

RESOLUTION 2020-07

A RESOLUTION AMENDING THE ASPEN GROVE PUD SUBDIVISION, SECTION O, LOT 4, SITE PLAN TO EXTEND THE VESTED RIGHTS, FOR THE PROPERTY LOCATED AT THE INTERSECTION OF COOL SPRINGS BOULEVARD AND WINDCROSS COURT.

WHEREAS, City Staff, on behalf of the Franklin Municipal Planning Commission, has approved the site plan for the property on the March 15, 2017, Administrative Agenda; and

WHEREAS, in accordance with the provisions of the City of Franklin, Tennessee, Zoning Ordinance, and as required by Tennessee Code Annotated § 13-4-310, as amended, the approval of the Site Plan approved after January 1, 2015, when not associated with a preliminary development plan, initiates a vesting period during which the development standards adopted by the City and in effect on the date of approval; and

WHEREAS, Tennessee Code Annotated § 13-4-310 (d) (1) states that the vesting period applicable to a development plan shall be a period of three (3) years, beginning on the date of the local government’s approval of the preliminary development plan; provided, that the applicant obtains local government approval of a final development plan, secures any necessary permits, and commences site preparation within the vesting period; and

WHEREAS, the Aspen Grove PUD Subdivision, Section O, Lot 4 Site Plan vesting period began on March 15, 2017, and is set to expire on March 15, 2020, and the applicant has not secured any permits or commenced site preparation; and

WHEREAS, Tennessee Code Annotated § 13-4-310 (h) states that an amendment to an approved plan by the developer must be approved by the local government to retain the protections of the vested property right, and a vested property right shall not terminate if the local government determines, in writing, that it is in the best interest of the community to allow the development to proceed under the amended plan without terminating the vested property right; and

WHEREAS, the Franklin Zoning Ordinance §§ 2.4.3(10) states that upon the expiration of a vesting period for a Site Plan, construction may not proceed unless a new Site Plan is approved by the FMPC, or administratively by Staff, that meets all development standards in effect at the time of approval for portions of the project not already constructed or under construction or, alternatively, the FMPC may grant an extension of the vesting period if it determines, in writing, that it is in the best interest of the community to allow the development to proceed without terminating the vested property right; and

WHEREAS, the applicant has requested an extension of the vesting period for three years, until March 15, 2023.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF MAYOR AND ALDERMEN OF THE CITY OF FRANKLIN, TENNESSEE, AS FOLLOWS:

SECTION I. That the legal description of the property included in the site is as follows:

PREMISES CONSIDERED	
Map-Parcel	Acres
062---04500	4.00

SECTION II. That the attached Location Map, Exhibit A, shall serve the purpose of further delineating the geographical boundaries as described by this Resolution.

SECTION III. That the overall entitlements for the Aspen Grove PUD Subdivision, Section O, Lot 4 Site Plan (COF#6244) are outlined in Exhibit B.

SECTION IV. That the original vesting period was initiated on March 15, 2017 and was set to expire on March 15, 2020. The vesting period is extended for three years until March 15, 2023. The amended site plan will now have until March 15, 2023, to secure any necessary permits and commence site preparation. If these requirements are met, then the vesting period shall be extended an additional two (2) years to commence construction and maintain any necessary permits to remain vested.

SECTION V. That the total vesting period shall not be extended. If construction commences during this extended vesting period, the development standards applicable during the vesting period shall remain in effect until the local government has certified final completion of the development or project; provided, the total vesting period for the project shall not exceed ten (10) years from the date of the original approval of the site plan, March 15, 2017.

SECTION VI. That the Site Plan, the exhibits accompanying the Site Plan, and all conditions and restrictions placed upon the originally Site Plan by the Franklin Municipal Planning Commission shall be made a part of this Resolution as though copied verbatim herein, and that a permanent record of the Site Plan, the exhibits accompanying the Site Plan, and all such conditions and restrictions shall be kept in the Franklin Planning and Sustainability Department.

SECTION VII. BE IT FINALLY ORDAINED, that this Resolution shall take effect from and after its passage by the Franklin Municipal Planning Commission of the City of Franklin, Tennessee.

ATTEST:

CITY OF FRANKLIN, TENNESSEE:

By: _____
Emily Hunter
FMPC Secretary

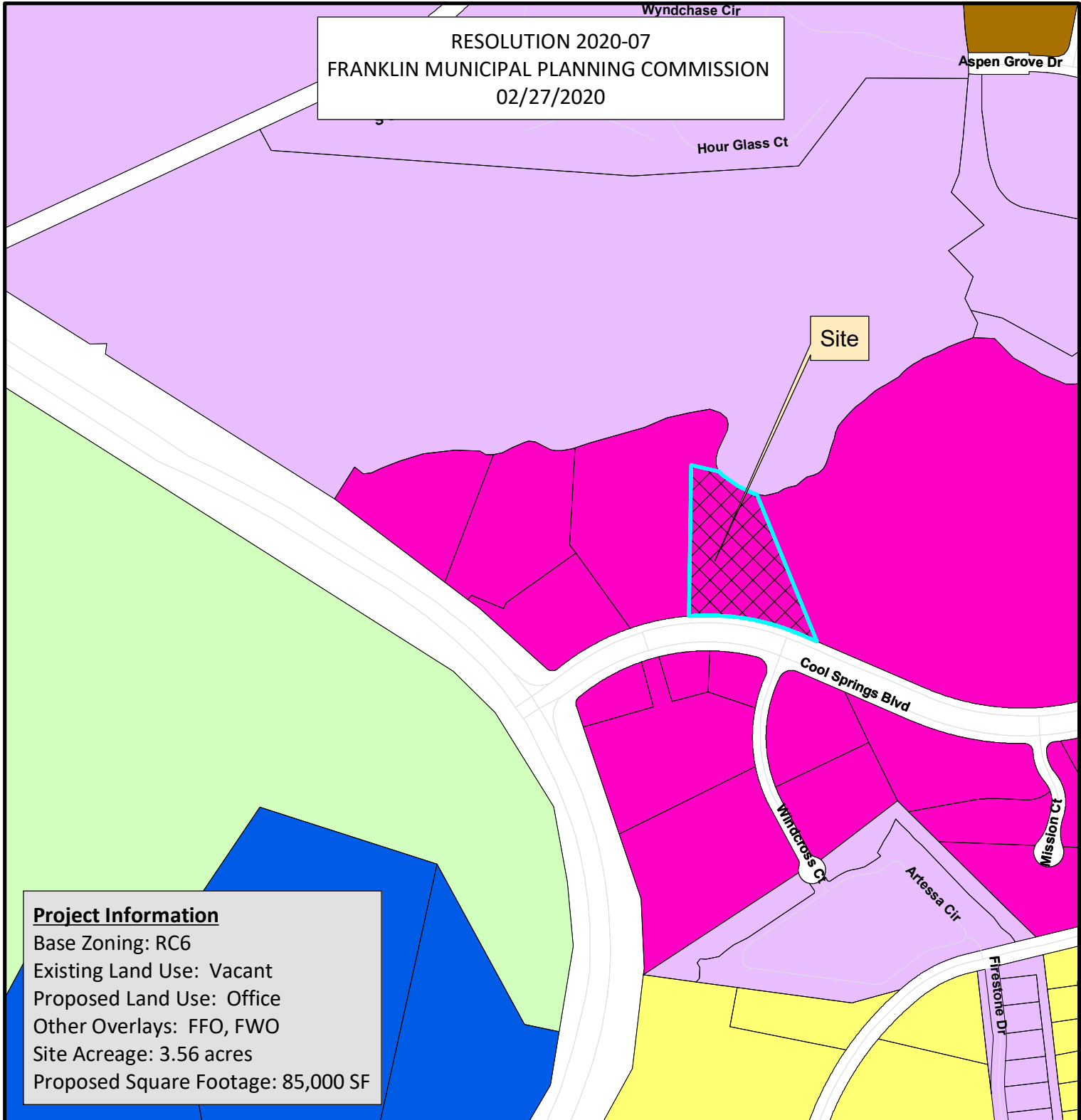
By: _____
Mike Hathaway
FMPC Chair

Approved as to form:

Shauna R. Billingsley
City Attorney

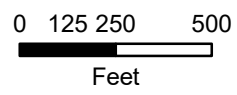
PLANNING COMMISSION APPROVAL: _____

RESOLUTION 2020-07
FRANKLIN MUNICIPAL PLANNING COMMISSION
02/27/2020



Project Information
 Base Zoning: RC6
 Existing Land Use: Vacant
 Proposed Land Use: Office
 Other Overlays: FFO, FWO
 Site Acreage: 3.56 acres
 Proposed Square Footage: 85,000 SF

- | | |
|--------------------------------|------------------------------------|
| 201 Cool Springs Blvd | CI Civic Institutional District |
| AG Agricultural District | NC Neighborhood Commercial |
| ER Estate Residential District | CC Central Commercial District |
| R1 Residential 1 District | DD Downtown District |
| R2 Residential 2 District | 1ST Avenue District |
| R3 Residential 3 District | 5TH Avenue District |
| R4 Residential 4 District | RC6 Regional Commerce 6 District |
| R6 Residential 6 District | RC12 Regional Commerce 12 District |
| MR Mixed Residential District | GO General Office District |
| PD Planned District | LI Light Industrial District |
| OR Office Residential District | HI Heavy Industrial District |



This map was created by the Franklin Planning Department. It was compiled from the most authentic information available. The City is not responsible for any errors or omissions contained hereon. All data and materials (c) copyright 2019. All rights reserved.

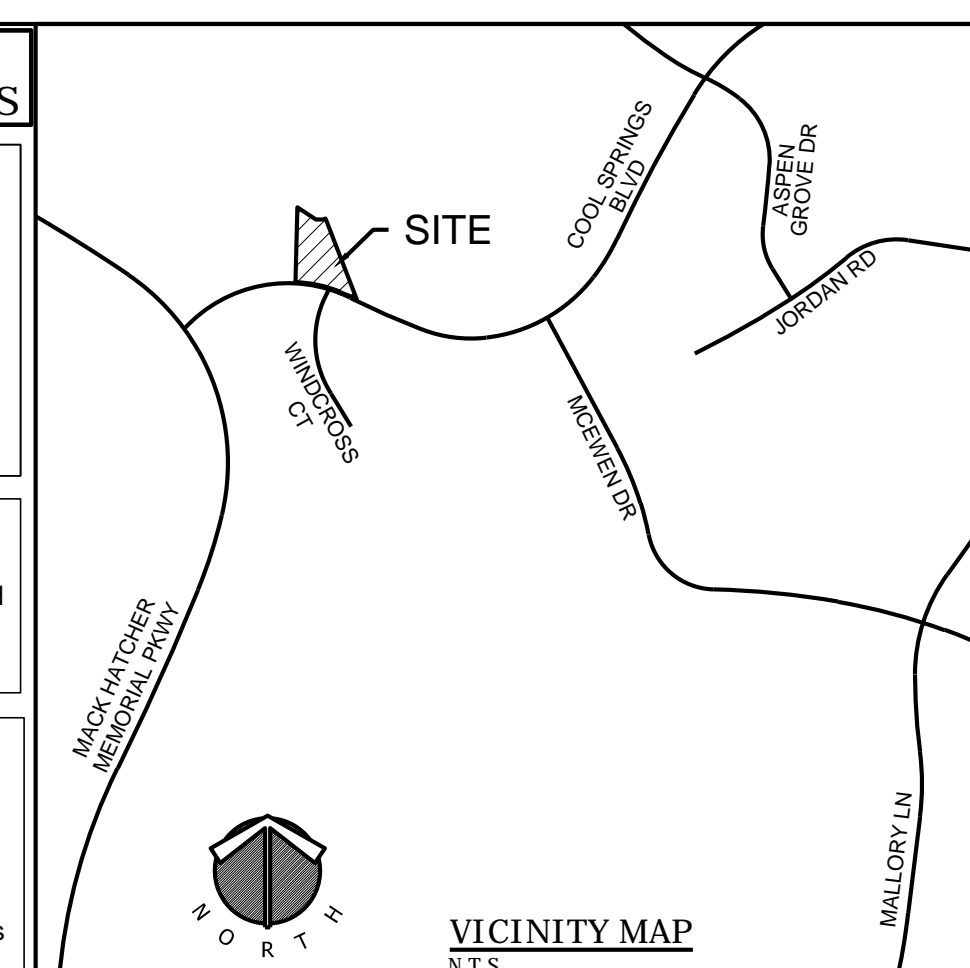
REFER TO SHEET CO.01 FOR APPLICABLE NOTES

CONNECTIVITY INDEX
◆ NODES 2
X LINKS 5
LINKS/NODES 5/2 = 2.5

Within new developments and for off-site lines contracted as a result of, or to provide service to, the new development, all utilities such as cable television, electrical (excluding transformers), gas, sewer, telephone and waterlines shall be placed underground. Light industrial and heavy industrial districts shall be permitted to have their off-site overhead. Changes shall not be made to the lines approved site plan unless approved by either the relevant department superintendent or the planning commission.

This site plan has been designed to meet the City of Franklin standards and the approval of the planning commission, changes shall not be made to the approved site plan unless approved by either the relevant department superintendent or the planning commission.

- NOTES:
- Proposed water service layout is conceptual, refer to Mallory Valley Utility District plans for final construction plans.
 - Contractor shall coordinate final utility service sizes and locations with plumbing plans.
 - The contractor shall ensure that all rooftop mechanical equipment is completely screened by the proposed building parapets from all directions and off-site views. The change out of any equipment to a larger dimensional height or mounting height will require that the building parapet be raised to meet City of Franklin screening requirements.



CIVIL SITE DESIGN GROUP
ENGINEERS • PLANNERS • LANDSCAPE ARCHITECTS
810 SOUTHVALE AVENUE SUITE 1000 NASHVILLE, TN 37203
615.259.1111 WWW.CIVILSITEDESIGN.COM

Site Data:

Project Name: Aspen Grove, Section O, Lot 4
The Franklin at Legends View
201 Cool Springs Blvd
Franklin, TN
Civil District: 8th
Map, Parcels: 62, 45.00
Owner/Developer: P&K, LLC
3310 Aspen Grove Dr. #302
Franklin, TN 37067
Contact: Eric Powers
Phone: 615-778-1218

Site Area: 43.56 ac
Disturbed Area: 42.6 ac
General Zoning: Commercial (GC)
Proposed Zoning: General Commercial (GC)
Building Use: Office (Commercial)
Prop. Building Area: 85,000 SF
Character Area Overlay: Floodway Fringe Overlay (FFO)
Other Overlays: Floodway Overlay (FWO)
Conventional

Development Standard: Harpeth River
Drainage Basin: None
Existing Structures: None
Building Setbacks: Front: 30', Side: 15', Rear: 25'
Bike Parking Required: 19
Bike Parking Provided: 19
Parking: See parking chart

Use	Unit	Rate	Quantity	Parking Required
Office	Gross Sq. Ft.	4 sp/1,000 sf	80,769	323
PROVIDED PARKING				
BASEMENT LEVEL				
Accessible Parking Spaces				3
Standard Parking Spaces				64
Compact Parking Spaces				14
FIRST FLOOR				
Accessible Parking Spaces				3
Standard Parking Spaces				61
Compact Parking Spaces				12
SECOND FLOOR				
Accessible Parking Spaces				3
Standard Parking Spaces				63
Compact Parking Spaces				12
THIRD FLOOR				
Accessible Parking Spaces				3
Standard Parking Spaces				66
Compact Parking Spaces				16
SURFACE LEVEL				
Standard Parking Spaces				16
Compact Parking Spaces				336
Total Parking Spaces = 16% (54/340) of minimum number of required spaces				

PAVEMENT LEGEND

[Symbol]	= HEAVY DUTY ASPHALT
[Symbol]	= PERMEABLE PAVERS

CITY OF FRANKLIN HAS INDICATED THAT THERE MAY BE AN ABANDONED SEWER LINE ON SITE WITHIN THE FOOTPRINT OF THE PROPOSED BUILDING. IF THE SEWER LINE IS UNCOVERED DURING EXCAVATION IT SHALL BE REMOVED FROM THE LIMITS OF THE BUILDING FOOTPRINT AT THE CONTRACTOR'S EXPENSE. THE CITY OF FRANKLIN WATER MANAGEMENT DEPARTMENT MUST BE NOTIFIED PRIOR TO THE REMOVAL OF THE ABANDONED LINE.

Notes:

- The project site is located at 201 Cool Springs Blvd in Franklin, TN, and is located within the 8th Civil District. The property is referenced as Map 62, Parcel 45.00 on the Williamson County tax maps.
- Survey information provided by Arrowhead Survey.
- Fire hydrant flow for the hydrant located at SW corner of Windcross Ct. and Cool Springs Blvd. (test date 09/23/16)
Static Pressure: 106 psi
Residual Pressure: 100 psi
Flow: 894 gpm
Predicted flow at 20 psi: 3,764 gpm
- The acreage of this development is ±3.56 ac.
- There are no individual list National Registered historic structures within 500' of the property.
- No mineral rights are known to be held by parties outside of the property owner.
- Based on graphic plotting of FEMA FIRM map 47187C0204F dated September 29, 2006, a portion of this site is located within Zone AE which is determined to have a 1% annual chance of flooding.
- All public improvements shall be located within an easement or public right of way.
- Contractor is responsible for obtaining a current copy of a geotechnical report, if available, for information on site specific conditions and recommendations.
- All signs, markings, signals, and other traffic control devices used on public and private streets complies with the MUTCD latest edition.
- Contractor shall coordinate relocation of onsite power poles with MTEMC.
- Minimum width for standard 90° surface parking spaces adjacent to parking islands or green space shall be 10'.
- No habitable portion of the building is proposed within the limits of the floodplain fringe overlay.

PLANNED ROAD NETWORK NOTE:
THE MAJOR THOROUGHFARE PLAN INDICATES THE FUTURE IMPROVEMENT OF COOL SPRINGS BOULEVARD FROM MACK HATCHER PARKWAY TO CAROTHERS PARKWAY. THE IDENTIFIED IMPROVEMENTS WOULD WIDEN THE ROAD FROM 4 TO 6 LANES. THERE ARE NO OTHER IMPROVEMENTS NEAR THE SITE.

CITY OF FRANKLIN
ENGINEERING DEPT
05/18/17
This sheet is part of the
APPROVED Site Plan Set.

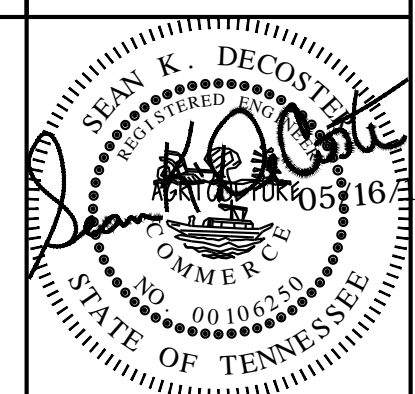


THE CITY OF FRANKLIN IS NOT A MEMBER OF TN ONE CALL. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT FRANKLIN WATER MANAGEMENT NO LESS THAN 72 HOURS PRIOR TO COMMENCING WORK.

MAP 62 PARCEL 45.00

PROJECT BENCHMARK:
DESCRIPTION: FIRE HYDRANT FLANGE BOLT
ELEVATION: 677.47'

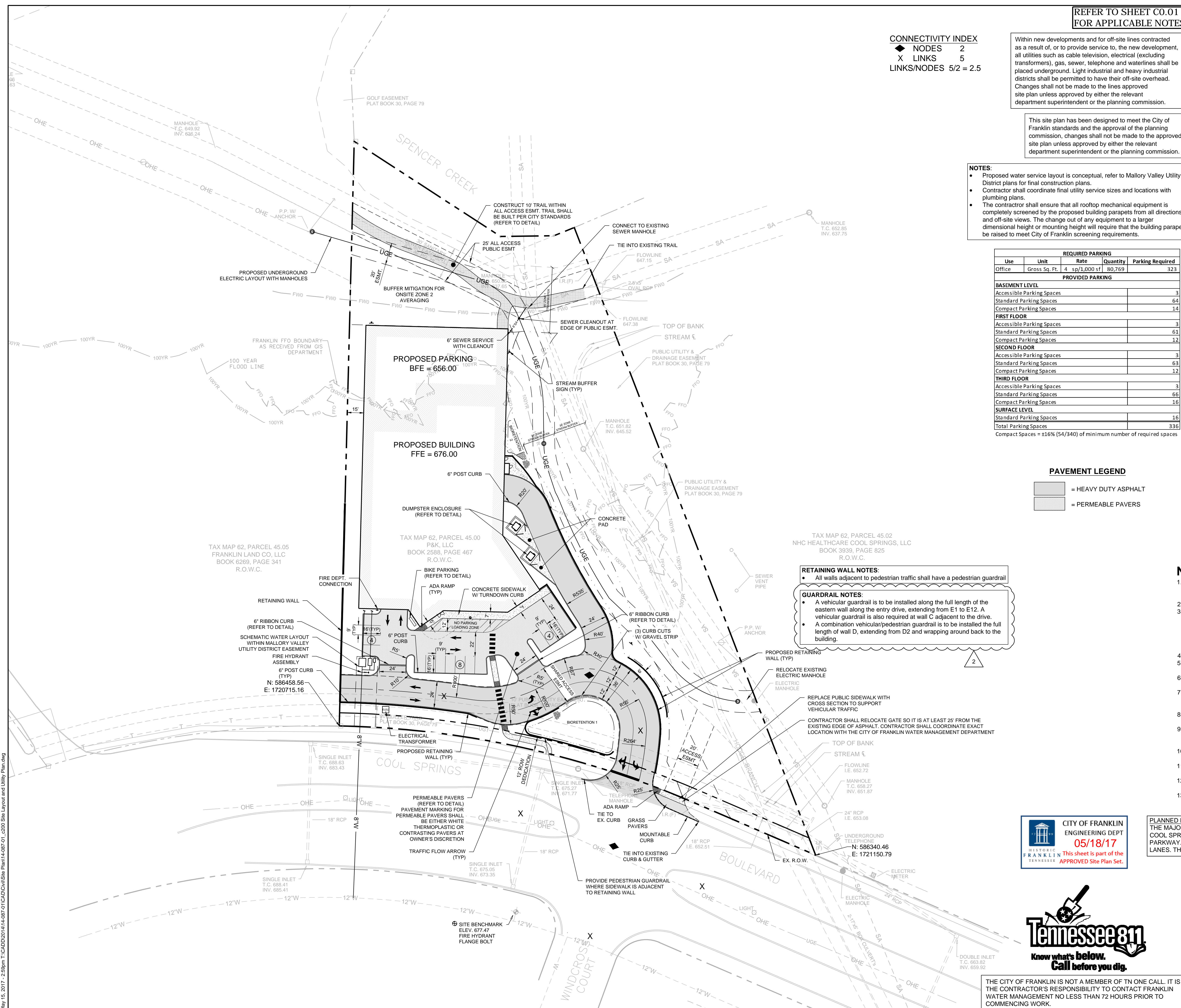
0 10 20 30 40 80 120
GRAPHIC SCALE 1" = 40'



SITE LAYOUT AND UTILITY PLAN
SITE PLAN
ASPEN GROVE, SECTION O, LOT 4
THE FRANKLIN AT LEGENDS VIEW
201 COOL SPRINGS BLVD
FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

REV.	COMMENTS	DATE
1	SITE PLAN SUBMITTAL	09/12/16
2	RESUBMITTAL	01/05/17
3	RESUBMITTAL	02/02/17
4	RESUBMITTAL	03/02/17
5	CONDITIONS OF APPROVAL	03/24/17
6	CONDITIONS OF APPROVAL	04/18/17
7	ONE STOP RESUBMITTAL	05/02/17
8	ONE STOP RESUBMITTAL	05/16/17

C2.00
JOB NO.: 14-087-01
COF # 6244



May 15, 2017 - 2:59pm T:\CADD\2014\14-087-01\CADD\Site Plan\14-087-01_C200_Site Layout and Utility Planning



CITY OF FRANKLIN
ENGINEERING DEPT
05/18/17
This sheet is part of the
APPROVED Site Plan Set.



consultants
CIVIL
STRUCTURAL
MECH/ELEC./PLUMBING
SPECIALTY:

The Franklin at
Legends View

Aspen Grove
Section O
Lot 4
201 Cool Springs Blvd.
Franklin, TN 37064

Project Number:
16-126

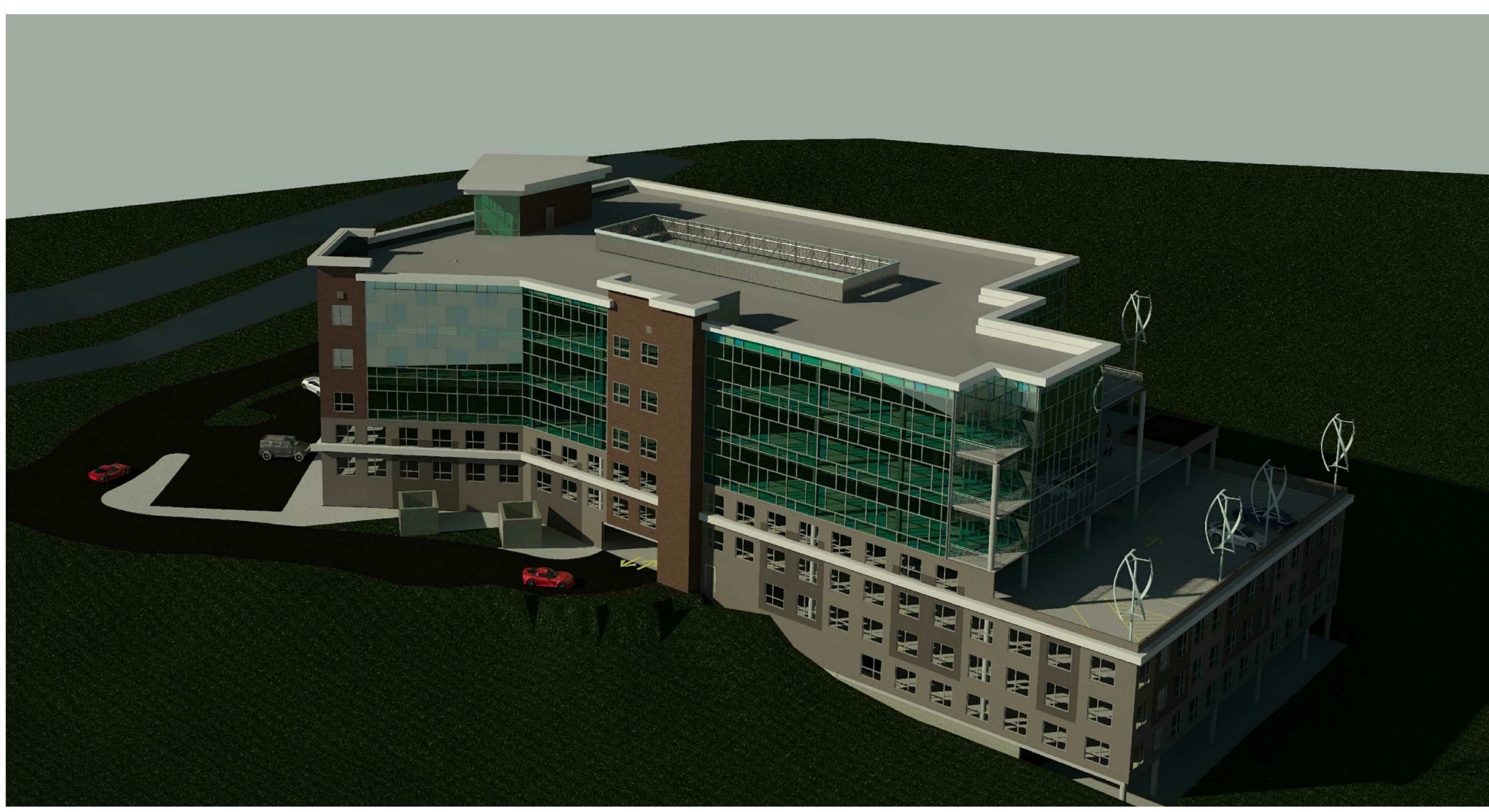
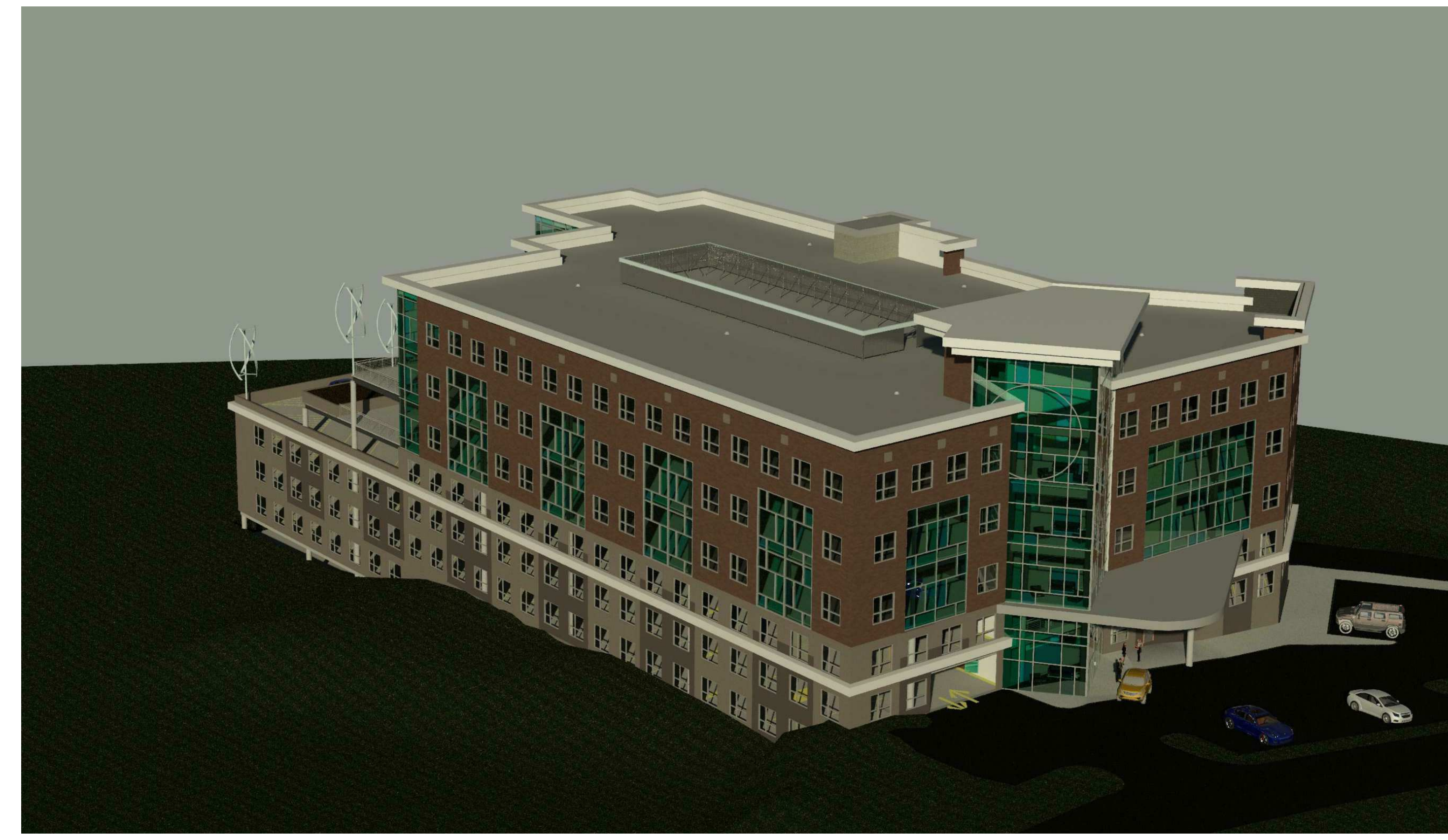
Issue Date:
04.18.17

Revisions:

No.	Description	Date

Sheet Number

A-613B



January 28, 2020

Amy Diaz Barriga
Current Planning Supervisor
City of Franklin
109 Third Ave South
Franklin, TN 37064

**RE: Aspen Grove PUD Subdivision
Section O, Lot 4 (The Franklin at Legends View)
Site Plan extension request
COF Project #6244**

Dear Amy,

As discussed in our email correspondence the week of January 20, 2020, this letter serves as our request for the extension of the vesting period for Aspen Grove PUD Subdivision, Section O, Lot 4 (The Franklin at Legends View) site Plan that was approved on the Franklin Planning Commission's administrative agenda in March 2017.

The vesting period for the current approval is set to expire in March of 2020. P&K, LLC respectfully requests a 3 year extension of the current approval to March of 2023. We seek this extension in order to maintain the extensive work and agreements, collaborated with the City of Franklin, on the difficult site entrance, while we continue our efforts in establishing an end user.

Please feel free to contact our office if you have any questions or need any additional information.

Sincerely;

The Innovations Group, LLC DBA:

Integrus Architecture, LLC

Steve Akers

Director of Architecture