

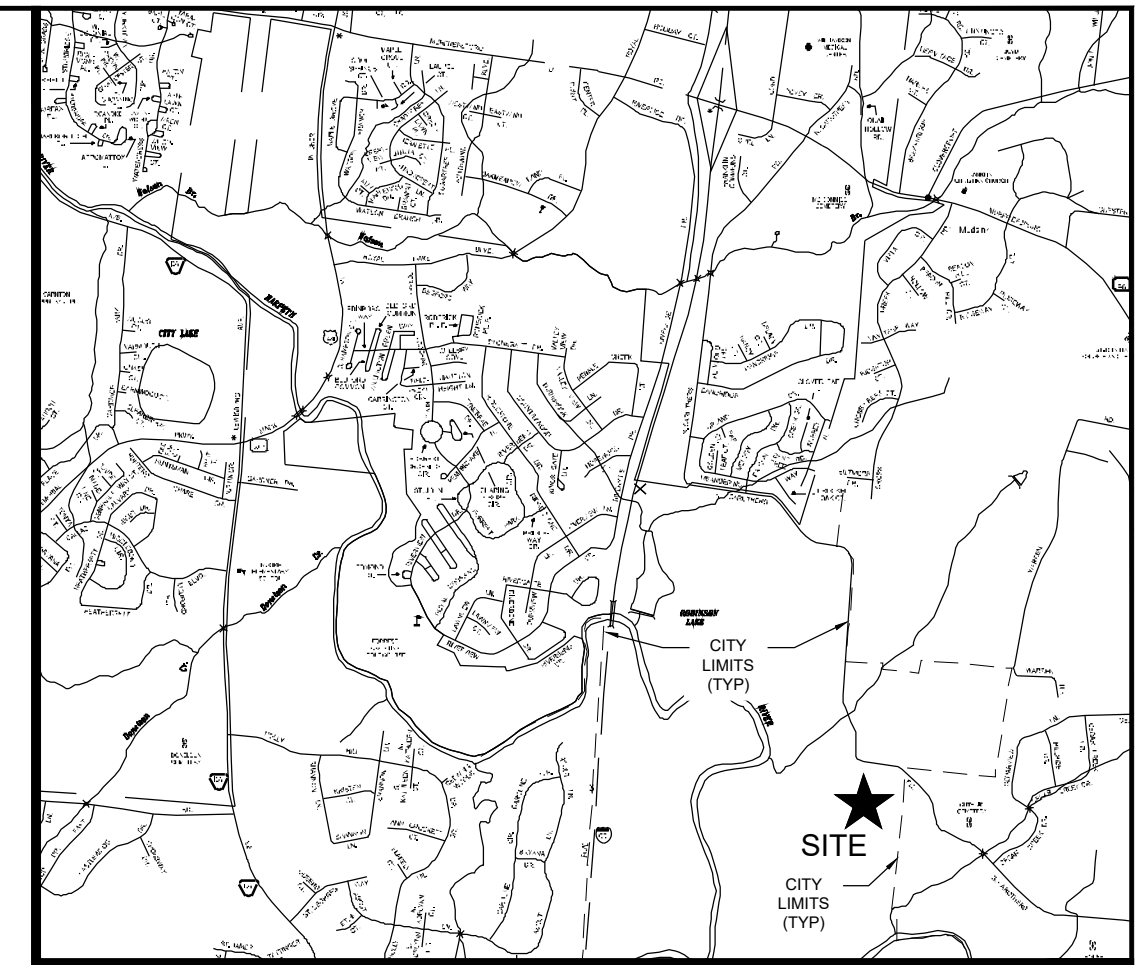
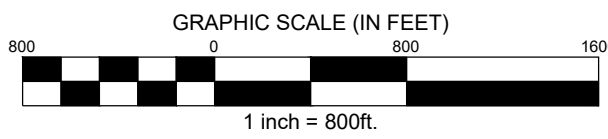
Notes

- The purpose of this plat is to create 1 Multifamily lot and 1 open space lot.
- The property is located within Zone "X", Zone "AX", and Zone "AE" on Fema Firm Community Map Number 47187C0214G Panel No. 0214G, December 22, 2016.
- The lots shall be served by public water from Microfton Utility District and sewer from the City of Franklin. Individual water and sanitary sewer service lines are required for each unit.
- Parcel ID's shown thus (000) pertain to property map 089.
- All property corners not designated otherwise shall be marked with 1/2" iron rods x 18" long with plastic caps.
- Bearings based on Tennessee State Plane Zone 5301, Fipzone 4100, NAD 83 Datum.
- Within new development and for off-site lines constructed as a result of, or to provide service to, the new development, all utilities, such as cable television, electrical (excluding transformers), gas, sewer, telephone and water lines shall be placed underground.
- All street light locations and quantities are approximate. Final positioning and quantity shall be at direction of MTEMC.
- All open space area to be Public Utility, Drainage and Access easements (PUDAEs).
- The property owner(s) or Homeowner's association will maintain all open space, landscape and stormwater management feature areas, detention/retention areas, and all sidewalks and pathways located outside public rights-of-way. All roadways shall be public streets constructed to the City of Franklin specifications in public rights-of-way.
- All Microfton Utility District (M.U.D.) easements shown are exclusive easements. No excavation, building, structure or obstruction of any kind shall be constructed or permitted within the easements except for the installation of pavement for private or public driveways which cross an easement. No trees or shrubbery will be planted within the utility and drainage easements.
- Lots shall conform to all the requirements of the Franklin Zoning Ordinance.
- There shall be a minimum of 10' between buildings.
- Any and all mineral rights for the subject property shall transfer to the owner.
- No obstructions or encroachments which impede the flow of stormwater shall be permitted within Public Drainage Easements between lots. The City of Franklin is not responsible for repair or replacement of any encroachments that are damaged or removed in the course of maintenance activity within easements.
- There shall be no moving, clearing, grading, construction, storage, or disturbance of vegetation in riparian buffers except as permitted the City Engineer, or his designee.
- The City of Franklin Water Management department has unrestricted access to its domestic water, sanitary sewer, reclaim water lines or system improvements located within its exclusive easements within the development. In the event landscaping, fencing, concrete or other structures are installed or placed within a City of Franklin easement, the City of Franklin shall have the right to remove such encroachments within the easement as may be necessary for the City of Franklin to repair, maintain or replace its infrastructure with is now or in the future may be located within the easement without obtaining any further permission from the property owner or HOA. The property owner or HOA shall be responsible for repairing and/or replacing any such landscaping, fencing, concrete or other structures removed or disturbed by the City of Franklin in common open space lots and in areas owned by the property owner or HOA at no expense to the City of Franklin. Individual homeowners shall be responsible for structures removed or disturbed by the City of Franklin within an easement on the homeowners' lot at the homeowners' expense.
- Greenway Easement Note: The 95' wide all access public easement located on the east side of Carothers Parkway shall be dedicated at the time of Final Plat for Section 2, approximately 2016. The 95' easement located west of Carothers Parkway shall be dedicated at the time of the Final Plat for Section 4, approximately 2018.
- Sidewalks and trails outside of public right-of-way shall be public access easements and shall be maintained by the Homeowners Association.

Total area: 844477.1 S.F. or 19.4 Acres

Road Data:

Acreage in new ROW 0 Acres
 Acreage of streets to be maintained by the COF 0 Acres
 Linear footage of new roads 0 Feet
 Linear footage of alleys 0 Feet



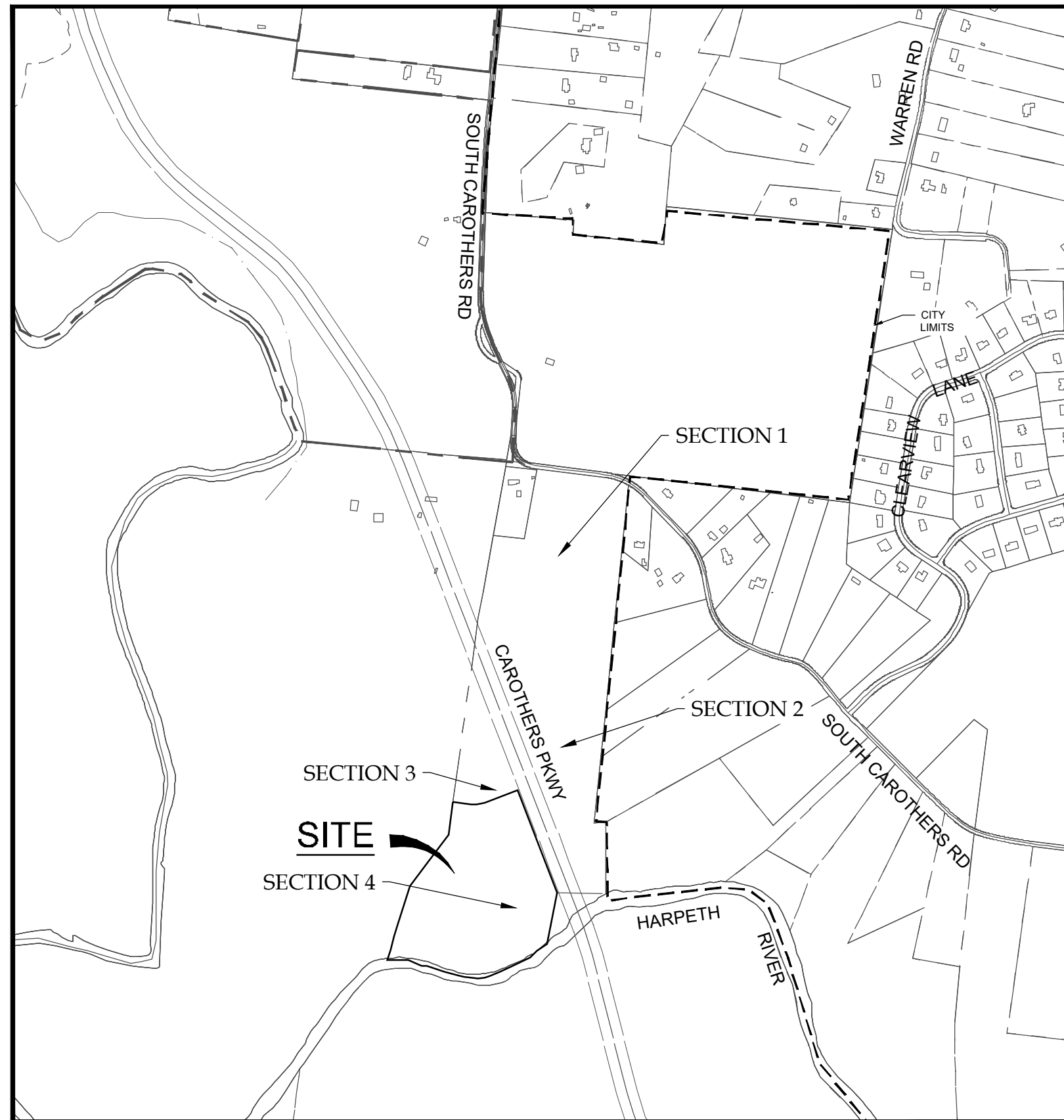
VICINITY MAP
NOT TO SCALE

Site Data

Project Name:	Echelon Subdivision - Section 4
COF Project #:	6493
Subdivision:	Echelon
Lot numbers:	Lots 122, & 123-OS
Address:	South Carothers Road
City:	Franklin
County:	Williamson
State:	Tennessee
Civil District:	14th
Existing zoning and charter area overlay:	N/A
Other applicable overlays:	
Applicable development standard:	Conventional
Acreage of site:	19.4
Approved Density:	SD-R 2.94
Minimum required setback lines:	Manor Lots (Lots 122-123o/s) 45 Feet
Yard fronting on any street:	
Owners representative:	Crescent Communities, LLC
Address:	227 W. Trade Street, Suite 1000 Charlotte, NC 28202
Phone number:	980.321.6279
Email address:	rdavenport@crestcommunities.com
Contact name:	Rob Davenport
Applicant:	Energy Land & Infrastructure
Address:	1420 Donelson Pike, Suite A12 Nashville, TN 37217
Phone number:	(615) 383-6300
Fax number:	(615) 383-6341
Email address:	clay.wallace@eli-llc.com
Contact name:	Clay Wallace, P.E.
Engineer / Land Surveyor:	Energy Land & Infrastructure
Address:	1420 Donelson Pike, Suite A12 Nashville, TN 37217
Phone number:	(615) 383-6300
Fax number:	(615) 383-6341
Contact names:	Clay Wallace

Legend

- FH Fire Hydrant
- W Water Line
- S Sewer Line
- Sewer Manhole
- Iron Rod (New)
- Monument (New)
- Proposed Stormwater Inlet
- Concrete Sidewalk
- 1 Lot Number
- Property Line
- DN Manhole Depth



Certificate Of Approval of Water

I hereby certify that:

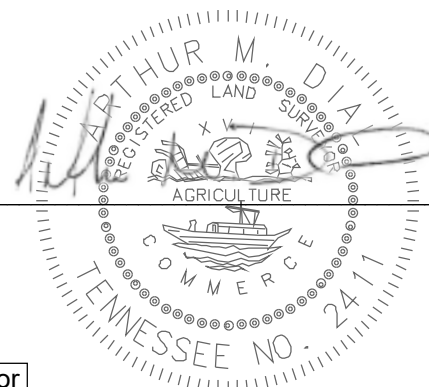
- The water system designated in Echelon Subdivision - Section 4 has been installed in accordance with City specifications, or
- A performance agreement and surety in the amount of \$ _____ for the water system has been posted with the Microfton Utility District to assure completion of such improvements.

General Manager, Microfton Utility District Date

Certificate Of Survey

I (we) hereby certify that the subdivision plat as shown hereon is correct and that all of the monuments shown hereon will be placed as indicated upon completion of construction. This subdivision plat correctly represents a survey prepared by Gresham, Smith and Partners.

Surveyor



2 August 2017
Date

Surveyor Information
Mike Dial
ELI, LLC
1420 Donelson Pike, Suite A12
Nashville, TN 37217
Phone: 615-383-6300
Email: mike.dial@eli-llc.com

SECTION 4 Closure Error
Greater than 1:10,000

Utility Disclaimer

Energy, Land and Infrastructure, LLC (ELI, LLC) has not physically located the underground utilities. Above grade and underground utilities shown were taken from visible appurtenances at the site, public records and/or maps prepared by others. ELI, LLC makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. ELI, LLC further does not warrant that the underground utilities are in the exact location indicated. Therefore, reliance upon the type, size and location of utilities shown should be done so with this circumstance considered. Detailed verification of existence, location and depth should also be made prior to any decision relative thereto is made. Availability and cost of service should be confirmed with the appropriate utility company. In Tennessee, it is a requirement, per "The Underground Utility Damage Prevention Act", that anyone who engages in excavation must notify all known underground utility owner, no less than three (3) nor more than ten (10) working days prior to the date of their intent to excavate and also to avoid any possible hazard or conflict. Tennessee One Call 811.



Certificate Of Approval for Recording

Approved by the Franklin Municipal Planning Commission, Franklin, Williamson County, Tennessee, with the exception of such conditions, if any, as are noted in the Planning Commission minutes for the ____ day of _____, 20 ____, and this plat has been approved for recording in the Register's Office of Williamson County.

Secretary, Franklin Municipal Planning Commission Date

Certificate Of Approval of Streets, Drainage, and Sidewalks

I hereby certify that:

- the streets, drainage, and sidewalks designated in Echelon Subdivision - Section 4 has been installed in accordance with City specifications, or
- a performance agreement and surety in the amount of \$ _____ for streets, \$ _____ for drainage, and \$ _____ for sidewalks has been posted with the City of Franklin, Tennessee, to assure completion of such improvements.

Director, Streets Department
City of Franklin, Tennessee Date

Certificate Of Ownership

I (we) hereby certify that I am (we are) the owner(s) of the property shown hereon as of record in Deed Book 5791, Page 574, R.O.W.C., Tennessee and that I (we) hereby adopt this plan of subdivision of the property as shown hereon and dedicate all public ways and easements as noted. No lot or lots as shown hereon shall again be subdivided, re-subdivided, altered or changed so as to produce less area than is hereby established until otherwise approved by the Franklin Municipal Planning Commission and under no condition shall such lot or lots be made to produce less area than is prescribed by the restrictive covenants as of record in Book _____, Page _____, R.O.W.C., Tennessee, running with the title to the property. I (we) further certify that there are no liens on this property, except as follows: Deed of Trust Book 5869, Page 123, R.O.W.C., Tennessee.

Owner Date

Owner Information
Rob Davenport
Crescent Communities, LLC
227 W. Trade Street, Suite 1000
Charlotte, NC 28202
Phone: 980-321-6279
Email: rdavenport@crestcommunities.com

Certificate Of Approval of Subdivision Name, Street Names, and Addressing

Subdivision name and street names approved by the Williamson County Emergency Management Agency.

Williamson County Emergency Management Agency Date

City of Franklin Date

Certificate Of Approval of Sewer Systems

I hereby certify that:

- The sewer system designated in Echelon Subdivision - Section 4 has been installed in accordance with City specifications, or
- A performance agreement and surety in the amount of \$ _____ for the sewer system has been posted with the City of Franklin, Tennessee, to assure completion of such systems.

Director, Water Management Department
City of Franklin, Tennessee Date

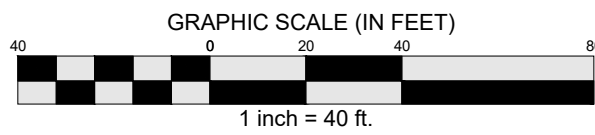
**ECHOLON PUD SUBDIVISION
FINAL PLAT
SECTION 4
SHEET 1 OF 3**

14th CIVIL DISTRICT
TAX MAP 106, PART OF PARCEL 181.20
FRANKLIN, WILLIAMSON COUNTY, TENNESSEE
CITY OF FRANKLIN PROJECT # 6493
DATE: 14 July 2017
REV DATE: 2 August 2017

ENERGY LAND & INFRASTRUCTURE
1420 DONELSON PIKE, SUITE A12 • NASHVILLE, TN 37217
OFFICE 615-383-6300 • WWW.ELI-LLC.COM
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TN STATE PLANE
ZONE 5301, FIPZONE 4100
NAD 83 DATUM

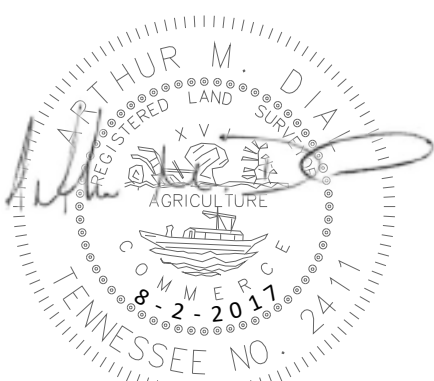


UNIT	NUMERICAL	STREET NAME	NOTES
C3	905	SCOUTING DRIVE	
C2	911	SCOUTING DRIVE	
C1	917	SCOUTING DRIVE	
B3	923	SCOUTING DRIVE	
B2	929	SCOUTING DRIVE	
B1	935	SCOUTING DRIVE	
A3	941	SCOUTING DRIVE	
A2	947	SCOUTING DRIVE	
A1	953	SCOUTING DRIVE	

UNIT	NUMERICAL	STREET NAME	NOTES
M3	2003	MOULTRIE GRGLE	OUTER UNITS
M2	2009	MOULTRIE GRGLE	
M1	2015	MOULTRIE GRGLE	
L4	2021	MOULTRIE GRGLE	
L3	2027	MOULTRIE GRGLE	
L2	2033	MOULTRIE GRGLE	
L1	2039	MOULTRIE GRGLE	
K4	2045	MOULTRIE GRGLE	
K3	2051	MOULTRIE GRGLE	
K2	2057	MOULTRIE GRGLE	
K1	2063	MOULTRIE GRGLE	
J4	2069	MOULTRIE GRGLE	
J3	2075	MOULTRIE GRGLE	
J2	2081	MOULTRIE GRGLE	
J1	2087	MOULTRIE GRGLE	
I4	2093	MOULTRIE GRGLE	
I3	2099	MOULTRIE GRGLE	
I2	3005	MOULTRIE GRGLE	
I1	3011	MOULTRIE GRGLE	
H4	3017	MOULTRIE GRGLE	
H3	3023	MOULTRIE GRGLE	
H2	3029	MOULTRIE GRGLE	
H1	3035	MOULTRIE GRGLE	

UNIT	NUMERICAL	STREET NAME	NOTES
D1	2004	MOULTRIE GRGLE	INSIDE UNITS
D2	2010	MOULTRIE GRGLE	
D3	2016	MOULTRIE GRGLE	
D4	2022	MOULTRIE GRGLE	
E1	2028	MOULTRIE GRGLE	
E2	2034	MOULTRIE GRGLE	
E3	2040	MOULTRIE GRGLE	
E4	2046	MOULTRIE GRGLE	
G4	2052	MOULTRIE GRGLE	
G3	2058	MOULTRIE GRGLE	
G2	2064	MOULTRIE GRGLE	
G1	2070	MOULTRIE GRGLE	
F4	2076	MOULTRIE GRGLE	
F3	2082	MOULTRIE GRGLE	
F2	2088	MOULTRIE GRGLE	
F1	2094	MOULTRIE GRGLE	

*SEE APPROVED SITE PLAN FOR UNIT LOCATION



SECTION 4 Closure Error
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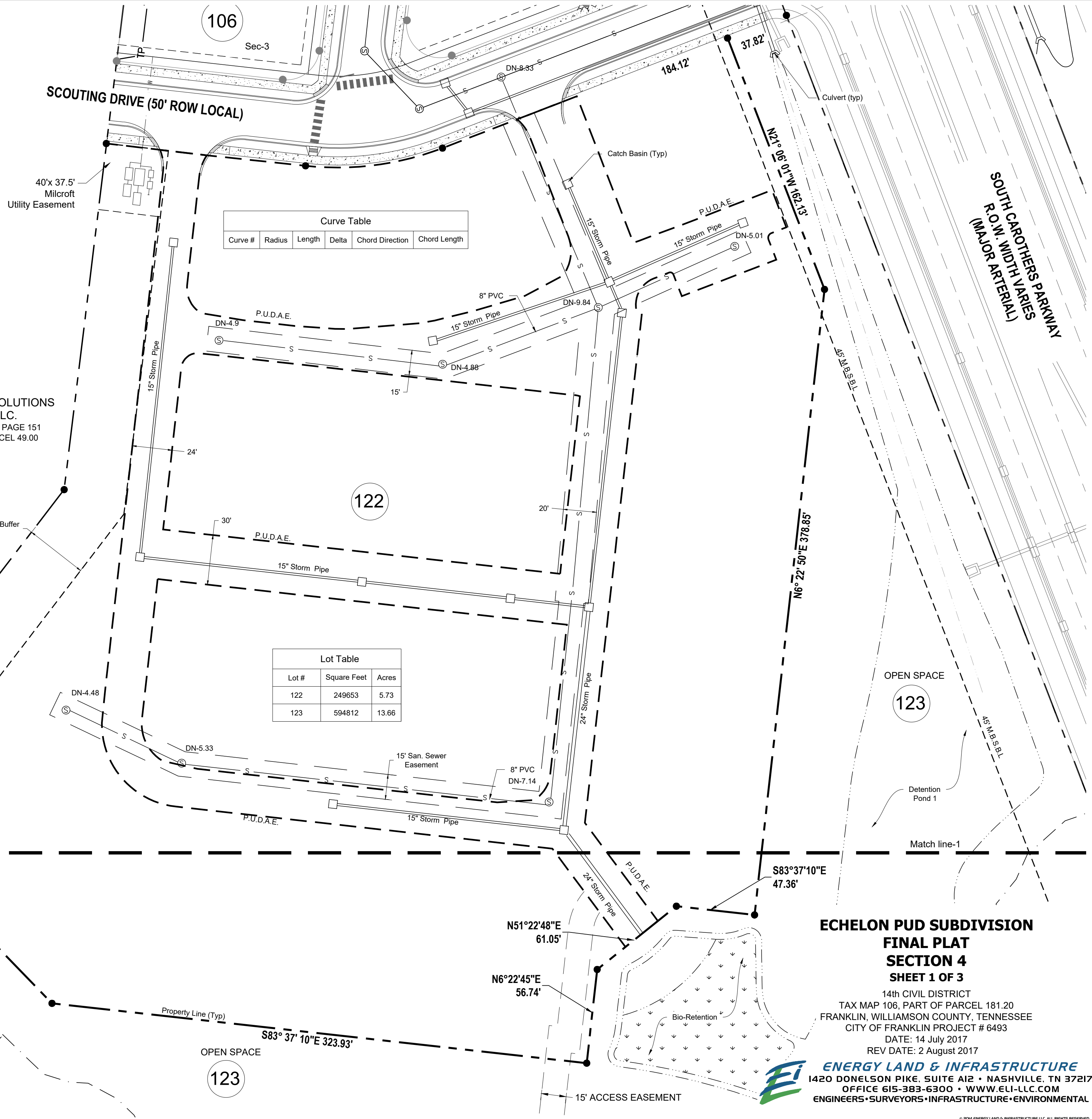
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Legend

- FH Fire Hydrant
- W Water Line
- S Sewer Line
- S Sewer Manhole
- Iron Rod (New)
- Monument (New)
- Proposed Stormwater Inlet
- Concrete Sidewalk
- 1 Lot Number
- Property Line
- DN Manhole Depth



Curve Table

Curve #	Radius	Length	Delta	Chord Direction	Chord Length

Lot Table

Lot #	Square Feet	Acres
122	249653	5.73
123	594812	13.66

**ECHOLON PUD SUBDIVISION
FINAL PLAT
SECTION 4
SHEET 1 OF 3**

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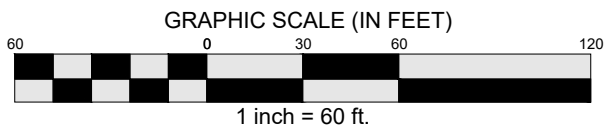
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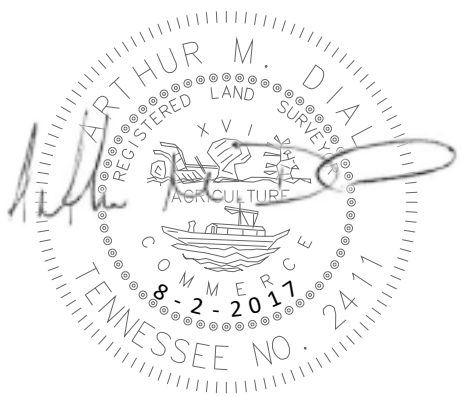
TN STATE PLANE
ZONE 5301, FIPZONE 4100
NAD 83 DATUM

REAL ESTATE SOLUTIONS
GROUP LLC.
DEED BOOK 6155, PAGE 151
TAX MAP 89, PARCEL 49.00



Legend

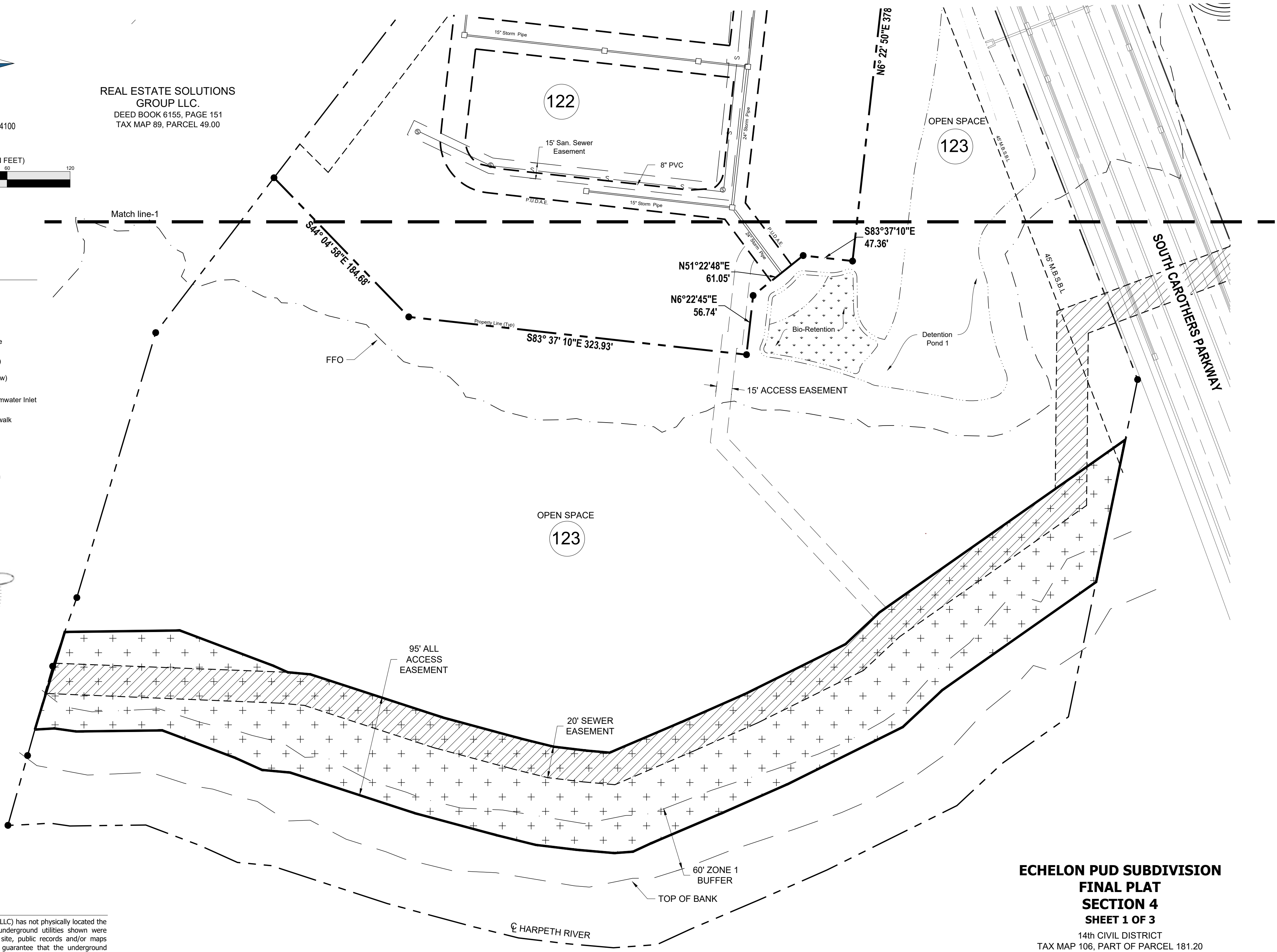
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