

City of Franklin Project Number: 6414 (Formerly 5841)

Township PUD Subdivision Site Plan Section 1

1020 Harmony Hills Drive

Map 79 G, Parcels 6.01, 6.03, 6.04

Franklin, Williamson County, TN

Drawing Date:
April 2017

PLANSET REVISIONS

COF Pre-Application 4/10/17

COF Site Plan Comments 5/4/17

Site Data

| | |
|-----------------------------------|------------------------------------|
| PROJECT NAME: | Township PUD |
| PROJECT # | 6414 |
| SUBDIVISION: | Williamson Square Subdivision |
| LOT NUMBER: | N/A |
| ADDRESS: | 1020 Harmony Hills Drive |
| CITY: | Franklin |
| COUNTY: | Williamson County |
| STATE: | Tennessee |
| CIVIL DISTRICT: | 9th |
| EXISTING ZONING & CHARACTER OV: | SD-X (3.39/68,961)/MECO-9 |
| OTHER APPLICABLE OVERLAYS: | PUD |
| APPLICABLE DEVELOPMENT STANDARDS: | Conventional |
| ACREAGE OF SITE/PROJECT AREA: | 17.30 Acres |
| SQUARE FOOTAGE OF SITE: | 753,204 ± Square Feet |
| MINIMUM REQUIRED SETBACK LINES: | |
| YARD FRONTING ON STREET: | N/A Front |
| SIDE YARD: | 10 Feet |
| REAR YARD: | 30 Feet |
| DEVELOPER: | JD Eatherly |
| ADDRESS: | 1720 West End Avenue # 600 |
| | Nashville, TN 37027 |
| PHONE NUMBER: | (615) 373-8850 |
| FAX NUMBER: | |
| EMAIL ADDRESS: | |
| CONTACT NAME: | JD Eatherly |
| APPLICANT: | Dale and Associates, Inc. |
| ADDRESS: | 516 Heather Place, Nashville 37204 |
| PHONE NUMBER: | 297-5166 Ext. 115 |
| FAX NUMBER: | 269-7905 |
| E-MAIL ADDRESS: | Michael@daleandassociates.net |
| CONTACT NAME: | Michael Garrigan, PE |
| BUILDING SQUARE FOOTAGE: | No Square Feet Existing |
| | Proposed 59,736 SF ± |
| BUILDING HEIGHT: | 1 Story Maximum |
| MAXIMUM FLOOR AREA RATIO: | N/A |
| FLOOR AREA RATIO OF SITE: | 0.08 (Phase 1 Only) |
| PROPOSED LANDSCAPE SURFACE: | (See Landscape Plans) |
| MINIMUM LANDSCAPE SURFACE: | (See Landscape Plans) |
| MIN. PARKING REQUIREMENT: | 0.5 Spaces/ Unit Assisted Living |
| | 34 Parking Spaces Required |
| PARKING PROVIDED: | |
| | 40-90° Stalls Proposed |
| | 40 Total Spaces Proposed |
| REQUIRED OFF-STREET LOADING: | None |
| OFF-STREET LOADING PROVIDED: | None |
| RESIDENTIAL DENSITY: | 68 Assisted Living |
| TREE DENSITY: | (See Landscape Plan) |
| TREE CANOPY: | (See Landscape Plan) |
| PARKLAND: | N/A |
| OPEN SPACE: | (See Landscape Plan) |

THIS SITE PLAN HAS BEEN DESIGNED TO MEET THE CITY OF FRANKLIN STANDARDS AND THE APPROVAL OF THE PLANNING COMMISSION. CHANGES SHALL NOT BE MADE TO THE APPROVED SITE PLAN UNLESS APPROVED BY EITHER THE RELEVANT DEPARTMENT SUPERINTENDENT OR THE PLANNING COMMISSION.

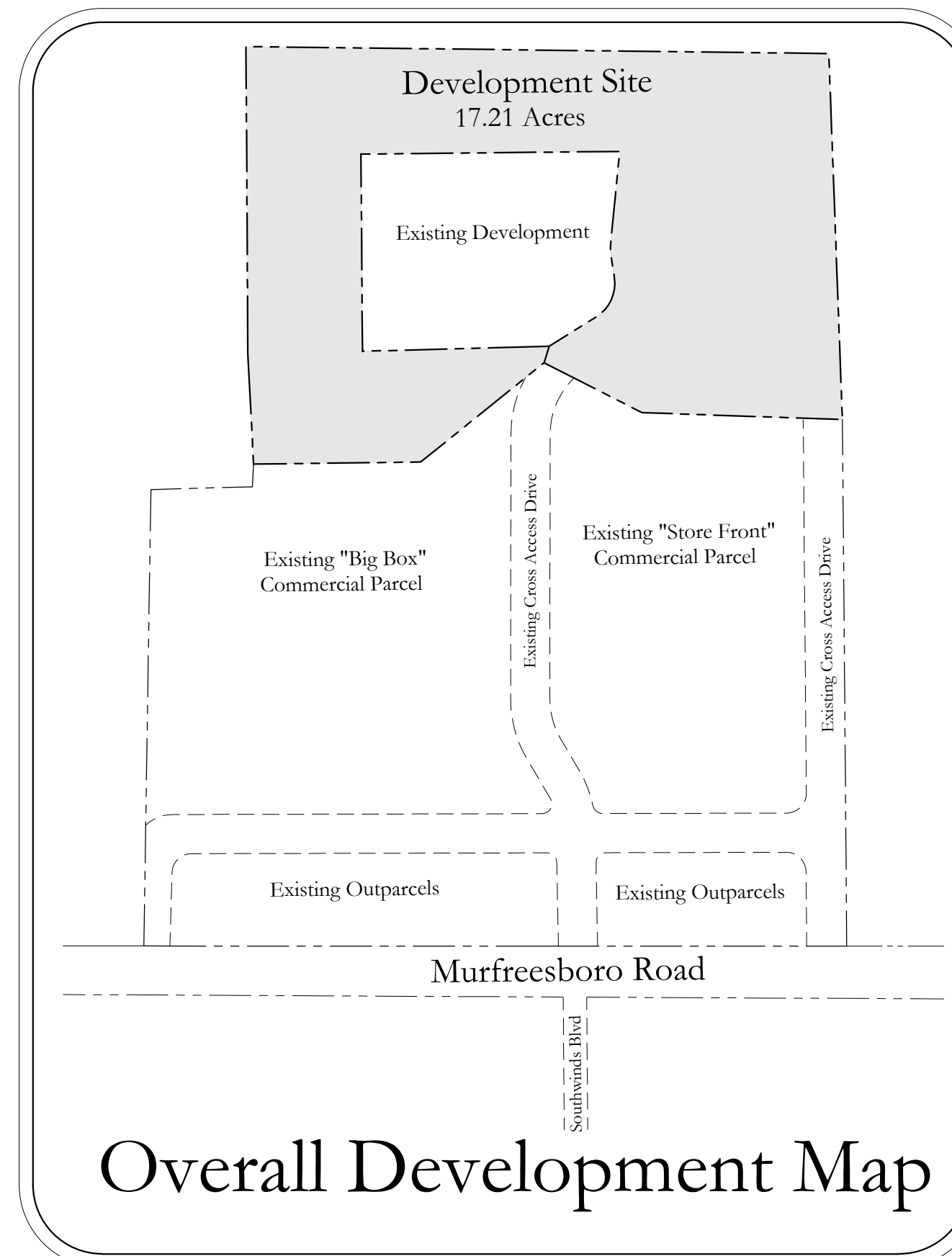
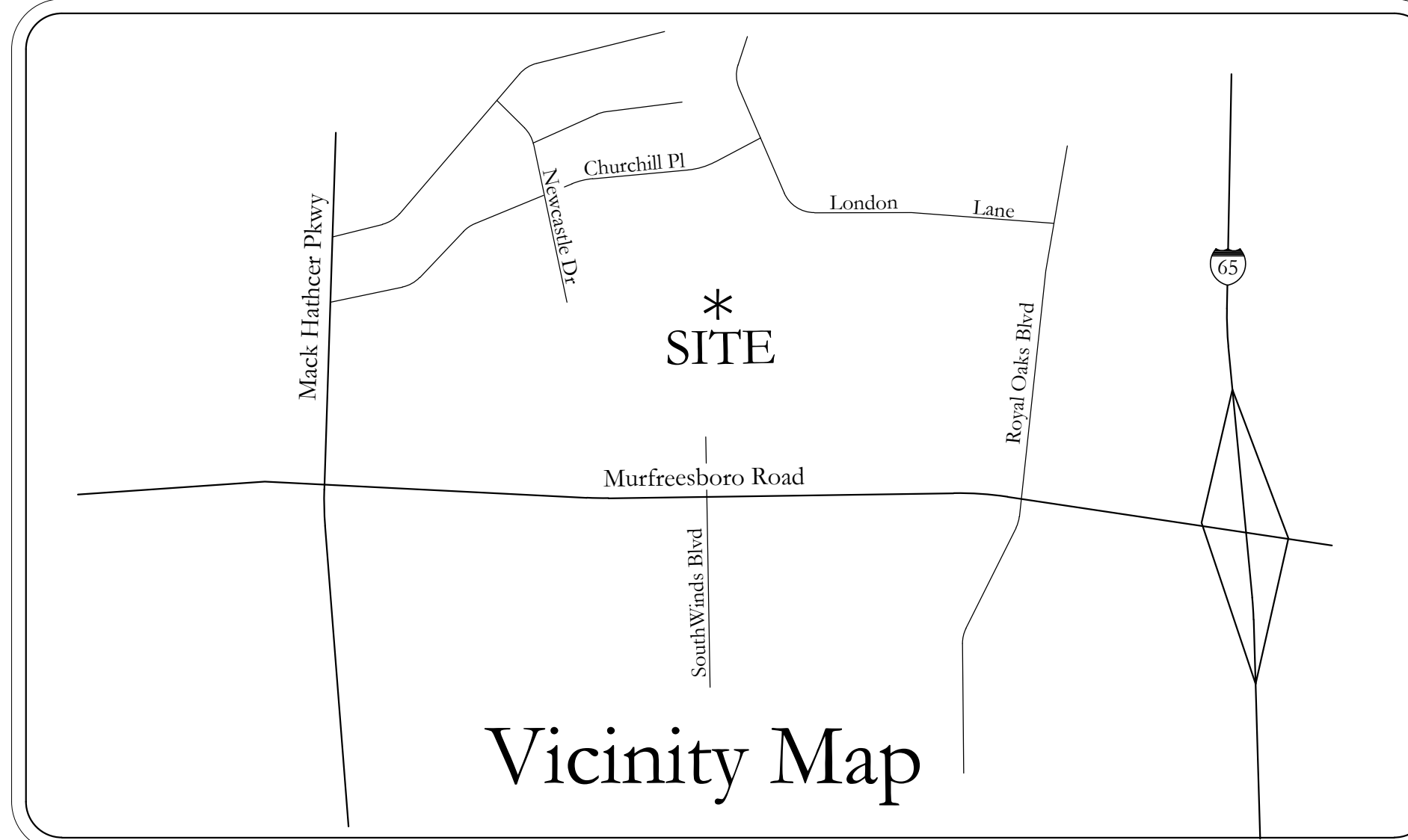
CURRENT OWNER/DEVELOPER
JD EATHERLY
1720 WEST END AVENUE, #600
NASHVILLE, TN 37203
PHONE: (615) 373-8850

ENGINEER
DALE & ASSOCIATES
516 HEATHER PLACE
NASHVILLE, TENNESSEE 37204
CONTACT: MICHAEL GARRIGAN, PE
PHONE: (615) 297-5166
EMAIL: michael@daleandassociates.net

LANDSCAPE ARCHITECT/PLANNER
GAMBLE DESIGN COLLABORATIVE, LLC
GREG GAMBLE, RLA
144 SOUTHEAST PARKWAY
FRANKLIN, TN 37064
PHONE: (615) 975-5765
EMAIL: greggamble209@gmail.com

FLOODNOTE
NO PORTION OF THIS PROPERTY FALLS WITHIN A FLOOD HAZARD AREA AS DEPICTED ON THE CURRENT FLOOD INSURANCE RATE MAP (FIRM) NUMBER 47187C0212F. DATED SEPT 29, 2006.

SITE BENCHMARK
EXISTING FIRE HYDRANT BOLT LOCATED AT THE SOUTHWEST CORNER OF THE EXISTING WILLIAMSON SQUARE FACILITY
ELEV: 732.31



DESIGN MODIFICATIONS

- MOS 1: SECTION 5.3.5 (3) (B) REQUEST TO INCREASE THE MAXIMUM BUILDING LENGTH OF THE ASSISTED LIVING BUILDING FROM 200 FEET TO A LENGTH OF 381 FEET. THIS DISTANCE IS THE LENGTH OF THE BUILDING VISIBLE FROM BUILDING FRONTAGE FACING THE ACCESS ROAD. BUILDING ARCHITECTURE IS ENHANCED WITH VERTICAL AND HORIZONTAL CHANGES IN THE FACADE PLANE AND SEVERAL DIFFERENT MATERIALS ACROSS THE FRONT OF THE BUILDING.
- MOS 2: SECTION 5.3.5, RESIDENTIAL GARAGE STANDARDS. REQUEST TO PERMIT FRONT FACING GARAGE DOORS. GARAGE DOORS WOULD FACE THE PRIVATE DRIVE.
- MOS 3: SECTION 5.3.5, RESIDENTIAL GARAGE STANDARDS. REQUEST TO PERMIT ONE 16 FOOT WIDE GARAGE DOOR.
- MOS 4: MINIMUM BUILDING FOUNDATION. REQUEST TO PERMIT THE MINIMUM HEIGHT OF THE FOUNDATION FOR THE TOWN HOMES AT 4 INCHES FROM FINISHED GRADE. MODIFICATIONS OF STANDARDS REQUEST NUMBERS 2, 3 AND 4 ARE TO ADDRESS THE NEED FOR HANDICAP ACCESSIBILITY TO THE TOWN HOMES PROPOSED FOR THIS PUD. ACCESS TO THE GARAGE AND WITHIN THE GARAGE FOR SPECIAL NEEDS IS CRITICAL TO THE INTENT OF THESE INDEPENDENT LIVING TOWN HOMES. DUE TO SPACE CONSTRAINTS AND A NEED TO BUFFER THE RESIDENTIAL HOMES TO THE NORTH OF THIS PROPERTY WITH LANDSCAPING, THE ACCESS TO THE TOWN HOME GARAGES ARE FROM THE PRIVATE DRIVE BEHIND THE EXISTING CHURCH.

Sheet Schedule

- | | | |
|----|------|--|
| 1 | C0.0 | Cover Sheet |
| 2 | C0.1 | Approved Development Plan |
| 3 | C1.0 | Existing Conditions Plan |
| 4 | C2.0 | Section Three Site Plan |
| 5 | C3.0 | Erosion Prevention & Sediment Control Plan |
| 6 | C3.1 | Intermediate EPSC Plan |
| 7 | C4.0 | Phase 1 Grading & Drainage Plan |
| 8 | C5.0 | Overall Grading & Drainage Plan |
| 9 | C6.0 | Civil Details |
| 10 | C6.1 | Civil Details |
| 11 | L1.0 | Landscape Plan |
| 12 | L1.1 | Landscape Details |
| 13 | L1.2 | Tree Preservation Plan |
| 14 | C7.0 | Phase 1 Water and Sewer Plan |
| 15 | C7.1 | Sanitary Sewer Plan and Profile Line "A" |
| 16 | C7.2 | Sanitary Sewer Plan and Profile Line "B" |
| 17 | C7.3 | Water Plan and Profile |
| 18 | P1.0 | Photometric Plan |
| 19 | A1.0 | Architectural Elevations |
| 20 | A1.1 | Building Materials |
| | A2.0 | Building Materials |

OPEN SPACE AREAS

| # FORMAL TYPE | SQ/FT | ACREAGE |
|---------------|-----------|---------|
| 1 POCKET PARK | 22,420 SF | 0.51 |
| 2 POCKET PARK | 12,470 | 0.29 |
| 3 POCKET PARK | 4,586 | 0.11 |
| TOTAL: | 39,476 SF | 0.91 AC |

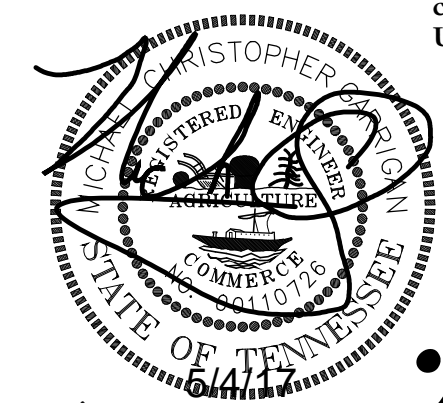
| OPEN SPACE PROVISION | | |
|----------------------------|------------|------------|
| TOTAL SITE AREA: | 753,204 SF | 17.29 AC |
| TOTAL REQUIRED OPEN SPACE: | 37,660 SF | 0.86 AC 5% |

| | | |
|------------------|-----------|------------|
| FORMAL REQUIRED: | 37,660 SF | 0.86 AC 5% |
| FORMAL PROVIDED: | 39,476 SF | 0.91 AC |

FORMAL SPACE DESCRIPTION

THE FORMAL OPEN SPACE ON THIS PROJECT CONSISTS OF TWO POCKET PARKS. ONE WILL BE IN FRONT OF THE ASSISTED LIVING CLOSE TO PATIENT ROOMS. THE OTHER IS IN-BETWEEN UNITS 35 AND 36. IN BOTH OF THESE PARKS, THERE WILL BE SOLID PATIO SURFACES AND OUTDOOR FURNITURE. THERE WILL ALSO BE OUTDOOR LIGHTS. BOTH WILL BE HANDICAP ACCESSIBLE WITH SPACIOUS LEVEL AREAS AND RAMPS AS NEEDED.

UTILITY LOCATION NOTE:
Contractor to Contact all Local
Utility Companies prior to
commencing work to mark all
Utilities in the Field.



Dale & Associates
Consulting Civil Engineering
Land Planning & Zoning
Surveying

D&A Project #12017
Township PUD
City of Franklin Project #5841

C0.0

1 of 20

516 Heather Place
Nashville, Tennessee 37204
(615) 297-5166

TRIP GENERATION PEAK HOUR CHART

| Land Use: | LUC 252 | LUC 254 | TOTAL |
|--------------------------|---------|---------|-------|
| Williamson Square | | | |
| Size: | 47 | 92 | |
| Average Daily Traffic | 162 | 252 | 414 |
| Daily Enter | 81 | 126 | 207 |
| Daily Exit | 81 | 126 | 207 |
| AM Peak Hour Total (gen) | 18 | 21 | 39 |
| AM Peak Hour Enter | 8 | 15 | 24 |
| AM Peak Hour Exit | 10 | 6 | 16 |
| PM Peak Hour Total (gen) | 16 | 34 | 50 |
| PM Peak Hour Enter | 9 | 13 | 22 |
| PM Peak Hour Exit | 7 | 21 | 28 |

Trip Generation 9th Edition

TEMPORARY CUL-DE-SAC
UNTIL SUCH TIME AS AN ACCESS EASEMENT THROUGH THE BRIMCHRE OWNED CHURCH PROPERTY IS OBTAINED, A TEMPORARY CUL-DE-SAC SHALL BE LOCATED WITHIN 500' OF THE INTERSECTION OF HARMONY HILLS DRIVE AND TOWNSHIP LANE.

LOCAL COMPATIBILITY

THE PROPOSED PROJECT IS DEVOTED TO SENIOR LIVING RESIDENCY. THERE WILL BE "TOWNHOMES" FOR ACTIVE 55+ AND "PULPS" ASSISTED LIVING FOR THOSE REQUIRING FULL-TIME CARE. THE SUBDIVISION CONSISTS OF TWO SECTIONS. THE 43 TOWNHOMES WILL BE TWO STORY WITH UNIT SIZE BETWEEN 2,000 AND 2,700 SQUARE FEET. DENSITY IS A LOW 3.3 UNITS PER ACRE. THE UNIT FOOTPRINT WILL BE APPROXIMATELY 1,400 SF. THE 68,961 SF ASSISTED LIVING BUILDING WILL HAVE 92 BEDS IN 68 ROOMS.

THE ASSISTED LIVING FACILITY WILL PROVIDE SERVICE FOR THE SENIOR TOWNHOMES AS NEEDED. THESE SERVICES WILL INCLUDE ACCESS TO A PHYSICIAN FOR MINOR PROBLEMS, MEALS AND DELIVERY AS REQUESTED, AND NEIGHBORHOOD VAN SERVICE FOR SHOPPING AND HEALTH CARE. THE VAN WILL REDUCE VEHICULAR USE TYPICALLY SEEN AT TOWN HOME DEVELOPMENTS.

THE FUTURE CONSTRUCTION SUBSEQUENT TO A 1999 MOVIE THEATER THAT HAS BECOME A CHURCH. ONE ENTERS THE PROJECT THROUGH THE COMMERCIAL WILLIAMSON SQUARE SHOPPING CENTER. TO THE REAR OF THE PROJECT IS THE ROYAL OAKS SUBDIVISION WITH HOMES IN THE 2,000-SF RANGE ON 3 ACRE+ LOTS.

CURRENT ZONING FOR THE ASSISTED LIVING SITE ALLOWS THIS BUILDING USE. HOWEVER, CURRENT ZONING (OO) FOR THE TOWN HOMES DOES NOT ALLOW ATTACHED RESIDENTIAL. THE PROPOSED PLAN REQUESTS REZONING OF THE PROPERTY TO BOX TO ACCOMMODATE THE TOWN HOMES. REZONING IS BEING REQUESTED FOR THE ENTIRE PROJECT SITE.

THE ASSISTED LIVING FACILITY WILL BE A NON-INTRUSIVE NEIGHBOR WITH MINIMAL TRAFFIC CREATION. RESIDENTS WILL NOT HAVE VEHICLES ANY THAT WISH TO GO AND COME FROM THE FACILITY WILL BE DRIVEN BY OTHERS OR THE RESIDENT VAN. MANY OF THEIR RESIDENTS AT THESE FACILITIES ARE NOT MOBILE. WALKING TO THE FRONT PORCH IS OFTEN THE EXTENT THAT THEY MOVE ON THEIR OWN. PETS ARE FEW IF ANY.

THE TOWN HOMES WILL BE SEPARATED FROM THE ROYAL OAKS SUBDIVISION BY AN EXISTING WOODED BERM. THE EXISTING LANDSCAPE WILL BE SUPPLEMENTED AS NEEDED WITH ADDITIONAL EVERGREENS. THE NEIGHBORS BORDERING THE PROJECT WILL BE INVOLVED IN THE PROCESS TO IMPROVE THE NATURAL SCREEN. THE PROJECT WILL HAVE A 95-10' LANDSCAPE BUFFER FACING THE SINGLE FAMILY ROYAL OAK HOMES. THERE IS A 9' REAR SETBACK FOR THIS SITE.

OPEN SPACE AREAS

| # | FORMAL TYPE | SQFT | ACREAGE |
|---|-------------|-----------|---------|
| 1 | POCKET PARK | 22,420 SF | 0.51 |
| 2 | POCKET PARK | 12,470 | 0.29 |
| 3 | POCKET PARK | 14,586 | 0.33 |
| | TOTAL | 39,476 SF | 0.91 AC |

OPEN SPACE PROVISION

| | | |
|----------------------------|------------|----------|
| TOTAL SITE AREA: | 753,204 SF | 17.29 AC |
| TOTAL REQUIRED OPEN SPACE: | 37,860 SF | 0.86 AC |
| FORMAL PROVIDED: | 37,860 SF | 0.86 AC |
| FORMAL PROVIDED: | 39,476 SF | 0.91 AC |

FORMAL SPACE DESCRIPTION

THE FORMAL OPEN SPACE ON THIS PROJECT CONSISTS OF TWO POCKET PARKS. ONE WILL BE IN FRONT OF THE ASSISTED LIVING CLOSE TO PATIENT ROOMS. THE OTHER IS BETWEEN UNITS 35 AND 36. IN BOTH OF THESE PARKS, THERE WILL BE SOLID PATIO SURFACES AND OUTDOOR FURNITURE. THERE WILL ALSO BE OUTDOOR LIGHTS. BOTH WILL BE HANDICAP ACCESSIBLE WITH SPACIOUS LEVEL AREAS AND RAMPS AS NEEDED.

CONNECTIVITY INDEX

NOT APPLICABLE

INCOMPATIBLE USE BUFFER

REQUIRED BUFFER IS 10' REDUCED BY EXISTING BERM TO 50' 20' OTHER SIDES AGAINST RESIDENTIAL

50' OTHER SIDES AGAINST RESIDENTIAL

PARKLAND DEDICATION

PARKLAND DEDICATION SHALL BE FEE IN LIEU FOR THIS DEVELOPMENT PLAN. NONE REQUIRED FOR ASSISTED LIVING.

35 X 1200SF = 42,000 SF 3 X 5000SF = 4,800 SF TOTAL PARKLAND DEDICATION AREA: 46,800 SF

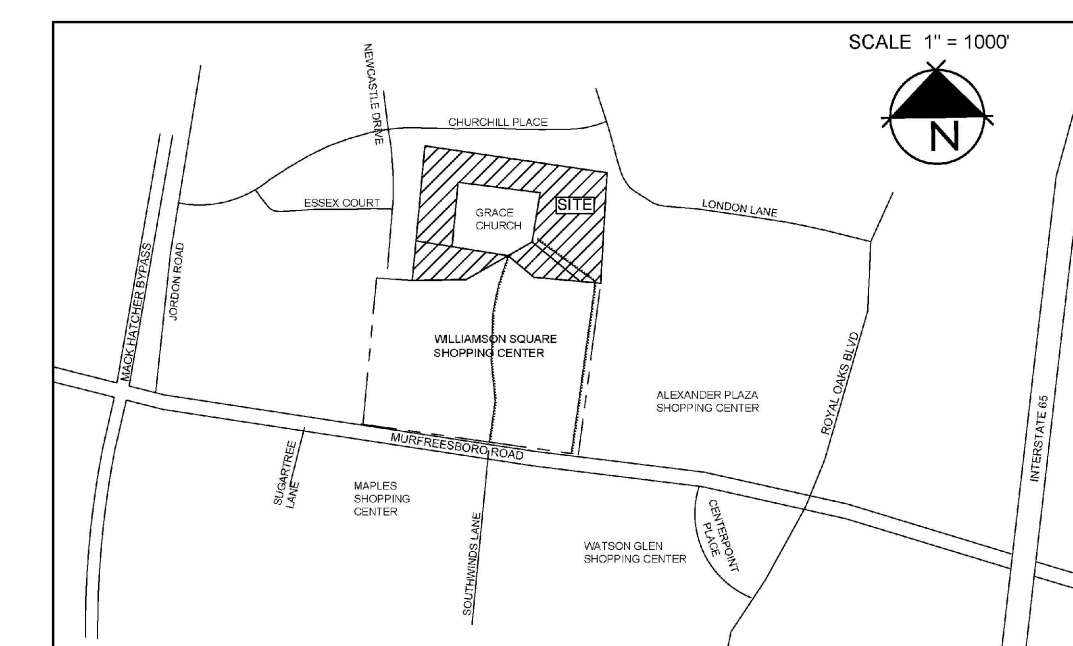
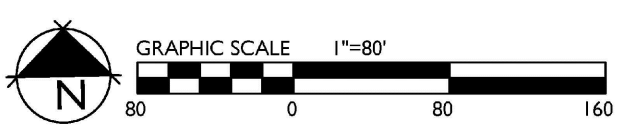
HYDRANT FIRE FLOW

WATER MAIN 10" DUCTILE IRON FLOW: 1,100 GPM
STATIC PRESSURE: 94 PSI
RESIDUAL PRESSURE: 22 PSI
FLOW AT 20 PSI: 2,239 GPM

NOTE: FIRE FLOW

NEW FIRE FLOW REQUESTED

FIRE SPRINKLER NOTE
FIRE SPRINKLERS MUST BE PROVIDED FOR TOWNHOMES WITH 4 OR MORE ATTACHED UNITS IF THE FLOW TEST AT THE COMPLETION OF THE SITE WORK IS LESS THAN 1500 GPM AT 20 PSI



VICINITY MAP

Site Data:

Project Name: Williamson Square
Address: 117 Murfreesboro Road Franklin, TN 37203
City District: 9B
Map, Parcels: M 79C, Grp B, P 6.01-6.03-6.04
Owner: J.D. Eatherly 1720 West End Ave. #602 Nashville, Tennessee 37027 (615) 373-8850
Developer: J.D. Eatherly 1720 West End Ave. #602 Nashville, Tennessee 37027 (615) 373-8850
Site Area: 17.30 acres
Disturbed Area: 6,011.22 ac ± 6.03- 13.89 ac 6.04- 2.39 ac ± 11.69 ac on-site ± 0- ac off-site ± 11.69 ac total
Existing Zoning: OO (OO) and (OO)
Proposed Zoning: SD-C, 3.39, 68.961 McEwen (MECO-9)
Character Area Overlay: None
Other Overlays: None
Development Standard: Conventional
Drainage Basin: None
Existing Structures: None
Incompatible Use Buffer: Type 'D' Buffer adjacent to 5' Residential BUFFER SHOWN IS 56.29' WITH THE ADDITION OF A FENCE
Building setbacks: 15' Side 30' Rear
Permitted Commercial Uses: Assisted Living Attached Residential
Ex. Building Area: No structures present
Prop. Building Area: 59,736 sf
Townhouses: 62,008 sf
22,344 sf
Proposed Building Height: Assisted Living 1-story
Townhouses 2-story
Min. Landscape Surface Ratio: 0.20
Proposed LSR: 0.49
Minimum Parking Required: Assisted Living 34 0.5/room (x68)
Townhouses 126 3/units for 3 bedrooms(x43)
Total: 163 total spaces required
Provided Parking: Assisted Living 53 Spaces
Townhouses 86 Driveway
86 Garage
27 Parking Lots Street
Total Provided: 267
Bike Parking: 12 spaces (1/20 Parking Spaces)
Open Space: OPEN SPACE REQUIRED SEE CHART THIS PAGE

STATEMENT OF IMPACTS

WATER
WATER SERVICE WILL BE PROVIDED BY THE CITY OF FRANKLIN. THE 8" WATER MAIN WILL BE SERVED BY A LOOP CREATED BY CONNECTING TO A LINE ON LONDON LANE TO AN EXISTING LINE ON-SITE RUNNING TO MURFREESBORO ROAD. THE FACILITY WILL CONNECT TO EXISTING SERVICE. NO NEW LINES ARE BEING RUN TO THE SITE. WE ARE WAITING FOR A REPORT FROM THE CITY WATER SERVICE FOR SYSTEM CAPACITY.
WATER SEWER FLOWS: 38,800 GPD or 105 SFU/E

REUSE WATER FACILITIES
THERE IS NOT A GRAY WATER LINE NEAR THE SITE.

SEWER
SEWER SERVICE WILL BE PROVIDED BY THE CITY OF FRANKLIN. SEWER MAIN CONNECTION IS EXISTING MANHOLE ON-SITE. NO NEW SERVICE IS BEING RUN TO THE SITE. WE ARE WAITING FOR A REPORT FROM THE CITY SEWER SERVICE FOR SYSTEM CAPACITY.

DRAINAGE FACILITIES
THE PROPERTY WILL BE DRAINED TO 3 RAIN GARDENS AND A DRY POND. STORMWATER WILL BE TREATED PER THE CITY OF FRANKLIN'S STORMWATER MANAGEMENT REQUIREMENTS. STORMWATER LEAVING THE DRY POND WILL BE DIRECTED TO AN ON-SITE WET WEATHER CONVEYANCE.
THE PROJECT SITE CURRENTLY HANDLES UPSTREAM AND ON-SITE RUNOFF FROM DATED DRAINAGE STRUCTURES AND REGULATIONS. THE APPROVED PLANS WILL IMPROVE DRAINAGE CONTROLS FOR "QUANTITY AND QUALITY."

POLICE AND FIRE
FRANKLIN FIRE STATION 2, 807 MURFREESBORO RD - 3 MILES DRIVING DISTANCE
FRANKLIN POLICE STATION 900 COLUMBIA AVE. - 2.6 MILES DRIVING DISTANCE

RECREATION FACILITIES
PINKERTON PARK - 1.6 MILES DRIVING DISTANCE
ASSISTED LIVING WILL NOT USE PARK FACILITIES. PINKERTON PARK IS VERY SUITABLE TO THE NEEDS OF SENIOR CITIZENS WHO MAY CARE FOR GRANDCHILDREN AND UTILIZE PASSIVE FEATURES SUCH AS WALKING TRAILS AND PICNIC SHELTERS.

PROJECTED STUDENT POPULATION
THE STUDENT POPULATION IS PROJECTED TO BE ZERO TO VERY LITTLE BECAUSE THIS IS A SENIOR LIVING DEVELOPMENT. TOWNHOMES ARE RESTRICTED TO 55+ AND OLDER RESIDENTS. BUT MAY PROVIDE CHILD CARE. ASSISTED LIVING IS FOR SENIORS WHO ARE PAST CARING FOR CHILDREN.

REFUSE COLLECTION
REFUSE COLLECTION SERVICE FOR THE ASSISTED LIVING FACILITY WILL BE PROVIDED BY PRIVATE COLLECTION. REFUSE COLLECTION FOR THE TOWN HOMES WILL BE PROVIDED BY CITY OF FRANKLIN. DUMPSTER FOR ASSISTED LIVING WILL BE SCREENED PER COF STANDARDS. IT IS LOCATED BEHIND THE BUILDING.

RESTRICTIVE COVENANTS
A HOMEOWNERS ASSOCIATION INCLUDING THE ASSISTED LIVING FACILITY WILL BE ESTABLISHED PRIOR TO THE FIRST OCCUPANCY. COMMON AREAS WILL BE MAINTAINED THROUGH THE ASSOCIATION.

STREET NETWORK
THE PROJECT UTILIZES EXISTING STREETS ON-SITE AND CONNECTING TO MAJOR THOROUGHFARE HWY 68/MURFREESBORO ROAD. THE ASSISTED LIVING RESIDENTS WILL NOT HAVE CAR ACCESS. THE IMPACT ON ADJACENT ROADS WILL BE SMALL DUE TO THE LIMITED STAFF MEMBERS AND SENIOR CITIZENS LIVING ON-SITE. THE ASSISTED LIVING FACILITY WILL OFFER MEALS TO RESIDENTS IN SENIOR TOWNHOMES REDUCING DRIVING.

MINERAL RIGHTS
NO THIRD PARTY MINERAL RIGHTS ARE ASSOCIATED WITH THIS PROPERTY.



TOWNSHIP PUD DEVELOPMENT PLAN
FRANKLIN, TENNESSEE



| rev. | date |
|------|---------|
| 1 | 12-4-14 |
| 2 | 3-9-15 |
| 3 | 4-24-15 |

GGG Job No. 14008
NOVEMBER 11, 2014

SHEET

C1.2

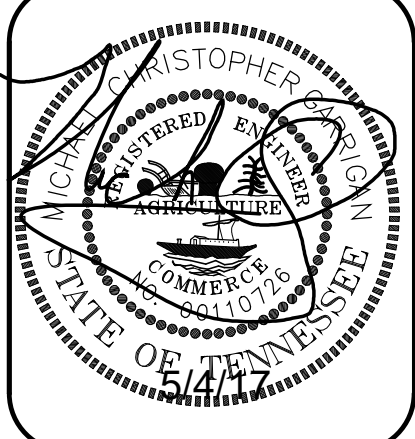
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PERMITS:
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TDEC: TNR149878

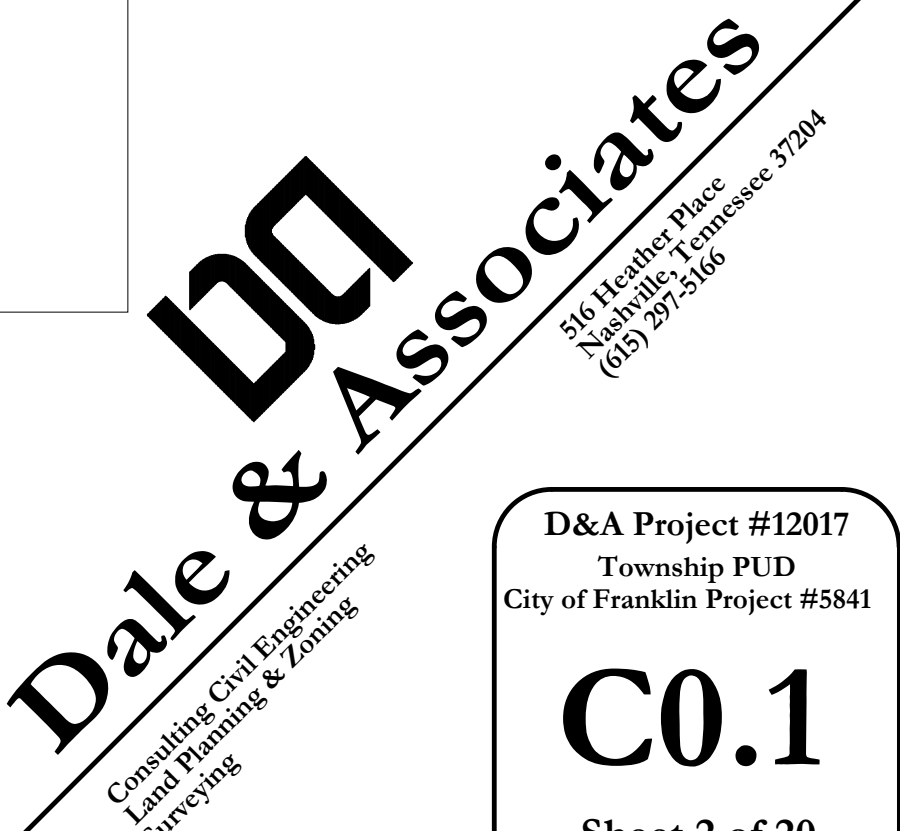
Drawing Date:
April 2017

REVISIONS:
COF Site Plan: 5/4/17

Site Plan for
Township PUD
COF Project Number 5841
1020 Harmony Hills Drive
Franklin, Williamson County, Tennessee
Map 79 C, Parcels 6.01, 6.03, 6.04



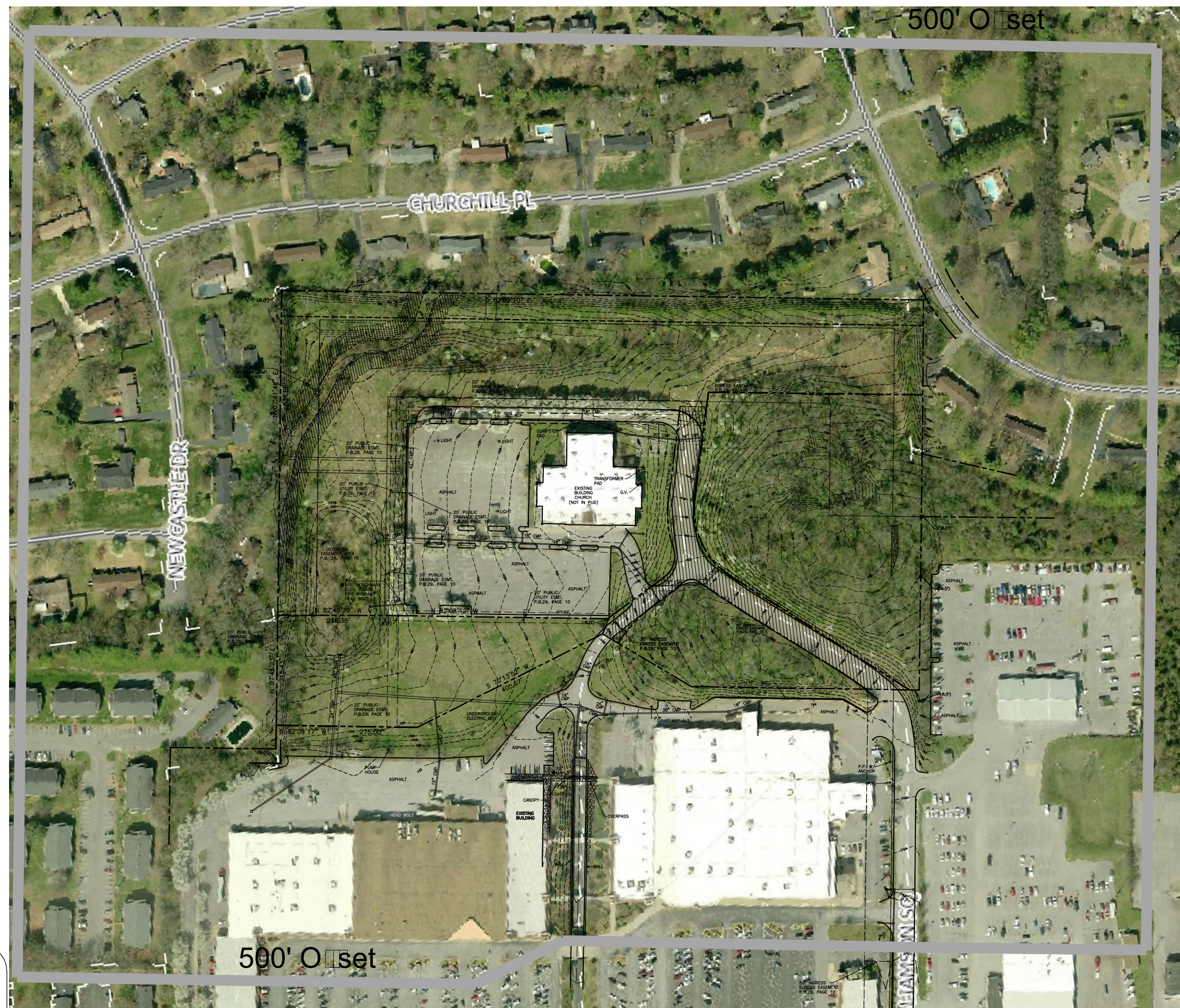
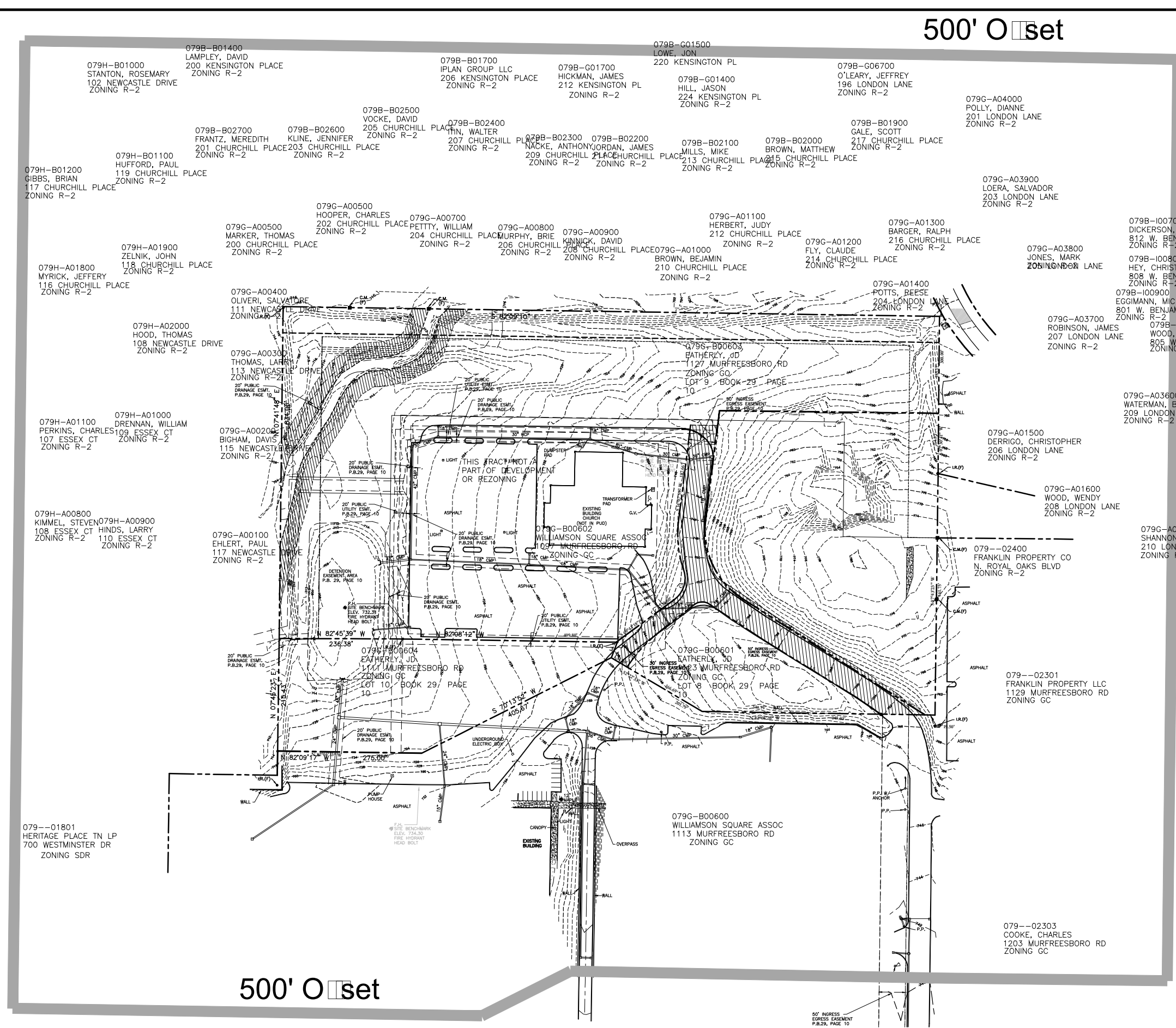
UTILITY LOCATION NOTE:
Contractor to Contact all Local Utility Companies prior to commencing work to mark all Utilities in the Field.



D&A Project #12017
Township PUD
City of Franklin Project #5841

C0.1
Sheet 2 of 20

Approved Development Plan

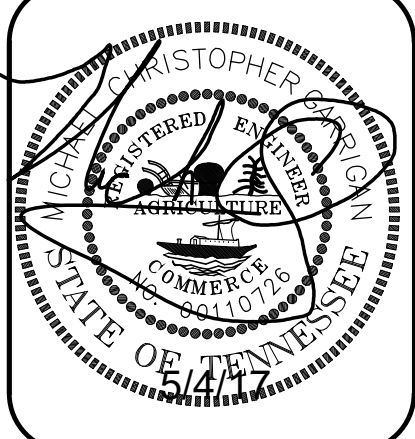


PERMITS:
COF# 6414
TDEC: TNR149878

Drawing Date:
April 2017

REVISIONS:
COF Site Plan 5/4/17

Site Plan for
Township PUD
COF Project Number 5841
1020 Harmony Hills Drive
 Franklin, Williamson County, Tennessee
 Map 79 G, Parcels 6.01, 6.03, 6.04



UTILITY LOCATION NOTE:
 Contractor to Contact all Local Utility Companies prior to commencing work to mark all Utilities in the Field.

Dale & Associates
 Consulting Civil Engineering
 Land Planning & Zoning
 5161 Highway 100
 Nashville, Tennessee 37204
 (615) 297-5166

D&A Project #12017
 Township PUD
 City of Franklin Project #5841
C1.0
 Sheet 3 of 20

SOIL TYPES

| | |
|------|--|
| A#2 | ARMOUR SILT LOAM, 2-5% ERODED |
| H | HUNTINGTON SILT LOAM, PHOSPHATIC |
| M#2 | MAURY SILT LOAM, 5-12% ERODED |
| Mr | MINE LAND, RECLAIMED |
| StC3 | STIVERSVILLE CLAY LOAM, 5-12% SLOPE, SEVERELY ERODED |
| S#2 | STIVERSVILLE CLAY LOAM, 2-5% ERODED |
| S#2 | STIVERSVILLE CLAY LOAM, 5-12% ERODED |

NOTES

- NO 100 YEAR FLOOD PLANE EXISTS ON THE PROPERTY.
- NO GEOLOGICAL FORMATIONS SUCH AS ROCK OUTCROPS, CLIFFS, AND KARST TOPOGRAPHY HAVE BEEN IDENTIFIED ON THE PROPERTY.
- TITLE RESEARCH PROVIDED BY OTHERS SHOWS NO EVIDENCE OF MINERAL RIGHTS BEING OWNED BY OTHER PARTIES.

SLOPE LEGEND

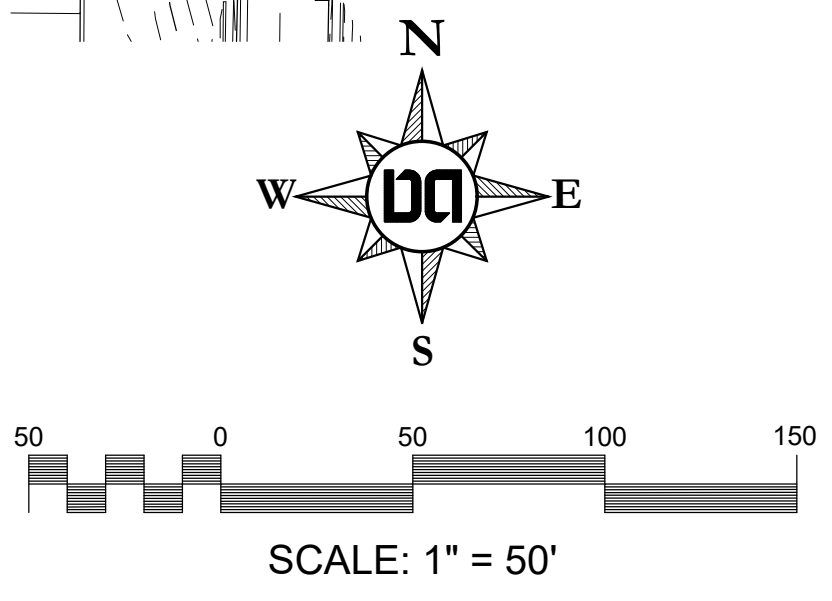
| | |
|--|---------------------------------|
| | INDICATES SLOPES 14% TO 19% |
| | INDICATES SLOPES 20% OR GREATER |

Note: No virgin onsite slopes in excess of 14%

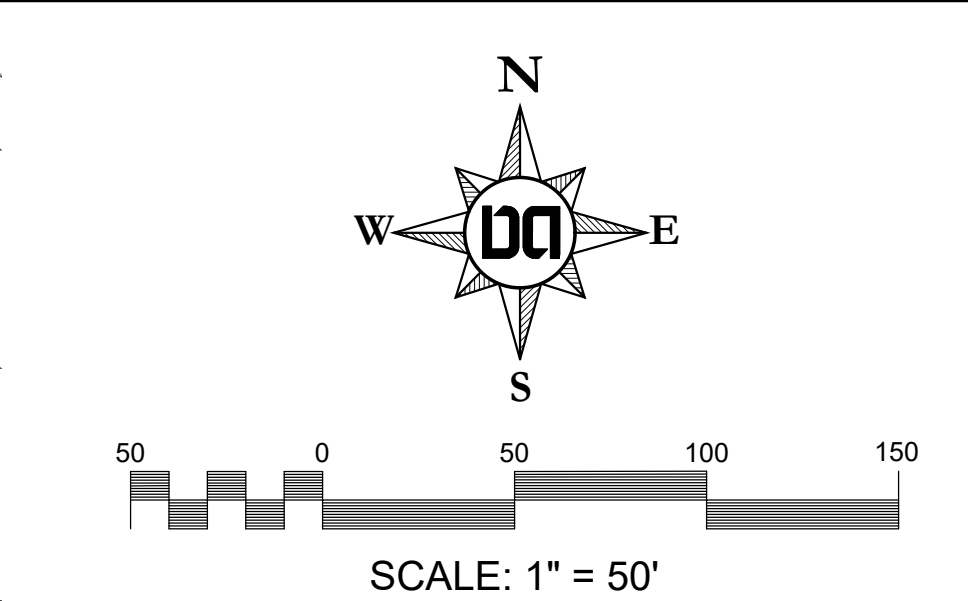
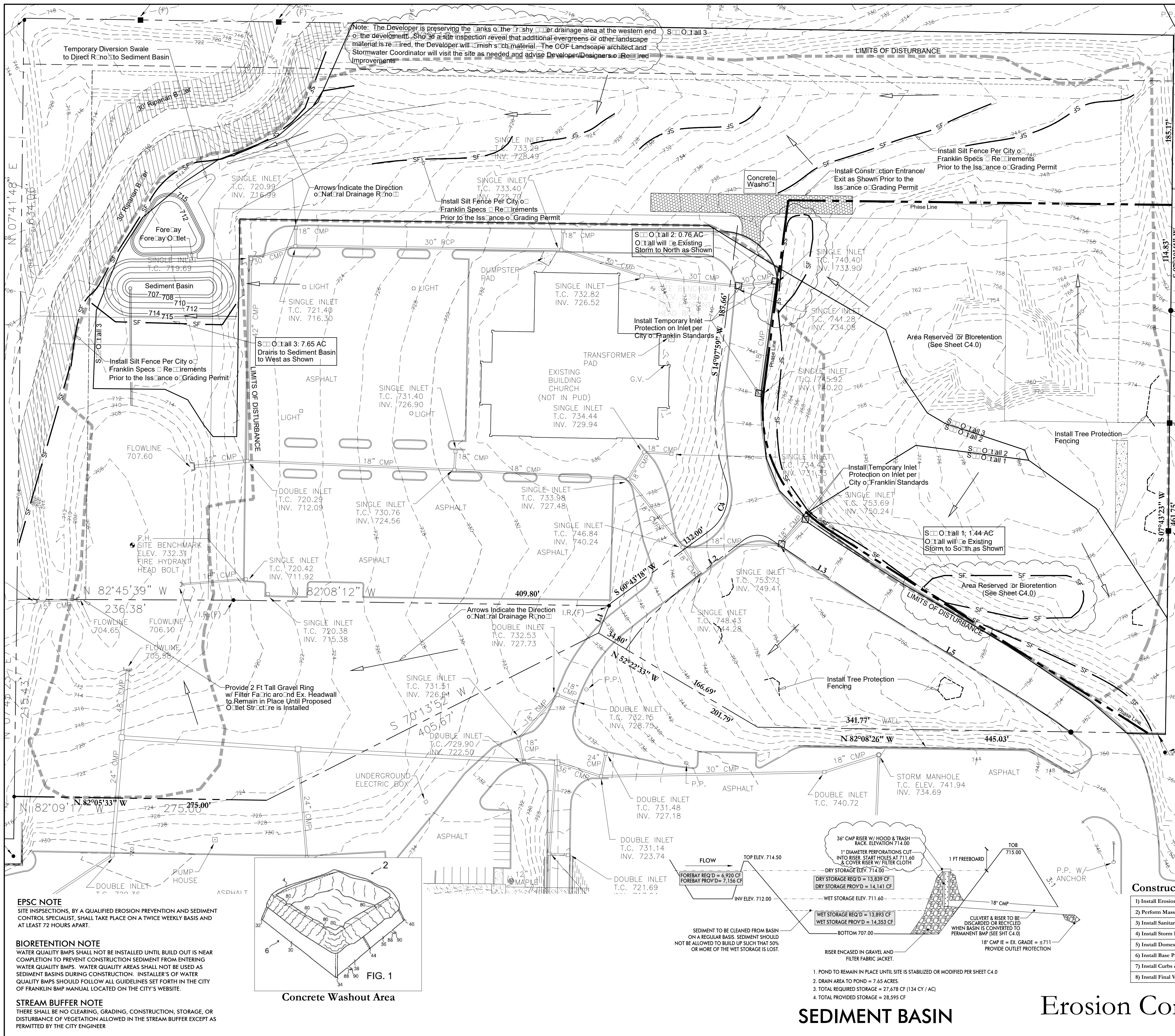
TOTAL AREA = 17.291 ACRES = 753,204.516 S.F.

IMPERVIOUS AREA = 5.961 ACRES = 259,653 S.F.

DISTURBED AREA = 11.689 ACRES = 509,166.23 S.F.



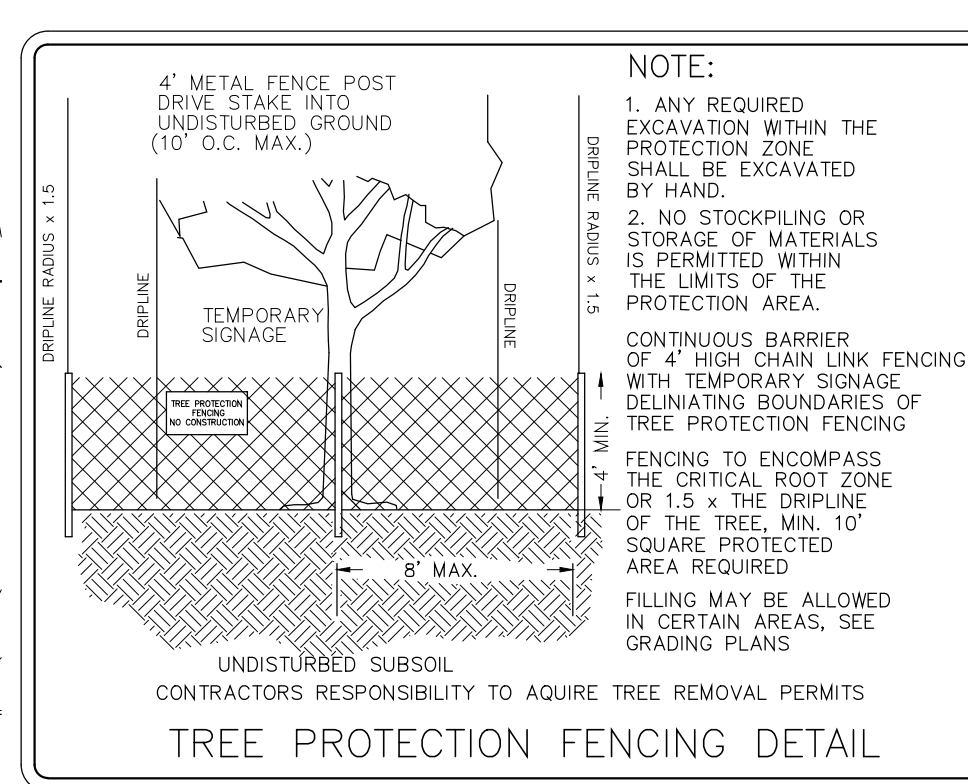
Existing Conditions Plan



TOTAL AREA = 17.291 ACRES
 = 753,204.516 S.F.

IMPERVIOUS AREA = 2.982 ACRES
 (SECTION 1) = 129,907 S.F.

DISTURBED AREA = 11.689 ACRES
 = 509,166.23 S.F.



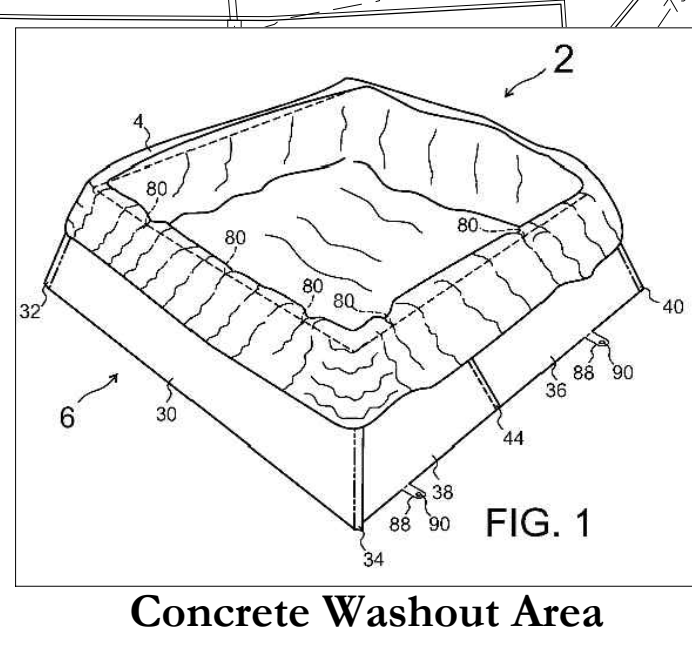
Construction Schedule

| | |
|---|-----------|
| 1) Install Erosion Control Measures | June 2015 |
| 2) Perform Mass Grading | July 2015 |
| 3) Install Sanitary Sewer | Oct 2015 |
| 4) Install Storm Drainage | Nov 2015 |
| 5) Install Domestic Water | Dec 2015 |
| 6) Install Base Pavement Course | Dec 2015 |
| 7) Install Curbs & Surface Coat | Jan 2016 |
| 8) Install Final Vegetation & Stabilization | Mar 2016 |

EPSC NOTE
 SITE INSPECTIONS, BY A QUALIFIED EROSION PREVENTION AND SEDIMENT CONTROL SPECIALIST, SHALL TAKE PLACE ON A TWICE WEEKLY BASIS AND AT LEAST 72 HOURS APART.

BIORETENTION NOTE
 WATER QUALITY BMPs SHALL NOT BE INSTALLED UNTIL BUILD OUT IS NEAR COMPLETION TO PREVENT CONSTRUCTION SEDIMENT FROM ENTERING WATER QUALITY BMPs. WATER QUALITY AREAS SHALL NOT BE USED AS SEDIMENT BASINS DURING CONSTRUCTION. INSTALLERS OF WATER QUALITY BMPs SHOULD FOLLOW ALL GUIDELINES SET FORTH IN THE CITY OF FRANKLIN BMP MANUAL LOCATED ON THE CITY'S WEBSITE.

STREAM BUFFER NOTE
 THERE SHALL BE NO CLEARING, GRADING, CONSTRUCTION, STORAGE, OR DISTURBANCE OF VEGETATION ALLOWED IN THE STREAM BUFFER EXCEPT AS PERMITTED BY THE CITY ENGINEER.



PERMITS:
 COF# 6414
 TDEC: TNR149878

Drawing Date:
 April 2017

REVISIONS:
 COF Site Plan: 5/4/17

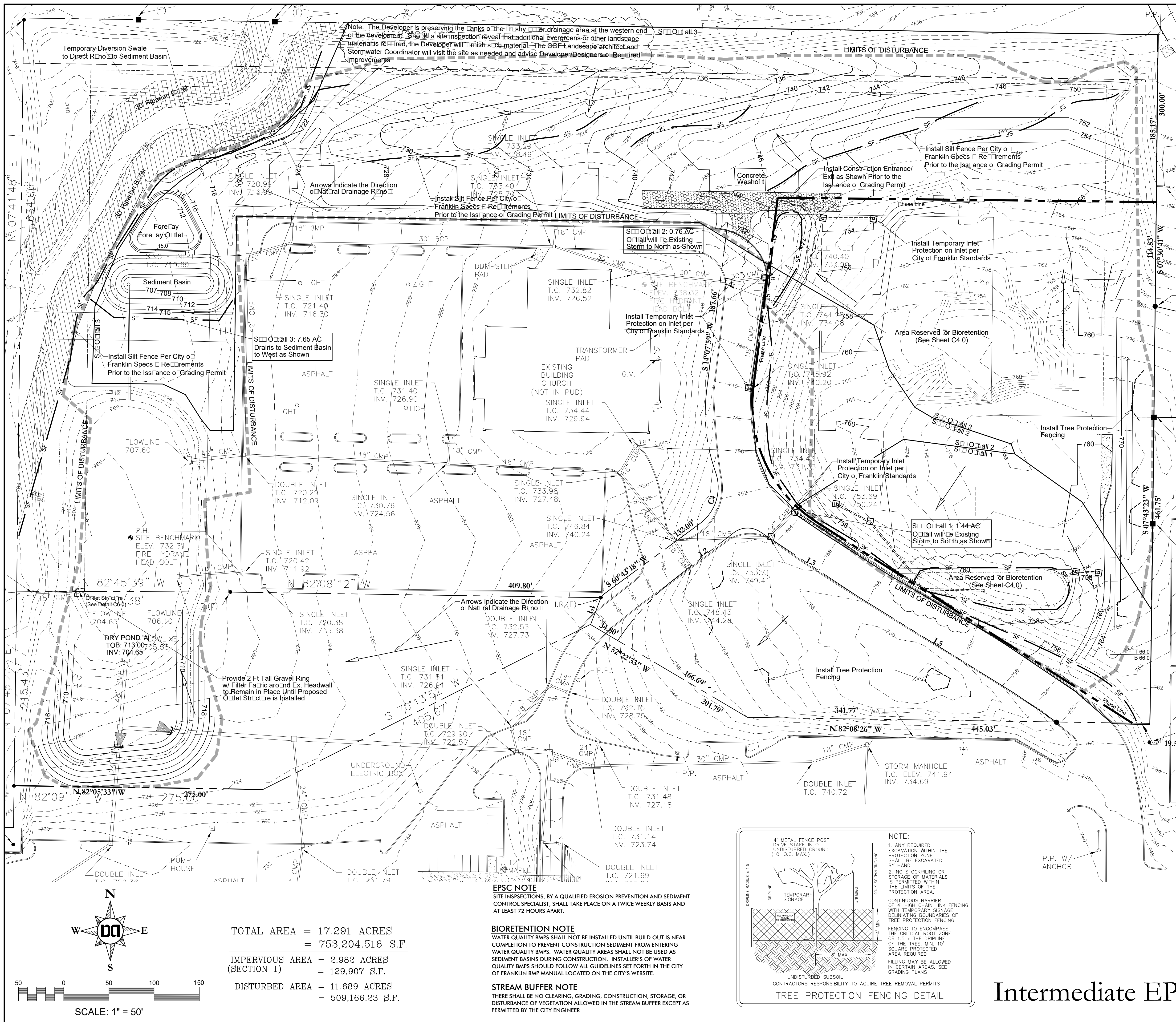
Site Plan for
Township PUD
 COF Project Number 5841
 1020 Harmony Hills Drive
 Franklin, Williamson County, Tennessee
 Map 79 G, Parcels 6.01, 6.03, 6.04

UTILITY LOCATION NOTE:
 Contractor to Contact all Local Utility Companies prior to commencing work to mark all Utilities in the Field.

Dale & Associates
 Consulting Civil Engineering
 Land Planning & Zoning
 5161 Highway 90
 Nashville, Tennessee 37204
 (615) 297-5166

D&A Project #12017
 Township PUD
 City of Franklin Project #5841

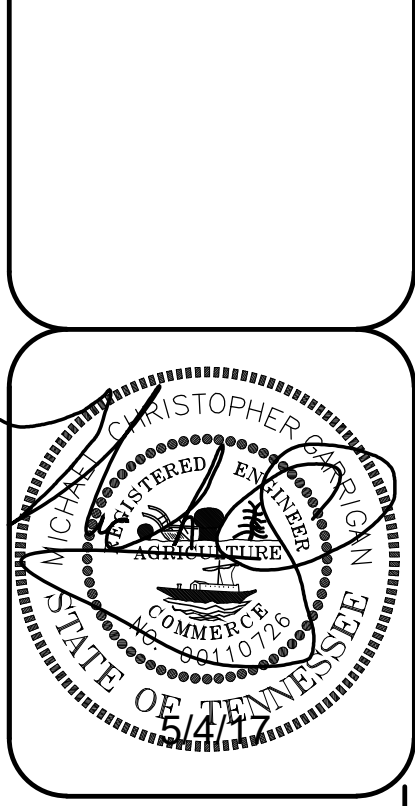
C3.0
 Sheet 5 of 20



PERMITS:
COF# 6414
TDEC: TNR149878

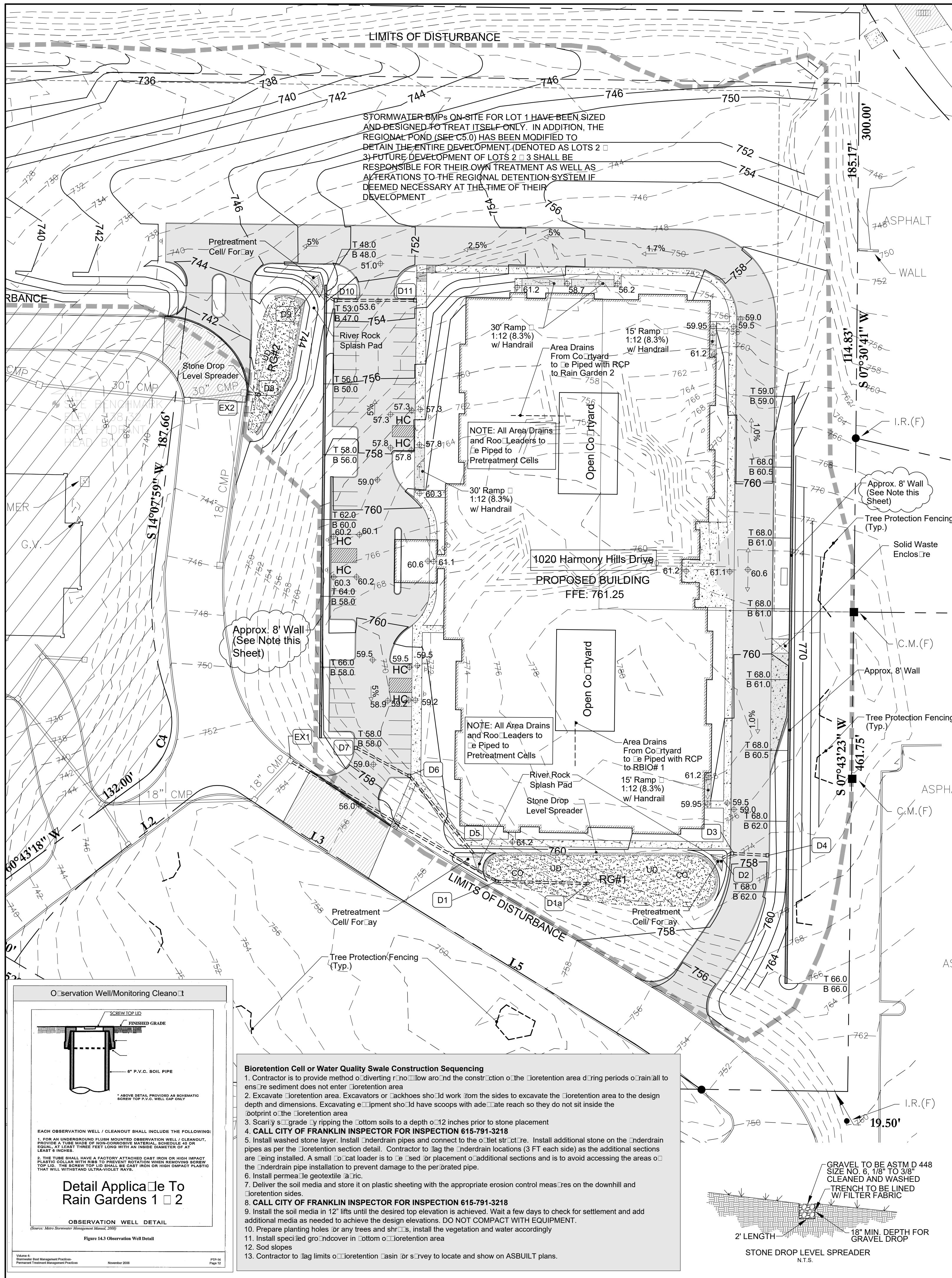
Drawing Date:
April 2017
REVISIONS:
COF Site Plan: 5/4/17

Site Plan for
Township PUD
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1020 Harmony Hills Drive
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Map 79 G, Parcels 6.01, 6.03, 6.04



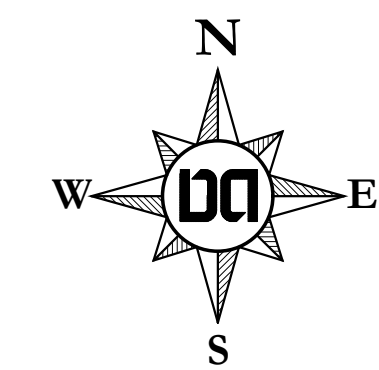
UTILITY LOCATION NOTE:
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Legend for utility symbols:
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 --- 4416" WATER MAIN
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 --- 4446" WATER MAIN
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 --- 4482" WATER MAIN
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 --- 4518" WATER MAIN
 --- 4524" WATER MAIN
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 --- 4536" WATER MAIN
 --- 4542" WATER MAIN
 --- 4548" WATER MAIN
 --- 4554" WATER MAIN
 --- 4560" WATER MAIN
 --- 4566" WATER MAIN
 --- 4572" WATER MAIN
 --- 4578" WATER MAIN
 --- 4584" WATER MAIN
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 --- 4674" WATER MAIN
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 --- 4752" WATER MAIN
 --- 4758" WATER MAIN
 --- 4764" WATER MAIN
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 --- 4860" WATER MAIN
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 --- 4884" WATER MAIN
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 --- 4956" WATER MAIN
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 --- 4974" WATER MAIN
 --- 4980" WATER MAIN
 --- 4986" WATER MAIN
 --- 4992" WATER MAIN
 --- 4998" WATER MAIN
 --- 5004" WATER MAIN
 --- 5010" WATER MAIN
 --- 5016" WATER MAIN
 --- 5022" WATER MAIN
 --- 5028" WATER MAIN
 --- 5034" WATER MAIN
 --- 5040" WATER MAIN
 --- 5046" WATER MAIN
 --- 5052" WATER MAIN
 --- 5058" WATER MAIN
 --- 5064" WATER MAIN
 --- 5070" WATER MAIN
 --- 5076" WATER MAIN
 --- 5082" WATER MAIN
 --- 5088" WATER MAIN
 --- 5094" WATER MAIN
 --- 5100" WATER MAIN
 --- 5106" WATER MAIN
 --- 5112" WATER MAIN
 --- 5118" WATER MAIN
 --- 5124" WATER MAIN
 --- 5130" WATER MAIN
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 --- 5196" WATER MAIN
 --- 5202" WATER MAIN
 --- 5208" WATER MAIN
 --- 5214" WATER MAIN
 --- 5220" WATER MAIN
 --- 5226" WATER MAIN
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 --- 5238" WATER MAIN
 --- 5244" WATER MAIN
 --- 5250" WATER MAIN
 --- 5256" WATER MAIN
 --- 5262" WATER MAIN
 --- 5268" WATER MAIN
 --- 5274" WATER MAIN
 --- 5280" WATER MAIN
 --- 5286" WATER MAIN
 --- 5292" WATER MAIN
 --- 5298" WATER MAIN
 --- 5304" WATER MAIN
 --- 5310" WATER MAIN



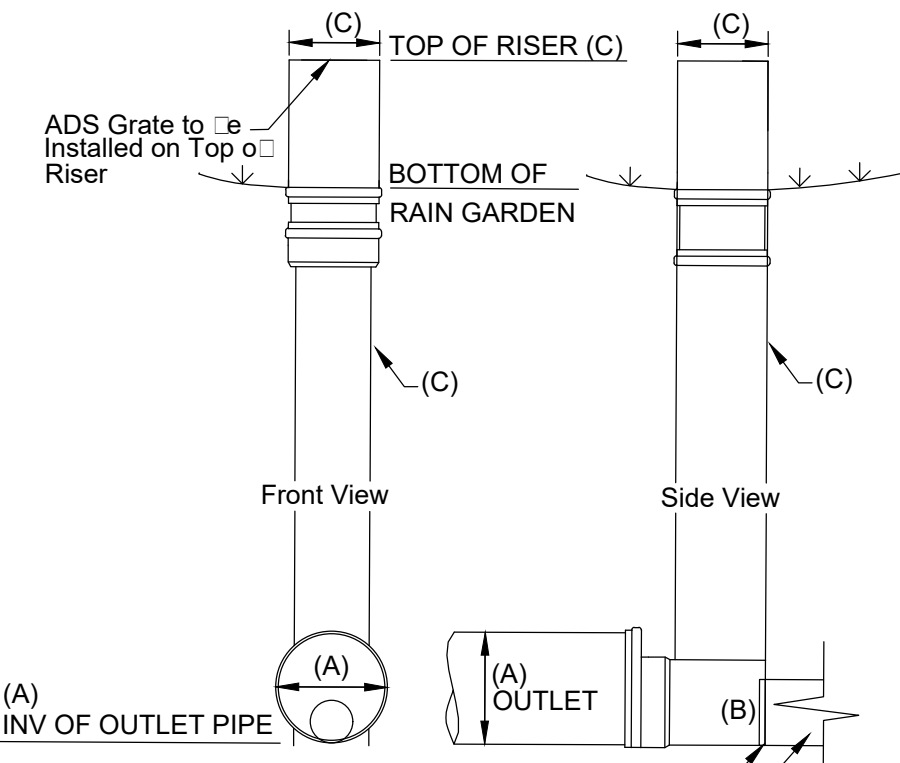
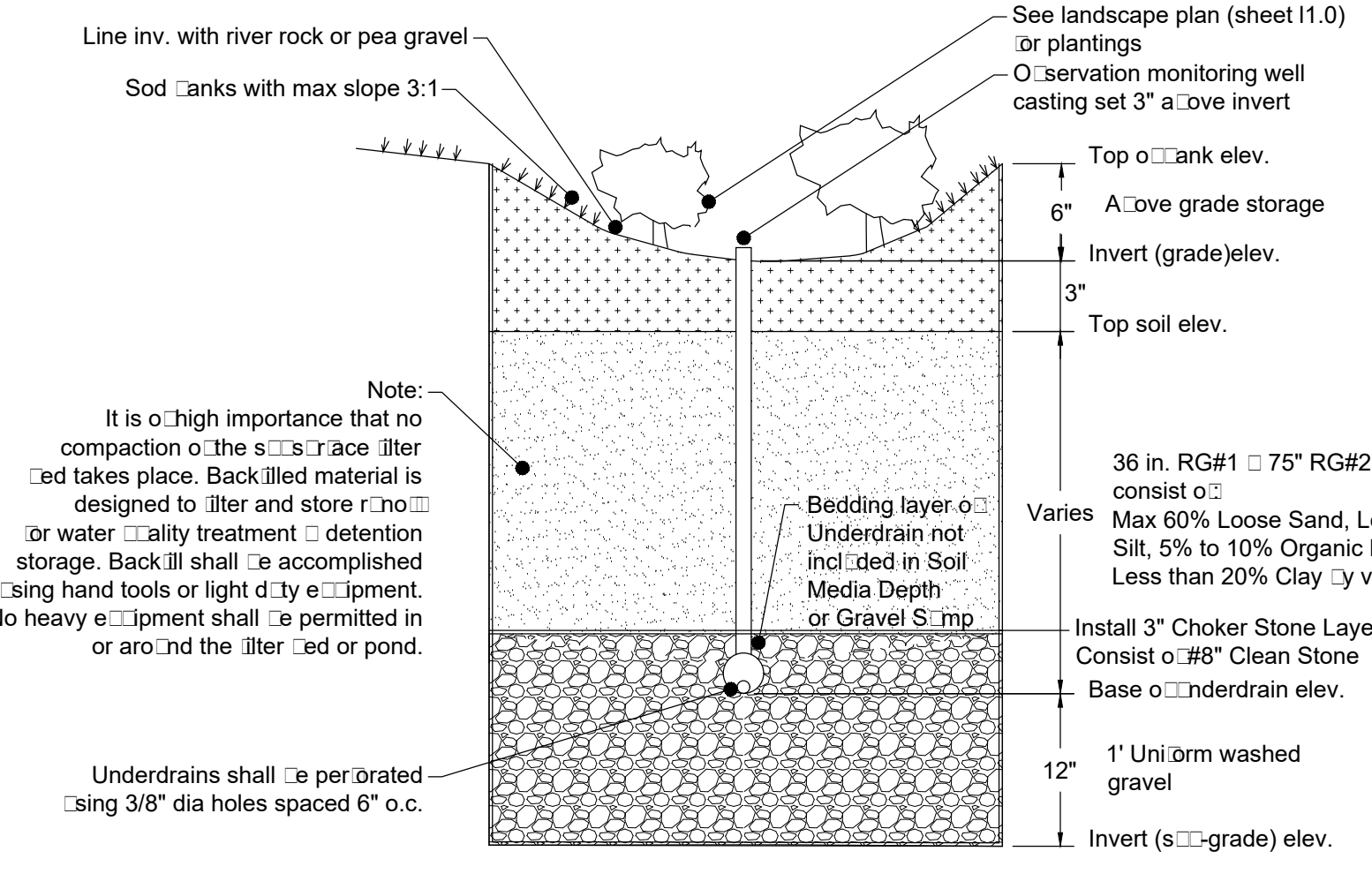
STABILIZATION OF DISTURBED SOILS
 a. Soil Stabilization will be accomplished by the use of seeding in the appropriate areas, as specified. Temporary seeding will be required in those areas that consist of disturbed soils that have remained dormant for periods of more than 14 days.
 As a general rule, permanent seeding will be performed within 14 days after the final grade on an area has been established. Disturbed areas on-site are to remain dormant for periods greater than 14 days in duration, the contractor will apply permanent soil stabilization. An allowance in the time schedule will be made for snow cover during periods of construction downtime. Seeding will be performed by hydro-seeding, by hand, or by a mechanical broadcasting method.
 b. The areas to be seeded will be uniform and will conform to the finished grade and cross section shown in the plans for this project or as otherwise designated. Owner's representative will perform minor shaping of uneven and rough areas outside the graded section as directed in order to provide for more effective erosion control and/or ease of subsequent earth moving operations.
 c. The seed (including soil) shall be loosened to a minimum depth of 3 inches to be able to receive agricultural lime, fertilizer or seed is applied. The areas to be seeded will be cleared of stones larger than 2.5 inches in dimension, roots, and other debris.

STORMWATER MANAGEMENT NOTE:
 Water Quality Signs shall be placed within the water quality areas. The signs, materials, and labor to install will be provided by the City Staff.



SCALE: 1" = 40'

TOTAL AREA = 17.291 ACRES
 = 753,204,516 S.F.
 IMPERVIOUS AREA = 2.982 ACRES
 (SECTION 1)
 = 129,907 S.F.
 DISTURBED AREA = 11.689 ACRES
 = 509,166.23 S.F.



- RAIN GARDEN NOTES:**
- It is recommended that onsite trees to be removed and utilized for the compost portion of the media mix. Further, onsite topsoil shall be processed and utilized for the loose soil portion of the mix.
 36 in. RG#1 & 75" RG#2 min Biomedia to consist of:
 Max 60% Loose Sand, Less than 40% Silt, 5% to 10% Organic Matter, and Less than 20% Clay by volume
 - No heavy machinery shall be used during installation or rain gardens
 - Backfilled material must remain uncompacted to ensure adequate void space for storage.
 - Contractor, engineer or owner shall notify MWS-development review at least 24 hours prior to the installation of the planting soil filter bed/biomedia.
 - At the completion of installation, the contractor shall collect one sample per detention bed for analysis or confirmation of the soil characteristics as defined by GIP-01, filter media and surface cover, section 6.6, page 18.

Rain Garden Table

| Rain Garden | Dimensions / Design Parameters | | | | | Monitoring Cleanout | | | | |
|-------------|--------------------------------|----------------|-----------------|--------------|--------------|---------------------|-------|----------|----------------|--------|
| | Bank | Invert (grade) | Invert (sloped) | TV Re:ld/Pro | Total Vol:me | Area (S:Fl) | N:mer | Diameter | Top o: Casting | Invert |
| RG #1 | 756.00 | 755.00 | 751.00 | 5.733/9.788 | 11,906 C:Fl | 4,767 S:Fl | (1) | 4" PVC | 755.50 | 752.00 |
| RG #2 | 742.00 | 741.25 | 734.00 | 5.165/6.488 | 7,006 C:Fl | 1,965 S:Fl | (1) | 4" PVC | 741.75 | 735.00 |

NOTES: Refer to standard details, this sheet, or other explanation, detail and specifications
 Monitoring Cleanouts shall consist of standard PVC (non-tri: rated) cleanouts and accordance with Observation Well detail, this sheet
 All Bioretention areas shall be landscaped in accordance with the landscape designs shown herein

Rain Garden Outlet Table

| Rain Garden | Outlet Pipe Sizing (A) | | | Underdrain Sizing (B) | | Riser Sizing (C) | | |
|-------------|------------------------|--------|-------|-----------------------|------------------|------------------|---------------|-----------|
| | Invert Elevation | Length | Slope | Length/Diameter | Invert | Invert Elevation | Rim Elevation | Size |
| RG #1 | 752.00 | 165' | 1.01% | 18" HDPE | 148 Ft.: 6" HDPE | 752.00 | 755.50 | 18" Riser |
| RG #2 | 735.00 | 8' | 12.5% | 18" HDPE | 70 Ft.: 6" HDPE | 735.00 | 741.75 | 18" Riser |

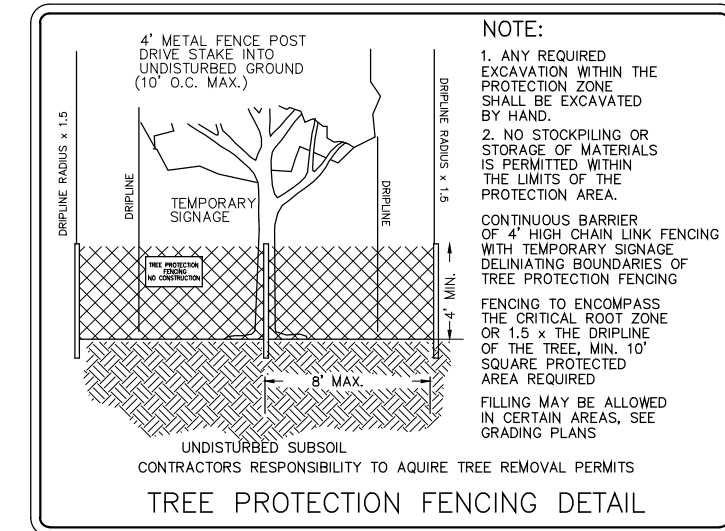
NOTES: Refer to standard detail, this sheet, or other explanation, detail and specifications
 o: Rain Garden Outlet Control Structures. Table for Sizing o: Rain Garden Control Structures.

Pipe Schedule

| Downstream Structure | Invert Elevation | Upstream Structure | Invert Elevation | Pipe Size & Type | Length (ft) | Slope |
|----------------------|------------------|--------------------|------------------|------------------|-------------|-------|
| EX1 | 750.34 | D1 | 752.00 | 24" HDPE | 165' | 1.01% |
| D1 | 752.00 | D1a | 752.00 | 24" HDPE | 63' | 0.00% |
| D2 | 755.00 | D3 | 755.15 | 18" HDPE | 20' | 0.75% |
| D3 | 755.25 | D4 | 755.75 | 15" HDPE | 23' | 2.17% |
| D5 | 755.00 | D6 | 755.65 | 18" HDPE | 86' | 0.76% |
| D6 | 755.75 | D7 | 756.00 | 15" HDPE | 41' | 0.61% |
| EX2 | 734.00 | D8 | 735.00 | 18" HDPE | 8' | 12.5% |
| D9 | 748.00 | D10 | 749.60 | 18" HDPE | 8' | 20.0% |
| D10 | 749.70 | D11 | 750.00 | 15" HDPE | 54' | 0.56% |

Drainage Structure Schedule

| Label | Structure Type | T.C. Elev. * | Invert In Elevation | Invert Out Elevation |
|-------|------------------|--------------|---------------------|----------------------|
| EX1 | Existing Inlet | 753.69 | 750.34 | 750.24 |
| D1 | Junction Box | 755.50 | --- | 752.00 |
| D1a | Outlet Structure | 755.50 | --- | 752.00 |
| D2 | Headwall | 757.00 | --- | 755.00 |
| D3 | Single Inlet | 758.25 | 755.25 | 755.15 |
| D4 | Single Inlet | 758.25 | --- | 755.75 |
| D5 | Headwall | 757.00 | --- | 755.00 |
| D6 | Single Inlet | 759.00 | 755.75 | 755.65 |
| D7 | Single Inlet | 759.00 | --- | 756.00 |
| EX2 | Existing Inlet | 740.40 | 734.00 | 733.90 |
| D8 | Outlet Structure | 741.75 | --- | 735.00 |
| D9 | Headwall | 753.00 | --- | 748.00 |
| D10 | Single Inlet | 753.00 | 749.70 | 749.60 |
| D11 | Single Inlet | 753.00 | --- | 750.00 |

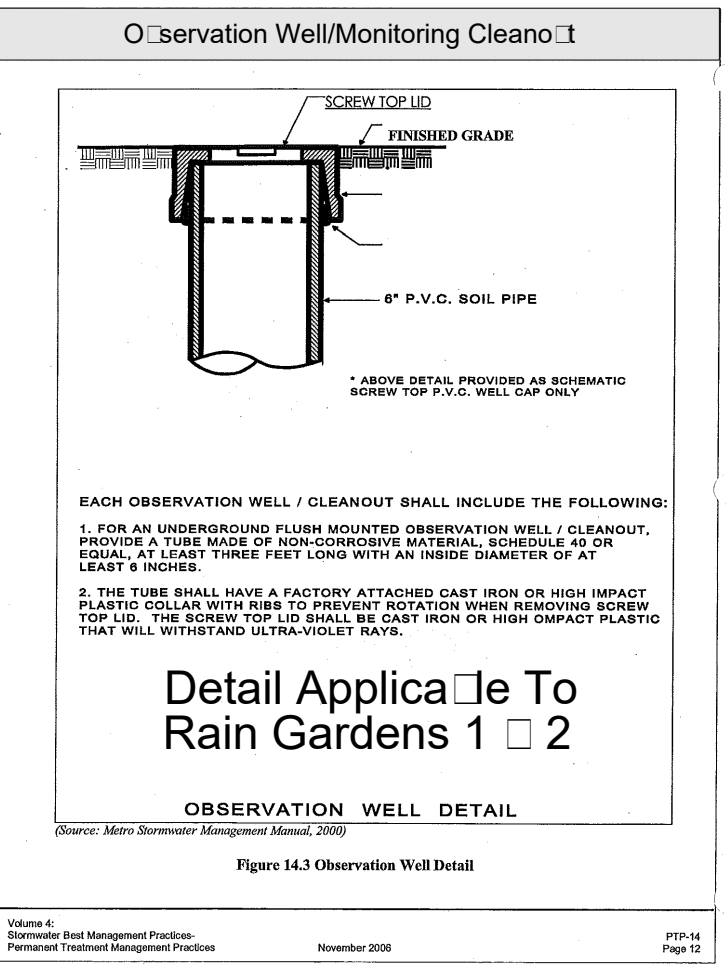


Retaining Wall Note:
 Any Proposed Retaining Wall Greater than 48" in height as measured from the bottom of the footing shall be a separate submittal to Building and Neighborhood Services for review, approval and permitting. A material and color sample shall be submitted with the footing plans. The proposed retaining walls are required to match the materials used in the footing.

Phase 1 Grading Plan

Bioretention Cell or Water Quality Swale Construction Sequencing

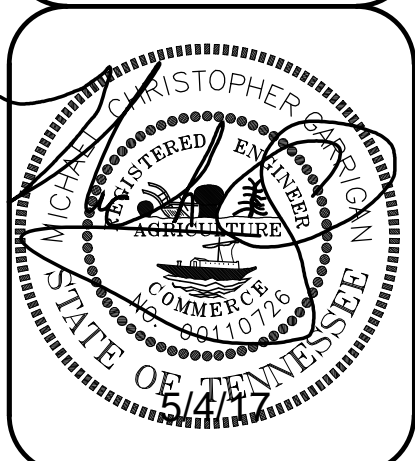
- Contractor to provide method of diverting runoff around the construction of the bioretention area during periods of rainfall to ensure sediment does not enter bioretention area
- Excavate bioretention area. Excavators or backhoes should work from the sides to excavate the bioretention area to the design depth and dimensions. Excavating equipment should have scoops with adequate reach so they do not sit inside the footprint of the bioretention area
- Soil is to be ripped in the bottom soils to a depth of 12 inches prior to stone placement
- CALL CITY OF FRANKLIN INSPECTOR FOR INSPECTION 615-791-3218**
- Install washed stone layer. Install underdrain pipes and connect to the outlet structure. Install additional stone on the underdrain pipes as per the bioretention section detail. Contractor to lag the underdrain locations (3 FT each side) as the additional sections are being installed. A small compact loader is to be used for placement of additional sections and is to avoid accessing the areas of the underdrain pipe installation to prevent damage to the perforated pipe.
- Install permeable geotextile fabric
- Deliver the soil media and store it on plastic sheeting with the appropriate erosion control measures on the downhill and bioretention sides.
- CALL CITY OF FRANKLIN INSPECTOR FOR INSPECTION 615-791-3218**
- Install the soil media until the desired top elevation is achieved. Wait a few days to check for settlement and add additional media as needed to achieve the design elevations. DO NOT COMPACT WITH EQUIPMENT.
- Prepare planting holes or any trees and shrubs, install the vegetation and water accordingly
- Install specified groundcover in bottom of bioretention area
- Sod slopes
- Contractor to lag limits of bioretention basin or swale to locate and show on ASBUILT plans.



PERMITS:
 COF# 6414
 TDEC: TNR149878

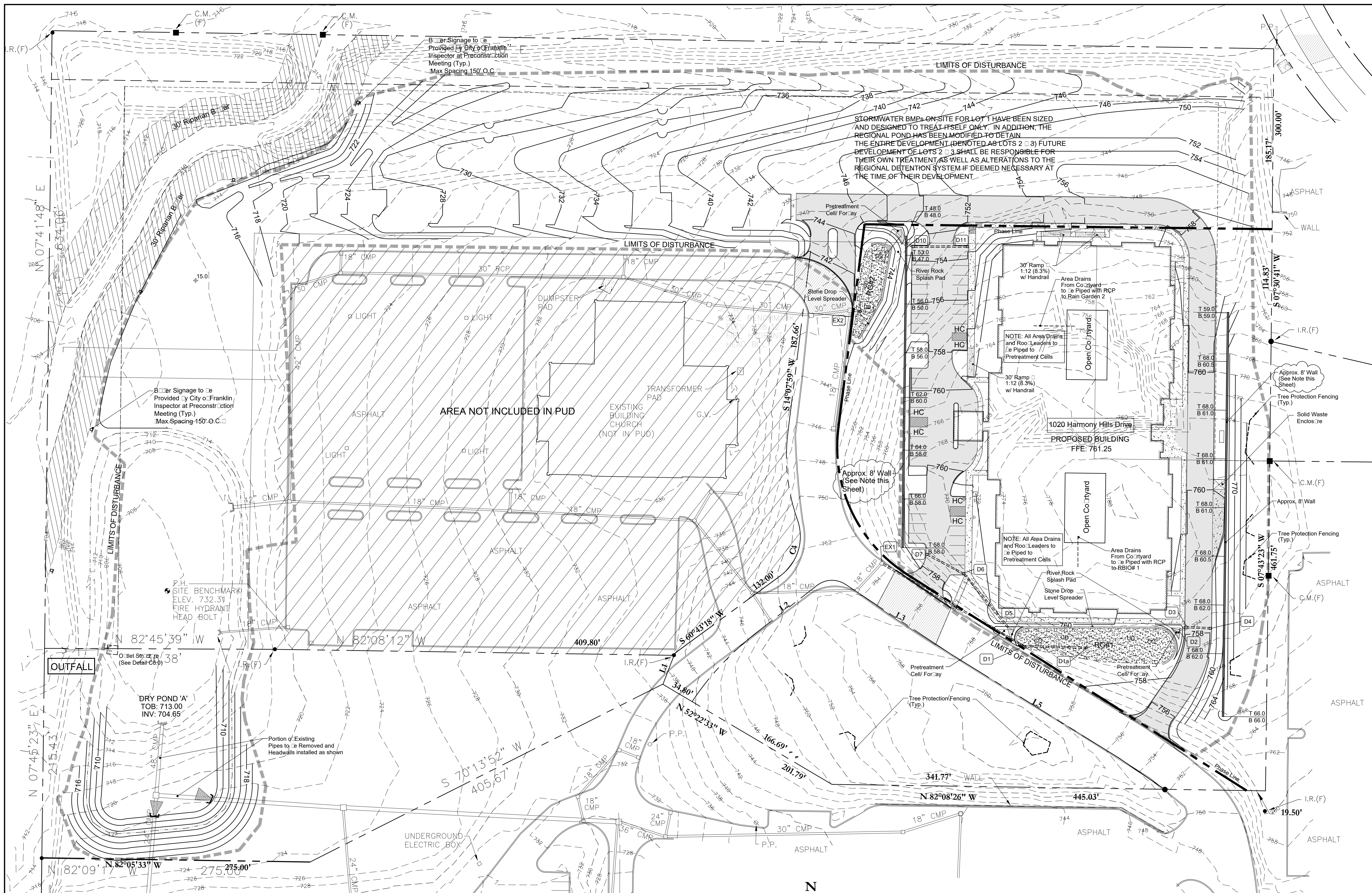
Drawing Date:
 April 2017
 REVISIONS:
 COF Site Plan: 5/4/17

Site Plan for
Township PUD
 COF Project Number 5841
 1020 Harmony Hills Drive
 Franklin, Williamson County, Tennessee
 Map 79 G, Parcels 6.01, 6.03, 6.04



UTILITY LOCATION NOTE:
 Contractor to Contact all Local Utility Companies prior to commencing work to mark all Utilities in the Field.

Dale & Associates
 Consulting Civil Engineering
 Land Planning & Zoning
 5161 Highway 100
 (615) 297-5166
 D&A Project #12017
 Township PUD
 City of Franklin Project #5841
C4.0
 Sheet 7 of 20

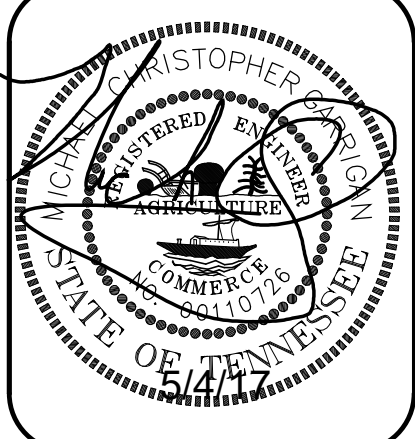


PERMITS:
 COF# 6414
 TDEC: TNR149878

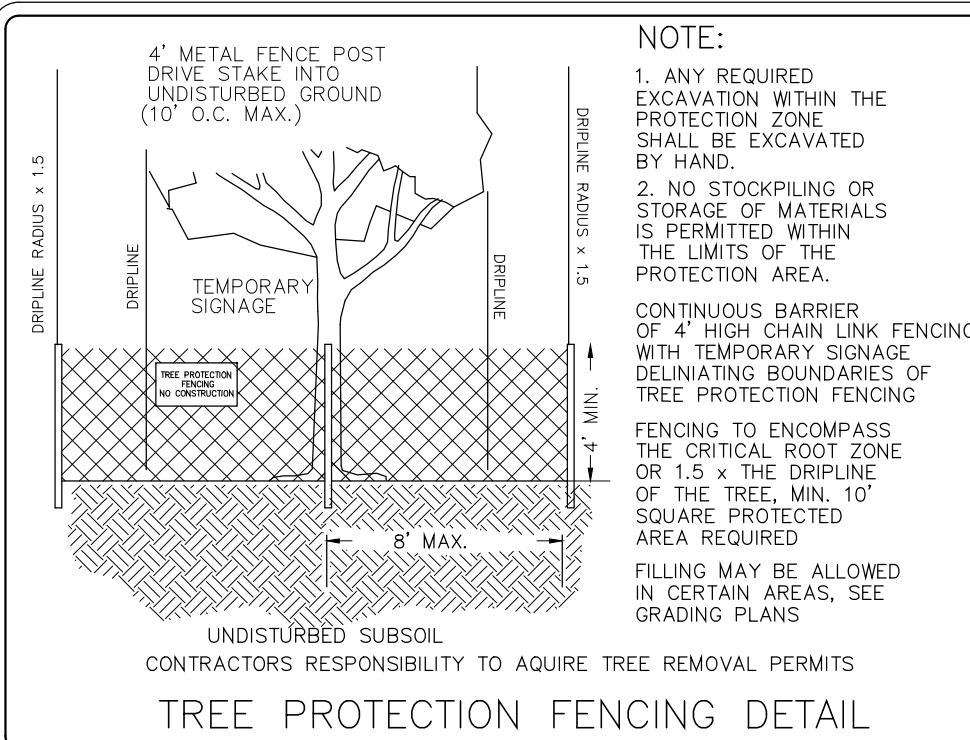
Drawing Date:
 April 2017

REVISIONS:
 COF Site Plan: 5/4/17

Site Plan for
Township PUD
 COF Project Number 5841
 1020 Harmony Hills Drive
 Franklin, Williamson County, Tennessee
 Map 79 G, Parcels 6.01, 6.03, 6.04



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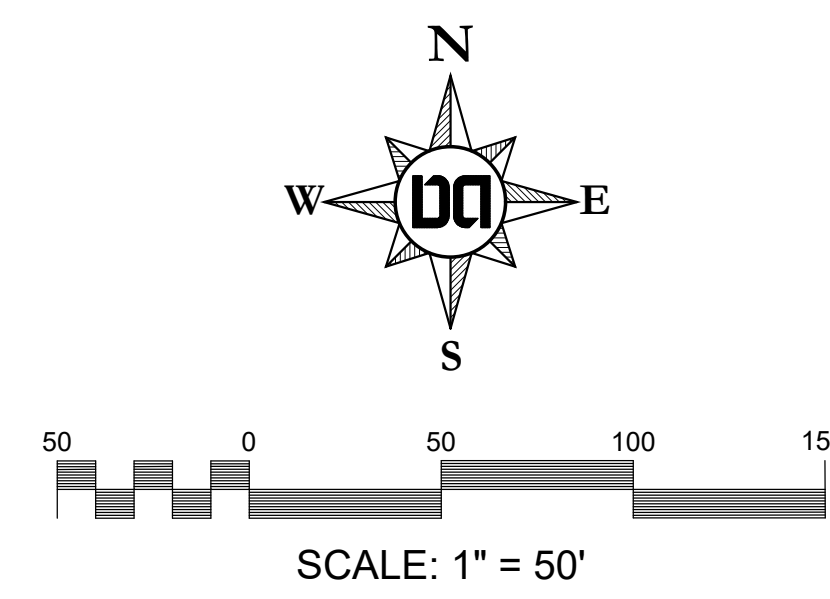


EPSC NOTE
 SITE INSPECTIONS, BY A QUALIFIED EROSION PREVENTION AND SEDIMENT CONTROL SPECIALIST, SHALL TAKE PLACE ON A TWICE WEEKLY BASIS AND AT LEAST 72 HOURS APART.

BIORETENTION NOTE
 WATER QUALITY BMPs SHALL NOT BE INSTALLED UNTIL BUILD OUT IS NEAR COMPLETION TO PREVENT CONSTRUCTION SEDIMENT FROM ENTERING WATER QUALITY BMPs. WATER QUALITY AREAS SHALL NOT BE USED AS SEDIMENT BASINS DURING CONSTRUCTION. INSTALLER'S OF WATER QUALITY BMPs SHOULD FOLLOW ALL GUIDELINES SET FORTH IN THE CITY OF FRANKLIN BMP MANUAL LOCATED ON THE CITY'S WEBSITE.

STREAM BUFFER NOTE
 THERE SHALL BE NO CLEARING, GRADING, CONSTRUCTION, STORAGE, OR DISTURBANCE OF VEGETATION ALLOWED IN THE STREAM BUFFER EXCEPT AS PERMITTED BY THE CITY ENGINEER.

Retaining Wall Note:
 Any Proposed Retaining Wall Greater than 48" in height as measured from the bottom of the footing shall be a separate submittal to Building and Neighborhood Services for review, approval and permitting. A material and color sample shall be submitted with the building plans. The proposed retaining walls are required to match the materials used in the building.



TOTAL AREA = 17.291 ACRES
 = 753,204.516 S.F.

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 (SECTION 1) = 129,907 S.F.

DISTURBED AREA = 11.689 ACRES
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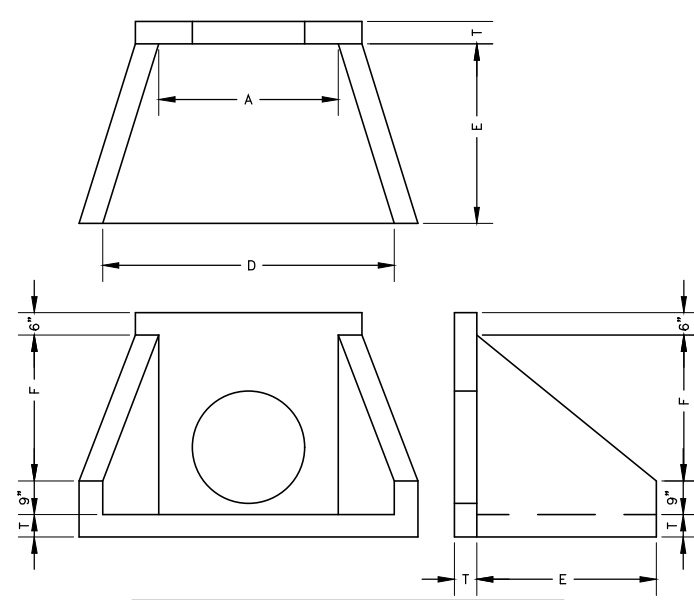
Overall Grading Plan

Dale & Associates
 Consulting Civil Engineering
 Land Planning & Zoning
 Surveying

3161 Highway 100
 Nashville, Tennessee 37204
 (615) 297-5166

D&A Project #12017
 Township PUD
 City of Franklin Project #5841

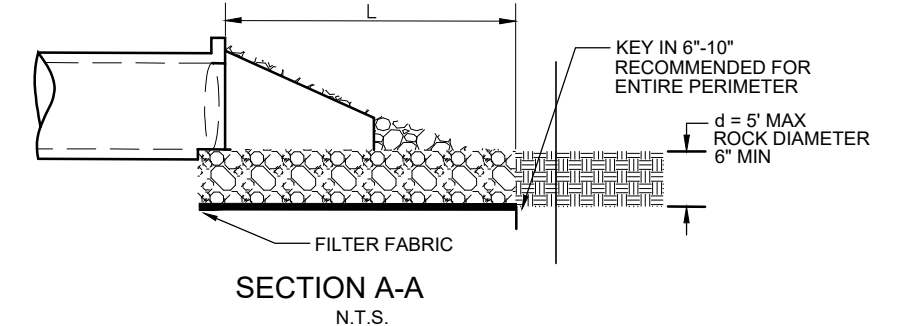
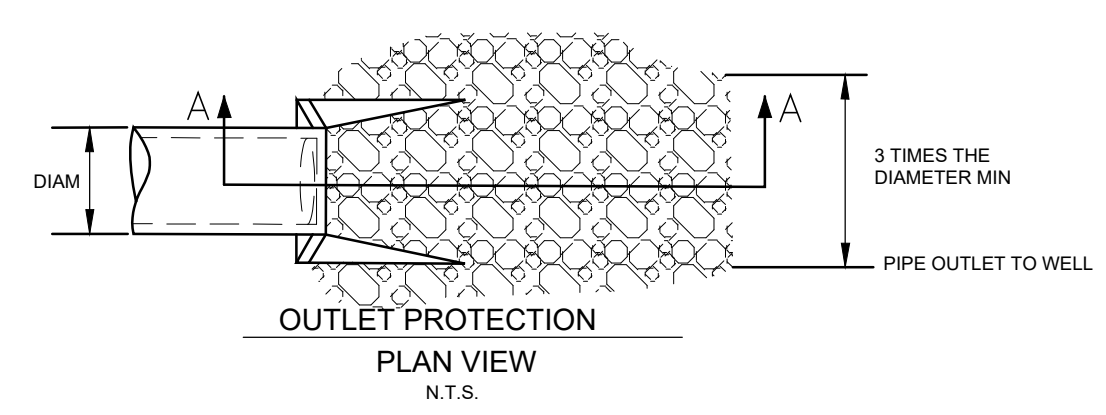
C5.0
 Sheet 8 of 20



| TABLE OF DIMENSIONS | MIN. |
|---------------------|-------|
| A | 2'-0" |
| B | 2'-0" |
| C | 2'-0" |
| D | 2'-0" |
| E | 2'-0" |
| F | 2'-0" |
| G | 2'-0" |
| H | 2'-0" |
| I | 2'-0" |
| J | 2'-0" |
| K | 2'-0" |
| L | 2'-0" |
| M | 2'-0" |
| N | 2'-0" |
| O | 2'-0" |
| P | 2'-0" |
| Q | 2'-0" |
| R | 2'-0" |
| S | 2'-0" |
| T | 2'-0" |
| U | 2'-0" |
| V | 2'-0" |
| W | 2'-0" |
| X | 2'-0" |
| Y | 2'-0" |
| Z | 2'-0" |

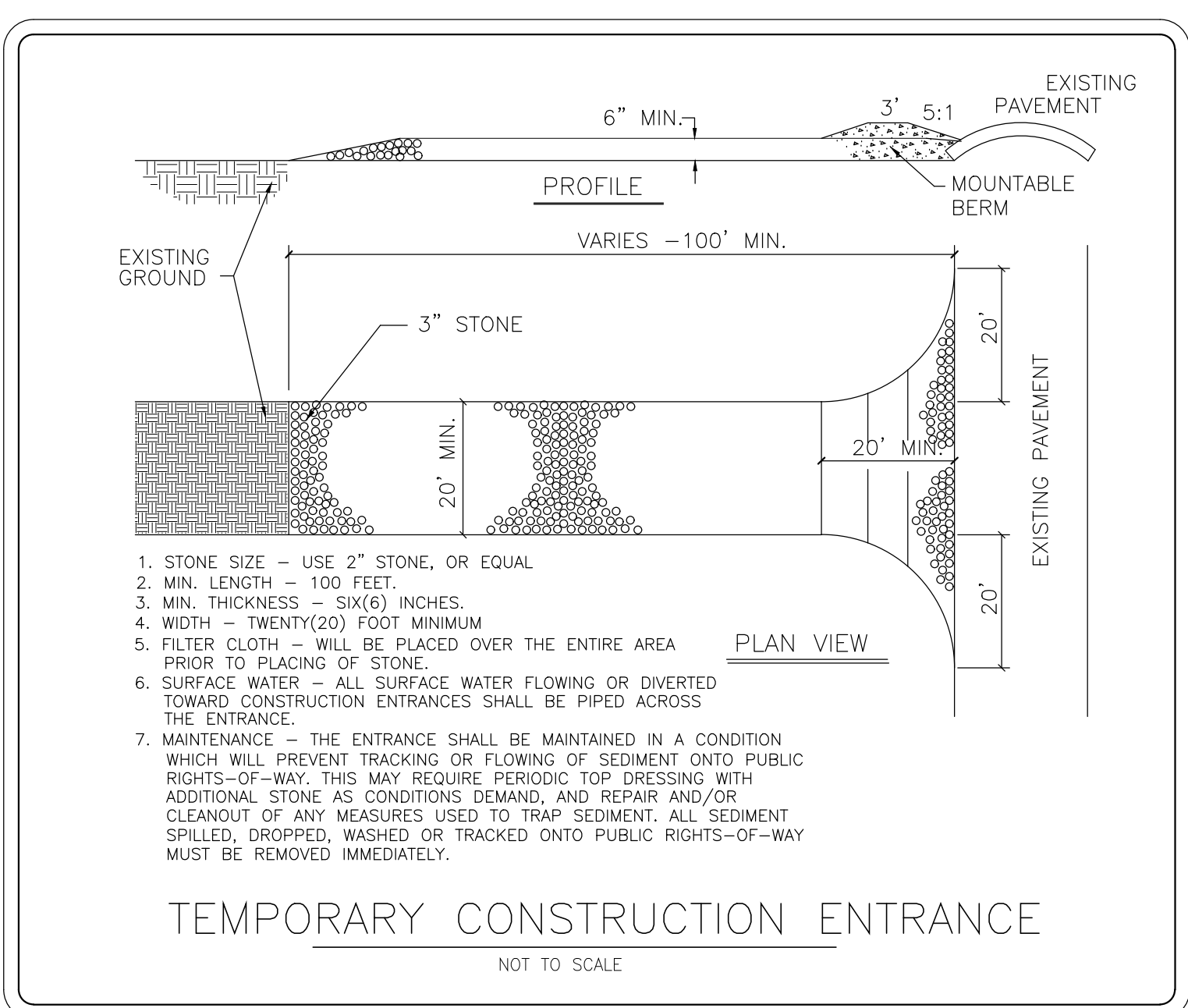
NOTES:
 1. CONCRETE SHALL BE 4000 PSI 28 DAYS REINFORCED WITH NO.4 BARS @ 10" O.C. EACH WAY WITH WINGS AND TIE SLAB POWERED TO HEADWALL WITH NO.5 BARS.
 2. 3/4" CHAMFER ON ALL EXPOSED EDGES.

PRECAST CONCRETE HEADWALL



| PIPE DIAMETER (IN) | DISCHARGE (CFS) | FLOW VELOCITY (FT/S) | MIN. CONCRETE THICKNESS (IN) | MIN. RCP DIAMETER (IN) |
|--------------------|-----------------|----------------------|------------------------------|------------------------|
| 12" | 4.9 | 1.0 | 10 | 12" |
| 14" | 8.8 | 1.3 | 10 | 14" |
| 16" | 13.6 | 1.6 | 10 | 16" |
| 18" | 19.2 | 2.0 | 10 | 18" |
| 20" | 25.7 | 2.4 | 10 | 20" |
| 22" | 33.0 | 2.8 | 10 | 22" |
| 24" | 41.1 | 3.2 | 10 | 24" |
| 26" | 49.8 | 3.6 | 10 | 26" |
| 28" | 59.1 | 4.0 | 10 | 28" |
| 30" | 69.0 | 4.4 | 10 | 30" |
| 32" | 79.4 | 4.8 | 10 | 32" |
| 34" | 90.3 | 5.2 | 10 | 34" |
| 36" | 101.7 | 5.6 | 10 | 36" |
| 38" | 113.6 | 6.0 | 10 | 38" |
| 40" | 126.0 | 6.4 | 10 | 40" |
| 42" | 138.9 | 6.8 | 10 | 42" |
| 44" | 152.3 | 7.2 | 10 | 44" |
| 46" | 166.2 | 7.6 | 10 | 46" |
| 48" | 180.6 | 8.0 | 10 | 48" |
| 50" | 195.5 | 8.4 | 10 | 50" |
| 52" | 210.9 | 8.8 | 10 | 52" |
| 54" | 226.8 | 9.2 | 10 | 54" |
| 56" | 243.2 | 9.6 | 10 | 56" |
| 58" | 259.9 | 10.0 | 10 | 58" |
| 60" | 277.1 | 10.4 | 10 | 60" |

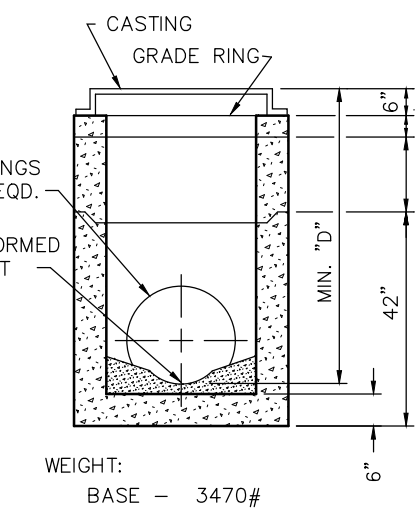
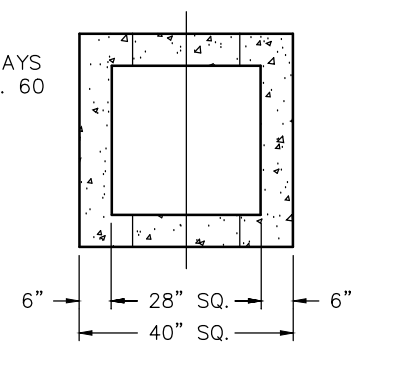
OUTLET PROTECTION
PESC-07



- STONE SIZE - USE 2" STONE, OR EQUAL
- MIN. LENGTH - 100 FEET
- MIN. THICKNESS - SIX(6) INCHES
- WIDTH - TWENTY(20) FOOT MINIMUM
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.

TEMPORARY CONSTRUCTION ENTRANCE
NOT TO SCALE

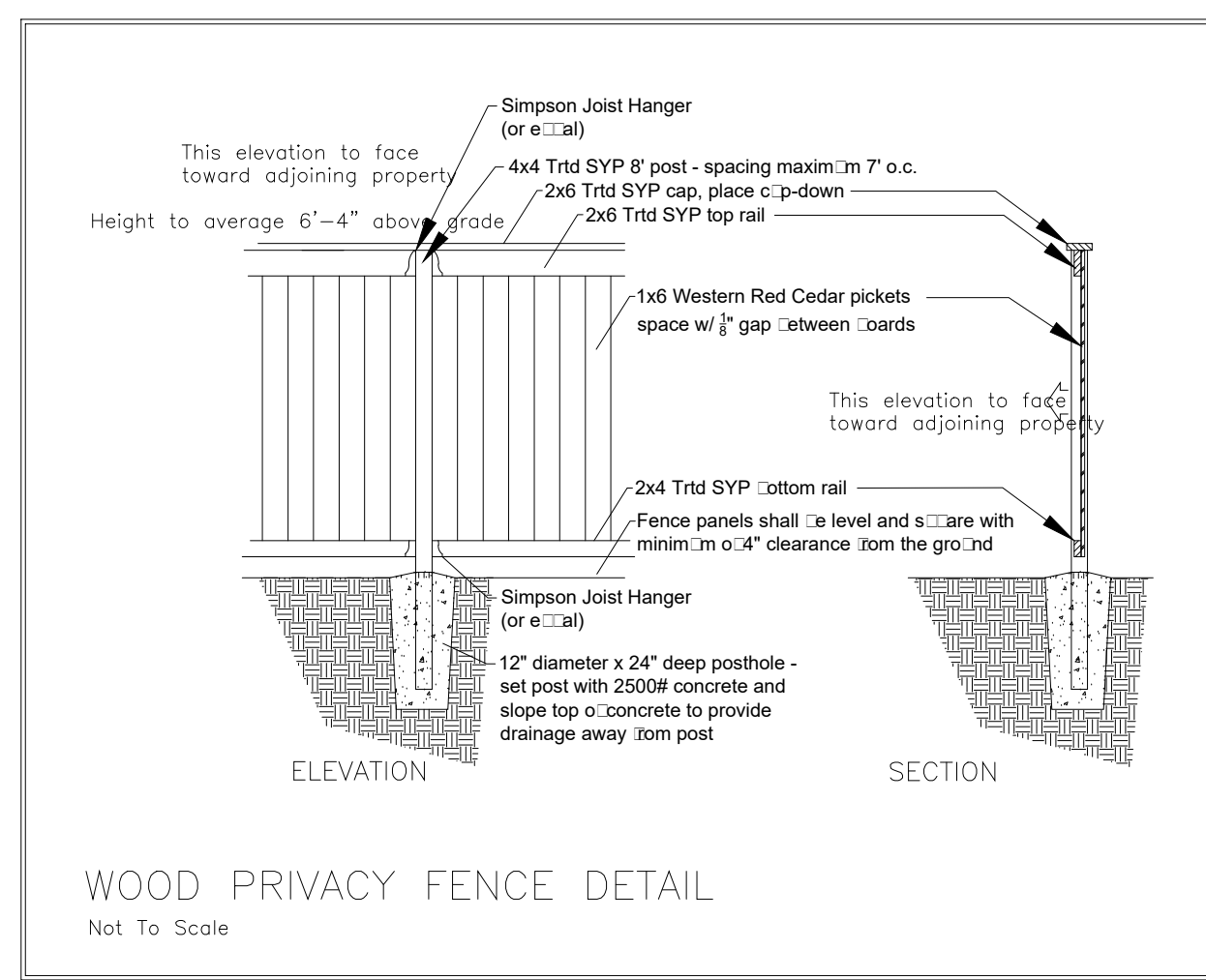
CONCRETE: 4500 PSI @ 28 DAYS REINFORCED W/#4 BAR - GR. 60



| MIN. DEPTH FOR RCP | PIPE "D" |
|--------------------|----------|
| 12" | 2.08' |
| 18" | 2.40' |
| 24" | 2.70' |
| 30" | 3.16' |

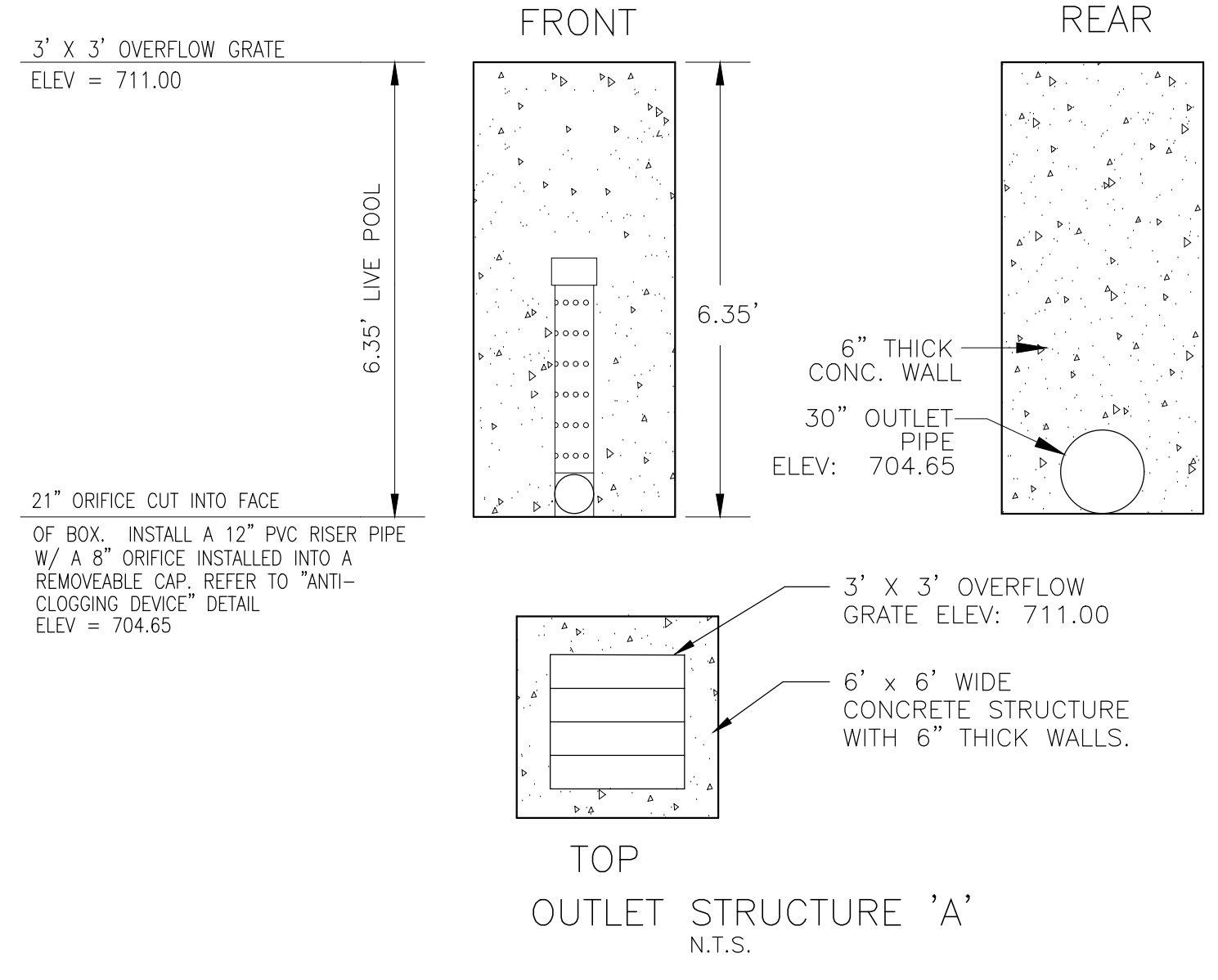
3" MAX. CONCRETE INVERT
1.7' FT. MIN. SLOPE

SINGLE INLET
NOT TO SCALE

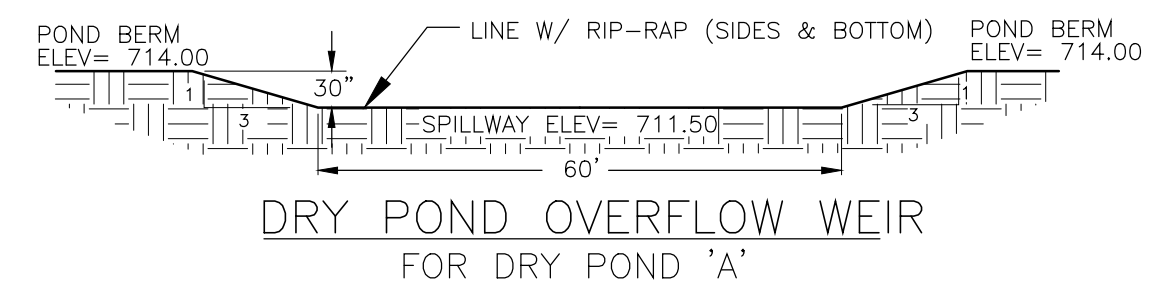


WOOD PRIVACY FENCE DETAIL
Not To Scale

Pond 'A'
Outlet Structure Details



TOP
OUTLET STRUCTURE 'A'
N.T.S.

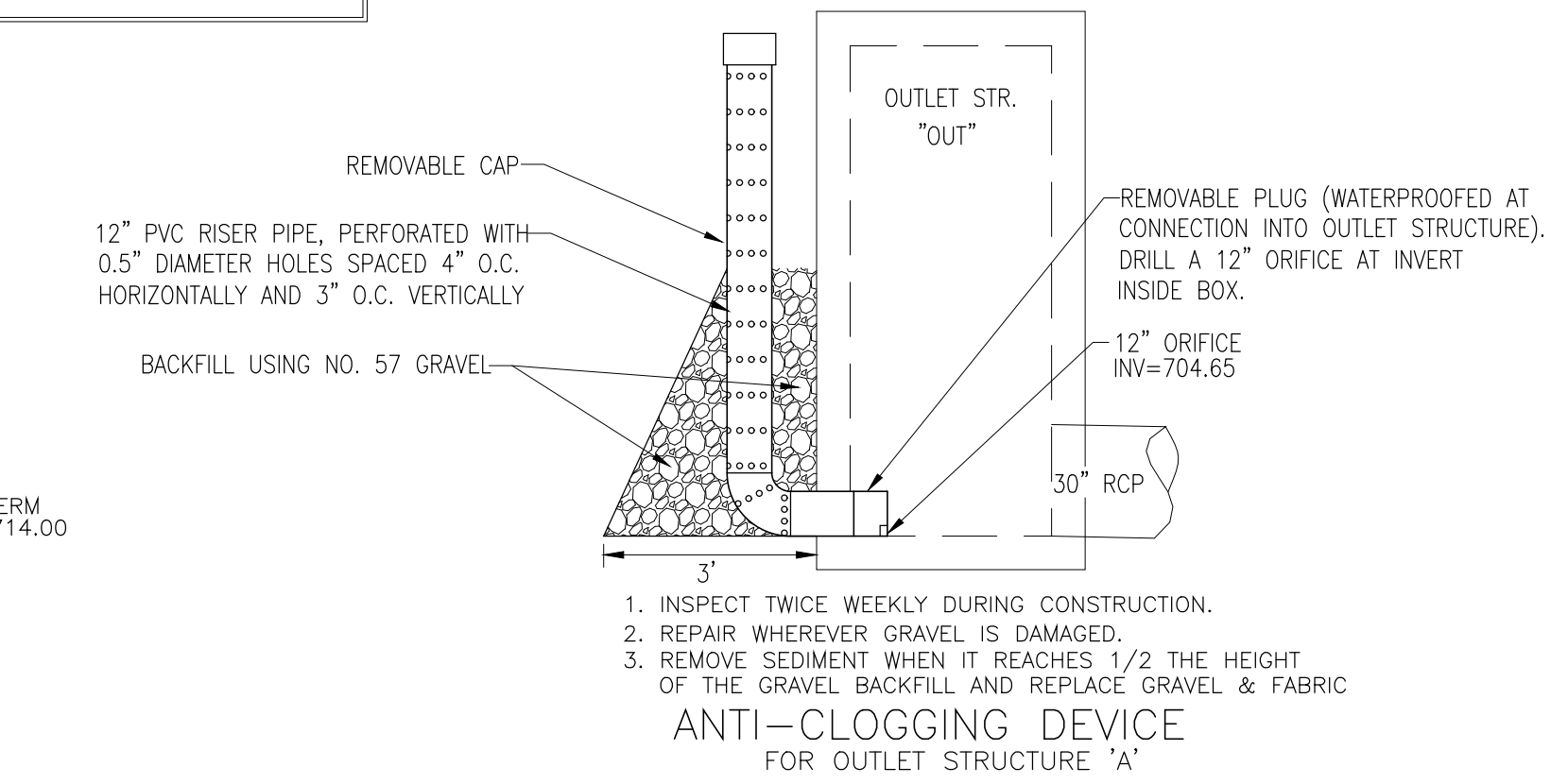


DRY POND OVERFLOW WEIR
FOR DRY POND 'A'



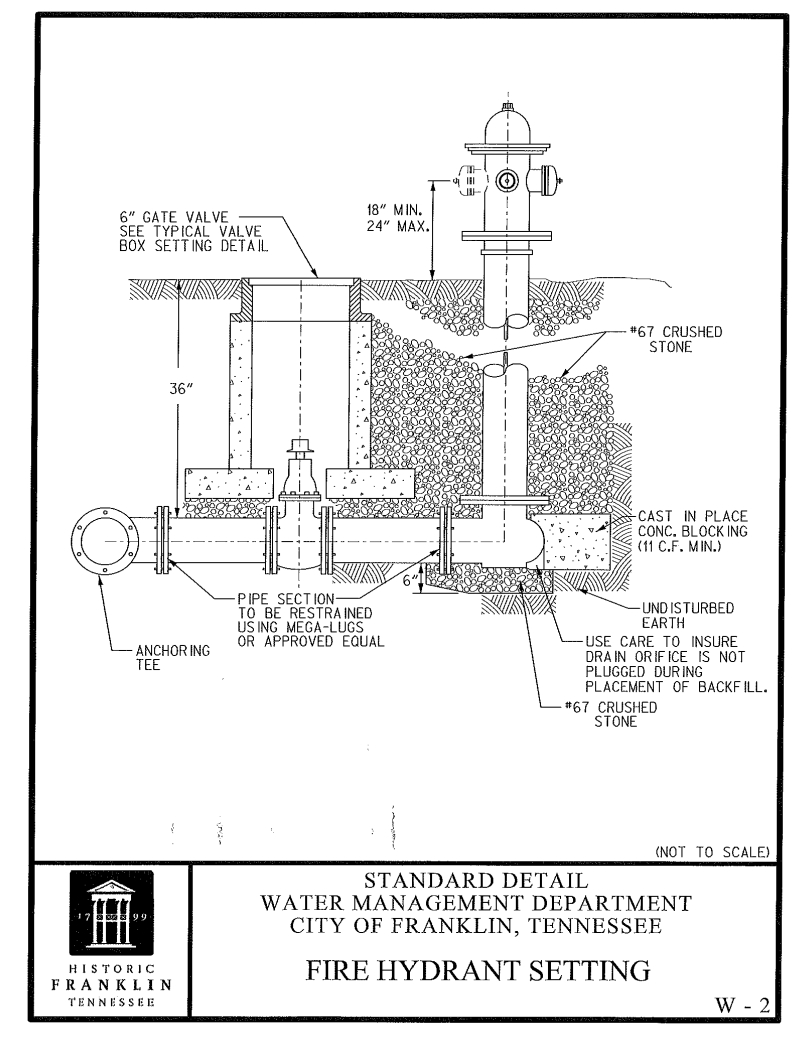
EROSION CONTROL & GRADING NOTE

- EXPOSE AS SMALL AN AREA OF SOIL AS POSSIBLE ON THE SITE FOR NO MORE THAN 15 DAYS. KEEP DUST WITHIN TOLERABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE MEANS.
- ALL CUT/FILL AREAS TO HAVE A MINIMUM OF 6" OF TOPSOIL COVER. AREAS DRESSED WITH TOPSOIL SHALL RECEIVE 12 POUNDS PER 1000 SQUARE FEET OF 6-12-12 FERTILIZER (UNLESS OTHERWISE SPECIFIED IN WRITTEN SPECIFICATIONS), 5 POUNDS OR MORE OF KENTUCKY 31 FESCUE SEED PER 1000 SQUARE FEET, AND A STRAW MULCH COVER OF 70%-80% COVERAGE (APPROXIMATELY 125 POUNDS PER 1000 SQUARE FEET), UNLESS OTHERWISE NOTED WITHIN WRITTEN SPECIFICATIONS.
- EROSION CONTROL BARRIER IS CALLED OUT ON PLANS AND IS TO COMPLY WITH CITY OF FRANKLIN, TN STANDARDS.
- DISTURBED AREAS ARE TO BE GRADED TO DRAIN AS INDICATED IN THE PLAN TO SEDIMENT BARRIERS DURING AND UPON THE COMPLETION OF CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION AND THE LOCATION OF ANY EXISTING UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO AVOID DAMAGE TO ALL EXISTING UTILITIES DURING CONSTRUCTION. IF DAMAGE DOES OCCUR TO ANY SUCH INSTALLATION, FULL REPAIR WILL BE ACCOMPLISHED AS PER THE CURRENT SPECIFICATION GOVERNING SUCH WORK.
- ANY ACCESS ROUTES TO THE SITE SHALL BE BASED WITH CRUSHED STONE, ASTM #1 STONE, 100 FEET LONG AND AT LEAST 6" THICK.
- THE PLACING AND SPREADING OF ANY FILL MATERIAL IS TO BE STARTED AT THE LOWEST POINT AND BROUGHT UP IN HORIZONTAL LAYERS OF 8" THICKNESS (OR AS DIRECTED BY THE SOILS INVESTIGATIVE REPORT). SAID FILL MATERIAL IS TO BE FREE OF SOD, ROOTS, FROZEN SOILS, OR ANY OTHER DECOMPOSABLE MATERIAL. SAID FILL IS TO BE COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR, OR AS OTHERWISE SPECIFIED BY THE SOILS REPORT OR WRITTEN SPECIFICATIONS.
- THE CONTRACTOR SHALL NOTIFY THE THE CITY OF FRANKLIN ENGINEERING DEPARTMENT, THREE DAYS PRIOR TO BEGINNING THE WORK.
- THE CONTRACTOR SHALL LOCATE AND STAKE THE LAYOUT OF THE SITE IN THE FIELD FOR INSPECTION BY THE ENGINEER. THE CONTRACTOR SHALL CHECK THE GRADES AND FINAL DIMENSIONS ON THE GROUND, AND REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY FOR A DECISION.
- SURPLUS EXCAVATION OF TOPSOIL SHALL BE PLACED ON THE SITE AS APPROVED BY THE OWNER FOR THE PURPOSE OF FUTURE LANDSCAPE USE.
- THE CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY TEMPORARY WORKS FOR THE PROTECTION OF THE PUBLIC AND EMPLOYEES, INCLUDING WARNING SIGNS AND LIGHTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO THE PREMISES OR ADJACENT PREMISES OR INJURIES TO THE PUBLIC DURING THE CONSTRUCTION CAUSED BY HIMSELF, HIS SUB-CONTRACTORS, OR THE CARELESSNESS OF ANY OF HIS EMPLOYEES.
- ALL WORK IS TO BE COMPLETED WITH COMPLIANCE TO THE RULES AND REGULATIONS SET FORTH BY THE CITY OF FRANKLIN. THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICE, OBTAIN ALL PERMITS, AND PAY FEES REQUIRED FOR THE COMPLETION OF HIS PORTION OF THE WORK. HE SHALL ALSO COMPLY WITH ALL CITY, COUNTY AND STATE LAWS AND ORDINANCE OR REGULATIONS RELATING TO PORTIONS OF WORK WHICH HE IS TO PERFORM.
- ALL EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL SITE IS STABILIZED & CONSTRUCTION IS COMPLETE.
- CONTRACTOR SHALL PROVIDE AN AREA FOR CONCRETE WASH DOWN AND EQUIPMENT FUELING IN ACCORDANCE WITH CITY OF FRANKLIN STANDARDS. LOCATION TO BE COORDINATED WITH THE CITY INSPECTOR.

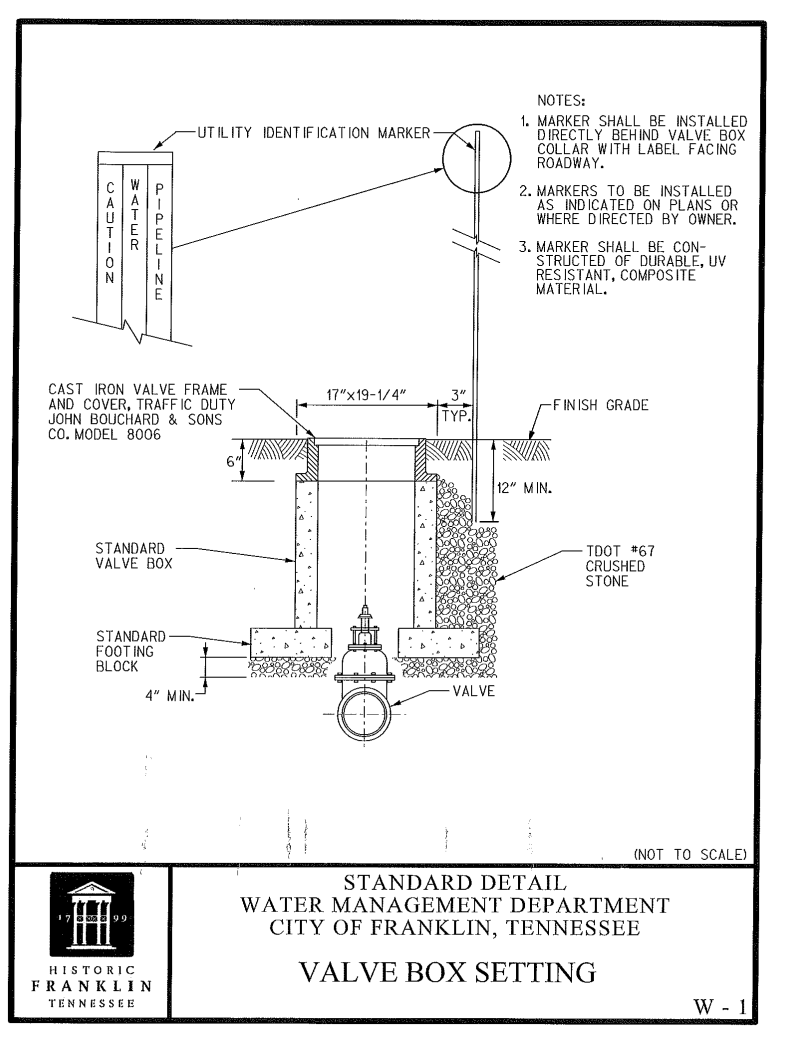


- INSPECT TWICE WEEKLY DURING CONSTRUCTION.
- REPAIR WHEREVER GRAVEL IS DAMAGED.
- REMOVE SEDIMENT WHEN IT REACHES 1/2 THE HEIGHT OF THE GRAVEL BACKFILL AND REPLACE GRAVEL & FABRIC

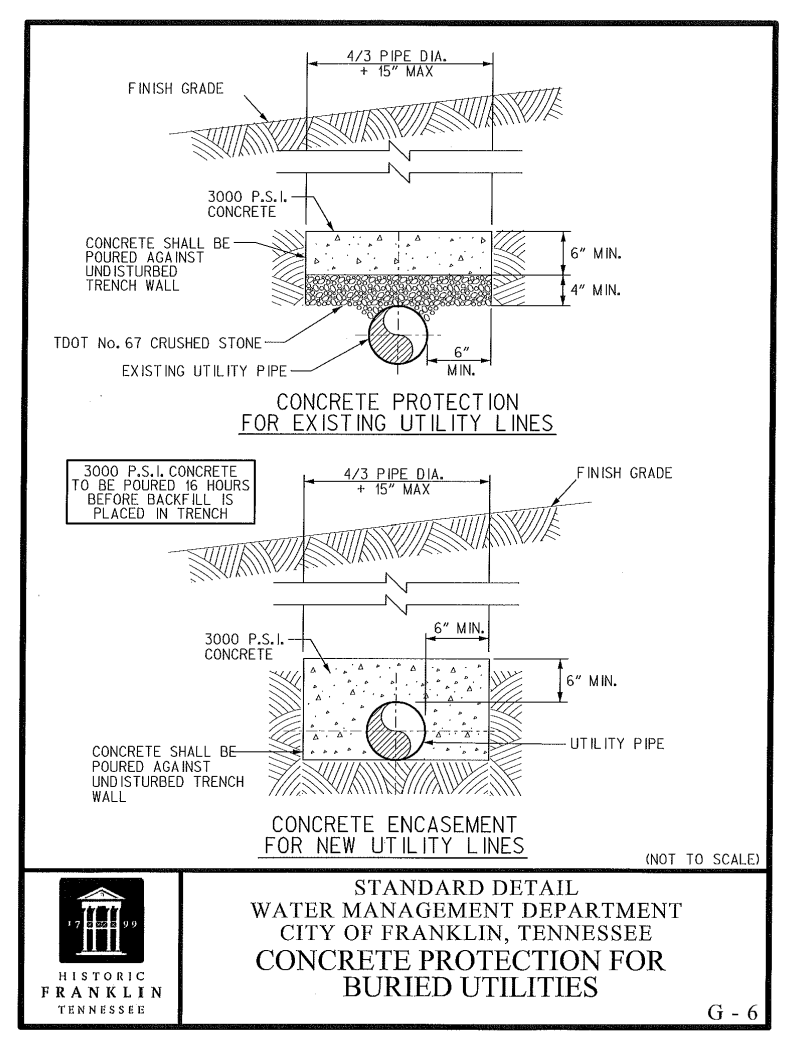
ANTI-CLOGGING DEVICE
FOR OUTLET STRUCTURE 'A'



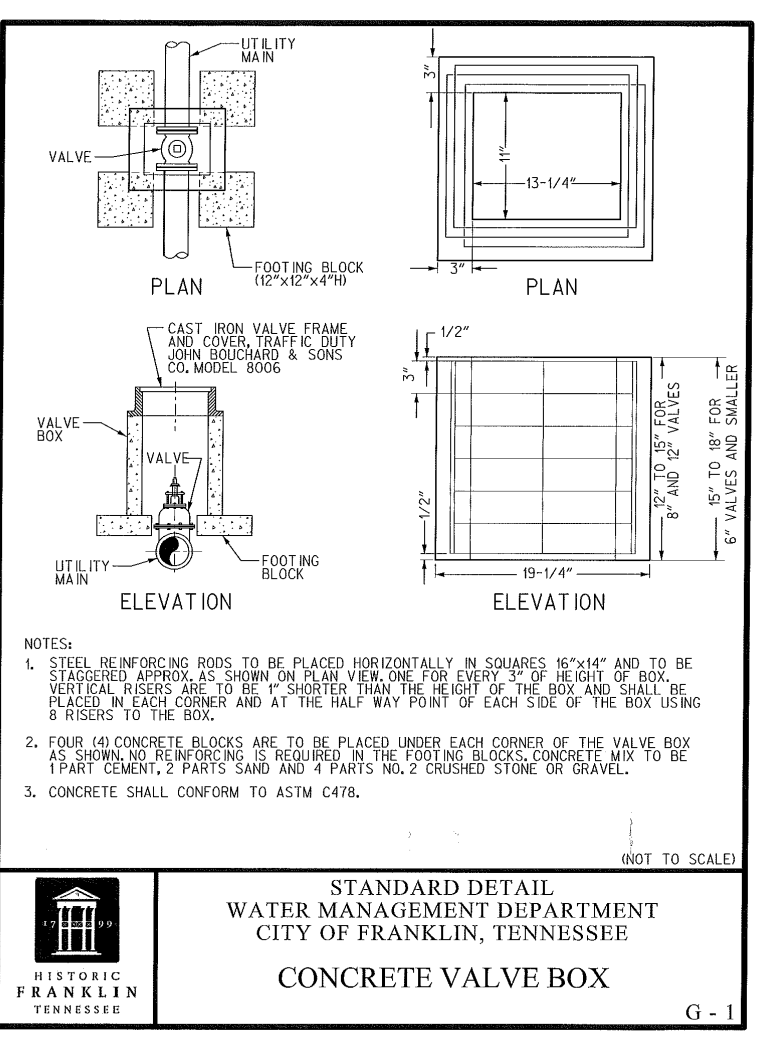
STANDARD DETAIL
FIRE HYDRANT SETTING
W - 2



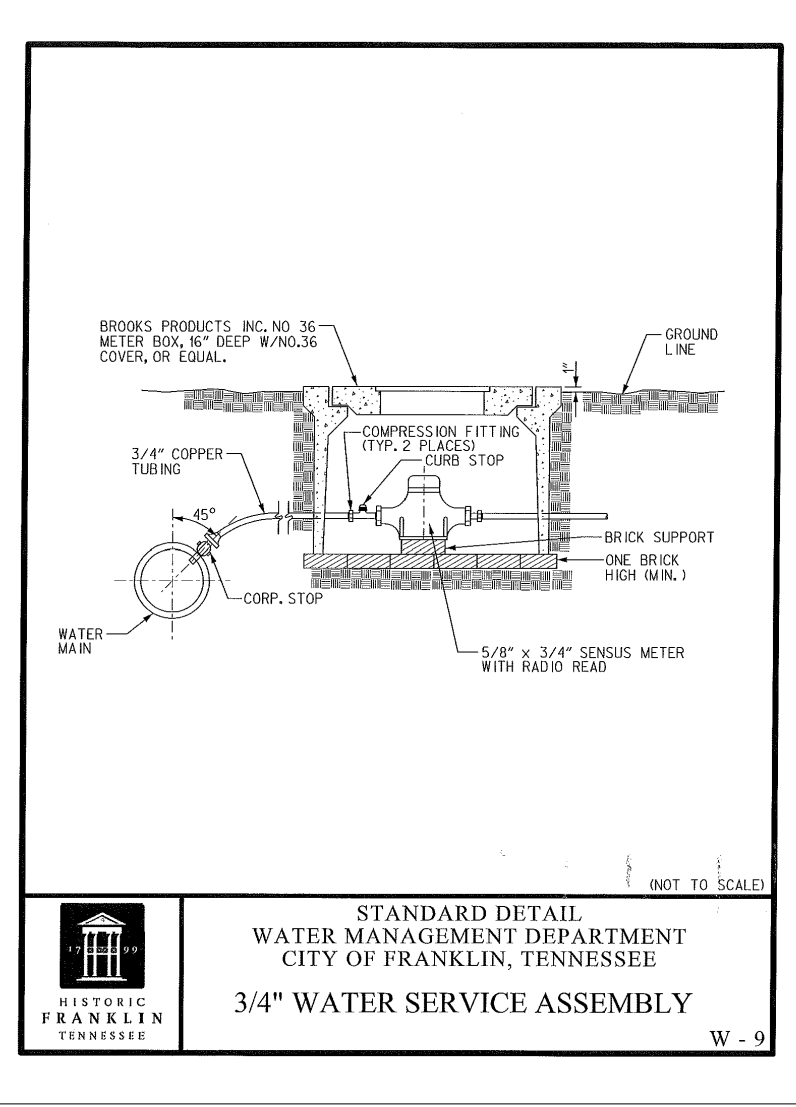
STANDARD DETAIL
VALVE BOX SETTING
W - 1



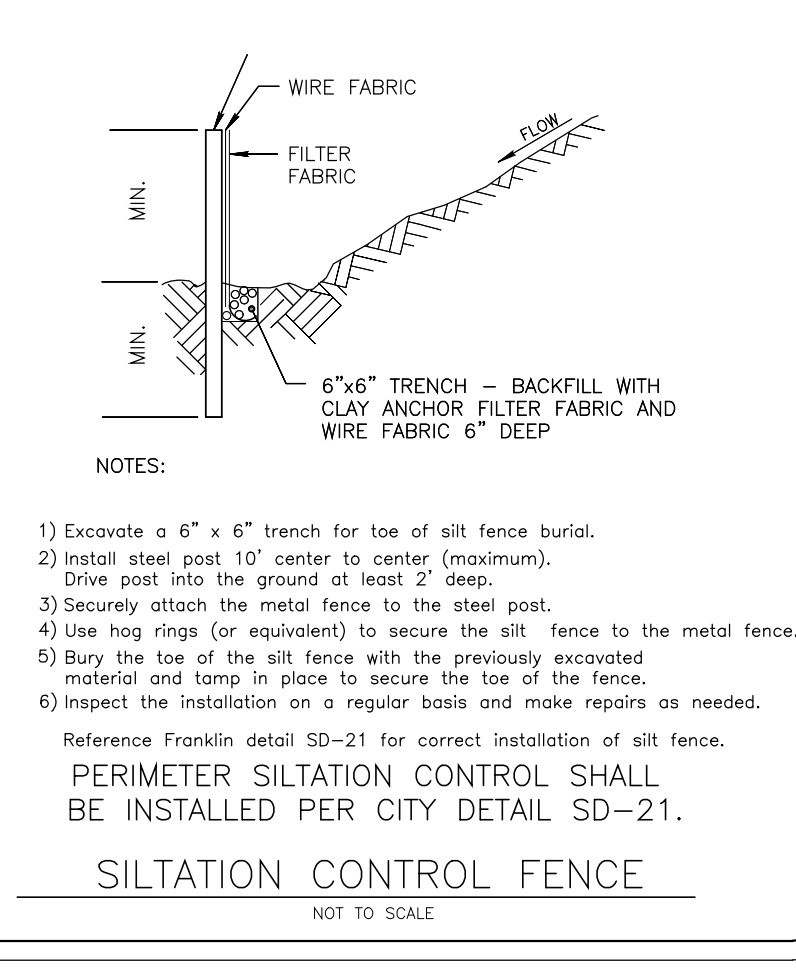
STANDARD DETAIL
CONCRETE PROTECTION FOR BURIED UTILITIES
G - 6



STANDARD DETAIL
CONCRETE VALVE BOX
G - 1



STANDARD DETAIL
3/4" WATER SERVICE ASSEMBLY
W - 9



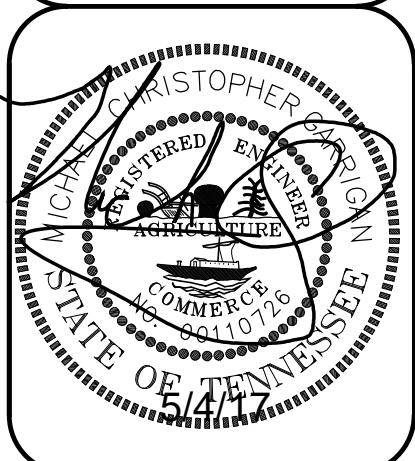
- NOTES:
- Excavate a 6" x 6" trench for toe of silt fence burial.
 - Install steel post 10" center to center (maximum). Drive post into the ground at least 2' deep.
 - Securely attach the metal fence to the steel post.
 - Use hog rings (or equivalent) to secure the silt fence to the metal fence.
 - Bury the toe of the silt fence with the previously excavated material and tamp in place to secure the toe of the fence.
 - Inspect the installation on a regular basis and make repairs as needed.
- Reference Franklin detail SD-21 for correct installation of silt fence.
- PERIMETER SILTATION CONTROL SHALL BE INSTALLED PER CITY DETAIL SD-21.

SILTATION CONTROL FENCE
NOT TO SCALE

PERMITS:
COF# 6414
TDEC: TNR149878

Drawing Date:
April 2017
REVISIONS:
COF Site Plan: 5/4/17

Site Plan for
Township PUD
COF Project Number 5841
1020 Harmony Hills Drive
Franklin, Williamson County, Tennessee
Map 79 G, Parcels 6.01, 6.03, 6.04



UTILITY LOCATION NOTE:
Contractor to Contact all Local Utility Companies prior to commencing work to mark all Utilities in the Field.

Dale & Associates
Civil Engineering
Land Planning & Zoning
Surveying

501 Hickory Place
Franklin, TN 37068
(615) 597-5166

D&A Project #12017
Township PUD
City of Franklin Project #5841

C6.0
Sheet 9 of 20

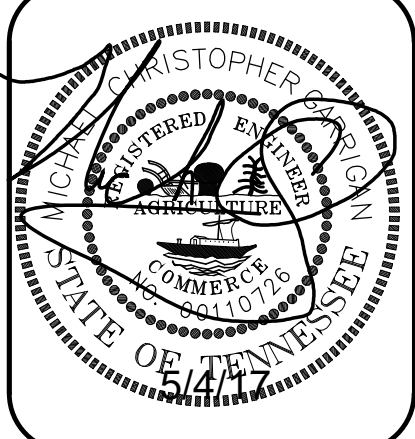
Details

PERMITS:
COF# 6414
TDEC: TNR149878

Drawing Date:
 April 2017

REVISIONS:
 COF Site Plan: 5/4/17

Site Plan for
Township PUD
 COF Project Number 5841
 1020 Harmony Hills Drive
 Franklin, Williamson County, Tennessee
 Map 79 G, Parcels 6.01, 6.03, 6.04



UTILITY LOCATION NOTE:
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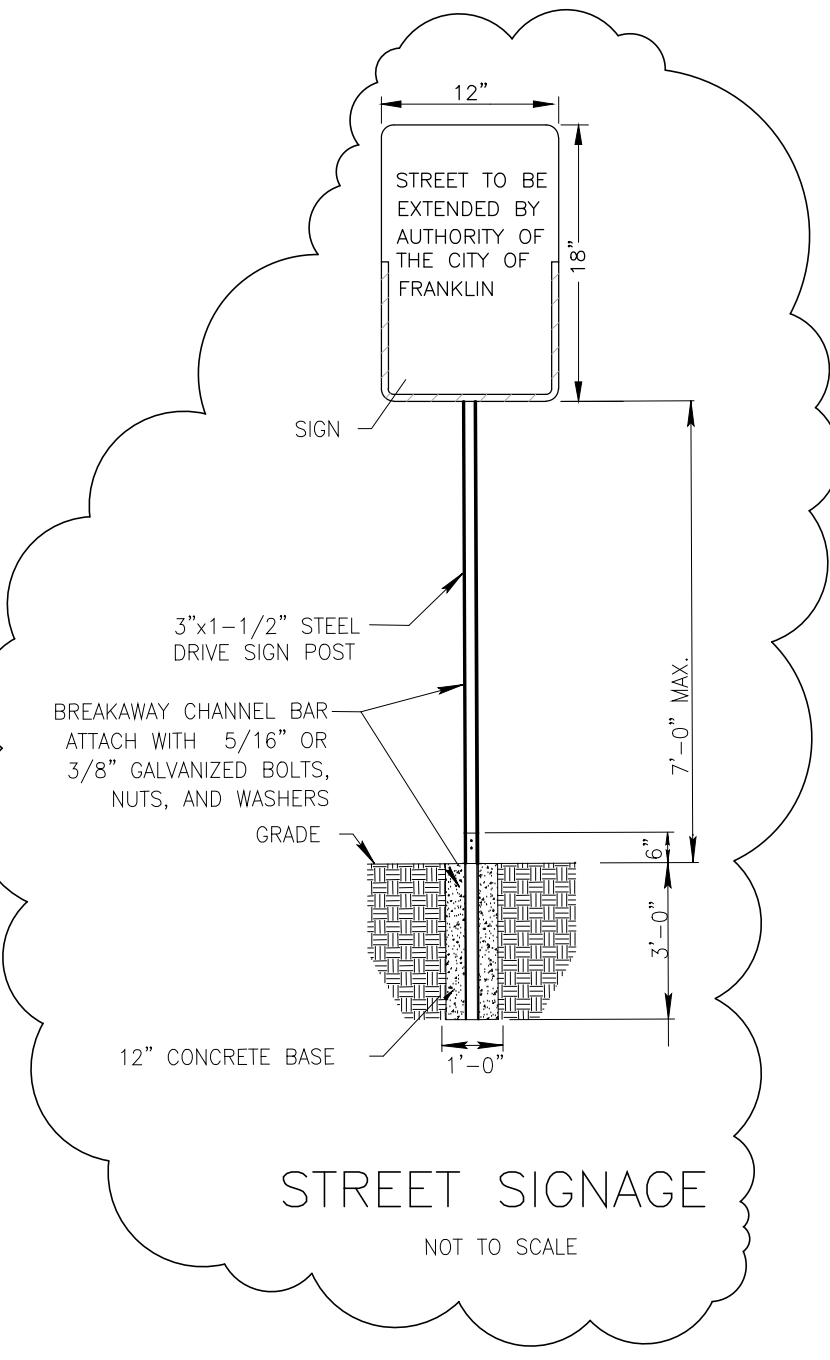
Dale & Associates
 Consulting Civil Engineering
 Land Planning & Zoning
 Surveying
 5161 Highway 100
 Nashville, Tennessee 37204
 (615) 297-5166

D&A Project #12017
 Township PUD
 City of Franklin Project #5841

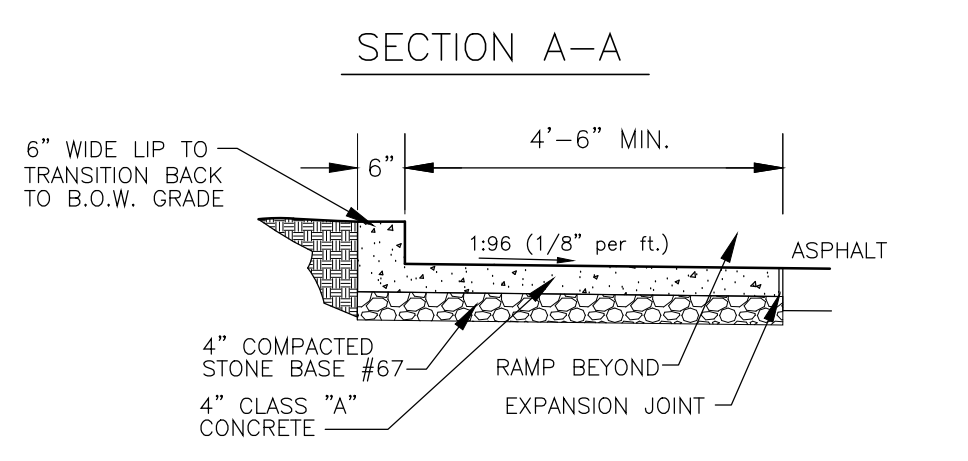
C6.1
 Sheet 10 of 20

Stormwater Erosion Prevention and Sediment Control Requirements:

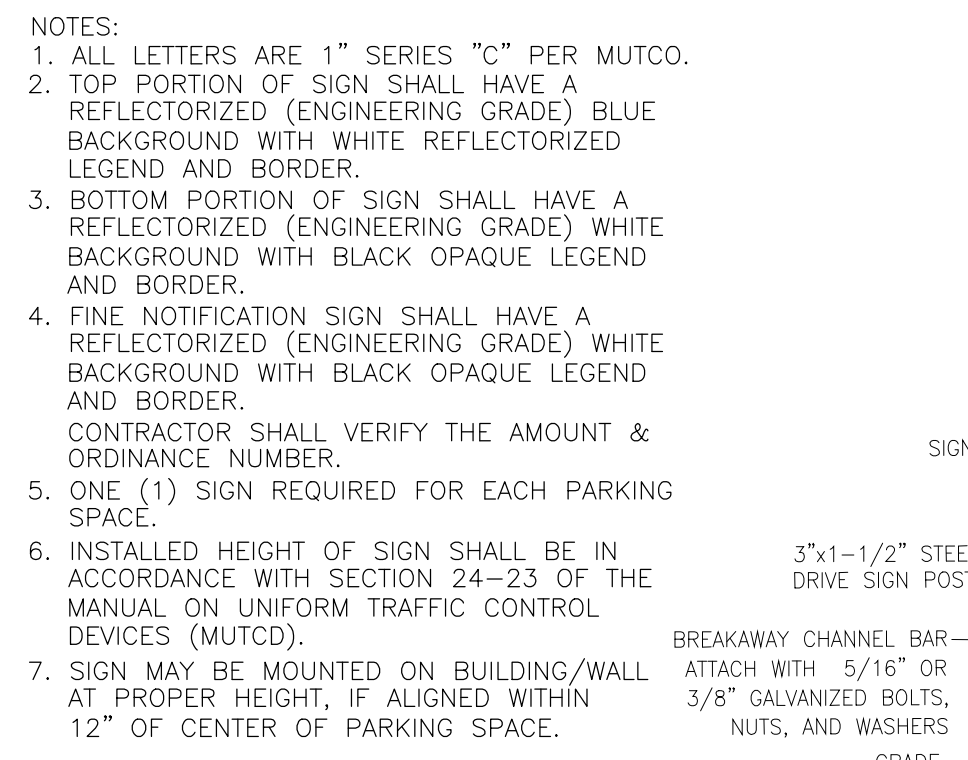
- Erosion and sediment control measures shall be designed to control the rainfall and runoff from a 2 year, 24 hour storm, as a minimum.
- Erosion prevention and sediment controls must be inspected once a week and 24 hours before a rain event after a 25 inch rain event and documented on the inspection site checklist.
- Sediment that has escaped the construction site and has collected in the street or drainage structures must immediately be physically removed.
- Stabilization measures must be performed within seven (7) days in portions of the site where construction activities have temporarily or permanently ceased, and within fifteen (15) days after final grading. This is a cover crop with at least 75% coverage.
- During non-germinating periods, a cover crop shall be maintained for 14 calendar days after the application of seed, seed and anchored straw mulch, or other approved stabilization measures.
- Off-site spill or borrow areas must have approved sediment control plans.
- A 25 foot undisturbed streamside buffer zone will be left from top of bank on both sides for the entire length of streams that TDEC determines to be a perennial or intermittent stream. The streamside buffer shall be located on the side of the stream that is not a vegetated area, including trees and shrubs that exist or are established to protect a stream system, lake, or reservoir area. This buffer also applies to other sensitive areas such as springs, wetlands and sinkholes. TDEC requires a 60 foot construction buffer on some streams.
- An orange construction fence is required to designate the buffer area before clearing or tree removal has begun.
- This streamside buffer will be left undisturbed or enhanced when required by the city and will be part of open space and recognized on covenants with restrictions on how it is to be maintained by homeowner association or nonresidential property owner. If more than regular maintenance is ever needed, its removal is prohibited unless it is shown on a landscape plan and a tree clearing permit is required.
- All sediment basins, trap embankments, swales, perimeter dikes, and permanent slopes steeper or equal to 3:1 shall be stabilized with sod, seed and anchored straw mulch or other approved stabilization measures, within seven (7) calendar days of installation. All areas disturbed by the perimeter sediment control system must be minimized and stabilized immediately. Maintenance must be performed as necessary to ensure continued stabilization. Re-stabilization or overseeding will be required, if necessary.
- Immediately upon discovering unforeseen circumstances posing the potential for accelerated erosion and/or sediment pollution, the operator shall implement appropriate best management practices to eliminate the potential for accelerated erosion and/or sediment pollution.
- Construct and stabilize Sediment Pond and conveyances first. Stabilize means:
 - a) a minimum of twenty percent (20%) of the area shall be covered with a density of a minimum of 75 percent of the native background vegetation cover or the area established on all improved areas and areas not covered by permanent structures, trees, or other approved stabilization measures (such as the use of straw, geotextiles, or geotextiles) have been employed with a density sufficient to resist accelerated erosion and/or slope characteristics sufficient to resist sliding and other movements.
 - b) if there is a gravel envelope in front of the outlet orifice, it will be removed as soon as the site is stabilized and before bonds are released.
 - c) include a baffle in any detention pond to facilitate easier maintenance.
- With earthen walls, place an aridose collar (or collar) around the outlet pipe.
- Sediment Fence: Sediment fences or other sediment barriers, has been installed properly along topographical contours downslope of the area to be disturbed prior to any grading, clearing and/or any other construction activity.
- Sediment Fences: Use primarily in areas where sheet flow occurs.
 - Install along a level contour, so water does not pond more than 1.5 feet (0.5 m) at any point.
 - The maximum slope perpendicular to the fence line shall be 1:1. No more than 0.25 acre (0.1 ha) per 100 ft (31.4 m), or 0.5 c.s. (1.4 x 10⁻² m²) of concentrated flow shall drain to any point along the sill fence.
 - The ends of a fence shall be prevented from washing away. Intermittently, 1:1 minimum shall be provided.
 - Provide area behind the fence or to pond and sediment to settle (Approx. 1200 c.s. (111.5 m²) per acre (0.4 ha) draining to the sill fence).
 - Select filter fabric that retains 85% of the soil by weight, based on sieve analysis. It is not finer than an equivalent opening size of 70.
 - Straw Hay Bales (ARE NOT RECOMMENDED) and rock filters (especially continuous berms) are preferred over straw hay bales.
 - Once the sediment removal efficiencies, durability, and maintenance requirements are less desirable in straw hay bales.
- Inlet Protection: Where applicable, inlet protections for nearby storm sewer curbs and drop inlets have been installed.
- Identify Storm Drain Protection: Where nearby storm sewer curbs and drop inlets have been installed.
- Sand Catcher: Used to create a small sediment trap (stream of inlet on sloped, paved streets).
- Excavated Drop Inlet Sediment Trap: An excavated area around the inlet to trap.
- Filter: City type protection. Used to create a small water ponding area to settle sediment before water enters storm drain. (except from Franklin Best Management Practice Manual)
- Sediment Fences: Use primarily in areas where sheet flow occurs.
 - Install along a level contour, so water does not pond more than 1.5 feet (0.5 m) at any point.
 - The maximum slope perpendicular to the fence line shall be 1:1.
 - No more than 0.25 acre (0.1 ha) per 100 ft (31.4 m), or 0.5 c.s. (1.4 x 10⁻² m²) of concentrated flow shall drain to any point along the sill fence.
 - The ends of a fence shall be prevented from washing away.
 - Provide area behind the fence or to pond and sediment to settle (Approx. 1200 c.s. (111.5 m²) per acre (0.4 ha) draining to the sill fence).
 - Select filter fabric that retains 85% of the soil by weight, based on sieve analysis. It is not finer than an equivalent opening size of 70.
 - Sediment must be removed from sediment barriers, ponds and other sediment controls when design capacity has been reduced by 33%. All EP&SC devices are to remain in place until the site has been stabilized and a good stand of grass has been established.
 - When a sediment fence's capacity has been reduced 33%, it shall be replaced.
- Erosions prevention and sediment control devices, EP&SC, shall be maintained throughout the construction period; generally considered to be through the completion of restoration. A copy of the EP&SC plan along with an inspection checklist and Stormwater Permit Application, shall be at the project site at all times. The inspection checklist shall have a record of dates EP&SC devices are inspected and any correction action taken or major observations.
- Excavated topsoil to be reused must be stockpiled and enclosed with all fencing.
- Construction Entrance: This site shall contain a temporary stone construction entrance that conforms to the City of Franklin's Stormwater Ordinance and Best Management Practice Manual. It shall be installed on the permit site as required. The use of filter cloth beneath construction entrance is required. Stones shall be 3 inch or shed, washed, and well graded rock to at least a 6-inch (15.2) deep and shall be kept clean by adding stone as needed. It shall be 20 feet wide. See detail TCG-03 or specify construction entrance details. See <http://www.franklin.gov/engineering/STORMWATER/mplctpcg-03.pdf>
- A qualified person who has taken an approved erosion and sediment course must inspect BMPs.
- Where applicable, inlet protections for nearby storm sewer curbs and drop inlets have been installed.
- Where applicable, existing vegetation and Buffer will be maintained and temporary cover crops will be used.
- Sediment that has escaped the construction site and has collected in the street or drainage structures must immediately be physically removed.
- Building and waste materials, and non-storm water discharges, such as concrete, paint, washer, or machinery leakage or spillage must be managed to prevent them from entering the stormwater system, ground water or nearby water body.
- EP&SC and stormwater controls shall be installed and maintained according to Franklin's BMP Manual. You can find a copy of it at: <http://www.franklin.gov/engineering/STORMWATER/index.htm>
- Stormwater detention/retention and sediment ponds will be installed at the beginning of the project.
- Large construction sites shall be built in phases.
- Stormwater detention/retention and sediment ponds will be installed at the beginning of the project. Dewatering: Sediment trap/basin dewatering for cleanout or repair may only be done with the City of Franklin inspector's permission. The inspector must approve the dewatering method for each application. The following methods may be considered:
 - A. Pump discharge may be directed to another on-site sediment trap or basin, provided it is a closed volume and the pump intake is located to prevent agitation or suction of deposited sediments.
 - B. The pump intake may utilize a Removal Pumping Station and discharge into an undisturbed area through a non-erosive inlet or
 - C. The pump intake may be located and discharge into a Dirt Bag (12 oz. nonwoven fabric), or approved equivalent, located in an undisturbed area.
 - D. All pump intake or sediment laden water shall be through a sediment control BMP, such as a pumped water filter bag or equivalent sediment removal facility, over undisturbed vegetated areas.
- Any request for changes to the approved sediment control plan or sequence of construction must be submitted to the Sediment Control Inspector and approved before implementing changes. Major changes will require a plan revision.
- The Permittee shall protect all points of construction ingress and egress to prevent the deposition of materials onto traversed public thoroughfare(s). All materials deposited onto public thoroughfare(s) shall be removed immediately.
- Obtaining of any permits is the responsibility of the stormwater management permit holder or developer.
- Permittees shall maintain a rain gauge and daily rainfall records at the site, or use a reference site for a record of daily amount of precipitation.
- STORMWATER PONDS AND WATER QUALITY MAINTENANCE NOTES
 - Check outlet regularly for clogging and remove any debris.
 - Check banks and bottom surface of basin for erosion and correct as necessary.
 - Check at least annually and after each extreme storm event, the facility should be cleaned of accumulated debris. The banks of surface ponds should be checked and areas of erosion repaired. Remove nuisance wetland species and take appropriate measures to control mosquitos.
 - This maintenance typically includes sediment, floatable, and debris removal from inlets, outlets and skimmers.
 - Pond vegetation needs to be trimmed or harvested as appropriate, grassy areas frequently mowed.
 - The outlet structure filter shall be checked regularly for clogging and shall be cleaned and repaired as necessary.
 - Remove sediment when accumulation reached 6 inches, or if re-suspension is observed or probable. Sediment may be permitted to accumulate deeper than 6 inches if there is a permanent marker indicating depth where sediment needs to be removed, and that mark has not been met.
 - Some sediment may contain contaminants or which the Tennessee Department of Environment and Conservation (TDEC) requires special disposal procedure. If there is any uncertainty about what the sediment contains or it is known to contain contaminants, then TDEC should be contacted and their disposal recommendations followed. The TDEC Division of Water Pollution Control should be contacted at (615) 532-0625.
 - Generally, special attention or sampling should be given to sediment accumulated in facilities serving industrial, manufacturing or heavy commercial sites, filling centers or other sensitive maintenance areas, large parking areas, or other areas where pollutants (other than clean soil) are expected to accumulate and be conveyed by storm runoff.
 - Some sediment collected may be innocuous (free of pollutants) and can be used as fill material, cover or land spreading. It is important that this material not be placed in any way that will promote or allow re-suspension in storm runoff.



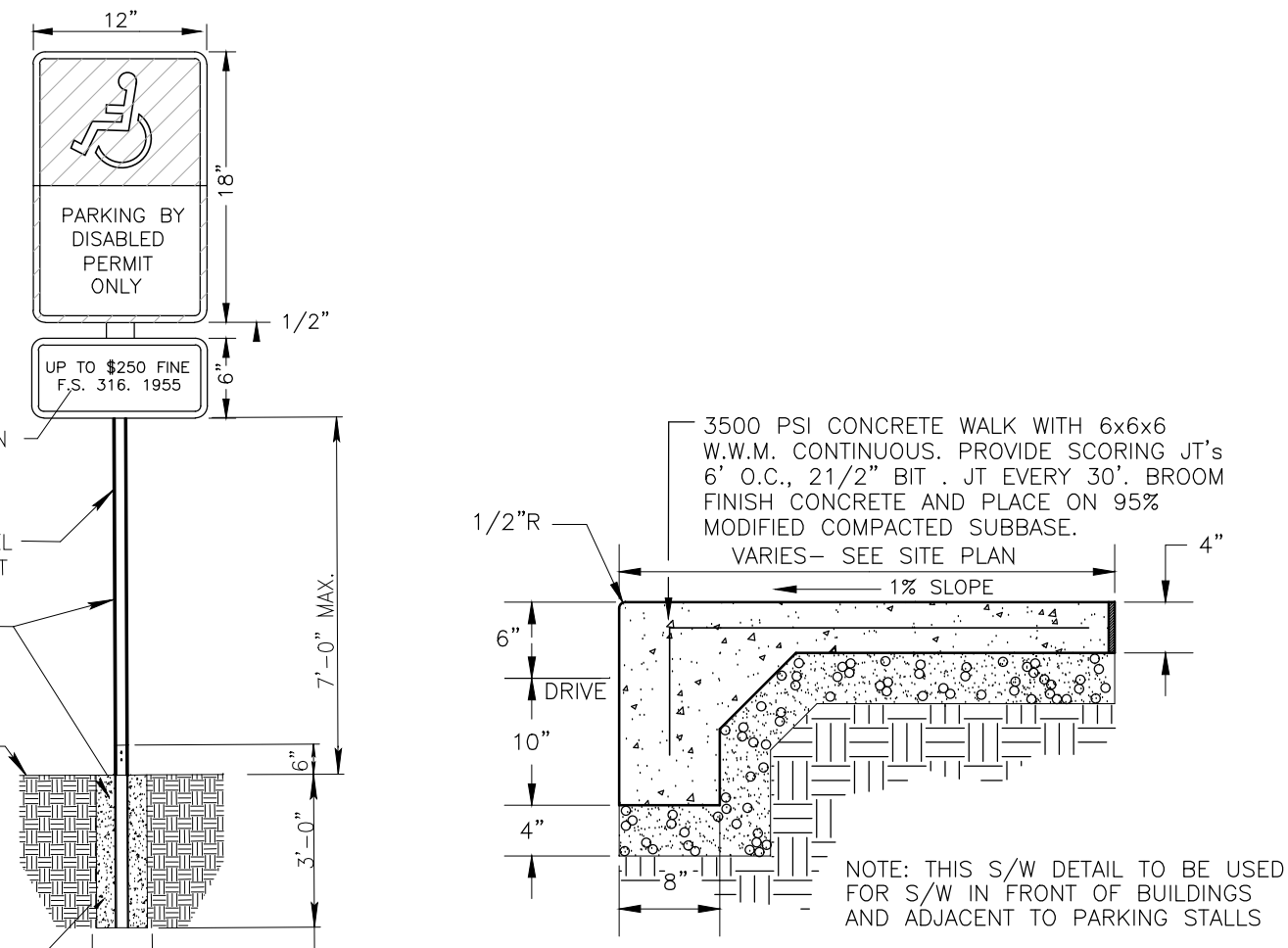
STREET SIGNAGE
 NOT TO SCALE



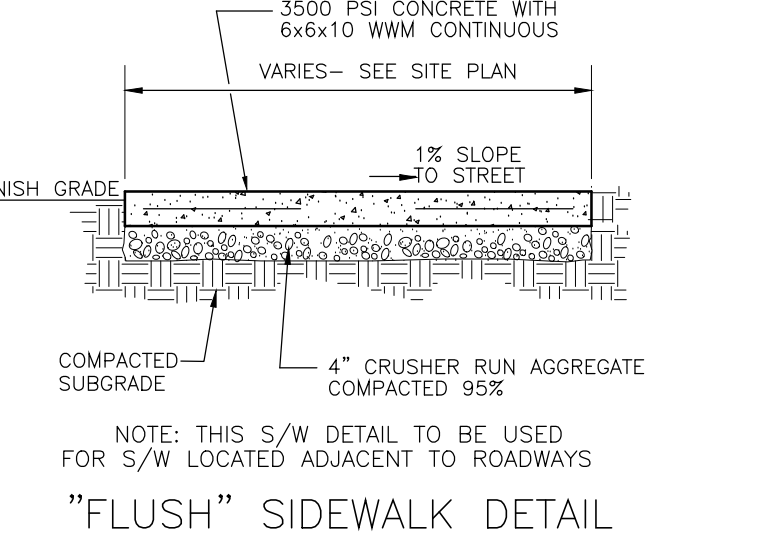
PARALLEL CURB RAMP
 NOT TO SCALE



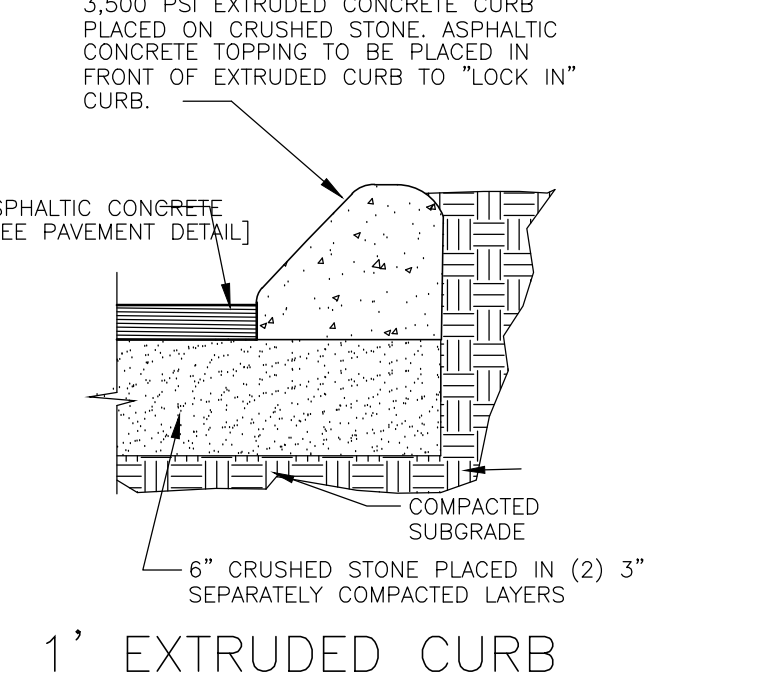
HANDICAP SIGNAGE
 NOT TO SCALE



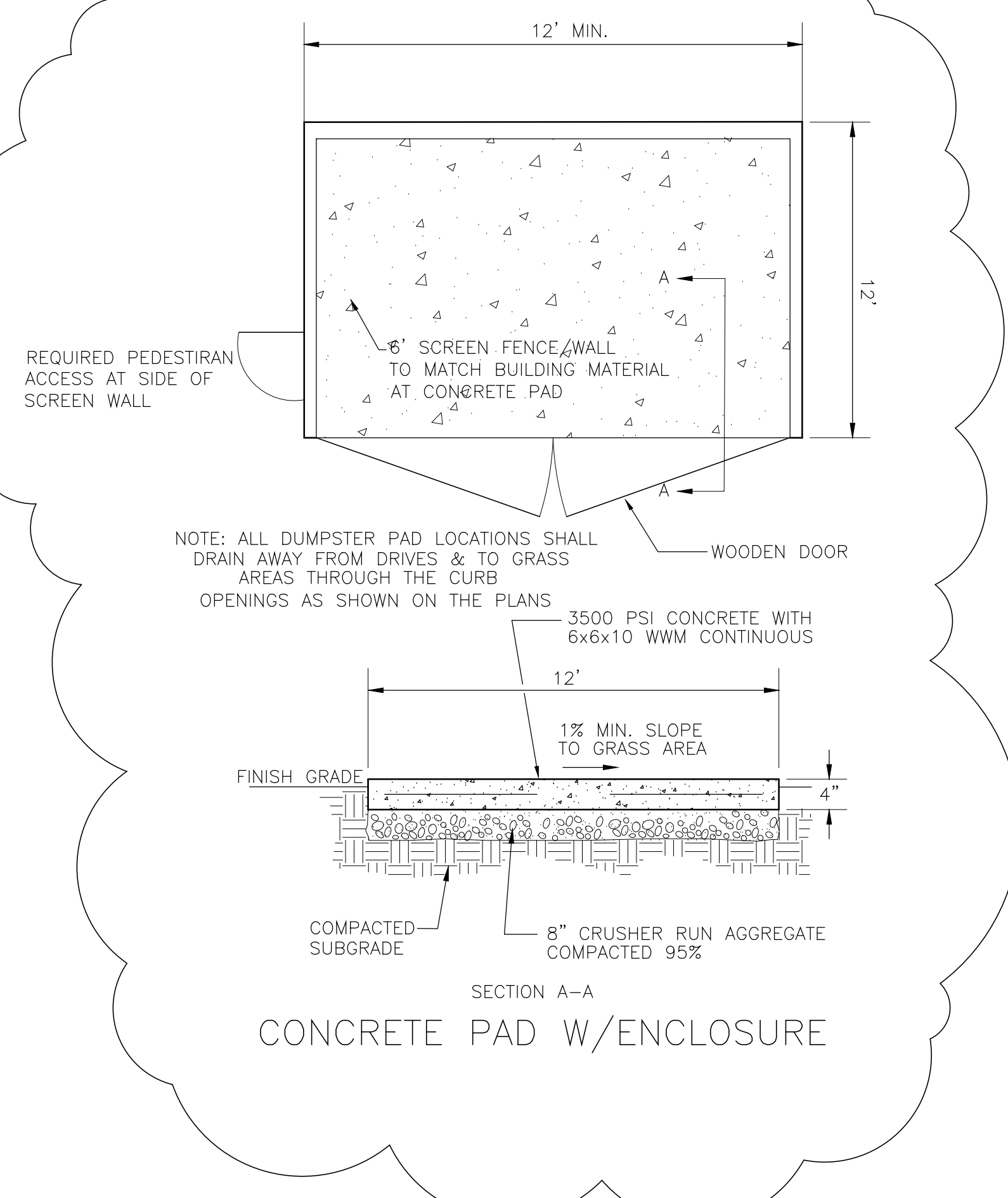
"TURN-DOWN" SIDEWALK DETAIL



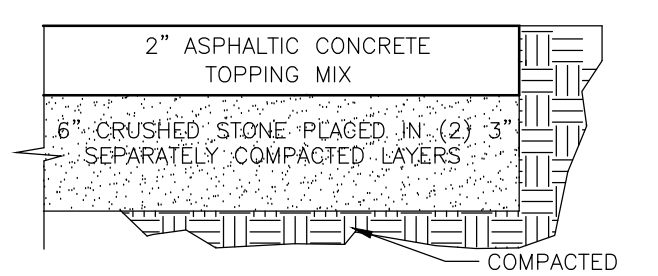
"FLUSH" SIDEWALK DETAIL



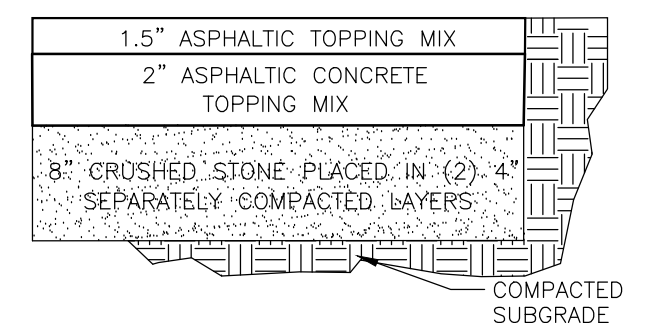
1' EXTRUDED CURB



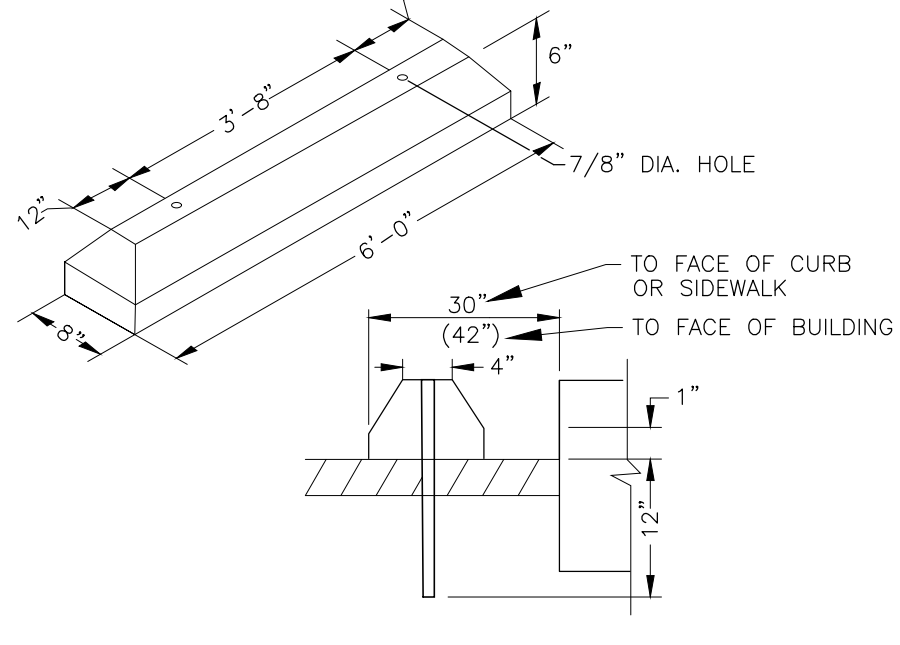
SECTION A-A
 CONCRETE PAD W/ENCLOSURE



REGULAR-DUTY PAVEMENT DETAIL

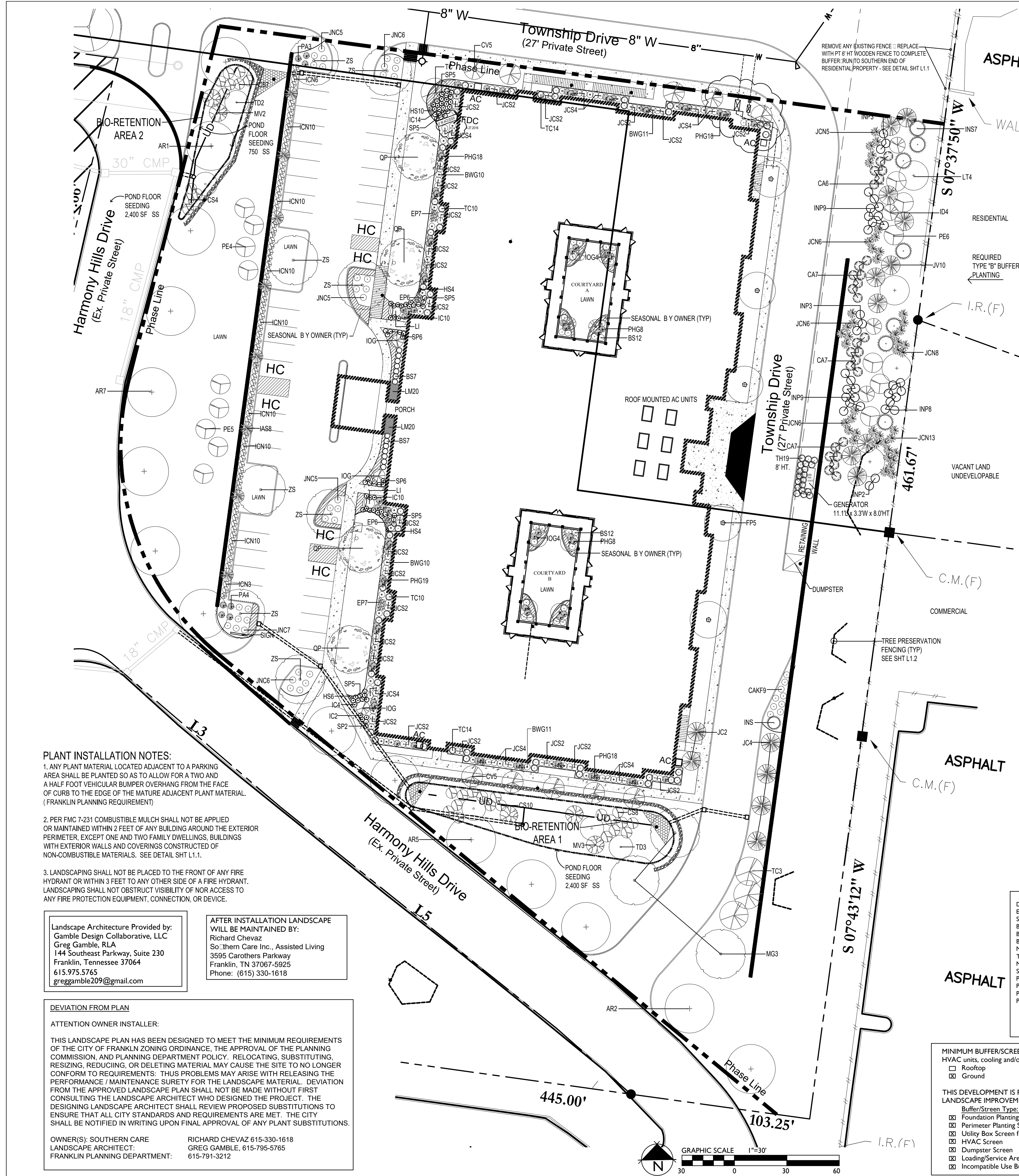


PAVEMENT DETAIL (HEAVY DUTY)



WHEEL STOP DETAIL

Details

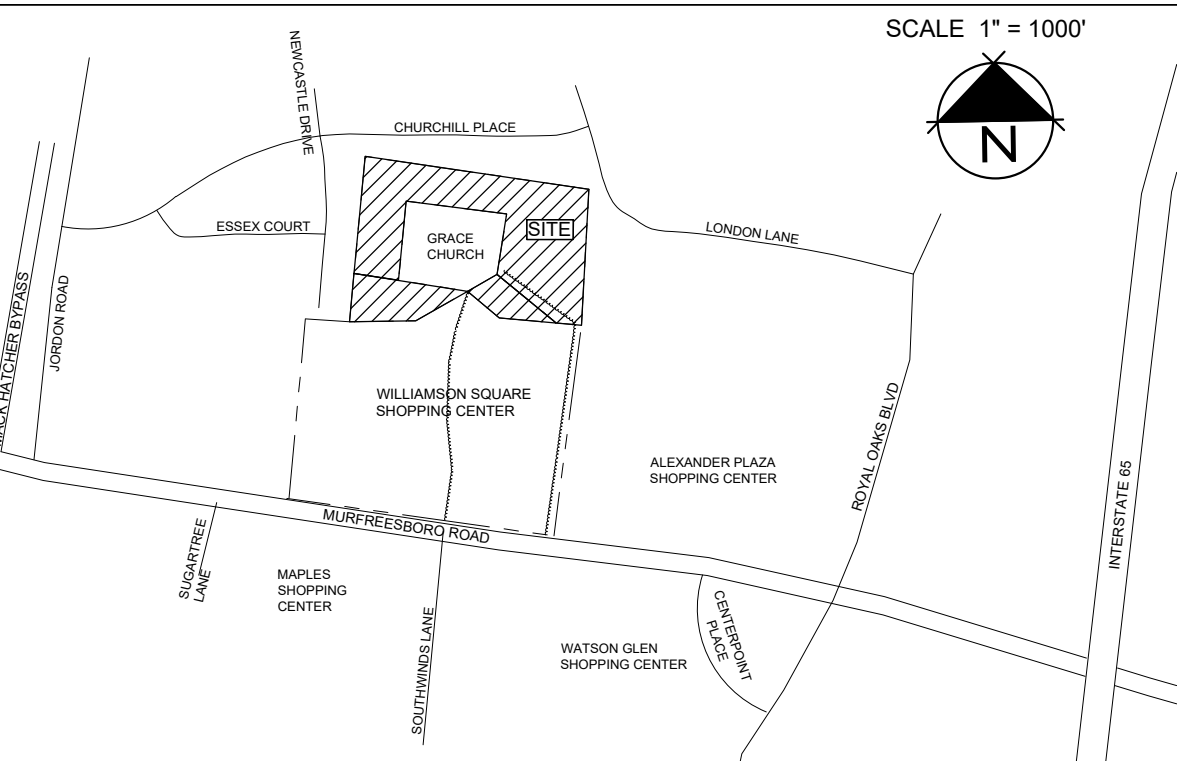


STREAM BUFFER NOTE:
 THE DEVELOPER IS PRESERVING THE STREAM BUFFER AT THE WESTERN EDGE OF DEVELOPMENT. SHOULD A SITE INSPECTION REVEAL THAT ADDITIONAL LANDSCAPE MATERIAL IS REQUIRED TO STABILIZE OR RE-VEGETATE THIS AREA DURING DEVELOPMENT, THE DEVELOPER WILL FURNISH SUCH MATERIAL.

THE COF LANDSCAPE ARCHITECT AND STORM WATER COORDINATOR WILL VISIT THE SITE AS NEEDED AND ADVISE DEVELOPER/DESIGNERS OF REQUIRED IMPROVEMENTS.

GDC
GAMBLE
 DESIGN COLLABORATIVE

DEVELOPMENT PLANNING AND LANDSCAPE ARCHITECTURE
 144 SOUTHEAST PARKWAY SUITE 230
 FRANKLIN, TENNESSEE 37064
 GREG.GAMBLE@GDC2099.COM
 615.975.5765



SCALE 1" = 1000'

PERMITS:
 COF #6414

Drawing Date:
 April 10, 2017

REVISIONS:

LANDSCAPE PLAN LIST

| QTY | SYM | BOTANICAL NAME | COMMON NAME | SIZE | HEIGHT | LEAF | SPACING | NOTES |
|---------------------------------|-----|--------------------------------------|---------------------------------------|---------------|------------|-----------|----------------|-------|
| CANOPY TREES | | | | | | | | |
| 14 | AR | ACER RUBRUM | 'RED SUNSET' MAPLE | 2" CAL. B/B | 10-12' HT. | DECIDUOUS | 50' ON CENTER | |
| 5 | FP | FRAXINUS PENNSYLVANICA | 'GREEN ASH' MARSHAL SEEDLESS' | 2" CAL. B/B | 10-12' HT. | DECIDUOUS | AS SHOWN | |
| 3 | MG | MAGNOLIA GRANDIFLORA | SOUTHERN MAGNOLIA | 2" CAL. B/B | 10-12' HT. | EVERGREEN | AS SHOWN | |
| 9 | PE | PINUS ECHINATA | SHORTLEAF PINE | 2" CAL. B/B | 10-12' HT. | EVERGREEN | AS SHOWN | |
| 4 | OP | QUERCUS PALUSTRIS | SOUTHERN RED OAK | 2" CAL. B/B | 10-12' HT. | DECIDUOUS | AS SHOWN | |
| 3 | TC | TSUGA CANADENSIS | CANADIAN HEMLOCK | 2" CAL. B/B | 10-12' HT. | EVERGREEN | AS SHOWN | |
| 8 | ZS | ZELKOVA SERRATA 'VILLAGE GREEN' | 'VILLAGE GREEN' JAPANESE ZELKOVA | 2" CAL. B/B | 10-12' HT. | DECIDUOUS | AS SHOWN | |
| UNDERSTORY TREES | | | | | | | | |
| 10 | CV | CRATAEGUS VIRIDIS | 'WINTER KING' HAWTHORNE | 1.5" CAL. B/B | 8-10' HT. | DECIDUOUS | AS SHOWN | |
| 7 | IOG | ILEX X OPACA 'GREENLEAF' | 'GREENLEAF' AMERICAN HOLLY | 1.5" CAL. B/B | 6-8' HT. | EVERGREEN | AS SHOWN | |
| 8 | IAS | ILEX ATTENUATA 'SAVANNAH' | 'SAVANNAH' HOLLY | 1.5" CAL. B/B | 6-8' HT. | EVERGREEN | AS SHOWN | |
| 6 | JC | JUNIPERUS CHINENSIS 'CANNAERTII' | 'CANNAERTII' JUNIPER | 1.5" CAL. B/B | 8-10' HT. | EVERGREEN | AS SHOWN | |
| 2 | LI | LAGERSTROEMIA INDICA | CRAPE MYRTLE TREE FORM- WHITE | 2" CAL. B/B | 8-10' HT. | DECIDUOUS | AS SHOWN | |
| SHRUBS | | | | | | | | |
| 38 | BS | BUXUS SEMPERVIRENS | COMMON BOXWOOD | 18" HT. | 18" HT. | EVERGREEN | AS SHOWN | |
| 40 | BWG | BUXUS MICROPHYLLA 'WINTER GEM' | 'WINTER GEM' BOXWOOD | 24" HT. | 24" HT. | EVERGREEN | AS SHOWN | |
| 79 | ICN | ILEX CORNUTA 'NEEDLEPOINT' | 'NEEDLEPOINT' HOLLY | 30" HT. | 30" HT. | EVERGREEN | 3' ON CENTER | |
| 40 | IC | ILEX CRENATA 'SOFT TOUCH' | 'SOFT TOUCH' HOLLY | 18" HT. | 18" HT. | EVERGREEN | 2.5' ON CENTER | |
| 34 | JNC | JUNIPERUS CHINENSIS 'NICK'S COMPACT' | 'NICK'S COMPACT' JUNIPER | 18" HT. | 18" HT. | EVERGREEN | 5' ON CENTER | |
| 72 | JCS | JUNIPERUS CHINENSIS 'SARGENTII' | 'SARGENTII' JUNIPER | 18" HT. | 18" HT. | EVERGREEN | 5' ON CENTER | |
| 39 | SP | SPIREA JAP. 'SHIBORI' | 'SHIBORI' SPIREA | 18" HT. | 18" HT. | DECIDUOUS | 2.5' ON CENTER | |
| 47 | TC | TAXUS CAPITATA | PYRAMIDAL YEW | B/B | 3' HT. | EVERGREEN | AS SHOWN | |
| 19 | TH | TAXUS MEDIA 'HICKS'S' | UPRIGHT YEW <or> SIMILAR 8' EVERGREEN | B/B | 8' HT. | EVERGREEN | AS SHOWN | |
| GRASSES & PERENNIALS | | | | | | | | |
| 9 | CAF | CALAMAGROSTIS ARUNDINACEA | 'KARL FOERSTER' GRASS | GAL | 4' HT. | | 4' ON CENTER | |
| 26 | EP | ECHINOLA PURPUREA | PURPLE CONEFLOWER | GAL | 24" HT. | | AS SHOWN | |
| 24 | HS | HEMEROCALLIS SPECIES | DAYLILY (REBLOOMER) | GAL | 30" HT. | | 2' ON CENTER | |
| 40 | LM | LIRIOPE MUSCARI | GREEN LIRIOPE | PINT | 15" HT. | | 1.5' ON CENTER | |
| 7 | PA | PENNISETUM ALOPECUROIDES | FOUNTAIN GRASS | GAL | 24" HT. | | 5-6' ON CENTER | |
| 88 | PHG | PENNISETUM A. 'HAEMELN' | 'HAEMELN' GRASS | GAL | 24" HT. | | AS SHOWN | |

BIO-RETENTION 1 & 2 LANDSCAPE LIST

| QTY | SYM | BOTANICAL NAME | COMMON NAME | SIZE | HEIGHT | LEAF | SPACING | NOTES |
|-------------------------|-----|-------------------------|--------------------------------|-------------|------------|----------------|---------------|-------|
| CANOPY TREES | | | | | | | | |
| 1 | AR | ACER RUBRUM | 'RED SUNSET' MAPLE | 2" CAL. B/B | 10-12' HT. | DECIDUOUS | 50' ON CENTER | |
| 5 | TD | TAXODIUM DISTICHUM | BALD CYPRESS | 2" CAL. B/B | 8-10' HT. | DECIDUOUS | AS SHOWN | |
| UNDERSTORY TREES | | | | | | | | |
| 5 | MV | MAGNOLIA VIRGINIANA | SWEETBAY MAGNOLIA- MULTI-TRUNK | 2" CAL. B/B | 8-10' HT. | SEMI-EVERGREEN | AS SHOWN | |
| SHRUBS | | | | | | | | |
| 139 | CS | CORNUS SERICEA | REDOSIER DOGWOOD | 18" HT. | 18" HT. | DECIDUOUS | 5' O.C. | |
| 139 | SS | SCHIZACGYRIUM SCOPARIUM | LITTLE BLUESTEM | SEED | 24" HT. | AS NOTED | | |

BUFFER LANDSCAPE LIST - TYPE "B"

| QTY | SYM | BOTANICAL NAME | COMMON NAME | SIZE | HEIGHT | LEAF | SPACING | NOTES |
|-------------------------|-----|-------------------------------------|--------------------------|---------------|---------|-----------|----------|----------------|
| CANOPY TREES | | | | | | | | |
| 10 | JV | JUNIPERUS VIRGINIANA | EASTERN RED CEDAR | 2" CAL. B/B | 8'-10' | EVERGREEN | AS SHOWN | |
| 4 | IT | ACER RUBRUM 'OCTOBER GLORY' | 'OCTOBER GLORY' MAPLE | 2" CAL. B/B | 10'-12' | DECIDUOUS | AS SHOWN | CENTRAL LEADER |
| 6 | PE | PINUS ECHINATA | SHORTLEAF | 2" CAL. B/B | 10-12' | EVERGREEN | AS SHOWN | FULL TO GROUND |
| UNDERSTORY TREES | | | | | | | | |
| 7 | INS | ILEX X NELLIE R STEVENS | 'NELLIE R STEVENS' HOLLY | 1.5" CAL. B/B | 6-8' | EVERGREEN | AS SHOWN | FULL TO GROUND |
| 4 | ID | ILEX DECIDUA | DECIDUOUS HOLLY | 1.5" CAL. B/B | 6-8' | DECIDUOUS | AS SHOWN | |
| SHRUBS | | | | | | | | |
| 27 | CA | CALLICARPA AMERICANA | AMERICAN BEAUTYBERRY | 5 GAL | 24" HT. | DECIDUOUS | 5' O.C. | |
| 34 | INP | ILEX CORNUTA X 'NEEDLEPOINT' | 'NEEDLEPOINT' HOLLY | 5 GAL | 24" HT. | EVERGREEN | 5' O.C. | |
| 44 | JNC | JUNIPERUS CHINENSIS 'NICKS COMPACT' | 'NICKS COMPACT' JUNIPER | 5 GAL | 24" HT. | EVERGREEN | 5' O.C. | |

LANDSCAPE REQUIREMENTS: (ACI)

| | | | | | |
|------------------------|---|--|---|--|---------------------------------------|
| TOTAL ACI AREA: 2.3 AC | TOTAL FORESTED AREA IN OPEN SPACE: 0.4 AC | TOTAL NON FORESTED OPEN SPACE: 0.0 AC | 82 ACI x 1.9 AC = 156 CANOPY ACI REQUIRED | 21 ACI x 1.9 AC = 40 UNDERSTORY ACI REQUIRED | 96 ACI x 1.9 AC = 182 SHRUBS REQUIRED |
| | | QUANTITY PROVIDED | | INCHES PROVIDED | |
| | | EXISTING TREES | REQUIRED | PROPOSED | CALIPER INCHES |
| | | | 27 | 52 | 104 |
| | | | | 7 | 14 |
| | | | | 31 | 47 |
| | | AGGREGATE CALIPER INCHES PROVIDED: 165 | | | |
| | | AGGREGATE CALIPER INCHES REQUIRED: 156 | | | |
| | | MINIMUM 18" HEIGHT SHRUBS (96 PER AC) | | 182 | 437 |

OPEN SPACE AREAS

| # | FORMAL TYPE | SOFT | ACREAGE |
|---|-------------|------------------|---------|
| 1 | POCKET PARK | 22,420 SF | 0.51 |
| 2 | POCKET PARK | 12,470 SF | 0.29 |
| 3 | POCKET PARK | 4,588 SF | 0.11 |
| | | TOTAL: 39,476 SF | 0.91 AC |

OPEN SPACE PROVISION

| | | |
|----------------------------|------------|------------|
| TOTAL SITE AREA: | 753,204 SF | 17.29 AC |
| TOTAL REQUIRED OPEN SPACE: | 37,660 SF | 0.86 AC 5% |
| FORMAL REQUIRED: | 37,660 SF | 0.86 AC 5% |
| FORMAL PROVIDED: | 39,476 SF | 0.91 AC |

PLANT INSTALLATION NOTES:

1. ANY PLANT MATERIAL LOCATED ADJACENT TO A PARKING AREA SHALL BE PLANTED SO AS TO ALLOW FOR A TWO AND A HALF FOOT VEHICULAR BUMPER OVERHANG FROM THE FACE OF CURB TO THE EDGE OF THE MATURE ADJACENT PLANT MATERIAL. (FRANKLIN PLANNING REQUIREMENT)
2. PER FMC 7-231 COMBUSTIBLE MULCH SHALL NOT BE APPLIED OR MAINTAINED WITHIN 2 FEET OF ANY BUILDING AROUND THE EXTERIOR PERIMETER, EXCEPT ONE AND TWO FAMILY DWELLINGS, BUILDINGS WITH EXTERIOR WALLS AND COVERINGS CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS. SEE DETAIL SHT L1.1.
3. LANDSCAPING SHALL NOT BE PLACED TO THE FRONT OF ANY FIRE HYDRANT OR WITHIN 3 FEET TO ANY OTHER SIDE OF A FIRE HYDRANT. LANDSCAPING SHALL NOT OBSTRUCT VISIBILITY OF NOR ACCESS TO ANY FIRE PROTECTION EQUIPMENT, CONNECTION, OR DEVICE.

Landscape Architecture Provided by:
 Gamble Design Collaborative, LLC
 Greg Gamble, RLA
 144 Southeast Parkway, Suite 230
 Franklin, Tennessee 37064
 615.975.5765
 greggamble209@gmail.com

AFTER INSTALLATION LANDSCAPE WILL BE MAINTAINED BY:
 Richard Chevez
 So:thern Care Inc., Assisted Living
 3595 Carothers Parkway
 Franklin, TN 37067-5925
 Phone: (615) 330-1618

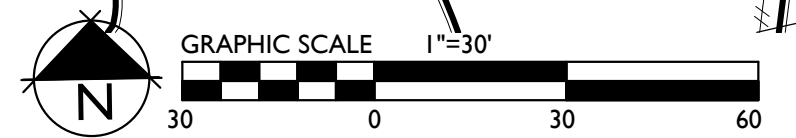
DEVIATION FROM PLAN

ATTENTION OWNER INSTALLER:

THIS LANDSCAPE PLAN HAS BEEN DESIGNED TO MEET THE MINIMUM REQUIREMENTS OF THE CITY OF FRANKLIN ZONING ORDINANCE, THE APPROVAL OF THE PLANNING COMMISSION, AND PLANNING DEPARTMENT POLICY. RELOCATING, SUBSTITUTING, RESIZING, REDUCING, OR DELETING MATERIAL MAY CAUSE THE SITE TO NO LONGER CONFORM TO REQUIREMENTS. THIS PROBLEMS MAY ARISE WITH RELEASING THE PERFORMANCE / MAINTENANCE SURETY FOR THE LANDSCAPE MATERIAL. DEVIATION FROM THE APPROVED LANDSCAPE PLAN SHALL NOT BE MADE WITHOUT FIRST CONSULTING THE LANDSCAPE ARCHITECT WHO DESIGNED THE PROJECT. THE DESIGNING LANDSCAPE ARCHITECT SHALL REVIEW PROPOSED SUBSTITUTIONS TO ENSURE THAT ALL CITY STANDARDS AND REQUIREMENTS ARE MET. THE CITY SHALL BE NOTIFIED IN WRITING UPON FINAL APPROVAL OF ANY PLANT SUBSTITUTIONS.

OWNER(S): SOUTHERN CARE
 LANDSCAPE ARCHITECT: GREG GAMBLE, 615-975-5765
 FRANKLIN PLANNING DEPARTMENT: 615-791-3212

RICHARD CHEVAZ 615-330-1618
 GREG GAMBLE, 615-975-5765
 615-791-3212



INCOMPATIBLE USE BUFFER

| | |
|--|--|
| Developing Use: | MECO-9 RESIDENTIAL |
| Existing Adjacent Use/Zoning: | 4.6 |
| Site Acreage: | 8 |
| Buffer Class: | 56.25' (w/Fence) |
| Buffer Width: | 240' |
| Buffer Length: | 31 |
| Minimum Trees Required: | 105 |
| Trees Provided (Buffer): | 31 |
| Minimum Shrubs Required: | 105 |
| Shrubs Provided (Buffer): | 105 |
| Percent of Canopy Trees in Buffer (40% Minimum): | 65% |
| Percent of Evergreen Trees in Buffer (30% Minimum): | 74% |
| Percent of Evergreen Shrubs in Buffer (75% Minimum): | 74% |
| Percent of each Plant Genus in Buffer (40% Maximum): | 20% CalliCARPA 40% Juniperus 33% Ilex 3% Liriodendron 4% Pinus |

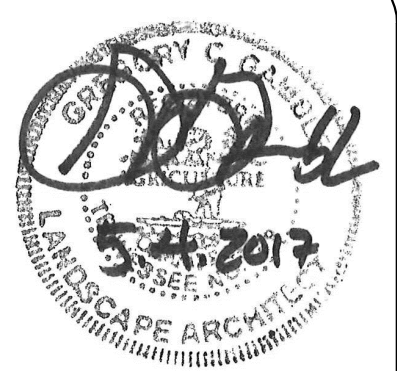
MINIMUM BUFFER/SCREENING REQUIREMENTS:

- HVAC units, cooling and/or mechanical equipment are mounted on the:
 - Roof
 - Ground

THIS DEVELOPMENT IS REQUIRED TO HAVE THE FOLLOWING LANDSCAPE IMPROVEMENTS:

- | Buffer/Screen Type: | Purpose |
|------------------------------|--|
| Foundation Planting | Along Primary Facade |
| Perimeter Planting Strip | Screen Vehicle Use Areas and to Create "Modules" |
| Utility Box Screen from view | Screen Utility Boxes and Meters from View |
| HVAC Screen | Screen HVAC from View |
| Dumpster Screen | Screen Dumpster from View |
| Loading/Service Area | Buffer the Street or Residential Property |
| Incompatible Use Buffer | Buffer the adjacent less intensive use |

Site Plan for
Township PUD
 COF Project Number 5841
 1020 Harmony Hills Drive
 Franklin, Williamson County, Tennessee
 Map 77 G, Parcels 6.01, 6.03, 6.04



Dale & Associates
 Consulting Civil Engineering
 Landscape Planning & Zoning
 514 Healy Pike
 Nashville, Tennessee 37204
 (615) 297-5166

D&A Project #12017
 Township PUD
 City of Franklin Project #6414

L1.0
 Sheet 11 of 20

Landscape Plan

CITY OF FRANKLIN LANDSCAPE NOTES:

1. ANY PLANT MATERIAL THAT DIES, TURNS BROWN OR DEFOLIATES SHALL BE REPLACED WITHIN ONE YEAR OR BY THE NEXT GROWING SEASON, WHICH EVER COMES FIRST. OTHER DEFECTIVE LANDSCAPE MATERIAL SHALL BE REPLACED WITHIN THREE MONTHS.
2. ALL TREES SHALL MEET FRANKLIN'S MINIMUM SIZE AND QUALITY STANDARDS. ALL PLANTS SHALL BE HEALTHY, VIGOROUS MATERIAL, FREE OF PEST AND DISEASE. ALL ROOTBALLS, CONTAINERS, AND HEIGHT TO WIDTH RATIOS SHALL CONFORM TO THE SIZE STANDARDS SET FORTH IN THE AMERICAN STANDARDS FOR NURSERY STOCK, CURRENT EDITION.
3. ALL REQUIRED TREES AND SHRUBS SHALL MEET THE MINIMUM SIZE AND QUANTITY AS LISTED IN THE PLANT SCHEDULE.
4. PLANT MATERIAL SHALL NOT OBSCURE TRAFFIC OR PARKING SIGNS/SIGNALS OR VEHICULAR SIGHT LINES.
5. TREE TOPPING IS NOT PERMITTED.
6. ADDITIONAL SCREENING MAY BE REQUIRED IF THE INSPECTION FOR THE RELEASE OF THE PERFORMANCE SURETY REVEALS THAT THE REQUIRED SCREENING IS NOT EFFECTIVE.
7. ALL REQUIRED TREE PROTECTION FENCING SHALL BE INSTALLED AND INSPECTED BY THE CODES DEPARTMENT PRIOR TO LAND DISTURBING ACTIVITIES.
8. ANY SITE OR LANDSCAPE CHANGES (INCLUDING BUT NOT LIMITED TO A CHANGE IN DESIGN, A REDUCTION IN SIZE OR NUMBER OF PLANT MATERIAL, OR THE RELOCATION OF OVERHEAD OR UNDERGROUND UTILITIES) SHALL REQUIRE A REVISED LANDSCAPE PLAN TO BE SUBMITTED AND APPROVAL PRIOR TO THE LANDSCAPE INSTALLATION.
9. EXISTING TREES ACCEPTED IN PARTIAL COMPLIANCE OF THE LANDSCAPE REQUIREMENTS FOR THIS SITE SHALL BE ACCESSIBLE AND FLAGGED PRIOR TO ALL LANDSCAPE INSPECTIONS.
10. ANY EXISTING TREE, SHOWN AS BEING PRESERVED ON APPROVED PLANS THAT IS REMOVED, DIES OR IS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED AS REQUIRED IN THE ZONING ORDINANCE.
11. SCREENING PROPOSED AROUND ANY UTILITY BOX OR TRANSFORMER IS REQUIRED TO BE EVERGREEN AND ADEQUATELY SCREEN THE OBJECT. THE PROPOSED EVERGREEN PLANT MATERIAL SHALL BE REPLACED IF IT IS NOT OF A HEIGHT SUFFICIENT TO SCREEN THE OBJECT.
12. ALL PLANT MATERIAL SHALL BE FROM THE FRANKLIN PLANT LIST UNLESS PRIOR APPROVAL IS RECEIVED FROM THE CITY.
13. ALL TREE-PROTECTION FENCING SHALL BE IN PLACE PRIOR TO THE ISSUANCE OF A GRADING PERMIT AND SHALL BE MAINTAINED IN GOOD WORKING ORDER UNTIL ALL CONSTRUCTION ACTIVITY IS COMPLETED. ANY REQUIRED EROSION CONTROL MEASURES SHALL BE PLACED OUTSIDE OF ANY TREE PROTECTION FENCING.
14. TOP SOIL USED IN ALL LANDSCAPE AREAS SHALL BE SCREENED PRIOR TO DEPOSITION IN PLANTING AREAS AND ISLANDS.
15. ANY PLANT MATERIAL LOCATED ADJACENT TO A PARKING AREA SHALL BE PLANTED SO AS TO ALLOW FOR A TWO AND A HALF FOOT VEHICULAR BUMPER OVERHANG FROM THE FACE OF CURB TO THE EDGE OF THE MATURE ADJACENT PLAN MATERIAL.
16. THE OWNER ACKNOWLEDGES THAT PLANTING LANDSCAPE MATERIAL IN A DEDICATED EASEMENT DOES NOT WAIVE OR MODIFY THE CITY OF FRANKLIN'S RIGHTS AS THE EASEMENT HOLDER. THE OWNER UNDERSTANDS THAT THE CITY OF FRANKLIN, ITS AUTHORIZED CONTRACTOR OR APPLICABLE PRIVATE UTILITY MAY AT ANY TIME AND FOR ANY REASON PERFORM WORK WITHIN THE DEDICATED EASEMENT. THE CITY, ITS AUTHORIZED CONTRACTOR OR APPLICABLE PRIVATE UTILITY SHALL HAVE NO LIABILITY TO THE OWNER FOR ANY DAMAGE TO THE LANDSCAPE MATERIAL IN THE EASEMENT WHEN SAID DAMAGE IS DUE TO WORK WITHIN THE EASEMENT. THE OWNER MAY BE HELD RESPONSIBLE FOR THE REMOVAL OF THE LANDSCAPE MATERIAL TO ENABLE WORK TO BE DONE. THE OWNER SHALL BE SOLELY RESPONSIBLE FOR ANY COST INCURRED IN REPAIRING AND/OR REPLACING THE REQUIRED LANDSCAPE MATERIAL.

CITY OF FRANKLIN MINIMUM PLANT QUALITY AND SIZE STANDARDS

1. ALL NEWLY PLANTED LANDSCAPE PLANT MATERIALS SHALL CONFORM TO THE LATEST VERSIONS OF THE AMERICAN STANDARD OF NURSERY STOCK (ANSI Z60).
2. ALL TYPE 1, 2, AND 3 TREES (AS DEFINED IN ANSI Z60.1) USED TO MEET THE REQUIREMENTS OF THIS SUBSECTION SHALL HAVE THE FOLLOWING CHARACTERISTICS:
 - A. DECIDUOUS TREES SHALL HAVE ONE DOMINANT TRUNK WITH THE TIP OF THE LEADER ON THE MAIN TRUNK LEFT INTACT AND THE TERMINAL BUD ON THE CENTRAL LEADER AT THE HIGHEST POINT ON THE TREE.
 - B. TREES WITH FORKED TRUNKS ARE ACCEPTABLE IF ALL THE FOLLOWING CONDITIONS ARE MET:
 1. THE FORK OCCURS IN THE UPPER ONE-THIRD OF THE TREE.
 2. ONE FORK IS LESS THAN TWO-THIRDS OF THE TREE.
 3. THE TOP ONE-THIRD OF THE SMALLER FORK IS REMOVED AT THE TIME OF PLANTING.
 - C. NO BRANCH IS GREATER THAN TWO-THIRDS THE DIAMETER OF THE TRUNK DIRECTLY ABOVE THE BRANCH.
 - D. SEVERAL BRANCHES ARE LARGER IN DIAMETER AND OBVIOUSLY MORE DOMINANT.
 - E. BRANCHING HABIT IS MORE HORIZONTAL THAN VERTICAL AND NO BRANCHES ARE ORIENTED NEARLY VERTICAL TO THE TRUNK.
 - F. BRANCHES ARE EVENLY DISTRIBUTED AROUND THE TRUNK WITH NO MORE THAN ONE MAJOR BRANCH LOCATED DIRECTLY ABOVE ANOTHER AND THE CROWN IS FULL OF FOLIAGE THAT IS EVENLY DISTRIBUTED AROUND THE TREE.

TREE PROTECTION GENERAL NOTES:

1. SEE FINAL CIVIL CONSTRUCTION PLANS FOR PLACEMENT AND DETAILS OF TREE PROTECTION FENCE.
2. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL STAKE THE LIMITS OF THE TREE PRESERVATION AREAS AND ASSOCIATED TREE CANOPY.
3. TREE PROTECTION FENCING, ORANGE PLASTIC BARRIER CONSTRUCTION FENCING, SHALL BE INSTALLED AND MAINTAINED AT THE LIMITS OF THE TREE PRESERVATION AREAS PRIOR TO CONSTRUCTION. REVIEW AND APPROVAL OF THE FENCING BY THE CITY OF FRANKLIN IS REQUIRED PRIOR TO GRADING PERMIT.
4. ALL GRADING WITHIN THE ROOT ZONE OF TREES WITHIN THE TREE PRESERVATION AREAS SHALL BE DONE BY HAND OR WITH SMALL EQUIPMENT TO REDUCE DAMAGE TO THE TREE ROOTS.
5. EQUIPMENT STORAGE AND/OR MATERIALS STORAGE WITHIN THE TREE PRESERVATION AREA IS STRICTLY PROHIBITED.
6. ROOTS EXPOSED BY CONSTRUCTION ACTIVITIES SHALL BE PRUNED FLUSH WITH THE GROUND AND/OR BACKFILLED WITH TOP SOIL AS SOON AS POSSIBLE.

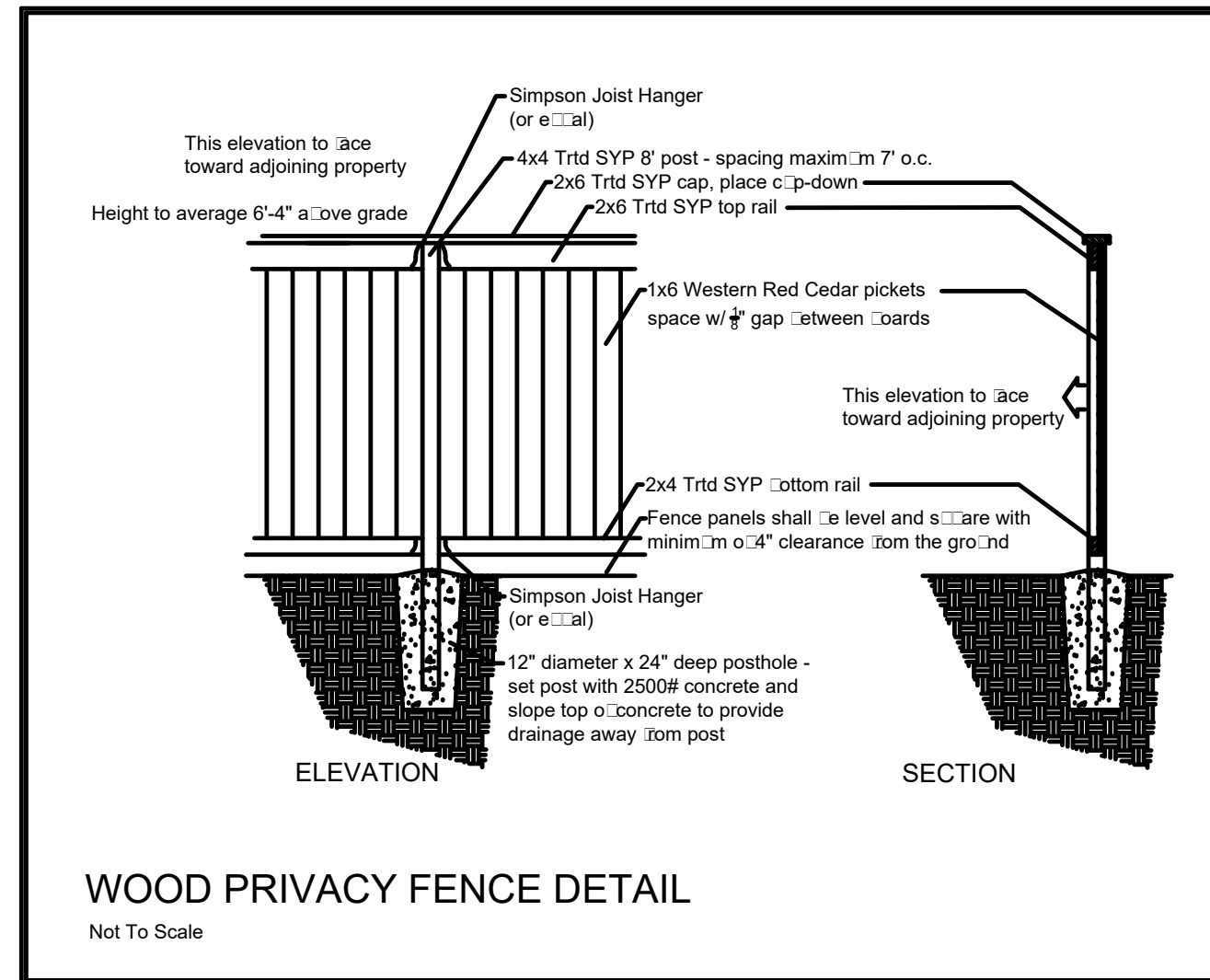
CLEARING OF EXOTIC / INVASIVE PLANT MATERIAL

1. REMOVAL OF EXOTIC / INVASIVE PLANTS SHOULD OCCUR DURING MONTHS WHEN THE PLANTS ARE DORMANT. IF CONSTRUCTION ACTIVITY DOES NOT PERMIT THIS TIMING, CONTRACTOR SHALL COORDINATE WITH LANDSCAPE ARCHITECT, NATIVE HORTICULTURIST AND CITY OF FRANKLIN STORMWATER MANAGEMENT COORDINATOR FOR PROPER REMOVAL.
2. ALL MATERIAL IDENTIFIED IN THE TENNESSEE EXOTIC PEST PLANT COUNCIL'S INVASIVE EXOTIC PEST PLANTS LIST (DECEMBER 2009, 2ND EDITION) THAT ARE PRESENT WITHIN THE BUFFER MANAGEMENT ZONE, SHALL BE REMOVED.
3. ALL MATERIAL SHALL BE HAND-CLEAR AND CUT TO GROUND TO LIMIT DISTURBANCE TO SOILS. NO ROOT REMOVAL SHALL BE PERMITTED.
4. UPON REMOVAL, EXPOSED STUMPS SHALL BE TREATED WITH HERBICIDE CONTAINING GLYPHOSATE PER PACKAGE DIRECTIONS.
5. REMOVE LOOSE AND DEAD DEBRIS.
6. EXCLUDE AREAS OF ROCK OUT-CROPPINGS.
7. PLANTED TREES AND SHRUBS MAY BE FIELD ADJUSTED BY LANDSCAPE ARCHITECT FOR EVEN COVERAGE WHERE NECESSARY.

LANDSCAPE PLANTING GENERAL NOTES

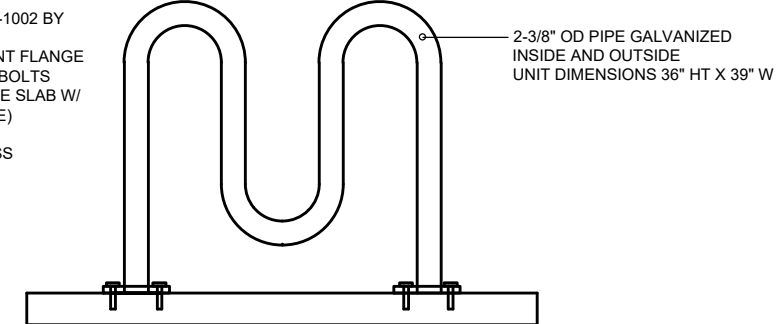
1. THE LANDSCAPE CONTACTOR SHALL BE RESPONSIBLE FOR CONFIRMING THE QUANTITIES OF ALL MATERIALS. THE QUANTITIES ON THE PLAN SHALL TAKE PRECEDENCE OVER THE PLANT LIST.
2. SUBSTITUTIONS OF TYPE, SIZE, OR SPACING OF PLANTS MAY NOT BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER'S LANDSCAPE ARCHITECT. AND MAY RESULT IN THE RESUBMITAL OF LANDSCAPE PLANS TO THE CITY OF FRANKLIN FOR APPROVAL PRIOR TO INSTALLATION.
3. ALL CONSTRUCTION ACTIVITY SHALL BE COORDINATED WITH TENNESSEE ONE CALL PRIOR TO DIGGING. ALL DAMAGE TO UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE PER UTILITY PROVIDER'S STANDARDS.
4. THE PLANT LIST SPECIFICATIONS PROVIDED WITHIN THE PLANT LIST FOR HEIGHT AND SIZE ARE MINIMUMS.
5. ALL PLANT BEDS SHALL BE RAKED AND CLEARED OF LARGE ROCKS. ALL LARGE DIRT CLOUDS SHALL BE PULVERIZED OR REMOVED PRIOR TO PLANTING.
6. ALL LARGE DIRT CLOUDS RESULTING FROM PLANTING SHALL BE PULVERIZED AND REMOVED PRIOR TO MULCHING.
7. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL OR ANY DEFECTIVE WORKMANSHIP.
8. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL STAKING AND LAYOUT OF PLANT BEDS.
9. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE DRAINAGE OF ALL TREE AND SHRUB PITS. A PVC OR GRAVEL SUMP AT THE BASE OF THE TREE WELL MAY BE REQUIRED IN AREAS WHERE CLAY SOILS DO NOT ADEQUATELY DRAIN.
10. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT WHEN THE PLANT MATERIALS ARE AT THE JOB SITE FOR REVIEW PRIOR TO INSTALLATION.
11. AREAS WITHIN THE STREAM SIDE BUFFER SHALL BE HYDRO-MULCHED PER PLAN SPECIFICATIONS. NO ADDITIONAL MULCH OR SOD ARE REQUIRED IN THESE PLANS.

- TREE PROTECTION GENERAL NOTES:**
1. The tree protection barriers shall be constructed in accordance with the following:
 - a. any permits, and shall remain intact throughout the entire period of construction.
 2. The tree protection barrier shall be installed as far as possible on this plan or a distance to the radius of the dripline, whichever is greatest, as measured from the trunk of the protected tree.
 3. Any required excavation in or around the protection zone to accommodate underground services, utilities, etc. shall be indicated on the plan, and shall be completed by hand. In addition, related root pruning shall be accomplished via ANSI A-300-95 standard so as to minimize impact on the general root system.
 4. The storage of building materials or stock piling shall not be permitted within the limits of or against the protection barriers.
 5. Trees within the protection barriers must be adequately cared for throughout the construction process (i.e., they must be watered sufficiently). Fill shall not be placed upon the root system as to endanger the health or life of the affected tree.
 6. There shall be no clearing, grading, construction, storage, or disturbance of vegetation allowed in the stream buffer except as permitted by the City Engineer.

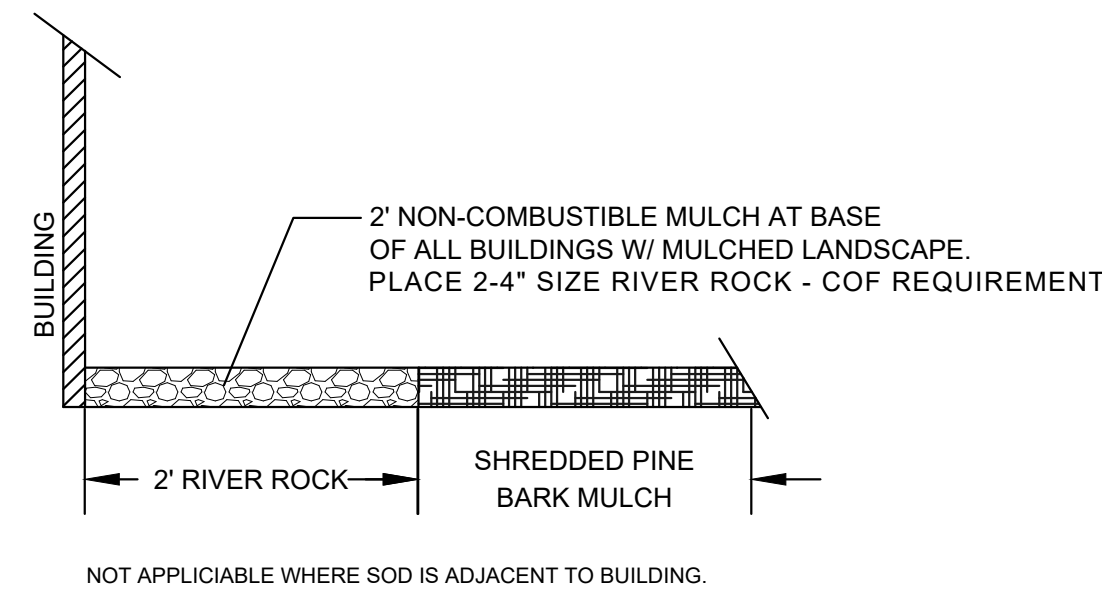


GENERAL NOTES:

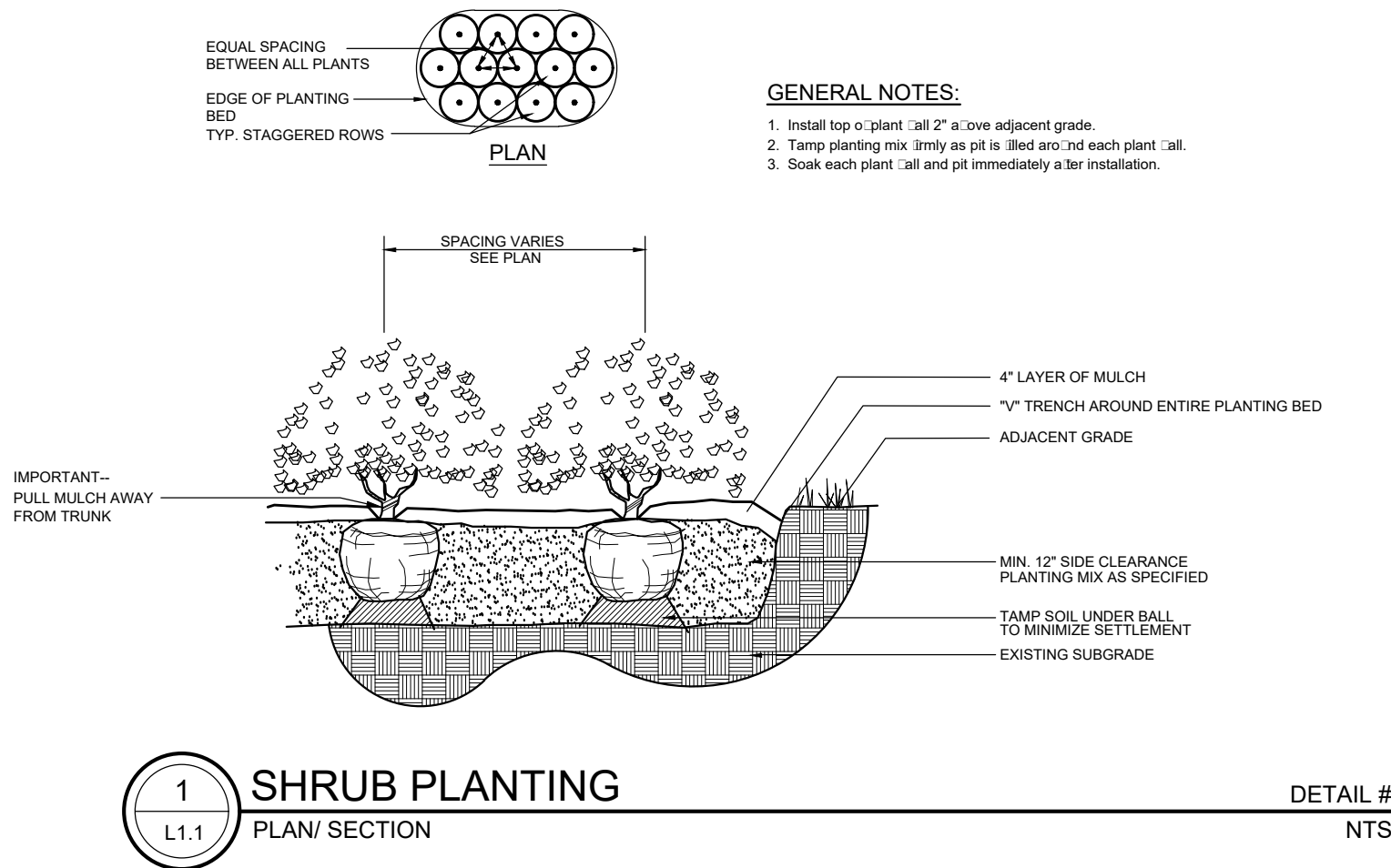
1. 5 BIKE WAVE RACK MODEL NO. 526-1002 BY THE PARK CATALOG (800-695-3500)
- ITEM NO. 526-1002 W/ SURFACE MOUNT FLANGE
2. MOUNT WITH 3/4" X 4" GALVANIZED BOLTS
3. MOUNT RACK ON 4"X8" CONCRETE SLAB W/ W/M (OVER 6" INCH DEEP ROCK BASE)
4. SEE SITE PLAN FOR LOCATION
5. COLOR CHOICE DARK GRAY UNLESS OWNER SPECIFIES OTHERWISE



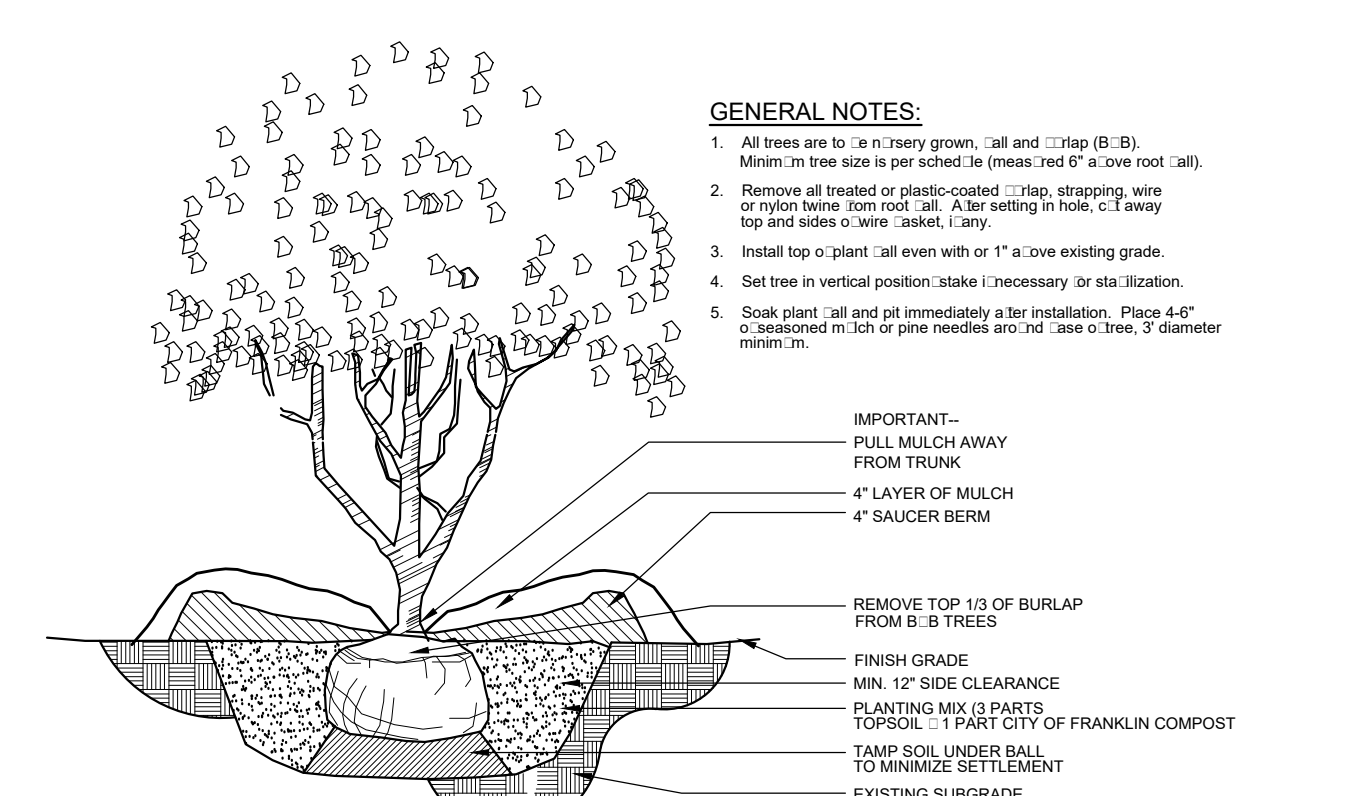
3 BIKE RACK PLAN/SECTION DETAIL # NTS



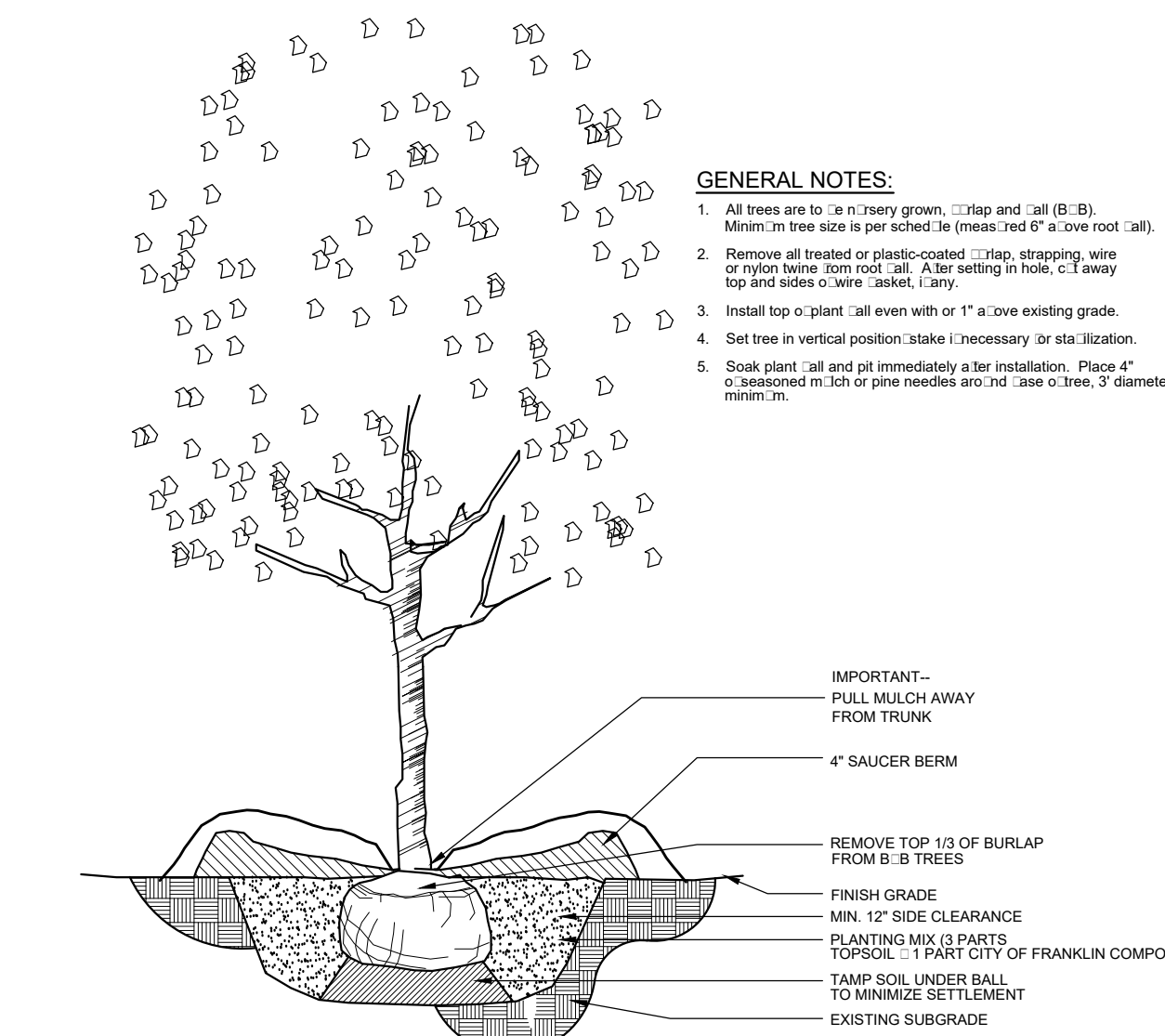
1 BUILDING FOUNDATION MULCH SECTION DETAIL # NTS



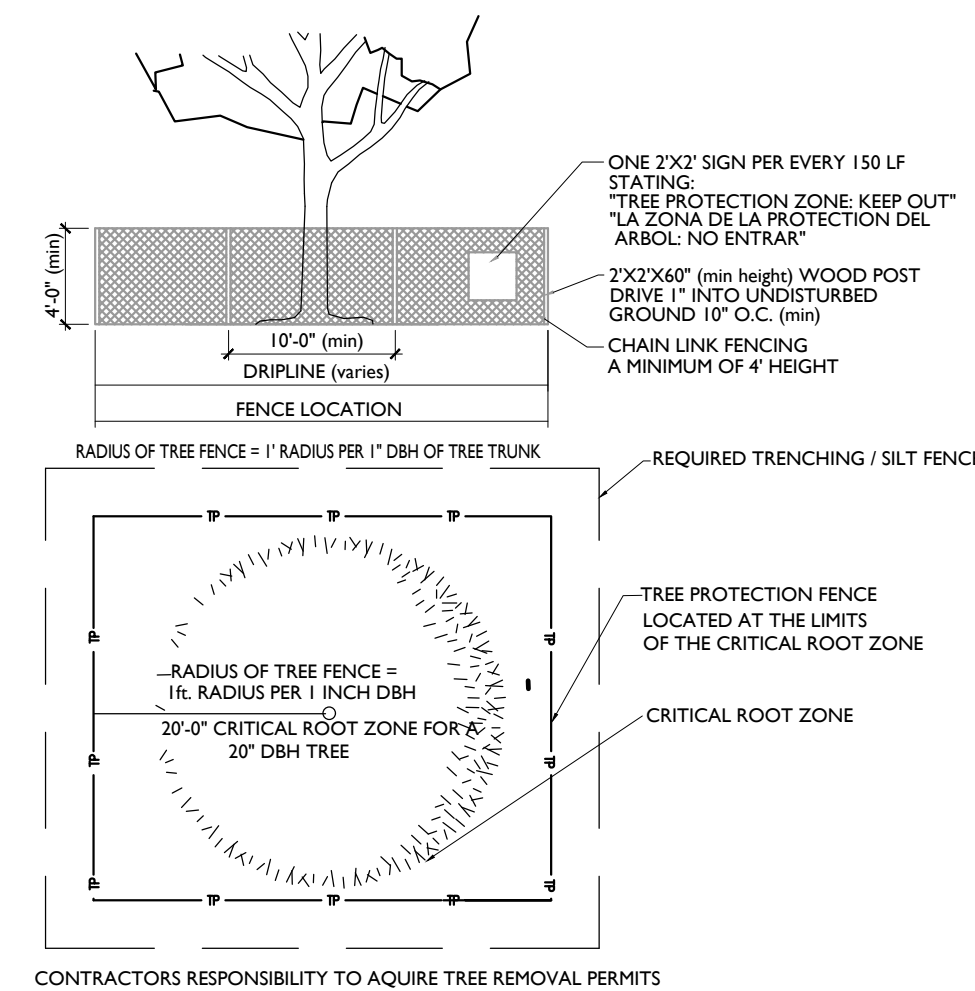
1 SHRUB PLANTING PLAN/SECTION DETAIL # NTS



2 UNDERSTORY TREE SECTION DETAIL # NTS



5 SINGLE TRUNK DECIDUOUS TREE SECTION DETAIL # NTS



TREE PROTECTION FENCING DETAIL

SEE ADDITIONAL NOTES TOP OF PAGE L2.1

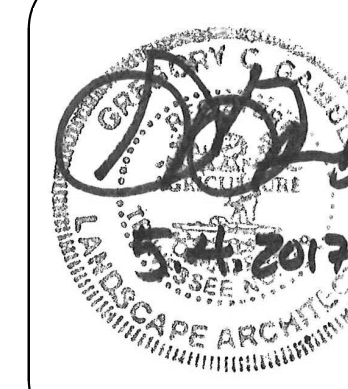
GDC
GAMBLE
DESIGN COLLABORATIVE
DEVELOPMENT PLANNING AND LANDSCAPE ARCHITECTURE
144 SOUTHEAST PARKWAY
SUITE 230
FRANKLIN, TENNESSEE 37064
GREG GAMBLE
ggreg@gdccollab.com
615.975.5765

PERMITS:
COF #6414

Drawing Date:
April 10, 2017

REVISIONS:

Site Plan for
Township PUD
COF Project Number 5841
1020 Harmony Hills Drive
Franklin County, Tennessee
Map 79 G, Parcels 601, 603, 604



Dale & Associates
Consulting Civil Engineering
Landscape Planning & Zoning
514 Health Plaza
Nashville, Tennessee 37244
(615) 251-5166

D&A Project #12017
Township PUD
City of Franklin Project #6414

L1.1
Sheet 12 of 20

Landscape Details



GAMBLE
DESIGN COLLABORATIVE
DEVELOPMENT PLANNING AND
LANDSCAPE ARCHITECTURE
144 SOUTHEAST PARKWAY
SUITE 230
FRANKLIN, TENNESSEE 37064
GREG GAMBLE
ggamble209@gmail.com
615.975.5765

PERMITS:
COF #6414

Drawing Dates:
April 10, 2017

REVISIONS:

Site Data:

Project Name: Township PUD
Address: 1020 Harmony Hills Drive
Franklin, TN 37203
Civil District: 9th
Map, Parcels: M 79G, Grp B, P 6.01-6.03-6.04

Owner: J.D. Eatherly
1720 West End Ave. #600
Nashville, Tennessee 37027
(615) 373-8850

Developers: J.D. Eatherly
1720 West End Ave. #600
Nashville, Tennessee 37027
(615) 373-8850

Site Area: 17.291 acres
6.01- 1.215 Ac 6.03- 13.683 Ac 6.04- 2.393 Ac
Townhomes 12.69 Ac / 552,808.40 SF
Assisted Living 4.60 Ac / 200,387.56 SF

Richard Chevez
3595 Carothers Pkwy
Franklin, TN 37067
(615) 330-1618

SPECIMEN TREE LIST

| Number | Type | Size | Health | Status | CI Trees Removed |
|--------|-----------|------|--------|---------|---------------------|
| 4 | LOCUST | 28" | FAIR | | Townhome Assist Liv |
| 37 | OAK | 26" | POOR | REMOVED | |
| 40 | OAK | 24" | FAIR | REMOVED | |
| 49 | HACKBERRY | 30" | POOR | REMOVED | |
| 54 | OAK | 30" | POOR | REMOVED | |
| 73 | OAK | 36" | GOOD | REMOVED | 36 |
| 88 | HACKBERRY | 26" | POOR | REMOVED | |
| 137 | HACKBERRY | 32" | POOR | REMOVED | |
| 158 | OAK | 30" | POOR | REMOVED | |
| 209 | HICKORY | 30" | POOR | REMOVED | |
| 213 | OAK | 32" | GOOD | REMOVED | 32 |
| 262 | HACKBERRY | 28" | POOR | REMOVED | |
| 266 | HACKBERRY | 30" | POOR | REMOVED | |
| 328 | HACKBERRY | 24" | POOR | REMOVED | |
| 344 | HACKBERRY | 28" | FAIR | REMOVED | |
| 352 | HACKBERRY | 30" | POOR | REMOVED | |
| 407 | HACKBERRY | 32" | POOR | REMOVED | |
| 415 | HACKBERRY | 24" | POOR | REMOVED | |
| 420 | HACKBERRY | 34" | POOR | REMOVED | |
| 672 | HACKBERRY | 28" | POOR | REMOVED | |
| 704 | HACKBERRY | 32" | POOR | REMOVED | |
| 733 | HACKBERRY | 24" | GOOD | REMOVED | 24 |
| 953 | LOCUST | 24" | POOR | REMOVED | |
| 1431 | LOCUST | 24" | GOOD | REMOVED | 24 |
| 1597 | HACKBERRY | 36" | GOOD | REMOVED | 36 |
| 1598 | CHERRY | 28" | GOOD | REMOVED | 28 |
| 1599 | CHERRY | 32" | GOOD | REMOVED | 32 |
| 1601 | CHERRY | 28" | GOOD | | |
| 1606 | CHERRY | 24" | GOOD | | |
| 1608 | CHERRY | 30" | GOOD | | |
| 1609 | CHERRY | 28" | GOOD | | |
| 1610 | CHERRY | 36" | GOOD | | |
| 1631 | HACKBERRY | 24" | GOOD | | |
| 1633 | HACKBERRY | 24" | GOOD | | |
| 1640 | HACKBERRY | 24" | GOOD | | |
| TOTAL | | | | | 144 68 |

TOTAL HEALTHY INCHES REMOVED: 212 INCHES (Townhomes 144 & Assisted Living 68)
REPLACEMENT REQUIRED: 424 INCHES
LESS 14" > TREES PRESERVED: -1,302
TOTAL TO BE REPLACED: 0 INCHES
0" REPLACED USING NEW TREES ON-SITE

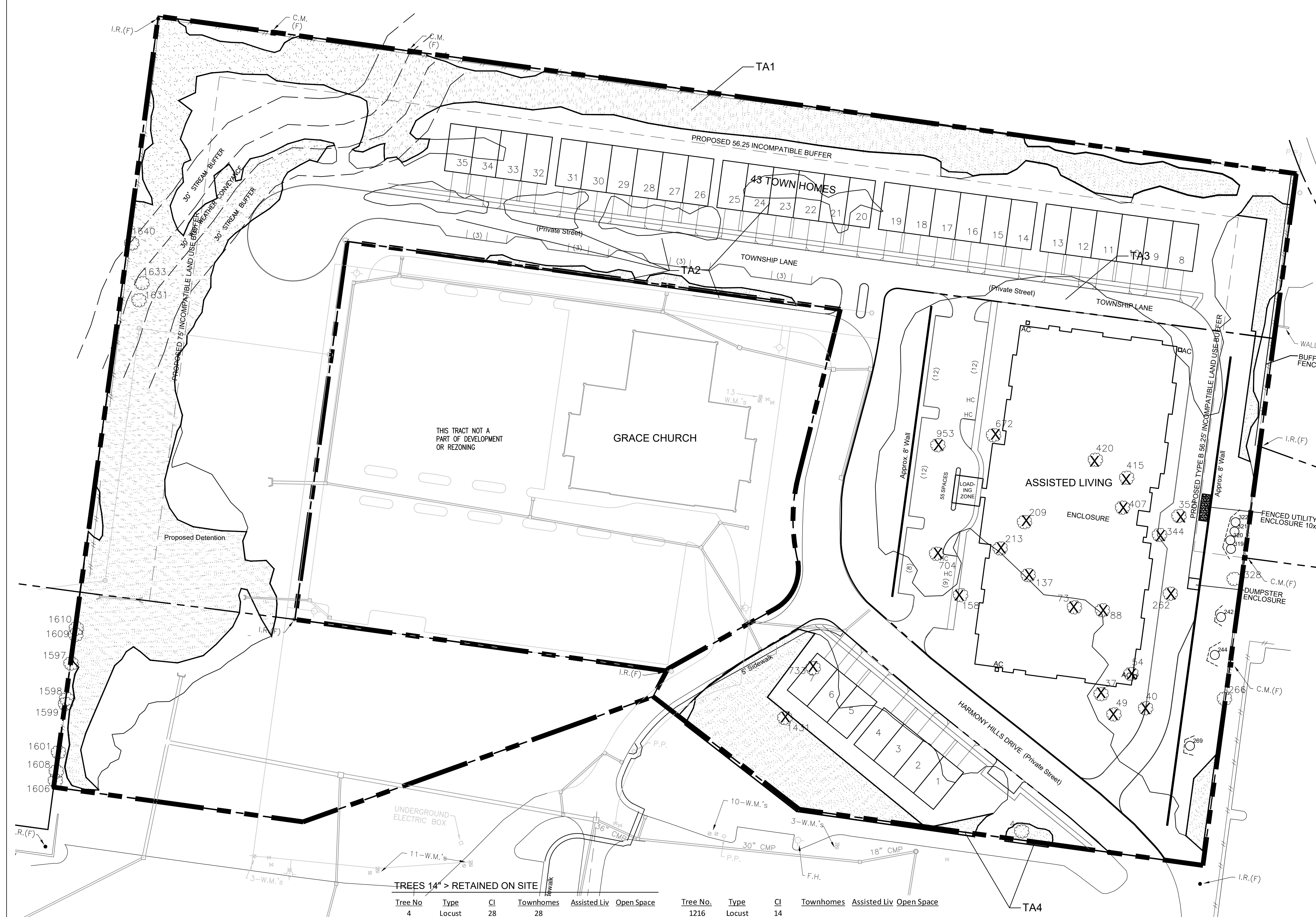
REQUIRED TREE CANOPY PRESERVATION CHART

| | |
|-----------------------------|----------------------------------|
| TOTAL SITE AREA: | 753,219 SF (17.29 AC) |
| EXISTING CANOPY AREA: | 350,617 SF (8.05 AC) 47% OF SITE |
| SD-R REQUIRED PRESERVATION: | 45% 157,777 SF (3.62 AC) |
| PROVIDED PRESERVATION: | 45% 158,855 SF (3.65 AC) |

TREE CANOPY RETENTION

| TREE AREA | EXISTING | REMOVED | RETAINED |
|-------------|------------|------------|------------|
| TA 1 | 140,083 SF | 18,137 SF | 121,946 SF |
| TA 2 | 15,368 SF | 12,478 SF | 2,890 SF |
| TA 3 | 155,272 SF | 142,885 SF | 12,387 SF |
| TA 4 | 39,990 SF | 18,360 SF | 21,630 SF |
| TOTAL SF | 350,715 SF | 191,860 SF | 158,855 SF |
| TOTAL ACRES | 8.05 AC | 4.40 AC | 3.65 AC |

TREE CANOPY DATA
EXISTING TREE CANOPY: 350,715 SF
350,715 SF / 753,219 SF = 47 (47%) OF TOTAL SITE
REQUIRED CANOPY PRESERVATION =
45% OF TOTAL CANOPY
350,715 SF * 45% = 157,822 SF
PROVIDED CANOPY PRESERVED =
158,855 SF (45%) OF TOTAL EXISTING CANOPY



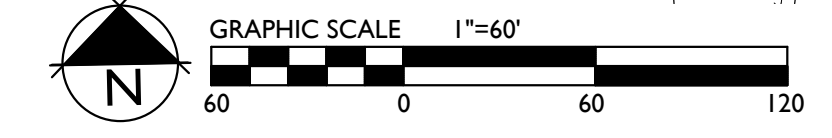
TREE PRESERVATION PLAN

- X SPECIMEN TREE REMOVED
- EXISTING TREE CANOPY REMOVED
- EXISTING TREE CANOPY

TREES 14" > RETAINED ON SITE

| Tree No. | Type | CI | Townhomes | Assisted Liv | Open Space | Tree No. | Type | CI | Townhomes | Assisted Liv | Open Space | | | |
|----------|-----------|----|-----------|--------------|------------|----------|------------|----|-----------|--------------|------------|-----|-----|-----|
| 4 | Locust | 28 | 28 | | | 1216 | Locust | 14 | | | | | | |
| 7 | Hackberry | 20 | 20 | | | 1319 | Willow | 14 | | | 14 | | | |
| 242 | Hackberry | 14 | | 14 | | 1361 | Cottonwood | 22 | | | 22 | | | |
| 244 | Hackberry | 14 | | 14 | | 1363 | Willow | 16 | | | 16 | | | |
| 266 | Hackberry | 30 | | 30 | | 1368 | Willow | 15 | | | 15 | | | |
| 269 | Bodock | 16 | | 16 | | 1375 | Locust | 14 | | | 14 | | | |
| 319 | Hackberry | 18 | | 18 | | 1376 | Locust | 14 | | | 14 | | | |
| 320 | Hackberry | 18 | | 18 | | 1381 | Locust | 16 | | | 16 | | | |
| 321 | Hackberry | 18 | | 18 | | 1383 | Maple | 16 | | | 16 | | | |
| 322 | Hackberry | 22 | | 22 | | 1433 | Locust | 15 | 15 | | | | | |
| 328 | Hackberry | 24 | | 24 | | 1444 | Locust | 20 | 20 | | | | | |
| 728 | Locust | 16 | | 16 | | 1445 | Locust | 20 | 20 | | | | | |
| 1003 | Locust | 14 | 14 | | | 1597 | Hackberry | 36 | | | 36 | | | |
| 1004 | Locust | 14 | 14 | | | 1598 | Cherry | 28 | | | 28 | | | |
| 1046 | Locust | 16 | 16 | | | 1599 | Cherry | 32 | | | 32 | | | |
| 1095 | Locust | 16 | | | 16 | 1600 | Cherry | 16 | | | 16 | | | |
| 1137 | Locust | 14 | | 14 | | 1601 | Cherry | 28 | | | 28 | | | |
| 1139 | Locust | 22 | | 22 | | 1606 | Cherry | 24 | | | 24 | | | |
| 1165 | Locust | 20 | | 20 | | 1608 | Cherry | 30 | | | 30 | | | |
| 1166 | Locust | 20 | | 20 | | 1609 | Cherry | 28 | | | 28 | | | |
| 1169 | Locust | 20 | | 20 | | 1610 | Cherry | 36 | | | 36 | | | |
| 1170 | Locust | 20 | | 20 | | 1631 | Hackberry | 24 | | | 24 | | | |
| 1183 | Locust | 16 | | 16 | | 1633 | Hackberry | 24 | | | 24 | | | |
| 1188 | Locust | 14 | | 14 | | 1639 | Hackberry | 18 | | | 18 | | | |
| 1189 | Locust | 20 | | 20 | | 1640 | Hackberry | 24 | | | 24 | | | |
| 1190 | Locust | 14 | | 14 | | | | | | | | | | |
| 1191 | Locust | 18 | | 18 | | | | | | | | | | |
| 1192 | Locust | 16 | | 16 | | | | | | | | | | |
| TOTAL | | | | | | | | | | | 1042 | 147 | 190 | 705 |

x 1.25 = 1302 CI



Tree Preservation Plan

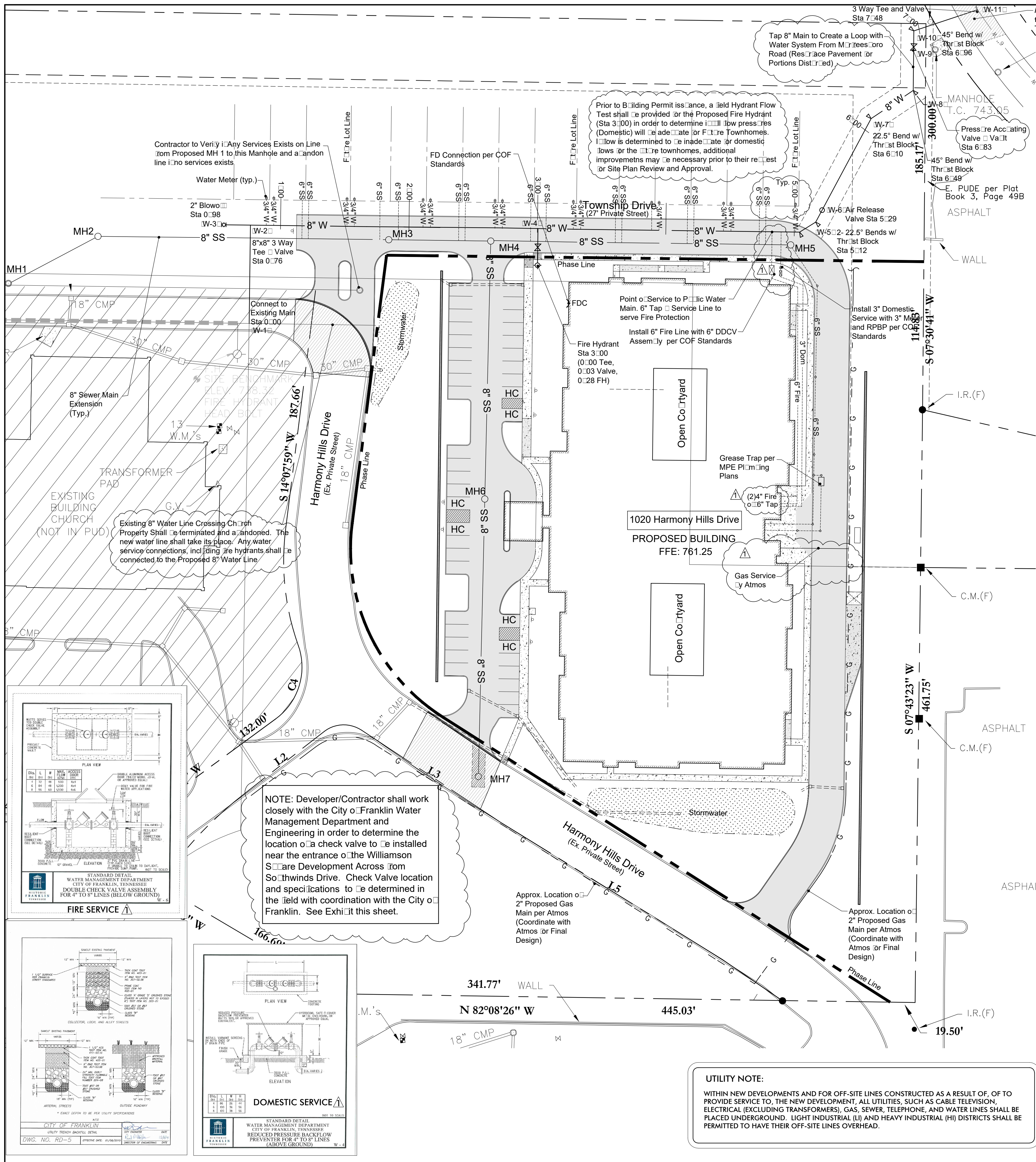
Dale & Associates
CONSULTING CIVIL ENGINEERING
LAND PLANNING & ZONING SURVEYING
514 Health Plaza
Nashville, TN 37203
(615) 297-5166

D&A Project #12017
Township PUD
City of Franklin Project #6414

L1.2
Sheet 13 of 20

Site Plan for
Township PUD
COF Project Number 5841
1020 Harmony Hills Drive
Franklin, Williamson County, Tennessee
Map 79 G, Parcel 601, 603, 604



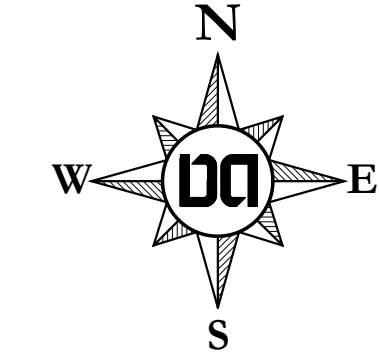


Utility Plan Legend

- PROP. STORM CULVERT
- 8" W— PROP. 8" WATER MAIN
- 8"-SA— PROP. 8" GRAVITY SEWER
- 10"-SA— PROP. 10" GRAVITY SEWER
- 8" W— EX. 8" WATER MAIN (NORTH PL)
- 24" W— EX. 24" WATER MAIN (DOWNS BLVD)
- 12"-RW— EX. 12" RECLAIMED WATER (DOWNS BLVD)
- 10"-SA— EX. 10" GRAVITY SEWER MAIN (NEW HOPE)
- OHE— EX. OVERHEAD ELECTRIC (DOWNS BLVD)
- PROP. HEADWALL
- PROP. DRAINAGE CATCH BASIN
- PROP. 6" SEWER LATERAL SERVICE
- PROP. SEWER MANHOLE
- EX. SEWER MANHOLE
- PROP. 3/4" RESIDENTIAL WATER METER
- ◆ PROP. FIRE HYDRANT & ASSEMBLY
- PROP. GATE VALVE & BOX
- PROP. BLOW-OFF
- ⊕ PROP. STREET LIGHT

Utility Contact

CITY OF FRANKLIN WATER AND SEWER
 124 LUMBAR DRIVE
 FRANKLIN, TN 37062
 PHONE: (615) 794-4554



SCALE: 1" = 40'

TOTAL AREA = 17.291 ACRES
 = 753,204,516 S.F.
 IMPERVIOUS AREA = 2.982 ACRES
 (SECTION 1) = 129,907 S.F.
 DISTURBED AREA = 11.689 ACRES
 = 509,166.23 S.F.

Water Plan Legend

| | | |
|------|--|---|
| W-1 | Connect to Existing Main | Sta 0+00 |
| W-2 | Install 8"x8" 3 Way Tee and Valve Assembly | Sta 0+76 |
| W-3 | Install 2" Blow Off | Sta 0+98 |
| W-4 | Install Hydrant | Sta 3+00 (0+00 Tee, 0+03 Valve, 0+28 FH) |
| W-5 | Install Two 22.5" Bends with Thrust Block | Sta 5+12 |
| W-6 | Air Release Valve | Sta 5+29 |
| W-7 | Install 22.5" Bend | Sta 6+10 |
| W-8 | Install 45" Bend | Sta 6+49 |
| W-9 | Pressure Accuating Valve and Vault * | Sta 6+83 |
| W-10 | Install 45" Bend | Sta 6+96 |
| W-11 | Install 8"x8" 3 Way Tee and Valve Assembly | Sta 7+48 (London Lane) |

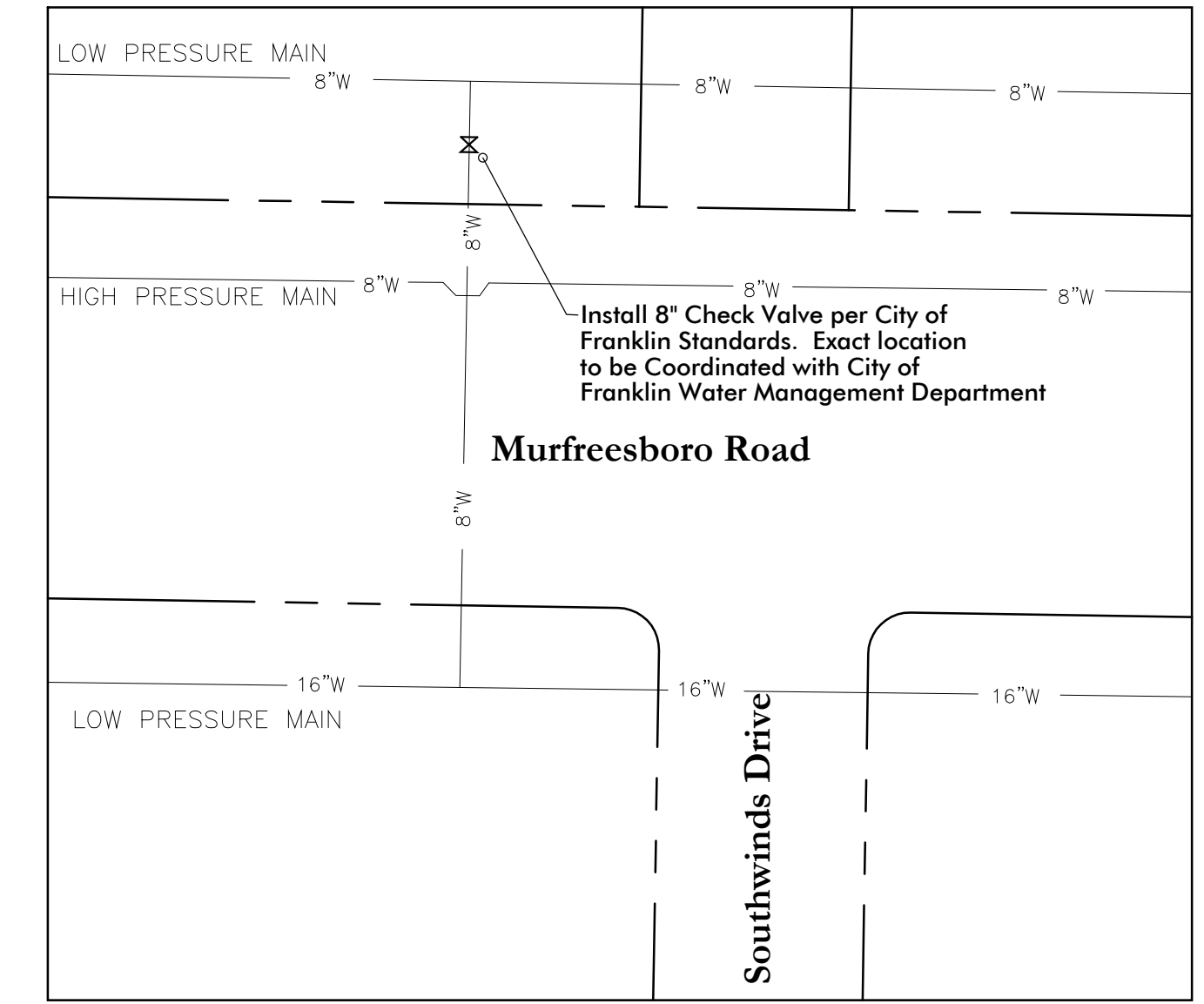
* NOTE: Pressure Accuating Valve Location, Setup & Fittings to be Coordinated with City of Franklin Water Management Department and Engineering

Sewer Manhole Table

| Manhole | LINE "A" | | |
|-----------|----------------|--------|---------|
| | Top of Casting | Inv In | Inv Out |
| Manhole 1 | 730.64 | 724.94 | 724.74 |
| Manhole 2 | 736.67 | 729.60 | 729.40 |
| Manhole 3 | 746.92 | 739.90 | 739.70 |
| Manhole 4 | 751.00 | 744.00 | 743.80 |
| Manhole 5 | 757.63 | — | 750.60 |

| | | | |
|-----------|--------|--------|--------|
| Manhole 4 | 751.00 | 744.00 | 743.80 |
| Manhole 6 | 760.38 | 747.70 | 747.50 |
| Manhole 7 | 756.66 | — | 748.80 |

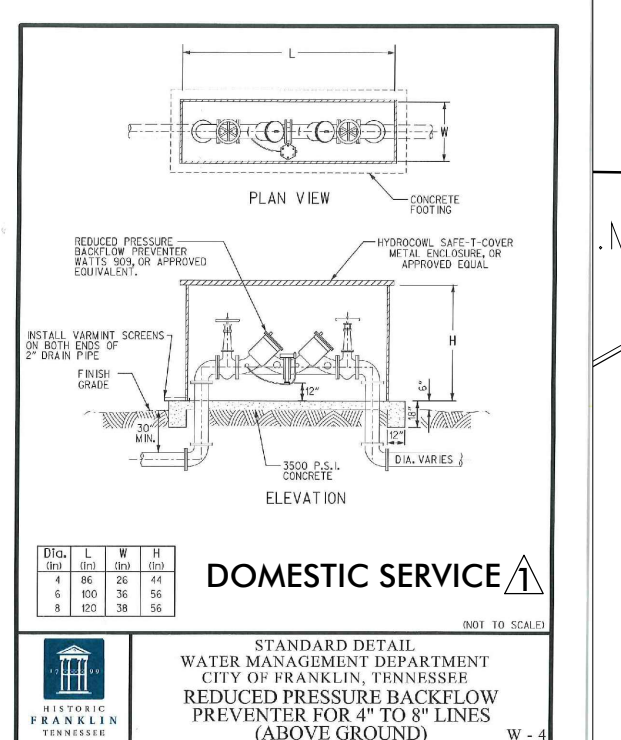
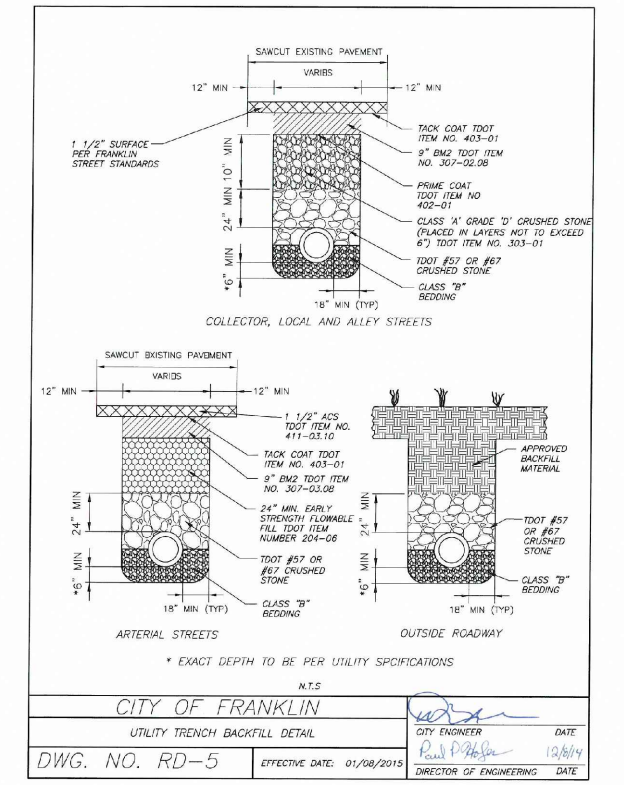
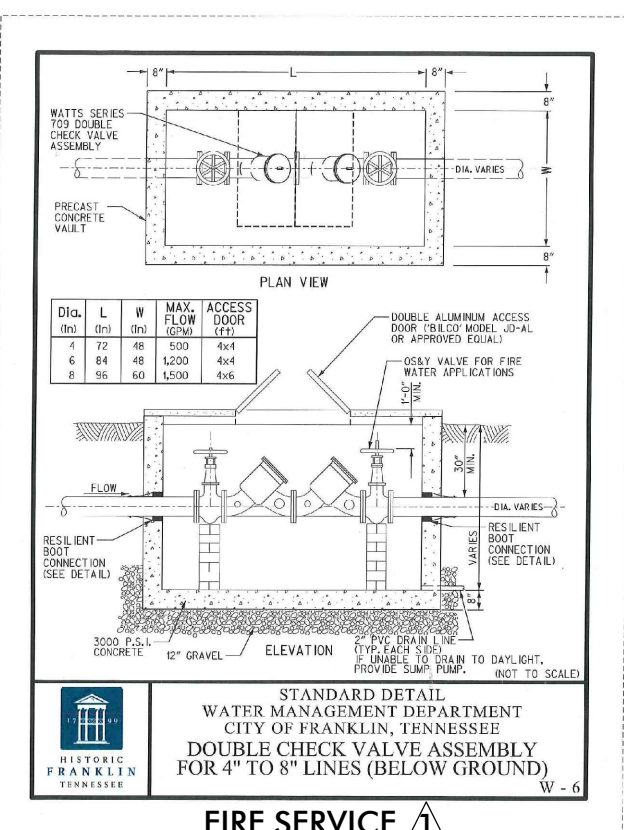
Adjacent hydrants located at 211 London Ln, approximately 400 feet southeast of site, yielded the below results for a two hydrant test:
 Elevation: 755
 Static: 88 psi
 Residual: 43 psi
 Flow: 1,436 gpm
 Calculated Flow @ 20 psi = 1,795 psi
 Due to comparable FFE to the Hydrant, it is anticipated that flows will exceed 1,500 at 20 PSI.
 Tested on 7/6/15 1PM by Fire Sprinkler, LLC



Murfreesboro Road Water Main Exhibit
 Scale: 1"=40'

NOTE: Developer/Contractor shall work closely with the City of Franklin Water Management Department and Engineering in order to determine the location of a check valve to be installed near the entrance of the Williamson Square Development Across from Southwinds Drive. Check Valve location and specifications to be determined in the field with coordination with the City of Franklin. See Exhibit this sheet.

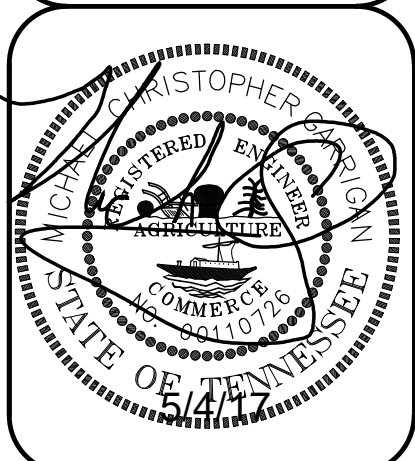
UTILITY NOTE:
 WITHIN NEW DEVELOPMENTS AND FOR OFF-SITE LINES CONSTRUCTED AS A RESULT OF, OF TO PROVIDE SERVICE TO, THE NEW DEVELOPMENT, ALL UTILITIES, SUCH AS CABLE TELEVISION, ELECTRICAL (EXCLUDING TRANSFORMERS), GAS, SEWER, TELEPHONE, AND WATER LINES SHALL BE PLACED UNDERGROUND. LIGHT INDUSTRIAL (LI) AND HEAVY INDUSTRIAL (HI) DISTRICTS SHALL BE PERMITTED TO HAVE THEIR OFF-SITE LINES OVERHEAD.



PERMITS:
 COF# 6414
 TDEC: TNRI149878

Drawing Date:
 April 2017
 REVISIONS:
 COF Site Plan: 5/4/17

Site Plan for
Township PUD
 COF Project Number 5841
 1020 Harmony Hills Drive
 Franklin, Williamson County, Tennessee
 Map 79 G, Parcels 6.01, 6.03, 6.04

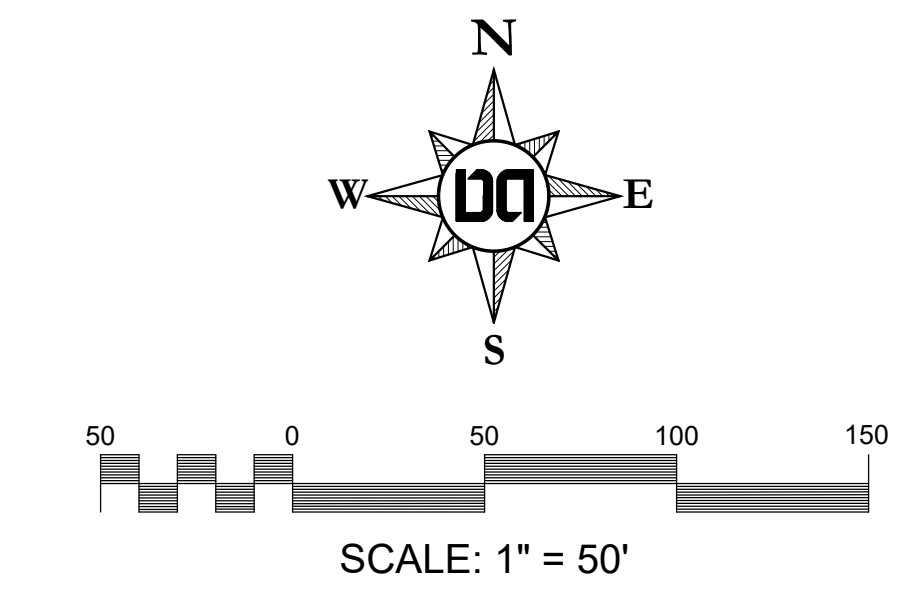
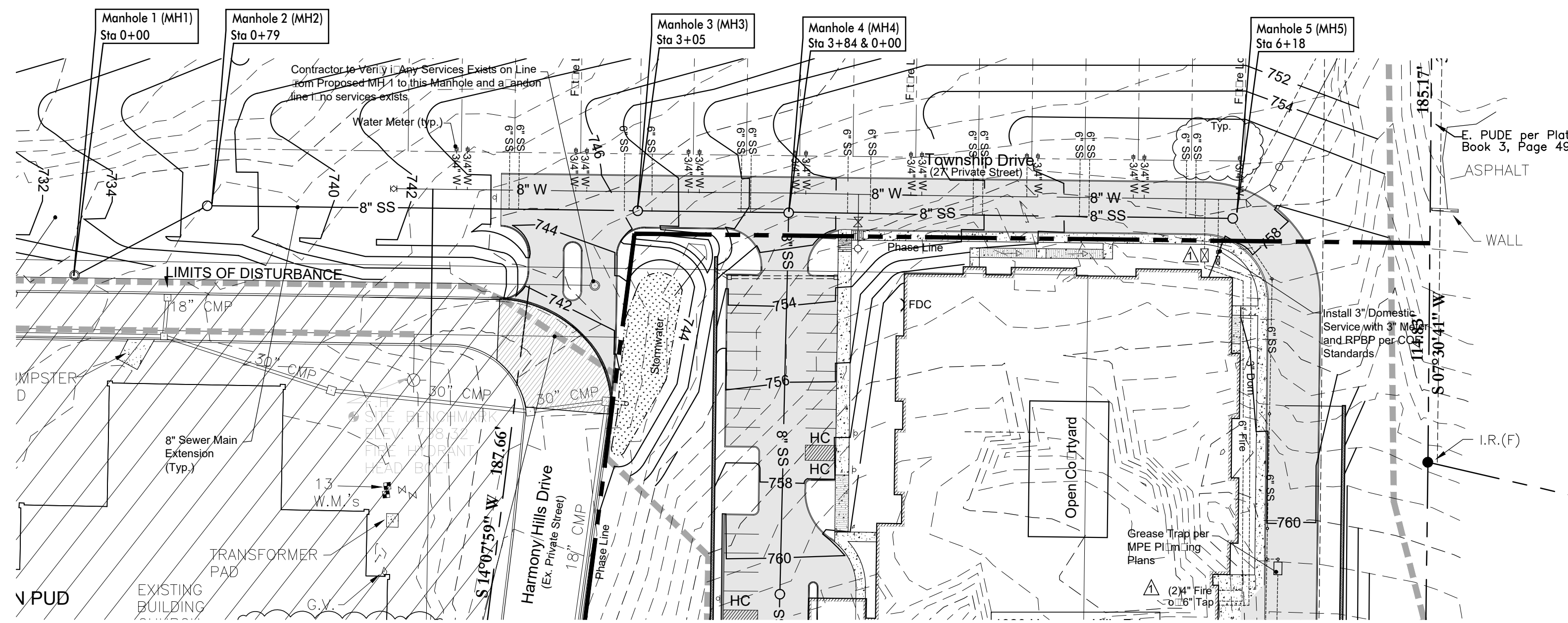


UTILITY LOCATION NOTE:
 Contractor to Contact all Local Utility Companies prior to commencing work to mark all Utilities in the Field.

Dale & Associates
 Consulting Civil Engineering
 Land Planning & Zoning
 Surveying
 5161 Highway 100
 (615) 597-5166

D&A Project #12017
 Township PUD
 City of Franklin Project #5841

C7.0
 Sheet 14 of 20



TOTAL AREA = 17.291 ACRES
 = 753,204.516 S.F.
 IMPERVIOUS AREA = 2.982 ACRES
 (SECTION 1) = 129,907 S.F.
 DISTURBED AREA = 11.689 ACRES
 = 509,166.23 S.F.

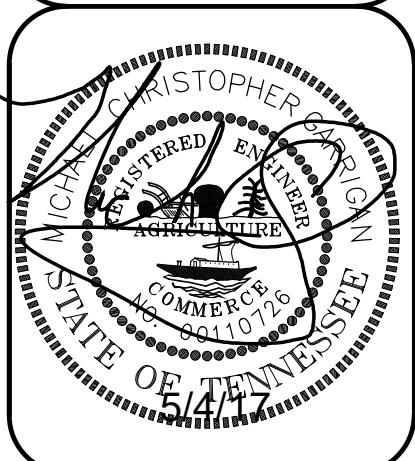
Utility Contact
 CITY OF FRANKLIN WATER AND SEWER
 124 LUMBAR DRIVE
 FRANKLIN, TN 37062
 PHONE: (615) 794-4554

PERMITS:
 COF# 6414
 TDEC: TNRI149878

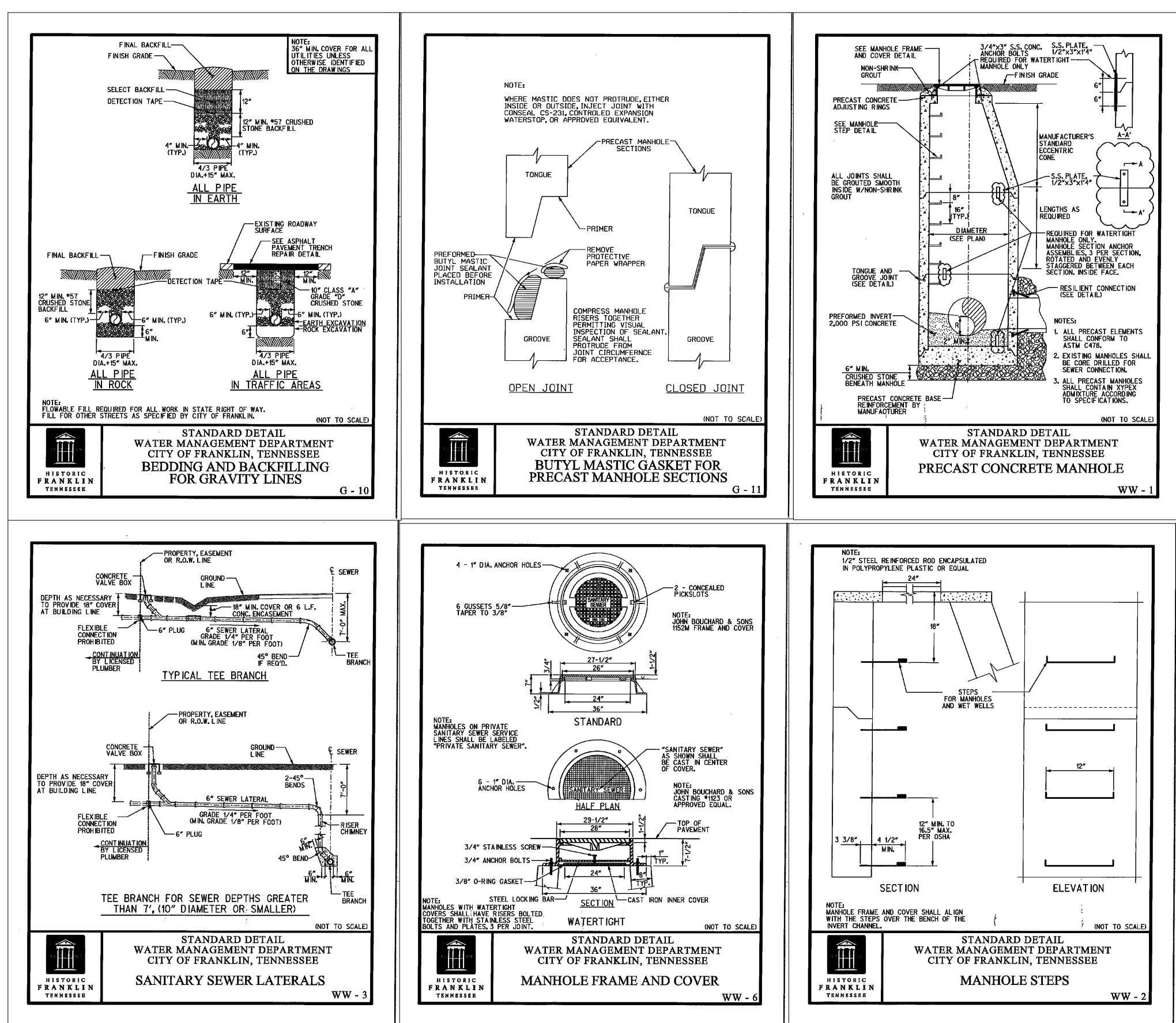
Drawing Date:
 April 2017

REVISIONS:
 COF Site Plan: 5/4/17

Site Plan for
Township PUD
 COF Project Number 5841
 1020 Harmony Hills Drive
 Franklin, Williamson County, Tennessee
 Map 79 G, Parcels 6.01, 6.03, 6.04

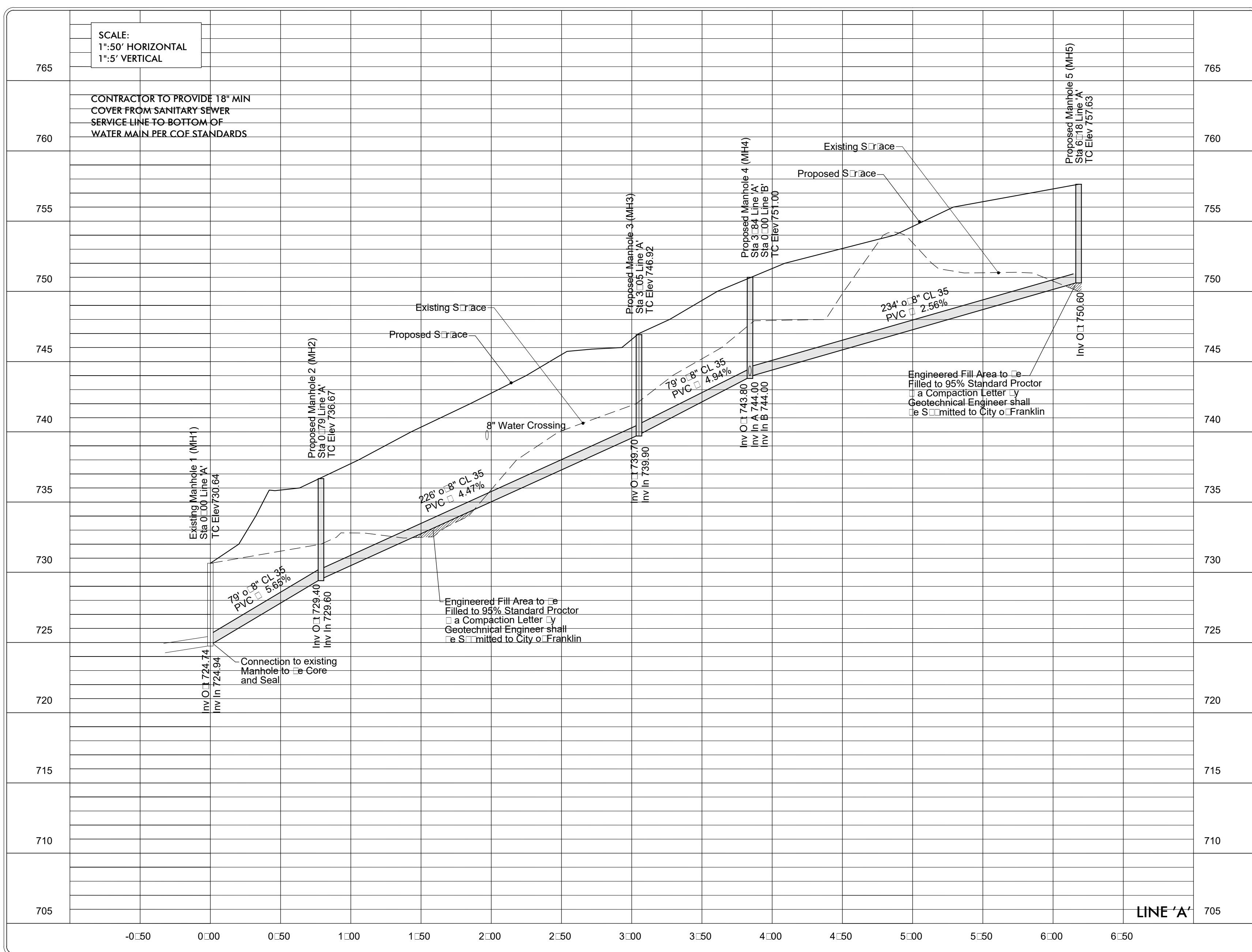


UTILITY LOCATION NOTE:
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Sewer Manhole Table

| | LINE "A" | | |
|-----------|----------------|--------|---------|
| | Top of Casting | Inv In | Inv Out |
| Manhole 1 | 730.64 | 724.94 | 724.74 |
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| Manhole 3 | 746.92 | 739.90 | 739.70 |
| Manhole 4 | 751.00 | 744.00 | 743.80 |
| Manhole 5 | 757.63 | — | 750.60 |



Sanitary Sewer Plan & Profile A

Dale & Associates
 Consulting Civil Engineering
 Land Planning & Zoning
 5161 Highway 100
 Franklin, Tennessee 37066
 (615) 597-5166

D&A Project #12017
 Township PUD
 City of Franklin Project #5841

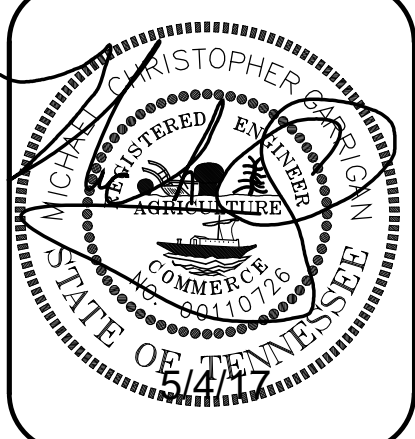
C7.1
 Sheet 15 of 20

PERMITS:
COF# 6414
TDEC: TNR149878

Drawing Date:
April 2017

REVISIONS:
COF Site Plan: 5/4/17

Site Plan for
Township PUD
COF Project Number 5841
1020 Harmony Hills Drive
Franklin, Williamson County, Tennessee
Map 79 G, Parcels 6.01, 6.03, 6.04



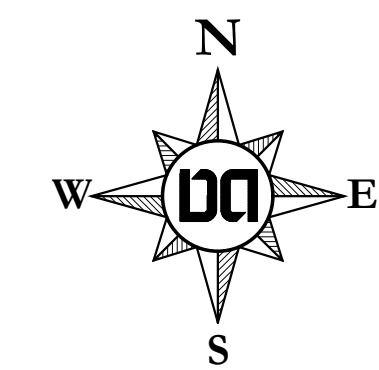
UTILITY LOCATION NOTE:
Contractor to Contact all Local Utility Companies prior to commencing work to mark all Utilities in the Field.

Dale & Associates
3161 Highway 100
Franklin, Tennessee 37066
(615) 597-5166

D&A Project #12017
Township PUD
City of Franklin Project #5841

C7.2
Sheet 16 of 20

- Utility Plan Legend**
- PROP. STORM CULVERT
 - 8"—W PROP. 8" WATER MAIN
 - 8"—SA PROP. 8" GRAVITY SEWER
 - 10"—SA PROP. 10" GRAVITY SEWER
 - 8"—W EX. 8" WATER MAIN (NORTH PL)
 - 24"—W EX. 24" WATER MAIN (DOWNS BLVD)
 - 12"—RW EX. 12" RECLAIMED WATER (DOWNS BLVD)
 - 10"—SA EX. 10" GRAVITY SEWER MAIN (NEW HOPE)
 - OHE EX. OVERHEAD ELECTRIC (DOWNS BLVD)
 - PROP. HEADWALL
 - PROP. DRAINAGE CATCH BASIN
 - PROP. 6" SEWER LATERAL SERVICE
 - PROP. SEWER MANHOLE
 - ⊙ EX. SEWER MANHOLE
 - ⊠ PROP. 3/4" RESIDENTIAL WATER METER
 - ⊕ PROP. FIRE HYDRANT & ASSEMBLY
 - ⊞ PROP. GATE VALVE & BOX
 - ⊟ PROP. BLOW-OFF
 - ⊕ PROP. STREET LIGHT



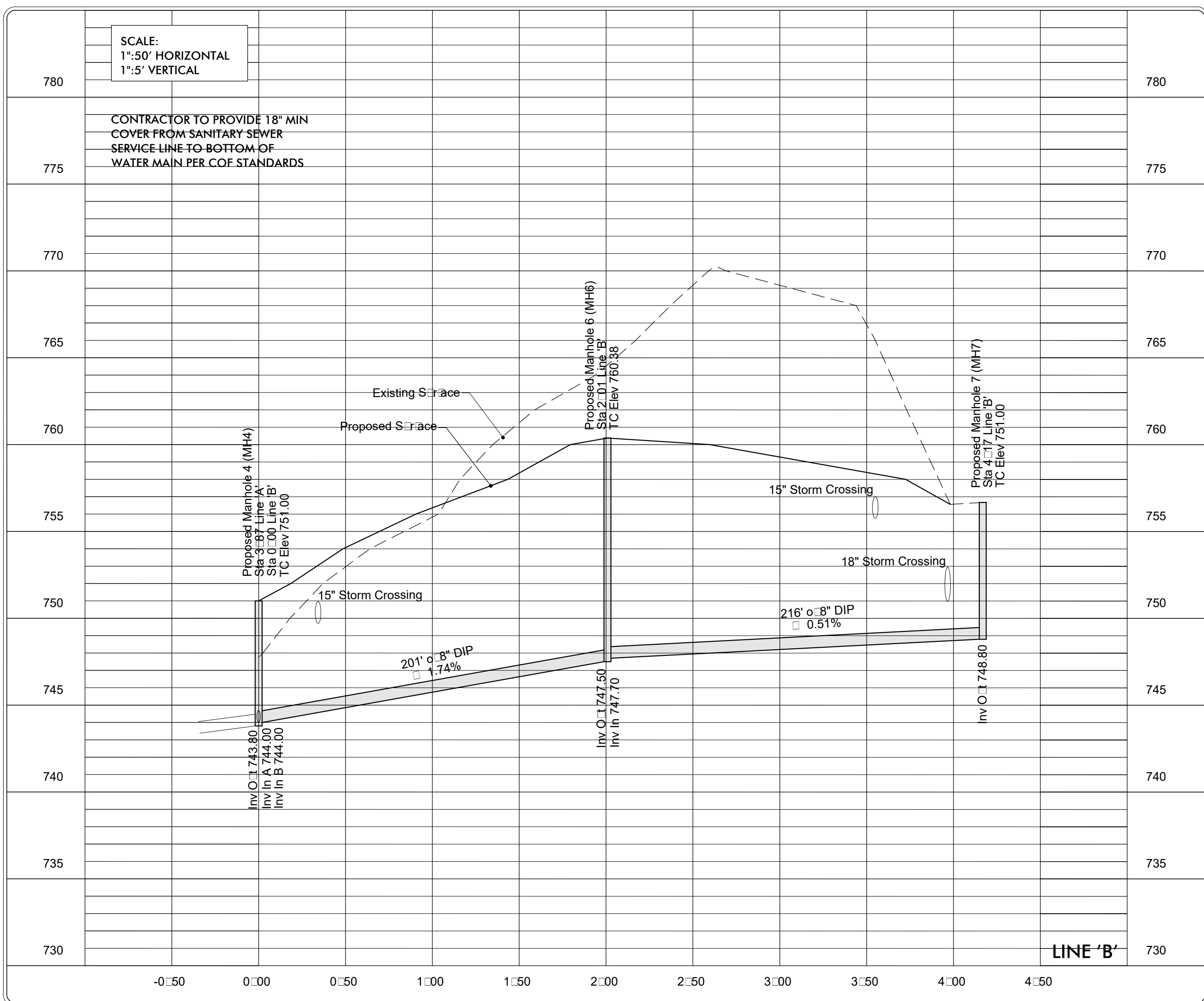
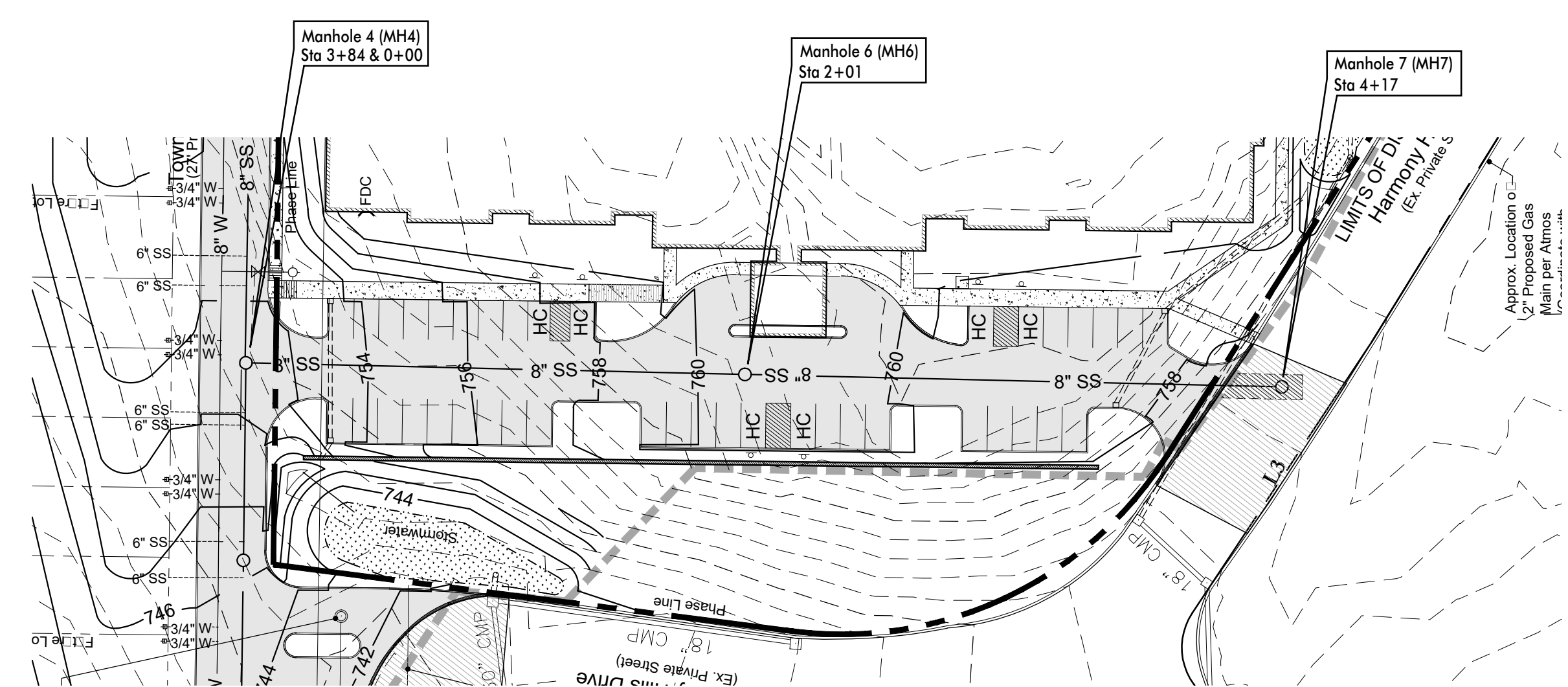
SCALE: 1" = 50'

TOTAL AREA = 17.291 ACRES
= 753,204.516 S.F.

IMPERVIOUS AREA = 2.982 ACRES
(SECTION 1) = 129,907 S.F.

DISTURBED AREA = 11.689 ACRES
= 509,166.23 S.F.

Utility Contact
CITY OF FRANKLIN WATER AND SEWER
124 LUMBAR DRIVE
FRANKLIN, TN 37062
PHONE: (615) 794-4554



STANDARD DETAIL WATER MANAGEMENT DEPARTMENT CITY OF FRANKLIN, TENNESSEE

STANDARD DETAIL WATER MANAGEMENT DEPARTMENT CITY OF FRANKLIN, TENNESSEE

STANDARD DETAIL WATER MANAGEMENT DEPARTMENT CITY OF FRANKLIN, TENNESSEE

STANDARD DETAIL WATER MANAGEMENT DEPARTMENT CITY OF FRANKLIN, TENNESSEE

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STANDARD DETAIL WATER MANAGEMENT DEPARTMENT CITY OF FRANKLIN, TENNESSEE

STANDARD DETAIL WATER MANAGEMENT DEPARTMENT CITY OF FRANKLIN, TENNESSEE

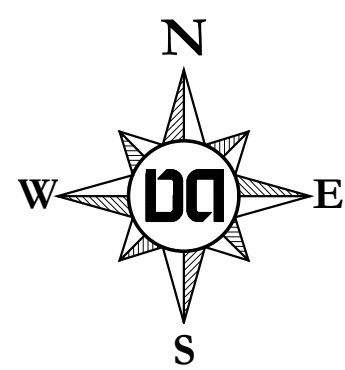
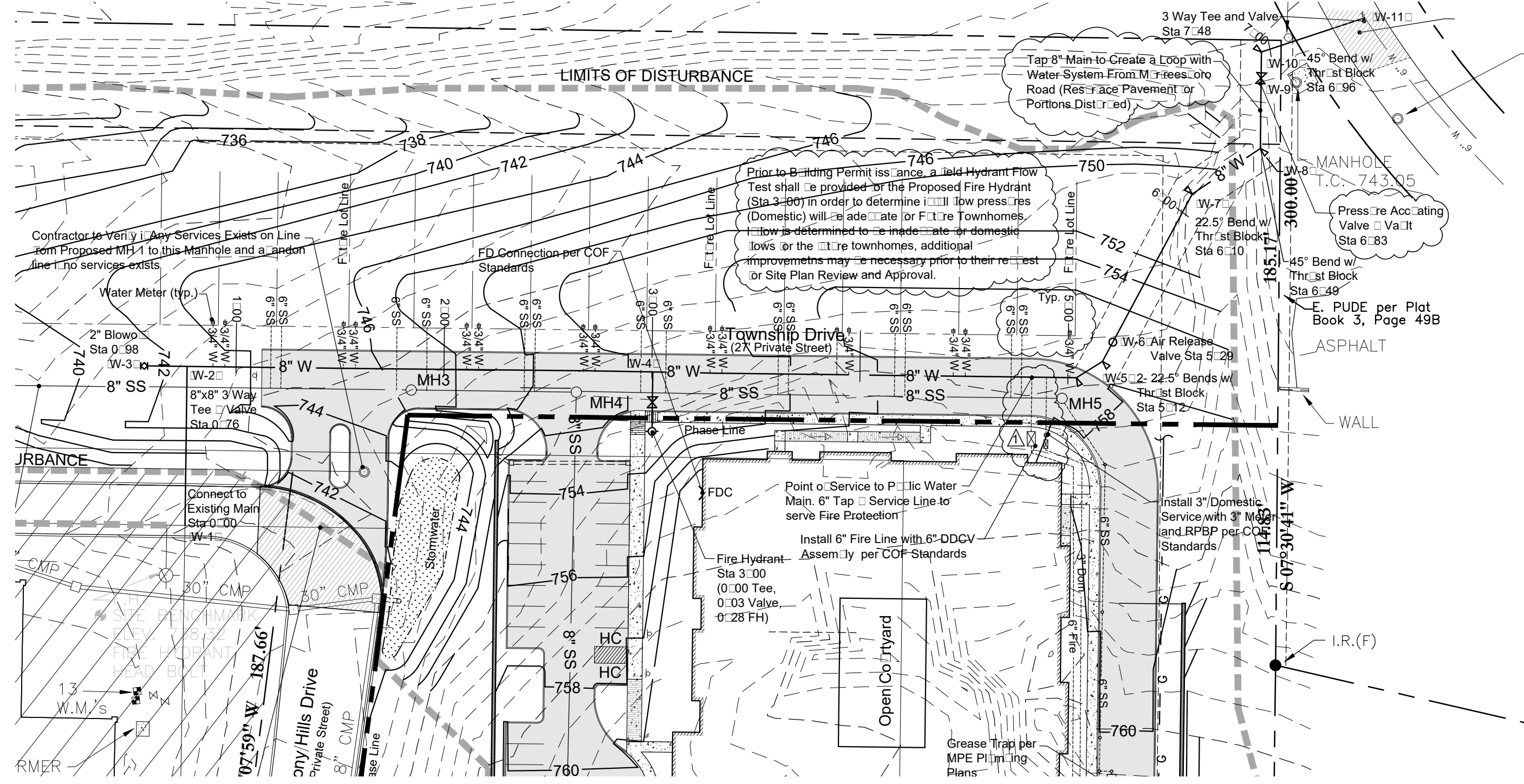
STANDARD DETAIL WATER MANAGEMENT DEPARTMENT CITY OF FRANKLIN, TENNESSEE

Sewer Manhole Table

| Manhole | 751.00 | 744.00 | 743.80 |
|-----------|--------|--------|--------|
| Manhole 4 | 751.00 | 744.00 | 743.80 |
| Manhole 6 | 760.38 | 747.70 | 747.50 |
| Manhole 7 | 756.66 | — | 748.80 |

Sanitary Sewer Plan & Profile B

Dale & Associates
Civil Engineering
Land Planning & Zoning
Surveying

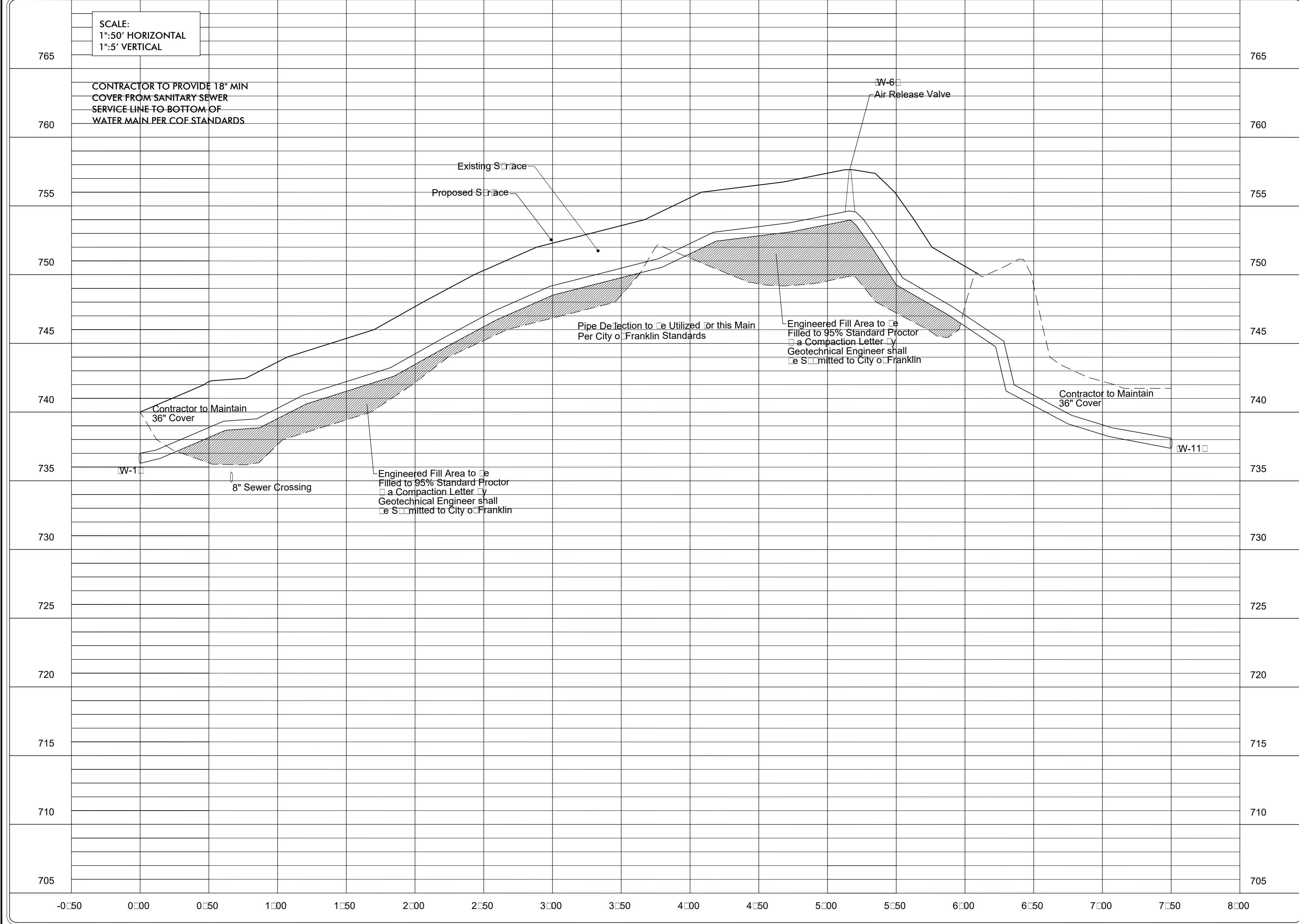
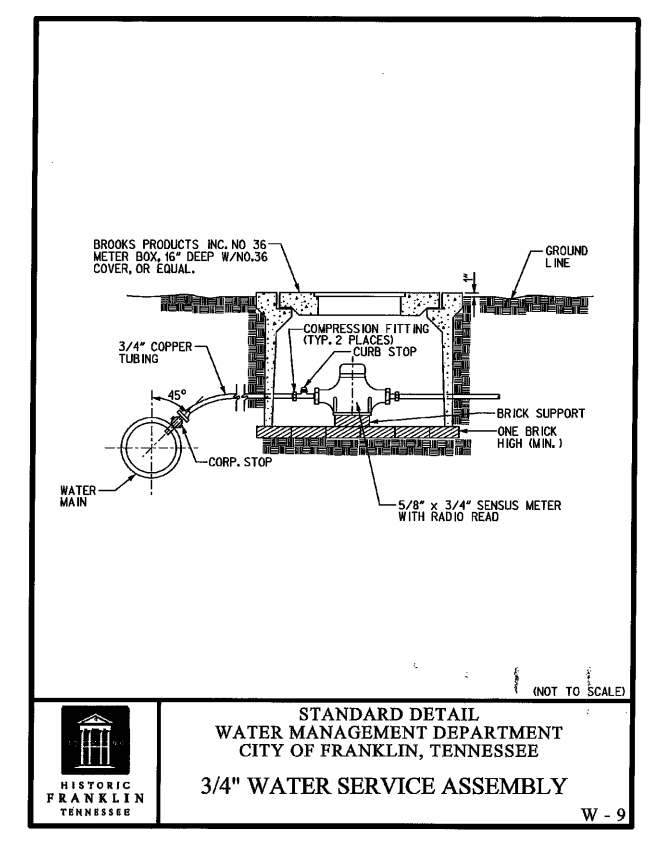
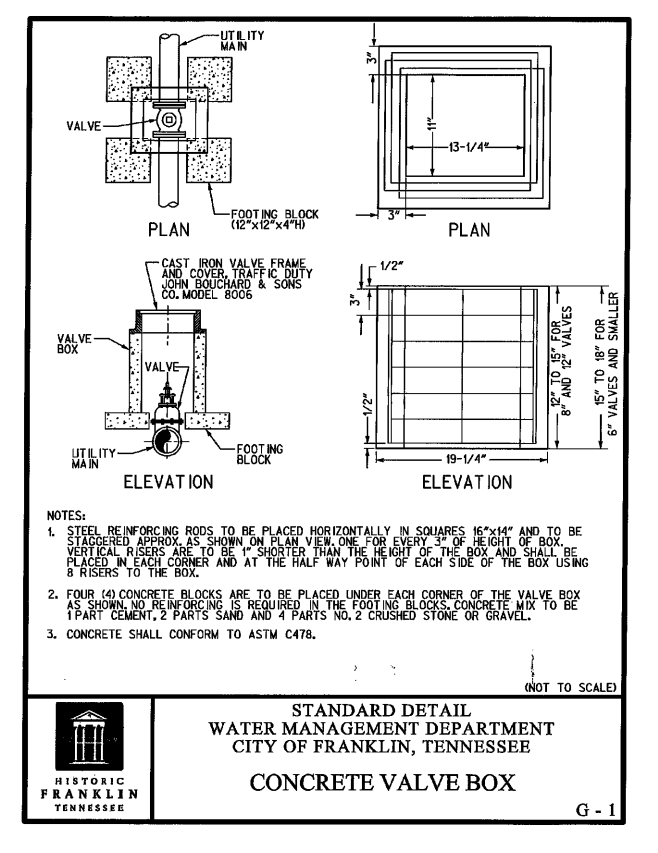
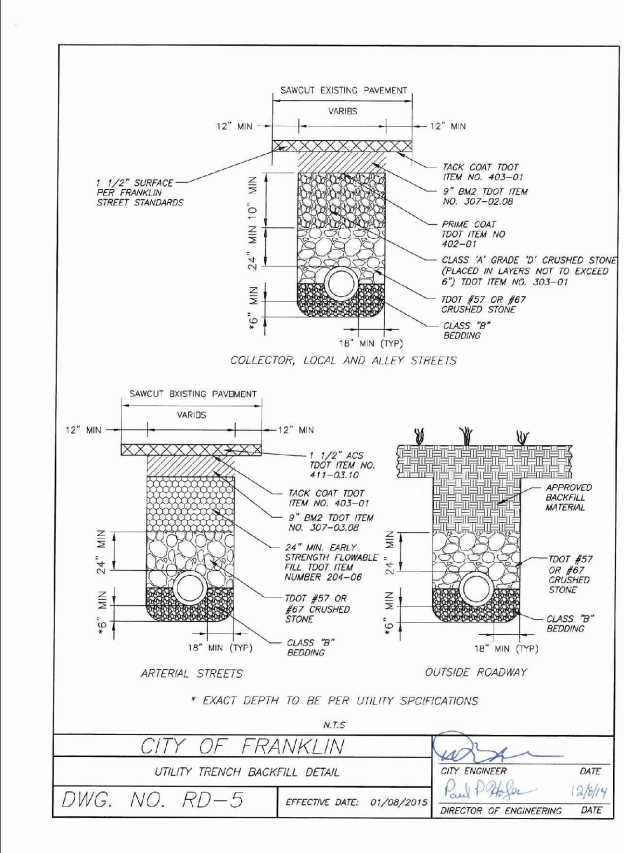
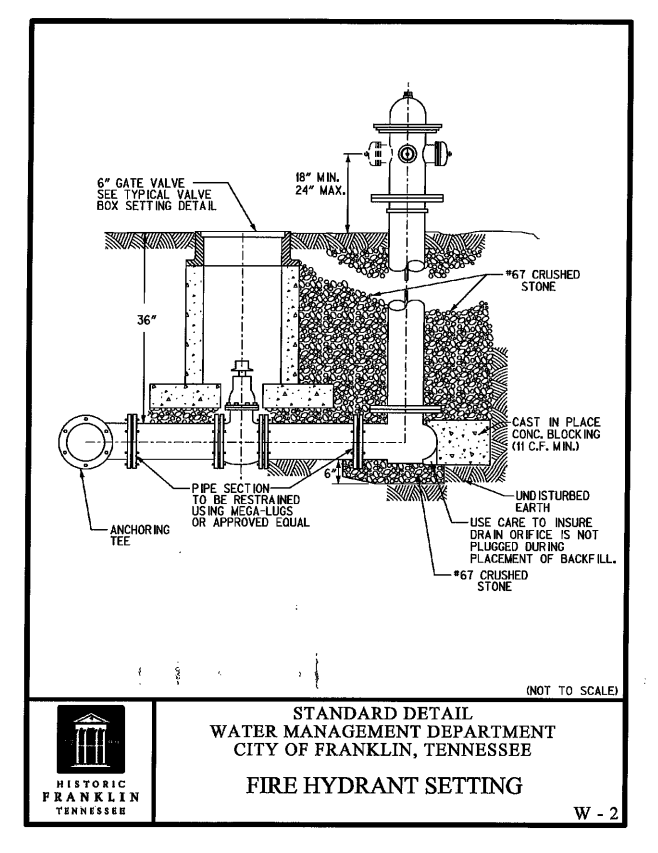
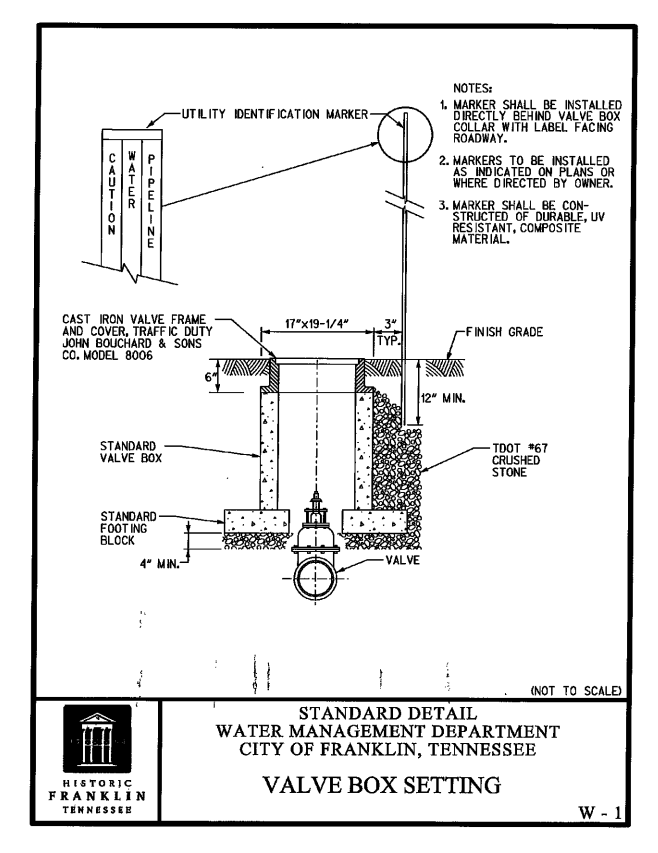
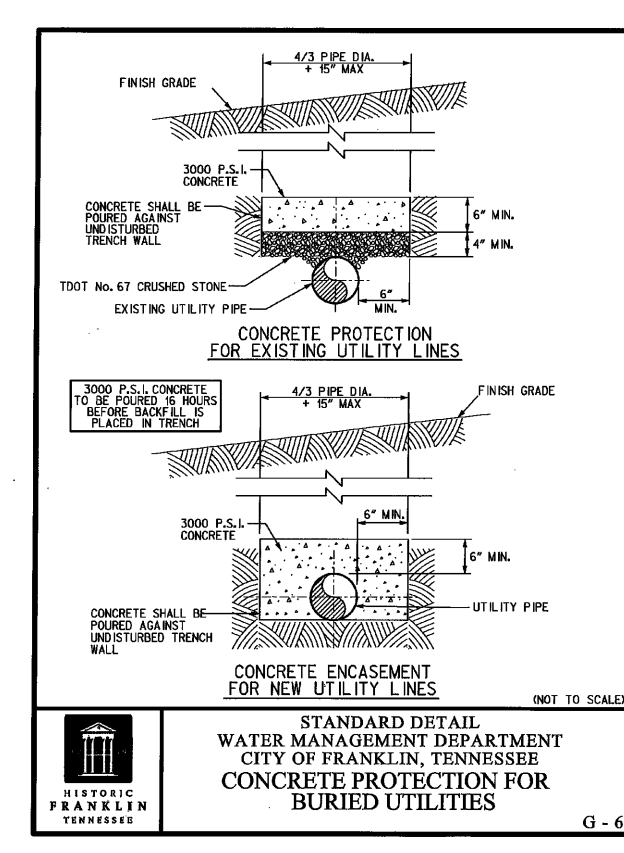


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 (SECTION 1) = 129,907 S.F.
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Utility Contact
 CITY OF FRANKLIN WATER AND SEWER
 124 LUMBAR DRIVE
 FRANKLIN, TN 37062
 PHONE: (615) 794-4554

PERMITS:
 COF# 6414
 TDEC: TNR149878

Drawing Date:
 April 2017
 REVISIONS:
 COF Site Plan: 5/4/17



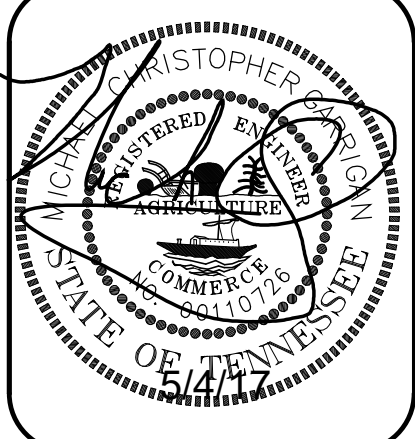
Water Plan Legend

| | | |
|------|--|---|
| W-1 | Connect to Existing Main | Sta 0+00 |
| W-2 | Install 8"x8" 3 Way Tee and Valve Assembly | Sta 0+76 |
| W-3 | Install 2" Blow Off | Sta 0+98 |
| W-4 | Install Hydrant | Sta 3+00 (0+00 Tee, 0+03 Valve, 0+28 FH) |
| W-5 | Install Two 22.5" Bends with Thrust Block | Sta 5+12 |
| W-6 | Air Release Valve | Sta 5+29 |
| W-7 | Install 22.5" Bend | Sta 6+10 |
| W-8 | Install 45" Bend | Sta 6+49 |
| W-9 | Pressure Accuating Valve and Vault * | Sta 6+83 |
| W-10 | Install 45" Bend | Sta 6+96 |
| W-11 | Install 8"x8" 3 Way Tee and Valve Assembly | Sta 7+48 (London Lane) |

* NOTE: Pressure Accuating Valve Location, Setup & Fittings to be Coordinated with City of Franklin Water Management Department and Engineering

UTILITY LOCATION NOTE:
 Contractor to Contact all Local Utility Companies prior to commencing work to mark all Utilities in the Field.

Site Plan for
Township PUD
 COF Project Number 5841
 1020 Harmony Hills Drive
 Franklin, Williamson County, Tennessee
 Map 79 G, Parcels 6.01, 6.03, 6.04

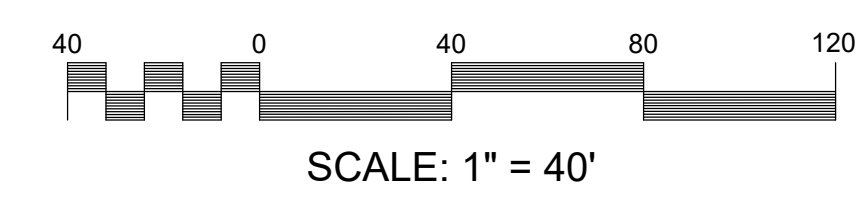
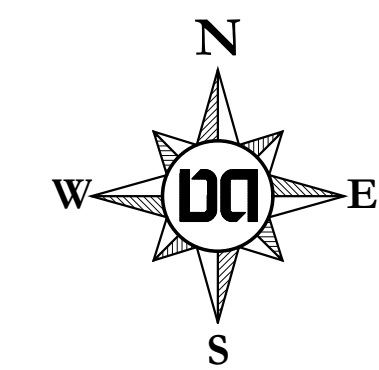
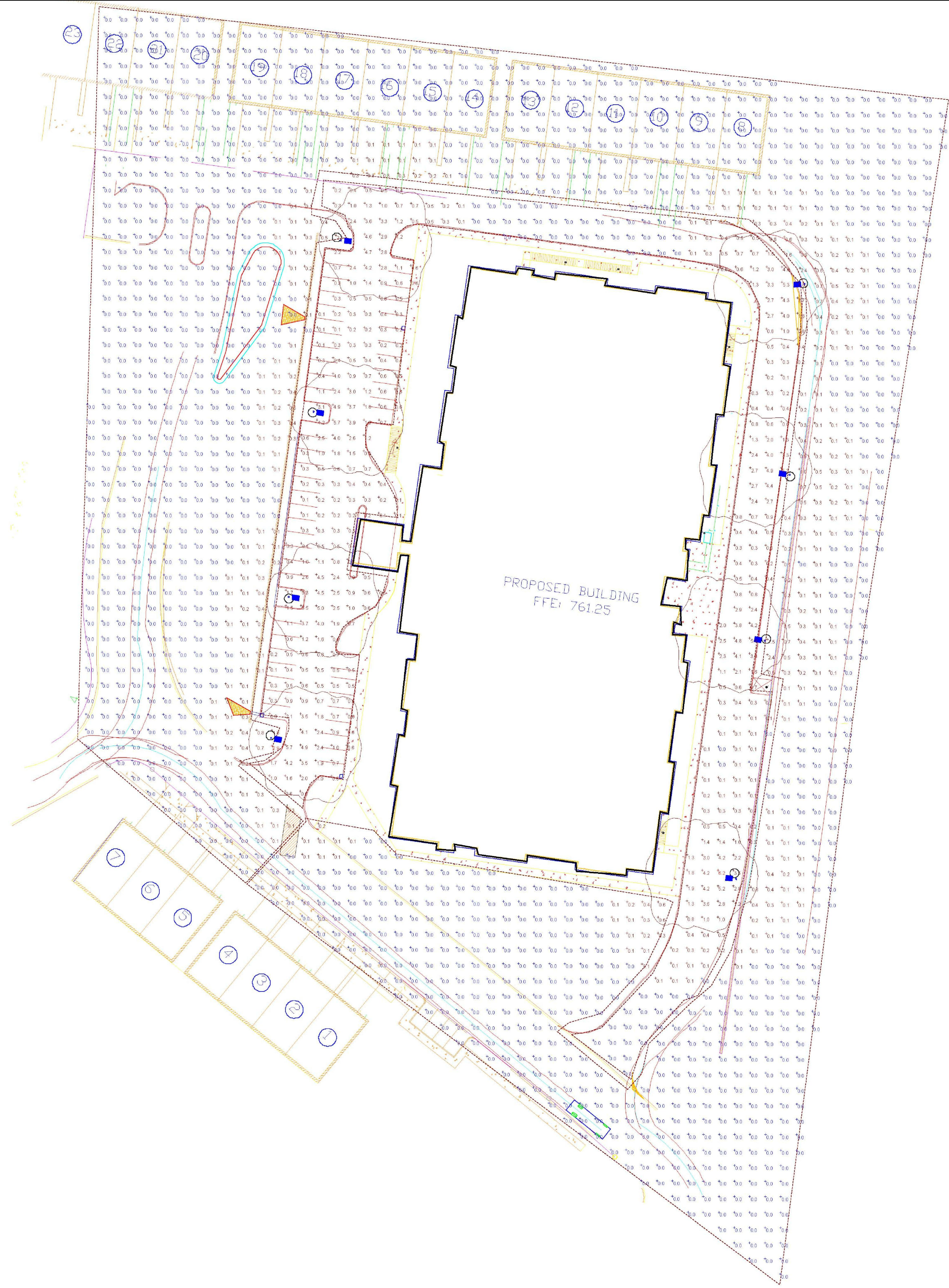


Dale & Associates
 Consulting Civil Engineering
 Land Planning & Zoning
 Surveying
 5161 Highway 100
 Franklin, Tennessee 37066
 (615) 597-5166

D&A Project #12017
 Township PUD
 City of Franklin Project #5841

C7.3
 Sheet 17 of 20

Public Water Plan & Profile



TOTAL AREA = 17.291 ACRES
 = 753,204.516 S.F.
 IMPERVIOUS AREA = 2.982 ACRES
 (SECTION 1) = 129,907 S.F.
 DISTURBED AREA = 11.689 ACRES
 = 509,166.23 S.F.

NOTES

WITHIN NEW DEVELOPMENTS AND FOR OFF-SITE LINES CONSTRUCTED AS A RESULT OF, OF TO PROVIDE SERVICE TO, THE NEW DEVELOPMENT, ALL UTILITIES, SUCH AS CABLE TELEVISION, ELECTRICAL (EXCLUDING TRANSFORMERS), GAS, SEWER, TELEPHONE, AND WATER LINES SHALL BE PLACED UNDERGROUND. LIGHT INDUSTRIAL (LI) AND HEAVY INDUSTRIAL (HI) DISTRICTS SHALL BE PERMITTED TO HAVE THEIR OFF-SITE LINES OVERHEAD.

THIS LIGHTING PLAN HAS BEEN DESIGNED TO MEET THE CITY OF FRANKLIN STANDARDS AND THE APPROVAL OF THE PLANNING COMMISSION. CHANGES SHALL NOT BE MADE TO THE APPROVED LIGHTING PLAN UNLESS APPROVED BY EITHER THE RELEVANT DEPARTMENT SUPERINTENDENT OR THE PLANNING COMMISSION.

STREET LIGHT LOCATIONS AND QUANTITIES ARE APPROXIMATE. FINAL POSITIONING AND QUANTITY SHALL BE AT THE DIRECTION OF MTEHC.

Site Lighting Data

Development Standard: Conventional
 Land Use: Residential
 Zoning District: SD-X
 Height of Proposed/Existing Building: 1 Stories Maximum (Phase 1)
 Pole Height: 20 Feet
 Pole/Fixture Color: Black/Dark Bronze
 Color of Light: White

THIS LIGHTING PLAN HAS BEEN DESIGNED TO MEET THE CITY OF FRANKLIN STANDARDS AND THE APPROVAL OF THE PLANNING COMMISSION. CHANGES SHALL NOT BE MADE TO THE APPROVED LIGHTING PLAN UNLESS APPROVED BY EITHER THE RELEVANT DEPARTMENT SUPERINTENDENT OR THE PLANNING COMMISSION.

PhotoMetrics Provided by:
 Holophane
 Granville Business Park, Bldg A
 3825 Columbus Rd
 Granville, OH 43023
 (615) 202-5765
 Contact: Sean Clare

| Symbol | Label | Quantity | Manufacturer | Catalog Number | Description | Lamp | Number Lamps | Filename | Lumens Per Lamp | Light Loss Factor | Wattage |
|--------|-------|----------|--------------|--|--|---------------|--------------|------------------|-----------------|-------------------|---------|
| | E | 8 | Holophane | G 250PM MA LFF A K B 2 64320 SSS2055C D1 R3 BK | Mongoose (G); G, 250PM - 250W Pulse Metal Halide, Mogul Base, Multivolt Pre-wired to 120V tap, Low tilt, 0 to 18 degrees, Forward Throw, Flat Glass, Architectural Arm, Black (SSS2055C) Square Straight Steel Pole 20FT, 5.0 Square x 11 Gauge Wall; SSS2055C 5.0 Square, Drilling for 1 Unit, 3 hole drill pattern 3.00 from top, Black Paint, Anchor Bolts with Sylvania (M250/PS/U) 250W Clear Mogul Pulse Start Lamp. | 250W CLEAR MH | 1 | G250MH00LFFX.xls | 19100 | 0.72 | 282 |



An "i" indicates a Specialty Company

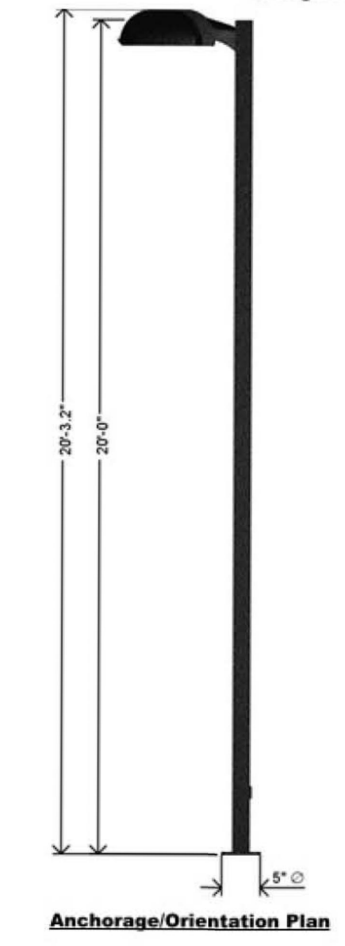
SPECIFICATIONS

FEATURES
 Mongoose
 *G 250PM MA LFF A K B 2
 Prefr. G
 Source Voltage: 250PM - 250W Pulse Metal Halide, Mogul Base
 Voltage: Multivolt Pre-wired to 120V tap
 Tilt Range: Low tilt, 0 to 18 degrees
 Optics: Forward Throw, Flat Glass
 Arm Mounting: Architectural Arm
 Finish: Black
 Terminal Block: None
 NEMA Enclosure: None
 Starter: None
 Photocell/Receptacle: None
 Spade Termination: None
 Optional Tension Adapter: None
 BT, Pigtail: None
 Brackets: None
 Tension Adapter Bracket: None
 Fuse Kit: None
 U.S. Point of Manufacture: None

POLE
 Square Straight Steel Pole 20FT, 5.0 Square x 11 Gauge Wall
 *SSS2055C D1 R3 BK (AB)
 Profile: SSS2055C 5.0 Square
 Pole Top Style: Drilling for 1 Unit
 Pole Top Drill Pattern: 3 hole drill pattern 3.00 from top
 Finish: Black Paint
 Pole Mounting: Anchor Bolts
 Fastener: None
 Tamper Resistant Fasteners: None
 Damper: None
 Pole Cap Photocell Receptacle: None

| |
|--------|
| Notes: |
|--------|

SSS2055C - 20FT, 5.0 Square x 11 Gauge Wall Mongoose®



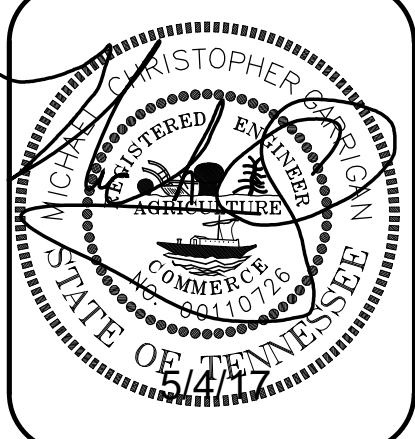
No Anchorage/Orientation Image is Available.

PERMITS:
 COF# 6414
 TDEC: TNR149878

Drawing Date:
 April 2017

REVISIONS:
 COF Site Plan: 5/4/17

Site Plan for
Township PUD
 COF Project Number 5841
 1020 Harmony Hills Drive
 Franklin, Williamson County, Tennessee
 Map 79 G, Parcels 6.01, 6.03, 6.04



UTILITY LOCATION NOTE:
 Contractor to Contact all Local Utility Companies prior to commencing work to mark all Utilities in the Field.

Dale & Associates
 Consulting Civil Engineering
 Land Planning & Zoning
 5161 Highway 100
 (615) 297-5166

D&A Project #12017
 Township PUD
 City of Franklin Project #5841

P1.0
 Sheet 18 of 20

Phase 1 Photometric Plan



LEFT SIDE ELEVATION



REAR ELEVATION



RIGHT SIDE ELEVATION



FRONT ELEVATION

TOWNSHIP PUD
COF #5841
ARCHITECTURAL ELEVATIONS

HARMONY SOUTHERN CARE
SOUTHERN CARE, INC.
1020 HARMONY HILLS DRIVE - FRANKLIN, TN

LON F. RABY
ARCHITECT
201A Woodmont Circle - Nashville, TN 37205
615-479-7040 - fax 615-457-3310



DATE
May 7, 2015
September 4, 2015
SHEET NO.
A1.0
19 of 20 Sheets



HARDI-PLANK SIDING = BEHR
"CANYON VIEW ECC-20-1"

GUTTERS/DOWNSPOUTS
AND EXTERIOR TRIM = BEHR
"ULTRA PURE WHITE"

HVAC UNIT
TYPICAL

ROOFING = TAMKO HERITAGE
PREMIUM "RUSTIC SLATE"

BRICK = HENRY BRICK CO
"CYPRESS POINT"

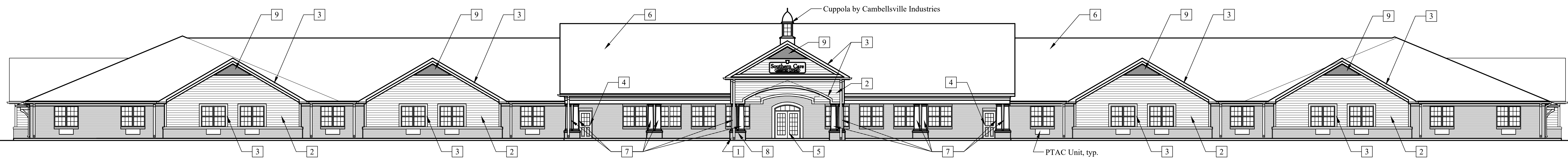
TOWNSHIP PUD
COF #5841
BUILDING MATERIALS

HARMONY SOUTHERN CARE
SOUTHERN CARE, INC.
1020 HARMONY HILLS DRIVE - FRANKLIN, TN

LON F. RABY
ARCHITECT
201A Woodmont Circle - Nashville, TN 37205
615-479-7040 - fax 615-457-3310



DATE
May 7, 2015
September 4, 2015
SHEET NO.
A1.1
20 of 20 Sheets

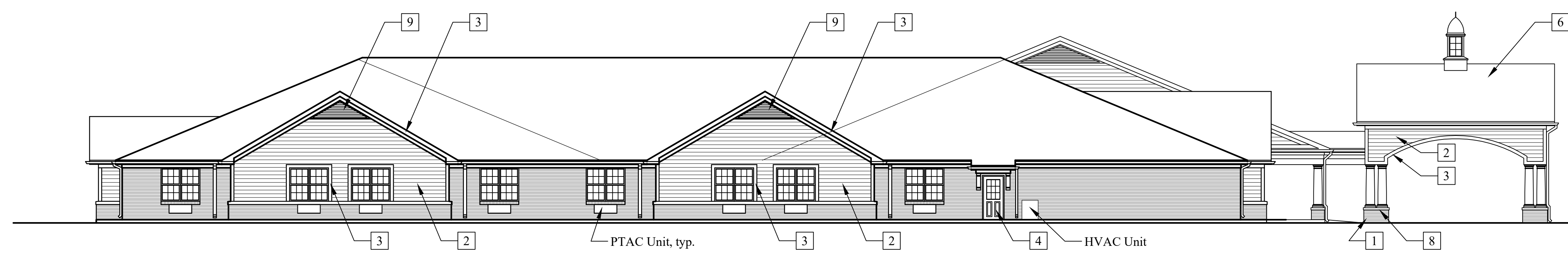


| Front Elevation | Surface Area | Percent of Net |
|-----------------|--------------|----------------|
| Gross of Wall | 4139 | |
| Net of Wall | 3273 | |
| Net Brick | 1634 | 49.9% |
| Net Siding | 1639 | 50.1% |

Front Elevation
3/32" = 1'-0"

Finish Legend

| Mark | Manufacture | Color |
|------|-----------------------|--|
| 1 | Field Brick | Henry Brick Cypress Point |
| 2 | Siding | James Hardie Behr - Canyon View |
| 3 | Trim | To Be Determined Behr - Ultra Pure White |
| 4 | Exterior Metal Door | To Be Determined Behr - Ultra Pure White |
| 5 | Aluminum Entry System | Stanley White |
| 6 | Asphalt Shingles | Tamco Rustic Slate |
| 7 | Columns | Permacast Behr - Ultra Pure White |
| 8 | Concrete Caps | To Be Determined Natural |
| 9 | Louver | To Be Determined Behr - Ultra Pure White |

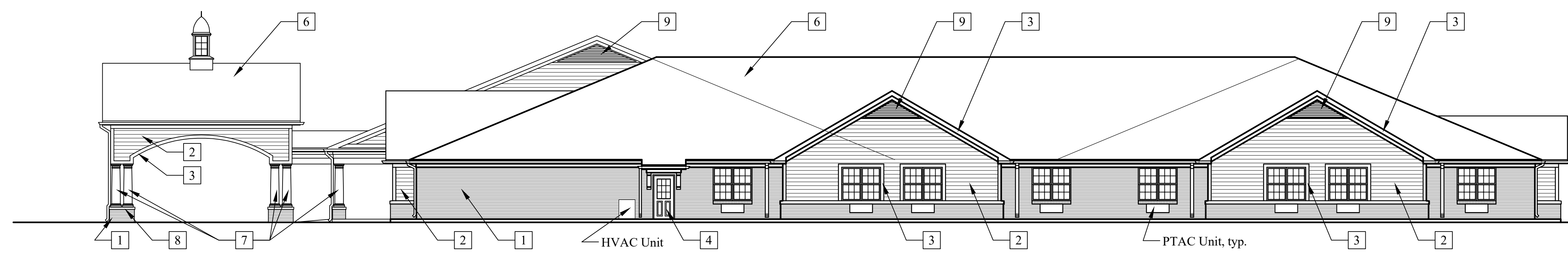


| Left Elevation | Surface Area | Percent of Net |
|----------------|--------------|----------------|
| Gross of Wall | 2021 | |
| Net of Wall | 1713 | |
| Net Brick | 1015 | 59.3% |
| Net Siding | 698 | 40.7% |

Left Elevation
3/32" = 1'-0"

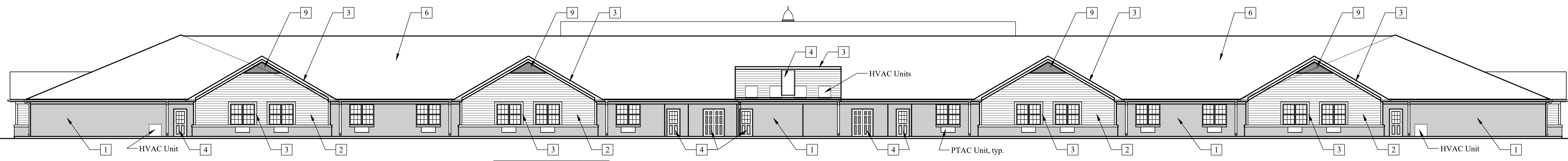
These elevations have been designed to meet the requirements of the City of Franklin's architectural design standards and the approval of the planning commission. Changes shall not be made to the approved elevations unless approved by either the codes department or the planning commission.
Franklin Codes Department (615)794-7012
Franklin Planning Department (615)791-3212

| HVAC Units, cooling and or mechanical units are located on the: | |
|---|---------------|
| <input checked="" type="checkbox"/> | Rooftop |
| <input checked="" type="checkbox"/> | Ground |
| <input type="checkbox"/> | None Provided |



| Right Elevation | Surface Area | Percent of Net |
|-----------------|--------------|----------------|
| Gross of Wall | 41 | |
| Net of Wall | 1713 | |
| Net Brick | 1015 | 59.3% |
| Net Siding | 698 | 40.7% |

Right Elevation
3/32" = 1'-0"



| Rear Elevation | Surface Area | Percent of Net |
|----------------|--------------|----------------|
| Gross of Wall | 4188 | |
| Net of Wall | 3498 | |
| Net Brick | 1672 | 47.8% |
| Net Siding | 1826 | 52.2% |

Rear Elevation
3/32" = 1'-0"

HARMONY SOUTHERN CARE
SOUTHERN CARE, INC.
 1020 HARMONY HILLS DRIVE - FRANKLIN, TN

LON F. RABY
ARCHITECT
 201A Woodmont Circle - Nashville, TN 37205
 615-479-7040 - fax 615-457-3310

Preliminary
 Pricing Set
 Not to be Used for
 Construction

DATE
September 2, 2015

SHEET NO.

A201

