATER INFRASTRUCTURE "AS BUILTS": FRANKLIN CODE SECTION 16-706 (2)(GG); AS NEW DEVELOPMENT CONSTRUCTION IS COMPLETED, AN "AS-BUILT" PLAN, CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER, MUST BE SUBMITTED UPON COMPLETION OF THE STORMWATER MANAGEMENT FACILITIES INCLUDED IN THE APPROVED CONSTRUCTION PLANS. THE LICENSED PROFESSIONAL SHALL CERTIFY THAT: THE FACILITIES HAVE BEEN CONSTRUCTED AS SHOWN ON THE "ASBUILT" PLAN, AND FACILITIES MEET THE APPROVED STORMWATER MANAGEMENT PLAN AND SPECIFICATIONS, OR ACHIEVE THE FUNCTION FOR WHICH THEY WERE DESIGNED. COORDINATE DATA SHALL BE PRESENTED IN THE STATE OF TENNESSEE PLANE SYSTEM WITH THE NORTH AMERICAN DATUM 1983 (NAD83) AND NORTH AMERICAN VERTICAL DATUM (NAVD) OF 1988. ELECTRONIC AND 2 PAPER COPIES (PER CITY REQUIREMENTS) ARE REQUIRED.
A. (SEE WEB SITE [HTTP://WWW.FRANKLIN-GOV.COM/PDF/ASBUILTREQUIREMENTS.](http://www.franklin-gov.com/pdf/asbuiltrequirements))

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GDC
DESIGN COLLABORATIVE
LANDSCAPE ARCHITECTURE

SCOTT HAMILTON
PROTON THERAPY CENTER
FRANKLIN, TENNESSEE



NO.	DATE	BY	REVISIONS PER CITY COMMENTS
	04/07/2016		

DESIGNED BY: RJA
DRAWN BY: RJA
CHECKED BY: RLM
DATE: 03/14/2016
KHA PROJECT NO. 118133000

CITY OF FRANKLIN
NOTES

SHEET NUMBER
C0.2

CP# 6076

SITE DATA CHART

PROJECT NAME: SCOTT HAMILTON PROTON THERAPY CENTER

COF PROJECT #: 6076
 SUBDIVISION: MEDCORE MEDICAL BLDG
 MAP: MAP # 79
 PARCEL #: 48.04
 LOT: 3

ADDRESS: 4588 CAROTHERS PARKWAY
 CITY: FRANKLIN
 COUNTY: WILLIAMSON
 STATE: TENNESSEE
 CIVIL DISTRICT: 8TH CIVIL DISTRICT

EXISTING ZONING: GENERAL OFFICE DISTRICT
 CHARACTER AREA OVERLAY: McEWEN 5
 OTHER APPLICABLE OVERLAYS: N/A
 DEVELOPMENT STANDARD: CONVENTIONAL
 ACREAGE OF SITE: 11.62 AC
 SQUARE FOOTAGE OF SITE: 506,335 SF

OWNER: MTPC LLC
 1400 DOWELL SPRINGS BLVD #350
 KNOXVILLE, TN 37909

DEVELOPER: PROVISION SOLUTIONS
 ANDY LORENZ
 1400 DOWELL SPRINGS BLVD., SUITE 350
 KNOXVILLE, TN 37909
 (865)321-4701

APPLICANT: KIMLEY-HORN & ASSOCIATES
 Address: 214 OCEANSIDE DRIVE
 NASHVILLE, TN 37204
 Phone: 615-564-2701
 Email: RYAN.MCMMASTER@KIMLEY-HORN.COM
 Contact Name: RYAN MCMMASTER

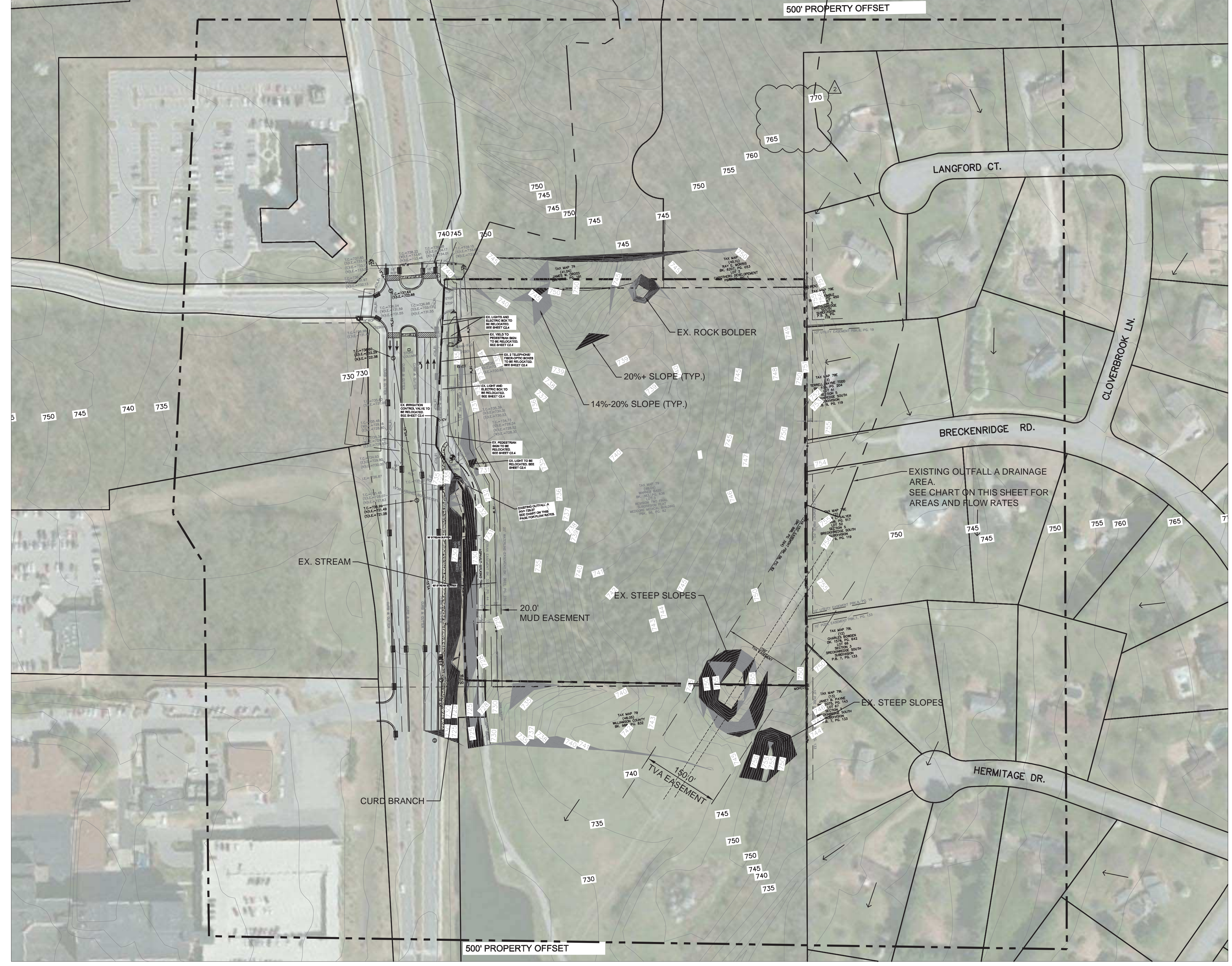
BUILDING SETBACKS: FRONT=50'; SIDE=25'; REAR=40';
 BUILDING SQUARE FOOTAGE: 101,501 SF
 PH. 1 BUILDING AREA: 30,804 SF (2-STORY MEDICAL OFFICE)
 9,847 SF (PROTON VAULT)
 FUTURE BUILDING AREA: ± 61,050 SF (3-STORY MEDICAL OFFICE)

BUILDING HEIGHT: ± 44'
 MINIMUM LANDSCAPE SURFACE RATIO: 0.30 (2.07 AC PHASE 1)
 PROVIDED LANDSCAPE SURFACE RATIO: 0.52 (3.58 AC PHASE 1)
 MINIMUM PARKING REQUIREMENT: N/A
 EXISTING PARKING: N/A
 PARKING PROVIDED: 149 TOTAL SPACES
 145 STANDARD SPACES
 4 ADA SPACES
 0 COMPACT SPACES

EXISTING TREE CANOPY: 9.58 AC EXISTING (82% OF TOTAL SITE)
 TREE CANOPY PRESERVATION REQUIRED: 1.44 AC (15% OF TOTAL SITE)
 TREE CANOPY PRESERVATION PROVIDED: 1.52 AC (16% OF TOTAL SITE)
 PARKLAND(IF APPLICABLE): N/A
 OPEN SPACE REQUIRED: ALL FORMAL - 0.35 AC (5% OF PHASE 1)
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LINE TABLE

LINE	LENGTH	BEARING
L1	24.50'	N42°25'25"E
L2	5.00'	S82°25'54"E
L3	54.27'	N07°34'06"E

CURVE TABLE

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C2	32.84'	108.00'	17°25'13"	16.55'	32.71'	N32°08'09"W

EXISTING OUTFALL 1 GRADING AND DRAINAGE CHART

	ON-SITE	OFFSITE	TOTAL
TOTAL AREA	11.62 ACRES	12.03 ACRES	23.65 ACRES
IMPERVIOUS AREA	0.00	0.38	0.38
2-YEAR STORM FLOW RATE	6.65 CFS	22.37 CFS	29.02 CFS
5-YEAR STORM FLOW RATE	13.65 CFS	25.9 CFS	39.55 CFS
10-YEAR STORM FLOW RATE	18.87 CFS	28.79 CFS	45.66 CFS
25-YEAR STORM FLOW RATE	25.96 CFS	32.38 CFS	58.34 CFS
50-YEAR STORM FLOW RATE	31.46 CFS	35.28 CFS	66.74 CFS
100-YEAR STORM FLOW RATE	37.03 CFS	37.6 CFS	74.63 CFS

DOWNSTREAM STORM STRUCTURES

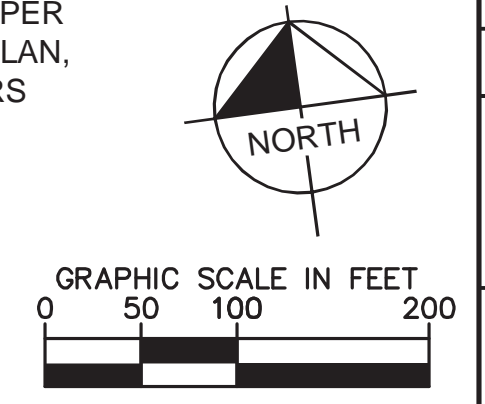
THE NEXT THREE DOWNSTREAM STRUCTURES ARE MEASURED FROM THE SOUTHWEST CORNER OF THE PROPERTY BOUNDARY:

- 70' - 30" CMP (POND OUTLET)
- 71' - 42" X 120" BOX CULVERT (POND OVERFLOW)
- 1218' - 25' X 8' ARCH CULVERT (ENTRY DRIVE TO HOSPITAL)

SLOPE LEGEND

EXISTING SLOPES	SHADE
14-19.99%	[Light Gray Box]
20%+	[Dark Gray Box]

NOTE: NO PORTIONS OF THE PLANNED ROADWAY NETWORK ARE WITHIN 1500' OF THE SITE PER THE FRANKLIN MAJOR THOROUGHFARE PLAN, OTHER THAN THE EXISTING CAROTHERS PARKWAY.



Kimley»Horn
 214 Oceanside Drive
 Nashville, TN 37204
 www.kimley-horn.com
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GDC
 DESIGN COLLABORATIVE
 DEVELOPMENT PLANNING AND
 LANDSCAPE ARCHITECTURE

**SCOTT HAMILTON
 PROTON THERAPY CENTER**
 FRANKLIN, TENNESSEE



NO.	DATE	BY	REVISIONS PER CITY COMMENTS
1	04/07/2016		

DESIGNED BY: RJA
 DRAWN BY: RJA
 CHECKED BY: BRC
 DATE: 03/14/2016
 KHA PROJECT NO: 118133000

OVERALL EXISTING CONDITIONS PLAN
 SHEET NUMBER
C1.0
 CCF# 6076

SITE DATA CHART

PROJECT NAME: SCOTT HAMILTON PROTON THERAPY CENTER

COF PROJECT #: 6076
 SUBDIVISION: MEDCURE MEDICAL BLDG
 MAP: MAP # 79
 PARCEL #: 48.04
 LOT: 3

ADDRESS: 4588 CAROTHERS PARKWAY
 CITY: FRANKLIN
 COUNTY: WILLIAMSON
 STATE: TENNESSEE
 CIVIL DISTRICT: 8TH CIVIL DISTRICT

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 OTHER APPLICABLE OVERLAYS: N/A
 DEVELOPMENT STANDARD: CONVENTIONAL
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 SQUARE FOOTAGE OF SITE: 506,335 SF

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 KNOXVILLE, TN 37909

DEVELOPER: PROVISION SOLUTIONS
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 NASHVILLE, TN 37204
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 Email: RYAN.MCMASTER@KIMLEY-HORN.COM
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LINE TABLE

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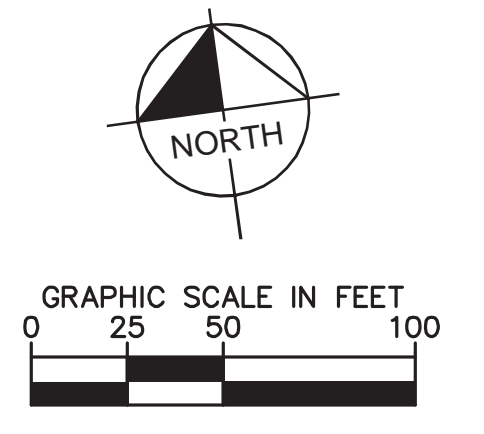
STORMWATER NARRATIVE

IN THE CURRENT CONDITION, DURING A STORM EVENT STORMWATER SHEET FLOWS FOR THE FIRST 100' BEFORE MOVING TO SHALLOW CONCENTRATED FLOW WHERE IT DISCHARGES INTO THE EXISTING OUTFALL A AND CURB BRANCH. THERE IS A TIME OF CONCENTRATION OF 16.3 MINUTES.

SLOPE LEGEND

EXISTING SLOPES	SHADE
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20%+	[Dark Gray Box]

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GDC
 DESIGN COLLABORATIVE
 DEVELOPMENT PLANNING AND
 LANDSCAPE ARCHITECTURE

**SCOTT HAMILTON
 PROTON THERAPY CENTER**
 FRANKLIN, TENNESSEE



DATE	BY	REVISIONS	PER CITY COMMENTS
04/07/2016			

DESIGNED BY: CJM
 DRAWN BY: CJM
 CHECKED BY: RLM
 DATE: 03/14/2016
 KHA PROJECT NO. 118133000
 ENLARGED EXISTING CONDITIONS PLAN
 SHEET NUMBER **C1.1**
 C076 6076

SITE DATA CHART

PROJECT NAME: SCOTT HAMILTON PROTON THERAPY CENTER

COF PROJECT #: 6076

SUBDIVISION: MEDCORE MEDICAL BLDG

MAP #: MAP # 79

PARCEL #: 46.04

LOT: 3

ADDRESS: 4588 CAROTHERS PARKWAY

CITY: FRANKLIN

COUNTY: WILLIAMSON

STATE: TENNESSEE

CIVIL DISTRICT: 8TH CIVIL DISTRICT

EXISTING ZONING: GENERAL OFFICE DISTRICT

CHARACTER AREA OVERLAY: McEWEN 5

OTHER APPLICABLE OVERLAYS: N/A

DEVELOPMENT STANDARD: CONVENTIONAL

ACREAGE OF SITE: 11.62 AC

SQUARE FOOTAGE OF SITE: 506,335 SF

OWNER: MTPC LLC
1400 DOWELL SPRINGS BLVD #350
KNOXVILLE, TN 37909

DEVELOPER: PROVISION SOLUTIONS
ANDY LORENZ
1400 DOWELL SPRINGS BLVD., SUITE 350
KNOXVILLE, TN 37909
(865)321-4701

APPLICANT: KIMLEY-HORN & ASSOCIATES
Address: 214 OCEANSIDE DRIVE
NASHVILLE, TN 37204

Phone: 615-564-2701

Email: RYAN.MCMMASTER@KIMLEY-HORN.COM

Contact Name: RYAN MCMMASTER

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101,501 SF

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NOTES:

- ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL PAVEMENT SHOWN OUTSIDE OF THE HEAVY DUTY AREAS SHALL BE LIGHT DUTY ASPHALT PAVEMENT.

PAVEMENT LEGEND

CONCRETE

HEAVY DUTY PAVEMENT

LINE TABLE

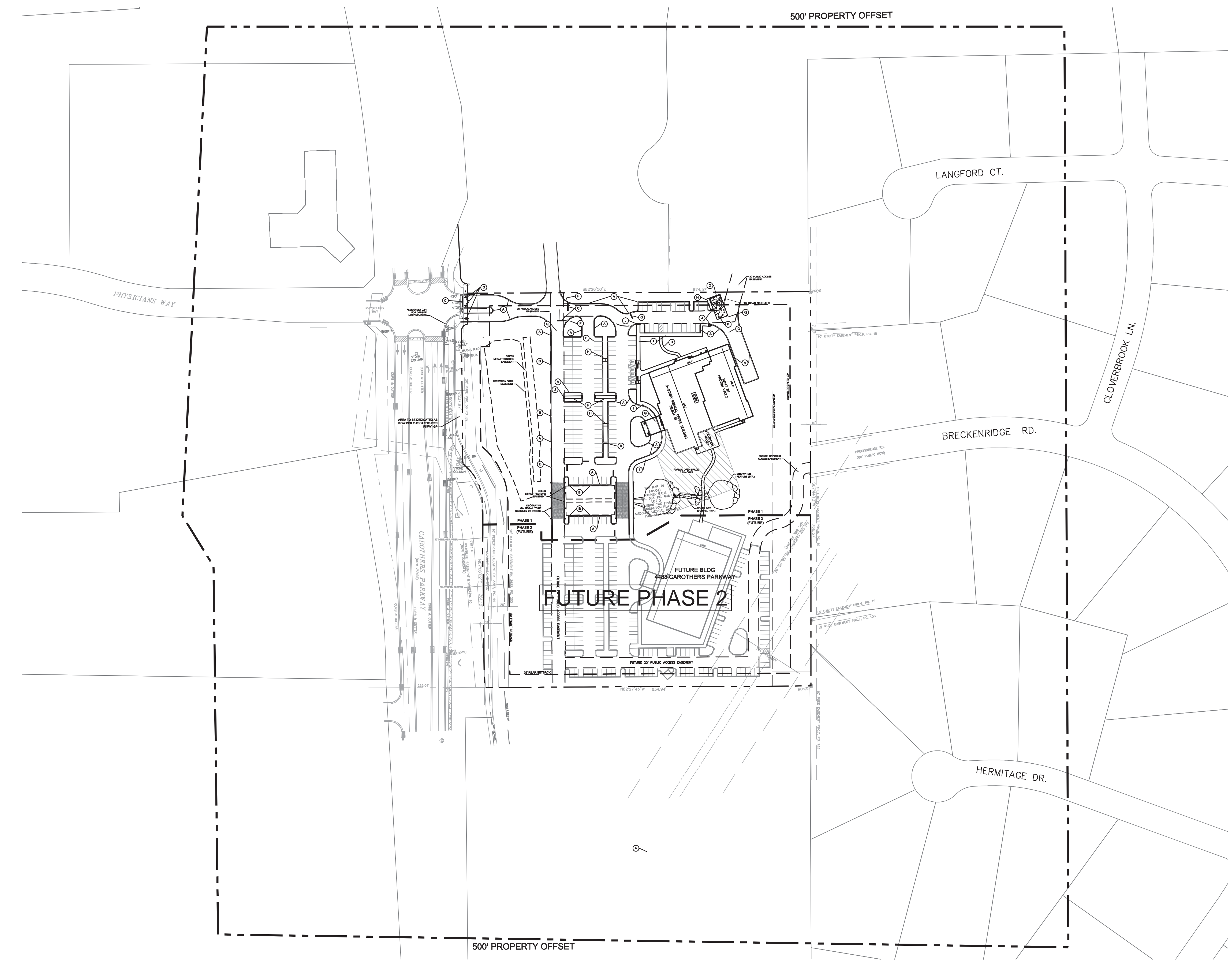
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MATCH LEGEND

FORMAL OPEN SPACE



Kimley»Horn

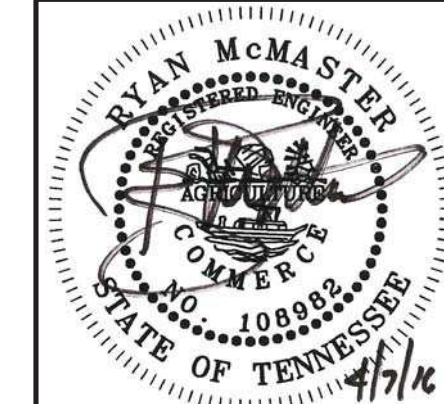
214 Oceanside Drive
Nashville, TN 37204
www.kimley-horn.com
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GAMBLE
DESIGN COLLABORATIVE
DEVELOPMENT PLANNING AND
LANDSCAPE ARCHITECTURE

GDC

**SCOTT HAMILTON
PROTON THERAPY CENTER**

FRANKLIN, TENNESSEE



NO.	DATE	BY	REVISIONS PER CITY COMMENTS
1	04/07/2016		

DESIGNED BY: CJM

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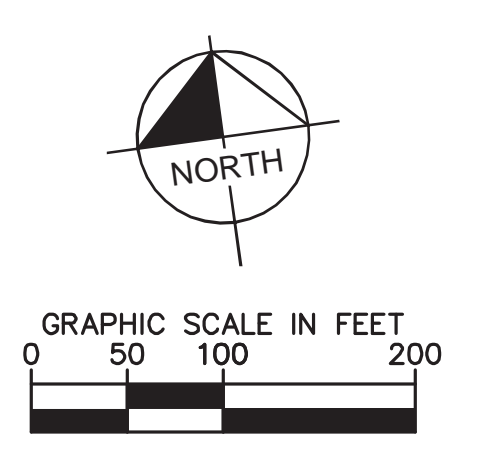
DATE: 03/14/2016

KHA PROJECT NO.
118133000

OVERALL SITE PLAN

SHEET NUMBER
C2.0

CF# 6076



SITE DATA CHART

PROJECT NAME: SCOTT HAMILTON PROTON THERAPY CENTER

COF PROJECT #: 6076

SUBDIVISION: MEDCORE MEDICAL BLDG

MAP #: MAP # 79

PARCEL #: 46.04

LOT: 3

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PAVEMENT LEGEND

CONCRETE

HEAVY DUTY PAVEMENT

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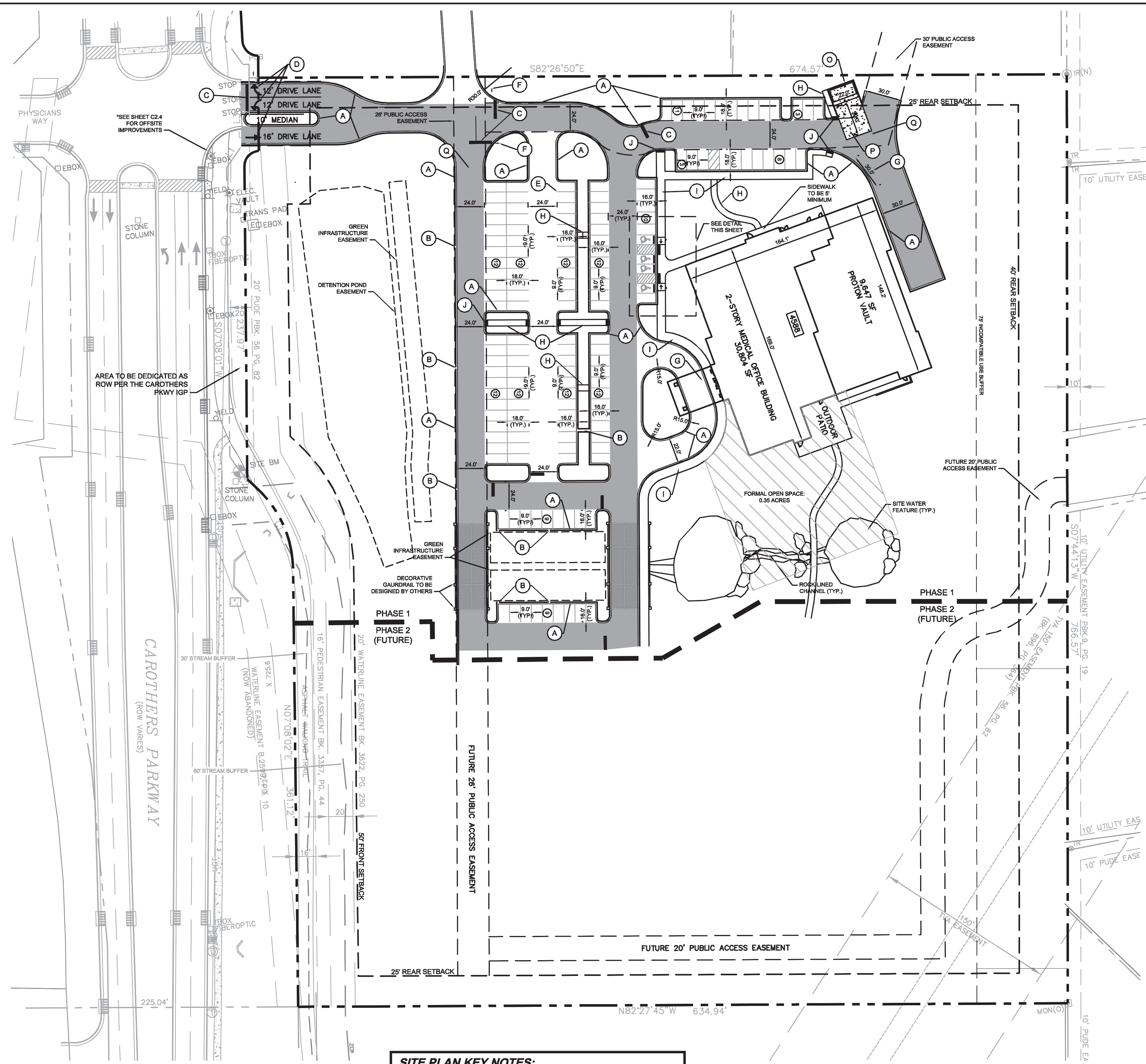
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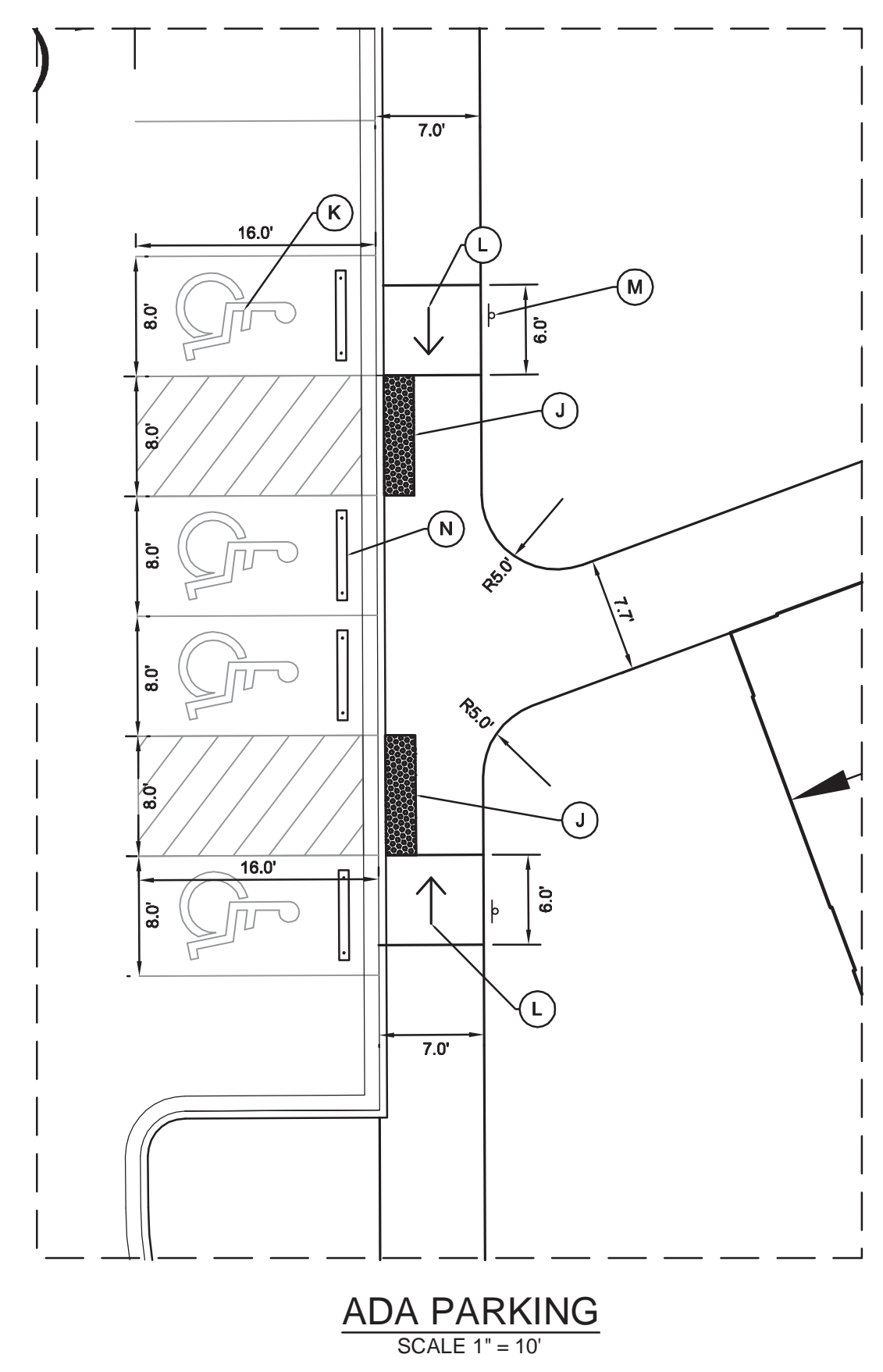
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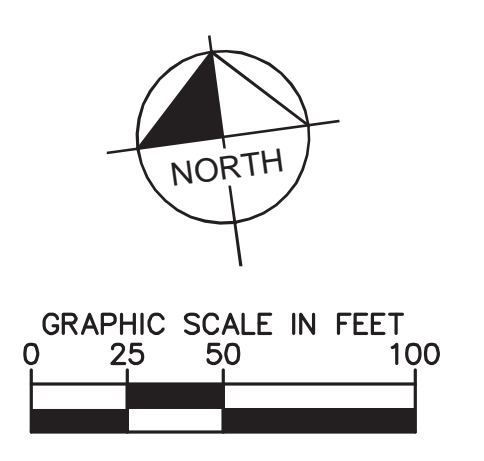
FORMAL OPEN SPACE



- SITE PLAN KEY NOTES:**
- (A) 18" CURB AND GUTTER (TYP.)
 - (B) 2' CURB CUT (TYP.)
 - (C) WHITE THERMOPLASTIC STOP BAR (TYP.)
 - (D) WHITE THERMOPLASTIC DIRECTIONAL ARROWS
 - (E) 4" PARKING STRIPE (TYP.)
 - (F) STOP SIGN (TYP.)
 - (G) LOADING ZONE
 - (H) 5' SIDEWALK
 - (I) 7' SIDEWALK
 - (J) ADA DETECTABLE WARNINGS (TYP.)
 - (K) PAINTED ADA SYMBOL (TYP.)
 - (L) ADA RAMP (TYP.)
 - (M) ACCESSIBLE PARKING SIGN (TYP.)
 - (N) WHEEL STOP (TYP.)
 - (O) DOUBLE SCREENED TRASH ENCLOSURE (SEE ARCH. PLANS FOR DETAILS)
 - (P) CONCRETE DUMPSTER PAD (SEE ARCH. PLANS FOR DETAILS)
 - (Q) HEAVY DUTY PAVEMENT



NOTE:
SEE SHEET C2.4 FOR OFFSITE IMPROVEMENTS TO CAROTHERS PKWY



Drawing name: K:\NSH_LDE\118133000 - Carothers MOB-4-CADD3-PlanSheets\C2.0 Site Layout - 118133000.dwg C2.1 Enlarged Site Layout Apr 07, 2016 10:18am by: yates.balaban

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Kimley»Horn

SCOTT HAMILTON PROTON THERAPY CENTER
FRANKLIN, TENNESSEE

GDC **GAMBLE**
DESIGN COLLABORATIVE
DEVELOPMENT PLANNING AND
LANDSCAPE ARCHITECTURE

RYAN MCMASTER
REGISTERED PROFESSIONAL ENGINEER
NO. 10882
STATE OF TENNESSEE
4/1/16

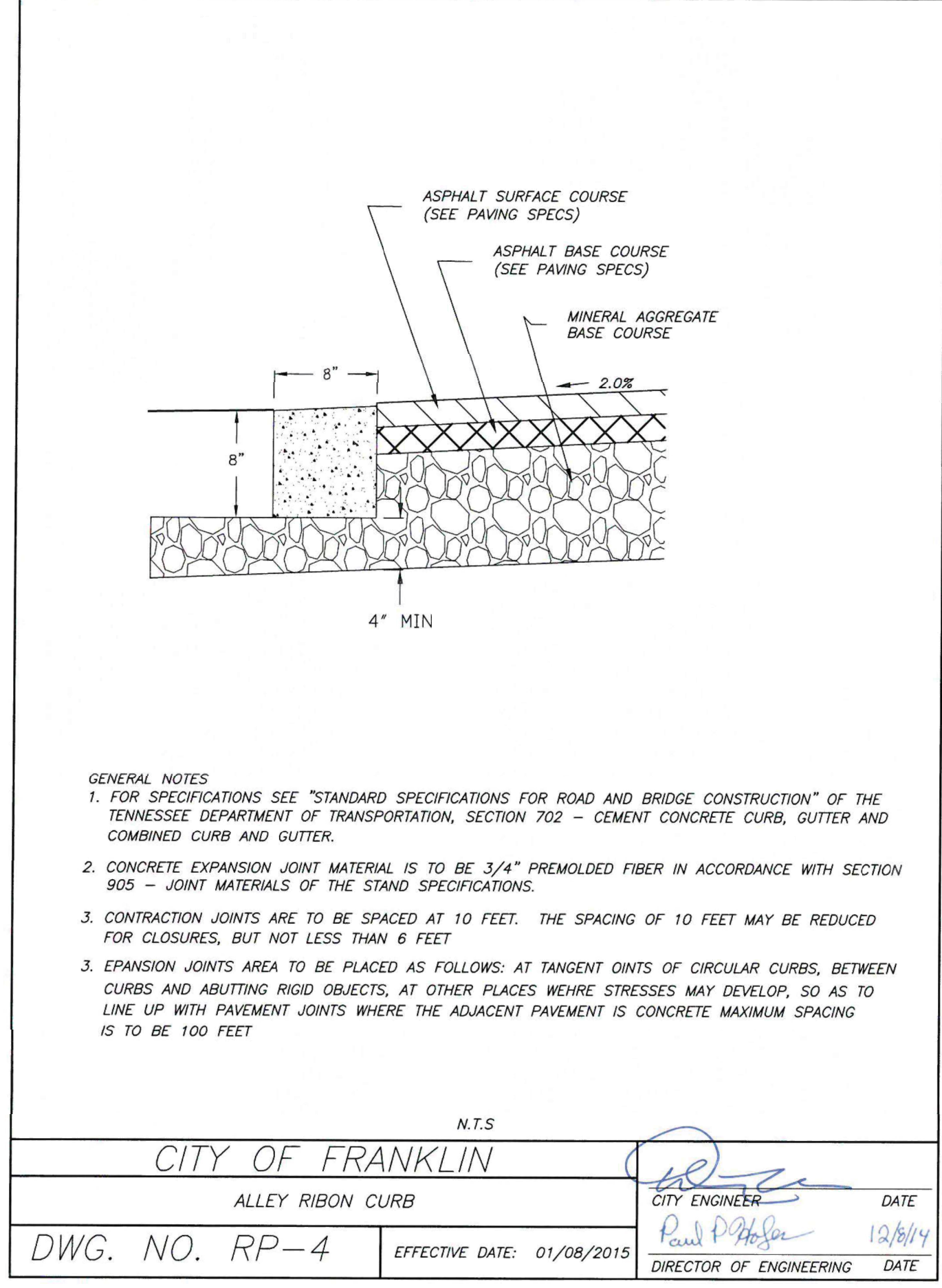
NO.	DATE	BY	REVISIONS
1	04/07/2016		PER CITY COMMENTS

DESIGNED BY: CJM
DRAWN BY: CJM
CHECKED BY: RLM
DATE: 03/14/2016
KHA PROJECT NO. 118133000

ENLARGED SITE PLAN

SHEET NUMBER
C2.1
C076 6076

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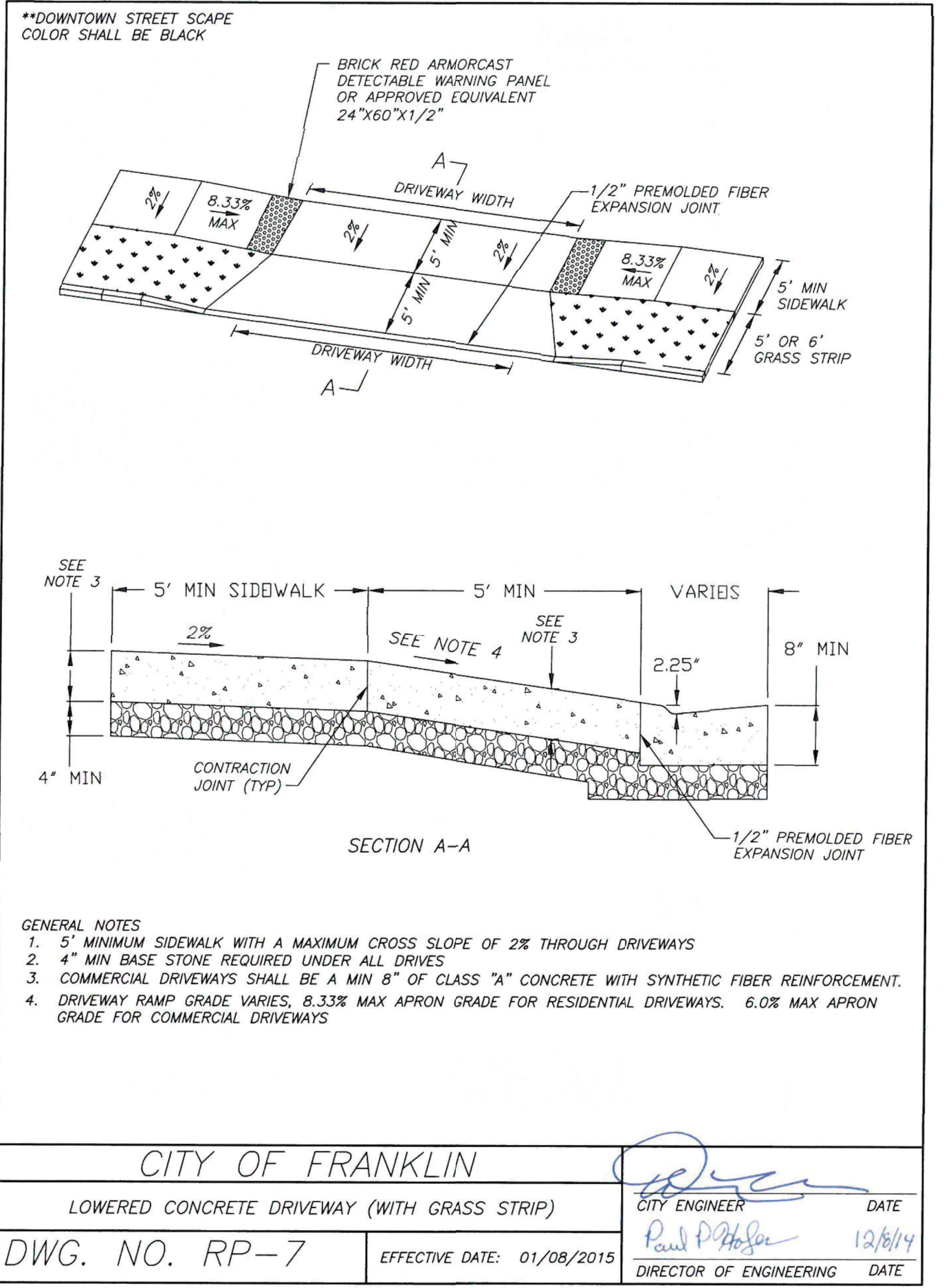
- GENERAL NOTES**
- FOR SPECIFICATIONS SEE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" OF THE TENNESSEE DEPARTMENT OF TRANSPORTATION, SECTION 702 - CEMENT CONCRETE CURB, GUTTER AND COMBINED CURB AND GUTTER.
 - CONCRETE EXPANSION JOINT MATERIAL IS TO BE 3/4" PREMOLDED FIBER IN ACCORDANCE WITH SECTION 505 - JOINT MATERIALS OF THE STAND SPECIFICATIONS.
 - CONTRACTION JOINTS ARE TO BE SPACED AT 10 FEET. THE SPACING OF 10 FEET MAY BE REDUCED FOR CLOSURES, BUT NOT LESS THAN 6 FEET.
 - EXPANSION JOINTS ARE TO BE PLACED AS FOLLOWS: AT TANGENT POINTS OF CIRCULAR CURBS, BETWEEN CURBS AND ABUTTING RIGID OBJECTS, AT OTHER PLACES WHERE STRESSES MAY DEVELOP, SO AS TO LINE UP WITH PAVEMENT JOINTS WHERE THE ADJACENT PAVEMENT IS CONCRETE. MAXIMUM SPACING IS TO BE 100 FEET.

N.T.S.

CITY OF FRANKLIN

ALLEY RIBON CURB

DWG. NO. RP-4	EFFECTIVE DATE: 01/08/2015	CITY ENGINEER DATE <i>Raul P. Pablos</i> 12/8/14 DIRECTOR OF ENGINEERING DATE
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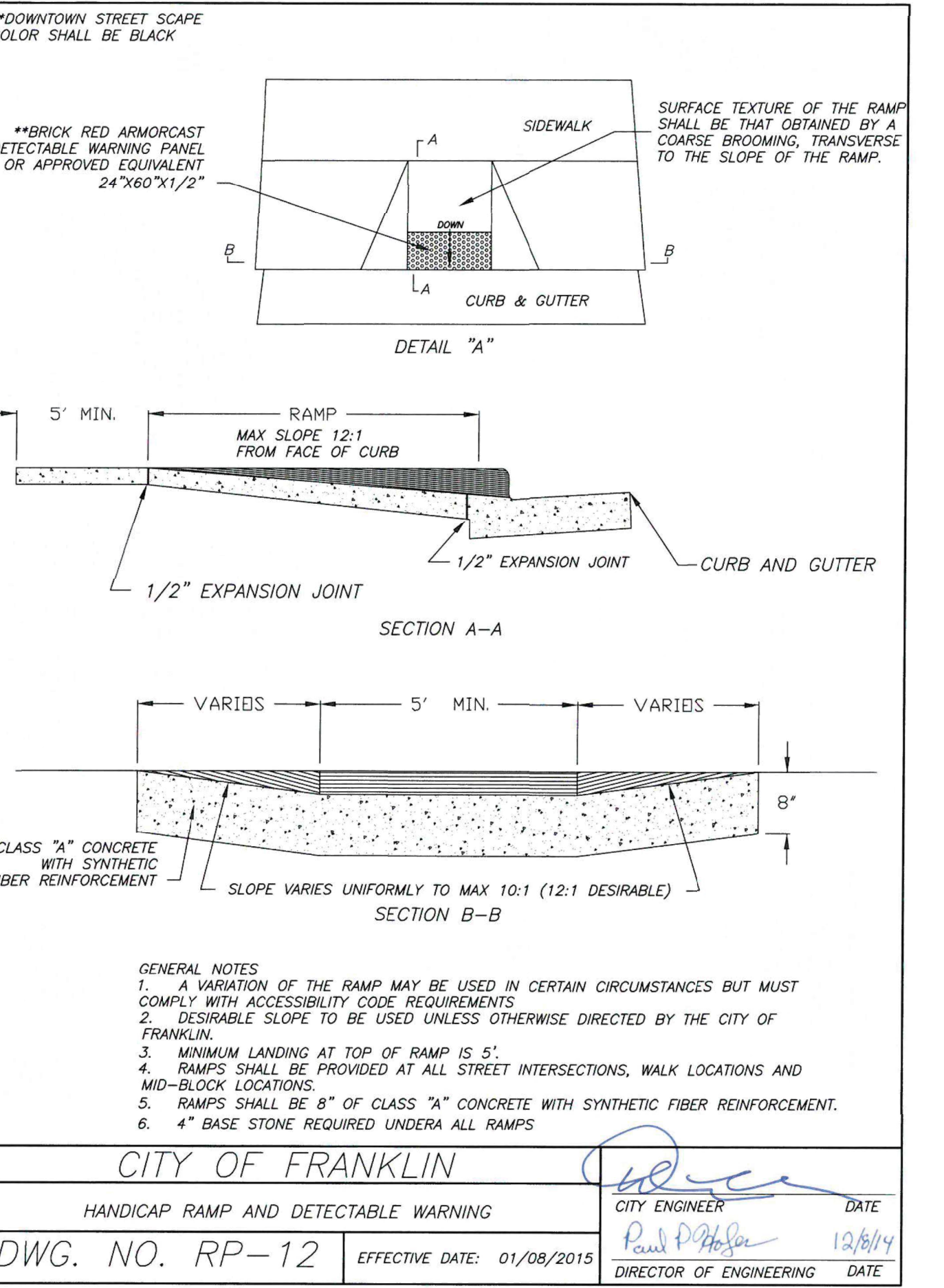
- GENERAL NOTES**
- 5' MINIMUM SIDEWALK WITH A MAXIMUM CROSS SLOPE OF 2% THROUGH DRIVEWAYS
 - 4" MIN BASE STONE REQUIRED UNDER ALL DRIVES
 - COMMERCIAL DRIVEWAYS SHALL BE A MIN 8" OF CLASS "A" CONCRETE WITH SYNTHETIC FIBER REINFORCEMENT.
 - DRIVEWAY RAMP GRADE MARKS: 0.83% MAX APPROX GRADE FOR RESIDENTIAL DRIVEWAYS; 6.0% MAX APPROX GRADE FOR COMMERCIAL DRIVEWAYS

N.T.S.

CITY OF FRANKLIN

LOWERED CONCRETE DRIVEWAY (WITH GRASS STRIP)

DWG. NO. RP-7	EFFECTIVE DATE: 01/08/2015	CITY ENGINEER DATE <i>Raul P. Pablos</i> 12/8/14 DIRECTOR OF ENGINEERING DATE
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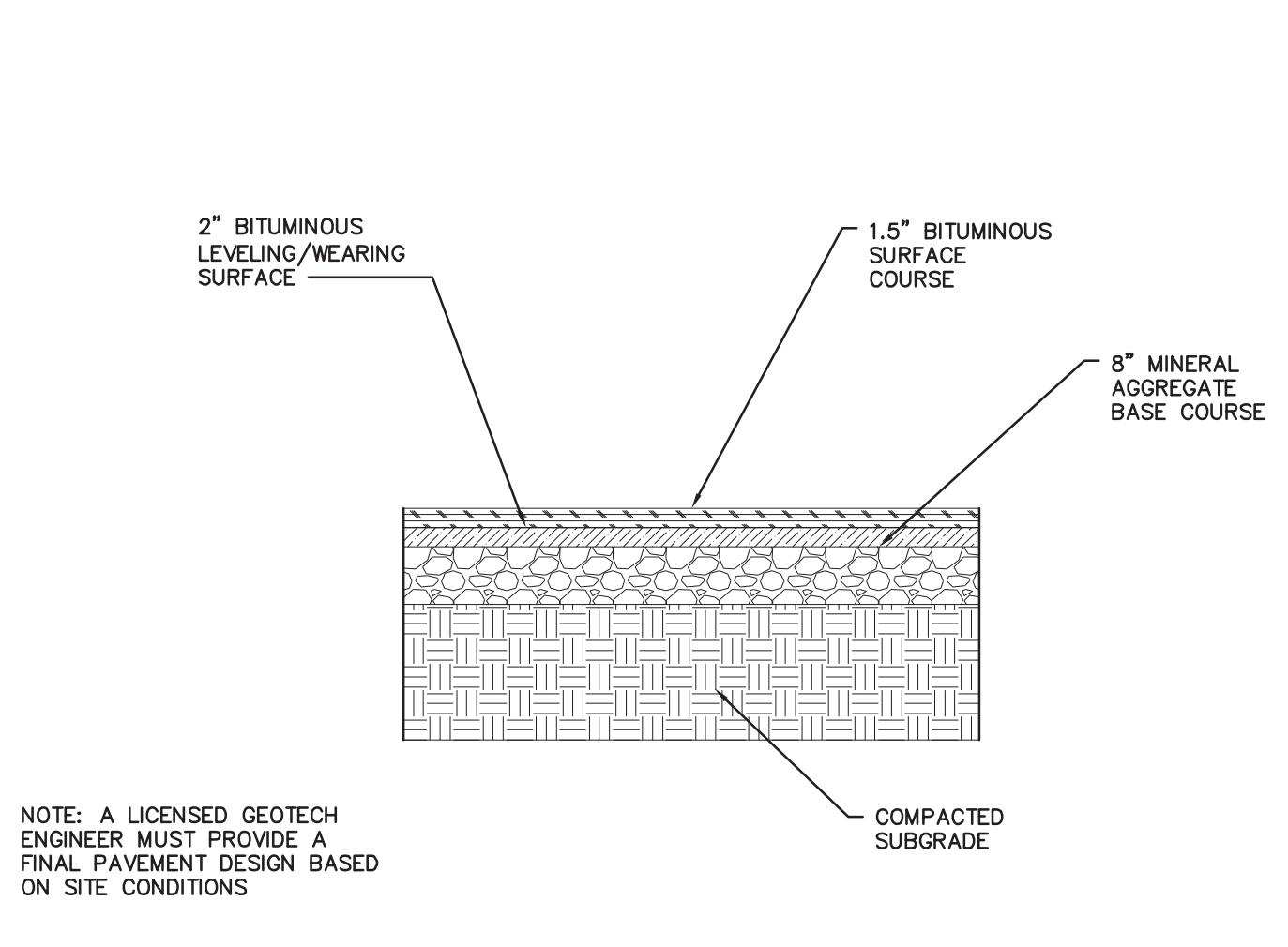
- GENERAL NOTES**
- A VARIATION OF THE RAMP MAY BE USED IN CERTAIN CIRCUMSTANCES BUT MUST COMPLY WITH ACCESSIBILITY CODE REQUIREMENTS
 - DESIRABLE SLOPE TO BE USED UNLESS OTHERWISE DIRECTED BY THE CITY OF FRANKLIN
 - MINIMUM LANDING AT TOP OF RAMP IS 5'
 - RAMPS SHALL BE PROVIDED AT ALL STREET INTERSECTIONS, WALK LOCATIONS AND MID-BLOCK LOCATIONS
 - RAMPS SHALL BE 8" OF CLASS "A" CONCRETE WITH SYNTHETIC FIBER REINFORCEMENT
 - 4" BASE STONE REQUIRED UNDER ALL RAMPS

N.T.S.

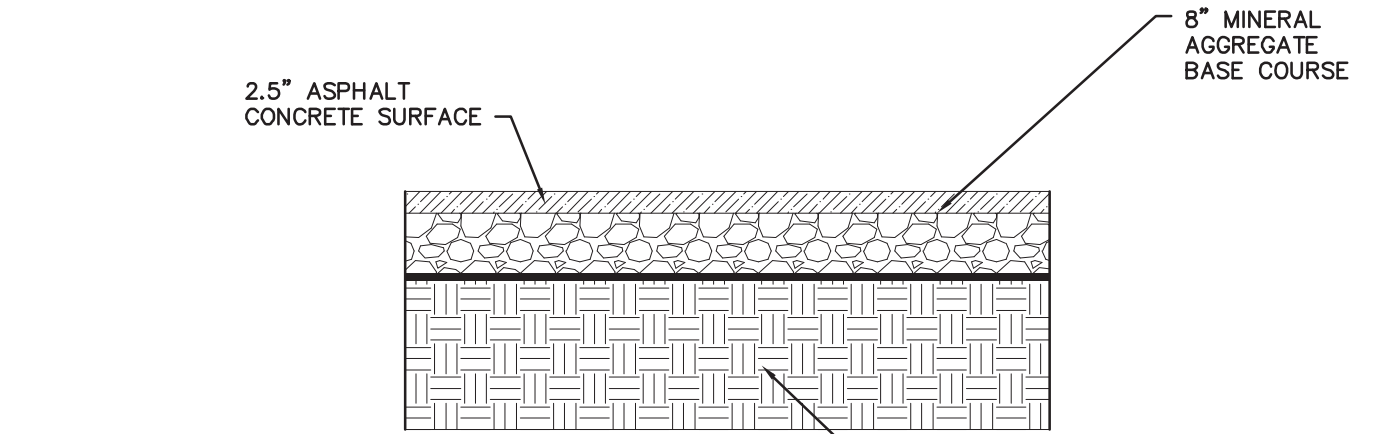
CITY OF FRANKLIN

HANDICAP RAMP AND DETECTABLE WARNING

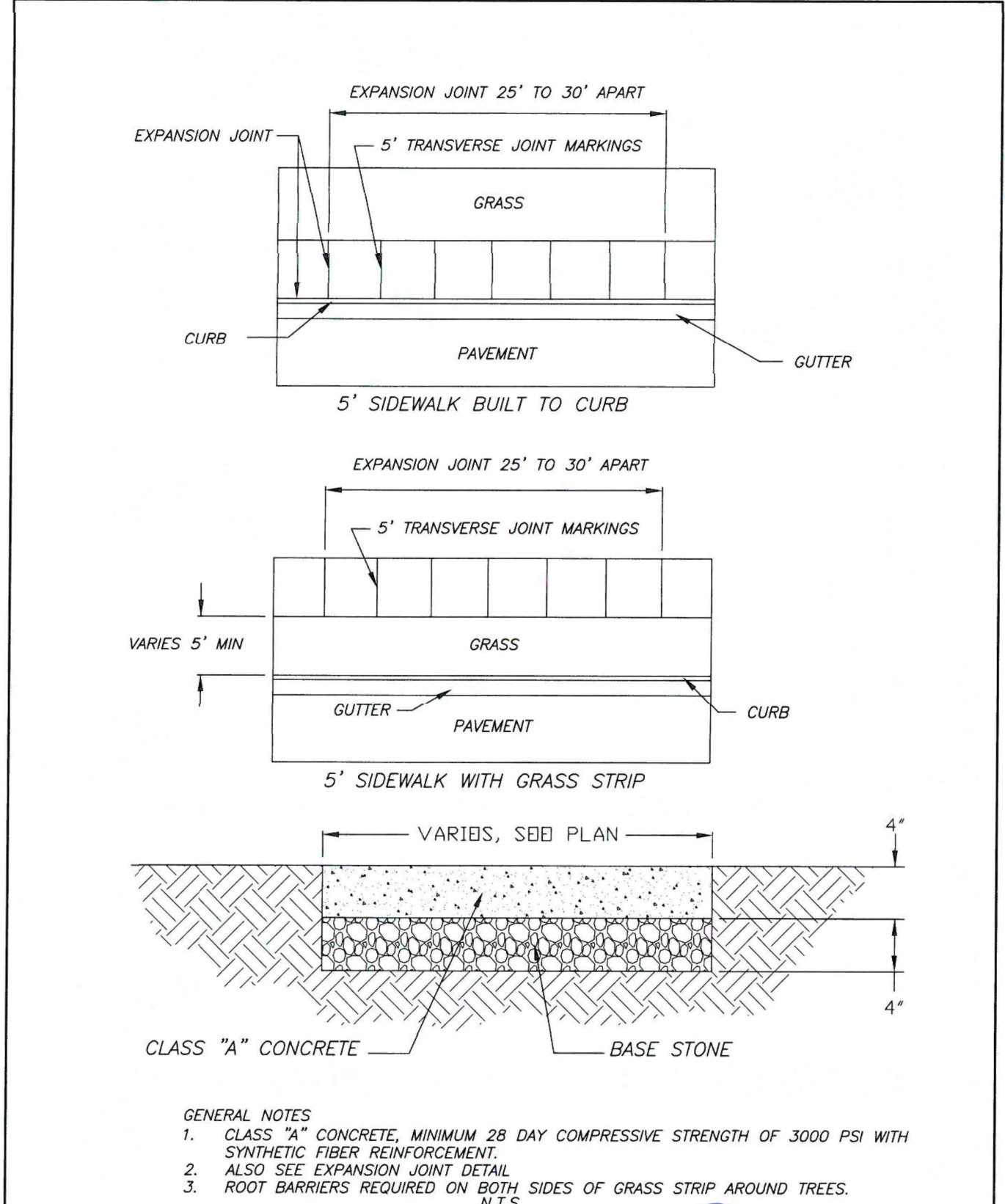
DWG. NO. RP-12	EFFECTIVE DATE: 01/08/2015	CITY ENGINEER DATE <i>Raul P. Pablos</i> 12/8/14 DIRECTOR OF ENGINEERING DATE
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1 TYPICAL PAVEMENT SECTION - HEAVY DUTY
SCALE:



2 TYPICAL PAVEMENT SECTION - LIGHT DUTY
SCALE:



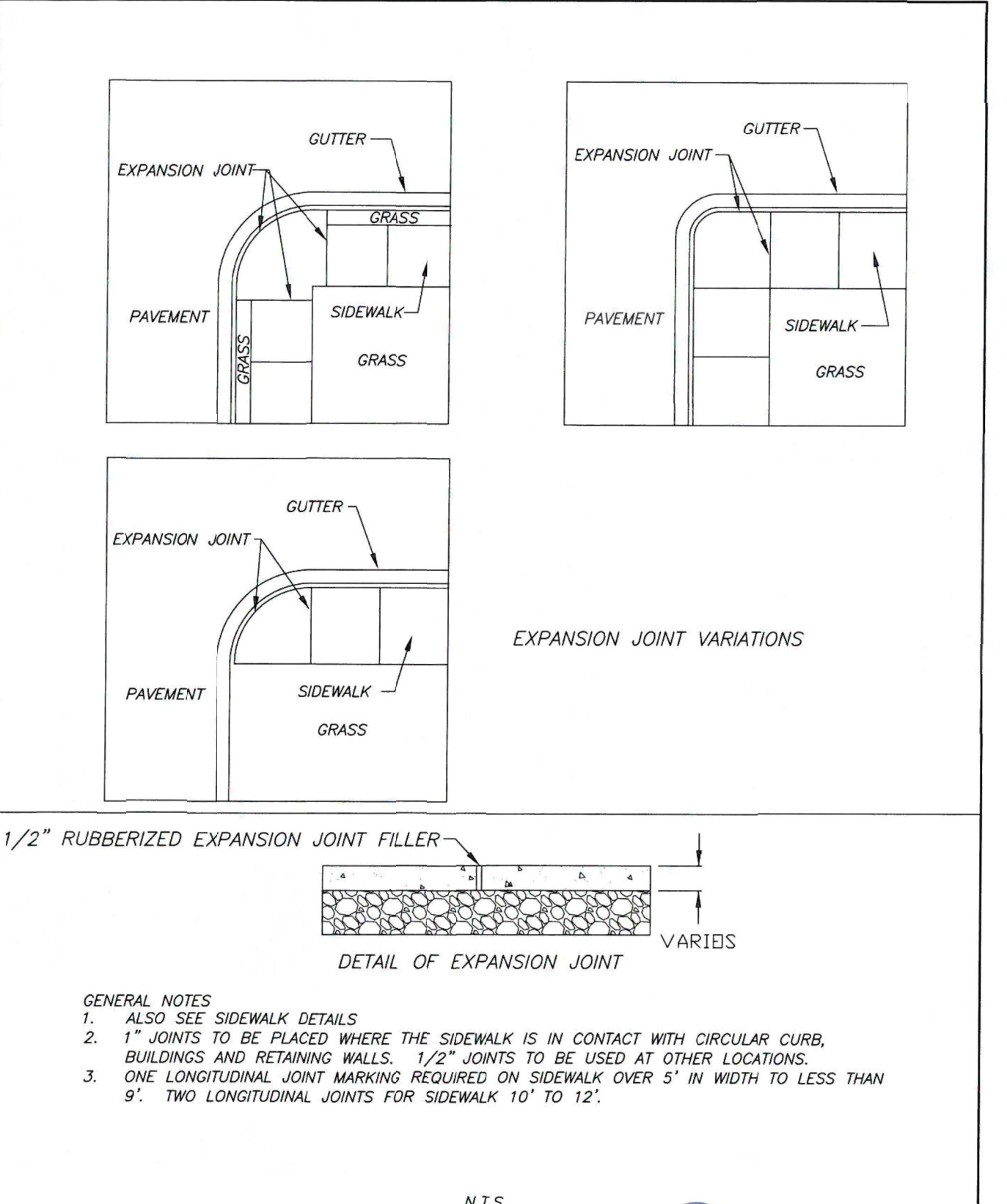
- GENERAL NOTES**
- CLASS "A" CONCRETE, MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI WITH SYNTHETIC FIBER REINFORCEMENT
 - ALSO SEE EXPANSION JOINT DETAIL
 - ROOT BARRIERS REQUIRED ON BOTH SIDES OF GRASS STRIP AROUND TREES.

N.T.S.

CITY OF FRANKLIN

TYPICAL 5' CONCRETE SIDEWALK

DWG. NO. RP-9	EFFECTIVE DATE: 01/08/2015	CITY ENGINEER DATE <i>Raul P. Pablos</i> 12/8/14 DIRECTOR OF ENGINEERING DATE
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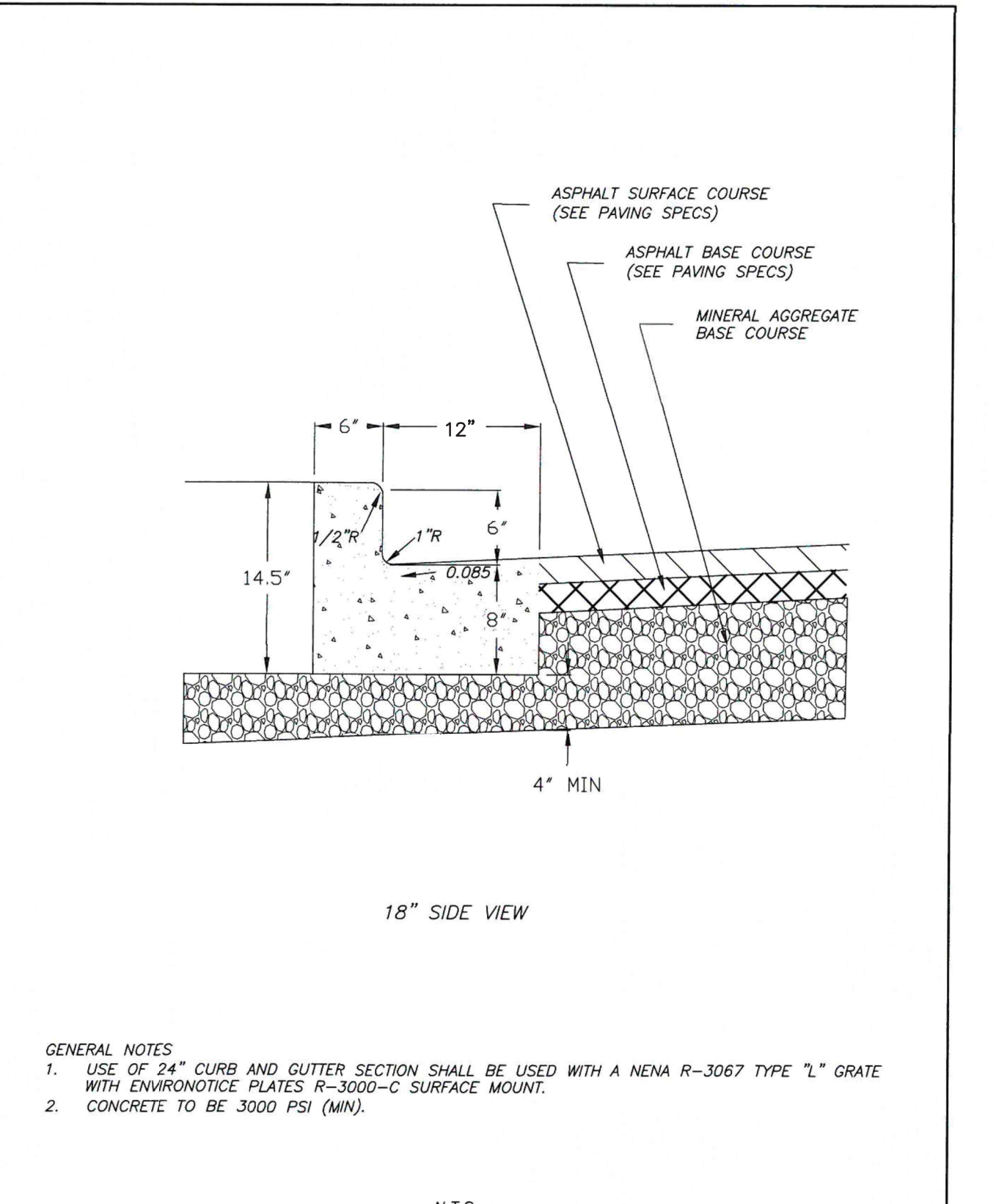
- GENERAL NOTES**
- ALSO SEE SIDEWALK DETAILS
 - JOINTS TO BE PLACED WHERE THE SIDEWALK IS IN CONTACT WITH CIRCULAR CURBS, BUILDINGS AND RETAINING WALLS. 1/2" JOINTS TO BE USED AT OTHER LOCATIONS
 - ONE LONGITUDINAL JOINT MARKING REQUIRED ON SIDEWALK OVER 5' IN WIDTH TO LESS THAN 9'. TWO LONGITUDINAL JOINTS FOR SIDEWALK 10' TO 12'.

N.T.S.

CITY OF FRANKLIN

TYPICAL SIDEWALK EXPANSION JOINT

DWG. NO. RP-11	EFFECTIVE DATE: 01/08/2015	CITY ENGINEER DATE <i>Raul P. Pablos</i> 12/8/14 DIRECTOR OF ENGINEERING DATE
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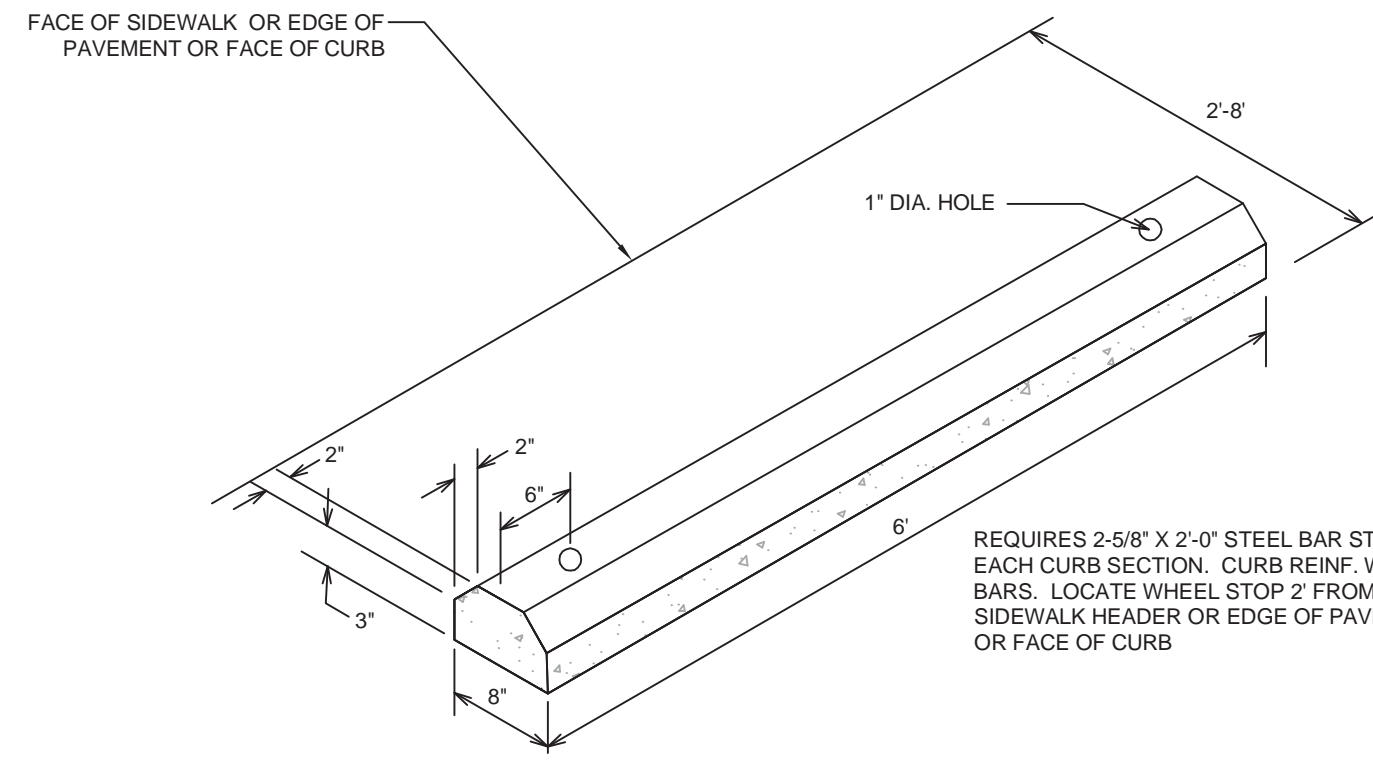
- GENERAL NOTES**
- USE OF 24" CURB AND GUTTER SECTION SHALL BE USED WITH A NEMA R-3067 TYPE "L" GRATE WITH ENVIRONOTIC PLATES R-3000-C SURFACE MOUNT.
 - CONCRETE TO BE 3000 PSI (MIN).

N.T.S.

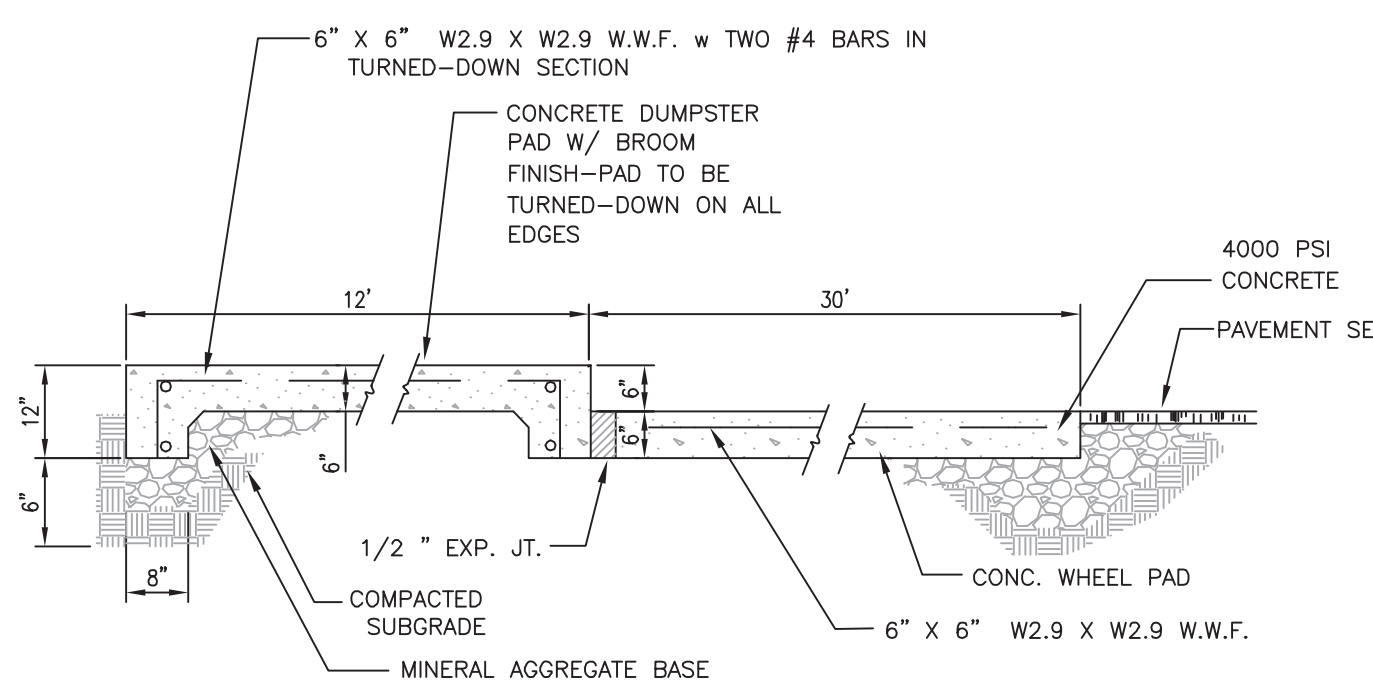
CITY OF FRANKLIN

18" CURB AND GUTTER SECTION (LOCAL STREETS ONLY)

DWG. NO. RP-2	EFFECTIVE DATE: 01/08/2015	CITY ENGINEER DATE <i>Raul P. Pablos</i> 12/8/14 DIRECTOR OF ENGINEERING DATE
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3 PRECAST CONCRETE WHEEL STOP
SCALE:



4 CONCRETE DUMPSTER PAD
SCALE:

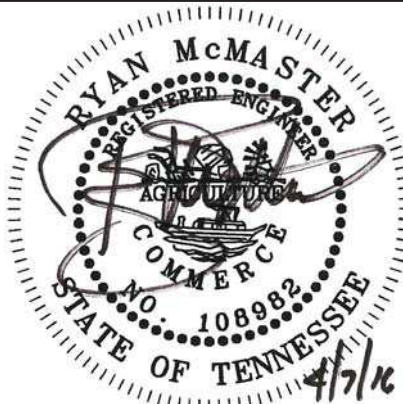
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GDC

SCOTT HAMILTON
PROTON THERAPY CENTER
FRANKLIN, TENNESSEE



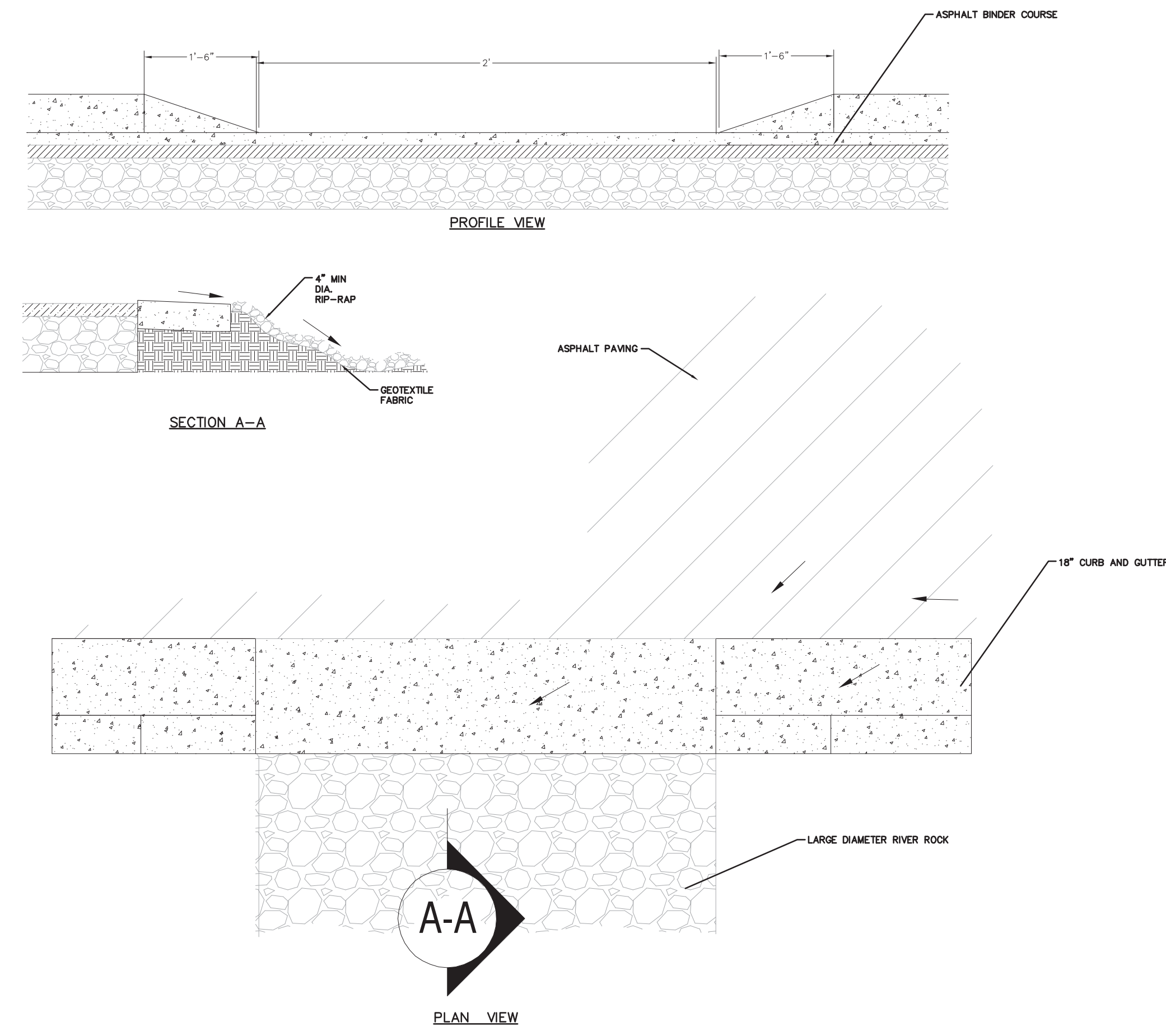
NO.	DATE	BY	REVISIONS PER CITY COMMENTS
1	04/07/2016		

DESIGNED BY: C.M.
DRAWN BY: C.M.
CHECKED BY: RLM
DATE: 03/14/2016
KHA PROJECT NO. 118133000

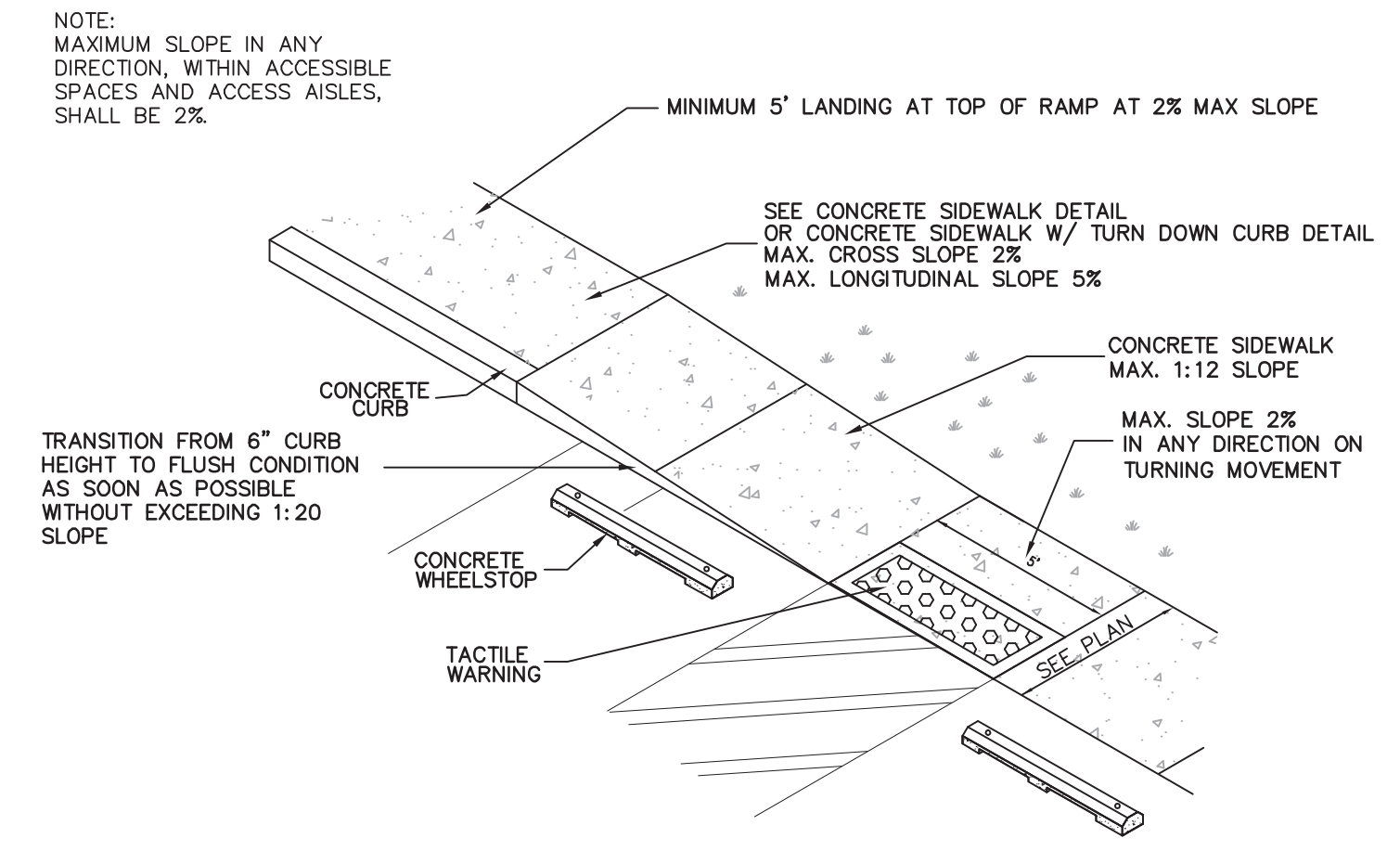
SITE PLAN
DETAILS

SHEET NUMBER
C2.2

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2 CURB CUT DETAIL
SCALE:



1 DETECTABLE WARNING RAMP
SCALE:

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LANDSCAPE ARCHITECTURE

SCOTT HAMILTON
PROTON THERAPY CENTER
FRANKLIN, TENNESSEE

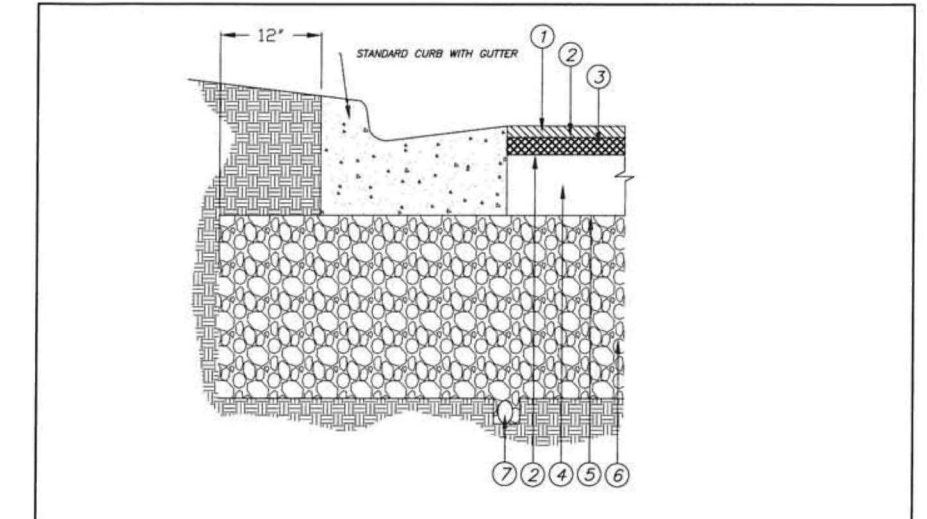


NO.	REVISIONS PER CITY COMMENTS	DATE	BY
1		04/07/2016	

DESIGNED BY: C.M
DRAWN BY: C.M
CHECKED BY: RLM
DATE: 03/14/2016
KHA PROJECT NO.
118133000

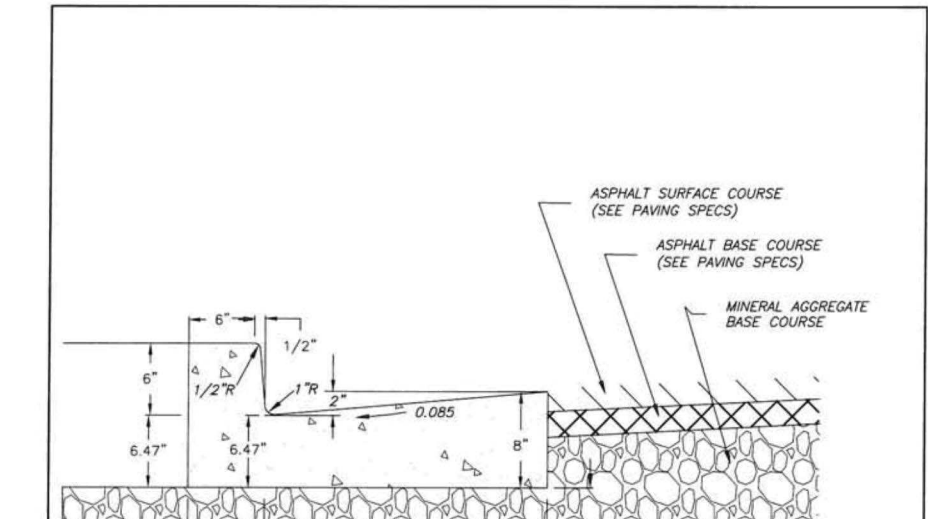
SITE PLAN
DETAILS
SHEET NUMBER
C2.3
COP# 8076

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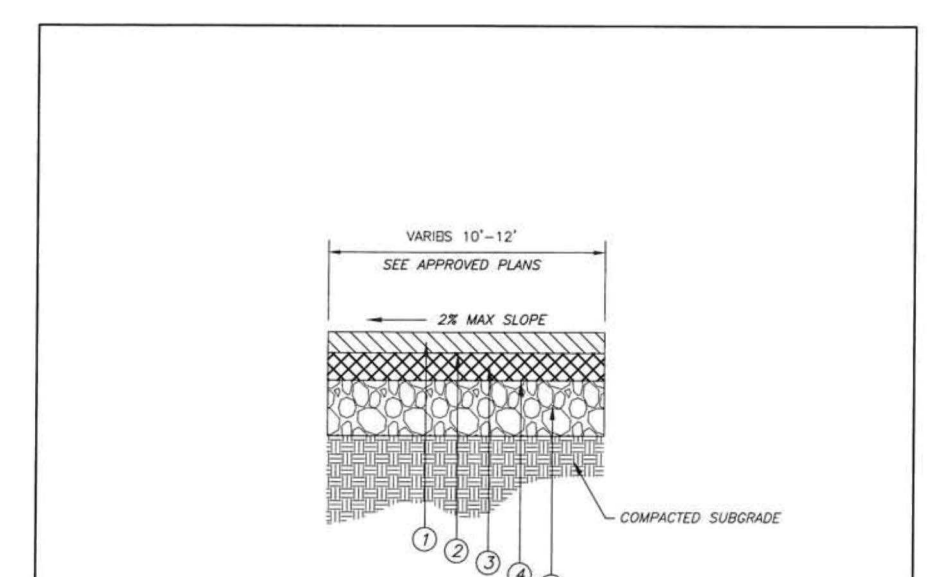
1. 1.5" - BITUMINOUS SURFACE COURSE (AC 111-01.05 ACS MIX/P20-22) GRADING 2
2. TACK COAT
3. 4.0" - BITUMINOUS SURFACE COURSE (AC 111-01.05 ACS MIX/P20-22) GRADING 2
4. 4.0" - BITUMINOUS SURFACE COURSE (AC 111-01.05 ACS MIX/P20-22) GRADING 2
5. 4.0" - BITUMINOUS SURFACE COURSE (AC 111-01.05 ACS MIX/P20-22) GRADING 2
6. 4.0" - BITUMINOUS SURFACE COURSE (AC 111-01.05 ACS MIX/P20-22) GRADING 2
7. 4.0" - BITUMINOUS SURFACE COURSE (AC 111-01.05 ACS MIX/P20-22) GRADING 2
8. 4.0" - BITUMINOUS SURFACE COURSE (AC 111-01.05 ACS MIX/P20-22) GRADING 2
9. 4.0" - BITUMINOUS SURFACE COURSE (AC 111-01.05 ACS MIX/P20-22) GRADING 2
10. 4.0" - BITUMINOUS SURFACE COURSE (AC 111-01.05 ACS MIX/P20-22) GRADING 2

CITY OF FRANKLIN
 MAJOR AND MINOR ARTERIAL PAVEMENT SECTION
 DWG. NO. RD-1
 EFFECTIVE DATE: 01/08/2015



- GENERAL NOTES:
1. FOR SPECIFICATIONS SEE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" OF THE TENNESSEE DEPARTMENT OF TRANSPORTATION, SECTION 702 - CONCRETE CURBS, GUTTERS AND CORNERING CURBS AND RUTS.
 2. CONCRETE EXPANSION JOINT MATERIAL IS TO BE 3/4" PRIMAVERAL FIBER IN ACCORDANCE WITH SECTION 702 - JOINT MATERIALS OF THE STANDARD SPECIFICATIONS.
 3. CONSTRUCTION JOINTS ARE TO BE SPACED AT 10 FEET. THE SPACING OF 10 FEET MAY BE REDUCED FOR CURBS, BUT NOT LESS THAN 5 FEET.
 4. EXPANSION JOINTS ARE TO BE PLACED AS FOLLOWS: AT INSIST JOINTS OF CIRCULAR CURBS, BETWEEN CORNERING CURBS AND RUTS, AT OTHER PLACES WHERE CURBS MAY DEVELOP, 30' TO 40' TO LINE UP WITH PAVEMENT JOINTS WHERE THE ADJACENT PAVEMENT IS CONCRETE. MINIMUM SPACING IS TO BE 100 FEET.

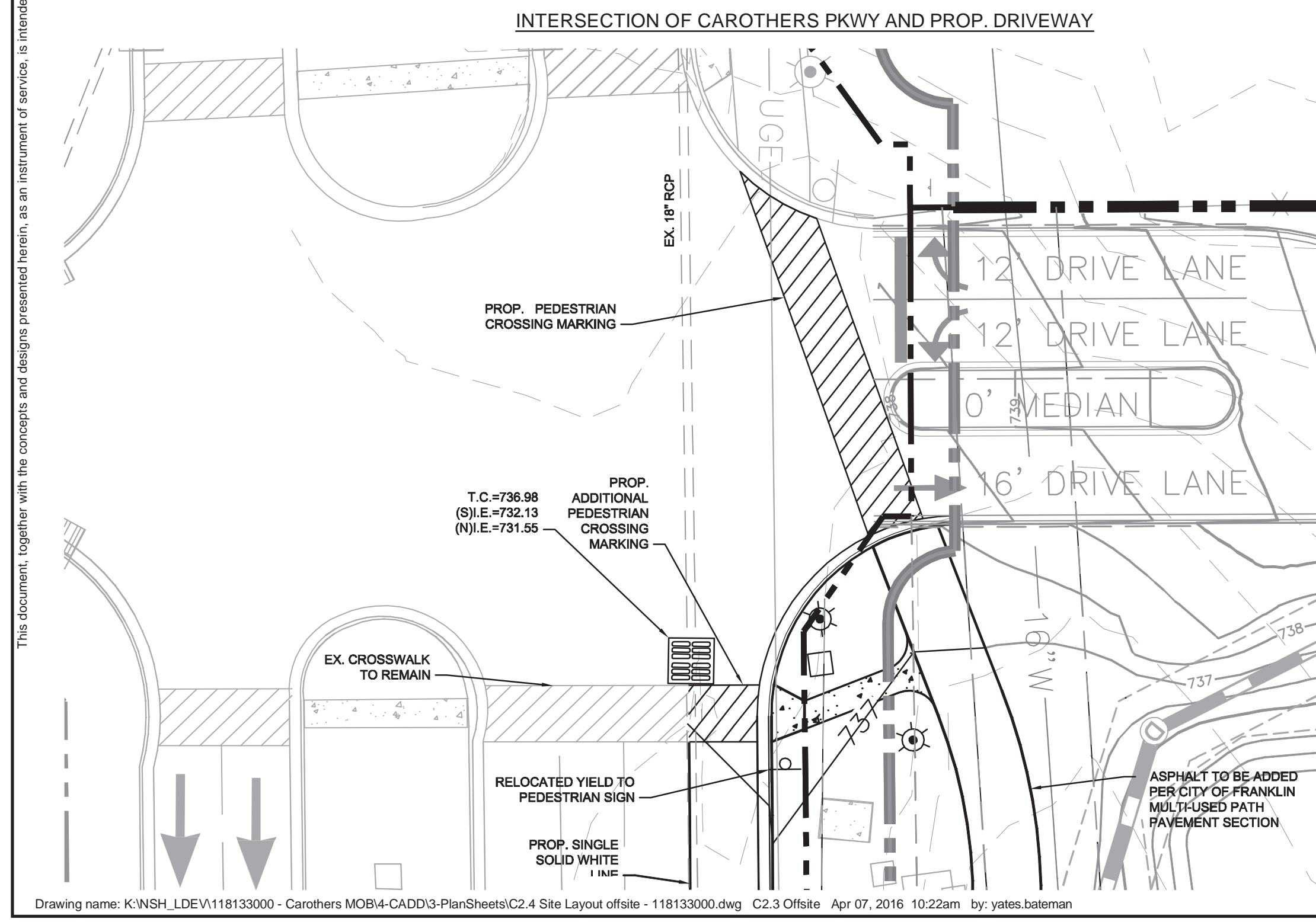
CITY OF FRANKLIN
 ARTERIAL AND COLLECTOR CURB AND GUTTER
 DWG. NO. RP-1
 EFFECTIVE DATE: 01/08/2015



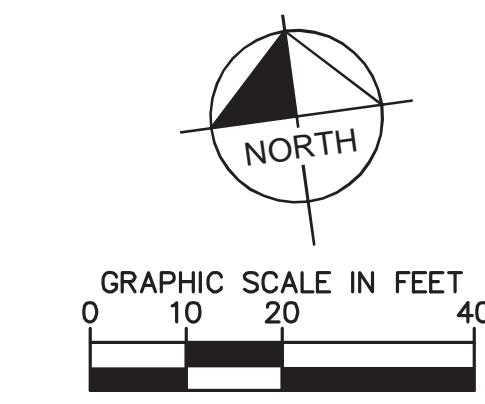
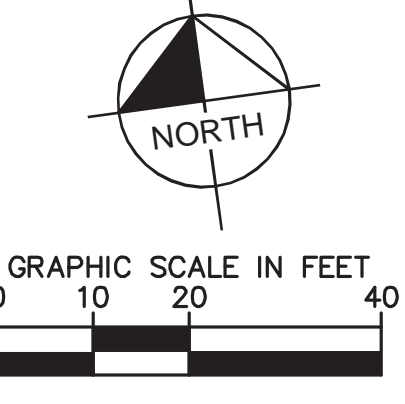
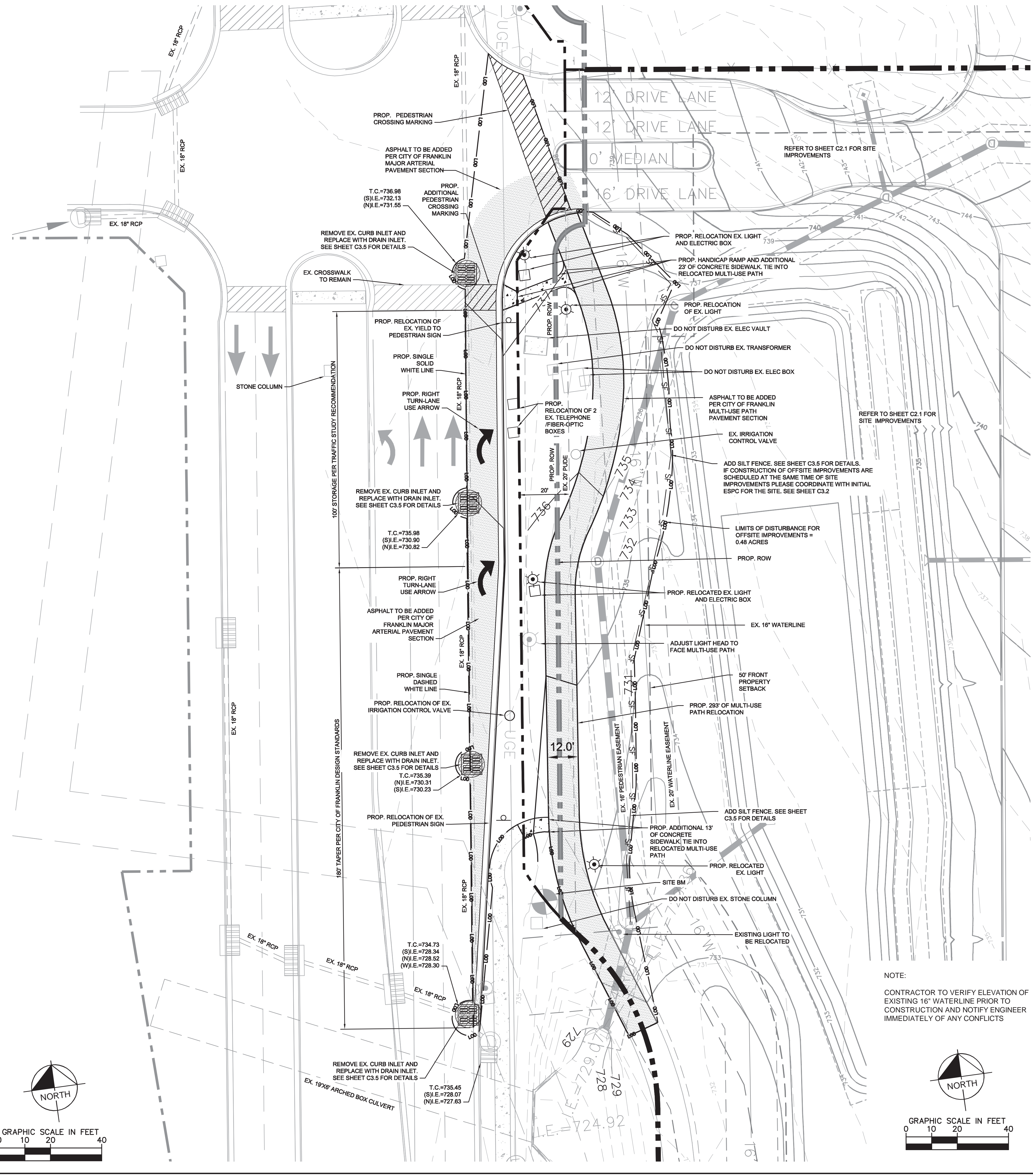
1. 1.5" - BITUMINOUS SURFACE COURSE (AC 111-01.05 ACS MIX/P20-22) GRADING 2
2. TACK COAT
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10. 4.0" - BITUMINOUS SURFACE COURSE (AC 111-01.05 ACS MIX/P20-22) GRADING 2

CITY OF FRANKLIN
 MULTUSE TRAIL (PUBLIC AND PRIVATE)
 DWG. NO. RD-4
 EFFECTIVE DATE: 01/08/2015

- NOTES:
1. THE CONTRACTOR SHALL MAKE EVERY EFFORT POSSIBLE TO MINIMIZE DISTURBANCE OF TRAFFIC ON CAROTHERS PKWY. CONSTRUCTION SHALL ONLY TAKE PLACE BETWEEN THE HOURS OF 9:00AM TO 3:00PM, MONDAY-FRIDAY AND SHALL NOT TAKE PLACE BETWEEN THANKSGIVING AND CHRISTMAS. THE CONTRACTOR NEEDS TO NOTIFY THE CITY OF FRANKLIN TRAFFIC OPERATIONS CENTER, EMERGENCY PERSONNEL (FIRE & POLICE), 72 HOURS PRIOR TO LANE SHIFTS.
 2. A MINIMUM OF ONE NORTHBOUND LANE SHALL REMAIN OPEN AT ALL TIMES. IF CLOSURE IS NECESSARY, IT SHALL BE DONE AT NIGHT AND WILL REQUIRE A DETOUR PLAN FOR APPROVAL BY THE CITY OF FRANKLIN ENGINEERING DEPARTMENT PRIOR TO ANY CLOSURES.
 3. DIRECTIONAL SIGNAGE AND STRIPING SHALL BE INSTALLED PER MUTCD STANDARDS.
 4. FLAG MEN SHALL BE PRESENT AT ANY TIME THAT TRAFFIC IS LIMITED TO ONE NORTHBOUND TRAVEL LANE.
 5. ALL STRIPING TO BE 4" THERMOPLASTIC UNLESS NOTED OTHERWISE.
 6. THE APPLICANT IS TO COMPLETE AND OBTAIN FULL CITY OF FRANKLIN ACCEPTANCE OF ALL OFF-SITE TRANSPORTATION IMPROVEMENTS PRIOR TO THE ISSUANCE OF THE INITIAL CERTIFICATE OF OCCUPANCY.



Drawing name: K:\NSH_LDEV\118133000 - Carothers MOB4-CADD3-Plan\Sheet\C2.4 Site Layout offsite - 118133000.dwg C2.3 Offsite Apr 07, 2016 10:22am by yikes.baeman



NOTE:
 CONTRACTOR TO VERIFY ELEVATION OF EXISTING 16\"/>

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GAMBLE
 DESIGN COLLABORATIVE
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 LANDSCAPE ARCHITECTURE

GDC

**SCOTT HAMILTON
 PROTON THERAPY CENTER**

FRANKLIN, TENNESSEE



NO.	DATE	BY	REVISIONS
1	04/07/2016	RJA	DESIGNED BY
		RJA	DRAWN BY
		RLM	CHECKED BY
			DATE: 03/14/2016
			KHA PROJECT NO. 118133000
			OFFSITE IMPROVEMENT PLAN
			SHEET NUMBER
			C2.4
			COPIES 6076

SITE DATA CHART

PROJECT NAME: SCOTT HAMILTON PROTON THERAPY CENTER

COF PROJECT #: 6076
 SUBDIVISION: MEDCORE MEDICAL BLDG
 MAP: MAP # 79
 PARCEL #: 48.04
 LOT: 3

ADDRESS: 4588 CAROTHERS PARKWAY
 CITY: FRANKLIN
 COUNTY: WILLIAMSON
 STATE: TENNESSEE
 CIVIL DISTRICT: 8TH CIVIL DISTRICT

EXISTING ZONING: GENERAL OFFICE DISTRICT
 CHARACTER AREA OVERLAY: McEWEN 5
 OTHER APPLICABLE OVERLAYS: N/A
 DEVELOPMENT STANDARD: CONVENTIONAL
 ACREAGE OF SITE: 11.62 AC
 SQUARE FOOTAGE OF SITE: 506,335 SF

OWNER: MTPC LLC
 1400 DOWELL SPRINGS BLVD #350
 KNOXVILLE, TN 37909

DEVELOPER: PROVISION SOLUTIONS
 ANDY LORENZ
 1400 DOWELL SPRINGS BLVD., SUITE 350
 KNOXVILLE, TN 37909
 (865)321-4701

APPLICANT: KIMLEY-HORN & ASSOCIATES
 Address: 214 OCEANSIDE DRIVE
 NASHVILLE, TN 37204
 Phone: 615-564-2701
 Email: RYAN.MCMASTER@KIMLEY-HORN.COM
 Contact Name: RYAN MCMASTER

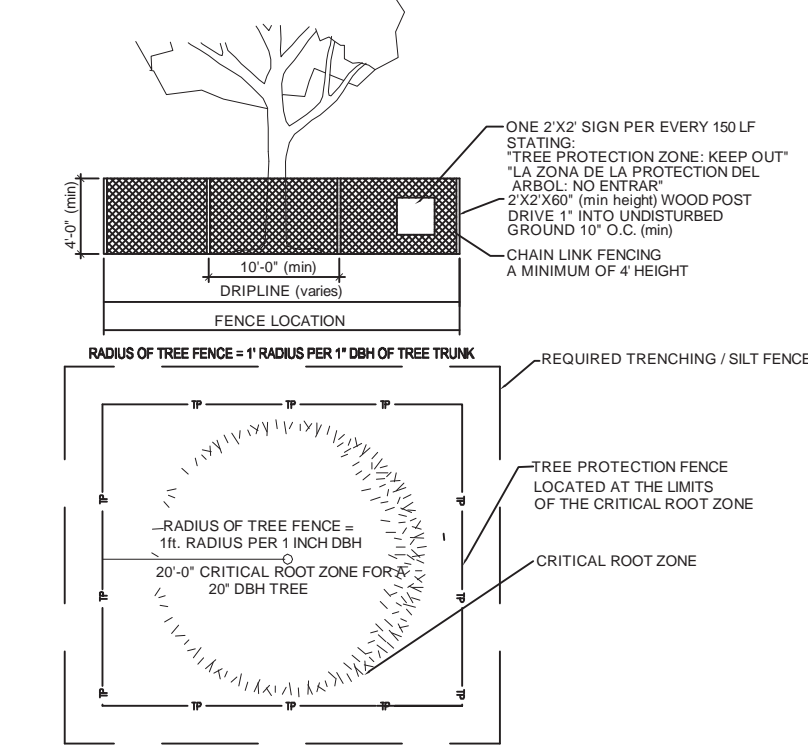
BUILDING SETBACKS: FRONT=50'; SIDE=25'; REAR=40'
 BUILDING SQUARE FOOTAGE: 101,501 SF
 PH. 1 BUILDING AREA: 30,804 SF (2-STORY MEDICAL OFFICE)
 9,647 SF (PROTON VALULT)
 FUTURE BUILDING AREA: ± 61,050 SF (3-STORY MEDICAL OFFICE)

BUILDING HEIGHT: ± 4'
 MINIMUM LANDSCAPE SURFACE RATIO: 0.30 (2.07 AC PHASE 1)
 PROVIDED LANDSCAPE SURFACE RATIO: 0.52 (3.58 AC PHASE 1)
 MINIMUM PARKING REQUIREMENT: N/A
 EXISTING PARKING: N/A
 PARKING PROVIDED: 149 TOTAL SPACES
 145 STANDARD SPACES
 4 ADA SPACES
 0 COMPACT SPACES

EXISTING TREE CANOPY: 9.58 AC EXISTING (82% OF TOTAL SITE)
 TREE CANOPY PRESERVATION REQUIRED: 1.44 AC (15% OF TOTAL SITE)
 TREE CANOPY PRESERVATION PROVIDED: 1.52 AC (16% OF TOTAL SITE)
 PARKLAND(IF APPLICABLE): N/A
 OPEN SPACE REQUIRED: ALL FORMAL - 0.35 AC (5% OF PHASE 1)
 OPEN SPACE PROVIDED: ALL FORMAL - 0.35 AC (5% OF PHASE 1)

NOTES:

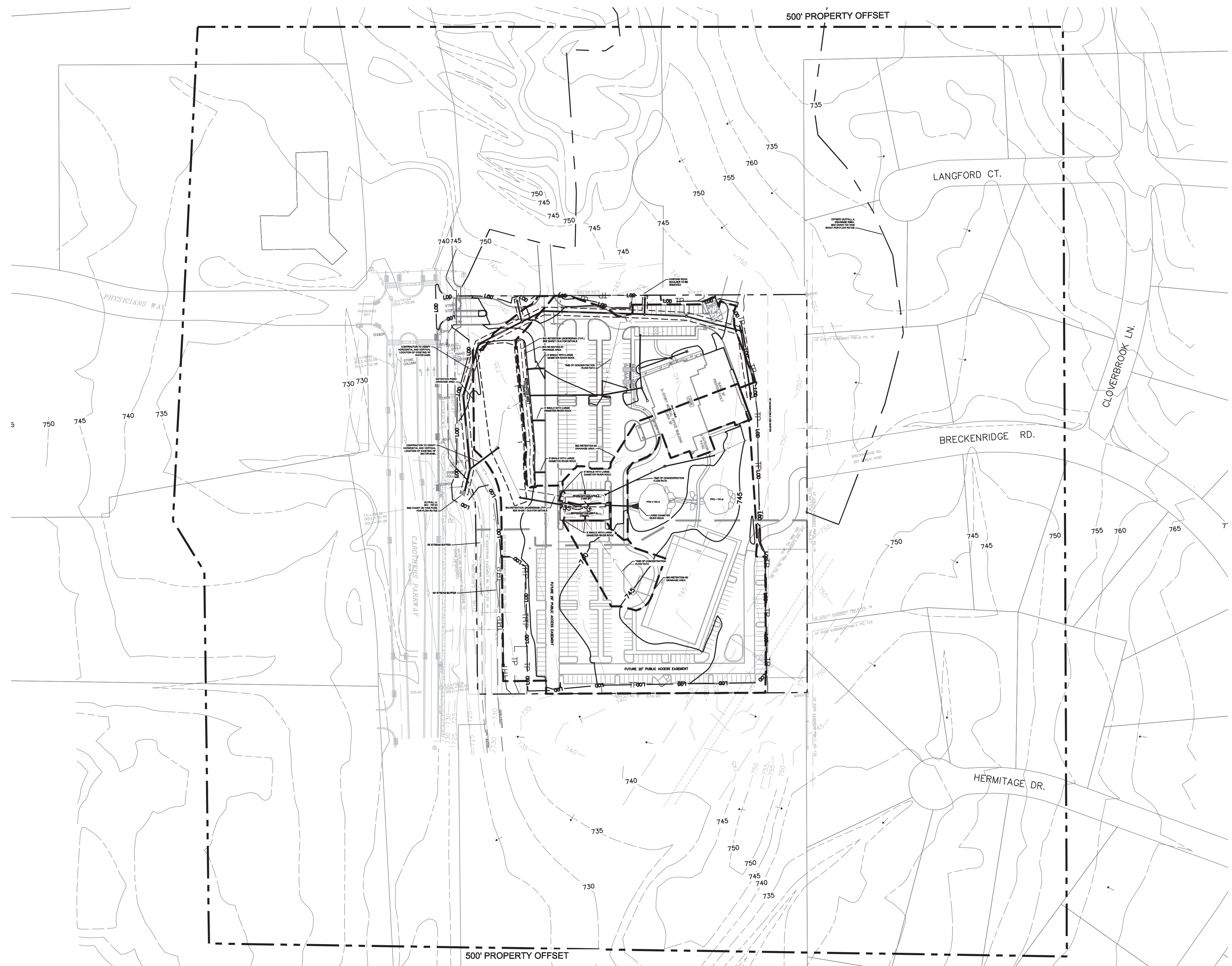
- WITHIN NEW DEVELOPMENTS AND FOR OFF-SITE LINES CONSTRUCTED AS A RESULT OF, OR TO PROVIDE SERVICE TO, THE NEW DEVELOPMENT, ALL UTILITIES, SUCH AS CABLE TELEVISION, ELECTRICAL (EXCLUDING TRANSFORMERS), GAS, SEWER, TELEPHONE, AND WATER LINES SHALL BE PLACED UNDERGROUND.
- THIS SITE PLAN HAS BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE CITY OF FRANKLIN STANDARDS AND THE APPROVAL OF PLANNING COMMISSION. CHANGES SHALL NOT BE MADE TO THE APPROVED SITE PLAN UNLESS APPROVED BY EITHER RELEVANT DEPARTMENT SUPERINTENDENT OR THE PLANNING COMMISSION.
- THE INFORMATION SHOWN ON THIS PLAN IS BASED UPON THE TENNESSEE STATE PLANE COORDINATE SYSTEM, ZONE 5301, FLIPZONE 4100 AND NAD 83 DATUM.
- BASE INFORMATION WAS TAKEN FROM A TOPOGRAPHIC SURVEY PREPARED BY LITTLEJOHN, DATED MARCH 23, 2015. KIMLEY-HORN AND ASSOCIATES SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF THE BASE INFORMATION SHOWN.
- THE CONSULTANT HAS FOUND NO EVIDENCE OF THE MINERAL RIGHTS OF THIS PROPERTY BEING TRANSFERRED TO ANY PARTY OTHER THAN THE OWNER.
- THIS PROJECT DOES NOT PROPOSE FILL WITHIN THE EXISTING FLOODPLAIN. NO BUILDINGS IN THIS PROJECT FALL WITHIN THE 100 YEAR FLOODPLAIN, PER THE FEMA FIRM MAP NUMBER 47187C0212F, DATED SEPTEMBER 29, 2006



TREE PROTECTION FENCING DETAIL FOR SAVED TREES

NOTE: ALL TP FENCE SHALL BE INSTALLED PRIOR TO INSPECTIONS FOR GRADING PERMIT. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED OUTSIDE THE LIMITS OF TP.

TREE PROTECTION DETAIL NOT TO SCALE



GRADING & DRAINAGE GENERAL NOTES:

- GRADING PERMIT IS REQUIRED FOR ANY PROJECT DISTURBING MORE THAN 10,000 SF, ADDING MORE THAN 5,000 SF OF IMPERVIOUS SURFACE OR FOR ANY SITE GRADING REQUIRING STOCKPILING OF MATERIAL.
- THE DEVELOPER SHALL PROVIDE THE NECESSARY LABOR AND SUPERVISION REQUIRED TO SUPPORT FIELD TESTING BY THE INDEPENDENT TESTING FIRM AND INSPECTIONS BY CITY OFFICIALS AT NO COST TO THE CITY. TEST REPORTS OF FIELD TESTING IF APPLICABLE SHALL BE SUBMITTED DIRECTLY TO THE STREET DEPARTMENT. DEFECTS DISCLOSED BY TESTS SHALL BE RECTIFIED.
- AN AUTHORIZED REPRESENTATIVE OF THE CITY SHALL MAKE A FINAL INSPECTION OF THE PROJECT AFTER COMPLETION TO DETERMINE ACCEPTABILITY OF THE WORK AND FOR RELEASE OF PERFORMANCE BONDS IF REQUIRED. BEFORE THIS FINAL INSPECTION CAN BE MADE, THE ENGINEER RESPONSIBLE FOR THE PROJECT SHALL CERTIFY IN WRITING TO THE CITY ENGINEER THAT THE WORK HAS BEEN COMPLETED IN ACCORDANCE WITH APPROVED PLANS AND SPECIFICATION.
- DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, CULVERTS, DETENTION BASINS AND DITCHES, AS WELL AS THE ROADWAY SUB-GRADE, BASE STONE AND BINDER & SURFACE COARSE SHALL BE INSPECTED, TESTED AND GIVEN APPROVAL AT EACH STAGE OF INSTALLATION PRIOR TO PROCEEDING TO THE NEXT STAGE OF CONSTRUCTION. FINAL CONSTRUCTION INSPECTION FOR APPROVAL AND ACCEPTANCE OF STREETS AND DRAINAGE SYSTEMS WILL NOT BE GRANTED UNTIL ALL WORK HAS BEEN COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS.
- LOCATING AND COORDINATION FOR THE RELOCATION OF EXISTING UTILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR. TENNESSEE'S ONE-CALL AND THE CITY OF FRANKLIN UTILITY LOCATION SERVICE SHALL BE UTILIZED IN ADDITION TO COORDINATION WITH LOCAL UTILITY OWNERS. THE CONTRACTOR SHALL AT ALL TIMES PROTECT EXISTING UTILITIES AND WILL BE RESPONSIBLE FOR COSTS DUE TO DAMAGE CAUSED TO ANY UTILITY LINES.

OUTFALL 1 GRADING AND DRAINAGE CHART

	ON-SITE	OFFSITE	TOTAL
TOTAL AREA	11.62	12.03	23.65
IMPERVIOUS AREA	2.67	0.38	3.05
DISTURBED AREA	9.02	0	9.02
RV VALUE	0.195	N/A	0.195
2-YEAR STORM FLOW RATE	3.86 CFS	22.37 CFS	26.23 CFS
5-YEAR STORM FLOW RATE	7.95 CFS	25.9 CFS	33.86 CFS
10-YEAR STORM FLOW RATE	11.22 CFS	28.79 CFS	40.01 CFS
25-YEAR STORM FLOW RATE	15.44 CFS	32.38 CFS	47.82 CFS
50-YEAR STORM FLOW RATE	18.41 CFS	35.28 CFS	53.69 CFS
100-YEAR STORM FLOW RATE	22.22 CFS	37.6 CFS	59.82 CFS

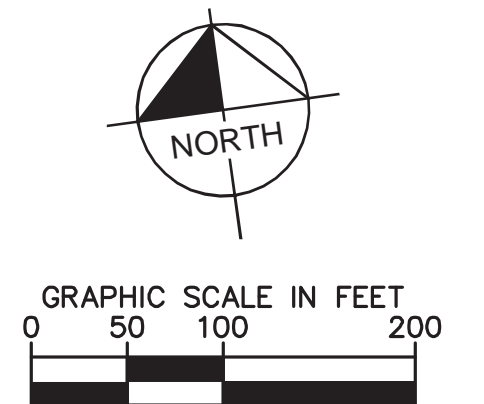
WATER QUALITY BMP NOTES:

WATER QUALITY BMPs SHALL NOT BE INSTALLED UNTIL BUILD OUT IS NEAR COMPLETION TO PREVENT CONSTRUCTION SEDIMENT FROM ENTERING WATER QUALITY BMPs. WATER QUALITY AREAS SHALL NOT BE USED AS SEDIMENT BASINS DURING CONSTRUCTION. INSTALLERS OF WATER QUALITY BMPs SHOULD FOLLOW ALL INSTALLATION GUIDELINES SET FORTH IN THE CITY OF FRANKLIN BMP MANUAL LOCATED ON THE CITY'S WEBSITE.

ALL TREE-PROTECTION FENCING SHALL BE IN PLACE PRIOR TO THE ISSUANCE OF A GRADING OR LAND DISTURBANCE PERMIT AND SHALL BE MAINTAINED IN GOOD WORKING ORDER UNTIL ALL CONSTRUCTION ACTIVITY IS COMPLETED. NO DISTURBANCE IS PERMITTED IN A TREE PRESERVATION AREA. ANY REQUIRED EROSION CONTROL MEASURES SHALL BE PLACED OUTSIDE OF ANY TREE PROTECTION FENCING.

NOTE:

THERE SHALL BE NO MOWING, CLEARING, GRADING, CONSTRUCTION, STORAGE, OR DISTURBANCE OF VEGETATION IN RIPARIAN BUFFERS EXCEPT AS PERMITTED BY THE CITY ENGINEER, OR HIS DESIGNEE.



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GAMBLE
 DESIGN COLLABORATIVE
 DEVELOPMENT PLANNING AND
 LANDSCAPE ARCHITECTURE

GDC

**SCOTT HAMILTON
 PROTON THERAPY CENTER**
 FRANKLIN, TENNESSEE



NO.	DATE	BY	REVISIONS PER CITY COMMENTS
1	04/07/2016		

DESIGNED BY: CJM
 DRAWN BY: CJM
 CHECKED BY: RLM
 DATE: 03/14/2016
 KHA PROJECT NO. 118133000

OVERALL GRADING AND DRAINAGE PLAN

SHEET NUMBER
C3.0
 CCF# 6076

SITE DATA CHART

PROJECT NAME: SCOTT HAMILTON PROTON THERAPY CENTER

COF PROJECT #: 6076
 SUBDIVISION: MEDCORE MEDICAL BLDG
 MAP: MAP # 79
 PARCEL #: 48.04
 LOT: 3

ADDRESS: 4588 CAROTHERS PARKWAY
 CITY: FRANKLIN
 COUNTY: WILLIAMSON
 STATE: TENNESSEE
 CIVIL DISTRICT: 8TH CIVIL DISTRICT

EXISTING ZONING: GENERAL OFFICE DISTRICT
 CHARACTER AREA OVERLAY: McEWEN 5
 OTHER APPLICABLE OVERLAYS: N/A
 DEVELOPMENT STANDARD: CONVENTIONAL
 ACREAGE OF SITE: 11.62 AC
 SQUARE FOOTAGE OF SITE: 506,335 SF

OWNER: MTPC LLC
 1400 DOWELL SPRINGS BLVD #350
 KNOXVILLE, TN 37909

DEVELOPER: PROVISION SOLUTIONS
 1400 DOWELL SPRINGS BLVD., SUITE 350
 KNOXVILLE, TN 37909
 (865)321-4701

APPLICANT: KIMLEY-HORN & ASSOCIATES
 Address: 214 OCEANSIDE DRIVE
 NASHVILLE, TN 37204
 615-564-2701
 Email: RYAN.MCMASTER@KIMLEY-HORN.COM
 Contact Name: RYAN MCMASTER

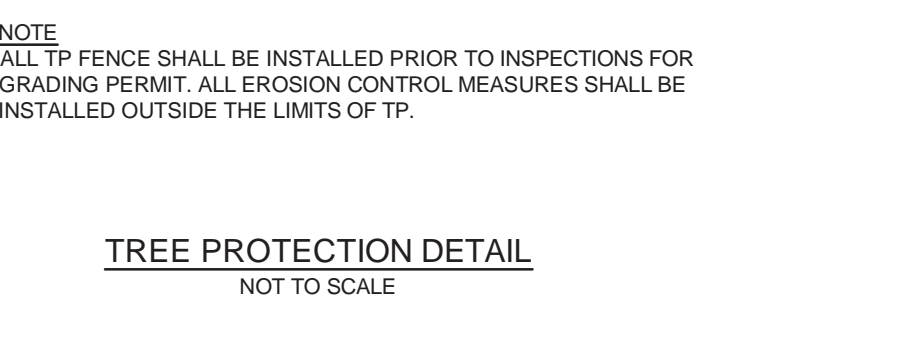
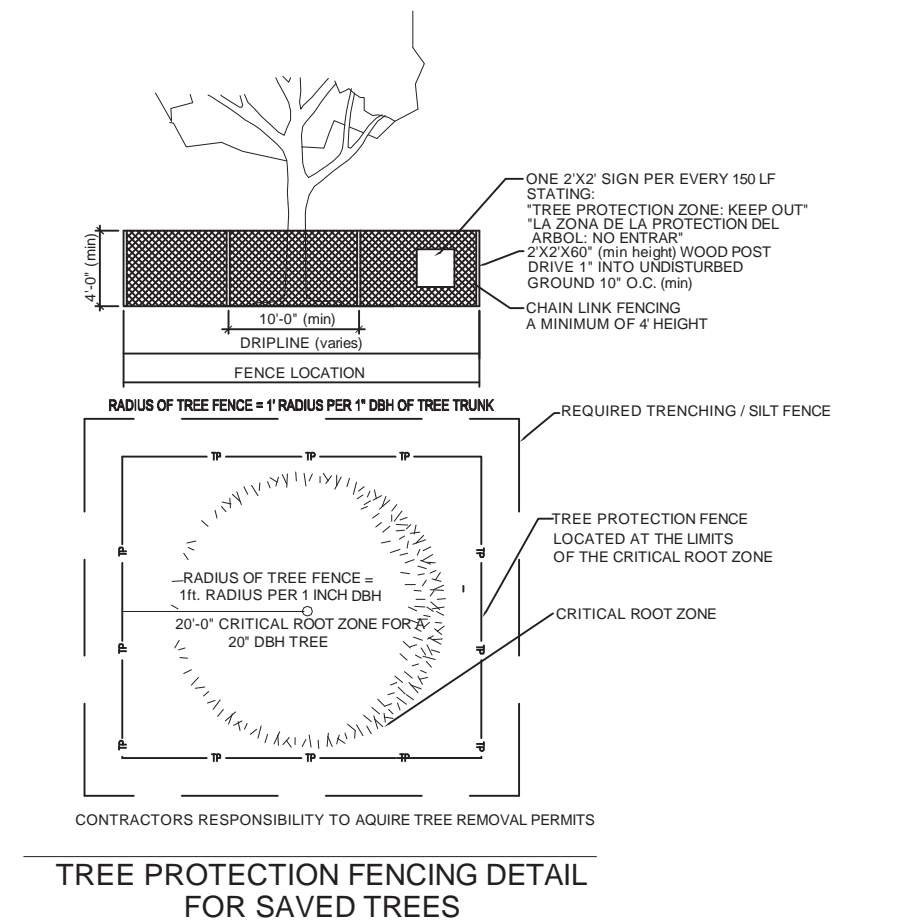
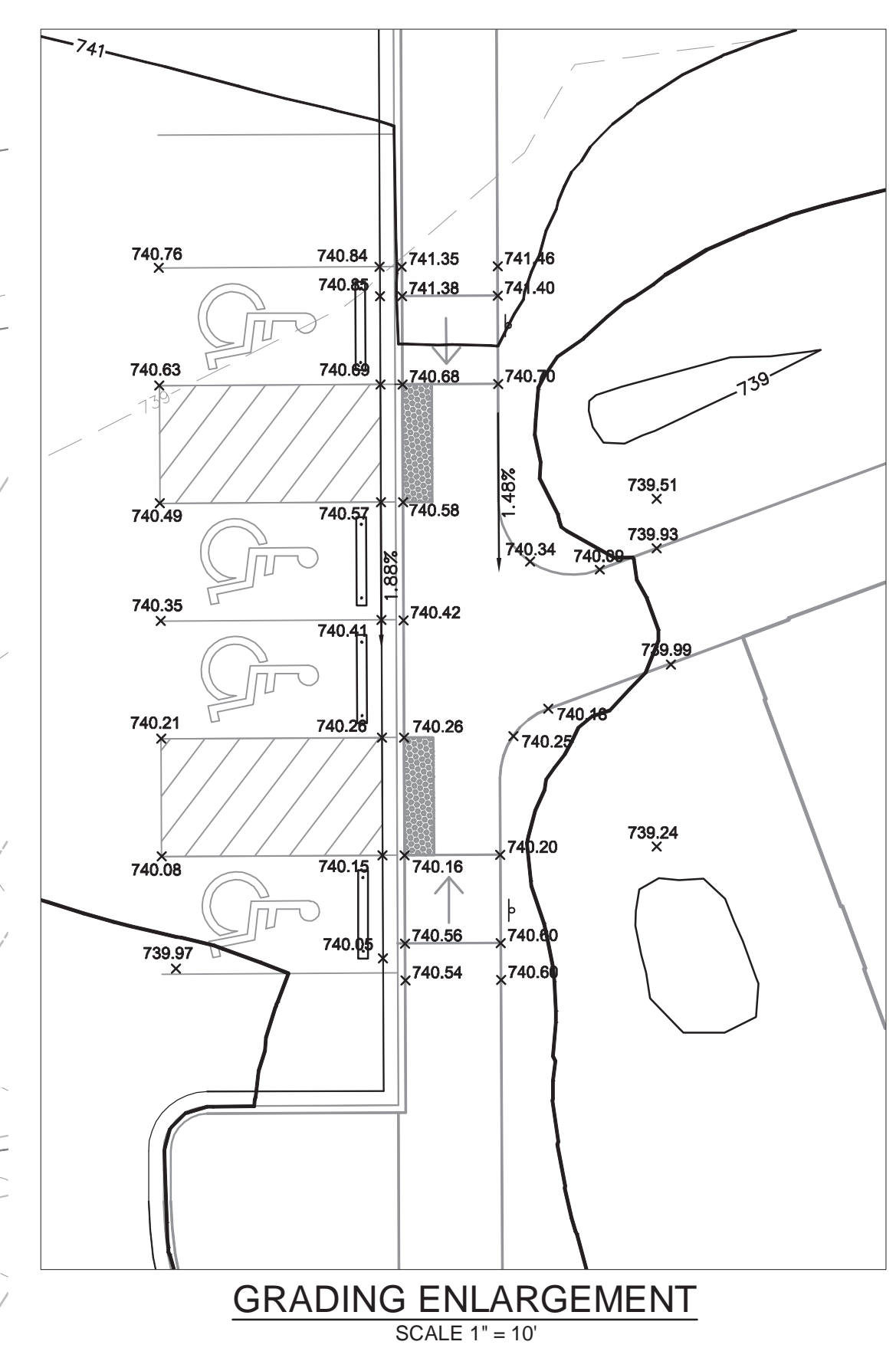
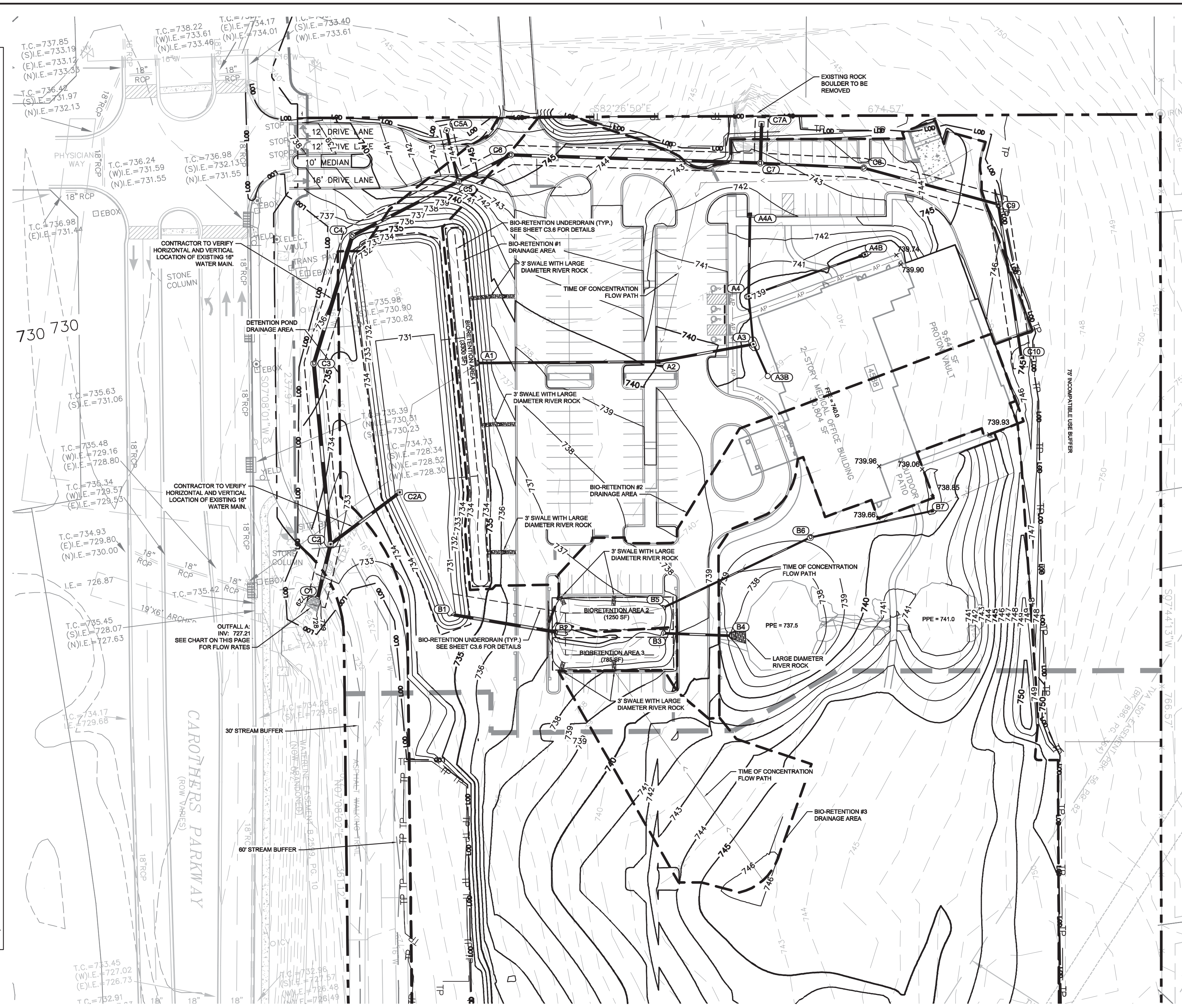
BUILDING SETBACKS: FRONT=50'; SIDE=25'; REAR=40';
 BUILDING SQUARE FOOTAGE: 101,501 SF
 PH 1 BUILDING AREA: 30,804 SF (2-STORY MEDICAL OFFICE)
 9,647 SF (PROTON VALUET)
 FUTURE BUILDING AREA: ± 61,050 SF (3-STORY MEDICAL OFFICE)

BUILDING HEIGHT: ± 44'
 MINIMUM LANDSCAPE SURFACE RATIO: 0.30 (2.07 AC PHASE 1)
 PROVIDED LANDSCAPE SURFACE RATIO: 0.52 (3.58 AC PHASE 1)
 MINIMUM PARKING REQUIREMENT: N/A
 EXISTING PARKING: N/A
 PARKING PROVIDED: 149 TOTAL SPACES
 145 STANDARD SPACES
 4 ADA SPACES
 0 COMPACT SPACES

EXISTING TREE CANOPY: 9.58 AC EXISTING (82% OF TOTAL SITE)
 TREE CANOPY PRESERVATION REQUIRED: 1.44 AC (15% OF TOTAL SITE)
 TREE CANOPY PRESERVATION PROVIDED: 1.52 AC (16% OF TOTAL SITE)
 PARKLAND(IF APPLICABLE): N/A
 OPEN SPACE REQUIRED: ALL FORMAL - 0.35 AC (5% OF PHASE 1)
 OPEN SPACE PROVIDED: ALL FORMAL - 0.35 AC (5% OF PHASE 1)

NOTES:

- WITHIN NEW DEVELOPMENTS AND FOR OFF-SITE LINES CONSTRUCTED AS A RESULT OF, OR TO PROVIDE SERVICE TO, THE NEW DEVELOPMENT, ALL UTILITIES, SUCH AS CABLE TELEVISION, ELECTRICAL (EXCLUDING TRANSFORMERS), GAS, SEWER, TELEPHONE, AND WATER LINES SHALL BE PLACED UNDERGROUND.
- THIS SITE PLAN HAS BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE CITY OF FRANKLIN STANDARDS AND THE APPROVAL OF PLANNING COMMISSION. CHANGES SHALL NOT BE MADE TO THE APPROVED SITE PLAN UNLESS APPROVED BY EITHER RELEVANT DEPARTMENT SUPERINTENDENT OR THE PLANNING COMMISSION.
- THE INFORMATION SHOWN ON THIS PLAN IS BASED UPON THE TENNESSEE STATE PLANE COORDINATE SYSTEM, ZONE 5301, FLIPZONE 4100 AND NAD 83 DATUM.
- BASE INFORMATION WAS TAKEN FROM A TOPOGRAPHIC SURVEY PREPARED BY LITTLEJOHN, DATED MARCH 23, 2015. KIMLEY-HORN AND ASSOCIATES SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF THE BASE INFORMATION SHOWN.
- THE CONSULTANT HAS FOUND NO EVIDENCE OF THE MINERAL RIGHTS OF THIS PROPERTY BEING TRANSFERRED TO ANY PARTY OTHER THAN THE OWNER.
- THIS PROJECT DOES NOT PROPOSE FILL WITHIN THE EXISTING FLOODPLAIN. NO BUILDINGS IN THIS PROJECT FALL WITHIN THE 100 YEAR FLOODPLAIN, PER THE FEMA FIRM MAP NUMBER 47187C0212F, DATED SEPTEMBER 29, 2006



NAME	DESCRIPTION	TOP GRATE
A1	HEADWALL	N/A
A2	CURB INLET	739.55
A3	CATCH BASIN	738.51
A3B	JUNCTION BOX	740.00
A4	CATCH BASIN	738.83
AAA	CURB INLET	742.21
A4B	CATCH BASIN	738.92
B1	HEADWALL	N/A
B2	HEADWALL	N/A
B3	HEADWALL	N/A
B4	HEADWALL	N/A
B5	HEADWALL	N/A
B6	JUNCTION BOX	739.16
B7	CATCH BASIN	738.52
C1	HEADWALL	N/A
C2	CATCH BASIN	732.26
C2A	OUTLET STRUCTURE	733.50
C3	JUNCTION BOX	735.62
C4	JUNCTION BOX	735.00
C5	JUNCTION BOX	743.29

NAME	DESCRIPTION	TOP GRATE
C5A	AREA DRAIN	743.05
C6	JUNCTION BOX	745.34
C7	JUNCTION BOX	742.77
C7A	CATCH BASIN	742.50
C8	JUNCTION BOX	743.80
C9	AREA DRAIN	744.82
C10	AREA DRAIN	744.97

NAME	UPSTREAM	DOWNSTREAM	SIZE	LENGTH	SLOPE	MATERIAL
A2 - A1	734.84 (A2)	734.00 (A1)	18"	140'	0.60%	RCP
A3 - A2	735.46 (A3)	735.04 (A2)	18"	77'	0.55%	RCP
A3B - A3	736.98 (A3B)	735.65 (A3)	12"	28'	4.88%	HDPE
A4 - A3	735.63 (A4)	735.65 (A3)	12"	38'	0.49%	HDPE
AAA - A4	740.50 (AAA)	736.03 (A4)	18"	64'	7.07%	RCP
A4B - A4	736.53 (A4B)	736.03 (A4)	12"	97'	0.52%	HDPE
B2 - B1	733.80 (B2)	731.00 (B1)	24"	81'	3.49%	RCP
B4 - B3	738.41 (B4)	735.90 (B3)	18"	51'	1.02%	RCP
B6 - B5	735.93 (B6)	735.30 (B5)	12"	128'	0.50%	HDPE
B7 - B6	736.52 (B7)	736.03 (B6)	12"	98'	0.50%	RCP
C2 - C1	727.42 (C2)	727.21 (C1)	30"	43'	0.50%	RCP
C2A - C2	728.38 (C2A)	727.82 (C2)	24"	88'	1.12%	RCP
C3 - C2	728.33 (C3)	727.82 (C2)	30"	142'	0.50%	RCP
C4 - C3	728.98 (C4)	728.46 (C3)	30"	109'	0.50%	RCP
C5 - C4	733.60 (C5)	729.15 (C4)	24"	83'	4.79%	RCP
C5A - C5	736.00 (C5A)	733.80 (C5)	18"	42'	5.36%	RCP
C6 - C5	735.80 (C6)	734.00 (C5)	24"	47'	3.88%	RCP
C7 - C6	738.02 (C7)	736.00 (C6)	24"	198'	1.04%	RCP
C7A - C7	738.75 (C7A)	738.22 (C7)	24"	31'	5.00%	RCP
C8 - C7	738.00 (C8)	738.22 (C7)	18"	81'	0.97%	RCP
C9 - C8	740.28 (C9)	739.20 (C8)	18"	109'	0.99%	RCP
C10 - C9	741.50 (C10)	740.48 (C9)	18"	122'	0.84%	RCP

	ON-SITE			OFFSITE			TOTAL		
	AREA	PERCENT	FLOW RATE	AREA	PERCENT	FLOW RATE	AREA	PERCENT	FLOW RATE
TOTAL AREA	11.62		12.03			23.65			
IMPERVIOUS AREA	2.67		0.38			3.05			
DISTURBED AREA	9.02		0			9.02			
RV VALUE	0.195		N/A			0.195			
2-YEAR STORM FLOW RATE	3.86 CFS		22.37 CFS			26.23 CFS			
5-YEAR STORM FLOW RATE	7.95 CFS		25.9 CFS			33.86 CFS			
10-YEAR STORM FLOW RATE	11.22 CFS		28.79 CFS			40.01 CFS			
25-YEAR STORM FLOW RATE	15.44 CFS		32.38 CFS			47.82 CFS			
50-YEAR STORM FLOW RATE	18.41 CFS		35.28 CFS			53.69 CFS			
100-YEAR STORM FLOW RATE	22.22 CFS		37.6 CFS			59.82 CFS			

GRADING & DRAINAGE GENERAL NOTES:

- GRADING PERMIT IS REQUIRED FOR ANY PROJECT DISTURBING MORE THAN 10,000 SF, ADDING MORE THAN 5,000 SF OF IMPERVIOUS SURFACE OR FOR ANY SITE GRADING REQUIRING STOCKPILING OF MATERIAL.
- THE DEVELOPER SHALL PROVIDE THE NECESSARY LABOR AND SUPERVISION REQUIRED TO SUPPORT FIELD TESTING BY THE INDEPENDENT TESTING FIRM AND INSPECTIONS BY CITY OFFICIALS AT NO COST TO THE CITY. TEST REPORTS OF FIELD TESTING IF APPLICABLE SHALL BE SUBMITTED DIRECTLY TO THE STREET DEPARTMENT. DEFECTS DISCLOSED BY TESTS SHALL BE RECTIFIED.
- AN AUTHORIZED REPRESENTATIVE OF THE CITY SHALL MAKE A FINAL INSPECTION OF THE PROJECT AFTER COMPLETION TO DETERMINE ACCEPTABILITY OF THE WORK AND FOR RELEASE OF PERFORMANCE BONDS IF REQUIRED. BEFORE THIS FINAL INSPECTION CAN BE MADE, THE ENGINEER RESPONSIBLE FOR THE PROJECT SHALL CERTIFY IN WRITING TO THE CITY ENGINEER THAT THE WORK HAS BEEN COMPLETED IN ACCORDANCE WITH APPROVED PLANS AND SPECIFICATION.
- DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, CULVERTS, DETENTION BASINS AND DITCHES, AS WELL AS THE ROADWAY SUB-GRADE, BASE STONE, AND BINDER & SURFACE COURSE SHALL BE INSPECTED, TESTED AND GIVEN APPROVAL AT EACH STAGE OF INSTALLATION PRIOR TO PROCEEDING TO THE NEXT STAGE OF CONSTRUCTION. FINAL CONSTRUCTION INSPECTION FOR APPROVAL AND ACCEPTANCE OF STREETS AND DRAINAGE SYSTEMS WILL NOT BE GRANTED UNTIL ALL WORK HAS BEEN COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS.
- LOCATING AND COORDINATION FOR THE RELOCATION OF EXISTING UTILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR. TENNESSEE'S ONE-CALL AND THE CITY OF FRANKLIN UTILITY LOCATION SERVICE SHALL BE UTILIZED IN ADDITION TO COORDINATION WITH LOCAL UTILITY OWNERS. THE CONTRACTOR SHALL AT ALL TIMES PROTECT EXISTING UTILITIES AND WILL BE RESPONSIBLE FOR COSTS DUE TO DAMAGE CAUSED TO ANY UTILITY LINES. CONTRACTOR TO VERIFY ELEVATIONS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER IMMEDIATELY OF ANY CONFLICTS.

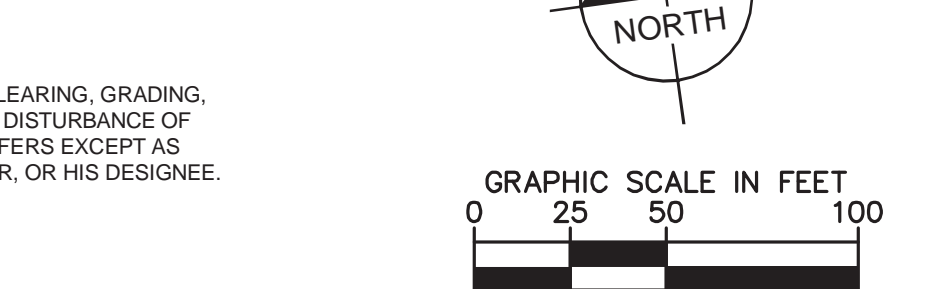
NOTE:

THE DETENTION POND IS DESIGNED TO HANDLE PHASE 1 AND FUTURE PHASE 2 IMPERVIOUS AREAS. BIO-RETENTION #3 IS DESIGNED TO HANDLE PHASE 1 AND 13,000 SF OF IMPERVIOUS PHASE 2 AREA.

ALL TREE-PROTECTION FENCING SHALL BE IN PLACE PRIOR TO THE ISSUANCE OF A GRADING OR LAND DISTURBANCE PERMIT AND SHALL BE MAINTAINED IN GOOD WORKING ORDER UNTIL ALL CONSTRUCTION ACTIVITY IS COMPLETED. NO DISTURBANCE IS PERMITTED IN A TREE PRESERVATION AREA. ANY REQUIRED EROSION CONTROL MEASURES SHALL BE PLACED OUTSIDE OF ANY TREE PROTECTION FENCING.

WATER QUALITY BMP NOTES:

WATER QUALITY BMP'S SHALL NOT BE INSTALLED UNTIL BUILD OUT IS NEAR COMPLETION TO PREVENT CONSTRUCTION SEDIMENT FROM ENTERING WATER QUALITY BMP'S. WATER QUALITY AREAS SHALL NOT BE USED AS SEDIMENT BASINS DURING CONSTRUCTION. INSTALLERS OF WATER QUALITY BMP'S SHOULD FOLLOW ALL INSTALLATION GUIDELINES SET FORTH IN THE CITY OF FRANKLIN BMP MANUAL LOCATED ON THE CITY'S WEBSITE.



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DESIGN COLLABORATIVE
 DEVELOPMENT PLANNING AND
 LANDSCAPE ARCHITECTURE

GDC **GAMBLE**

**SCOTT HAMILTON
 PROTON THERAPY CENTER**

FRANKLIN, TENNESSEE



DATE	BY	REVISIONS	PER CITY COMMENTS
04/07/2016			

DESIGNED BY: CJM
 DRAWN BY: CJM
 CHECKED BY: RLM
 DATE: 03/14/2016
 KHA PROJECT NO. 118133000

ENLARGED GRADING AND DRAINAGE PLAN

SHEET NUMBER **C3.1**

CDF# 6076

SITE DATA CHART

PROJECT NAME: SCOTT HAMILTON PROTON THERAPY CENTER

COF PROJECT #: 6076
 SUBDIVISION: MEDCORE MEDICAL BLDG
 MAP: MAP # 79
 PARCEL #: 48.04
 LOT: 3

ADDRESS: 4588 CAROTHERS PARKWAY
 CITY: FRANKLIN
 COUNTY: WILLIAMSON
 STATE: TENNESSEE
 CIVIL DISTRICT: 8TH CIVIL DISTRICT

EXISTING ZONING: GENERAL OFFICE DISTRICT
 CHARACTER AREA OVERLAY: McEWEN 5
 OTHER APPLICABLE OVERLAYS: N/A
 DEVELOPMENT STANDARD: CONVENTIONAL
 ACREAGE OF SITE: 11.62 AC
 SQUARE FOOTAGE OF SITE: 506,335 SF

OWNER: MTPC LLC
 1400 DOWELL SPRINGS BLVD #350
 KNOXVILLE, TN 37909

DEVELOPER: PROVISION SOLUTIONS
 ANDY LORENZ
 1400 DOWELL SPRINGS BLVD., SUITE 350
 KNOXVILLE, TN 37909
 (865)321-4701

APPLICANT: KIMLEY-HORN & ASSOCIATES
 Address: 214 OCEANSIDE DRIVE
 NASHVILLE, TN 37204
 Phone: 615-564-2701
 Email: RYAN.MCMASTER@KIMLEY-HORN.COM
 Contact Name: RYAN MCMASTER

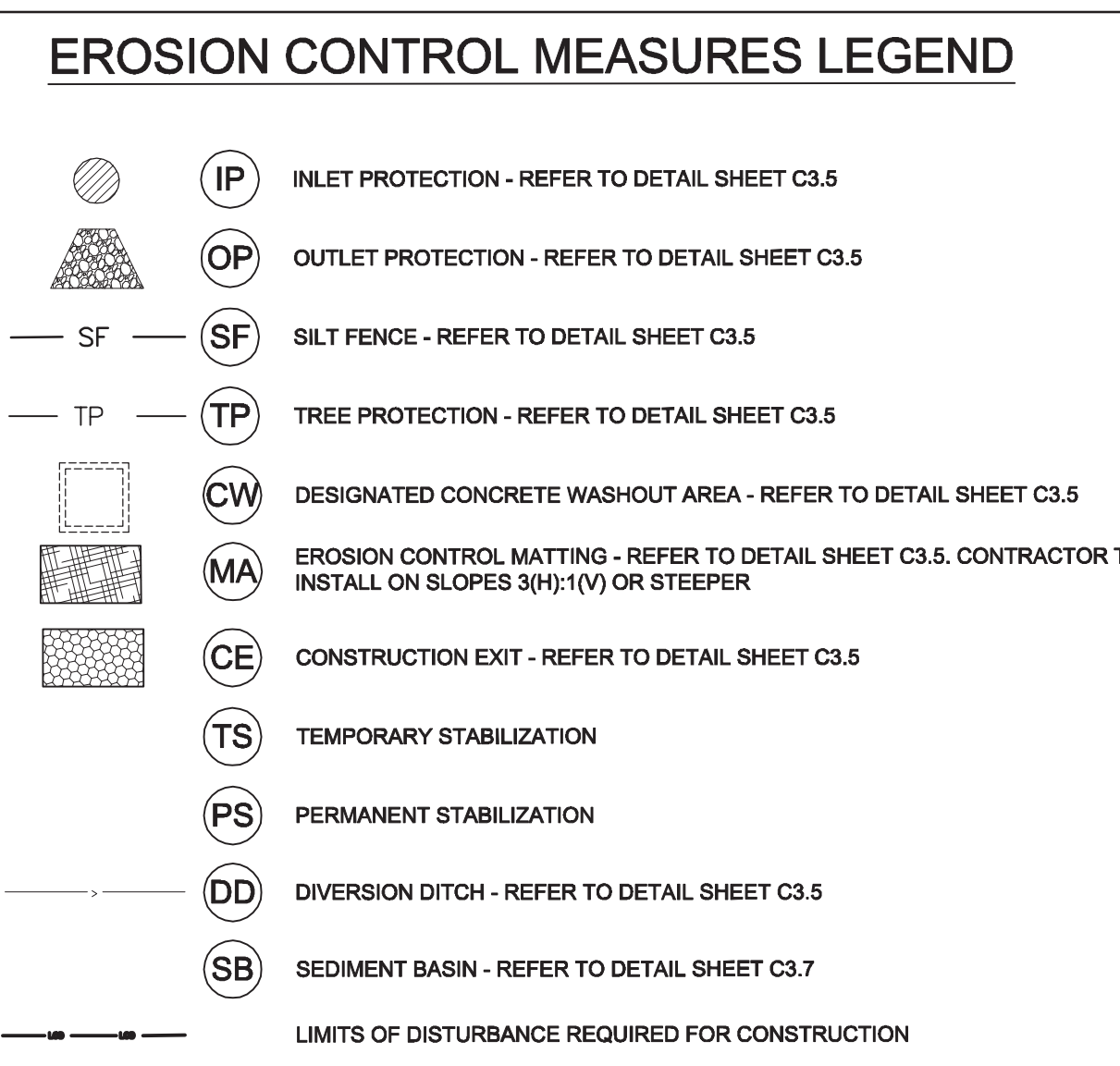
BUILDING SETBACKS: FRONT=50'; SIDE=25'; REAR=40'
 BUILDING SQUARE FOOTAGE: 101,501 SF
 PH. 1 BUILDING AREA: 30,804 SF (2-STORY MEDICAL OFFICE)
 9,647 SF (PROTON VAULT)
 FUTURE BUILDING AREA: ± 61,050 SF (3-STORY MEDICAL OFFICE)

BUILDING HEIGHT: ± 44'
 MINIMUM LANDSCAPE SURFACE RATIO: 0.30 (2.07 AC PHASE 1)
 PROVIDED LANDSCAPE SURFACE RATIO: 0.52 (3.58 AC PHASE 1)
 MINIMUM PARKING REQUIREMENT: N/A
 EXISTING PARKING: N/A
 PARKING PROVIDED: 149 TOTAL SPACES
 145 STANDARD SPACES
 4 ADA SPACES
 0 COMPACT SPACES

EXISTING TREE CANOPY: 9.58 AC EXISTING (82% OF TOTAL SITE)
 TREE CANOPY PRESERVATION REQUIRED: 1.44 AC (15% OF TOTAL SITE)
 TREE CANOPY PRESERVATION PROVIDED: 1.52 AC (16% OF TOTAL SITE)
 PARKLAND(IF APPLICABLE): N/A
 OPEN SPACE REQUIRED: ALL FORMAL - 0.35 AC (5% OF PHASE 1)
 OPEN SPACE PROVIDED: ALL FORMAL - 0.35 AC (5% OF PHASE 1)

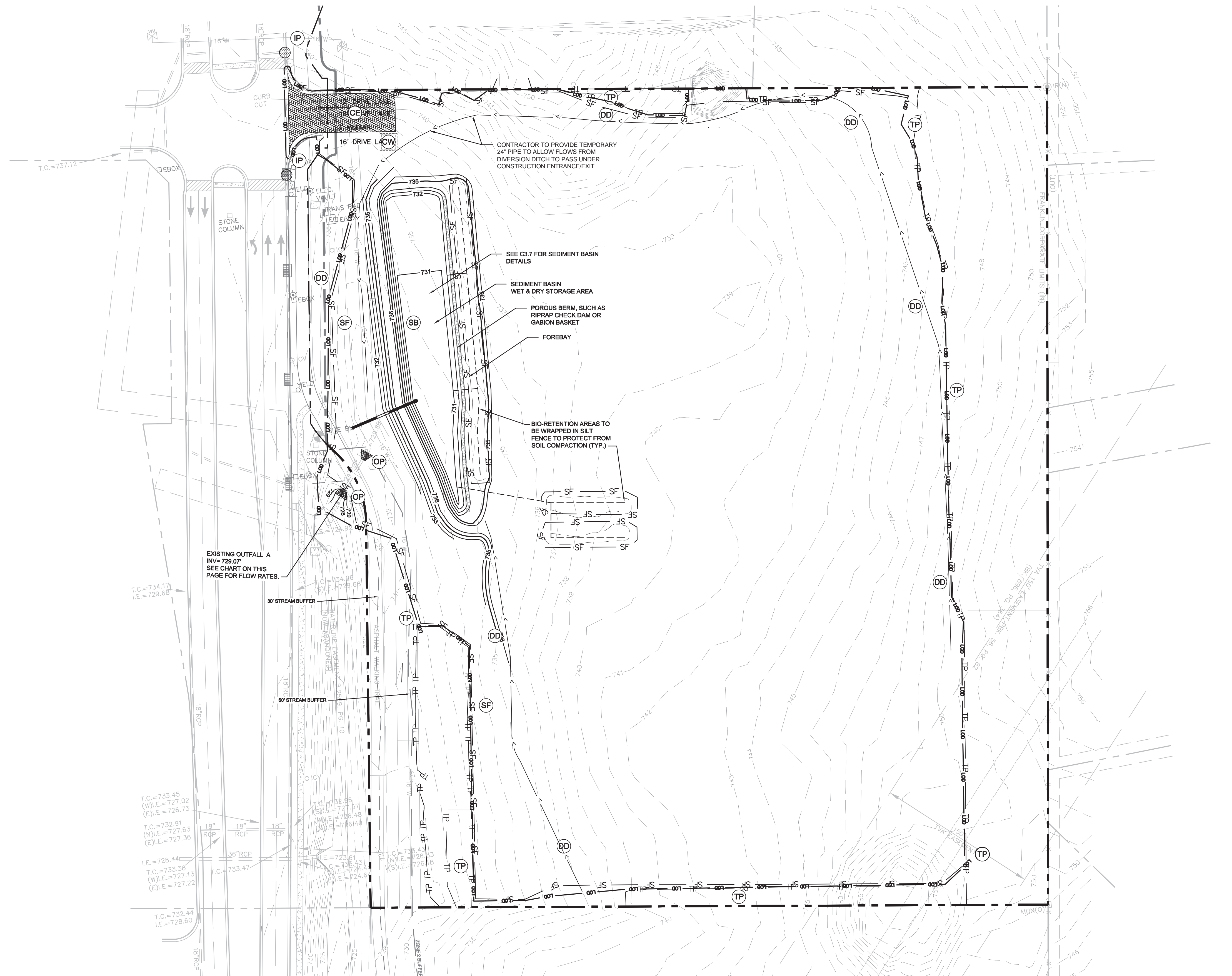
NOTES:

- WITHIN NEW DEVELOPMENTS AND FOR OFF-SITE LINES CONSTRUCTED AS A RESULT OF, OR TO PROVIDE SERVICE TO, THE NEW DEVELOPMENT, ALL UTILITIES, SUCH AS CABLE TELEVISION, ELECTRICAL (EXCLUDING TRANSFORMERS), GAS, SEWER, TELEPHONE, AND WATER LINES SHALL BE PLACED UNDERGROUND.
- THIS SITE PLAN HAS BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE CITY OF FRANKLIN STANDARDS AND THE APPROVAL OF PLANNING COMMISSION. CHANGES SHALL NOT BE MADE TO THE APPROVED SITE PLAN UNLESS APPROVED BY EITHER RELEVANT DEPARTMENT SUPERINTENDENT OR THE PLANNING COMMISSION.
- THE INFORMATION SHOWN ON THIS PLAN IS BASED UPON THE TENNESSEE STATE PLANE COORDINATE SYSTEM, ZONE 5301, FLIPZONE 4100 AND NAD 83 DATUM.
- BASE INFORMATION WAS TAKEN FROM A TOPOGRAPHIC SURVEY PREPARED BY LITTLEJOHN, DATED MARCH 23, 2015. KIMLEY-HORN AND ASSOCIATES SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF THE BASE INFORMATION SHOWN.
- THE CONSULTANT HAS FOUND NO EVIDENCE OF THE MINERAL RIGHTS OF THIS PROPERTY BEING TRANSFERRED TO ANY PARTY OTHER THAN THE OWNER.
- THIS PROJECT DOES NOT PROPOSE FILL WITHIN THE EXISTING FLOODPLAIN. NO BUILDINGS IN THIS PROJECT FALL WITHIN THE 100 YEAR FLOODPLAIN, PER THE FEMA FIRM MAP NUMBER 47187C0212F, DATED SEPTEMBER 29, 2006



SITE EROSION CONTROL NOTES:

- SEE SHEETS C3.1 AND C3.2 FOR GENERAL AND SPECIAL NOTES REGARDING DEMOLITION, CONSTRUCTION, AND EROSION PREVENTION AND SEDIMENT CONTROL.
- SEE SHEET C3.5 FOR ADDITIONAL EROSION CONTROL NOTES AND DETAILS.
- THE EPSC MEASURES USED AT THIS SITE ARE DESIGNED TO CONTROL THE STORM RUNOFF GENERATED BY A 5-YR, 24-HOUR STORM EVENT.
- HERE SHALL BE NO MOVING, CLEARING, GRADING, CONSTRUCTION, STORAGE, OR DISTURBANCE OF VEGETATION IN RIPARIAN BUFFERS EXCEPT AS PERMITTED BY THE CITY ENGINEER, OR HIS DESIGNEE.



BIORETENTION CELL OR WATER QUALITY SWALE CONSTRUCTION SEQUENCING

- CONTRACTOR IS TO PROVIDE METHOD OF DIVERTING RUNOFF FLOW AROUND THE CONSTRUCTION OF THE BIORETENTION AREA DURING PERIODS OF RAINFALL TO ENSURE SEDIMENT DOES NOT ENTER BIORETENTION AREA.
- EXCAVATE BIORETENTION AREA, EXCAVATORS OR BACKHOES SHOULD WORK FROM THE SIDES TO EXCAVATE THE BIORETENTION AREA TO THE DESIGN DEPTH AND DIMENSIONS. EXCAVATING EQUIPMENT SHOULD HAVE SCOPES WITH ADEQUATE REACH SO THEY DO NOT SIT INSIDE THE FOOTPRINT OF THE BIORETENTION AREA.
- SCARIFY SUBGRADE BY RIPPING THE BOTTOM SOILS TO A DEPTH OF 12 INCHES PRIOR TO STONE PLACEMENT.
- CALL CITY OF FRANKLIN INSPECTOR FOR INSPECTION 615-791-3216.
- INSTALL WASHED STONE LAYER, INSTALL UNDERDRAIN PIPES AND CONNECT TO THE OUTLET STRUCTURE. INSTALL ADDITIONAL STONE ON THE UNDERDRAIN PIPES AS PER THE BIORETENTION SECTION DETAIL. CONTRACTOR TO FLAG THE UNDERDRAIN LOCATIONS (8 FT EACH SIDE) AS THE ADDITIONAL SECTIONS ARE BEING INSTALLED. A SMALL BOBCAT LOADER IS TO BE USED FOR PLACEMENT OF ADDITIONAL SECTIONS AND IS TO AVOID ACCESSING THE AREAS OF THE UNDERDRAIN PIPE INSTALLATION TO PREVENT DAMAGE TO THE PERFORATED PIPE.
- INSTALL PERMEABLE GEOTEXTILE FABRIC.
- DELIVER THE SOIL MEDIA IN 12" LIFTS UNTIL THE DESIRED TOP ELEVATION IS ACHIEVED. WAIT A FEW DAYS TO CHECK FOR SETTLEMENT AND ADD ADDITIONAL MEDIA AS NEEDED TO ACHIEVE THE DESIGN ELEVATIONS. DO NOT COMPACT WITH EQUIPMENT.
- PREPARE PLANTING HOLES FOR ANY TREES AND SHRUBS. INSTALL THE VEGETATION AND WATER ACCORDINGLY.
- INSTALL SPECIFIED GROUNDCOVER IN BOTTOM OF BIORETENTION AREA.
- SOIL SLOPES.
- CONTRACTOR TO FLAG LIMITS OF BIORETENTION BASIN FOR SURVEY TO LOCATE AND SHOW ON ASBUILT PLANS.

WATER QUALITY BMP NOTES:

WATER QUALITY BMPs SHALL NOT BE INSTALLED UNTIL BUILD OUT IS NEAR COMPLETION TO PREVENT CONSTRUCTION SEDIMENT FROM ENTERING WATER QUALITY BMPs. WATER QUALITY AREAS SHALL NOT BE USED AS SEDIMENT BASINS DURING CONSTRUCTION. INSTALLERS OF WATER QUALITY BMPs SHOULD FOLLOW ALL INSTALLATION GUIDELINES SET FORTH IN THE CITY OF FRANKLIN BMP MANUAL LOCATED ON THE CITY'S WEBSITE.

EPSC PHASE 1 CONSTRUCTION SEQUENCE:

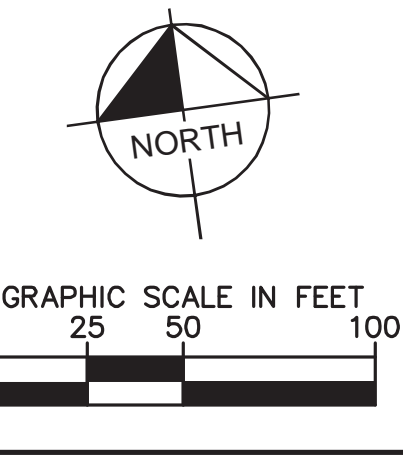
- INSTALL CONSTRUCTION ENTRANCE/EXIT AND CONCRETE WASHOUT.
- INSTALL SILT FENCE AND TREE PROTECTION.
- INSTALL SEDIMENT BASIN.
- CONTRACTOR TO CONTACT ENGINEERING DEPARTMENT TO OBTAIN STORMWATER PERMIT. THE CONTRACTOR SHALL CONTACT APPROPRIATE PARTY FOR INSPECTION OF EROSION CONTROL DEVICES AND TO OBTAIN FULL GRADING PERMIT.

EPSC GENERAL NOTES:

- SEDIMENT SHALL BE REMOVED FROM SILT FENCE WHEN REACHES 1/3 THE HEIGHT OF THE FENCE. SEDIMENT SHALL BE REMOVED FROM ALL OTHER EPSC MEASURES AND CONTROL AS RECOMMENDED IN THE TNERSC HANDBOOK AND MUST BE REMOVED WHEN DESIGN CAPACITY HAS BEEN REDUCED BY 50%.
- EPSCs SHALL BE IMPLEMENTED BEFORE EARTH-MOVING BEGINS.
- AREAS WHERE CONSTRUCTION HAS TEMPORARILY PERMANENTLY CEASED SHALL BE STABILIZED WITHIN 15 DAYS (7 DAYS FOR 25% SLOPES).
- INSPECTIONS OF OUTFALL/EPSC MEASURES SHALL BE CONDUCTED AT LEAST TWICE WEEKLY AND AT LEAST 72 HOURS APART.
- VEGETATION, EPSCs & OTHER PROTECTIVE MEASURES SHALL BE REPAIRED, REPLACED, OR MODIFIED WITHIN 7 DAYS OF BEING NOTIFIED OF AN ISSUE.
- CONSTRUCTION SHALL BE PHASED FOR ACTIVITIES THAT WILL DISTURB >50 ACRES.
- EPSCs SHALL BE DESIGNED TO CONTROL THE RAINFALL AND RUNOFF FROM A 5-YEAR, 24-HOUR RETURN INTERVAL STORM.
- TEMPORARY SEDIMENT BASINS SHALL BE PROVIDED FOR ON-SITE OUTFALLS THAT RECEIVE DRAINAGE FROM >10 ACRES.
- GREEN INFRASTRUCTURE BMPs SHALL BE PROTECTED DURING SITE WORK, WITH SILT FENCE, TO PREVENT SEDIMENTATION AND COMPACTION.

PROPOSED OUTFALL A GRADING AND DRAINAGE CHART

	ON-SITE	OFFSITE	TOTAL
TOTAL AREA	11.62	12.03	23.65
IMPERVIOUS AREA	2.67	0.38	3.05
DISTURBED AREA	9.02	0	9.02
RV VALUE	0.195	N/A	0.195
2-YEAR STORM FLOW RATE	3.86 CFS	22.37 CFS	26.23 CFS
5-YEAR STORM FLOW RATE	7.95 CFS	25.9 CFS	33.86 CFS
10-YEAR STORM FLOW RATE	11.22 CFS	28.79 CFS	40.01 CFS
25-YEAR STORM FLOW RATE	15.44 CFS	32.38 CFS	47.82 CFS
50-YEAR STORM FLOW RATE	18.41 CFS	35.28 CFS	53.69 CFS
100-YEAR STORM FLOW RATE	22.22 CFS	37.6 CFS	59.82 CFS



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GDC

GAMBLE
DESIGN COLLABORATIVE
DEVELOPMENT PLANNING AND
LANDSCAPE ARCHITECTURE

**SCOTT HAMILTON
PROTON THERAPY CENTER**

FRANKLIN, TENNESSEE

NO.	DATE	BY	REVISIONS PER CITY COMMENTS
1	04/07/2016		

DESIGNED BY: CJM
 DRAWN BY: CJM
 CHECKED BY: RLM
 DATE: 03/14/2016
 KHA PROJECT NO. 118133000

INITIAL EPSC / PRE CONSTRUCTION PLAN

SHEET NUMBER
C3.2

C3P# 6076

SITE DATA CHART

PROJECT NAME: SCOTT HAMILTON PROTON THERAPY CENTER

COF PROJECT #: 6076
 SUBDIVISION: MEDCORE MEDICAL BLDG
 MAP: MAP # 79
 PARCEL #: 48.04
 LOT: 3

ADDRESS: 4588 CAROTHERS PARKWAY
 CITY: FRANKLIN
 COUNTY: WILLIAMSON
 STATE: TENNESSEE
 CIVIL DISTRICT: 8TH CIVIL DISTRICT

EXISTING ZONING: GENERAL OFFICE DISTRICT
 CHARACTER AREA OVERLAY: McEWEN 5
 OTHER APPLICABLE OVERLAYS: N/A
 DEVELOPMENT STANDARD: CONVENTIONAL
 ACREAGE OF SITE: 11.62 AC
 SQUARE FOOTAGE OF SITE: 506,335 SF

OWNER: MTPC LLC
 1400 DOWELL SPRINGS BLVD #350
 KNOXVILLE, TN 37909

DEVELOPER: PROVISION SOLUTIONS
 ANDY LORENZ
 1400 DOWELL SPRINGS BLVD., SUITE 350
 KNOXVILLE, TN 37909
 (865)321-4701

APPLICANT: KIMLEY-HORN & ASSOCIATES
 Address: 214 OCEANSIDE DRIVE
 NASHVILLE, TN 37204
 615-564-2701
 Email: RYAN.MCMASTER@KIMLEY-HORN.COM
 Contact Name: RYAN MCMASTER

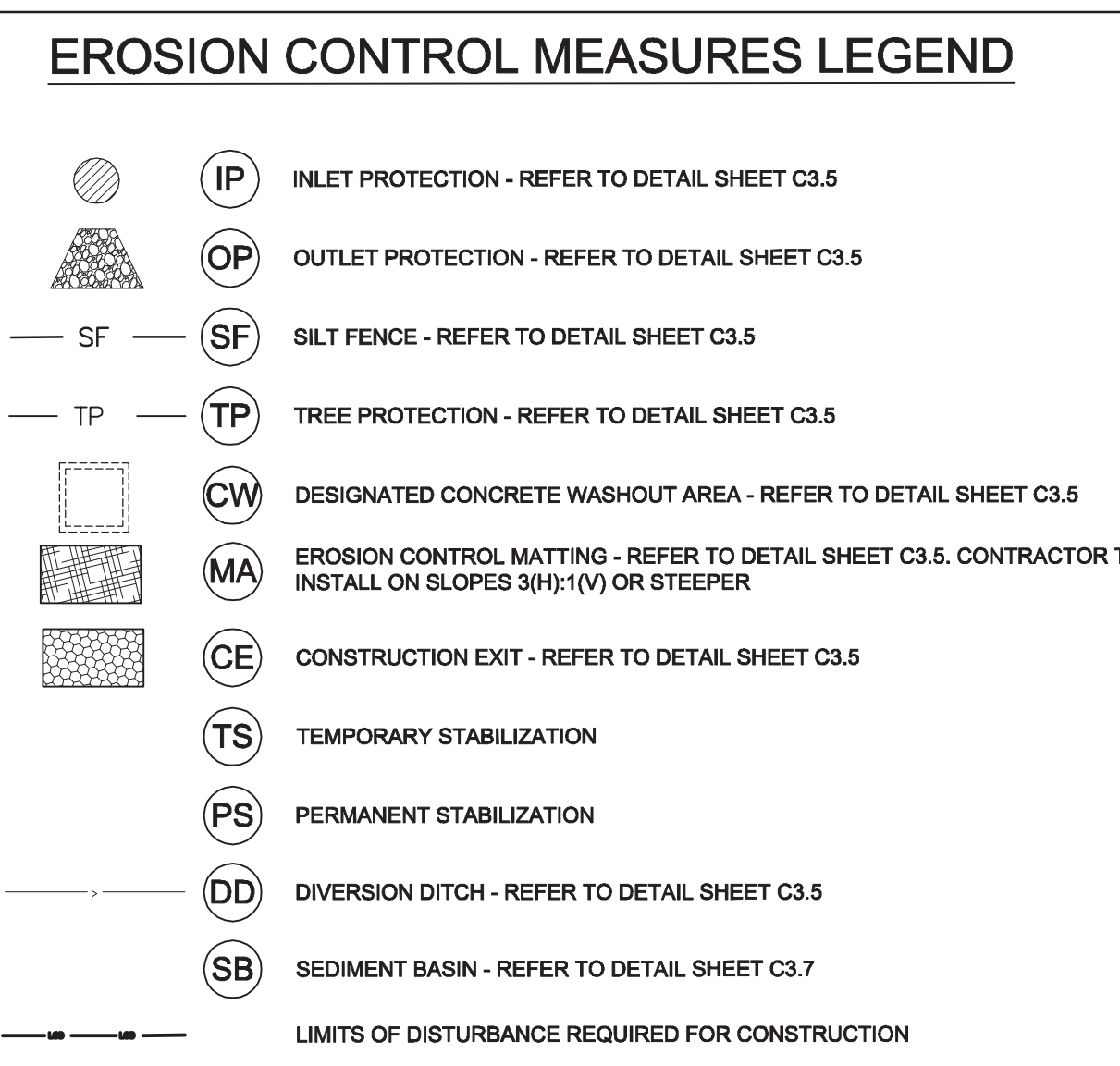
BUILDING SETBACKS: FRONT=50'; SIDE=25'; REAR=40'
 BUILDING SQUARE FOOTAGE: 30,804 SF (2-STORY MEDICAL OFFICE)
 PH. 1 BUILDING AREA: 9,647 SF (PROTON VAULT)
 FUTURE BUILDING AREA: ± 61,050 SF (3-STORY MEDICAL OFFICE)

BUILDING HEIGHT: ± 44'
 MINIMUM LANDSCAPE SURFACE RATIO: 0.30 (2.07 AC PHASE 1)
 PROVIDED LANDSCAPE SURFACE RATIO: 0.52 (3.58 AC PHASE 1)
 MINIMUM PARKING REQUIREMENT: N/A
 EXISTING PARKING: 145 STANDARD SPACES
 PARKING PROVIDED: 149 TOTAL SPACES
 4 ADA SPACES
 0 COMPACT SPACES

EXISTING TREE CANOPY: 9.58 AC EXISTING (82% OF TOTAL SITE)
 TREE CANOPY PRESERVATION REQUIRED: 1.44 AC (15% OF TOTAL SITE)
 TREE CANOPY PRESERVATION PROVIDED: 1.52 AC (16% OF TOTAL SITE)
 PARKLAND(IF APPLICABLE): N/A
 OPEN SPACE REQUIRED: ALL FORMAL - 0.35 AC (5% OF PHASE 1)
 OPEN SPACE PROVIDED: ALL FORMAL - 0.35 AC (5% OF PHASE 1)

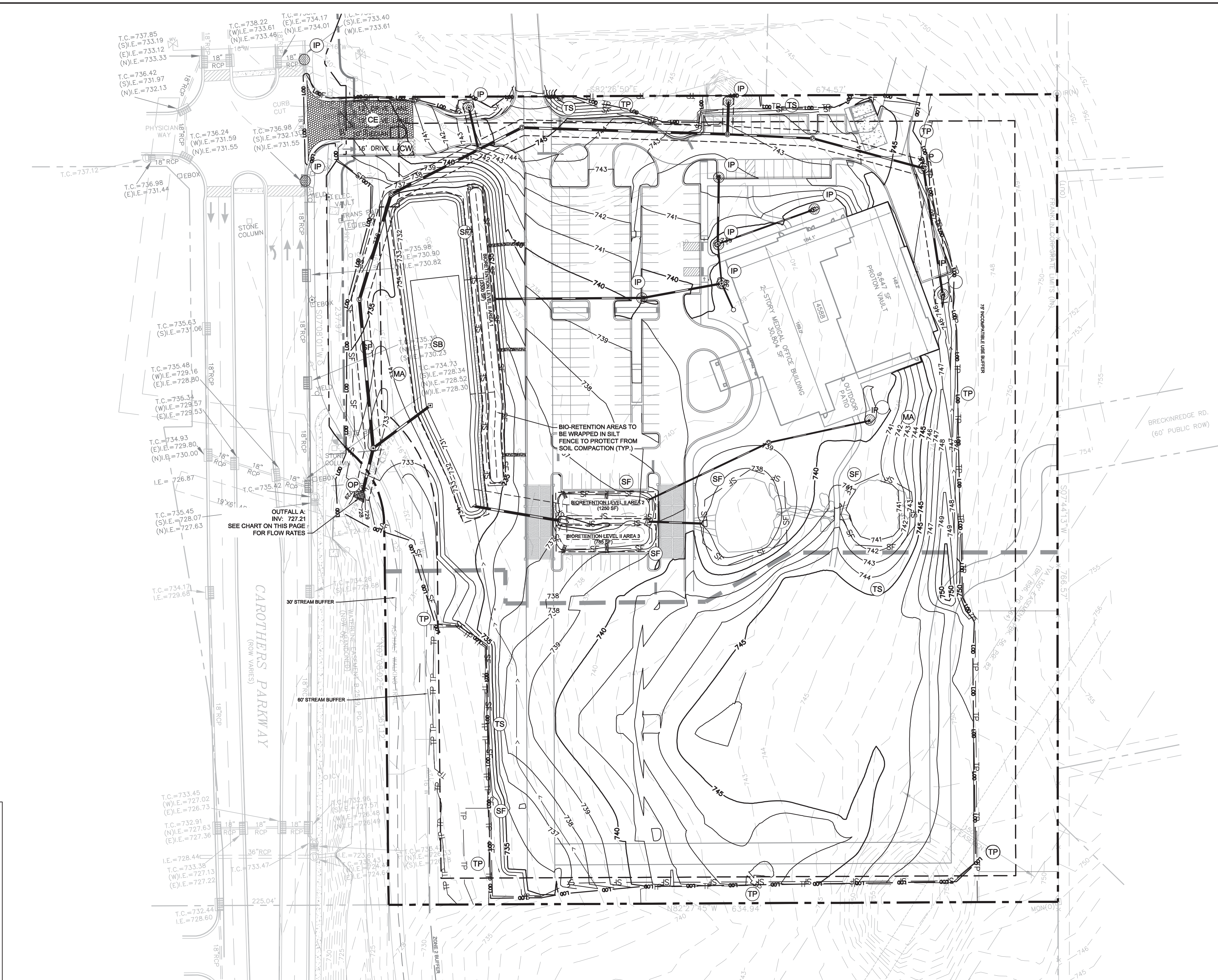
NOTES:

- WITHIN NEW DEVELOPMENTS AND FOR OFF-SITE LINES CONSTRUCTED AS A RESULT OF, OR TO PROVIDE SERVICE TO, THE NEW DEVELOPMENT, ALL UTILITIES, SUCH AS CABLE TELEVISION, ELECTRICAL (EXCLUDING TRANSFORMERS), GAS, SEWER, TELEPHONE, AND WATER LINES SHALL BE PLACED UNDERGROUND.
- THIS SITE PLAN HAS BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE CITY OF FRANKLIN STANDARDS AND THE APPROVAL OF PLANNING COMMISSION. CHANGES SHALL NOT BE MADE TO THE APPROVED SITE PLAN UNLESS APPROVED BY EITHER RELEVANT DEPARTMENT SUPERINTENDENT OR THE PLANNING COMMISSION.
- THE INFORMATION SHOWN ON THIS PLAN IS BASED UPON THE TENNESSEE STATE PLANE COORDINATE SYSTEM, ZONE 5301, FLIPZONE 4100 AND NAD 83 DATUM.
- BASE INFORMATION WAS TAKEN FROM A TOPOGRAPHIC SURVEY PREPARED BY LITTLEJOHN, DATED MARCH 23, 2015. KIMLEY-HORN AND ASSOCIATES SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF THE BASE INFORMATION SHOWN.
- THE CONSULTANT HAS FOUND NO EVIDENCE OF THE MINERAL RIGHTS OF THIS PROPERTY BEING TRANSFERRED TO ANY PARTY OTHER THAN THE OWNER.
- THIS PROJECT DOES NOT PROPOSE FILL WITHIN THE EXISTING FLOODPLAIN, NO BUILDINGS IN THIS PROJECT FALL WITHIN THE 100 YEAR FLOODPLAIN, PER THE FEMA FIRM MAP NUMBER 47187C0212F, DATED SEPTEMBER 29, 2006



SITE EROSION CONTROL NOTES:

- SEE SHEETS C3.1 AND C3.2 FOR GENERAL AND SPECIAL NOTES REGARDING DEMOLITION, CONSTRUCTION, AND EROSION PREVENTION AND SEDIMENT CONTROL.
- SEE SHEET C3.5 FOR ADDITIONAL EROSION CONTROL NOTES AND DETAILS.
- THE EPSC MEASURES USED AT THIS SITE ARE DESIGNED TO CONTROL THE STORM RUNOFF GENERATED BY A 5-YR, 24-HOUR STORM EVENT.
- THERE SHALL BE NO MOVING, CLEARING, GRADING, CONSTRUCTION, STORAGE, OR DISTURBANCE OF VEGETATION IN RIPARIAN BUFFERS EXCEPT AS PERMITTED BY THE CITY ENGINEER, OR HIS DESIGNEE.



BIORETENTION CELL OR WATER QUALITY SWALE CONSTRUCTION SEQUENCING

- CONTRACTOR IS TO PROVIDE METHOD OF DIVERTING RUNOFF FLOW AROUND THE CONSTRUCTION OF THE BIORETENTION AREA DURING PERIODS OF RAINFALL TO ENSURE SEDIMENT DOES NOT ENTER BIORETENTION AREA
- EXCAVATE BIORETENTION AREA. EXCAVATORS OR BACKHOES SHOULD WORK FROM THE SIDES TO EXCAVATE THE BIORETENTION AREA TO THE DESIGN DEPTH AND DIMENSIONS. EXCAVATING EQUIPMENT SHOULD HAVE SCOPERS WITH ADEQUATE REACH SO THEY DO NOT SIT INSIDE THE FOOTPRINT OF THE BIORETENTION AREA
- SCARIFY SURGRADE BY RIPPING THE BOTTOM SOILS TO A DEPTH OF 12 INCHES PRIOR TO STONE PLACEMENT
- CALL CITY OF FRANKLIN INSPECTOR FOR INSPECTION 615-791-3218
- INSTALL ADDITIONAL STONE ON THE UNDERDRAIN PIPES AS PER THE BIORETENTION SECTION DETAIL
- CONTRACTOR TO FLAG THE UNDERDRAIN LOCATIONS (3 FT EACH SIDE) AS THE ADDITIONAL SECTIONS ARE BEING INSTALLED. A SMALL BOBCAT LOADER IS TO BE USED FOR PLACEMENT OF ADDITIONAL SECTIONS AND IS TO AVOID ACCESSING THE AREAS OF THE UNDERDRAIN PIPE INSTALLATION TO PREVENT DAMAGE TO THE PERFORATED PIPE
- INSTALL PERMEABLE GEOTEXTILE FABRIC
- DELIVER THE SOIL MEDIA AND STORE IT ON PLASTIC SHEETING WITH THE APPROPRIATE EROSION CONTROL MEASURES ON THE DOWNHILL AND BIORETENTION SIDES
- CALL CITY OF FRANKLIN INSPECTOR FOR INSPECTION 615-791-3218
- INSTALL THE SOIL MEDIA IN 12" LIFT UP UNTIL THE DESIRED TOP ELEVATION IS ACHIEVED. WAIT A FEW DAYS TO CHECK FOR SETTLEMENT AND ADD ADDITIONAL MEDIA AS NEEDED TO ACHIEVE THE DESIGN ELEVATIONS. DO NOT COMPACT WITH EQUIPMENT
- PREPARE PLANTING HOLES FOR ANY TREES AND SHRUBS. INSTALL THE VEGETATION AND WATER ACCORDINGLY
- INSTALL SPECIFIED GROUNDCOVER IN BOTTOM OF BIORETENTION AREA
- SOO SLOPES
- CONTRACTOR TO FLAG LIMITS OF BIORETENTION BASIN FOR SURVEY TO LOCATE AND SHOW ON ASBLUIT PLANS.

WATER QUALITY BMP NOTES:

- WATER QUALITY BMP'S SHALL NOT BE INSTALLED UNTIL BUILD OUT IS NEAR COMPLETION TO PREVENT CONSTRUCTION SEDIMENT FROM ENTERING WATER QUALITY BMP'S. WATER QUALITY AREAS SHALL NOT BE USED AS SEDIMENT BASINS DURING CONSTRUCTION. INSTALLERS OF WATER QUALITY BMP'S SHOULD FOLLOW ALL INSTALLATION GUIDELINES SET FORTH IN THE CITY OF FRANKLIN BMP MANUAL LOCATED ON THE CITY'S WEBSITE
- CONTRACTOR SHALL PROVIDE NECESSARY PROTECTION FOR ALL GPS FROM COMPACTON.
- SEDIMENT BASIN NOT REQUIRED BECAUSE OF DRAINAGE AREA BEING LESS THAN 10 ACRES. (8.49 ACRES)

EPSC PHASE 2 CONSTRUCTION SEQUENCE:

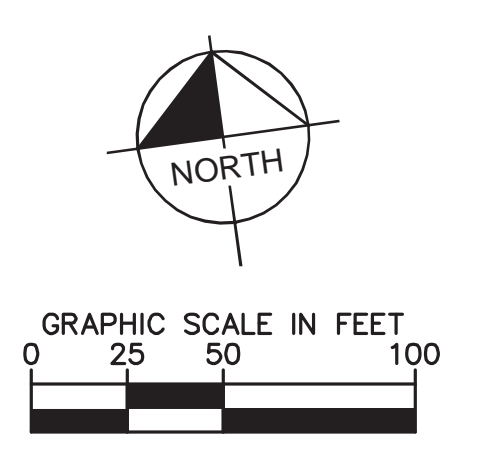
- CONTRACTOR TO BEGIN CLEARING, GRUBBING AND EXCAVATING
- INSTALL PROPOSED UTILITIES INCLUDING PROPOSED INLETS WITH PROTECTION
- CLEAR, GRUB, AND GRADE REMAINING SITE
- CONSTRUCT REMAINING SITE ACCORDING TO THE APPROVED PLANS, OR AS INSTRUCTED BY THE EROSION CONTROL INSPECTOR.

EPSC GENERAL NOTES:

- SEDIMENT SHALL BE REMOVED FROM SILT FENCE WHEN REACHES 1/3 THE HEIGHT OF THE FENCE. SEDIMENT SHALL BE REMOVED FROM ALL OTHER EPSC MEASURES AND CONTROL AS RECOMMENDED IN THE EPSC HANDBOOK, AND MUST BE REMOVED WHEN DESIGN CAPACITY HAS BEEN REDUCED BY 50%
- EPSC'S SHALL BE IMPLEMENTED BEFORE EARTHMOVING BEGINS.
- AREAS WHERE CONSTRUCTION HAS TEMPORARILY/PERMANENTLY CEASED SHALL BE STABILIZED WITHIN 15 DAYS (7 DAYS FOR 23% SLOPES).
- INSPECTIONS OF OUTFALLS/EPSC MEASURES SHALL BE CONDUCTED AT LEAST TWICE WEEKLY AND AT LEAST 72 HOURS APART.
- VEGETATION, EPSC'S & OTHER PROTECTIVE MEASURES SHALL BE REPAIRED, REPLACED, OR MODIFIED WITHIN 7 DAYS OF BEING NOTIFIED OF AN ISSUE.
- CONSTRUCTION SHALL BE PHASED FOR ACTIVITIES THAT WILL DISTURB >50 ACRES.
- EPSC'S SHALL BE DESIGNED TO CONTROL THE RAINFALL AND RUNOFF FROM A 5-YEAR, 24-HOUR RETURN INTERVAL STORM.
- TEMPORARY SEDIMENT BASIN(S) SHALL BE PROVIDED FOR ON-SITE OUTFALLS THAT RECEIVE DRAINAGE FROM >10 ACRES.
- GREEN INFRASTRUCTURE BMP'S SHALL BE PROTECTED DURING SITE WORK, WITH SILT FENCE, TO PREVENT SEDIMENTATION AND COMPACTION.

PROPOSED OUTFALL A GRADING AND DRAINAGE CHART

	ON-SITE	OFFSITE	TOTAL
TOTAL AREA	11.62	12.03	23.65
IMPERVIOUS AREA	2.67	0.38	3.05
DISTURBED AREA	9.02	0	9.02
RV VALUE	0.195	N/A	0.195
2-YEAR STORM FLOW RATE	3.86 CFS	22.37 CFS	26.23 CFS
5-YEAR STORM FLOW RATE	7.95 CFS	25.9 CFS	33.86 CFS
10-YEAR STORM FLOW RATE	11.22 CFS	28.79 CFS	40.01 CFS
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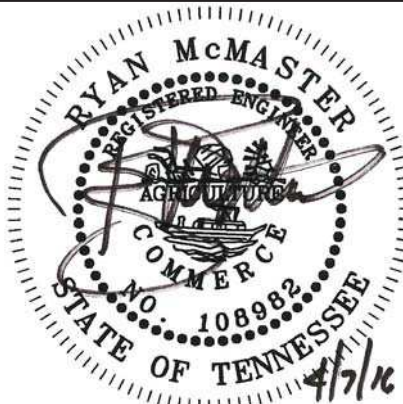
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 LANDSCAPE ARCHITECTURE

GDC

**SCOTT HAMILTON
 PROTON THERAPY CENTER**

FRANKLIN, TENNESSEE



NO.	DATE	BY	REVISIONS PER CITY COMMENTS
1	04/07/2016		

DESIGNED BY: CJM
 DRAWN BY: CJM
 CHECKED BY: RLM
 DATE: 03/14/2016
 KHA PROJECT NO. 118133000

INTERIM EPSC / CONSTRUCTION PLAN

SHEET NUMBER
C3.3
 CCF# 6076

SITE DATA CHART

PROJECT NAME: SCOTT HAMILTON PROTON THERAPY CENTER

COF PROJECT #: 6076
 SUBDIVISION: MEDCORE MEDICAL BLDG
 MAP: # 79
 PARCEL #: 48.04
 LOT: 3

ADDRESS: 4588 CAROTHERS PARKWAY
 CITY: FRANKLIN
 COUNTY: WILLIAMSON
 STATE: TENNESSEE
 CIVIL DISTRICT: 8TH CIVIL DISTRICT

EXISTING ZONING: GENERAL OFFICE DISTRICT
 CHARACTER AREA OVERLAY: MCEWEN 5
 OTHER APPLICABLE OVERLAYS: N/A
 DEVELOPMENT STANDARD: CONVENTIONAL
 ACREAGE OF SITE: 11.62 AC
 SQUARE FOOTAGE OF SITE: 506,335 SF

OWNER: MTPC LLC
 1400 DOWELL SPRINGS BLVD #350
 KNOXVILLE, TN 37909

DEVELOPER: PROVISION SOLUTIONS
 ANDY LORENZ
 1400 DOWELL SPRINGS BLVD., SUITE 350
 KNOXVILLE, TN 37909
 (865)321-4701

APPLICANT: KIMLEY-HORN & ASSOCIATES
 Address: 214 OCEANSIDE DRIVE
 NASHVILLE, TN 37204
 615-564-2701
 Email: RYAN.MCMASTER@KIMLEY-HORN.COM
 Contact Name: RYAN MCMASTER

BUILDING SETBACKS: FRONT=50'; SIDE=25'; REAR=40';
 BUILDING SQUARE FOOTAGE: 101,501 SF
 PH 1 BUILDING AREA: 30,804 SF (2-STORY MEDICAL OFFICE)
 9,647 SF (PROTON VAULT)
 FUTURE BUILDING AREA: ± 61,050 SF (3-STORY MEDICAL OFFICE)

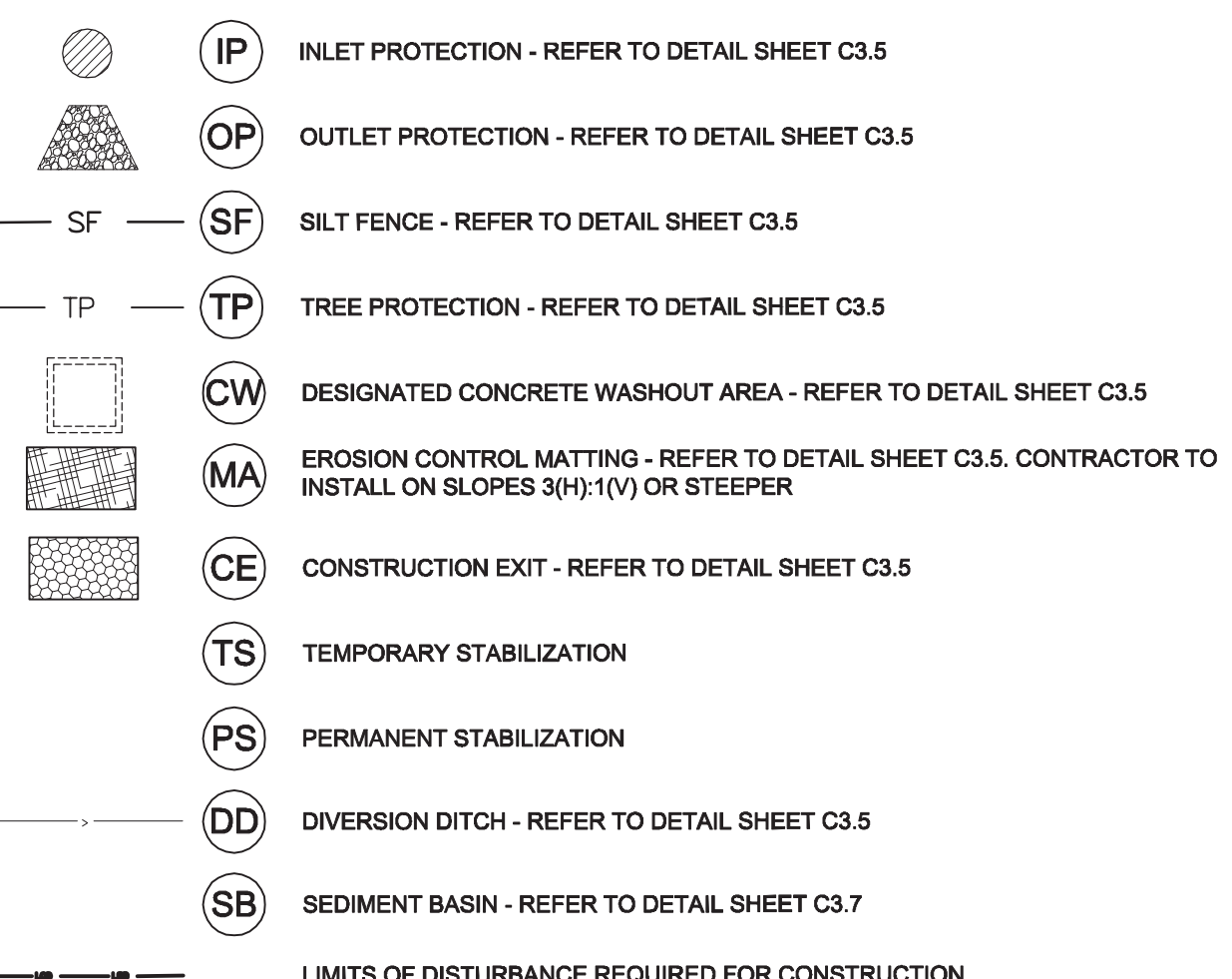
BUILDING HEIGHT: ± 44'
 MINIMUM LANDSCAPE SURFACE RATIO: 0.30 (2.07 AC PHASE 1)
 PROVIDED LANDSCAPE SURFACE RATIO: 0.52 (3.58 AC PHASE 1)
 MINIMUM PARKING REQUIREMENT: N/A
 EXISTING PARKING: N/A
 PARKING PROVIDED: 149 TOTAL SPACES
 4 ADA SPACES
 0 COMPACT SPACES

EXISTING TREE CANOPY: 9.58 AC EXISTING (82% OF TOTAL SITE)
 TREE CANOPY PRESERVATION REQUIRED: 1.44 AC (15% OF TOTAL SITE)
 TREE CANOPY PRESERVATION PROVIDED: 1.52 AC (16% OF TOTAL SITE)
 PARKLAND(IF APPLICABLE): N/A
 OPEN SPACE REQUIRED: ALL FORMAL - 0.35 AC (5% OF PHASE 1)
 OPEN SPACE PROVIDED: ALL FORMAL - 0.35 AC (5% OF PHASE 1)

NOTES:

- WITHIN NEW DEVELOPMENTS AND FOR OFF-SITE LINES CONSTRUCTED AS A RESULT OF, OR TO PROVIDE SERVICE TO, THE NEW DEVELOPMENT, ALL UTILITIES, SUCH AS CABLE TELEVISION, ELECTRICAL (EXCLUDING TRANSFORMERS), GAS, SEWER, TELEPHONE, AND WATER LINES SHALL BE PLACED UNDERGROUND.
- THIS SITE PLAN HAS BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE CITY OF FRANKLIN STANDARDS AND THE APPROVAL OF PLANNING COMMISSION. CHANGES SHALL NOT BE MADE TO THE APPROVED SITE PLAN UNLESS APPROVED BY EITHER RELEVANT DEPARTMENT SUPERINTENDENT OR THE PLANNING COMMISSION.
- THE INFORMATION SHOWN ON THIS PLAN IS BASED UPON THE TENNESSEE STATE PLANE COORDINATE SYSTEM, ZONE 5301, FLUZZONE 4100 AND NAVD 83 DATUM. BASE INFORMATION WAS TAKEN FROM A TOPOGRAPHIC SURVEY PREPARED BY LITTLEJOHN, DATED MARCH 23, 2015. KIMLEY-HORN AND ASSOCIATES SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF THE BASE INFORMATION SHOWN.
- THE CONSULTANT HAS FOUND NO EVIDENCE OF THE MINERAL RIGHTS OF THIS PROPERTY BEING TRANSFERRED TO ANY PARTY OTHER THAN THE OWNER.
- THIS PROJECT DOES NOT PROPOSE FILL WITHIN THE EXISTING FLOODPLAIN. NO BUILDINGS IN THIS PROJECT FALL WITHIN THE 100 YEAR FLOODPLAIN, PER THE FEMA FIRM MAP NUMBER 47187C0212F, DATED SEPTEMBER 29, 2006

EROSION CONTROL MEASURES LEGEND



SITE EROSION CONTROL NOTES:

- SEE SHEETS C0.1 AND C0.2 FOR GENERAL AND SPECIAL NOTES REGARDING DEMOLITION, CONSTRUCTION, AND EROSION PREVENTION AND SEDIMENT CONTROL.
- SEE SHEET C3.5 FOR ADDITIONAL EROSION CONTROL NOTES AND DETAILS.
- THE EPSC MEASURES SHOWN AT THIS SITE ARE DESIGNED TO CONTROL THE STORM RUNOFF GENERATED BY A 5-YR, 24-HOUR STORM EVENT
- THERE SHALL BE NO MOWING, CLEARING, GRADING, CONSTRUCTION, STORAGE, OR DISTURBANCE OF VEGETATION IN RIPARIAN BUFFERS EXCEPT AS PERMITTED BY THE CITY ENGINEER, OR HIS DESIGNEE

EPSC PHASE 3 CONSTRUCTION SEQUENCE:

- PERMANENTLY STABILIZE SITE
- UPON PERMANENT SITE STABILIZATION, REMOVE SILT FENCE, TREE PROTECTION, AND ALL OTHER TEMPORARY EROSION CONTROL DEVICES.
- REMOVE SEDIMENT FROM SEDIMENT BASIN AND CONVERT TO DETENTION POND, AS SHOWN ON THESE PLANS
- FINISH INSTALLING PERMANENT STORMWATER BMP'S SHOWN ON THIS PLAN PER THE CITY OF FRANKLIN BMP MANUAL.

WATER QUALITY

STORMWATER WATER QUALITY REQUIREMENTS ARE LISTED IN THE CITY OF FRANKLIN BMP MANUAL. BIORETENTION AREAS ARE BEING USED TO INFILTRATE, EVAPORATE, AND TRANSPIRATE THE FIRST INCH OF RAINFALL RUNOFF, RESULTING IN A COMPOSITE RUNOFF REDUCTION COEFFICIENT OF LESS THAN 0.2

WATER QUALITY SIGNS SHALL BE PLACED WITHIN THE WATER QUALITY AREAS. THE SIGNS, MATERIALS, AND LABOR TO INSTALL WILL BE PROVIDED BY CITY STAFF. THESE SIGNS WILL BE BY 12" MOUNTED ON GALVANIZED POST. THEY WILL PROVIDE IDENTIFICATION, EDUCATION, AND MAINTENANCE REMINDERS TO THE OWNER OF THE WATER QUALITY FEATURES ON SITE.

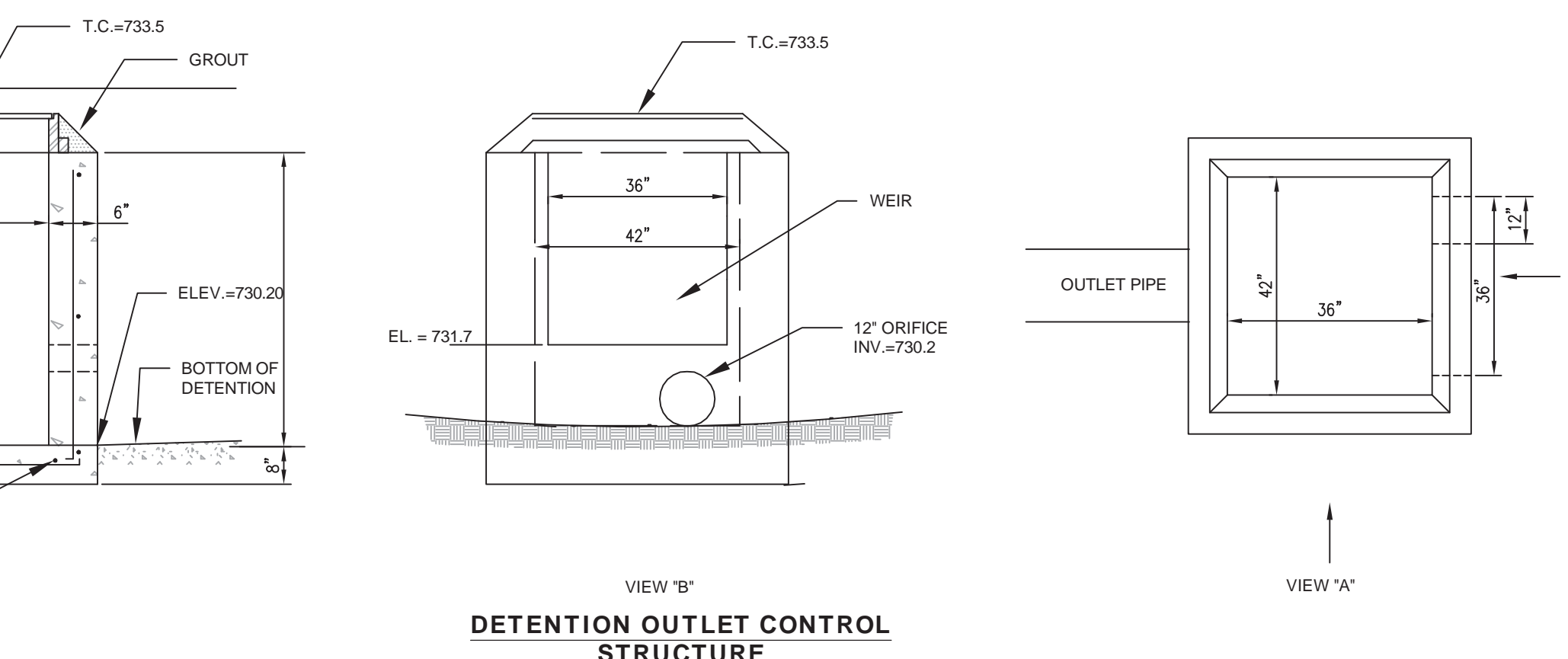
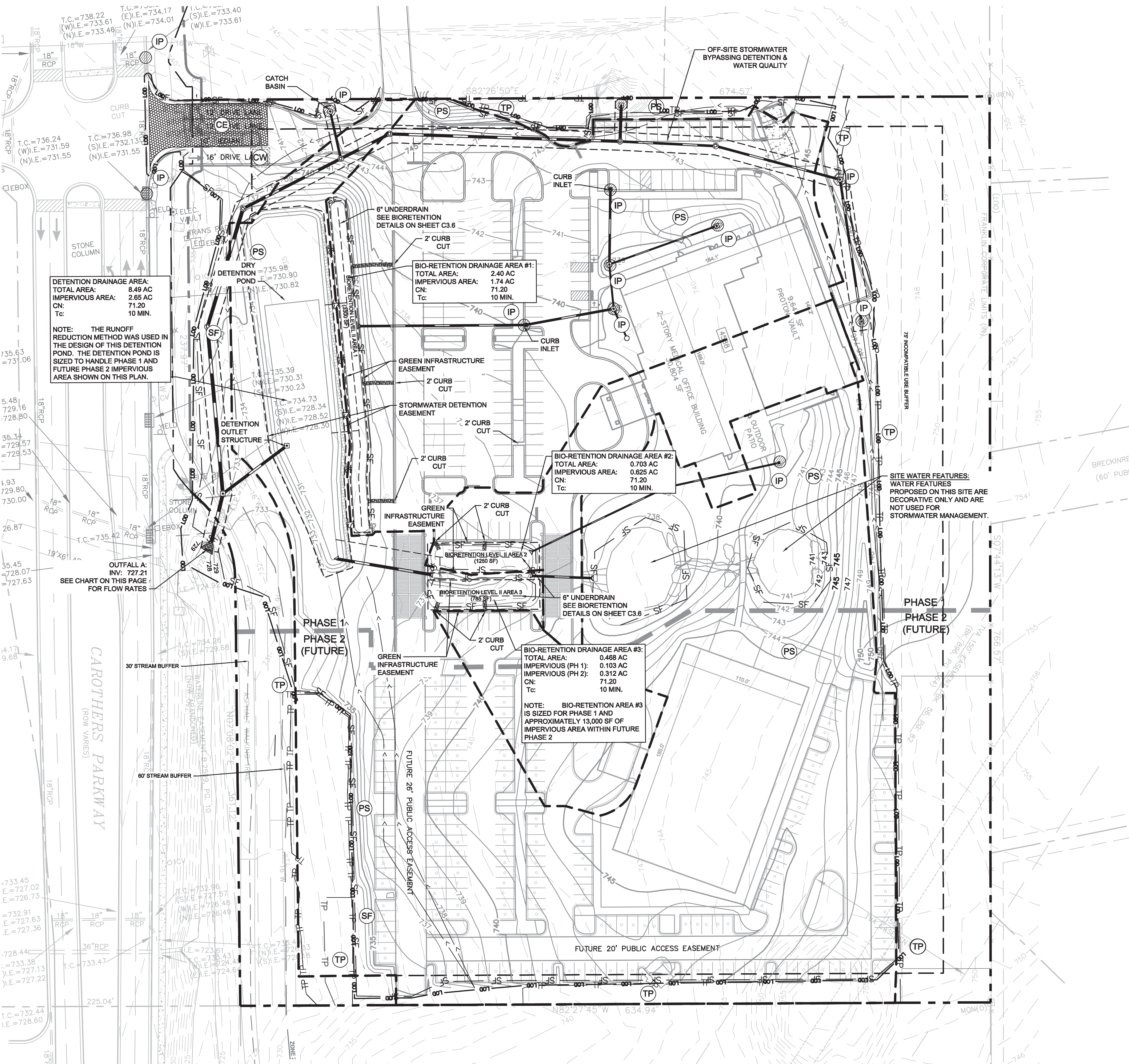
WATER QUALITY BMP NOTES:

WATER QUALITY BMP'S SHALL NOT BE INSTALLED UNTIL BUILD OUT IS NEAR COMPLETION TO PREVENT CONSTRUCTION SEDIMENT FROM ENTERING WATER QUALITY BMP'S. WATER QUALITY AREAS SHALL NOT BE USED AS SEDIMENT BASINS DURING CONSTRUCTION. INSTALLERS OF WATER QUALITY BMP'S SHOULD FOLLOW ALL INSTALLATION GUIDELINES SET FORTH IN THE CITY OF FRANKLIN BMP MANUAL LOCATED ON THE CITY'S WEBSITE.

ALL TREE PROTECTION FENCING SHALL BE IN PLACE PRIOR TO THE ISSUANCE OF A GRADING OR LAND DISTURBANCE PERMIT AND SHALL BE MAINTAINED IN GOOD WORKING ORDER UNTIL ALL CONSTRUCTION ACTIVITY IS COMPLETED. NO DISTURBANCE IS PERMITTED IN A TREE PRESERVATION AREA ANY REQUIRED EROSION CONTROL MEASURES SHALL BE PLACED OUTSIDE OF ANY TREE PROTECTION FENCING.

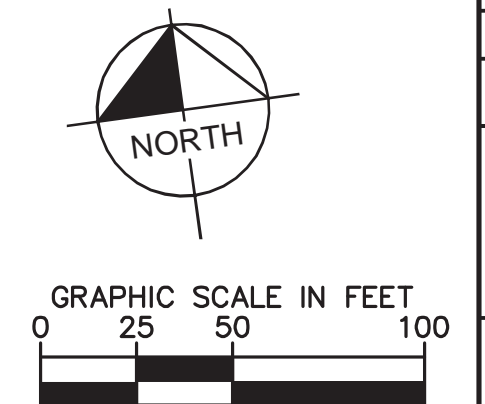
BIORETENTION CELL OR WATER QUALITY SWALE CONSTRUCTION SEQUENCING

- CONTRACTOR IS TO PROVIDE METHOD OF DIVERTING RUNOFF FLOW AROUND THE CONSTRUCTION OF THE BIORETENTION AREA DURING PERIODS OF RAINFALL TO ENSURE SEDIMENT DOES NOT ENTER BIORETENTION AREA
- EXCAVATE BIORETENTION AREA. EXCAVATORS OR BACKHOES SHOULD WORK FROM THE SIDES TO EXCAVATE THE BIORETENTION AREA TO THE DESIGN DEPTH AND DIMENSIONS. EXCAVATING EQUIPMENT SHOULD HAVE SCOPES WITH ADEQUATE REACH SO THEY DO NOT SET INSIDE THE FOOTPRINT OF THE BIORETENTION AREA
- SCOURIFY SUBGRADE BY RIPPERING THE BOTTOM SOILS TO A DEPTH OF 12 INCHES PRIOR TO STONE PLACEMENT
- CALL CITY OF FRANKLIN INSPECTOR FOR INSPECTION 615-791-3218
- INSTALL WASHED STONE LAYER. INSTALL UNDERDRAIN PIPES AND CONNECT TO THE OUTLET STRUCTURE. INSTALL ADDITIONAL STONE ON THE UNDERDRAIN PIPES AS PER THE BIORETENTION SECTION DETAIL. CONTRACTOR TO FLAG THE UNDERDRAIN LOCATIONS (3 FT EACH SIDE) AS THE ADDITIONAL SECTIONS ARE BEING INSTALLED. A SMALL BROOM BRUSH SHOULD BE USED FOR PLACEMENT OF ADDITIONAL SECTIONS AND IS TO AVOID ACCESSING THE AREAS OF THE UNDERDRAIN PIPE INSTALLATION TO PREVENT DAMAGE TO THE PERFORATED PIPE.
- INSTALL PERMEABLE GEOTEXTILE FABRIC.
- DELIVER THE SOIL MEDIA AND STORE IT ON PLASTIC SHEETING WITH THE APPROPRIATE EROSION CONTROL MEASURES ON THE DOWNHILL AND BIORETENTION SIDES.
- CALL CITY OF FRANKLIN INSPECTOR FOR INSPECTION 615-791-3218
- INSTALL THE SOIL MEDIA IN 12" LIFTS UNTIL THE DESIRED TOP ELEVATION IS ACHIEVED. WAIT A FEW DAYS TO CHECK FOR SETTLEMENT AND ADD ADDITIONAL MEDIA AS NEEDED TO ACHIEVE THE DESIGN ELEVATIONS. DO NOT COMPACT WITH EQUIPMENT.
- PREPARE PLANTING HOLES FOR ANY TREES AND SHRUBS. INSTALL THE VEGETATION AND WATER ACCORDINGLY.
- INSTALL SPECIFIED GROUND COVER IN BOTTOM OF BIORETENTION AREA
- SOO SLOPES
- CONTRACTOR TO FLAG LIMITS OF BIORETENTION BASIN FOR SURVEY TO LOCATE AND SHOW ON AS-BUILT PLANS.



PROPOSED OUTFALL A GRADING AND DRAINAGE CHART

	ON-SITE	OFFSITE	TOTAL
TOTAL AREA	11.62	12.03	23.65
IMPERVIOUS AREA	2.67	0.38	3.05
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GAMBLE
 DESIGN COLLABORATIVE
 LANDSCAPE ARCHITECTURE

GDC

**SCOTT HAMILTON
 PROTON THERAPY CENTER**

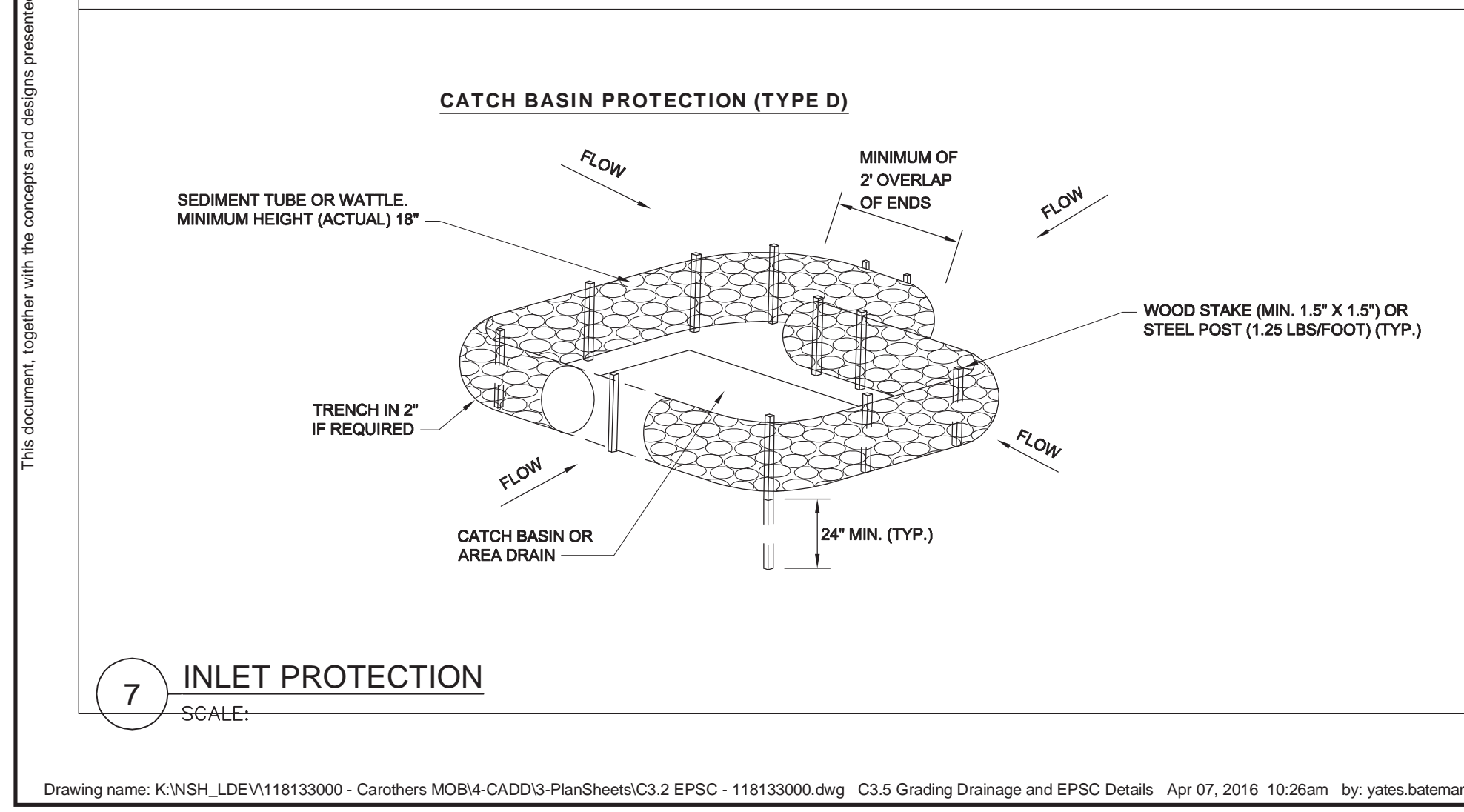
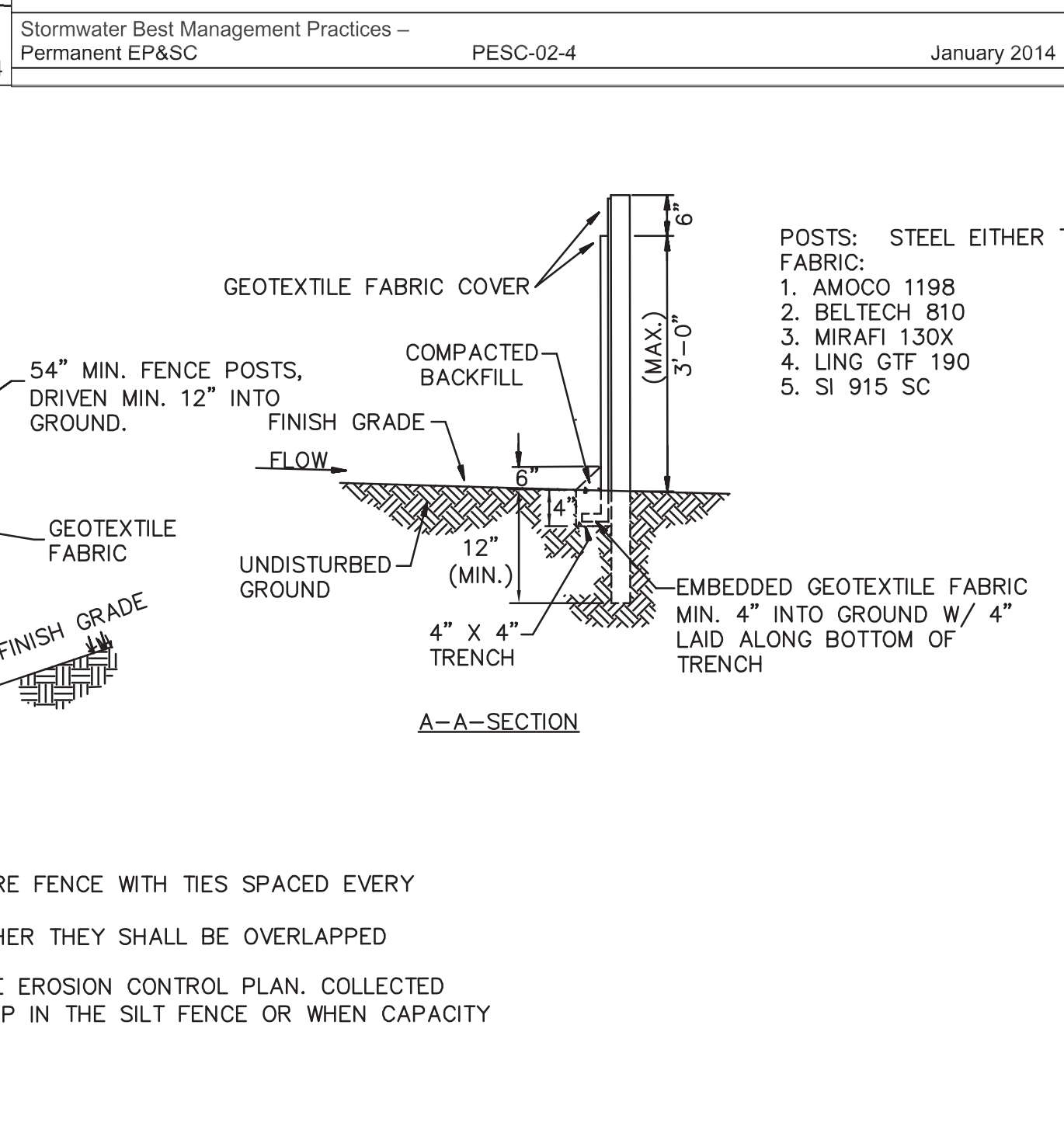
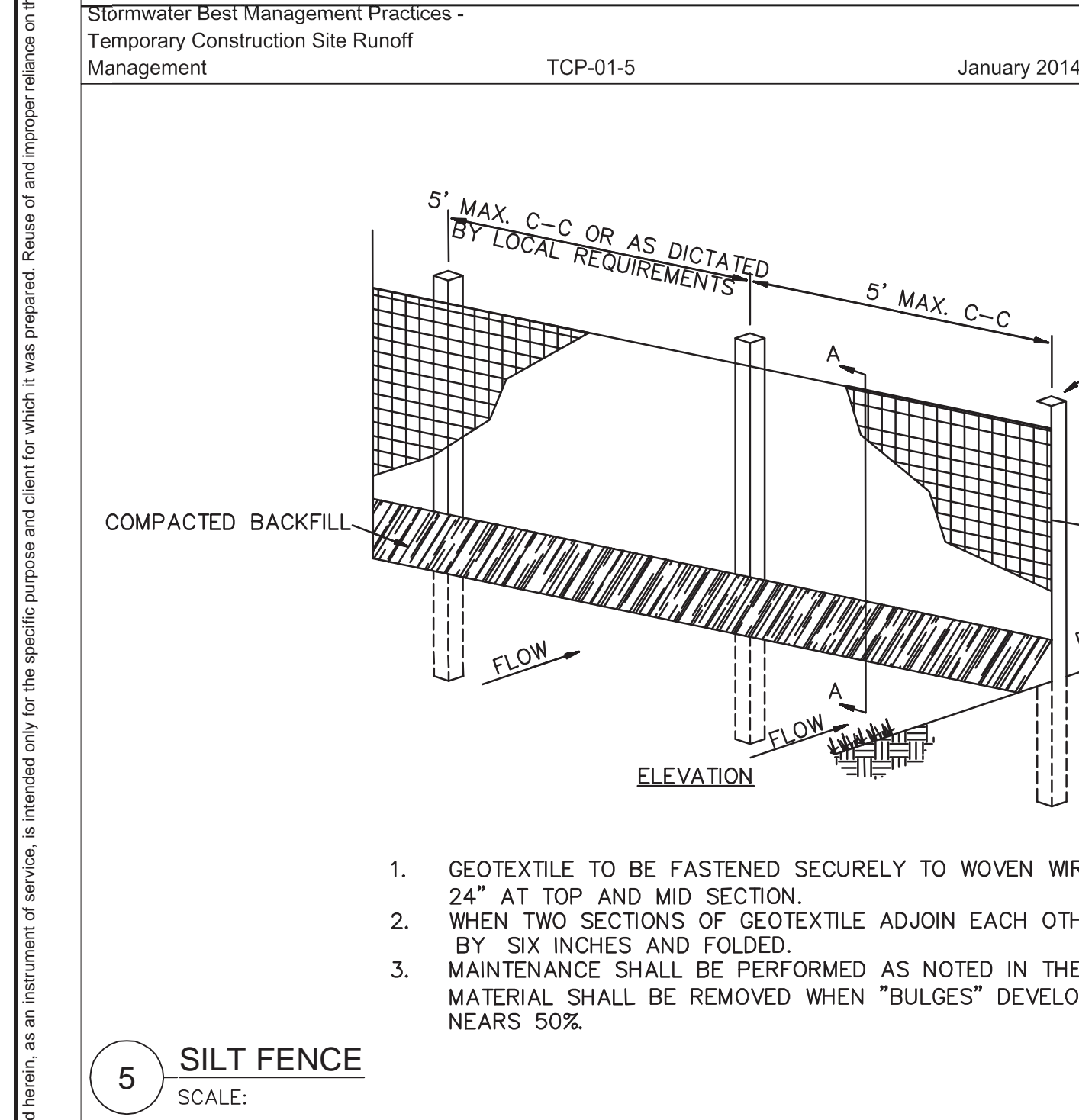
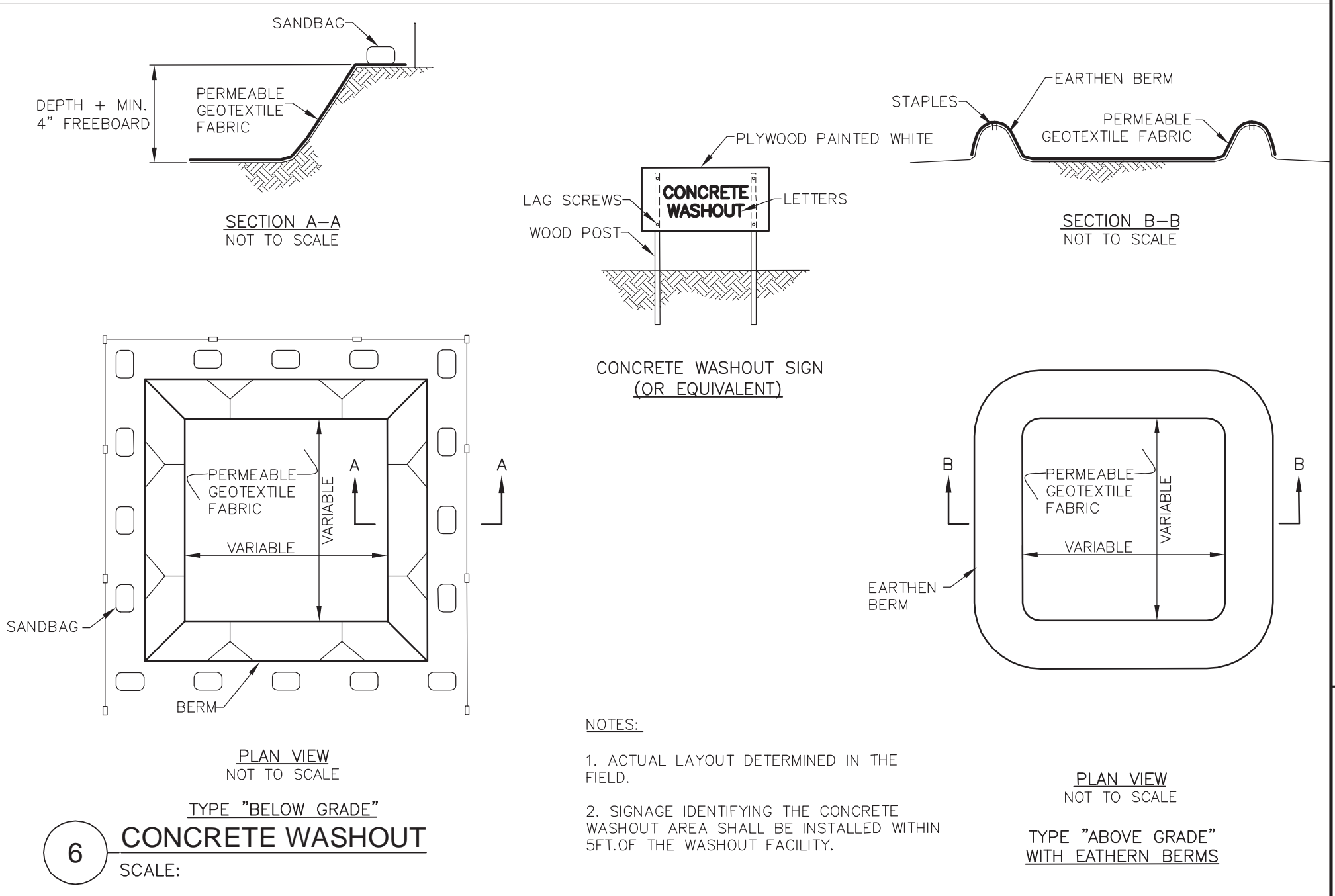
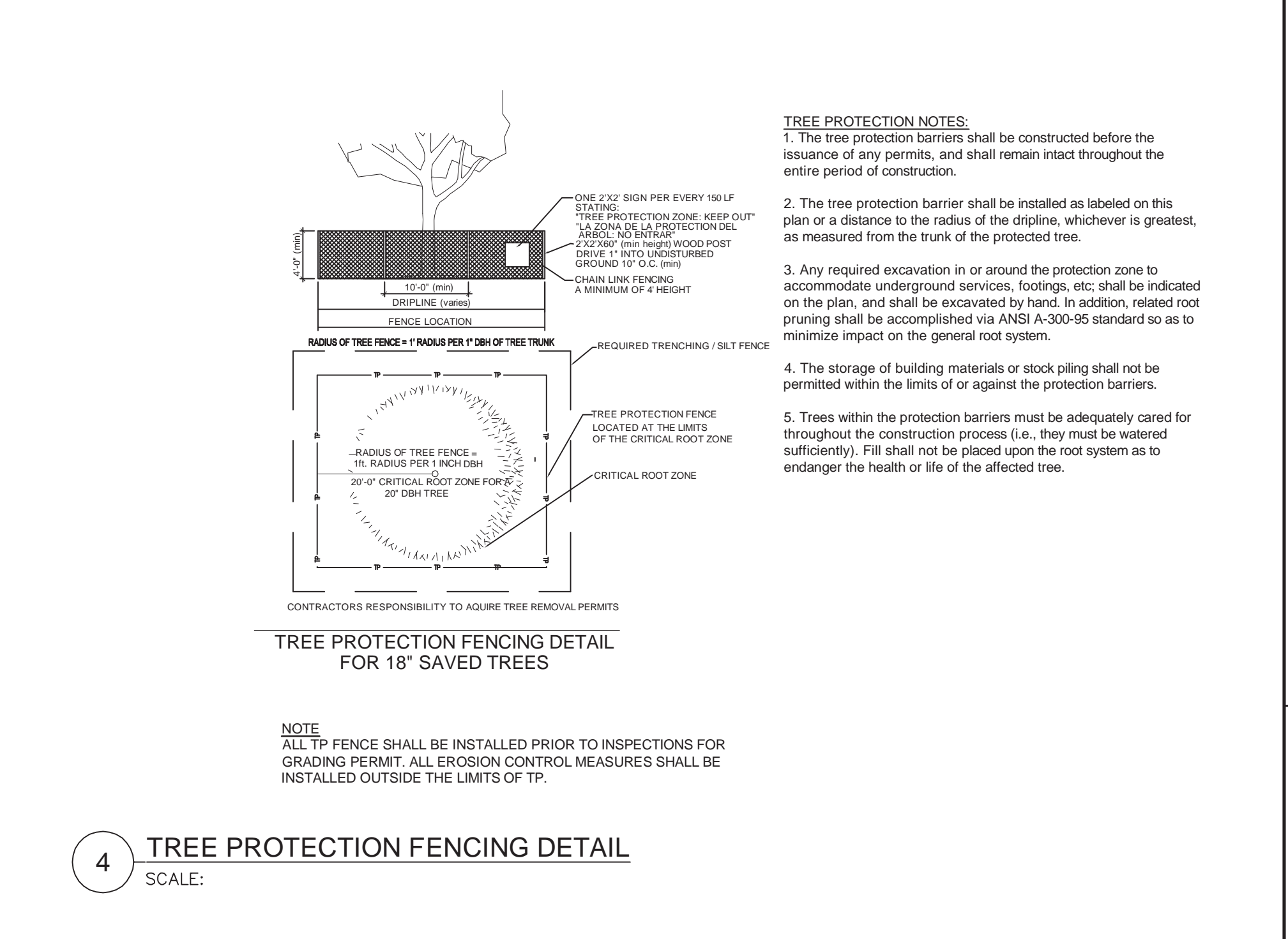
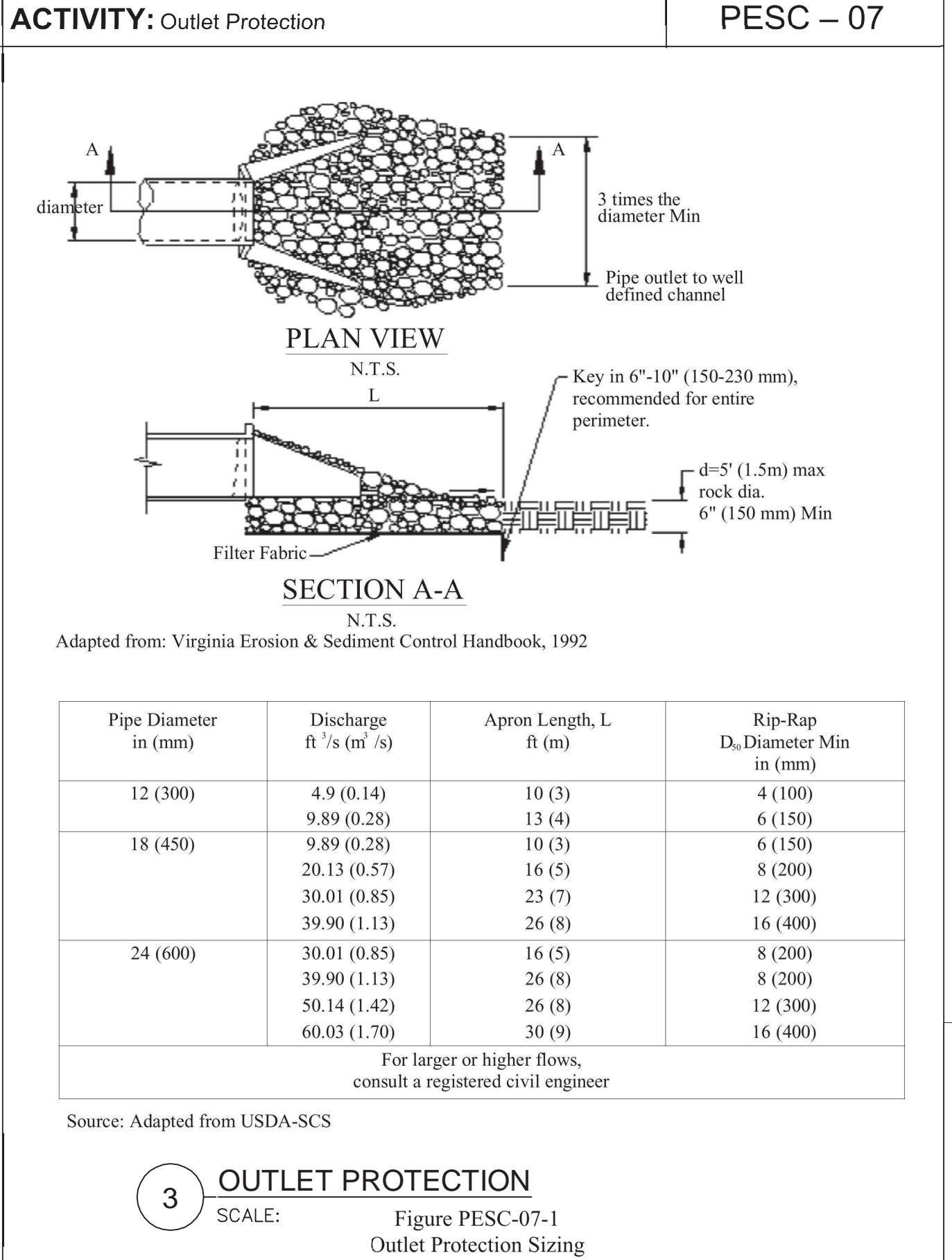
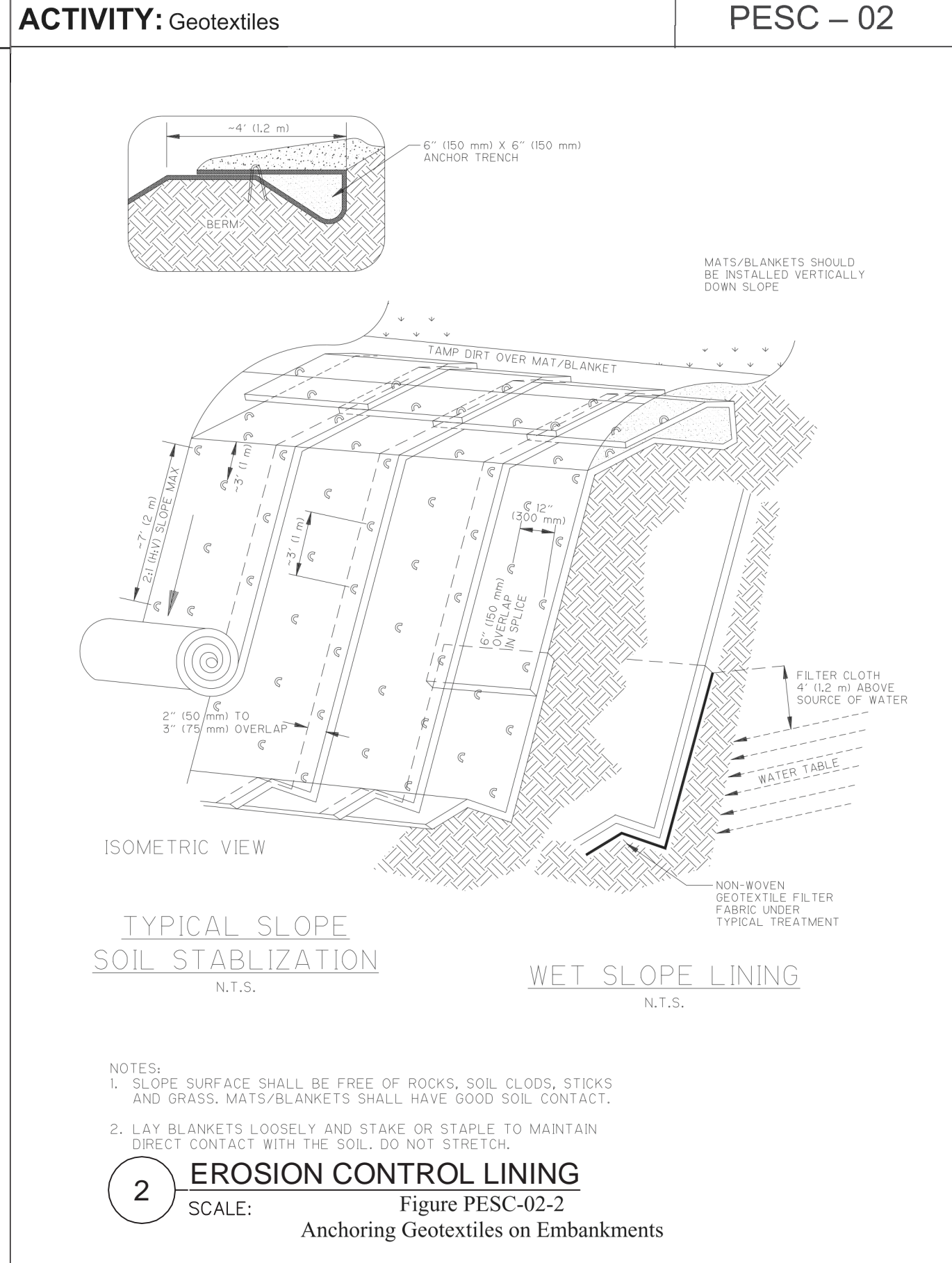
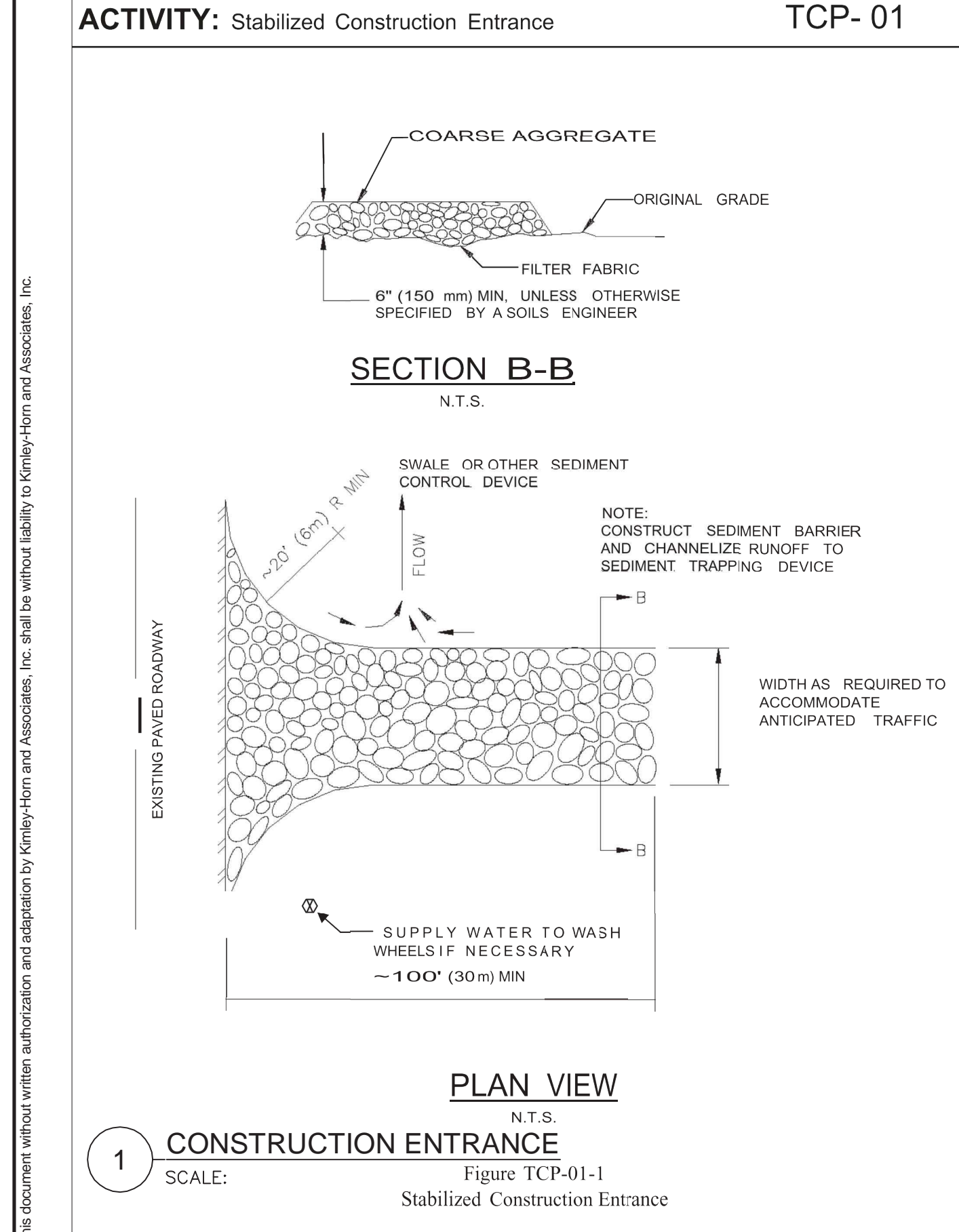
FRANKLIN, TENNESSEE

NO.	DATE	BY	REVISIONS PER CITY COMMENTS
1	04/07/2016		

DESIGNED BY: CJM
 DRAWN BY: CJM
 CHECKED BY: RLM
 DATE: 03/14/2016
 KHA PROJECT NO. 118133000

FINAL EPSC / WATER QUALITY

SHEET NUMBER
C3.4
 CCF# 6076



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Nashville, TN 37204
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615.833.9000
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DESIGN COLLABORATIVE
LANDSCAPE PLANNING AND
LANDSCAPE ARCHITECTURE

GDC

**SCOTT HAMILTON
PROTON THERAPY CENTER**
FRANKLIN, TENNESSEE

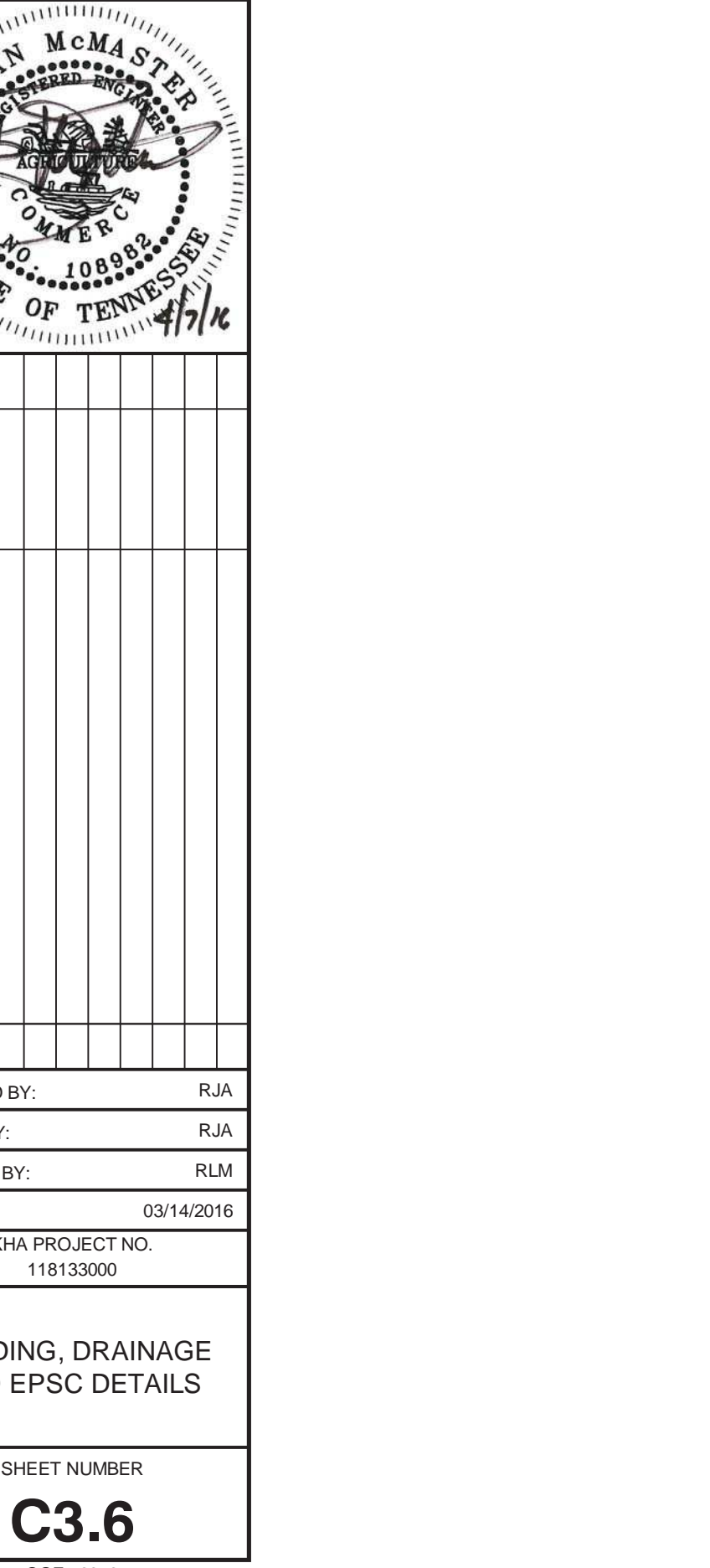
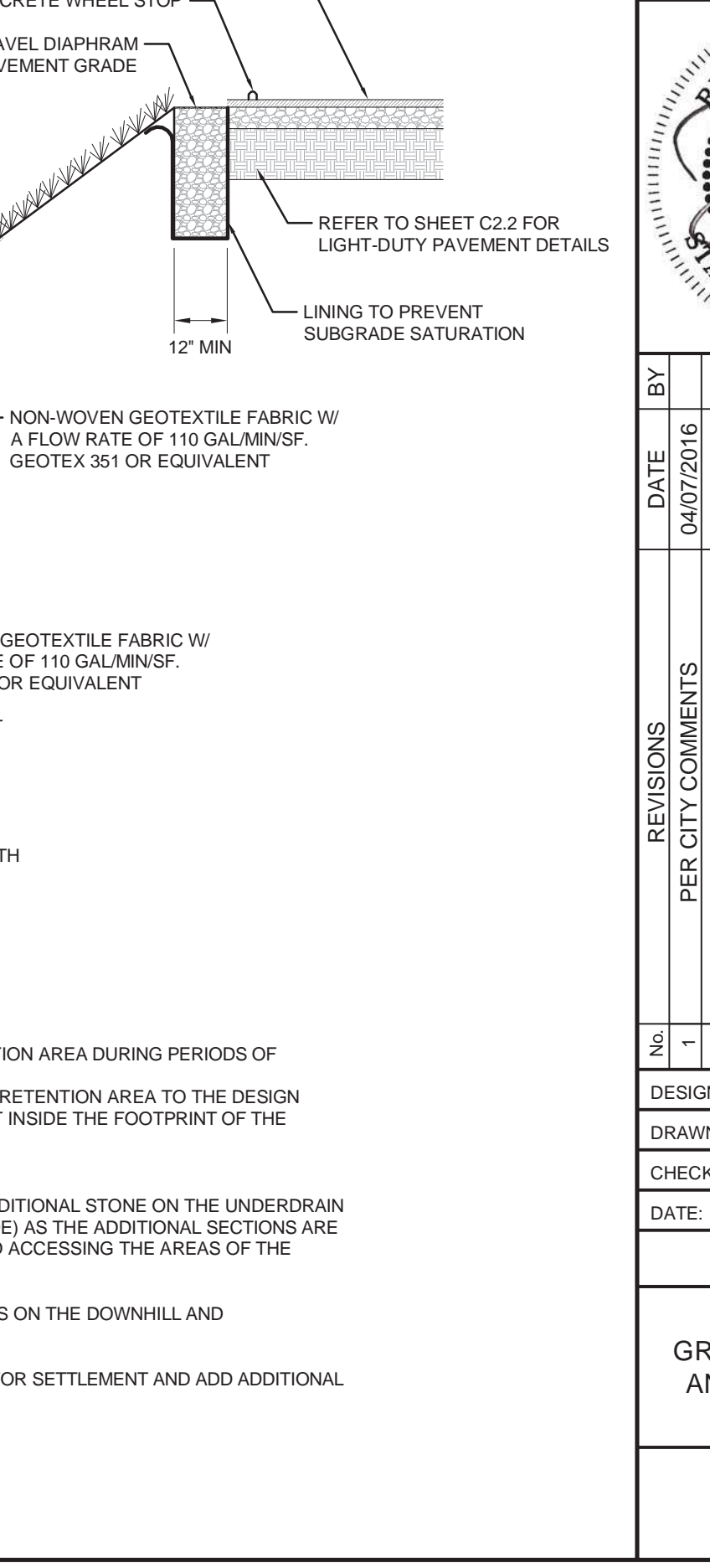
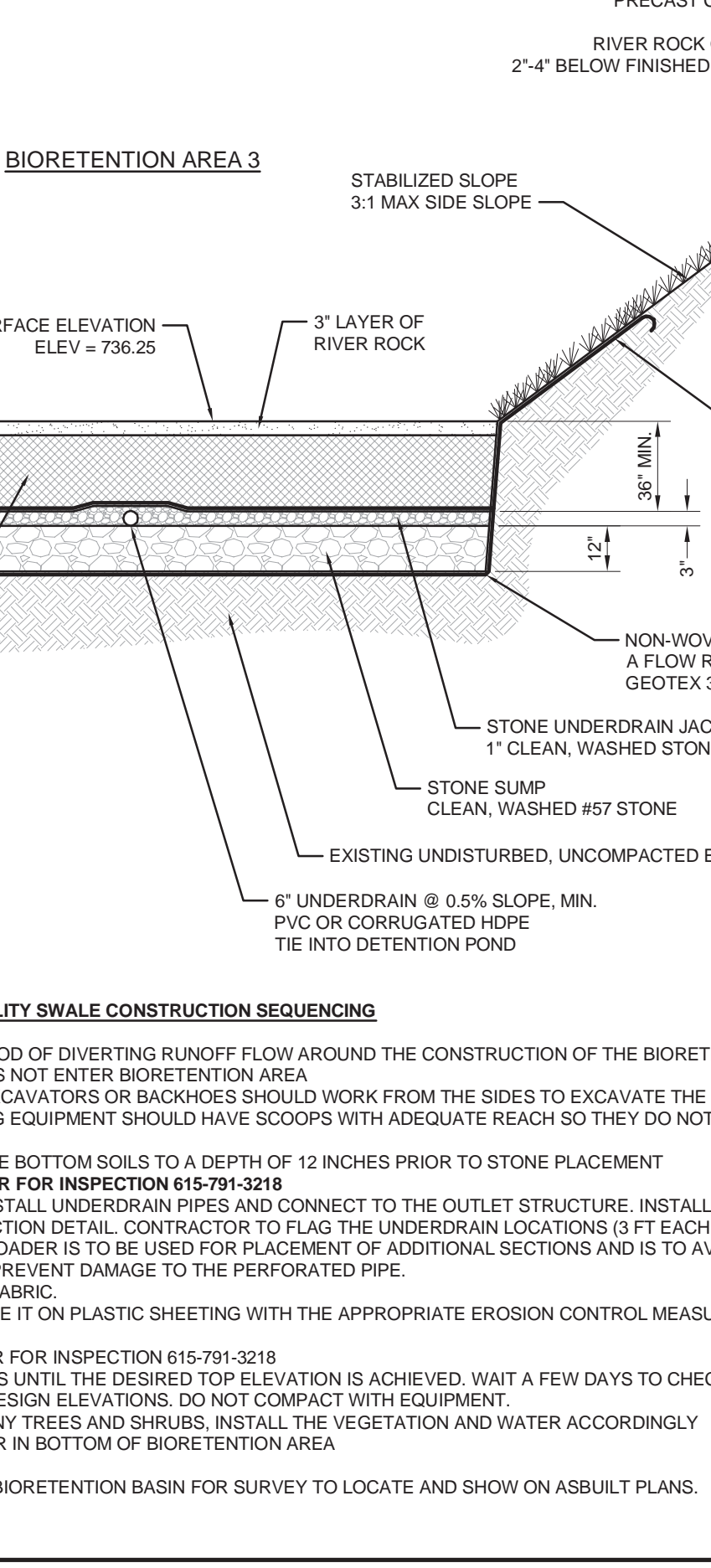
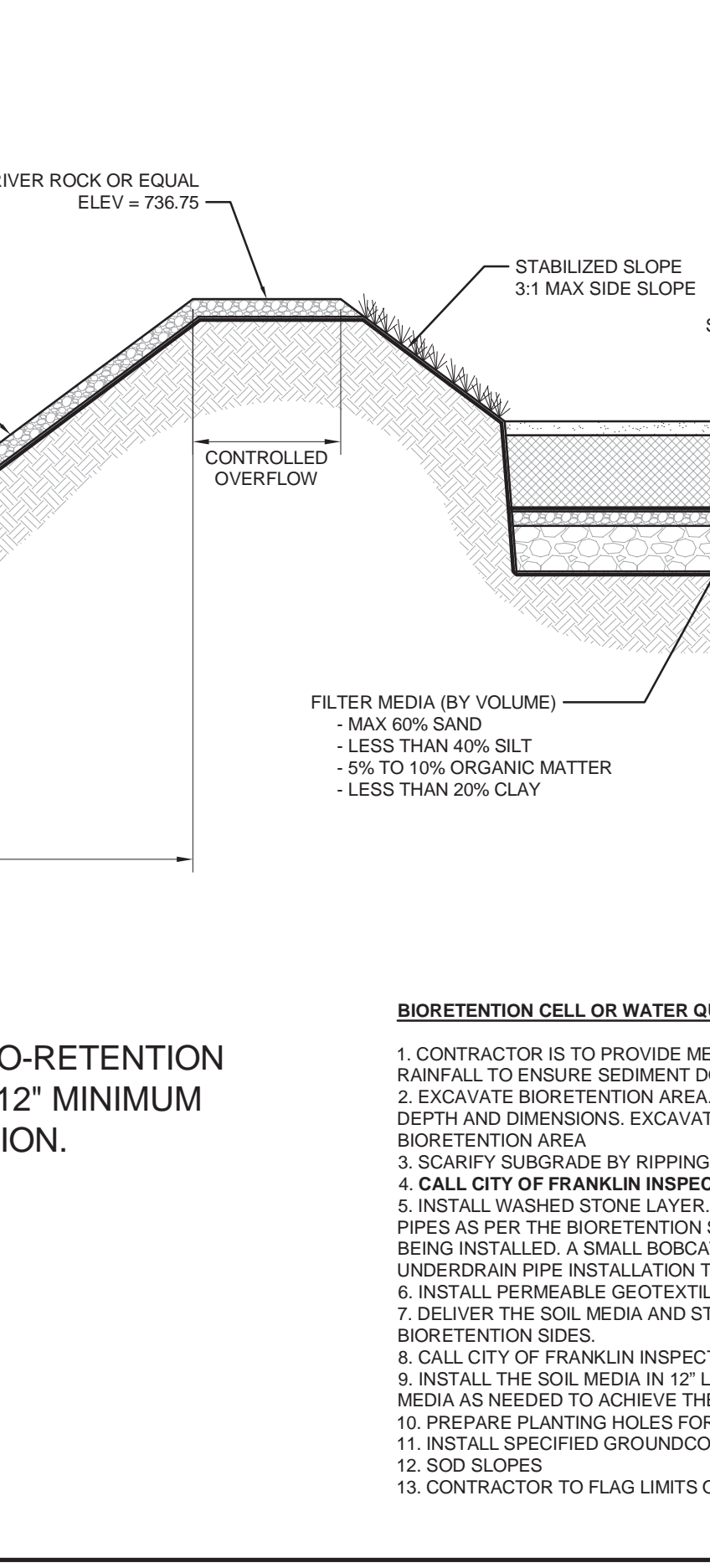
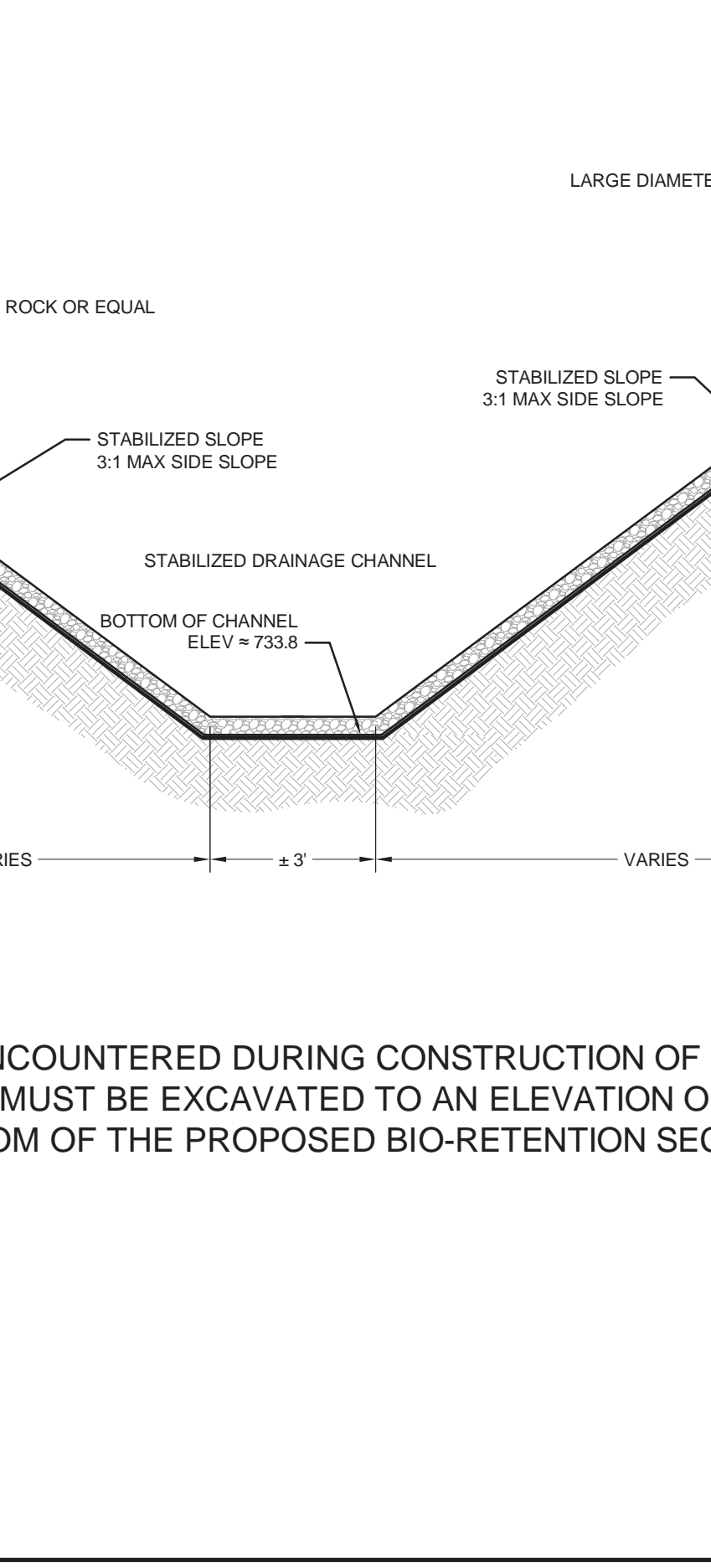
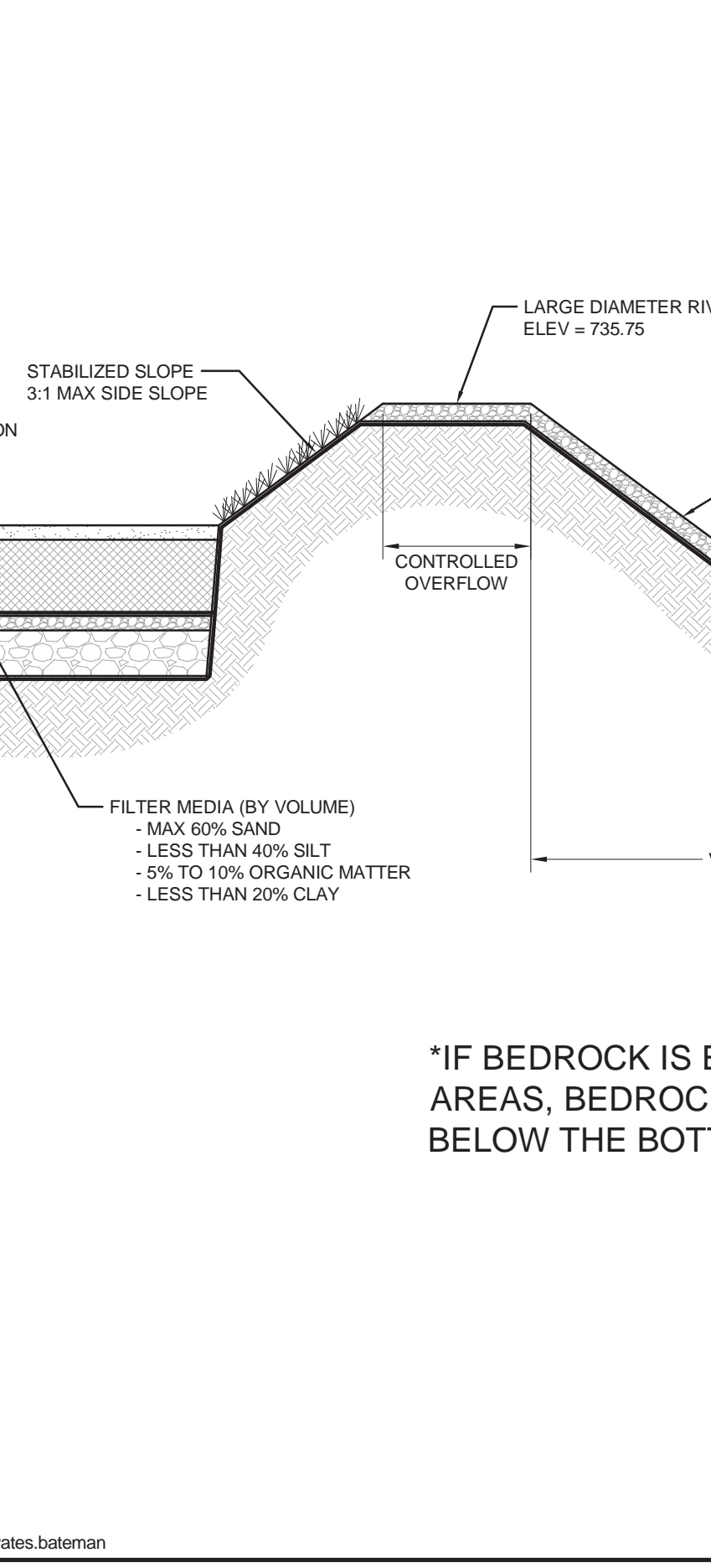
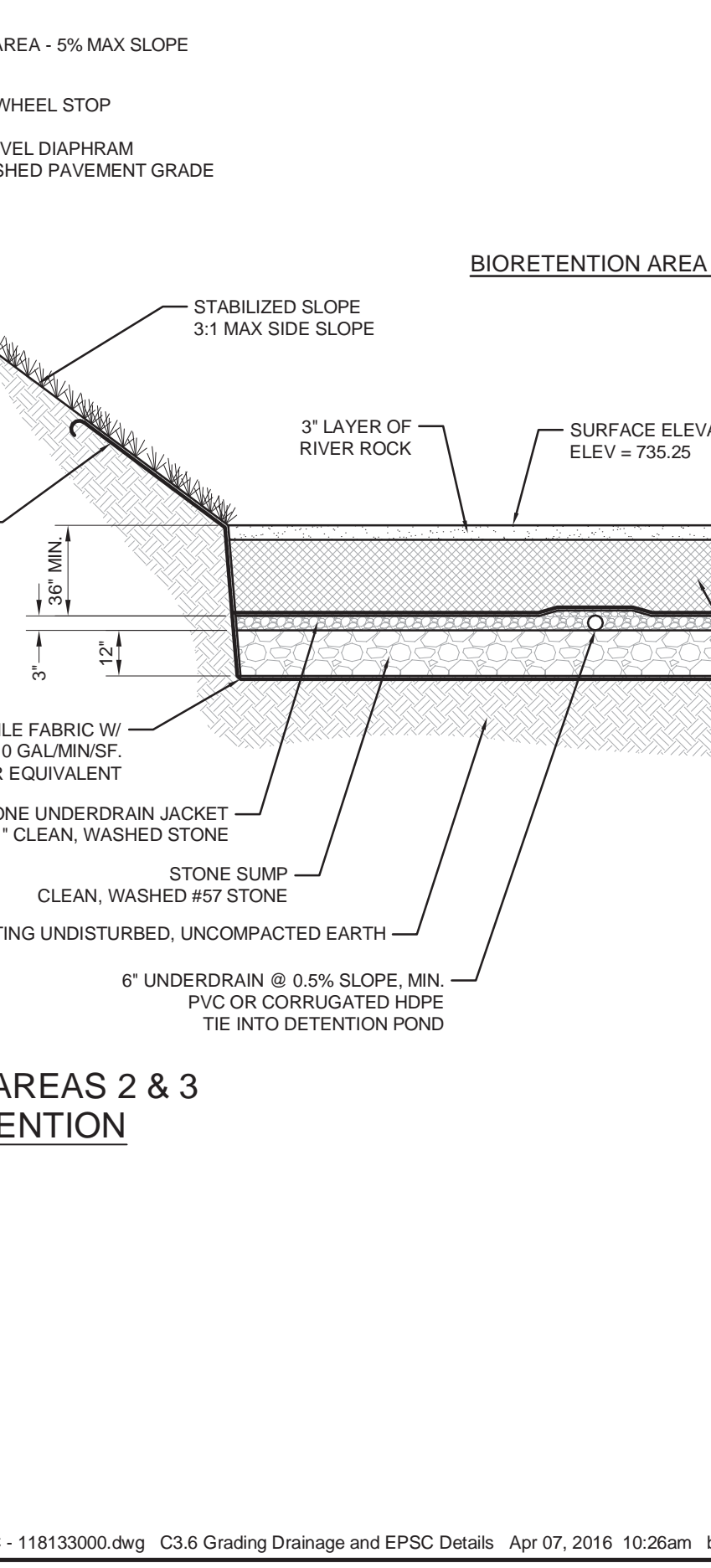
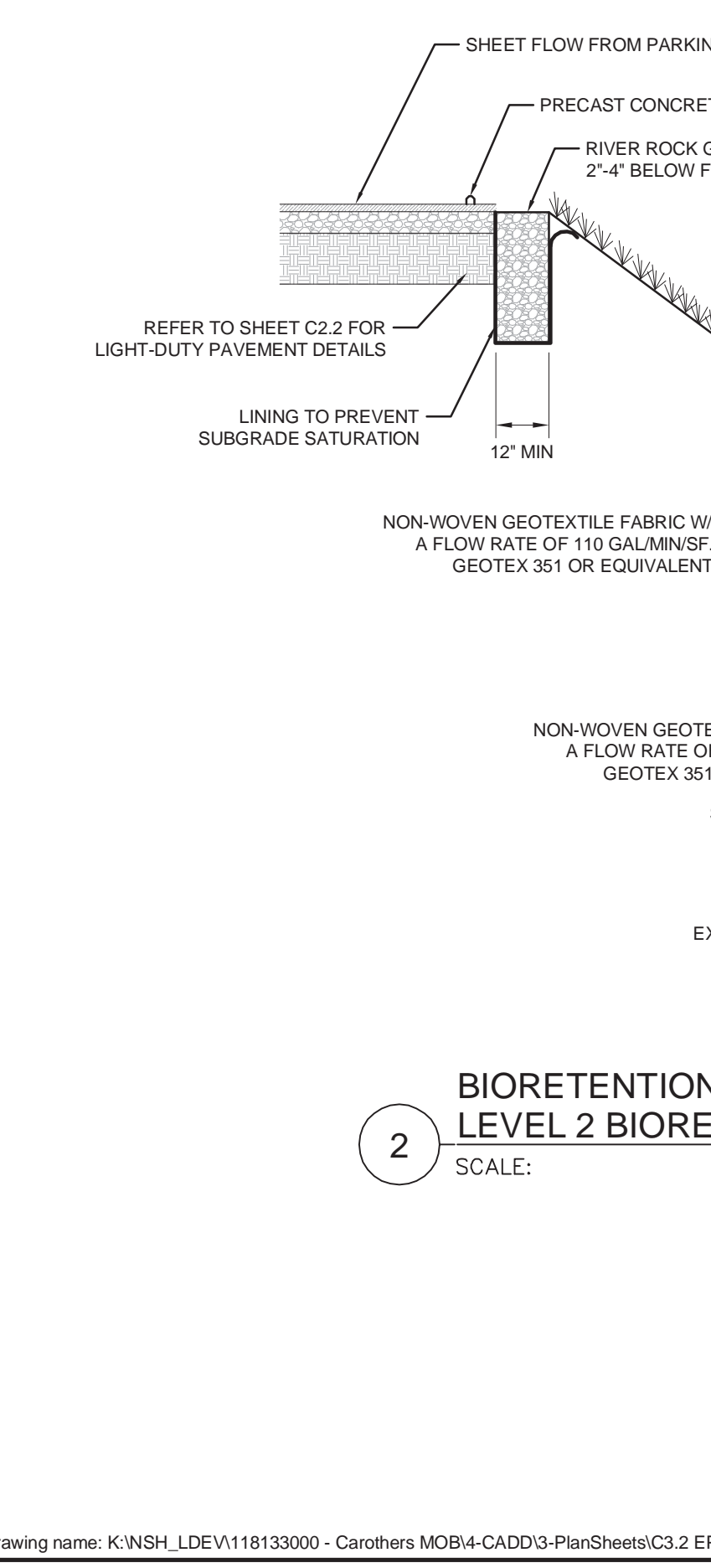
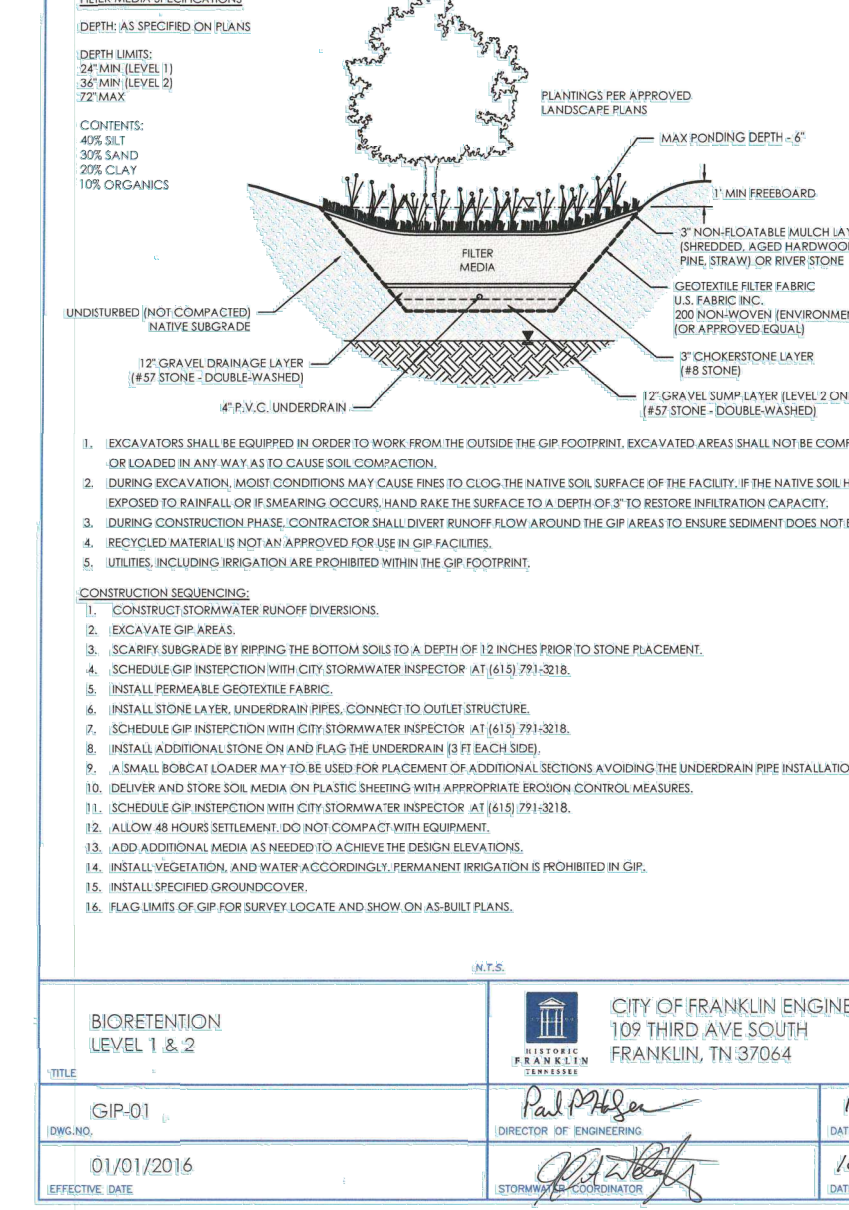
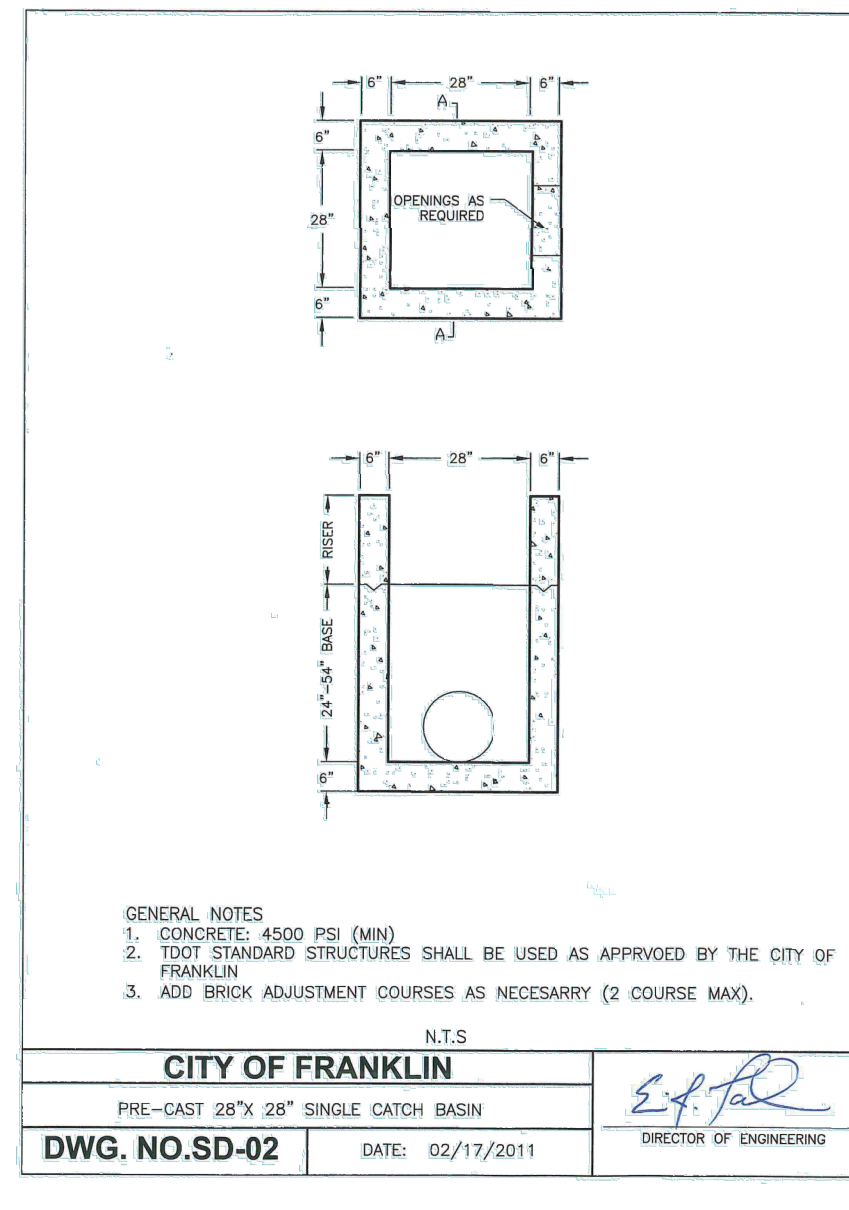
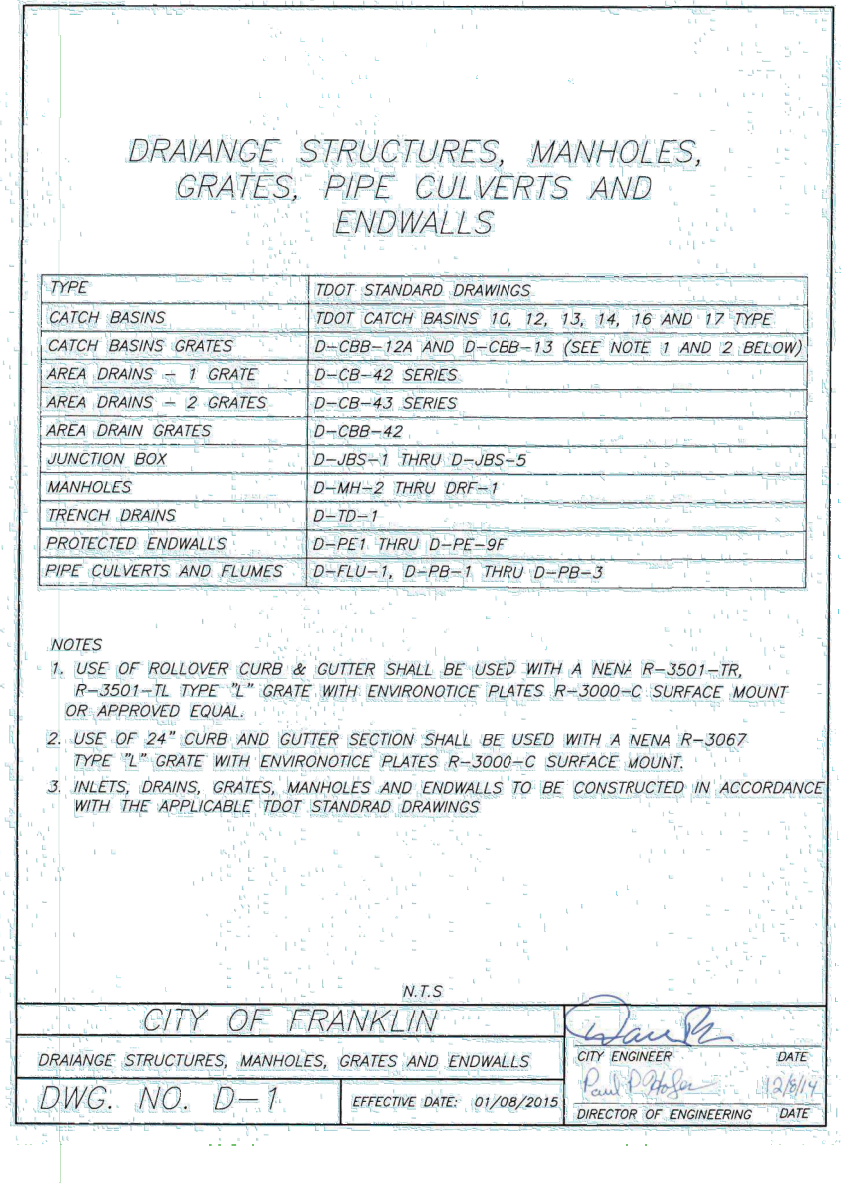
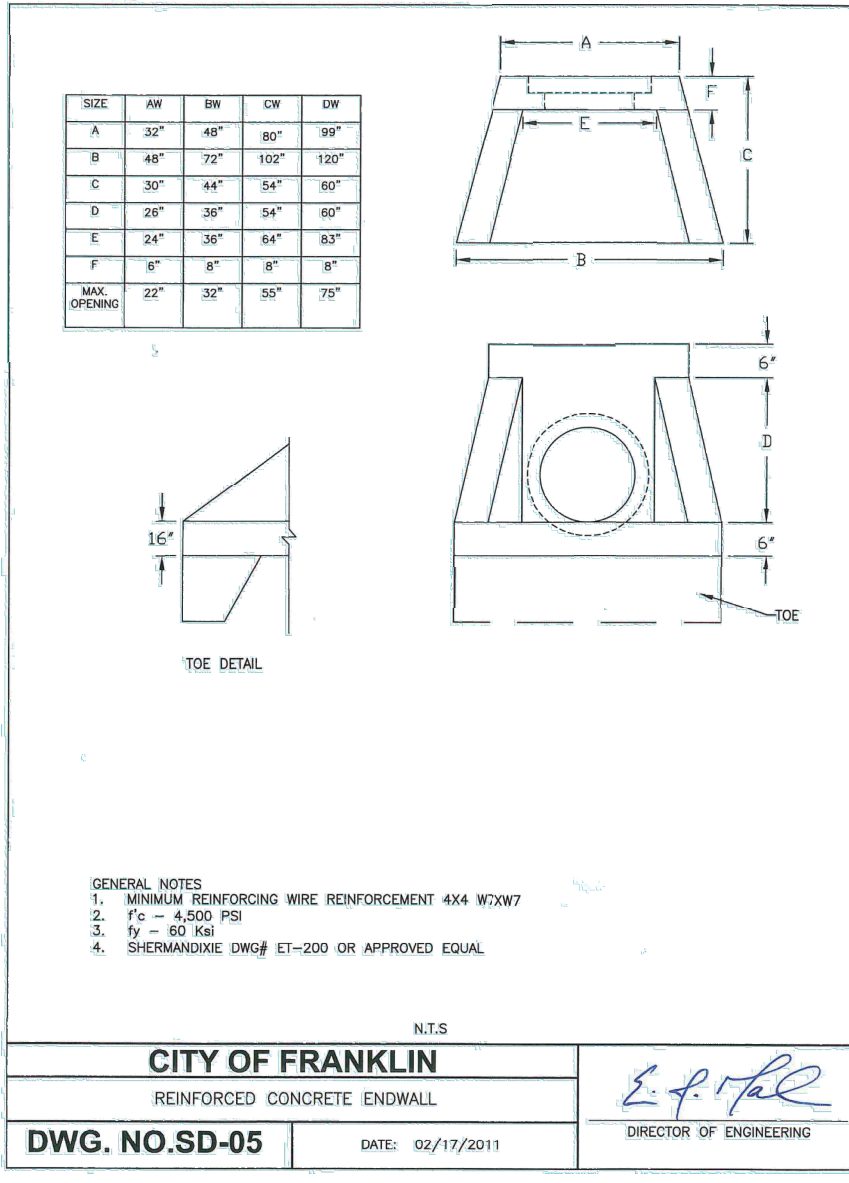


DATE	BY
04/07/2016	

REVISIONS	PER CITY COMMENTS
No.	

DESIGNED BY:	RJA
DRAWN BY:	RJA
CHECKED BY:	RLM
DATE:	03/14/2016
KHA PROJECT NO.:	118133000
GRADING, DRAINAGE AND EPSC DETAILS	
SHEET NUMBER	C3.5

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DESIGN COLLABORATIVE
 DEVELOPMENT PLANNING AND
 LANDSCAPE ARCHITECTURE

GDC

SCOTT HAMILTON
 PROTON THERAPY CENTER
 FRANKLIN, TENNESSEE



NO.	DATE	BY	REVISIONS
1	04/07/2016	RLM	PER CITY COMMENTS

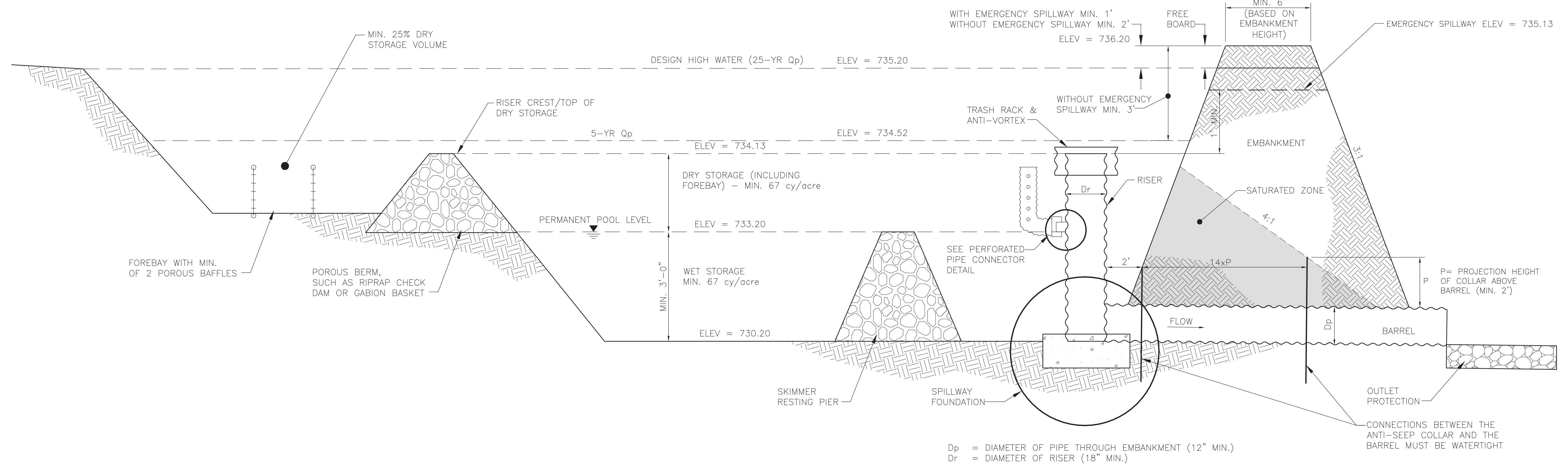
DESIGNED BY: RJA
 DRAWN BY: RJA
 CHECKED BY: RLM
 DATE: 03/14/2016
 KHA PROJECT NO. 118133000

GRADING, DRAINAGE AND EPSC DETAILS

SHEET NUMBER
C3.6

COFF 6076

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D_p = DIAMETER OF PIPE THROUGH EMBANKMENT (12" MIN.)
 D_r = DIAMETER OF RISER (18" MIN.)

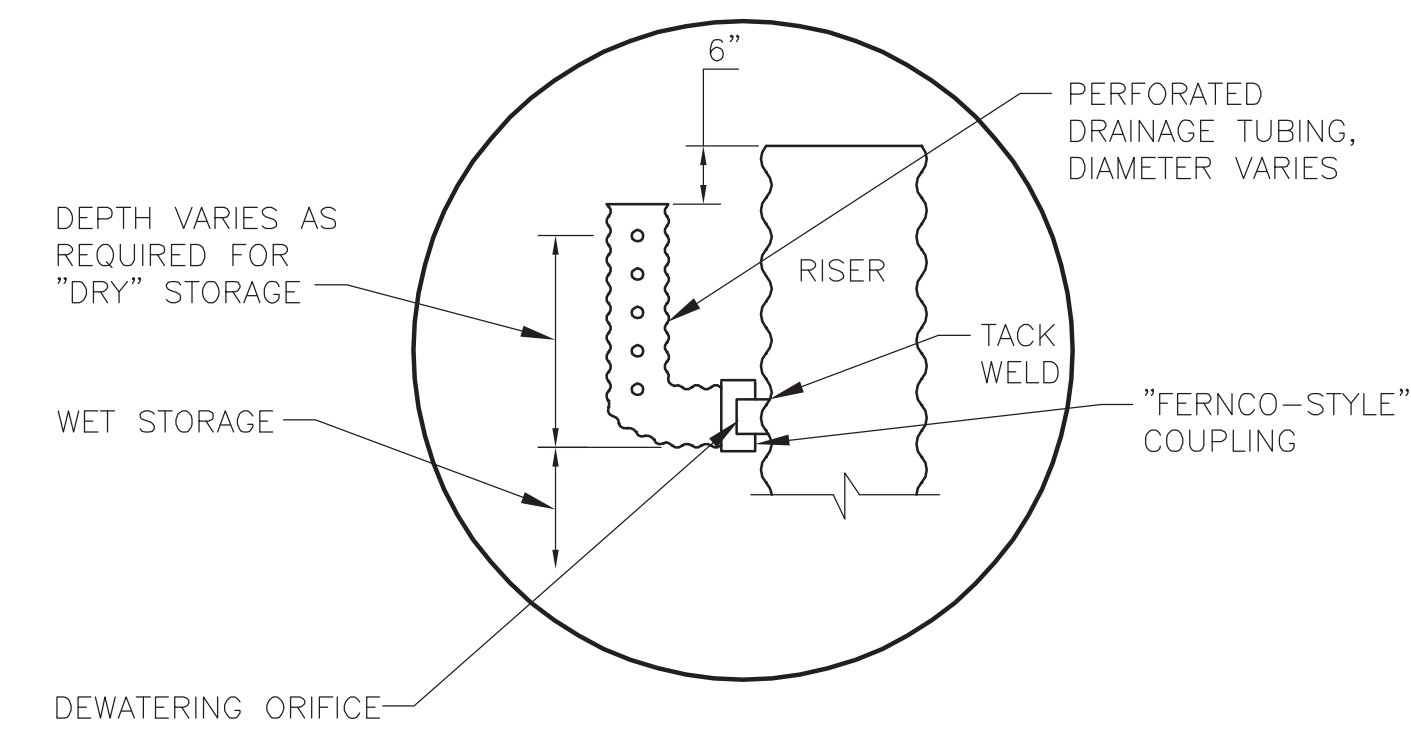
BASIN SCHEDULE

FACILITY	RISER PIPE DIA. (IN.)	BARREL PIPE DIA. (IN.)	PERMANENT POOL ELEVATION	PRINCIPAL SPILLWAY ELEVATION FEET, AMSL	EMERGENCY SPILLWAY ELEVATION FEET, AMSL	EMERGENCY SPILLWAY WIDTH	EMERGENCY SPILLWAY SIDESLOPE	TOP OF EMBANKMENT ELEVATION FEET, AMSL	BOTTOM OF BASIN ELEVATION FEET, AMSL
BASIN 1	18"	24"	733.20	734.13	735.13	6'	3H:1V	736.20	730.20

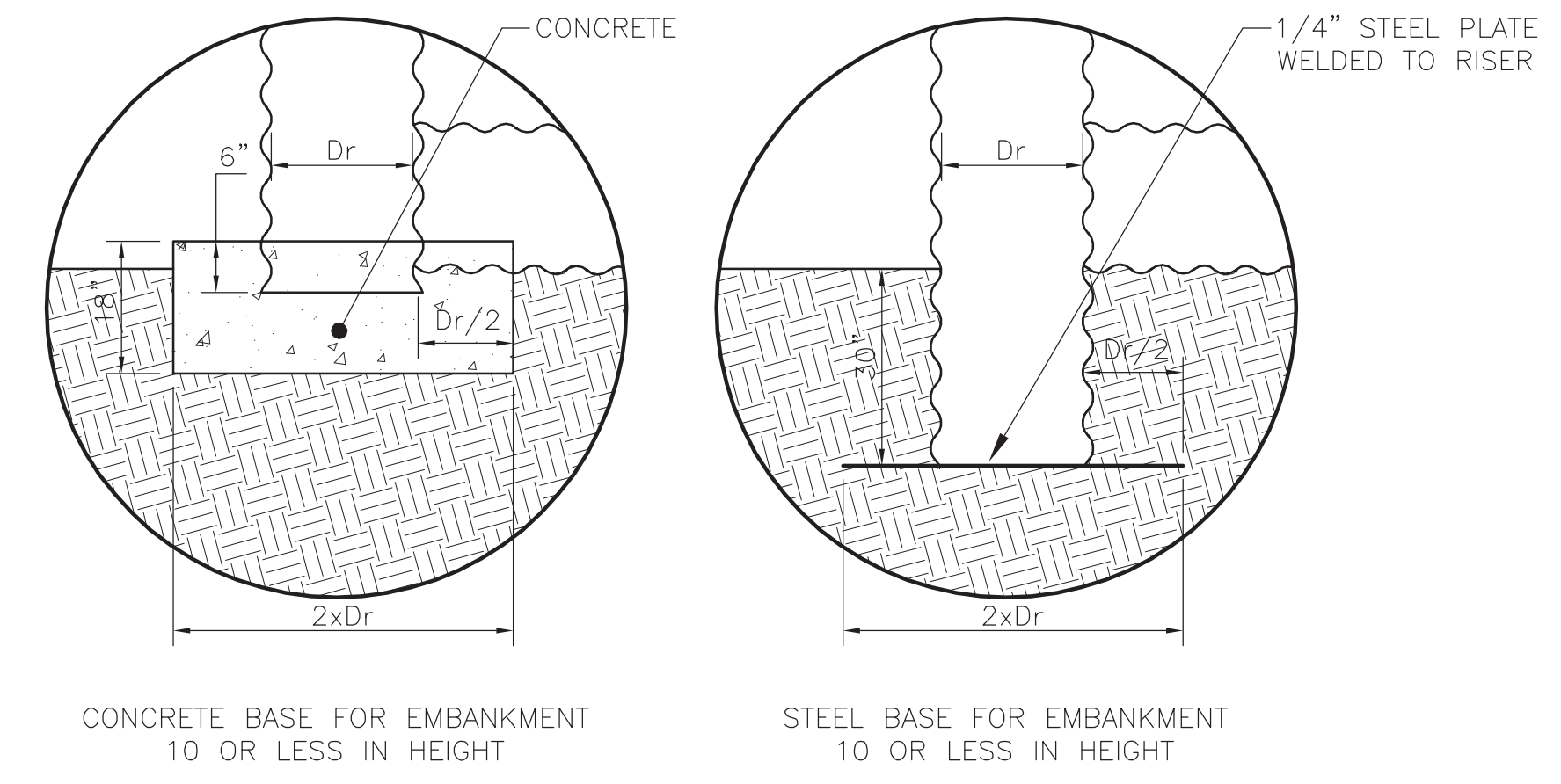
PERFORATED PIPE DEWATERING DEVICE SPECIFICATIONS

FACILITY	PIPE DIAMETER	INLET ELEVATION	NUMBER OF SLOTS/HOLES
BASIN 1	6"	733.20	4

DEWATERING DEVICE PERFORATED VERTICAL PIPE OR TUBING



SPILLWAY FOUNDATIONS FOR RISER HEIGHTS <10'



1 SEDIMENT BASIN
SCALE:

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 214 Overlook Drive
 Nashville, TN 37204
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 DESIGN COLLABORATIVE
 DEVELOPMENT PLANNING AND
 LANDSCAPE ARCHITECTURE

SCOTT HAMILTON
PROTON THERAPY CENTER
 FRANKLIN, TENNESSEE



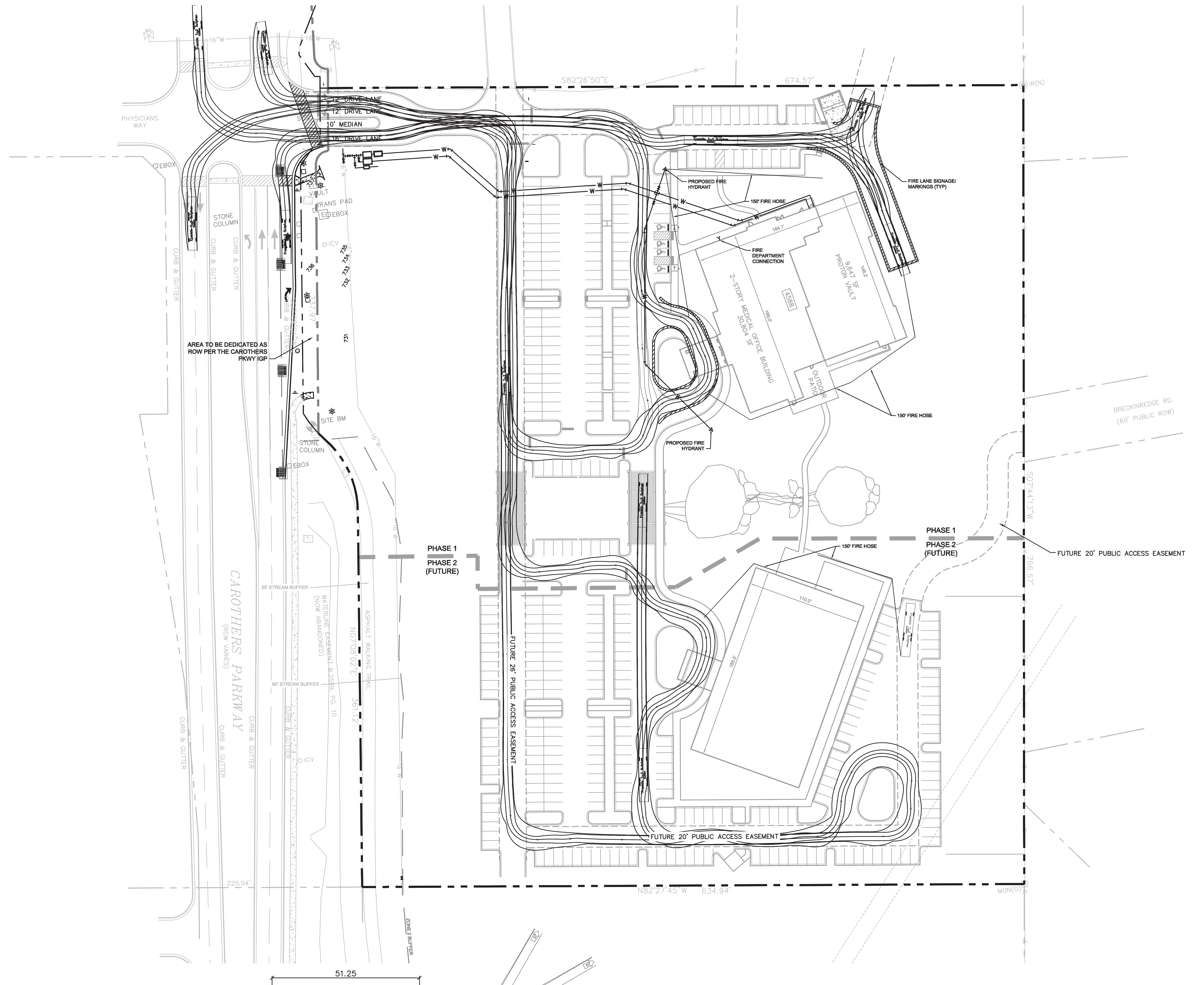
NO.	DATE	BY	REVISIONS PER CITY COMMENTS
1	04/07/2016		

DESIGNED BY: RJA
 DRAWN BY: RJA
 CHECKED BY: RLM
 DATE: 03/14/2016
 KHA PROJECT NO. 118133000

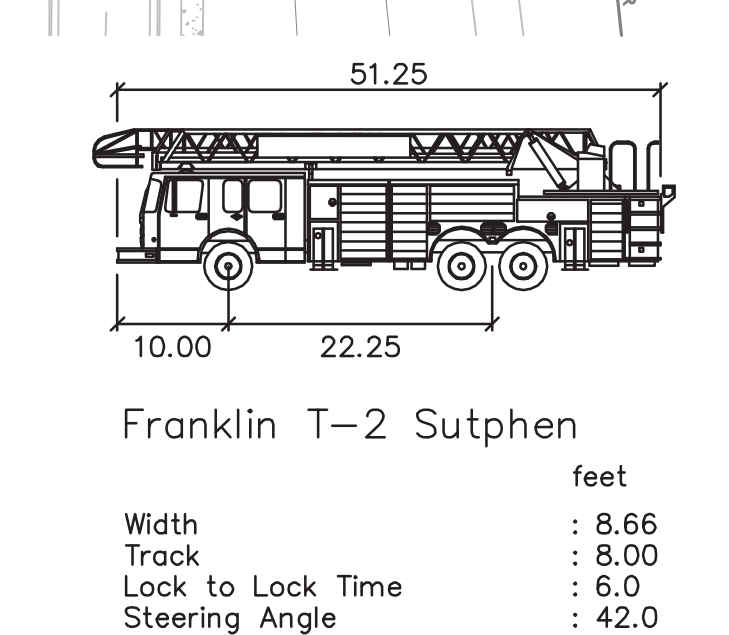
GRADING, DRAINAGE AND EPSC DETAILS
 SHEET NUMBER
C3.7
 CDF# 6076

SITE DATA CHART	
PROJECT NAME:	SCOTT HAMILTON PROTON THERAPY CENTER
COF PROJECT #:	6076
SUBDIVISION:	MEDCORE MEDICAL BLDG
MAP #:	48.04
PARCEL #:	3
LOT:	
ADDRESS:	4588 CAROTHERS PARKWAY
CITY:	FRANKLIN
COUNTY:	WILLIAMSON
STATE:	TENNESSEE
CIVIL DISTRICT:	6TH CIVIL DISTRICT
EXISTING ZONING:	GENERAL OFFICE DISTRICT
CHARACTER AREA OVERLAY:	McEWEN 5
OTHER APPLICABLE OVERLAYS:	
DEVELOPMENT STANDARD:	CONVENTIONAL
ACREAGE OF SITE:	11.62 AC
SQUARE FOOTAGE OF SITE:	506,335 SF
OWNER:	MTPC LLC 1400 DOWELL SPRINGS BLVD #350 KNOXVILLE, TN 37909
DEVELOPER:	PROVISION SOLUTIONS ANDY LORENZ 1400 DOWELL SPRINGS BLVD., SUITE 350 KNOXVILLE, TN 37909 (865)321-4701
APPLICANT:	KIMLEY-HORN & ASSOCIATES
Address:	214 OCEANSIDE DRIVE NASHVILLE, TN 37204
Phone:	615-564-2701
Email:	RYAN.MCMASSTER@KIMLEY-HORN.COM
Contact Name:	RYAN MCMASSTER
BUILDING SETBACKS:	FRONT=50', SIDE=25', REAR=40'
BUILDING SQUARE FOOTAGE:	101,501 SF
PH. 1 BUILDING AREA:	30,804 SF (2-STORY MEDICAL OFFICE)
FUTURE BUILDING AREA:	9,647 SF (PROTON VAULT) ± 61,050 SF (3-STORY MEDICAL OFFICE)
BUILDING HEIGHT:	± 44'
MINIMUM LANDSCAPE SURFACE RATIO:	0.30 (2.07 AC PHASE 1)
PROVIDED LANDSCAPE SURFACE RATIO:	0.52 (3.58 AC PHASE 1)
MINIMUM PARKING REQUIREMENT:	N/A
EXISTING PARKING:	N/A
PARKING PROVIDED:	149 TOTAL SPACES 145 STANDARD SPACES 4 ADA SPACES 0 COMPACT SPACES
EXISTING TREE CANOPY:	9.58 AC EXISTING (82% OF TOTAL SITE)
TREE CANOPY PRESERVATION REQUIRED:	1.44 AC (15% OF TOTAL SITE)
TREE CANOPY PRESERVATION PROVIDED:	1.52 AC (16% OF TOTAL SITE)
PARKLAND (IF APPLICABLE):	N/A
OPEN SPACE REQUIRED:	N/A
OPEN SPACE PROVIDED:	ALL FORMAL - 0.35 AC (5% OF PHASE 1) ALL FORMAL - 0.35 AC (5% OF PHASE 1)
NOTES:	
1. WITHIN NEW DEVELOPMENTS AND FOR OFF-SITE LINES CONSTRUCTED AS A RESULT OF, OR TO PROVIDE SERVICE TO, THE NEW DEVELOPMENT, ALL UTILITIES, SUCH AS CABLE TELEVISION, ELECTRICAL (EXCLUDING TRANSFORMERS), GAS, SEWER, TELEPHONE, AND WATER LINES SHALL BE PLACED UNDERGROUND.	
2. THIS SITE PLAN HAS BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE CITY OF FRANKLIN STANDARDS AND THE APPROVAL OF PLANNING COMMISSION. CHANGES SHALL NOT BE MADE TO THE APPROVED SITE PLAN UNLESS APPROVED BY EITHER RELEVANT DEPARTMENT SUPERINTENDENT OR THE PLANNING COMMISSION.	
3. THE INFORMATION SHOWN ON THIS PLAN IS BASED UPON THE TENNESSEE STATE PLANE COORDINATE SYSTEM, ZONE 5301, FLIPZONE 4100 AND NAD 83 DATUM.	
4. BASE INFORMATION WAS TAKEN FROM A TOPOGRAPHIC SURVEY PREPARED BY LITTLEJOHN, DATED MARCH 23, 2015. KIMLEY-HORN AND ASSOCIATES SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF THE BASE INFORMATION SHOWN.	
5. THE CONSULTANT HAS FOUND NO EVIDENCE OF THE MINERAL RIGHTS OF THIS PROPERTY BEING TRANSFERRED TO ANY PARTY OTHER THAN THE OWNER.	
6. THIS PROJECT DOES NOT PROPOSE FILL WITHIN THE EXISTING FLOODPLAIN. NO BUILDINGS IN THIS PROJECT FALL WITHIN THE 100 YEAR FLOODPLAIN, PER THE FEMA FIRM MAP NUMBER 47187C0212F, DATED SEPTEMBER 29, 2006	

- R.O.W. & ACCESS GENERAL NOTES**
- PRIOR TO BEGINNING ANY CONSTRUCTION, THE DEVELOPER AND/OR CONTRACTOR, SHALL OBTAIN ALL NECESSARY PERMITS AS REQUIRED BY LAW. SUCH PERMITS MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE REQUIRED BY STATE OF TENNESSEE, WILLIAMSON COUNTY AND OTHER CITY OF FRANKLIN AGENCIES.
 - ALL OFF-SITE WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE AN APPROVED TRAFFIC CONTROL PLAN WHICH COMPLIES WITH THE MUTCD. NO OFF-SITE EXCAVATION MAY BE UNDERTAKEN IN ANY STREET, ROAD, ALLEY OR RIGHT-OF-WAY OF ANY UTILITY OR TEMPORARY CONSTRUCTION EASEMENT OF THE CITY OF FRANKLIN BY ANY ENTITY UNLESS 72-HOUR NOTICE HAS BEEN GIVEN TO THE CITY OF FRANKLIN TRAFFIC OPERATIONS CENTER. THE CONTRACTOR SHALL HAVE AN APPROVED TRAFFIC CONTROL PLAN ON-SITE DURING CONSTRUCTION.
 - CONSTRUCTION MATERIALS SHALL BE FULLY TESTED IN ACCORDANCE WITH THE DESIGNATIONS AND REQUIREMENTS WITHIN THE REFERENCED "DOT STANDARD SPECIFICATIONS" SECTIONS, UNLESS OTHERWISE NOTED WITHIN THE "STANDARD SPECIFICATIONS" SECTION OF THE CITY OF FRANKLIN TRANSPORTATION & STREET TECHNICAL STANDARDS.
 - AN AUTHORIZED REPRESENTATIVE OF THE CITY SHALL MAKE A FINAL INSPECTION OF THE PROJECT AFTER COMPLETION TO DETERMINE ACCEPTABILITY OF THE WORK AND FOR RELEASE OF PERFORMANCE BONDS IF REQUIRED. BEFORE THIS FINAL INSPECTION CAN BE MADE, THE ENGINEER RESPONSIBLE FOR THE PROJECT SHALL CERTIFY IN WRITING TO THE CITY ENGINEER THAT THE WORK HAS BEEN COMPLETED IN ACCORDANCE WITH APPROVED PLANS AND SPECIFICATIONS.
 - LOCATING AND COORDINATION FOR THE RELOCATION OF EXISTING UTILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR. TENNESSEE'S ONE-CALL AND THE CITY OF FRANKLIN UTILITY LOCATION SERVICE SHALL BE UTILIZED IN ADDITION TO COORDINATION WITH LOCAL UTILITY OWNERS. THE CONTRACTOR SHALL AT ALL TIMES PROTECT EXISTING UTILITIES AND WILL BE RESPONSIBLE FOR COSTS DUE TO DAMAGE CAUSED TO ANY UTILITY LINES.
 - ALL TEMPORARY STRIPING SHALL CONFORM TO "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION," PUBLISHED BY TDOT. THE LATEST REVISION EXCEPT AS HEREIN AMENDED, WHEN APPROVED. TEMPORARY STRIPING SHALL BE REQUIRED PRIOR TO THE OPENING OF A STREET FOR TRAVEL WHERE PAVEMENT AND/OR PERMANENT STRIPING CANNOT BE COMPLETED DUE TO WEATHER AND/OR TIME CONSTRAINTS.
 - THERMOPLASTIC PAVEMENT MARKINGS SHOULD BE USED ON ALL PUBLIC AND PRIVATE CITY STREET PROJECTS. THERMOPLASTIC TRAFFIC STRIPING AND PAVEMENT MARKINGS SHALL CONFORM TO SECTION 716.03 "THERMOPLASTIC PAVEMENT MARKINGS," OF THE TENNESSEE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS (TDOT), AND TO THE CITY OF FRANKLIN TRANSPORTATION & STREET TECHNICAL STANDARDS.



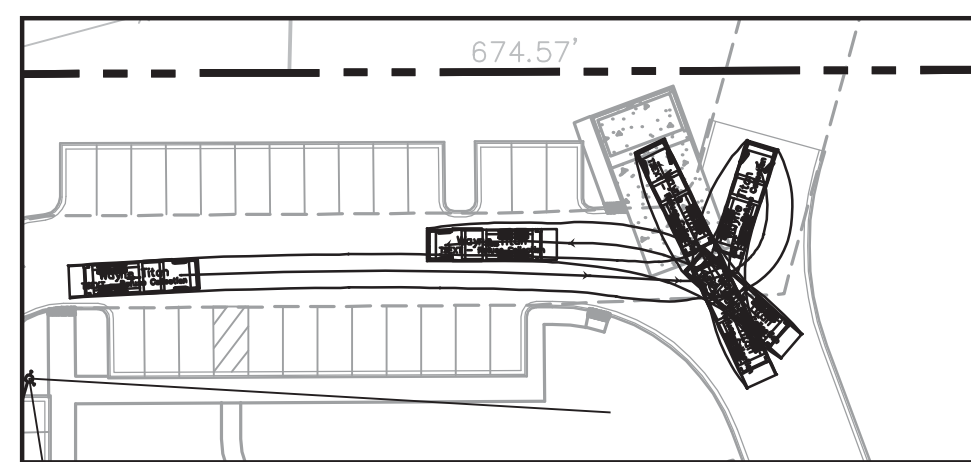
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 TIME: 3:15 PM
 COMPLETED BY: RFB, INC.
 STATIC PRESSURE: 98 PSI
 RESIDUAL PRESSURE: 94 PSI
 FLOW: 1473 GPM



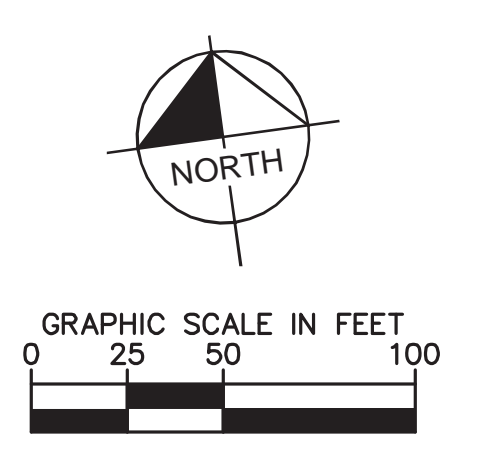
Franklin T-2 Sutphen

Width	: 8.66
Track	: 8.00
Lock to Lock Time	: 6.0
Steering Angle	: 42.0

CITY OF FRANKLIN FIRE TRUCK DETAIL
NOT TO SCALE



CITY OF FRANKLIN GARBAGE TRUCK DETAIL



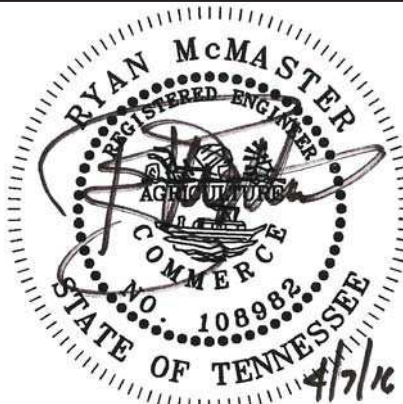
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Nashville, TN 37204
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DEVELOPMENT PLANNING AND
LANDSCAPE ARCHITECTURE

**SCOTT HAMILTON
PROTON THERAPY CENTER**
FRANKLIN, TENNESSEE



NO.	DATE	BY	REVISIONS PER CITY COMMENTS
1	04/07/2016		

DESIGNED BY: CJM
 DRAWN BY: CJM
 CHECKED BY: RLM
 DATE: 03/14/2016
 KHA PROJECT NO. 118133000

ENLARGED ROW AND ACCESS PLAN

SHEET NUMBER
C4.1
COF# 6076

SITE DATA CHART

PROJECT NAME: SCOTT HAMILTON PROTON THERAPY CENTER
COF PROJECT #: 6076
SUBDIVISION: MEDCORE MEDICAL BLDG
MAP: MAP # 79
PARCEL #: 48.04
LOT: 3

ADDRESS: 4588 CAROTHERS PARKWAY
CITY: FRANKLIN
COUNTY: WILLIAMSON
STATE: TENNESSEE
CIVIL DISTRICT: 8TH CIVIL DISTRICT

EXISTING ZONING: GENERAL OFFICE DISTRICT
CHARACTER AREA OVERLAY: McEWEN 5
OTHER APPLICABLE OVERLAYS: N/A
DEVELOPMENT STANDARD: CONVENTIONAL
ACREAGE OF SITE: 11.62 AC
SQUARE FOOTAGE OF SITE: 506,335 SF

OWNER: MTPC LLC
1400 DOWELL SPRINGS BLVD #350
KNOXVILLE, TN 37909

DEVELOPER: PROVISION SOLUTIONS
ANDY LORENZ
1400 DOWELL SPRINGS BLVD., SUITE 350
KNOXVILLE, TN 37909
(865)321-4701

APPLICANT: KIMLEY-HORN & ASSOCIATES
Address: 214 OCEANSIDE DRIVE
NASHVILLE, TN 37204
Phone: 615-564-2701
Email: RYAN.MCMASTER@KIMLEY-HORN.COM
Contact Name: RYAN MCMASTER

BUILDING SETBACKS: FRONT=50'; SIDE=25'; REAR=40';
BUILDING SQUARE FOOTAGE: 101,501 SF
PH. 1 BUILDING AREA: 30,804 SF (2-STORY MEDICAL OFFICE)
FUTURE BUILDING AREA: 9,647 SF (PROTON VAULT)
± 61,050 SF (3-STORY MEDICAL OFFICE)

BUILDING HEIGHT: ± 4'
MINIMUM LANDSCAPE SURFACE RATIO: 0.30 (2.07 AC PHASE 1)
PROVIDED LANDSCAPE SURFACE RATIO: 0.52 (3.58 AC PHASE 1)
MINIMUM PARKING REQUIREMENT: N/A
EXISTING PARKING: N/A
PARKING PROVIDED: 149 TOTAL SPACES
145 STANDARD SPACES
4 ADA SPACES
0 COMPACT SPACES

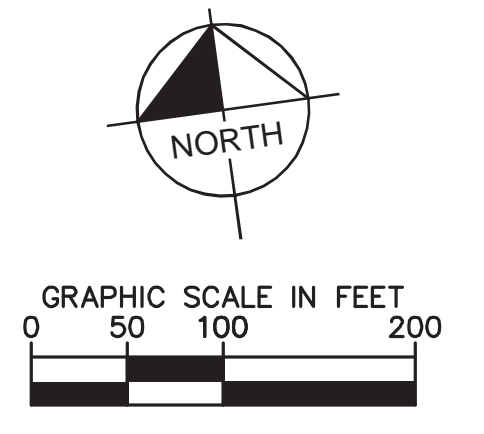
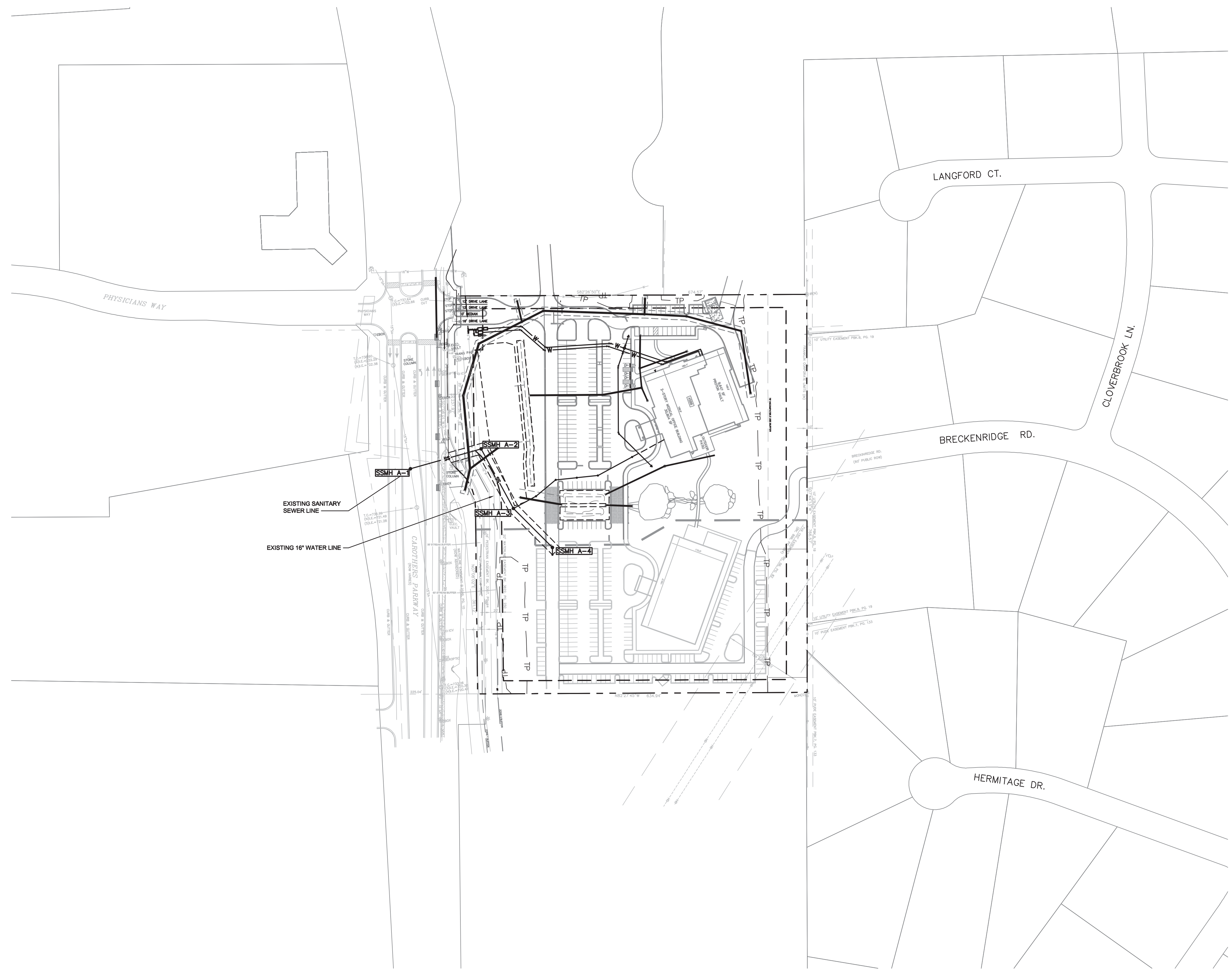
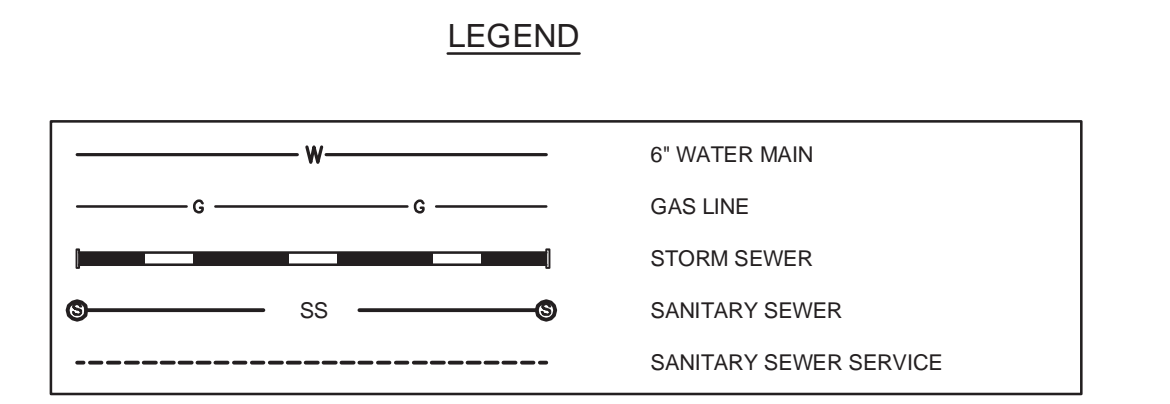
EXISTING TREE CANOPY: 9.58 AC EXISTING (82% OF TOTAL SITE)
TREE CANOPY PRESERVATION REQUIRED: 1.44 AC (15% OF TOTAL SITE)
TREE CANOPY PRESERVATION PROVIDED: 1.52 AC (16% OF TOTAL SITE)
PARKLAND(IF APPLICABLE): N/A
OPEN SPACE REQUIRED: ALL FORMAL - 0.35 AC (5% OF PHASE 1)
OPEN SPACE PROVIDED: ALL FORMAL - 0.35 AC (5% OF PHASE 1)

NOTES:
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5. THE CONSULTANT HAS FOUND NO EVIDENCE OF THE MINERAL RIGHTS OF THIS PROPERTY BEING TRANSFERRED TO ANY PARTY OTHER THAN THE OWNER.
6. THIS PROJECT DOES NOT PROPOSE FILL WITHIN THE EXISTING FLOODPLAIN. NO BUILDINGS IN THIS PROJECT FALL WITHIN THE 100 YEAR FLOODPLAIN, PER THE FEMA FIRM MAP NUMBER 47187C0212F, DATED SEPTEMBER 29, 2006

CITY OF FRANKLIN WMS

CITY OF FRANKLIN
124 LUMBER DRIVE
FRANKLIN, TN 37064
PHONE: (615)794-4554
CONTACT: BEN MCNEIL

THE CITY OF FRANKLIN WATER MANAGEMENT DEPARTMENT IS NOT A MEMBER OF TN ONE CALL. THE CONTRACTOR SHALL ALSO NOTIFY THE CITY OF FRANKLIN WATER MANAGEMENT DEPARTMENT TO LOCATE WATER AND/OR SEWER AT LEAST 72 HOURS PRIOR TO THE ESTIMATED TIME OF EXCAVATION.



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Nashville, TN 37204
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DEVELOPMENT PLANNING AND
LANDSCAPE ARCHITECTURE

**SCOTT HAMILTON
PROTON THERAPY CENTER**
FRANKLIN, TENNESSEE



NO.	DATE	BY	REVISIONS PER CITY COMMENTS
1	04/07/2016		

DESIGNED BY: RJA
DRAWN BY: RJA
CHECKED BY: RLM
DATE: 03/14/2016
KHA PROJECT NO. 118133000
OVERALL UTILITY PLAN
SHEET NUMBER
C5.0
C0F# 6076

SITE DATA CHART

PROJECT NAME: SCOTT HAMILTON PROTON THERAPY CENTER
 COF PROJECT #: 6076
 SUBDIVISION: MEDCURE MEDICAL BLDG
 MAP # 79
 PARCEL #: 48.04
 LOT: 3
 ADDRESS: 4589 CAROTHERS PARKWAY
 CITY: FRANKLIN
 COUNTY: WILLIAMSON
 STATE: TENNESSEE
 CIVIL DISTRICT: 8TH CIVIL DISTRICT
 EXISTING ZONING: GENERAL OFFICE DISTRICT
 CHARACTER AREA OVERLAY: McEWEN 5
 OTHER APPLICABLE OVERLAYS: N/A
 DEVELOPMENT STANDARD: CONVENTIONAL
 ACREAGE OF SITE: 11.62 AC
 SQUARE FOOTAGE OF SITE: 506,335 SF
 OWNER: MTPC LLC
 1400 DOWELL SPRINGS BLVD #350
 KNOXVILLE, TN 37909
 DEVELOPER: PROVISION SOLUTIONS
 ANDY LORENZ
 1400 DOWELL SPRINGS BLVD., SUITE 350
 KNOXVILLE, TN 37909
 (865)321-4701
 APPLICANT: KIMLEY-HORN & ASSOCIATES
 Address: 214 OCEANSIDE DRIVE
 NASHVILLE, TN 37204
 Phone: 615-564-2701
 Email: RYAN.MCMASTER@KIMLEY-HORN.COM
 Contact Name: RYAN MCMASTER

BUILDING SETBACKS: FRONT=50'; SIDE=25'; REAR=40'
 BUILDING SQUARE FOOTAGE: 101,501 SF
 PH. 1 BUILDING AREA: 30,804 SF (2-STORY MEDICAL OFFICE)
 9,647 SF (PROTON VAULT)
 FUTURE BUILDING AREA: ± 61,050 SF (3-STORY MEDICAL OFFICE)
 BUILDING HEIGHT: ± 44'
 MINIMUM LANDSCAPE SURFACE RATIO: 0.30 (2.07 AC PHASE 1)
 PROVIDED LANDSCAPE SURFACE RATIO: 0.52 (3.58 AC PHASE 1)
 MINIMUM PARKING REQUIREMENT: N/A
 EXISTING PARKING: N/A
 PARKING PROVIDED: 149 TOTAL SPACES
 145 STANDARD SPACES
 4 ADA SPACES
 0 COMPACT SPACES

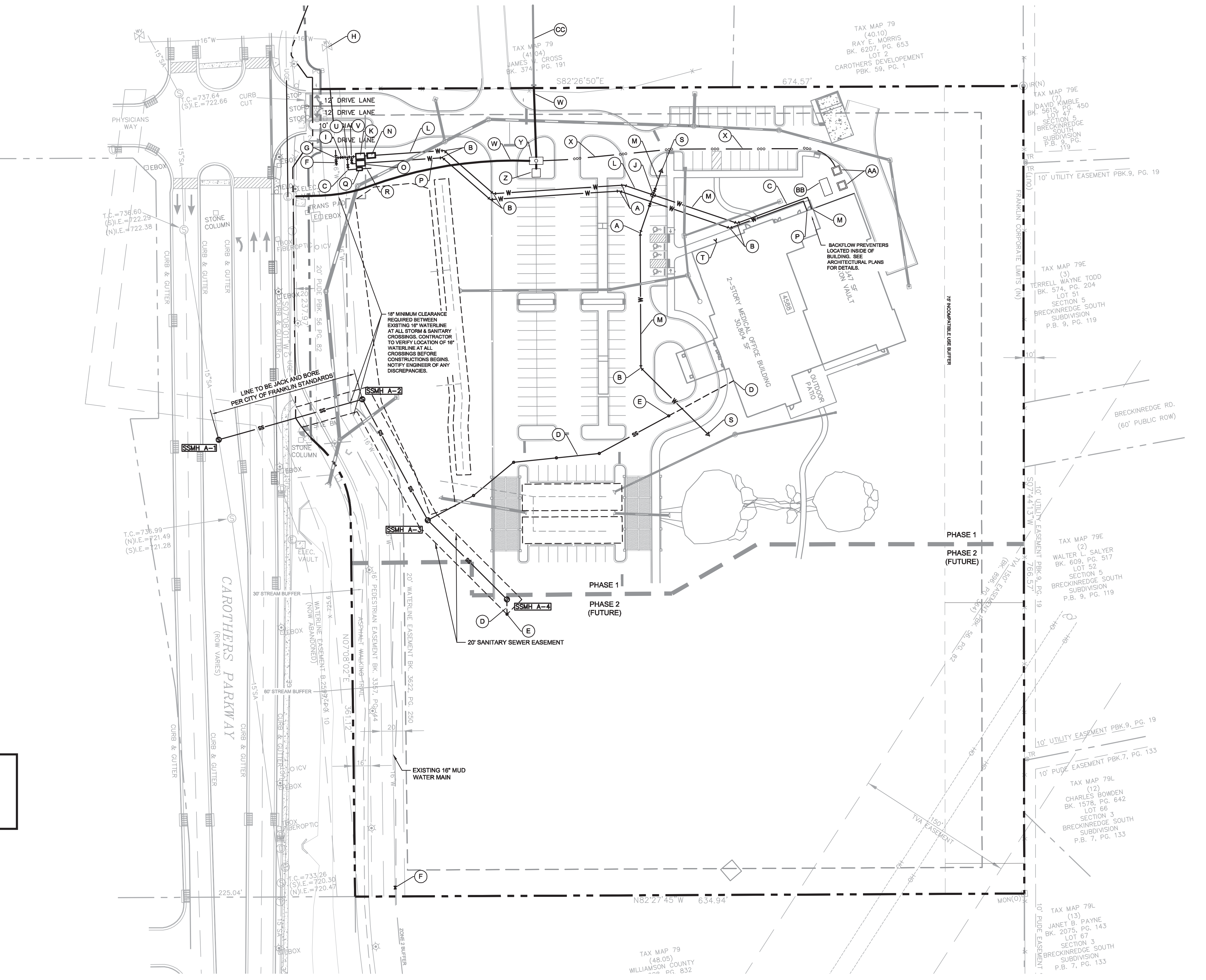
EXISTING TREE CANOPY: 9.58 AC EXISTING (82% OF TOTAL SITE)
 TREE CANOPY PRESERVATION REQUIRED: 1.44 AC (15% OF TOTAL SITE)
 TREE CANOPY PRESERVATION PROVIDED: 1.52 AC (16% OF TOTAL SITE)
 PARKLAND (IF APPLICABLE): N/A
 OPEN SPACE REQUIRED: ALL FORMAL - 0.35 AC (3% OF PHASE 1)
 OPEN SPACE PROVIDED: ALL FORMAL - 0.35 AC (3% OF PHASE 1)
NOTES:
 1. WITHIN NEW DEVELOPMENTS AND FOR OFF-SITE LINES CONSTRUCTED AS A RESULT OF, OR TO PROVIDE SERVICE TO, THE NEW DEVELOPMENT, ALL UTILITIES, SUCH AS CABLE TELEVISION, ELECTRICAL (EXCLUDING TRANSFORMERS), GAS, SEWER, TELEPHONE, AND WATER LINES SHALL BE PLACED UNDERGROUND.
 2. THIS SITE PLAN HAS BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE CITY OF FRANKLIN STANDARDS AND THE APPROVAL OF PLANNING COMMISSION. CHANGES SHALL NOT BE MADE TO THE APPROVED SITE PLAN UNLESS APPROVED BY EITHER RELEVANT DEPARTMENT SUPERINTENDENT OR THE PLANNING COMMISSION.
 3. THE INFORMATION SHOWN ON THIS PLAN IS BASED UPON THE TENNESSEE STATE PLANE COORDINATE SYSTEM, ZONE 5301, FLIPZONE 4100 AND NAD 83 DATUM.
 4. BASE INFORMATION WAS TAKEN FROM A TOPOGRAPHIC SURVEY PREPARED BY LITTLEJOHN, DATED MARCH 23, 2015. KIMLEY-HORN AND ASSOCIATES SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF THE BASE INFORMATION SHOWN.
 5. THE CONSULTANT HAS FOUND NO EVIDENCE OF THE MINERAL RIGHTS OF THIS PROPERTY BEING TRANSFERRED TO ANY PARTY OTHER THAN THE OWNER.
 6. THIS PROJECT DOES NOT PROPOSE FILL WITHIN THE EXISTING FLOODPLAIN. NO BUILDINGS IN THIS PROJECT FALL WITHIN THE 100 YEAR FLOODPLAIN, PER THE FEMA FIRM MAP NUMBER 47187C0212F, DATED SEPTEMBER 29, 2006

SITE PLAN KEY NOTES:

- (A) 22.5' BEND (TYP.)
- (B) 45' BEND (TYP.)
- (C) 90' BEND (TYP.)
- (D) INSTALL 8" SANITARY SEWER SERVICE @ 2% MIN. (TYP.)
- (E) SANITARY SEWER CLEANOUT (TYP.)
- (F) 16" MEGA LUG GATE VALVE
- (G) 16" X 8" MEGA LUG TEE (CUT-IN)
- (H) EXISTING 16" GATE VALVE
- (I) 8" MEGA LUG GATE VALVE
- (J) 8" X 6" X 6" X 6" CROSS
- (K) 6" FIRE METER
- (L) 8" FIRE LINE
- (M) 6" FIRE LINE
- (N) 6" DOUBLE DETECTOR CHECK VALVE
- (O) 2" DOMESTIC METER
- (P) 3" DOMESTIC SERVICE
- (Q) 2" IRRIGATION METER
- (R) 2" IRRIGATION SERVICE (TO BE EXTENDED BY CONTRACTOR)
- (S) FIRE HYDRANT ASSEMBLY
- (T) FIRE DEPARTMENT CONNECTION
- (U) 8" X 2" TEE
- (V) 8" X 3" TEE
- (W) 4 - 6" CONDUITS IN RED CONCRETE
- (X) 4 - 4" CONDUITS
- (Y) ELECTRICAL MANHOLE
- (Z) SWITCH

SITE PLAN KEY NOTES:

- (AA) TRANSFORMER
- (BB) GENERATOR
- (CC) EX. 4-6" CONDUITS IN RED CONCRETE BY OTHERS

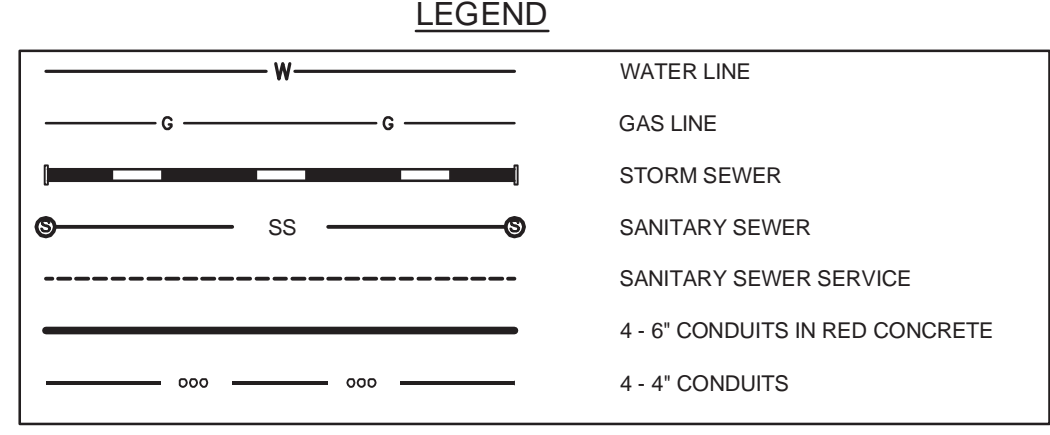


WATER LINE DESIGN SHOWN ON THIS PLAN IS PRELIMINARY ONLY. CONTRACTOR SHALL CONTACT MILCROFTON UTILITY DISTRICT FOR FINAL WATER LINE DESIGN. WATER LINE SPECIFICATIONS AND CONNECTION TO EXISTING 16" WATER LINE.

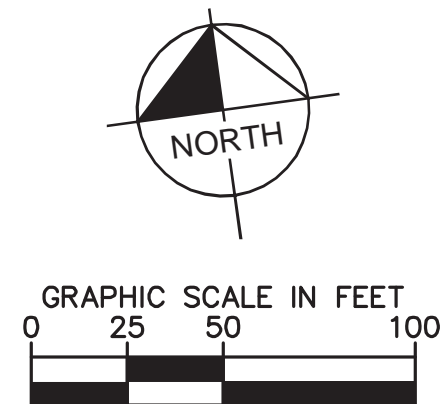
MILCROFTON UTILITY DISTRICT
 8333 ARNO RD.
 FRANKLIN, TN 37064
 PHONE: (605) 794-5947
 CONTACT: MIKE JONES

CITY OF FRANKLIN WMS
 CITY OF FRANKLIN
 124 LUMBER DRIVE
 FRANKLIN, TN 37064
 PHONE: (615)794-4554
 CONTACT: BEN MCNEIL

NOTE: BACK FLOW PREVENTERS SHALL BE LOCATED INTERNAL TO THE PROPOSED BUILDING. COORDINATE WITH ARCHITECTURAL MEP PLANS FOR DETAILS.



HYDRANT FLOW TEST REPORT:
 DATE: AUGUST 25, 2015
 TIME: 3:15 PM
 COMPLETED BY: RFB, INC.
 STATIC PRESSURE: 98 PSI
 RESIDUAL PRESSURE: 94 PSI
 FLOW: 1473 GPM



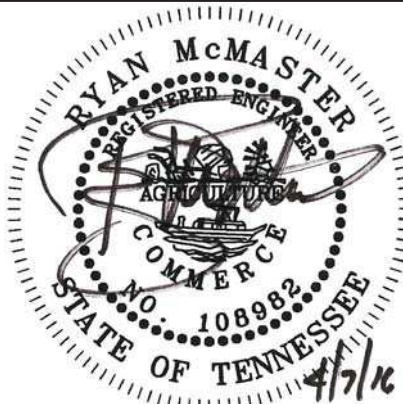
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 Nashville, TN 37204
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DESIGN COLLABORATIVE
 DEVELOPMENT PLANNING AND
 LANDSCAPE ARCHITECTURE

GDC

**SCOTT HAMILTON
 PROTON THERAPY CENTER**
 FRANKLIN, TENNESSEE



NO.	DATE	BY	REVISIONS
1	04/07/2016		PER CITY COMMENTS

DESIGNED BY: CJM
 DRAWN BY: CJM
 CHECKED BY: RLM
 DATE: 03/14/2016
 KHA PROJECT NO. 118133000

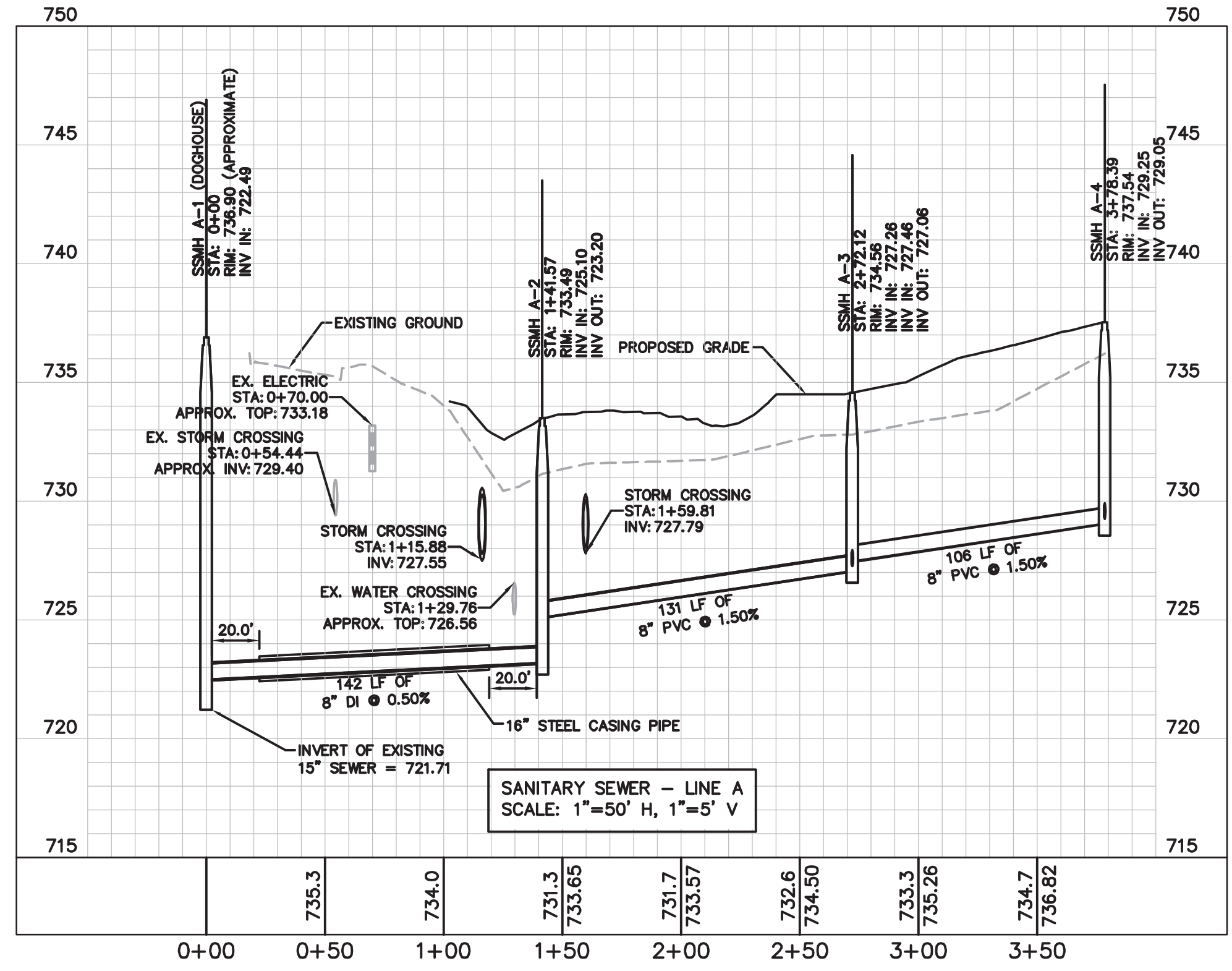
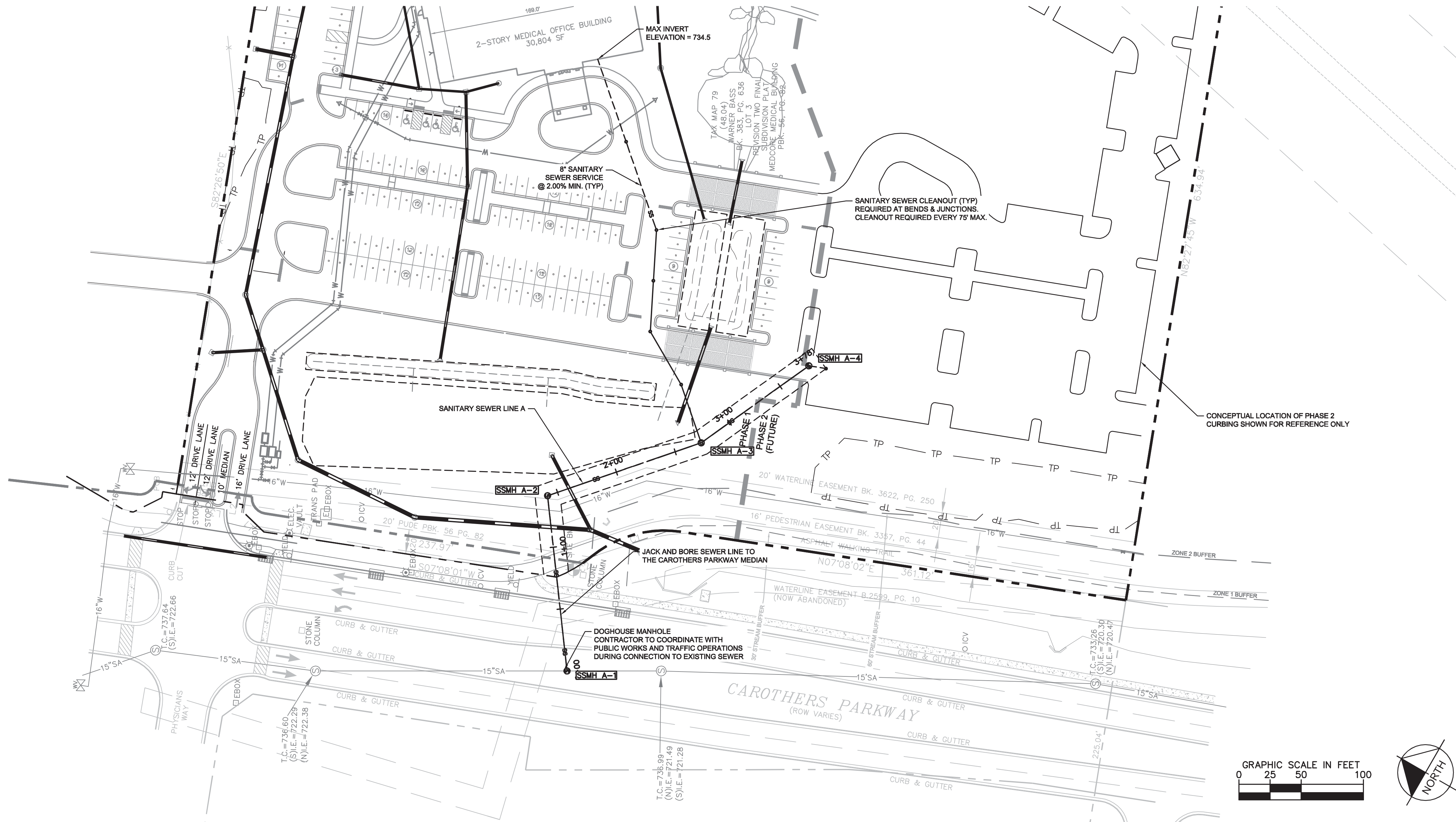
SITE UTILITY PLAN

SHEET NUMBER
C5.1
 CCF 6076

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WATER LINE DESIGN SHOWN ON THIS PLAN IS PRELIMINARY ONLY. CONTRACTOR SHALL CONTACT MILCROFTON UTILITY DISTRICT FOR FINAL WATER LINE DESIGN, WATER LINE SPECIFICATIONS AND CONNECTION TO EXISTING 16" WATER LINE.

MILCROFTON UTILITY DISTRICT
6333 ARNO RD.
FRANKLIN, TN 37064
PHONE: (605) 794-6947
CONTACT: MIKE JONES



NOTE: THE VERTICAL LOCATION OF EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED PRIOR TO CONSTRUCTION. CONTRACTOR TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITY CROSSINGS PRIOR TO ORDERING STRUCTURES. IF CONFLICTS EXIST, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY.

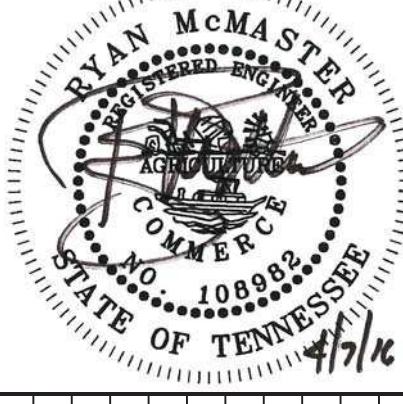
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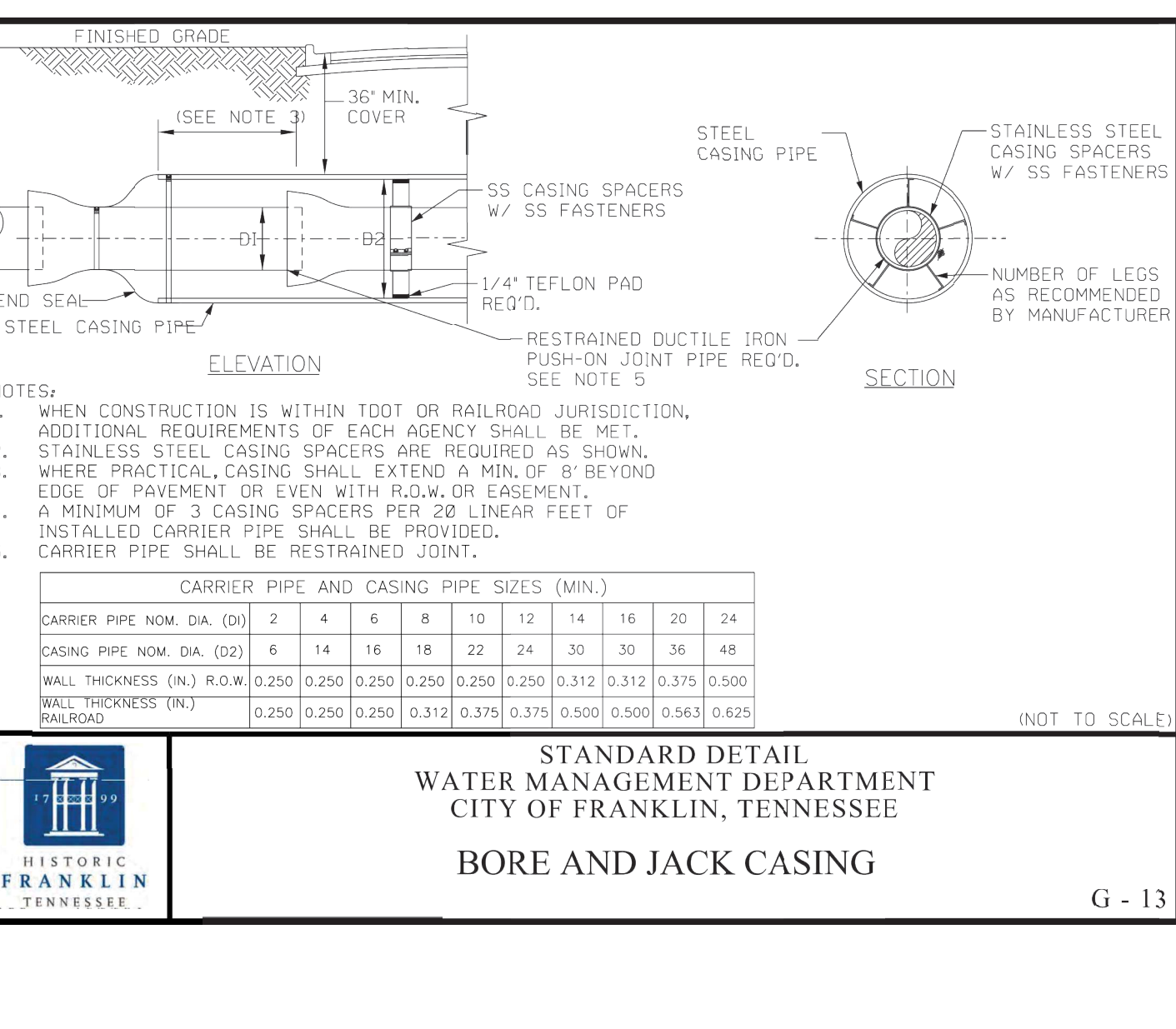
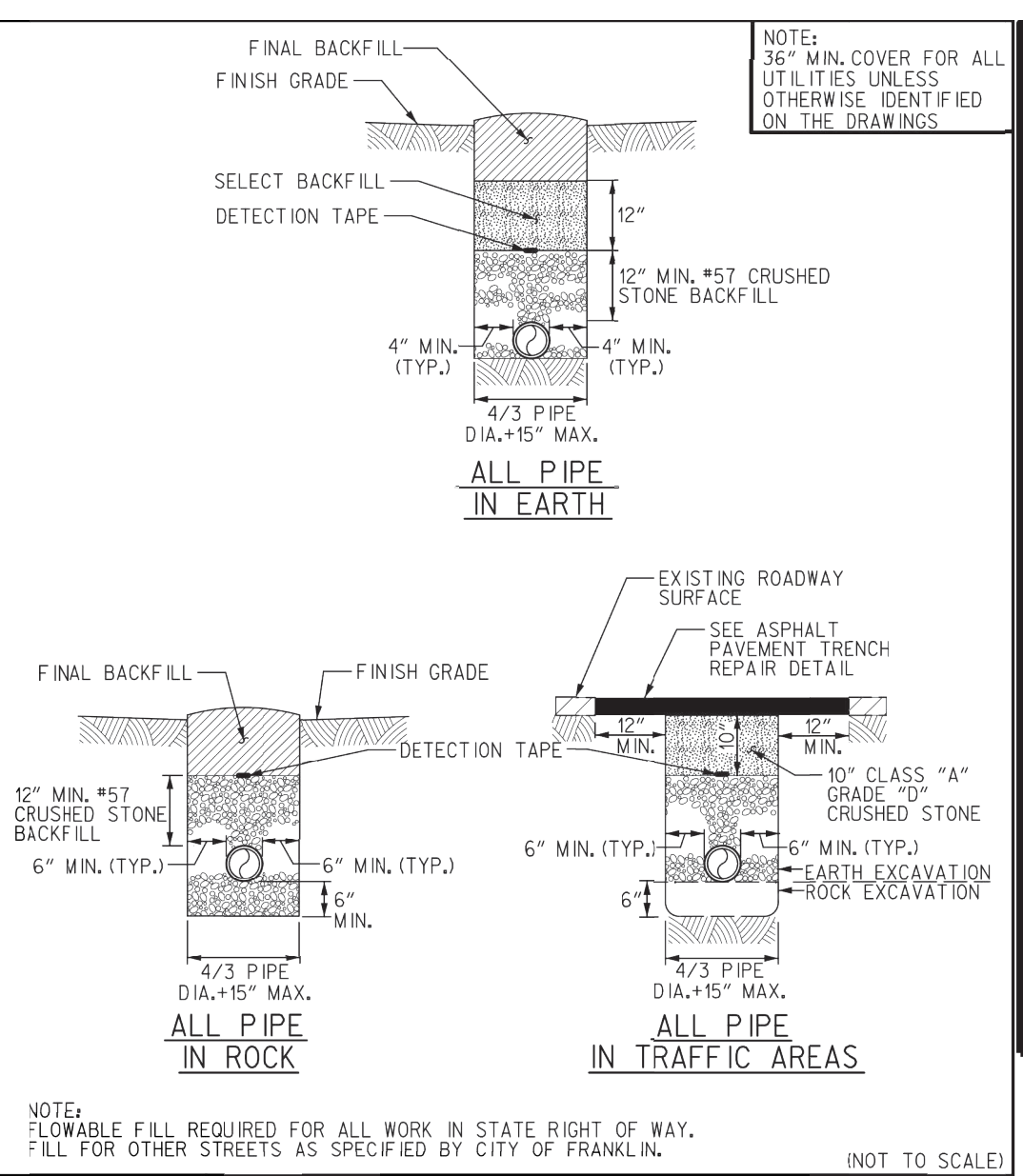
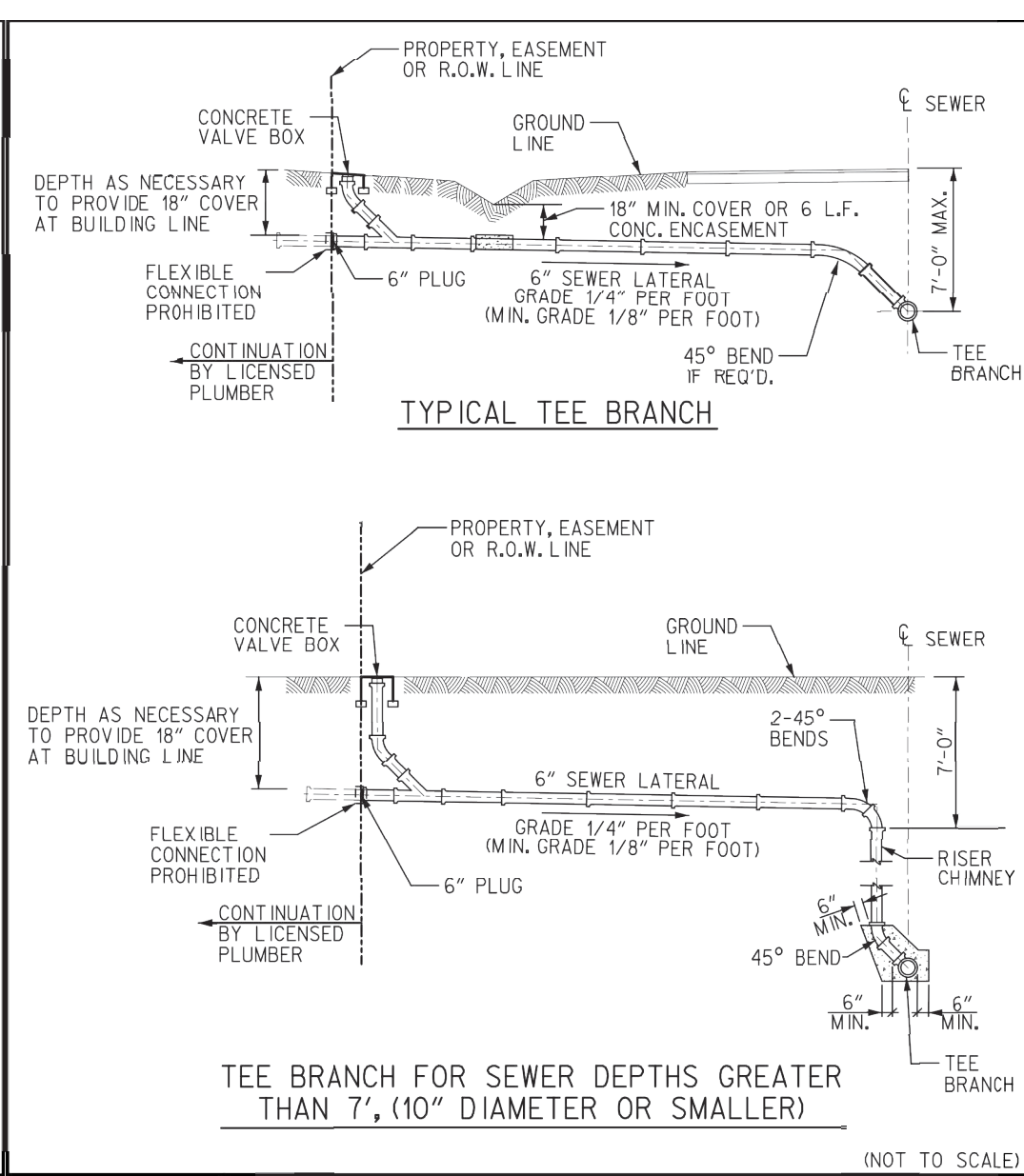
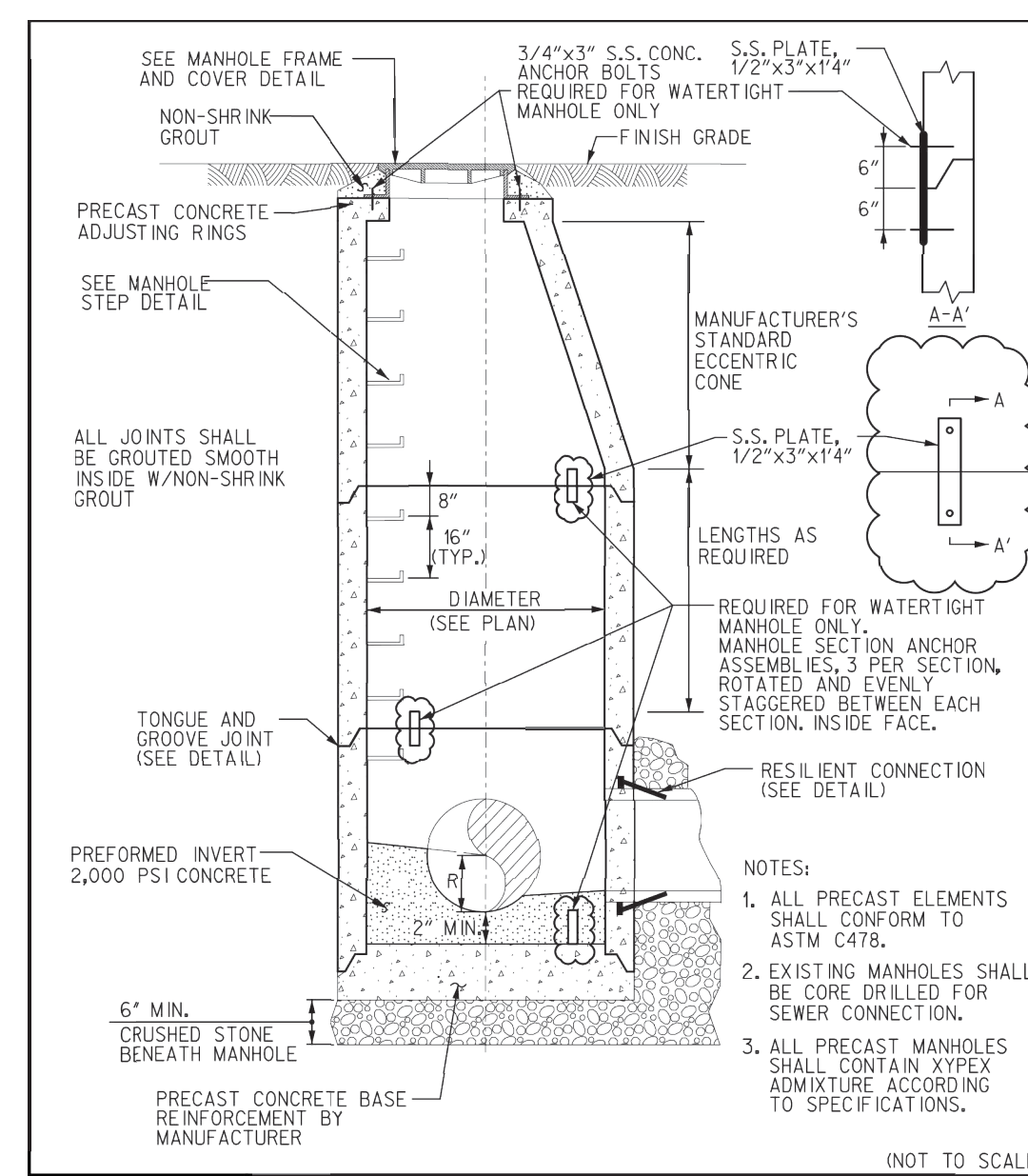
GDC

SCOTT HAMILTON
PROTON THERAPY CENTER
FRANKLIN, TENNESSEE



NO.	DATE	BY	REVISIONS	PER CITY COMMENTS	DESIGNED BY:	DATE:	03/14/2016
					CJM	04/07/2016	
					DRAWN BY:		
					CJM		
					CHECKED BY:		
					RLM		
KHA PROJECT NO. 118133000					SHEET NUMBER		
C5.2					SHEET NUMBER		
C5.2					SHEET NUMBER		
C5.2					SHEET NUMBER		
C5.2					SHEET NUMBER		
C5.2					SHEET NUMBER		

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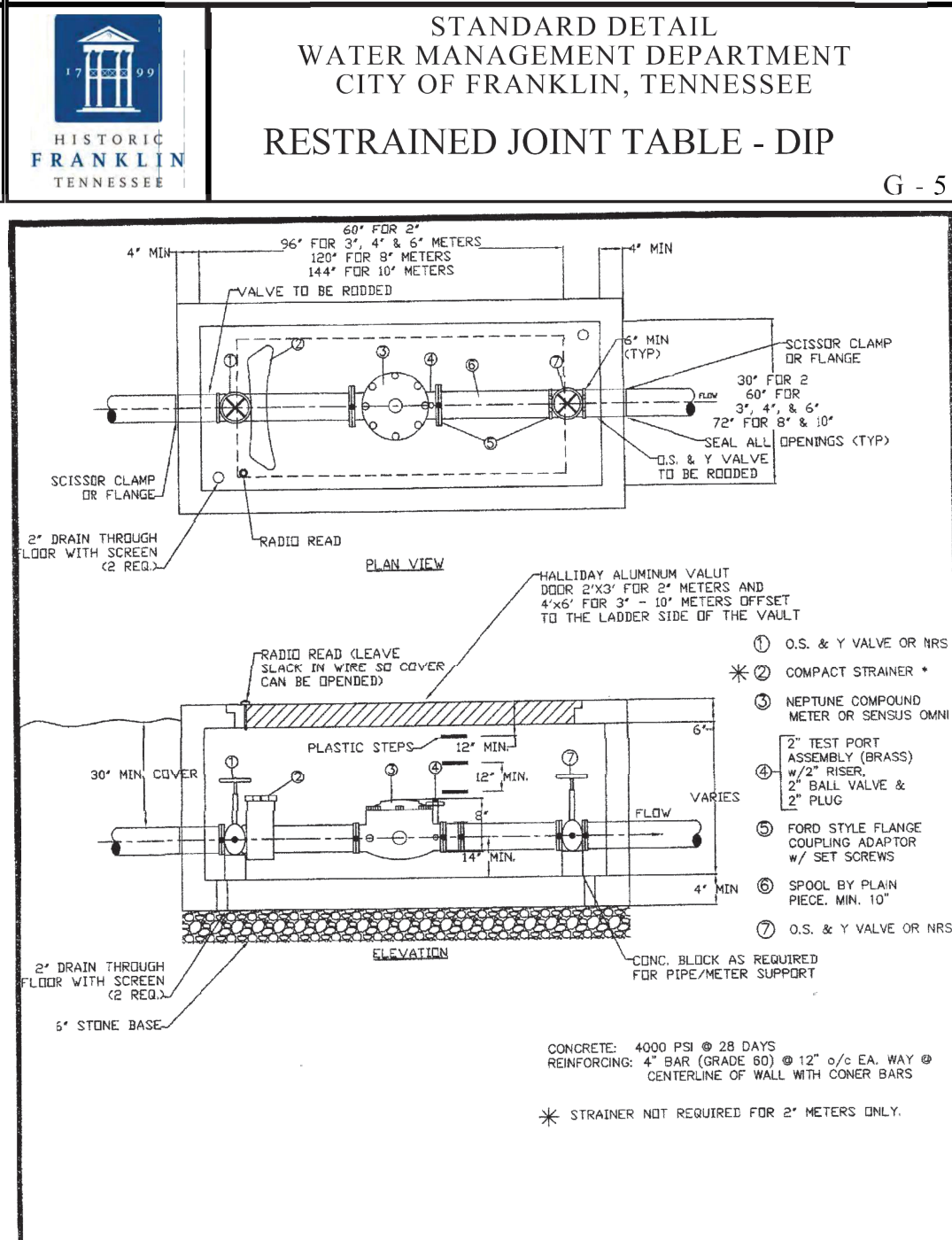
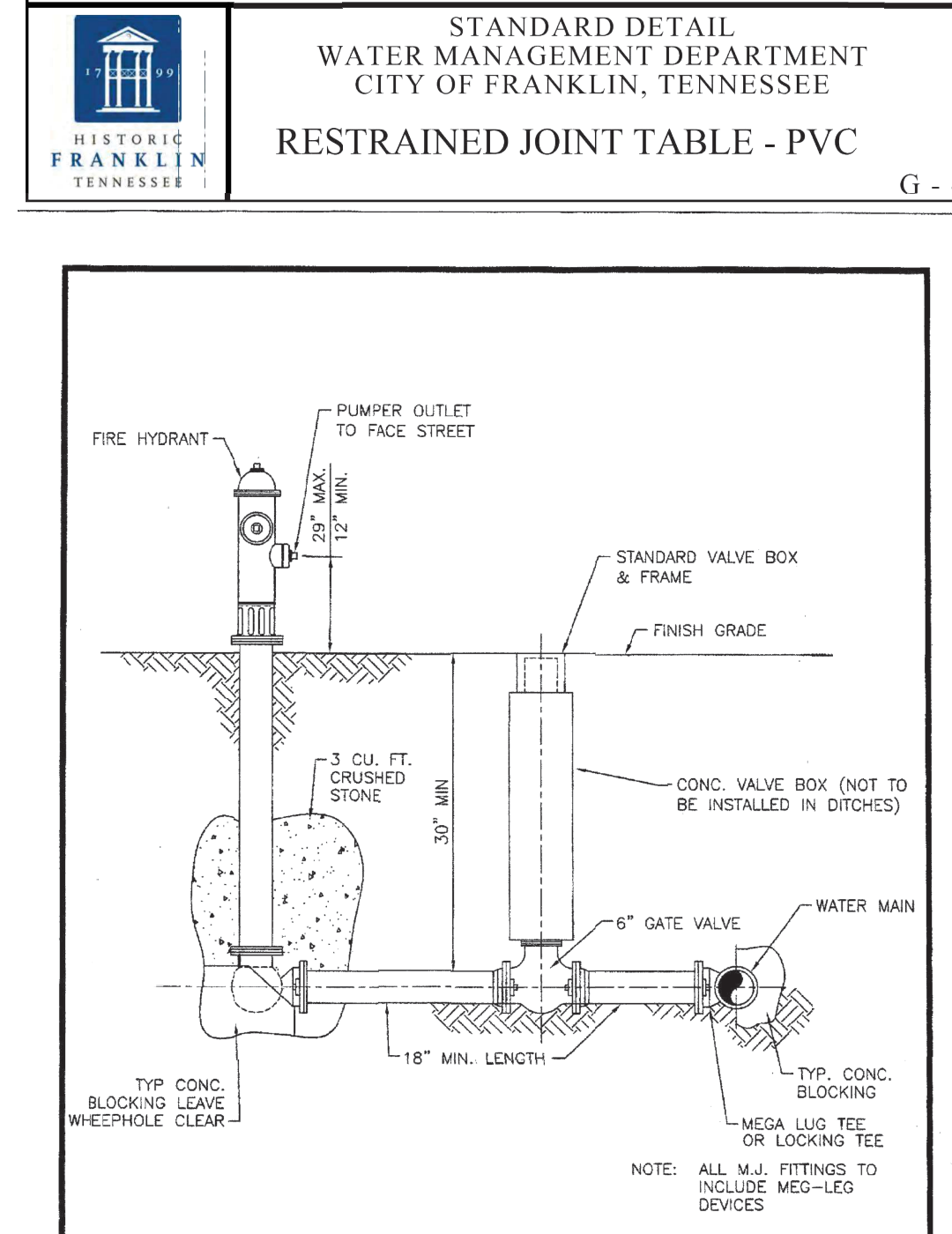
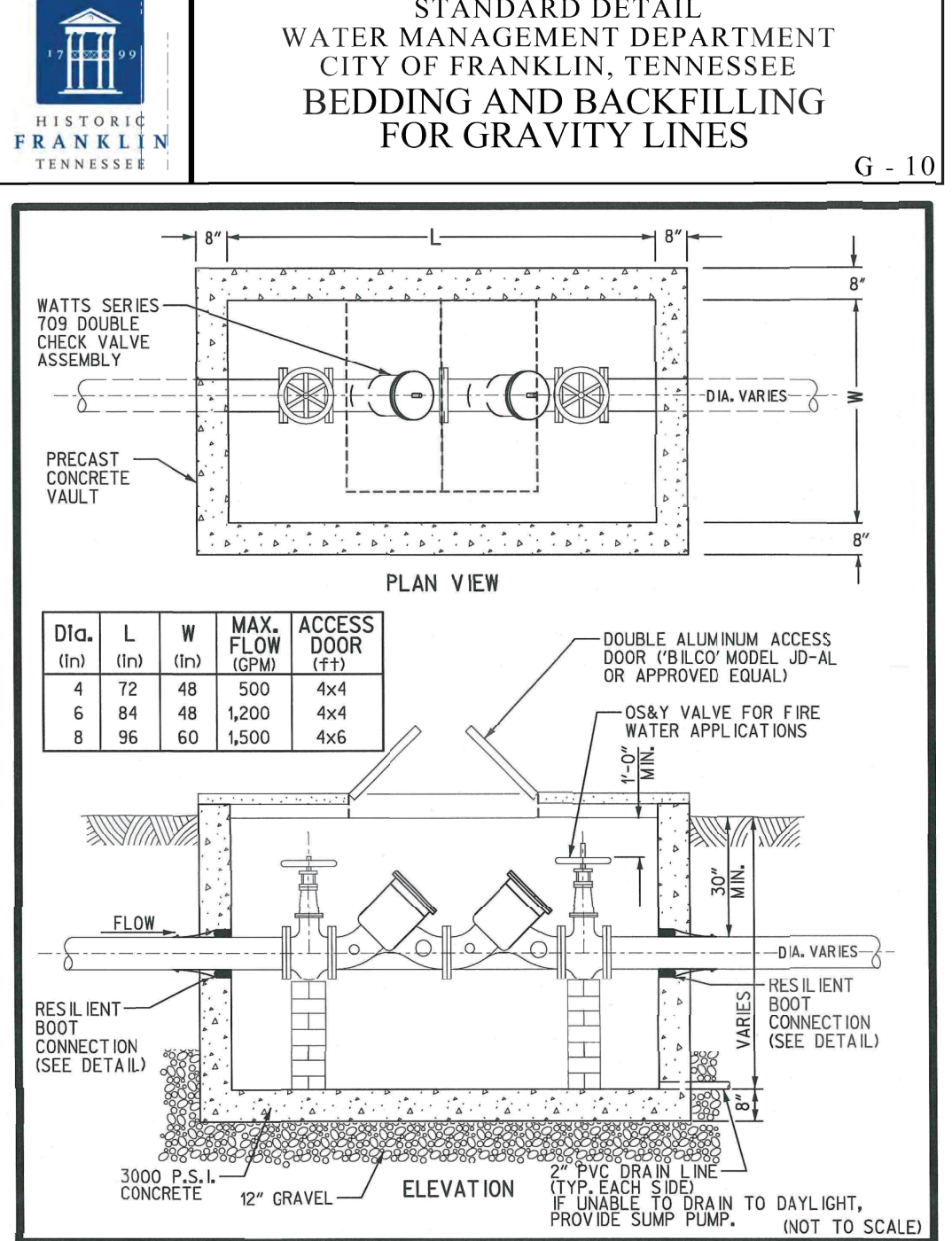


STANDARD DETAIL
WATER MANAGEMENT DEPARTMENT
CITY OF FRANKLIN, TENNESSEE
RESTRAINED JOINT TABLE - PVC

SIZE	A		B		B		B	
	DEAD END	TEE & PLUG	90° BEND	45° BEND	22 1/2° BEND	11 1/4° BEND	11 1/4° BEND	11 1/4° BEND
4"	32	31	15	6	3	2	2	2
6"	40	44	20	9	4	2	2	2
8"	59	57	26	11	6	3	3	3
10"	63	68	31	15	7	4	4	4
12"	83	80	36	16	8	4	4	4
14"	95	91	41	17	9	4	4	4
16"	107	102	46	19	10	5	5	5
20"	150	124	54	23	11	6	6	6
24"	187	144	66	26	13	7	7	7

STANDARD DETAIL
WATER MANAGEMENT DEPARTMENT
CITY OF FRANKLIN, TENNESSEE
RESTRAINED JOINT TABLE - DIP

SIZE	A		B		B		B	
	DEAD END	TEE & PLUG	90° BEND	45° BEND	22 1/2° BEND	11 1/4° BEND	11 1/4° BEND	11 1/4° BEND
4"	21	21	10	5	3	2	2	2
6"	27	27	12	6	4	3	3	3
8"	38	38	17	9	5	4	4	4
10"	49	49	22	12	6	5	5	5
12"	59	59	27	15	7	6	6	6
14"	69	69	32	18	8	7	7	7
16"	79	79	37	21	9	8	8	8
20"	107	107	48	27	12	10	10	10
24"	135	135	57	33	14	12	12	12



STANDARD DRAWING NO. 8
SCALE: N.T.S.
DATE: JAN 2013
GAM ENGINEERING, INC.
100 W. MAIN ST., SUITE 200
FRANKLIN, TN 37068
PHONE: 615-791-8888
WWW.GAMENGINEERING.COM

STANDARD DRAWING NO. 10
SCALE: N.T.S.
DATE: JAN 2013
GAM ENGINEERING, INC.
100 W. MAIN ST., SUITE 200
FRANKLIN, TN 37068
PHONE: 615-791-8888
WWW.GAMENGINEERING.COM

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GDC

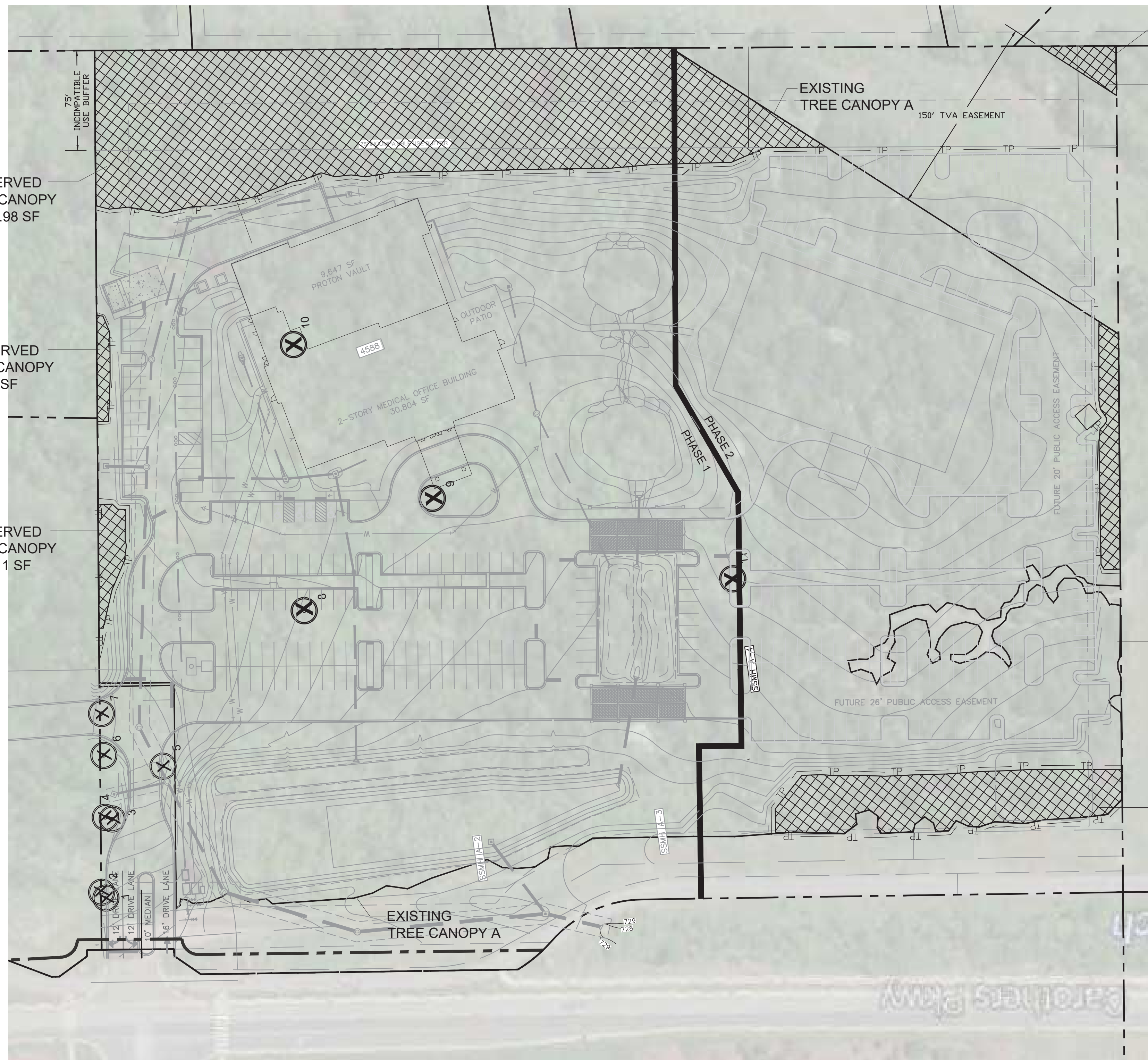
SCOTT HAMILTON
PROTON THERAPY CENTER
FRANKLIN, TENNESSEE



NO.	DATE	BY	REVISIONS	PER CITY COMMENTS
1	04/07/2016			

DESIGNED BY: CJM
DRAWN BY: CJM
CHECKED BY: RLM
DATE: 03/14/2016
KHA PROJECT NO. 118133000

UTILITY DETAILS
SHEET NUMBER
C5.3
COP: 6076



SITE DATA:

PROJECT NAME: SHFT CENTER, SITE PLAN, REVISION I
 PROJECT NUMBER: 6076
 SUBDIVISION: MEDCORE MEDICAL BLDG
 SITE ACREAGE: 11.62 AC
 ZONING: G2 - GENERAL OFFICE DISTRICT
 APPLICABLE OVERLAYS: PRECO-5
 DEVELOPMENT STANDARDS: CONVENTIONAL
 MINIMUM REQUIRED LSA: 30% 2.07 AC
 PROVIDED LSA: 45% 3.1 AC
 ORIGINAL CANOPY COVER: 9.58 AC, 82% OF TOTAL SITE
 PRESERVED CANOPY COVER: 1.52 AC, 16% OF ORIGINAL CANOPY
 SPECIMEN TREE REMOVAL: 4 TREES, 112 INCHES DBH

SPECIMEN TREES

NUMBER	TYPE	SIZE DBH	HEALTH	STATUS
1	HACKBERRY	24"	FAIR	ACCOUNTED FOR WITH ACCESS EASEMENT, NOT PART OF THIS SITE PLAN.
2	OAK	30"	FAIR	ACCOUNTED FOR WITH ACCESS EASEMENT, NOT PART OF THIS SITE PLAN.
3	HACKBERRY	30"	FAIR	ACCOUNTED FOR WITH ACCESS EASEMENT, NOT PART OF THIS SITE PLAN.
4	HACKBERRY	30"	FAIR	ACCOUNTED FOR WITH ACCESS EASEMENT, NOT PART OF THIS SITE PLAN.
5	HACKBERRY	24"	FAIR	ACCOUNTED FOR WITH ACCESS EASEMENT, NOT PART OF THIS SITE PLAN.
6	HACKBERRY	24"	FAIR	ACCOUNTED FOR WITH ACCESS EASEMENT, NOT PART OF THIS SITE PLAN.
7	HACKBERRY	30"	FAIR	ACCOUNTED FOR WITH ACCESS EASEMENT, NOT PART OF THIS SITE PLAN.
8	OAK	36"	FAIR	REMOVED
9	OAK	24"	FAIR	REMOVED
10	OAK	28"	FAIR	REMOVED
11	BOXELDER	24"	FAIR	REMOVED

TOTAL SPECIMEN INCHES REMOVED: 112
 TOTAL HEALTHY INCHES REMOVED: 112
 REPLACEMENT REQUIRED: 224 INCHES

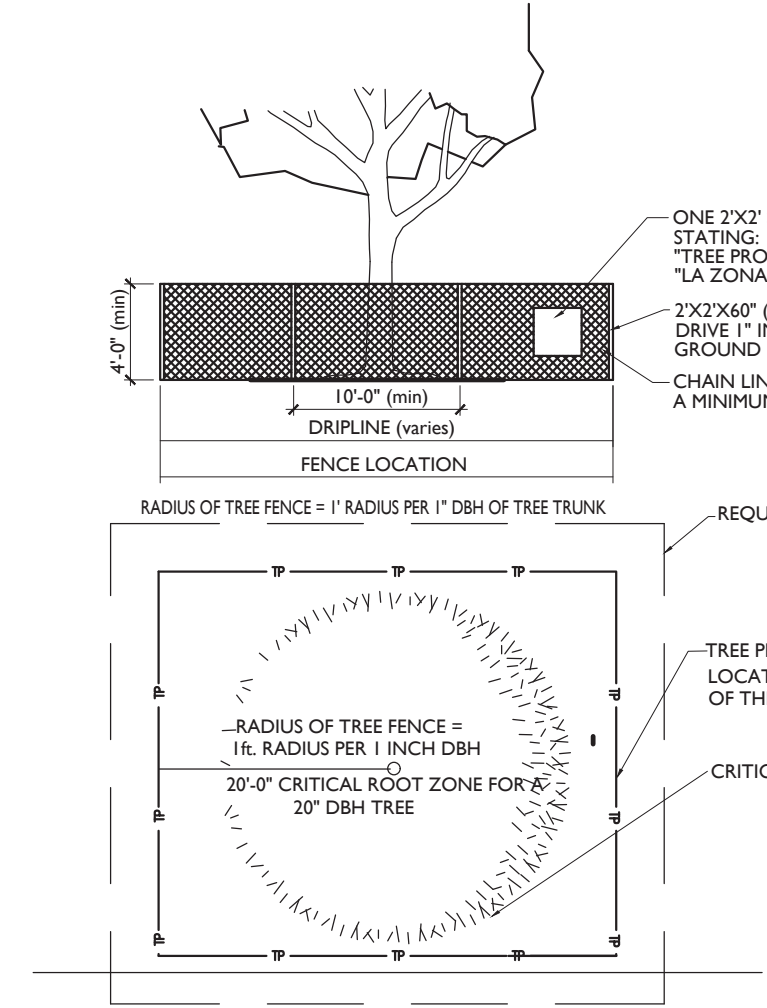
TREE CANOPY RETENTION

TREE CANOPY	EXISTING	REMOVED	RETAINED
A	416,212.23 SF	351,165.23 SF	65,047.0 SF
B	1,070.22	0 SF	1,070.22 SF
TOTAL SF	416,212.23 SF	351,165.23 SF	66,117.22 SF
TOTAL ACRES	9.58 AC	8.11 AC	1.52 AC

TREE CANOPY DATA
 EXISTING TREE CANOPY: 417,282.44SF (82% OF TOTAL SITE)
 REQUIRED CANOPY PRESERVATION: 15%
 REQUIRED PRESERVATION = 62,592.36 SF (11.44 AC)
 PROVIDED TREE CANOPY PRESERVATION: 66,117.22 SF (16%)

KEY:

- SPECIMEN TREE
- TREE PRESERVATION AREA



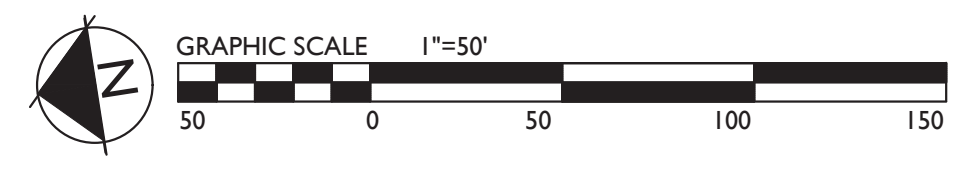
TREE PROTECTION FENCING DETAIL

TREE PROTECTION NOTES

1. The tree protection barriers shall be constructed before the issuance of any permits, and shall remain intact throughout the entire period of construction.
2. The tree protection barrier shall be installed as labeled on this plan or a distance to the radius of the dieline, whichever is greatest, as measured from the trunk of the protected tree.
3. Any required excavation in or around the protection zone to accommodate underground services, footings, etc; shall be indicated on the plan, and shall be excavated by hand. In addition, related root pruning shall be accomplished via ANSI A-300-95 standard so as to minimize impact on the general root system.
4. The storage of building materials or stock piling shall not be permitted within the limits of or against the protection barriers.
5. Trees within the protection barriers must be adequately cared for throughout the construction process (i.e., they must be watered sufficiently). Fill shall not be placed upon the root system as to endanger the health or life of the affected tree.

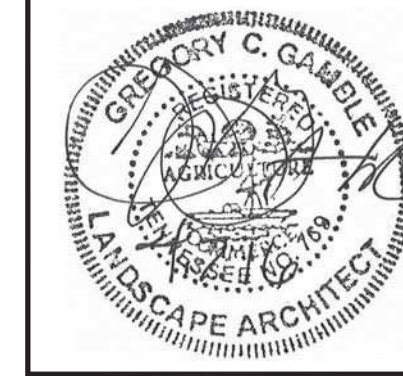
Landscape Architecture Provided by:
 Gamble Design Collaborative, LLC
 Greg Gamble, RLA
 144 Southeast Parkway, Suite 200
 Franklin, Tennessee 37064
 615.975.5765
 greggamble209@gmail.com

TREE PRESERVATION / REMOVAL PLAN



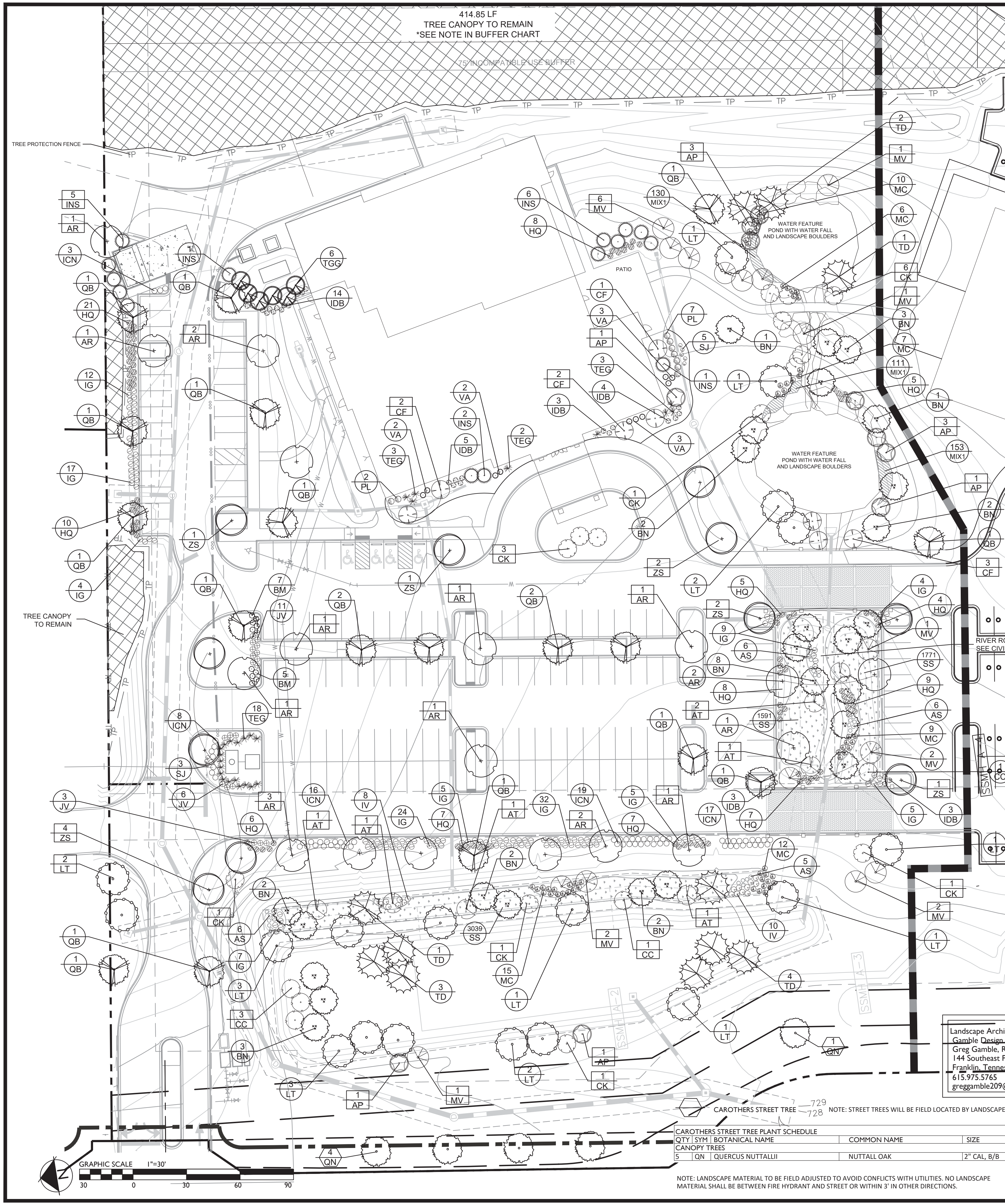
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 LANDSCAPE ARCHITECTURE

SCOTT HAMILTON
PROTON THERAPY CENTER
 FRANKLIN, TENNESSEE



REVISIONS	DATE	BY
CITY OF FRANKLIN COMMENTS	4.7.2016	

DESIGNED BY:
 DRAWN BY:
 CHECKED BY:
 DATE: 3/14/2016
 N/A PROJECT NO:
 118133000
TREE PRESERVATION
 SHEET NUMBER
L1-00
 CDP# 6076



SPECIMEN TREE REPLACEMENT

TOTAL SPECIMEN IN REMOVED	QUANTITY PROVIDED (PHASE I)	CALIPER INCH CONVERSION
120	16	48
2" CALIPER CANOPY TREES	59	118
2" CALIPER UNDERSTORY TREES	165	
TOTAL CALIPER IN. OF REPLACEMENT TREE PROVIDED (PHASE I)	224	
DBH IN. OF REPLACEMENT TREE PROVIDED (TOTAL SITE)	224	
REPLACEMENT CALIPER INCH SURPLUS/SHORTAGE	(-58)	

SITE DATA:

PROJECT NAME:	SHT CENTER, SITE PLAN, REVISION I
PROJECT NUMBER:	6076
SUBDIVISION:	MEDICORE MEDICAL BLDG
SITE ACREAGE:	11.62 AC
ZONING:	GO - GENERAL OFFICE DISTRICT
APPLICABLE OVERLAYS:	MCO-5
DEVELOPMENT STANDARDS:	CONVENTIONAL
MINIMUM REQUIRED LSA:	30% 2.07 AC
PROVIDED LSA:	45% 3.1 AC
ORIGINAL CANOPY COVER:	9.58 AC, 82% OF TOTAL SITE
PRESERVED CANOPY COVER:	1.52 AC, 16% OF ORIGINAL CANOPY
SPECIMEN TREE REMOVAL:	4 TREES, 112 INCHES DBH

SPECIMEN TREE REPLACEMENT CHART

PHASE I	REPLACEMENT IN. REQUIRED	INCHES REPLACED	TOTAL REMAINING
	224	166	58 IN
TOTAL REPLACEMENT			58 IN

LANDSCAPE REQUIREMENTS OF PHASE I (AC)

PHASE I = 6.91 AC REQUIRED LSR = 0.30 (2.07 AC) TOTAL LSA WITHOUT TREE CANOPY = 3.10 AC (45%)	QUANTITY PROVIDED		INCHES PROVIDED CALIPER INCHES
	EXISTING TREES	PROPOSED PHASE I	
EXISTING TREES (SEE TREE INVENTORY)	-	-	-
4" CALIPER CANOPY TREES	-	-	-
3" CALIPER CANOPY TREES	-	25	177
2" CALIPER CANOPY TREES	-	59	118
AGGREGATE CANOPY CALIPER INCHES PROVIDED:		255	
AGGREGATE CANOPY CALIPER INCHES REQUIRED:		255	
2" CALIPER UNDERSTORY TREES	-	16	32
1.5" CALIPER UNDERSTORY TREES	-	-	-
AGGREGATE UNDERSTORY CALIPER INCHES PROVIDED:		30	
AGGREGATE UNDERSTORY CALIPER INCHES REQUIRED:		66	
MINIMUM 18" HEIGHT SHRUBS	141		141
MINIMUM 30" HEIGHT SHRUBS	332		332
TOTAL SHRUBS PROVIDED:		473	
TOTAL SHRUBS REQUIRED:		298	

INCOMPATIBLE USE BUFFER

DEVELOPING USE - GENERAL OFFICE	EXISTING ADJACENT USE/ZONING - DETACHED RESIDENTIAL
SITE ACREAGE: 11.6 AC	
BUFFER CLASS: B	
BUFFER WIDTH: 75'	
BUFFER LENGTH: 766.57'	
MINIMUM TREES REQUIRED: (15 TREES PER 100 LF)	
TREES PROVIDED: 0	
MINIMUM SHRUBS REQUIRED: (60 SHRUBS PER 100 LF)	
SHRUBS PROVIDED: 0	

*NOTE: APPLICANT REQUESTS EXISTING TREE CANOPY TO BE PRESERVED TO COUNT TOWARDS BUFFER REQUIREMENTS FOR 415 LF

OPEN SPACE REQUIREMENT CHART

KEY	CLASSIFICATION	TYPE	AREA (SF)	PAVED AREA	% PAVED IMPERVIOUS
AREA 1	FORPAL	PLAZA	13,088	1,948 SF	12.9%

MINIMUM OPEN SPACE REQUIREMENT: 5%
5% * 6.91 SITE AC = 0.33 AC, 15,058 SF
NOTE: ALL OPEN SPACE IS FORPAL

PLANT SCHEDULE

QTY	SYM	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	LEAF	SPACING	NOTES
15	AR	ACER RUBRUM 'AUTUMN FLAME'	AUTUMN FLAME RED MAPLE	3" CAL. B/B	12'-14'	DECIDUOUS/AS SHOWN		CENTRAL LEADER
9	BN	BETULA NIGRA 'DURA HEAT'	DURA HEAT RIVER BIRCH	2" CAL. B/B	8'-10'	DECIDUOUS/AS SHOWN		MULTI-CANED
9	LT	LIRIODENDRON TULIPIFERA	TULIP POPLAR TREE	3" CAL. B/B	10'-12'	DECIDUOUS/AS SHOWN		CENTRAL LEADER
18	OB	QUERCUS BICOLOR	SWAMP WHITE OAK	3" CAL. B/B	10'-12'	DECIDUOUS/AS SHOWN		CENTRAL LEADER
3	TD	TAXODIUM DISTICHUM	BALD CYPRESS	3" CAL. B/B	10'-12'	DECIDUOUS/AS SHOWN		CENTRAL LEADER
6	TGG	THUJA	GREEN GIANT ARBORVITAE	2.5" CAL. B/B	8'-10'	EVERGREEN/AS SHOWN		FULL BRANCHING
11	Z	ZELKOVA SERBATA 'GREEN VASE'	GREEN VASE JAPANESE ZELKOVA	3" CAL. B/B	10'-12'	DECIDUOUS/AS SHOWN		CENTRAL LEADER

PERENNIALS

394	MIX	RUBRACKIA HIRTA	BLACKEYED SUSAN	4" POT				40% MIX
5F		AMSONIA TABERNAEMONTANA	BLUESTAR	4" POT				20% MIX
		ECHINACEA PURPUREA	PURPLE CONEFLOWER	4" POT				40% MIX

NOTE: LANDSCAPE MATERIAL TO BE FIELD ADJUSTED TO AVOID CONFLICTS WITH UTILITIES. NO LANDSCAPE MATERIAL SHALL BE BETWEEN FIRE HYDRANT AND STREET OR WITHIN 3' IN OTHER DIRECTIONS.

BIO RETENTION PLANT SCHEDULE

QTY	SYM	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	LEAF	SPACING	NOTES
3	AR	ACER RUBRUM 'AUTUMN FLAME'	AUTUMN FLAME RED MAPLE	3" CAL. B/B	12'-14'	DECIDUOUS/AS SHOWN		CENTRAL LEADER
17	BN	BETULA NIGRA 'DURA HEAT'	DURA HEAT RIVER BIRCH	2" CAL. B/B	8'-10'	DECIDUOUS/AS SHOWN		MULTI-CANED
8	LT	LIRIODENDRON TULIPIFERA	TULIP POPLAR TREE	3" CAL. B/B	10'-12'	DECIDUOUS/AS SHOWN		CENTRAL LEADER
8	TD	TAXODIUM DISTICHUM	BALD CYPRESS	3" CAL. B/B	10'-12'	DECIDUOUS/AS SHOWN		CENTRAL LEADER
7	AT	ASHMUNA TRILOBA	PAWPAW	2" CAL. B/B	6'-8'	DECIDUOUS/AS SHOWN		BALANCED CANOPY
5	CC	CERCIS CANADENSIS 'FOREST PANSY'	FOREST PANSY REDBUD	2" CAL. B/B	6'-8'	DECIDUOUS/AS SHOWN		BALANCED CANOPY
5	MV	MAGNOLIA VIRGINIANA	SWEETBAY MAGNOLIA	2" CAL. B/B	6'-8'	EVERGREEN/AS SHOWN		BALANCED CANOPY
33	HQ	HYDRANGEA QUERCIFOLIA	OKALEAF HYDRANGEA	3 GAL.	24" X 24"	DECIDUOUS/36" O.C.		
5	DOB	ILEX CORNUTA 'DWARF BURFORD'	DWARF BURFORD HOLLY	3 GAL.	30" X 24"	EVERGREEN/36" O.C.		
25	IG	ILEX GLABRA	INKBERRY	3 GAL.	24" X 24"	EVERGREEN/42" O.C.		
18	IV	ILEX VERTICILLATA	WINTERBERRY	3 GAL.	18" X 24"	DECIDUOUS/36" O.C.		
36	MC	MULLEBERGIA CAPILLARIS	PINK MUHLY GRASS	3 GAL.	30" X 24"	DECIDUOUS/36" O.C.		
23	AS	ASCLEPIAS SYRIACA	COMMON MILKWEED	1 GAL.	12"			
		OBSCURECOVER						
		SEED: SS - SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	6,401 SF				RATE 10 LBS/ACRE

NOTE: LANDSCAPE MATERIAL TO BE FIELD ADJUSTED TO AVOID CONFLICTS WITH UTILITIES. NO LANDSCAPE MATERIAL SHALL BE BETWEEN FIRE HYDRANT AND STREET OR WITHIN 3' IN OTHER DIRECTIONS.

AFTER INSTALLATION LANDSCAPE WILL BE MAINTAINED BY:

PROVISION SOLUTIONS
JOHN PATTERSON
5847 SAN FELIPE RD, SUITE 2575
HOUSTON, TEXAS 77056
615.975.5765
jgp@provisionsolutions.com

ATTENTION OWNER/INSTALLER:
This landscape plan has been designed to meet the minimum requirements of the City of Franklin zoning ordinance, the approval of the planning commission, and planning department policy. Relocating, substituting, resting, reducing, or deleting material may cause the site to no longer conform to the requirements; thus problems may arise with releasing the performance maintenance surety for the landscape material. Deviation from the approved landscape plan shall not be made without first consulting the Landscape Architect who designed the project. The designing Landscape Architect shall review proposed substitutions to ensure that all City standards and requirements are met. The City shall be notified in writing upon final approval of any plant substitutions.

MINIMUM BUFFER/SCREENING REQUIREMENTS:
HVAC units, cooling and/or mechanical equipment are mounted on the:
(X) Rooftop
(X) Ground

THIS DEVELOPMENT IS REQUIRED TO HAVE THE FOLLOWING LANDSCAPE IMPROVEMENTS:

Buffer/Screen Type:	Purpose:
(X) Foundation Planting	Along primary facade
(X) Perimeter Planting Strip	Screen WUAs and to create "modules"
(X) Interior VJA Planting	Create VJA "modules"
(X) Utility Box Screen from view	Screen Utility Boxes and Meters from view
(X) HVAC Screen	Screen HVAC from view
(X) Dumpster Screen	Screen dumpster from view
(X) Loading/service Area	Buffer the street or residential property
(X) Incompatible Use Buffer	Buffer the adjacent less intensive use

Landscape Architecture Provided by:
Gamble Design Collaborative, LLC
Frank Gamble, RLA
144 Southeast Parkway, Suite 200
Franklin, Tennessee 37064
615.975.5765
gg@gamble209@gmail.com

CAROTHERS STREET TREE PLANT SCHEDULE

QTY	SYM	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	LEAF	SPACING	NOTES
5	QN	QUERCUS NUTTALLII	NUTTALL OAK	2" CAL. B/B	8'-10'	DECIDUOUS/AS SHOWN		CENTRAL LEADER

NOTE: LANDSCAPE MATERIAL TO BE FIELD ADJUSTED TO AVOID CONFLICTS WITH UTILITIES. NO LANDSCAPE MATERIAL SHALL BE BETWEEN FIRE HYDRANT AND STREET OR WITHIN 3' IN OTHER DIRECTIONS.

209 East Avenue South, Suite 501
 Franklin, Tennessee 37064
 Phone: 615.975.5765
 Fax: 615.975.5765
 www.gamble209.com

Kimley»Horn
 DESIGN COLLABORATIVE
 DEVELOPMENT PLANNING AND
 LANDSCAPE ARCHITECTURE

GDC
 DESIGN COLLABORATIVE
 DEVELOPMENT PLANNING AND
 LANDSCAPE ARCHITECTURE

SCOTT HAMILTON
PROTON THERAPY CENTER
 FRANKLIN, TENNESSEE

DESIGNED BY: RJA
 DRAWN BY: RJA
 CHECKED BY: RLM
 DATE: 2/28/2016
 KVA PROJECT NO.: 118133000
LANDSCAPE PLAN
 SHEET NUMBER
L2-00
 03/9 6076

CITY OF FRANKLIN LANDSCAPE NOTES:

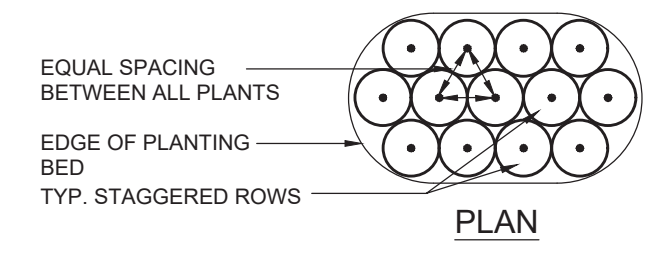
1. ANY PLANT MATERIAL THAT DIES, TURNS BROWN OR DEFOLIATES SHALL BE REPLACED WITHIN ONE YEAR OR BY THE NEXT GROWING SEASON, WHICH EVER COMES FIRST. OTHER DEFECTIVE LANDSCAPE MATERIAL SHALL BE REPLACED WITHIN THREE MONTHS.
2. ALL TREES SHALL MEET FRANKLIN'S MINIMUM SIZE AND QUALITY STANDARDS. ALL PLANTS SHALL BE HEALTHY, VIGOROUS MATERIAL, FREE OF PEST AND DISEASE. ALL ROOTBALLS, CONTAINERS, AND HEIGHT TO WIDTH RATIOS SHALL CONFORM TO THE SIZE STANDARDS SET FORTH IN THE AMERICAN STANDARDS FOR NURSERY STOCK, CURRENT EDITION.
3. ALL REQUIRED TREES AND SHRUBS SHALL MEET THE MINIMUM SIZE AND QUANTITY AS LISTED IN THE PLANT SCHEDULE.
4. PLANT MATERIAL SHALL NOT OBSCURE TRAFFIC OR PARKING SIGNS/SIGNALS OR VEHICULAR SIGHT LINES.
5. TREE TOPPING IS NOT PERMITTED.
6. ADDITIONAL SCREENING MAY BE REQUIRED IF THE INSPECTION FOR THE RELEASE OF THE PERFORMANCE SURETY REVEALS THAT THE REQUIRED SCREENING IS NOT EFFECTIVE.
7. ALL REQUIRED TREE PROTECTION FENCING SHALL BE INSTALLED AND INSPECTED BY THE CODES DEPARTMENT PRIOR TO LAND DISTURBING ACTIVITIES.
8. ANY SITE OR LANDSCAPE CHANGES (INCLUDING BUT NOT LIMITED TO A CHANGE IN DESIGN, A REDUCTION IN SIZE OR NUMBER OF PLANT MATERIAL, OR THE RELOCATION OF OVERHEAD OR UNDERGROUND UTILITIES) SHALL REQUIRE A REVISED LANDSCAPE PLAN TO BE SUBMITTED AND APPROVAL PRIOR TO THE LANDSCAPE INSTALLATION.
9. EXISTING TREES ACCEPTED IN PARTIAL COMPLIANCE OF THE LANDSCAPE REQUIREMENTS FOR THIS SITE SHALL BE ACCESSIBLE AND FLAGGED PRIOR TO ALL LANDSCAPE INSPECTIONS.
10. ANY EXISTING TREE, SHOWN AS BEING PRESERVED ON APPROVED PLANS THAT IS REMOVED, DIES OR IS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED AS REQUIRED IN THE ZONING ORDINANCE.
11. SCREENING PROPOSED AROUND ANY UTILITY BOX OR TRANSFORMER IS REQUIRED TO BE EVERGREEN AND ADEQUATELY SCREEN THE OBJECT. THE PROPOSED EVERGREEN PLANT MATERIAL SHALL BE REPLACED IF IT IS NOT OF A HEIGHT SUFFICIENT TO SCREEN THE OBJECT.
12. ALL PLANT MATERIAL SHALL BE FROM THE FRANKLIN PLANT LIST UNLESS PRIOR APPROVAL IS RECEIVED FROM THE CITY.
13. ALL TREE-PROTECTION FENCING SHALL BE IN PLACE PRIOR TO THE ISSUANCE OF A GRADING PERMIT AND SHALL BE MAINTAINED IN GOOD WORKING ORDER UNTIL ALL CONSTRUCTION ACTIVITY IS COMPLETED. ANY REQUIRED EROSION CONTROL MEASURES SHALL BE PLACED OUTSIDE OF ANY TREE PROTECTION FENCING.
14. TOP SOIL USED IN ALL LANDSCAPE AREAS SHALL BE SCREENED PRIOR TO DEPOSITION IN PLANTING AREAS AND ISLANDS.
15. ANY PLANT MATERIAL LOCATED ADJACENT TO A PARKING AREA SHALL BE PLANTED SO AS TO ALLOW FOR A TWO AND A HALF FOOT VEHICULAR BUMPER OVERHANG FROM THE FACE OF CURB TO THE EDGE OF THE MATURE ADJACENT PLANT MATERIAL.
16. THE OWNER ACKNOWLEDGES THAT PLANTING LANDSCAPE MATERIAL IN A DEDICATED EASEMENT DOES NOT WAIVE OR MODIFY THE CITY OF FRANKLIN'S RIGHTS AS THE EASEMENT HOLDER. THE OWNER UNDERSTANDS THAT THE CITY OF FRANKLIN, ITS AUTHORIZED CONTRACTOR OR APPLICABLE PRIVATE UTILITY MAY AT ANY TIME AND FOR ANY REASON PERFORM WORK WITHIN THE DEDICATED EASEMENT. THE CITY, ITS AUTHORIZED CONTRACTOR OR APPLICABLE PRIVATE UTILITY SHALL HAVE NO LIABILITY TO THE OWNER FOR ANY DAMAGE TO THE LANDSCAPE MATERIAL IN THE EASEMENT WHEN SAID DAMAGE IS DUE TO WORK WITHIN THE EASEMENT. THE OWNER MAY BE HELD RESPONSIBLE FOR THE REMOVAL OF THE LANDSCAPE MATERIAL TO ENABLE WORK TO BE DONE. THE OWNER SHALL BE SOLELY RESPONSIBLE FOR ANY COST INCURRED IN REPAIRING AND/OR REPLACING THE REQUIRED LANDSCAPE MATERIAL.

LANDSCAPE PLANTING GENERAL NOTES:

1. THE LANDSCAPE CONTACTOR SHALL BE RESPONSIBLE FOR CONFIRMING THE QUANTITIES OF ALL MATERIALS. THE QUANTITIES ON THE PLAN SHALL TAKE PRECEDENCE OVER THE PLANT LIST.
2. SUBSTITUTIONS OF TYPE, SIZE, OR SPACING OF PLANTS MAY NOT BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER'S LANDSCAPE ARCHITECT, AND MAY RESULT IN THE RESUBMITAL OF LANDSCAPE PLANS TO THE CITY OF FRANKLIN FOR APPROVAL PRIOR TO INSTALLATION.
3. ALL CONSTRUCTION ACTIVITY SHALL BE COORDINATED WITH TENNESSEE ONE CALL PRIOR TO DIGGING. ALL DAMAGE TO UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE PER UTILITY PROVIDER'S STANDARDS.
4. THE PLANT LIST SPECIFICATIONS PROVIDED WITHIN THE PLANT LIST FOR HEIGHT AND SIZE ARE MINIMUMS.
5. ALL PLANT BEDS SHALL BE RAKED AND CLEARED OF LARGE ROCKS. ALL LARGE DIRT CLOUDS SHALL BE PULVERIZED OR REMOVED PRIOR TO PLANTING.
6. ALL LARGE DIRT CLOUDS RESULTING FROM PLANTING SHALL BE PULVERIZED AND REMOVED PRIOR TO MULCHING.
7. PRE-EMERGENT HERBICIDE SHALL BE APPLIED AFTER INSTALLATION AND IMMEDIATELY PRIOR TO MULCHING.
8. ALL PLANT BEDS ARE TO BE MULCHED WITH A MINIMUM OF 4 INCHES OF SHREDDED PINE BARK. ALL ANNUAL BEDS SHALL BE MULCHED WITH A MINIMUM OF 2 INCHES OF SOIL CONDITIONER, PINE BARK FINES.
9. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL OR ANY DEFECTIVE WORKMANSHIP.
10. ALL SOD AREAS SHALL BE TILLED AND RAKED SMOOTH, WITH LARGE DIRT CLOUDS AND ROCKS REMOVED, PRIOR TO SOD INSTALLATION.
11. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL STAKING AND LAYOUT OF PLANT BEDS.
12. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE DRAINAGE OF ALL TREE AND SHRUB PITS. A PVC OR GRAVEL SUMP AT THE BASE OF THE TREE WELL MAY BE REQUIRED IN AREAS WHERE CLAY SOILS DO NOT ADEQUATELY DRAIN.
13. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT WHEN THE PLANT MATERIALS ARE AT THE JOB SITE FOR REVIEW PRIOR TO INSTALLATION.

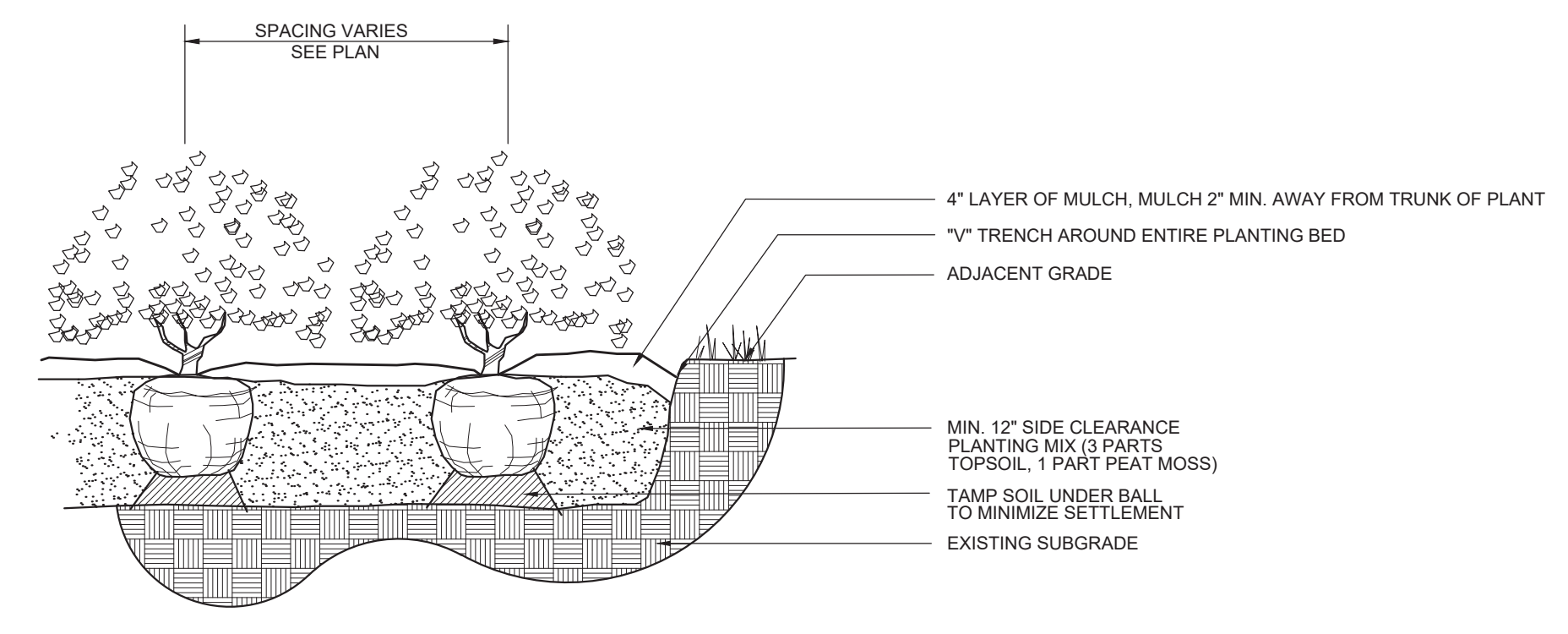
CITY OF FRANKLIN MINIMUM PLANT QUALITY AND SIZE STANDARDS:

1. ALL NEWLY PLANTED LANDSCAPE PLANT MATERIALS SHALL CONFORM TO THE LATEST VERSIONS OF THE AMERICAN STANDARD OF NURSERY STOCK (ANSI Z60).
2. ALL TYPE 1, 2, AND 3 TREES (AS DEFINED IN ANSI Z60) USED TO MEET THE REQUIREMENTS OF THIS SUBSECTION SHALL HAVE THE FOLLOWING CHARACTERISTICS:
 - A. DECIDUOUS TREES SHALL HAVE ONE DOMINANT TRUNK WITH THE TIP OF THE LEADER ON THE MAIN TRUNK LEFT INTACT AND THE TERMINAL BUD ON THE CENTRAL LEADER AT THE HIGHEST POINT ON THE TREE.
 - B. TREES WITH FORKED TRUNKS ARE ACCEPTABLE IF ALL THE FOLLOWING CONDITIONS ARE MET:
 1. THE FORK OCCURS IN THE UPPER ONE-THIRD OF THE TREE.
 2. ONE FORK IS LESS THAN TWO-THIRDS OF THE TREE.
 3. THE TOP ONE-THIRD OF THE SMALLER FORK IS REMOVED AT THE TIME OF PLANTING.
 - C. NO BRANCH IS GREATER THAN TWO-THIRDS THE DIAMETER OF THE TRUNK DIRECTLY ABOVE THE BRANCH.
 - D. SEVERAL BRANCHES ARE LARGER IN DIAMETER AND OBVIOUSLY MORE DOMINANT.
 - E. BRANCHING HABIT IS MORE HORIZONTAL THAN VERTICAL AND NO BRANCHES ARE ORIENTED NEARLY VERTICAL TO THE TRUNK.
 - F. BRANCHES ARE EVENLY DISTRIBUTED AROUND THE TRUNK WITH NO MORE THAN ONE MAJOR BRANCH LOCATED DIRECTLY ABOVE ANOTHER AND THE CROWN IS FULL OF FOLIAGE THAT IS EVENLY DISTRIBUTED AROUND THE TREE.



GENERAL NOTES:

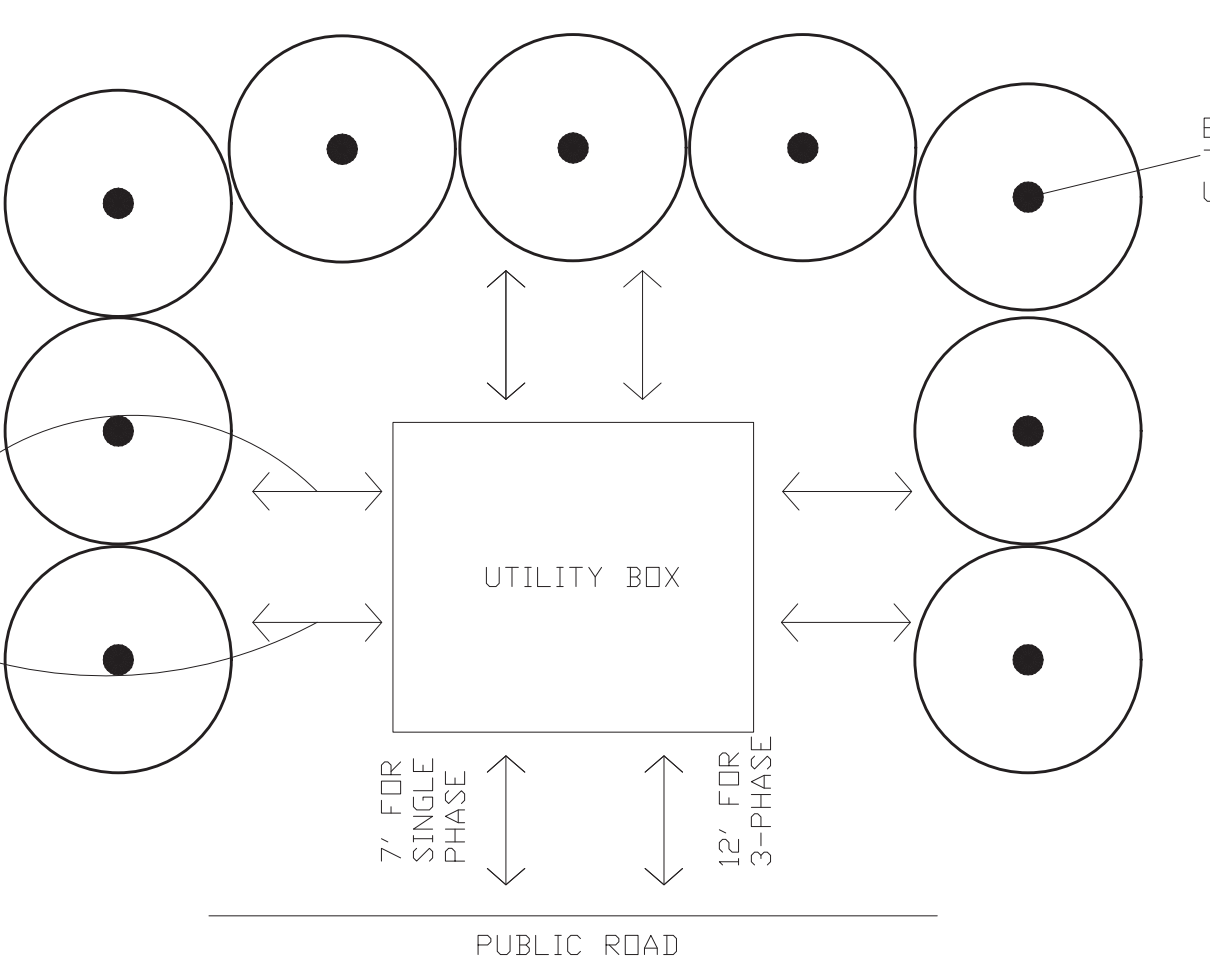
1. Install top of plant ball shall be level with finished grade.
2. Tamp planting mix firmly as pit is filled around each plant ball.
3. Soak each plant ball and pit immediately after installation.
4. Cut and remove burlap from top 1/3 of root ball. Non-degradable burlap shall be removed or rolled under ball after replacement of plant.



DETAIL # NTS

1 SHRUB PLANTING

PLAN/SECTION



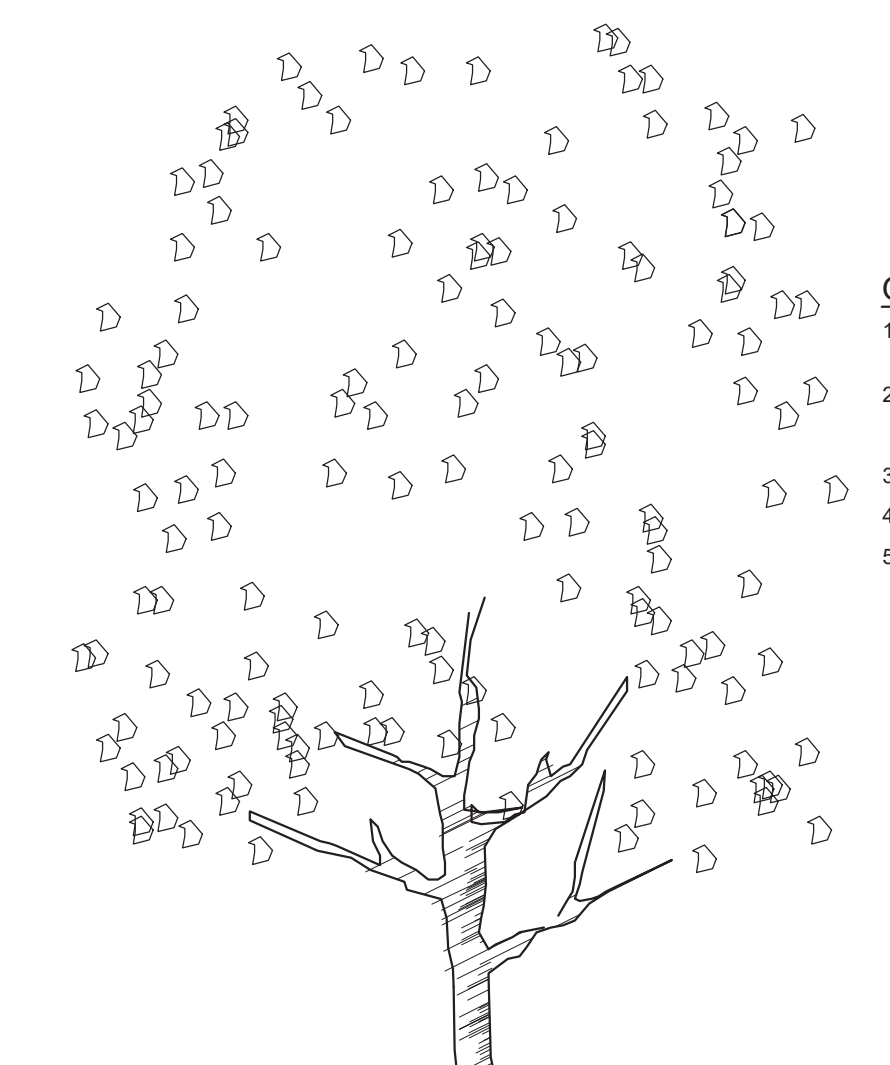
GENERAL NOTES:

1. ALL UTILITY BOXES AND METERS MUST BE SCREENED FROM VIEW. PLEASE USE THIS STANDARD DETAIL FOR SCREENING REQUIREMENTS.
2. ALL SCREENING PLAN MATERIAL SHALL BE EVERGREEN. SUGGESTED PLANT MATERIAL TO INCLUDE: INKBERRY HOLLY OR NEEDLEPOINT HOLLY.

2 UTILITY BOX SCREEN

L3.0

DETAIL # NTS



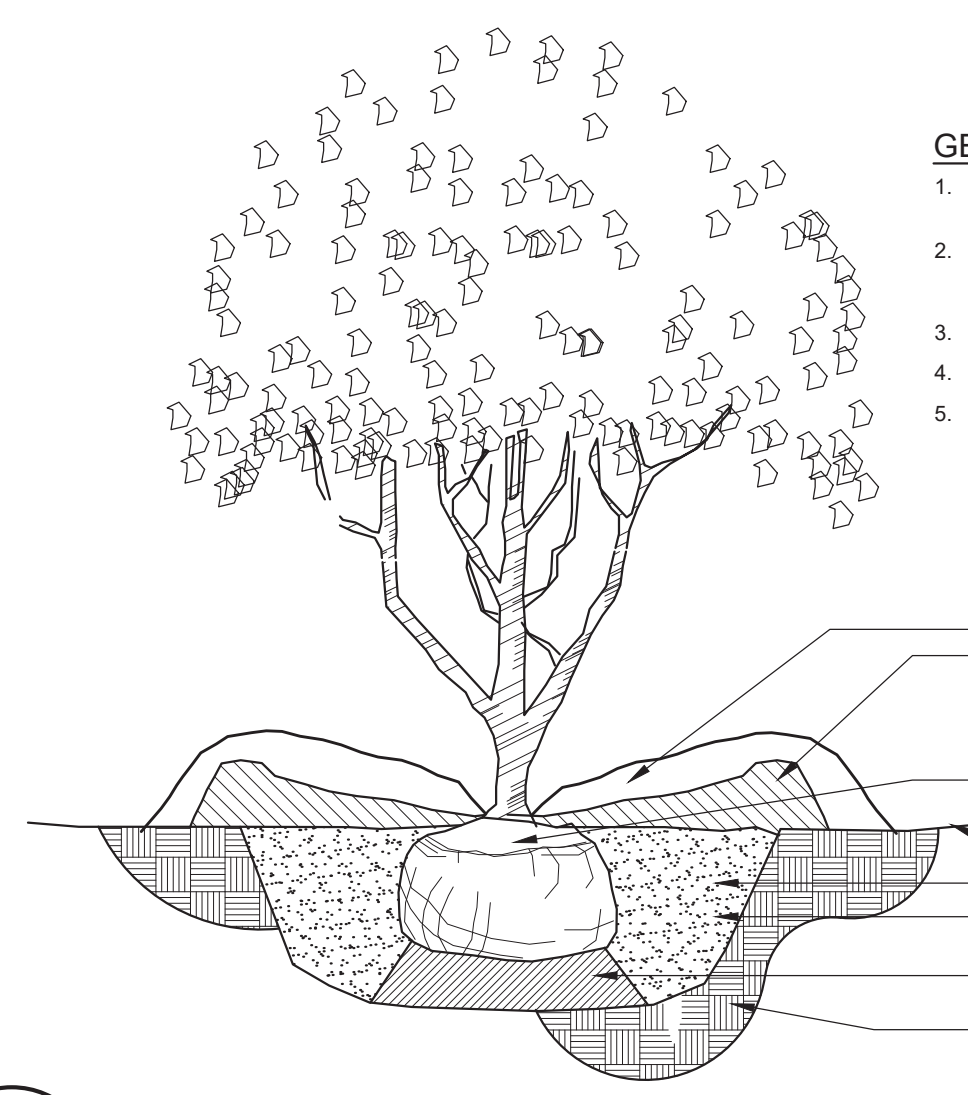
GENERAL NOTES:

1. All trees are to be nursery grown, burlap and ball (B&B). Minimum tree size is per schedule (measured 6" above root ball).
2. Remove all treated or plastic-coated burlap, strapping, wire or nylon twine from root ball. After setting in hole, cut away top and sides of wire basket, if any.
3. Install top of plant ball even with or 1" above existing grade.
4. No staking of trees permitted.
5. Soak plant ball and pit immediately after installation. Place 4-6" of seasoned mulch or pine needles around base of tree. 3" diameter minimum; mulch shall be a minimum of 3" from the trunk.

3 SINGLE TRUNK DECIDUOUS TREE

L3.0

DETAIL # NTS



GENERAL NOTES:

1. All trees are to be nursery grown, burlap and ball (B&B). Minimum tree size is per schedule (measured 6" above root ball).
2. Remove all treated or plastic-coated burlap, strapping, wire or nylon twine from root ball. After setting in hole, cut away top and sides of wire basket, if any.
3. Install top of plant ball even with or 1" above existing grade.
4. No staking of trees permitted.
5. Soak plant ball and pit immediately after installation. Place 4-6" of seasoned mulch or pine needles around base of tree. 3" diameter minimum; mulch shall be a minimum of 3" from the trunk.

4 UNDERSTORY TREE

L3.0

DETAIL # NTS

208 Kern Avenue South, Suite 801
Nashville, TN 37203
www.kimley-horn.com
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Kimley-Horn
DESIGN COLLABORATIVE
LANDSCAPE ARCHITECTURE

**SCOTT HAMILTON
PROTON THERAPY CENTER**
FRANKLIN, TENNESSEE

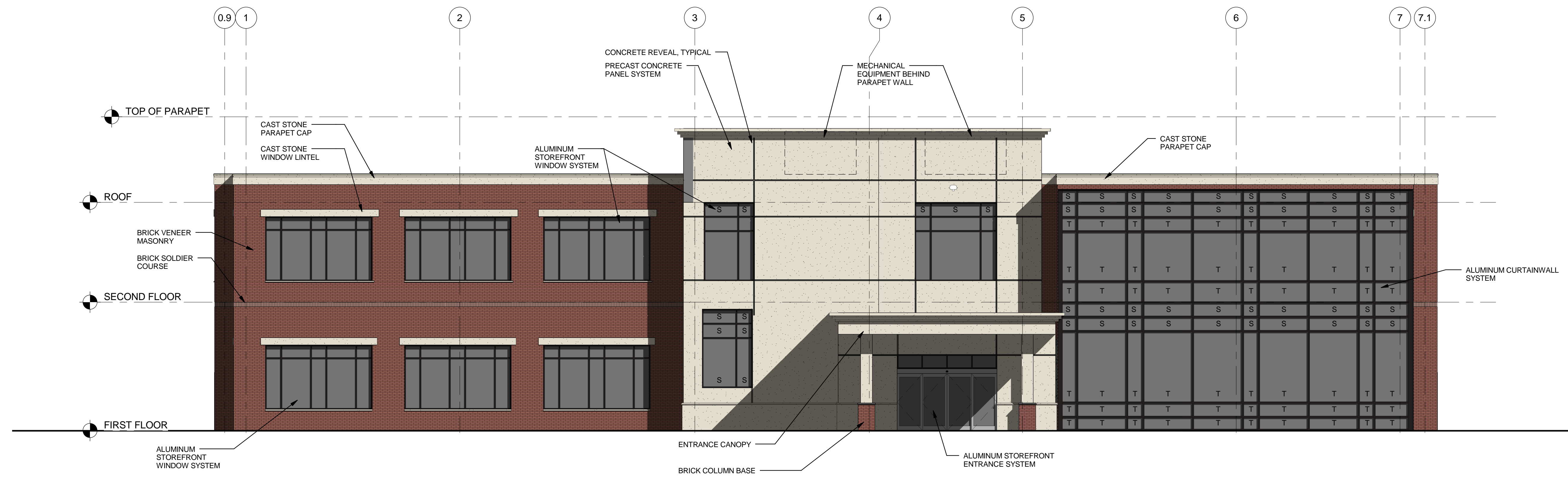


DESIGNED BY:	RA
DRAWN BY:	RA
CHECKED BY:	RLM
DATE:	8/18/2015
KHA PROJECT NO.:	11813300

LANDSCAPE DETAILS

SHEET NUMBER
L3-00
C094 0076

LANDSCAPE DETAILS AND NOTES



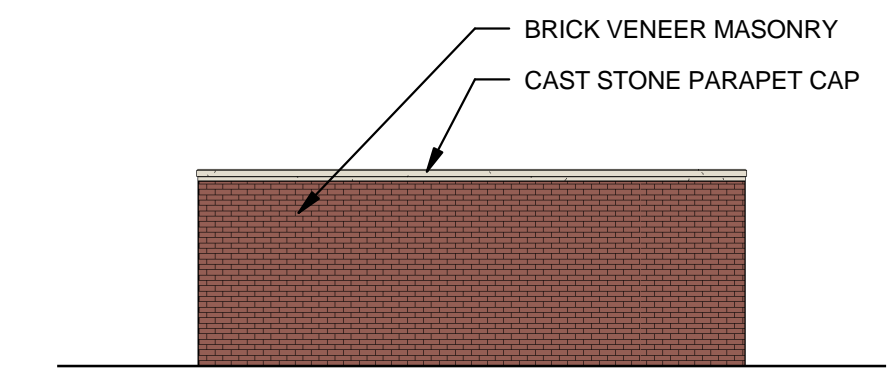
WEST ELEVATION

SCALE: 1/8" = 1'-0"

WEST ELEVATION		
TYPE	SURFACE AREA	PERCENTAGE
BRICK	1573.11	23.88
CAST STONE	345.42	5.24
ARCHITECTURAL PRECAST	1738.43	26.39
WINDOWS/DOORS	2829.70	44.48
TOTAL:	6586.66	

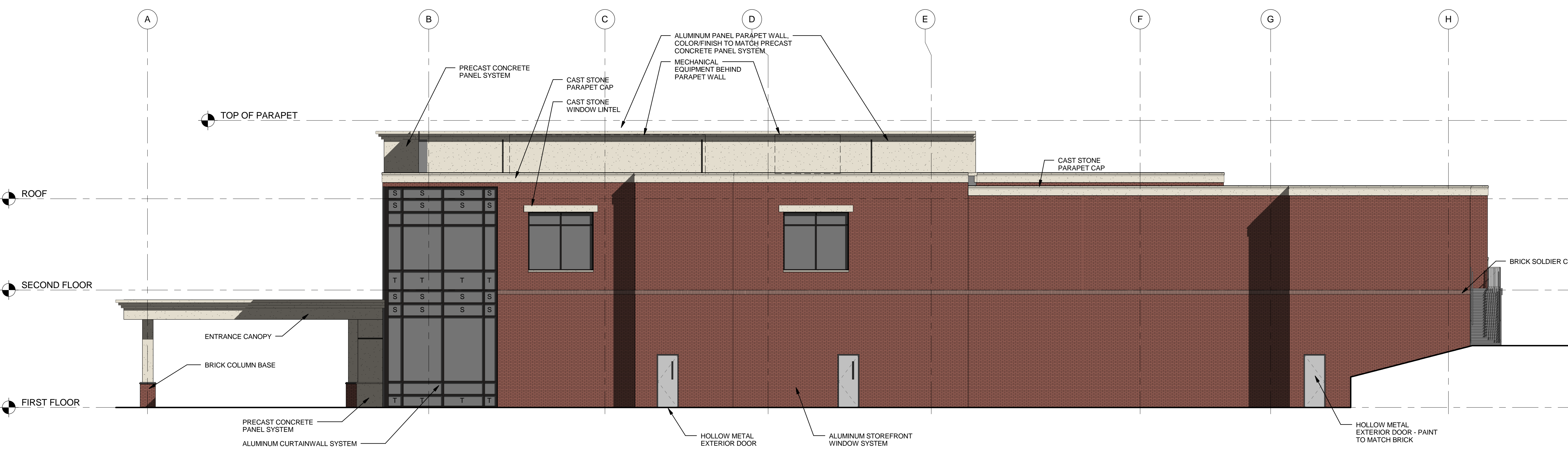
DUMPSTER ENCLOSURE ELEVATION

SCALE: 1/8" = 1'-0"



EXTERIOR ELEVATION GENERAL...

1	"CJ" DENOTES CONTROL JOINT. REFER TO DETAIL X/X.XX.
2	"SJ" DENOTES EIFS SCORE JOINT. REFER TO DETAIL X/X.XX.
3	"EJ" DENOTES EXPANSION CONTROL JOINT. REFER TO DETAIL X/X.XX.
4	"AR" DENOTES AESTHETIC REVEAL. REFER TO DETAIL X/X.XX.
5	"S" DENOTES SPANDREL GLAZING.
6	"T" DENOTES TEMPERED GLAZING.



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

SOUTH ELEVATION		
TYPE	SURFACE AREA	PERCENTAGE
BRICK	4576.42	67.52
CAST STONE	510.65	7.53
ARCHITECTURAL PRECAST	763.01	11.26
WINDOWS/DOORS	927.78	13.69
TOTAL:	6777.86	

MBI
michael brady inc.
ARCHITECTURE ENGINEERING INTERIORS

2024 WEDBURNMENT RD.
KNOXVILLE, TENNESSEE 37999
PHONE: 865.584.5099
FAX: 865.584.9213
WWW.MICHAELBRADYINC.COM

THE DESIGN PROFESSIONAL DENIES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND THE DESIGN INTENT THEY CONTAIN OR PROBLEMS WHICH ARISE FROM OTHER FAILURE TO OBTAIN AND/OR FOLLOW THE DESIGN PROFESSIONAL'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

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A NEW BUILDING FOR:
SCOTT HAMILTON CENTER FOR PROTON THERAPY
FRANKLIN, TENNESSEE

A NEW BUILDING FOR:

THIS DRAWING HAS BEEN ISSUED:
 FOR REVIEW ONLY
 FOR PERMITTING ONLY
 SCHEMATIC DESIGN
 DESIGN DEVELOPMENT
 CONSTRUCTION DOCUMENTS

Drawing Title:
EXTERIOR ELEVATIONS

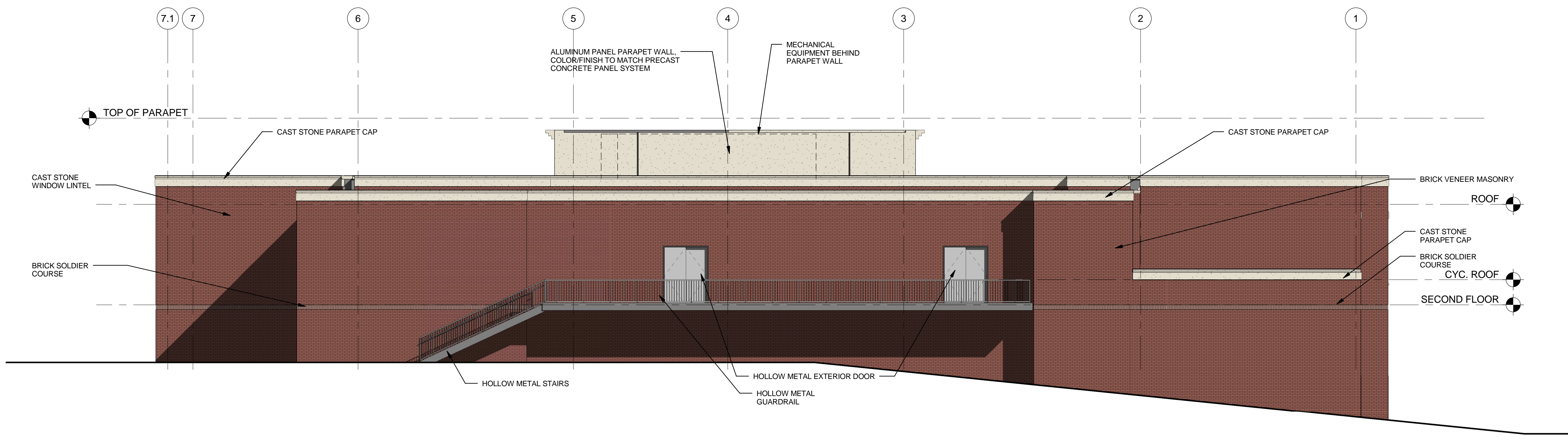
Date: 03/14/2016
 Designed By: B.D.P.
 Drawn By: T.D.B.
 Reviewed By: C.M.G.
 Comm. No. 160221

Revisions:

No.	Description

Sheet: Sheet
of No.
 A4.1

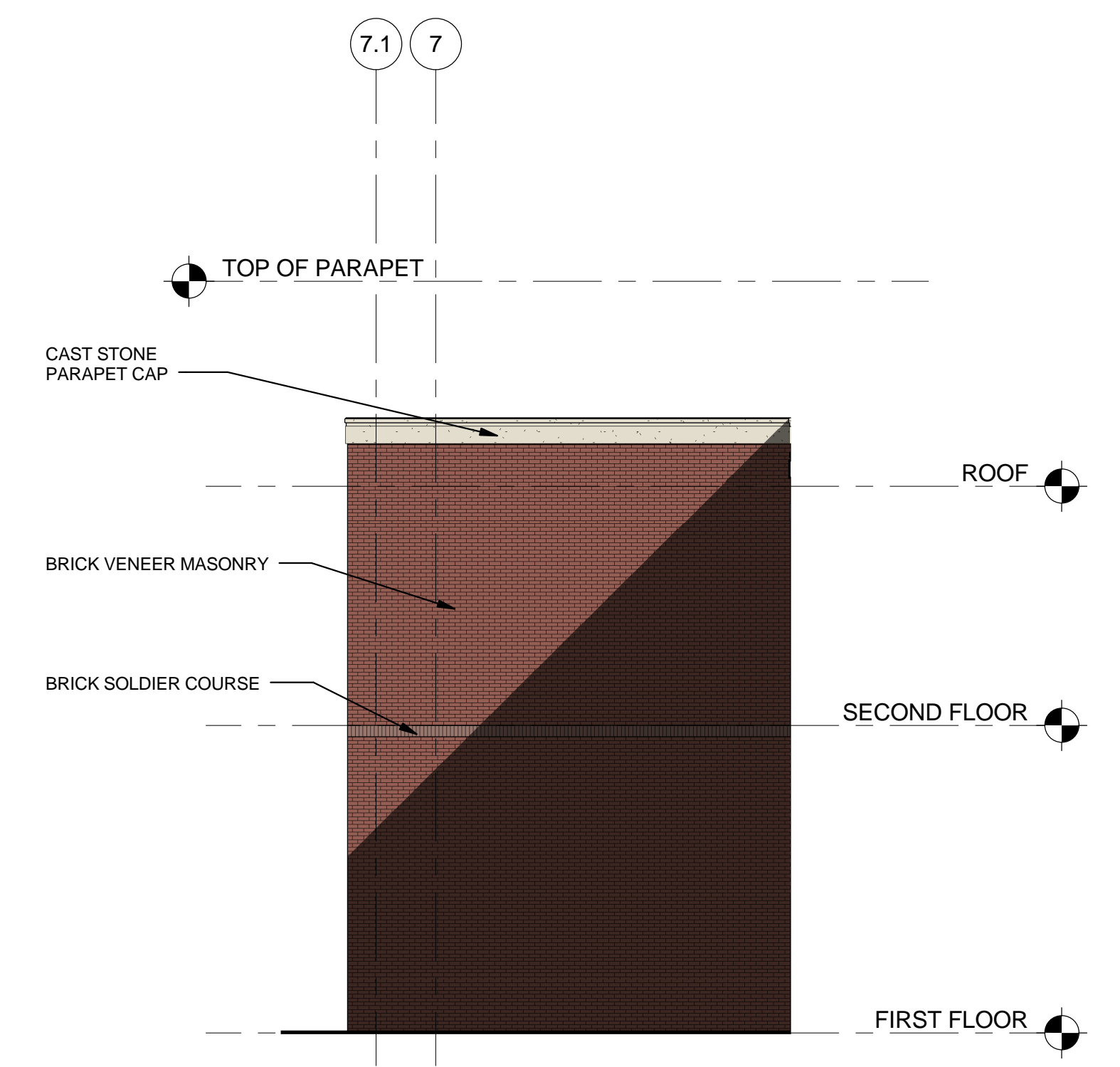
THESE ELEVATIONS HAVE BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE CITY OF FRANKLIN'S ARCHITECTURAL DESIGN STANDARDS AND THE APPROVAL OF THE PLANNING COMMISSION/CITY OF FRANKLIN. CHANGES SHALL NOT BE MADE TO THE APPROVED ELEVATIONS UNLESS APPROVED BY EITHER THE BNS DIRECTOR OR THE PLANNING COMMISSION.



EAST ELEVATION - A

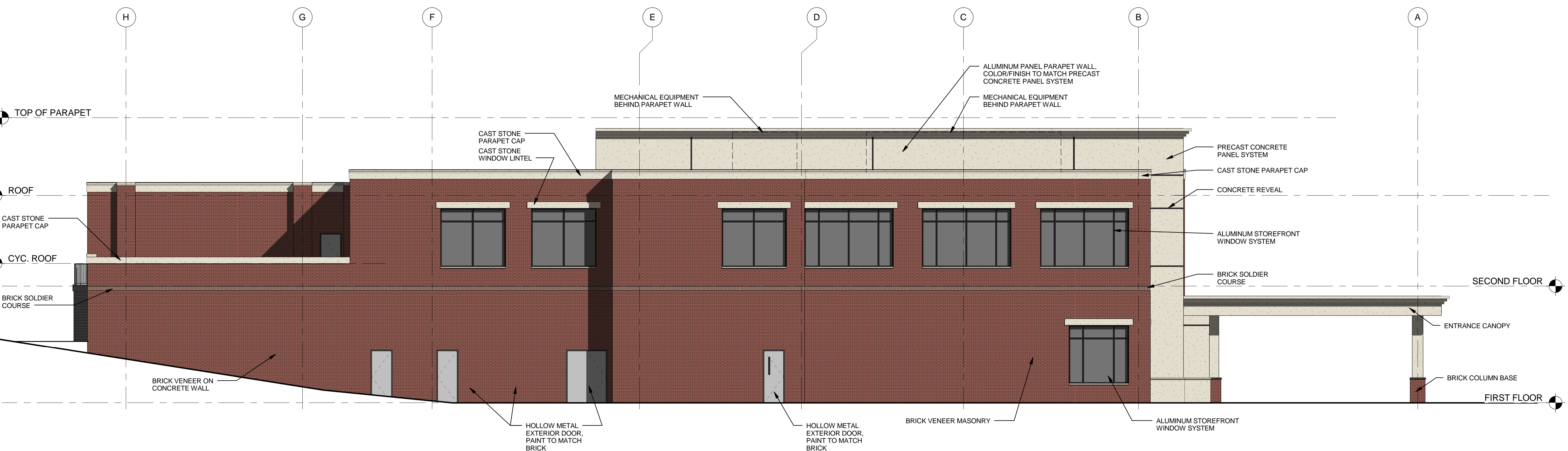
SCALE: 1/8" = 1'-0"

EAST ELEVATION		
TYPE	SURFACE AREA	PERCENTAGE
BRICK	4120.59	80.65
CAST STONE	545.29	10.67
ARCHITECTURAL PRECAST	344.09	6.73
WINDOWS/DOORS	99.29	1.94
TOTAL:	5109.26	



EAST ELEVATION - B

SCALE: 1/8" = 1'-0"



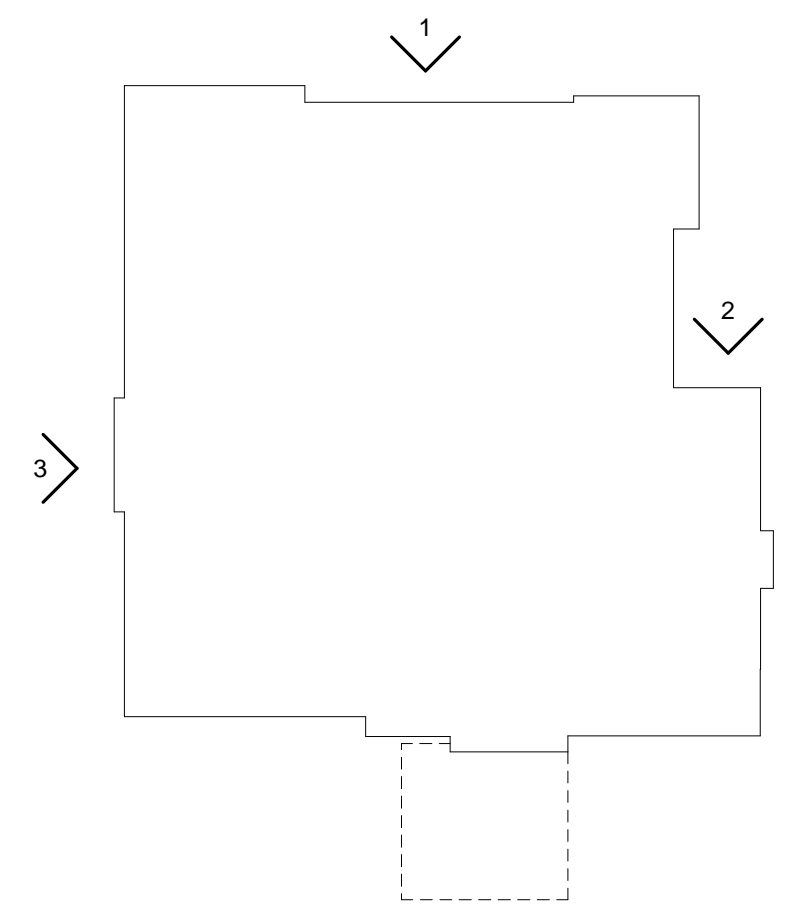
NORTH ELEVATION

SCALE: 1/8" = 1'-0"

NORTH ELEVATION		
TYPE	SURFACE AREA	PERCENTAGE
BRICK	4375.70	65.60
CAST STONE	446.27	6.69
ARCHITECTURAL PRECAST	948.34	14.22
WINDOWS/DOORS	900.42	13.50
TOTAL:	6670.73	

EXTERIOR ELEVATION GENERAL...

- 1 "CJ" DENOTES CONTROL JOINT. REFER TO DETAIL XX.XX.
- 2 "SJ" DENOTES EIFS SCORE JOINT. REFER TO DETAIL XX.XX.
- 3 "EJ" DENOTES EXPANSION CONTROL JOINT. REFER TO DETAIL XX.XX.
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A NEW BUILDING FOR:

- THIS DRAWING HAS BEEN ISSUED:
- FOR REVIEW ONLY
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 - SCHEMATIC DESIGN
 - DESIGN DEVELOPMENT
 - CONSTRUCTION DOCUMENTS

Drawing Title:
 EXTERIOR ELEVATIONS

Date: 03/14/2016
 Designed By: B.D.P.
 Drawn By: T.D.B.
 Reviewed By: C.M.G.

Comm. No. 160221

Revisions:

No.	Description

Sheet No. of **A4.2**

THESE ELEVATIONS HAVE BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE CITY OF FRANKLIN'S ARCHITECTURAL DESIGN STANDARDS AND THE APPROVAL OF THE PLANNING COMMISSION/CITY OF FRANKLIN. CHANGES SHALL NOT BE MADE TO THE APPROVED ELEVATIONS UNLESS APPROVED BY EITHER THE BNS DIRECTOR OR THE PLANNING COMMISSION.

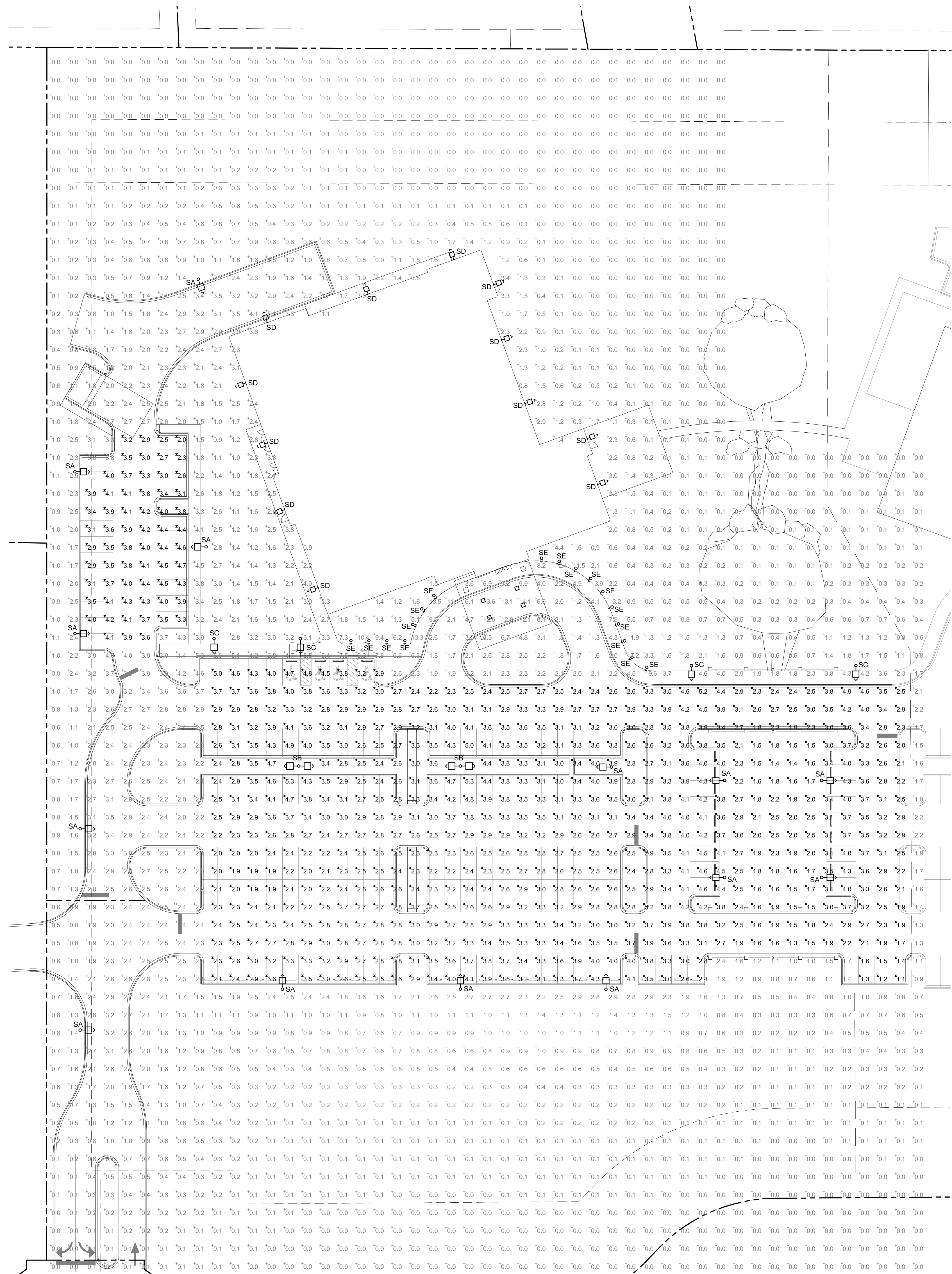
PHOTOMETRIC SUMMARY							
PROJECT:	OVIEDO FL. CANCER TREATMENT CENTER						
LABEL	SYMBOL	AVG	MAX	MIN	MAX/MIN	AVGMIN	LL.F.
CALC. ZONE	+	1.5 FC	19.6 FC	0.0 FC	N/A	N/A	0.95
PARKING FRONT	X	3.0 FC	5.5 FC	1.1 FC	5.0 : 1	2.7 : 1	0.95
PARKING SIDE	X	3.7 FC	4.7 FC	2.0 FC	2.4 : 1	1.9 : 1	0.95

NOTES:

- SEE SHEET E0.1 FOR ELECTRICAL LEGEND AND GENERAL NOTES.
- MOUNT FIXTURES SO THAT LIGHT IS DIRECTED IN THE DIRECTION OF THE ARROWS SHOWN ON THIS PLAN.
- LIGHTING SHALL COMPLY WITH APPLICABLE REQUIREMENTS OF ALL COUNTY AND CITY CODES.

SITE LIGHTING FIXTURE SCHEDULE									
TYPE	LAMP	NO.	WATTS	VOLTS	MOUNTING	HEIGHT	MANUFACTURER	CATALOG NO.	REMARKS
SA	LED	1	188	208	POLE	28'-0"	LITHONIA	DSX2-LED-80C-700-40K-T3M-MVOLT-SPA-HS-DBXD	DARK SKIES LED AREA LIGHT. COLOR: DARK BRONZE
SB	LED	2	188	208	POLE	28'-0"	LITHONIA	DSX2-LED-80C-700-40K-T3M-MVOLT-SPA-DBXD	DARK SKIES LED AREA LIGHT. 28'180", COLOR: DARK BRONZE
SC	LED	1	66	208	POLE	16'-0"	LITHONIA	DSX1-LED-60C-700-40K-T3M-MVOLT-SPA-DBXD	DARK SKIES LED AREA LIGHT. COLOR: DARK BRONZE
SD	LED	1	47	208	POLE	10'-0"	LITHONIA	WSQ-LED-2-10A700/40K-SR3-MVOLT-ELCW	DARK SKIES LED WALL PACK. COLOR: DARK BRONZE
SE	LED	1	31	208	GRADE	42"	LITHONIA	DSXB-LED-12C-700-40K-ASY	DARK SKIES LED BOLLARD. COLOR: DARK BRONZE
P1							HAPCO	SSA25F5-4-8M (FOR FIXTURE TYPE 'SA' & 'SB')	25'-0" SQUARE STRAIGHT ALUMINUM POLE. COLOR: DARK BRONZE
P2							HAPCO	SSA16D4-4-8M (FOR FIXTURE TYPE 'SC')	16'-0" SQUARE STRAIGHT ALUMINUM POLE. COLOR: DARK BRONZE

NOTES:
1. FURNISH AND INSTALL LAMPS FOR ALL FIXTURES
2. ---
3. ---



SITE PLAN - PHOTOMETRIC

SCALE: 1" = 30'-0"

D-Series Size 2 LED Area Luminaire

Specifications:
 EPA: 1.87
 Length: 40"
 Width: 15"
 Height: 7.12"
 Weight: 27 lbs

Introduction:
 The modern styling of the D-Series is striking yet unobtrusive... making a bold, progressive statement even as it blends seamlessly with its environment.

Ordering Information:
 EXAMPLE: DSX2 LED 80C 1000 40K T4M MVOLT SPA DBXD

Series	Footcandle	Wattage	Color Temperature	Beam Spread	Mounting	Height	Notes
DSX2 LED	80	1000	4000K	40°	SP	28'	Dark bronze finish

D-Series Size 1 LED Area Luminaire

Specifications:
 EPA: 1.21
 Length: 33"
 Width: 13"
 Height: 7.12"
 Weight: 27 lbs

Introduction:
 The modern styling of the D-Series is striking yet unobtrusive... making a bold, progressive statement even as it blends seamlessly with its environment.

Ordering Information:
 EXAMPLE: DSX1 LED 60C 1000 40K T3M MVOLT SPA DBXD

Series	Footcandle	Wattage	Color Temperature	Beam Spread	Mounting	Height	Notes
DSX1 LED	60	1000	4000K	35°	SP	16'	Dark bronze finish

WSO LED Architectural Wall Sconce

Specifications:
 Height: 9.38"
 Width: 18"
 Depth: 9"
 Weight: 17 lbs

Introduction:
 The classic Architectural Wall Sconce is now available with the latest in LED technology. The result is a long-life, maintenance-free product with typical energy savings of 75% compared to metal halide versions.

Ordering Information:
 EXAMPLE: WSO LED 2 10A700/40K SR3 MVOLT DBXD

Series	Footcandle	Wattage	Color Temperature	Beam Spread	Mounting	Height	Notes
WSO LED	2	10	4000K	30°	SP	42"	Dark bronze finish

D-Series LED Bollard

Specifications:
 Diameter: 8" Round
 Height: 42"
 Weight: 27 lbs

Introduction:
 The D-Series LED Bollard is a stylish, energy-saving, long-life solution designed to perform the way a bollard should—with zero light. An optical lens forward, the full cut-off luminaire will meet the most stringent of lighting codes.

Ordering Information:
 EXAMPLE: DSXB LED 16C 700 40K SYM MVOLT DBXD

Series	Footcandle	Wattage	Color Temperature	Beam Spread	Mounting	Height	Notes
DSXB LED	16	700	4000K	30°	SP	42"	Dark bronze finish



PRELIMINARY FOR REVIEW ONLY NOT FOR CONSTRUCTION

SCOTT HAMILTON CENTER FOR PROTON THERAPY
 4588 CROTHERS PARKWAY
 FRANKLIN, TENNESSEE

A NEW BUILDING FOR:
 THIS DRAWING HAS BEEN ISSUED:

- FOR REVIEW ONLY
- FOR PERMITTING ONLY
- SCHEMATIC DESIGN
- DESIGN DEVELOPMENT
- CONSTRUCTION DOCUMENTS

Drawing Title: SITE PLAN - PHOTOMETRIC

Date: 03/14/2016

Designed By: CHP
 Drawn By: JEE
 Reviewed By: CHP

Revisions:

Comm. No. 160221

Sheet No. ES.1.2

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