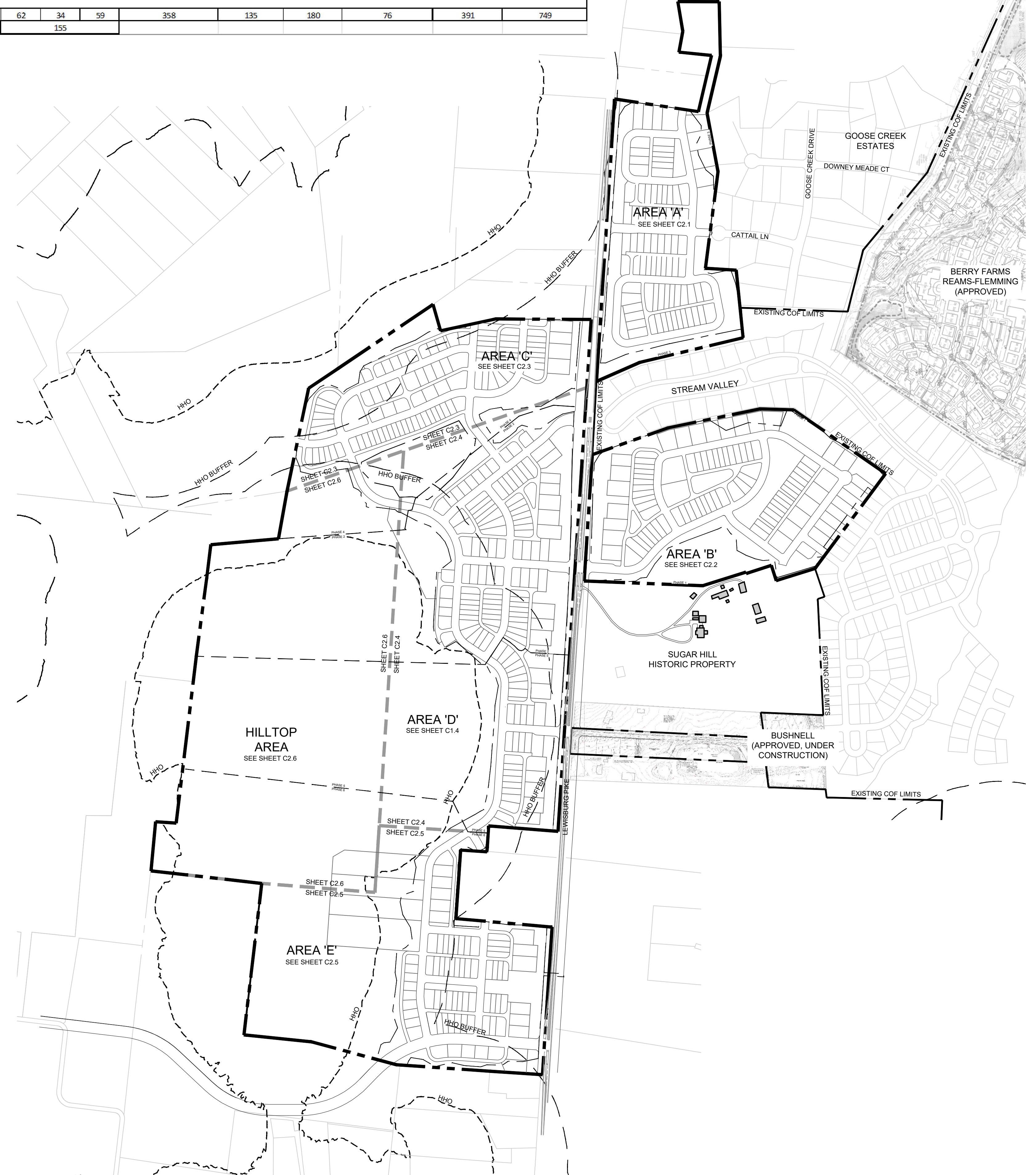


LOT BREAKDOWN

	DETACHED					TOTAL DETACHED	ATTACHED			TOTAL ATTACHED	AREA TOTAL
	34'-40'	41'-45'	45'-55'	56'-60'	61'+		24'(2-3 UNIT)	60'(4-UNIT)	90'(4-UNIT)		
AREA 'A'	19	13	21	10	19	82	0	0	0	0	82
AREA 'B'	23	22	5	5	21	76	47	0	0	47	123
AREA 'C'	28	15	12	1	4	60	10	76	40	126	186
AREA 'D'	30	20	14	18	11	93	50	68	0	118	211
AREA 'E'	16	17	10	0	4	47	28	36	36	100	147
UNIT TOTAL	116	87	62	34	59	358	135	180	76	391	749
						155					



SITE DATA CHART

PROJECT NAME:	SOUTHBROOKE
PROJECT #:	6975
SUBDIVISION:	SOUTHBROOKE
ADDRESS:	LEWISBURG PIKE
CITY:	FRANKLIN
COUNTY:	WILLIAMSON
STATE:	TENNESSEE
CIVIL DISTRICT:	10

EXISTING ZONING:	MGA-1 (WILLIAMSON COUNTY)
PROPOSED ZONING:	SD-R (2.35)
EXISTING CHARACTER AREA:	GCCO-5 & MLCO-2
OTHER APPLICABLE OVERLAYS:	HHO & HHO BUFFER
APPLICABLE DEVELOPMENT STANDARD:	EITHER (CONVENTIONAL APPLIED)
ACREAGE OF SITE:	318.88 AC
SQUARE FOOTAGE OF SITE:	13,890,650 SF

MINIMUM SETBACKS: SEE ARCHITECTURE SHEETS A1.0 & A1.1. MINIMUM SETBACKS ARE ESTABLISHED AS PART OF THE PUD

OWNERS: 117---01200 FLORENCE E.H. McKEITHAN 4416 BEEKMAN DRIVE NASHVILLE, TN 37215

117---01300 & 118---04900 DWIGHT STACEY 1490 LEWISBURG PIKE FRANKLIN, TN 37064

117---01400, 118---04901, 118---05001, 118---05002, 133---00100 THE HILLS TENNESSEE, LLC CHARLES L. COLLUM 2381 EAST VINA DEL MAR BLVD ST. PETE BEACH, FL 33706

117---01901 & 117---01902 MARVIN PRATT LIMITED PARTNERSHIP MARY BUSH GENERAL PARTNER 3824 NEW HIGHWAY 96 WEST FRANKLIN, TN 37064

APPLICANT: GAMBLE DESIGN COLLABORATIVE ADDRESS: 324 LIBERTY PIKE SUITE 145 (615) 975-5765 greg.gamble@gdc-tn.com CONTACT: GREG GAMBLE

TOTAL UNITS: 749 ATTACHED: 391 (211 3BR+, 180 2BR) DETACHED: 358

BUILDING HEIGHT: 1 - 2.5 STORIES

REQUIRED LSR: 0.2 PROVIDED LSR: 0.2 *NOTE- PROPOSED COF PARK NOT INCLUDED IN LSR CALCULATION

MINIMUM PARKING REQUIREMENT: 2 / SF DETACHED: 716 1.5 / 1 BR ATTACHED: 0 2.5 / 2 BR ATTACHED: 450 3.5 / 3BR+ ATTACHED: 739 TOTAL: 1,905

EXISTING PARKING: PROVIDED PARKING: NONE 3,211

RESIDENTIAL DENSITY: 2.35 D.U.A. NET DENSITY (MINUS ROW): 2.91 D.U.A. NET DENSITY (MINUS ROW & HHO): 4.85 D.U.A.

TREE CANOPY: 3,937,245 SF (AC) PARKLAND DEDICATION FEE: \$3,223,696

STATEMENT OF IMPACTS

WATER FACILITIES WATER SERVICE WILL BE PROVIDED BY HB & TS. THE WATER MAINS ARE LOCATED ALONG CAROTHERS PARKWAY AND LIBERTY PIKE. 749 UNITS x 350 GPD = 262,150 GPD

SEWER FACILITIES SEWER SERVICE WILL BE PROVIDED BY THE CITY OF FRANKLIN.

REPURIFIED (REUSE) WATER FACILITIES NOT AVAILABLE TO THIS SITE.

POLICE, FIRE, AND RECREATIONAL FACILITIES NEAREST POLICE STATION: 5.5 MI (FRANKLIN POLICE DEPARTMENT) NEAREST FIRE STATION: 1.9 MI (FRANKLIN FIRE DEPARTMENT STATION 7) NEAREST RECREATIONAL FACILITY: 0.8 MI (HUGHES MILL PARK)

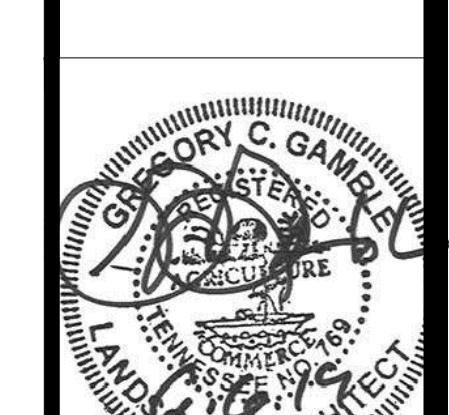
PROJECTED STUDENT POPULATION 749 x 0.64 = 480 STUDENTS

REFUSE STORAGE AND SANITATION COLLECTION FACILITIES REFUSE COLLECTION FOR THE DEVELOPMENT SHALL BE PROVIDED BY COF

RESTRICTIVE COVENANTS: A HOME OWNER'S ASSOCIATION WILL BE ESTABLISHED PRIOR TO THE FIRST OCCUPANCY OF RESIDENTS. THE HOA WILL REGULATE ARCHITECTURAL STANDARDS AND THE MAINTENANCE OF THE COMMUNITY. THE HOA WILL MAINTAIN ALL COMMON OPEN SPACE AND RECREATIONAL AREAS.

SOUTHBROOKE PUD SUBDIVISION DEVELOPMENT PLAN

Franklin, Williamson County, Tennessee



Revision Date
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△
△
△

OVERALL DEVELOPMENT PLAN

SHEET C2.0
COF 6975