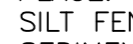
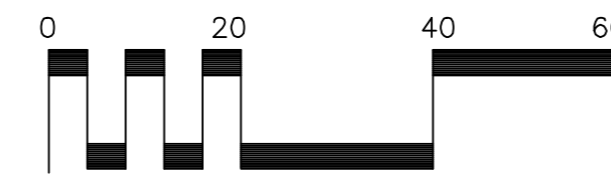
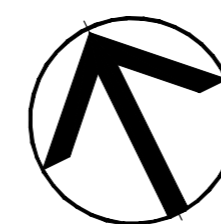




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EROSION/SILTATION CONTROL NOTES

- AREAS AND TIME OF EXPOSURE OF UNPROTECTED SOILS SHALL BE KEPT TO A MAXIMUM OF 15 DAYS.
- KEEP DUST WITHIN TOLERABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE MEANS.
- USE TEMPORARY VEGETATION AND/OR MULCH TO PROTECT BARE AREAS FROM EROSION DURING CONSTRUCTION.
- NO OTHER WORK WILL BE INITIATED ON THE PROJECT UNTIL THE EROSION/SILTATION MEASURES SHOWN ON THE PLANS AND DETAILS ARE PROPERLY IN PLACE.
- SILT FENCING SHOWN THUS  ARE TO BE USED AS TEMPORARY SEDIMENT BARRIERS. PER THE ATTACHED DETAILS.
- IF, AT ANY TIME DURING THE CONSTRUCTION PHASE OF THIS PROJECT, THE EROSION/SILTATION MEASURES INSTALLED FAIL TO FUNCTION PROPERLY, NEED MAINTENANCE OR REPAIR, OR NEED NEW REPLACEMENT IN KIND, THE CONTRACTOR WILL EFFECT SUCH ACTIONS AS ARE NEEDED TO CORRECT THE SITUATION AT NO ADDITIONAL COST TO THE OWNER.
- DISTURBED AREAS ARE TO BE GRADED TO DRAIN AS INDICATED ON PLAN TO SEDIMENT BARRIERS DURING AND UPON COMPLETION OF CONSTRUCTION.
- ALL CUT/FILL AREAS TO HAVE A MINIMUM OF 6-INCH DEPTH TOPSOIL COVER. AREAS DRESSED WITH TOPSOIL WILL RECEIVE 12 POUNDS PER 1000 SQUARE FEET OF 6-12 FERTILIZER, 5 POUNDS OR MORE OF KENTUCKY 31 FESCUE SEED PER 1000 SQUARE FEET AND A STRAW MULCH OF 70%-80% COVERAGE (APPROXIMATELY 125 POUNDS PER 1000 SQUARE FEET) EXCEPT AS OTHERWISE DETERMINED BY PLAN.
- UPON STABILIZATION OF THE PROJECT SITE WITH A GOOD (ACCEPTABLE) STAND OF GRASS AND/OR GROUND COVER, THE EROSION/SILTATION INSTALLATIONS WILL BE REMOVED AND THE AREA DISTURBED WILL BE SEEDED AND MULCHED WITH THE SAME TREATMENT AS OTHER NEW GRASSED AREAS OF THE PROJECT.
- A STONE ACCESS ENTRANCE IS TO BE CONSTRUCTED AT THE SITE ENTRANCE WITH A MINIMUM WIDTH OF 20 FEET AND MINIMUM LENGTH OF 100 FEET. ENTRANCE IS TO BE BASED WITH 8 INCHES OF ASTM D 448, SIZE NO. 1 STONE, AND MAINTAINED THROUGHOUT CONSTRUCTION. ENTRANCE SHALL BE GEOTEXTILE REINFORCED.
- PRIOR TO THE ISSUANCE OF A GRADING PERMIT, ALL EROSION/SILTATION CONTROL MEASUREMENTS INDICATED ON THE PLANS SHALL BE INSTALLED.



AREA 2 PARKING
12596 S.F. OR .29 ACRE
C= .95 Q=1.91 CFS

AREA 2 GREEN
9201 S.F. OR .21 ACRE
C= .40 Q=0.59 CFS

AREA 3 GREEN
1973 S.F. OR .04 ACRE
C= .40 Q=0.13 CFS

AREA 3 PARKING
9296 S.F. OR .21 ACRE
C= .95 Q=1.40 CFS

BYPASS AREA 5
2584 S.F. OR .06 ACRE
C= .40 Q=0.17 CFS

POST CONSTRUCTION BMP/WATER QUALITY NOTE:

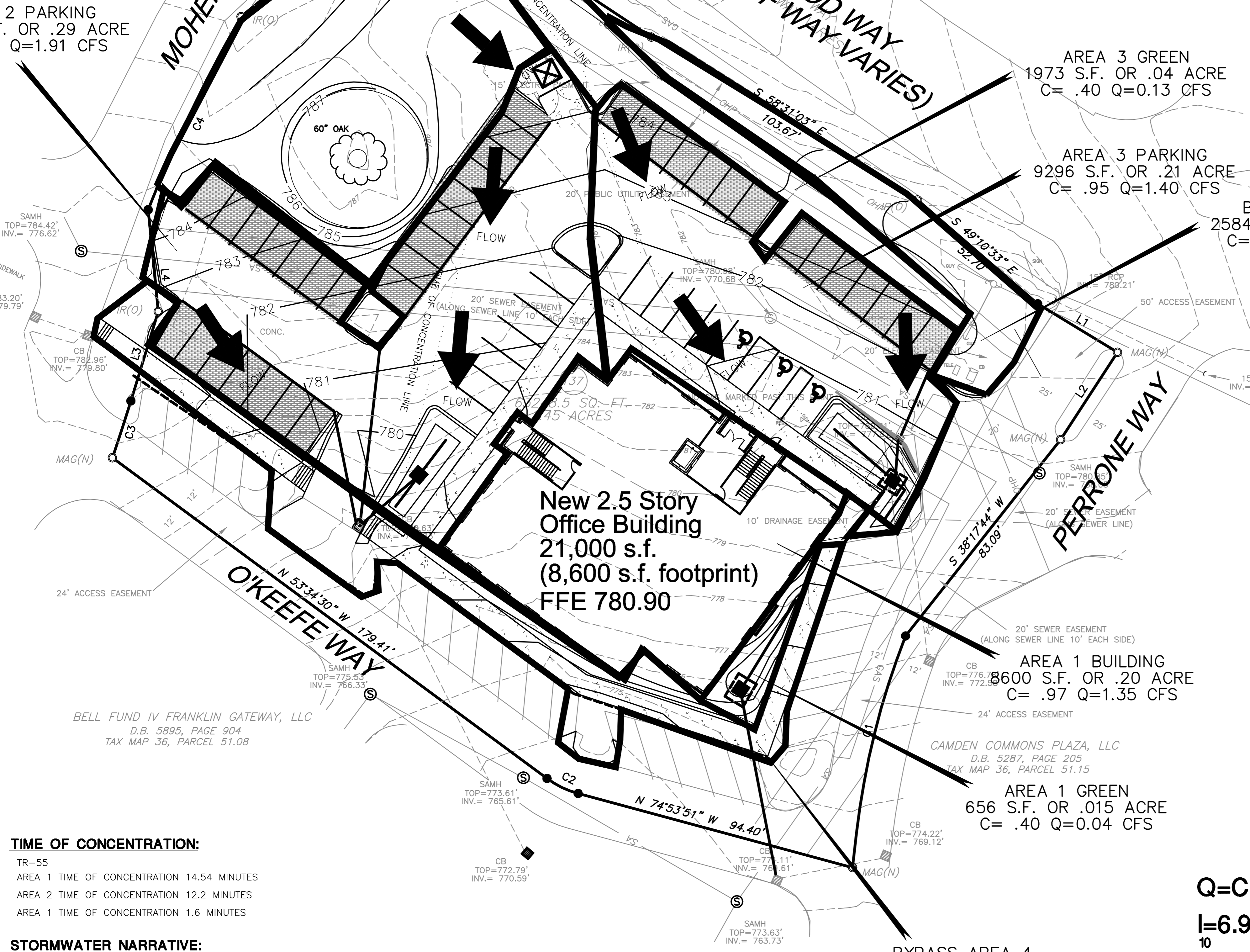
TO MEET THE FRANKLIN STORMWATER QUALITY REGULATIONS, A STORM DRAINAGE TREATMENT SYSTEM SHALL BE INSTALLED. DUE TO HAVING AVAILABLE SITE AREA FOR NATURAL DRAINAGE, ON-SITE STORM DRAINAGE SHALL BE DIRECTED TO A RAIN GARDEN AREA FOR STORMWATER TREATMENT. THESE STRUCTURES ARE DESIGNED TO SEPARATE CONTAMINATED EFFLUENT FROM THE STORMWATER DRAINAGE THROUGH PHYDROREMEDIATION AND ABSORPTION OF THE CONTAMINATED EFFLUENT INTO THE ROOT SYSTEM OF VEGETATION. THIS SYSTEM WILL CONTROL THE POLLUTANT LEVELS AND CONTROL DISCHARGE VELOCITIES FROM STORMWATER RUNOFF. THE SITE OWNER SHALL BE RESPONSIBLE FOR MAINTAINING ALL STORMWATER QUALITY AND DETENTION SURFACES ON THIS SITE PER THE FRANKLIN STORMWATER REGULATIONS.

EROSION CONTROL SCHEDULE:

- STAGE #1: SILT FENCE SHALL BE INSTALLED PRIOR TO ANY GRADING OPERATIONS. STRAW CHECK DAMS AND INLET PROTECTION AROUND ALL EXISTING DRAINAGE STRUCTURES SHALL BE INSTALLED PRIOR TO ANY GRADING OPERATIONS. TREE PROTECTION, IF REQUIRED BY LANDSCAPE PLAN, IS TO BE INSTALLED AT THIS TIME. A GRADING PERMIT CAN BE OBTAINED FROM BRENTWOOD CODES AND ENGINEERING DEPARTMENT AFTER STAGE #1 HAS PASSED THEIR INSPECTION.
- STAGE #2: CONSTRUCT SITE IMPROVEMENTS PROVIDING INLET PROTECTION AND ALL OTHER EROSION CONTROL MEASURES AS THE DRAINAGE SYSTEM IS CONSTRUCTED.
- STAGE #3: REMOVE EROSION CONTROL DEVICES ONLY AFTER A PROPER STAND OF GRASS IS OBTAINED AND ONLY UPON APPROVAL FROM THE FRANKLIN STORMWATER DEPARTMENT AND ENGINEER.

BUILDING DRAINAGE NOTE:

ALL DOWNSPOUTS SHALL BE DIRECTED TO THE RAIN GARDEN AREAS.



New 2.5 Story
Office Building
21,000 s.f.
(8,600 s.f. footprint)
FFE 780.90

AREA 1 BUILDING
8600 S.F. OR .20 ACRE
C= .97 Q=1.35 CFS

AREA 1 GREEN
656 S.F. OR .015 ACRE
C= .40 Q=0.04 CFS

BYPASS AREA 4
4942 S.F. OR .11 ACRE
C= .90 Q=0.70 CFS

TIME OF CONCENTRATION:

- TR-55
AREA 1 TIME OF CONCENTRATION 14.54 MINUTES
AREA 2 TIME OF CONCENTRATION 12.2 MINUTES
AREA 1 TIME OF CONCENTRATION 1.6 MINUTES

STORMWATER NARRATIVE:

WATER FLOWS FROM NORTHWEST TO SOUTHEAST ACROSS PERVIOUS PAVERS AND INTO RAIN GARDEN AREAS. THESE AREAS THEN FILTER THE WATER AND DISCHARGE INTO THE INLET FOR AREA 1 AND INTO STORMWATER QUALITY STRUCTURES FOR AREAS 2 AND 3 AND THEN INTO THE EXISTING STORMWATER CONVEYANCE SYSTEM INTO A REGIONAL POND SIZED TO ACCOMMODATE THE RUNOFF FROM THE SITE.

Q=CIA

I=6.97 in/hr 5 Minute Duration

10

Revisions

HMH Job Number
14035

Drawn By
HMH

Date
07.28.14

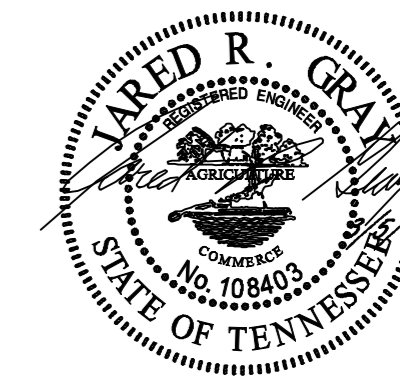
Drawing

FLOW WORKSHEET

FLOW



CIVIL DESIGN CONSULTANTS, LLC
CIVIL ENGINEERS • LAND PLANNERS
CIVIL-DESIGN-CONSULTANTS, LLC
8170 COLLEY CREEK RD., NASHVILLE, TN 37221
PHONE: (615) 319-2244 FAX: (615) 319-2244



Flow Worksheet

GATEWAY VILLAGE PUD SUBDIVISION

SECTION 4 - LOT 137

SITE PLANS - TOUCHSTONE MEDICAL IMAGING OFFICE HEADQUARTERS

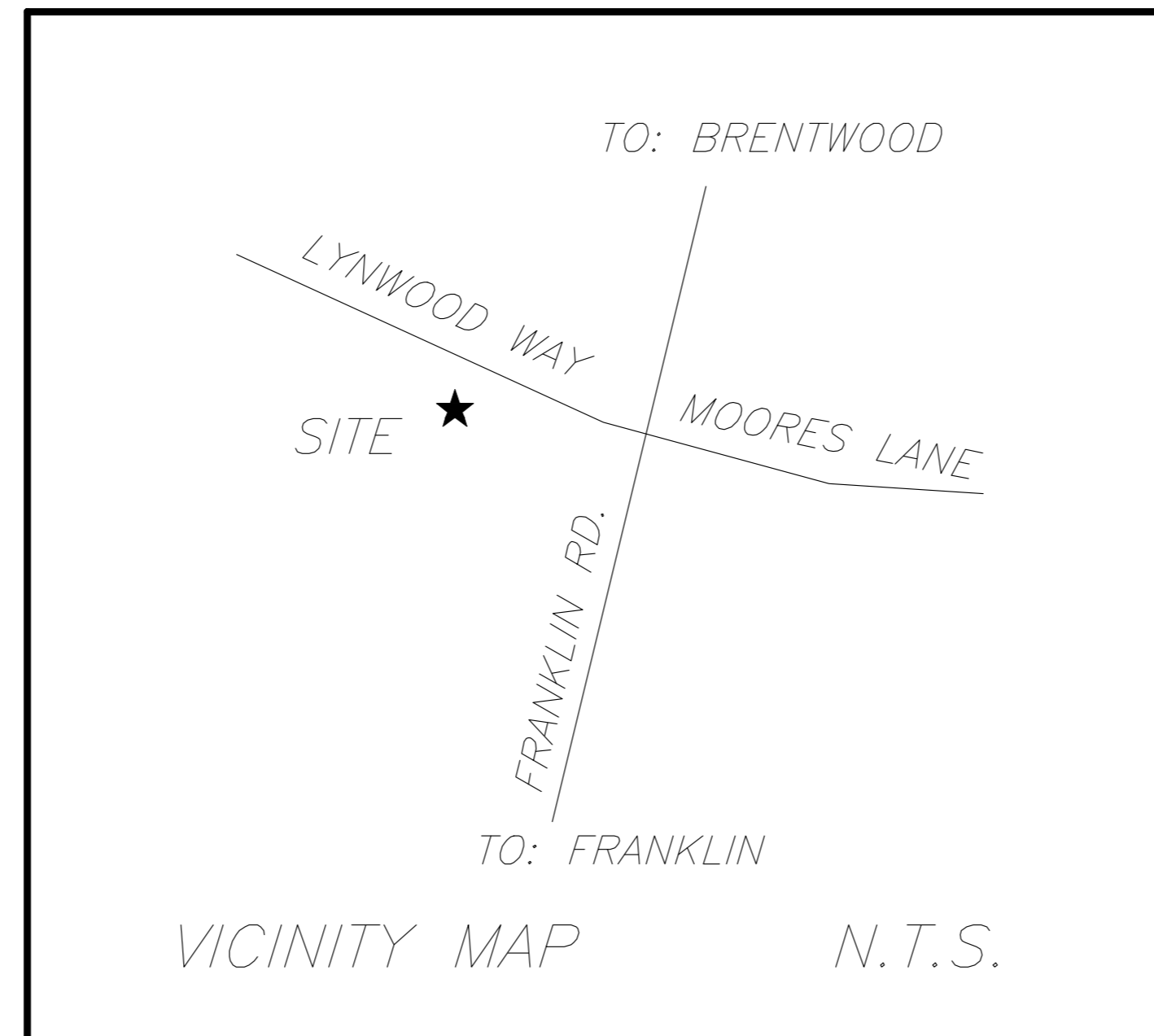
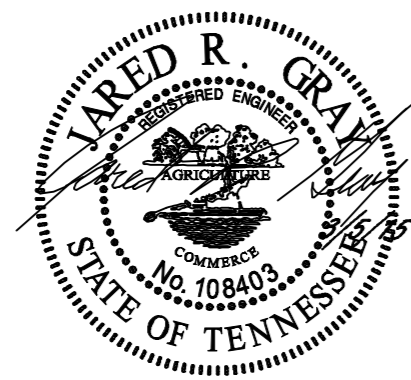


H. Michael Hindman
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Brentwood, Tennessee 37027
615.370.3252
www.hmharchitects.com



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8170 COLEY DAVIS RD., NASHVILLE, TN 37221
PHONE: (615) 319-2734 EMAIL: CIVILCONSULTANTS@BELLSOUTH.NET



UTILITY PROVIDERS:
WATER - MVUD - 615-377-3374
GAS- ATMOS ENERGY - 1-888-286-6700
ELECTRIC- MTEC - 1-877-777-9020
PHONE -ATT- 1-877-986-1483
SEWER-COF- 615-791-3218
CITY OF FRANKLIN WATER
MANAGEMENT DEPT.- 615-794-4554

1360 MOHER BLVD
CITY OF FRANKLIN PROJECT NUMBER 5740
CITY OF FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

PLAN SHEET INDEX

| SHEET | DESCRIPTION |
|-------|---|
| CS | COVER SHEET |
| C0.0 | EXISTING CONDITIONS PLAN |
| C1.0 | PROPOSED LAYOUT PLAN |
| C2.0 | PROPOSED GRADING DRAINAGE PLAN |
| C2.0A | PROPOSED UTILITY PLAN |
| C3.0 | STORMWATER PLAN INITIAL |
| C3.0A | STORMWATER PLAN INTERMEDIATE/FINAL |
| E1.1 | SITE PHOTOMETRIC PLAN |
| L1.0 | LANDSCAPE PLAN |
| L1.1 | LANDSCAPE PLAN |
| A1 | ARCHITECTURE PLAN |
| A2 | ARCHITECTURE PLAN |
| A3 | ARCHITECTURE PLAN |
| A4 | ARCHITECTURE PLAN |
| G1.01 | CONCEPT PLAN OF RECORD (FOR INFORMATION ONLY) |
| PCP | CONCEPT PLAN AS APPROVED |

SITE DATA:

| | |
|--------------------------|---|
| SUBDIVISION/DEVELOPMENT: | GATEWAY VILLAGE PUD SUBDIVISION DEVELOPMENT PLAN, REVISION 4, TOUCHSTONE OFFICE BUILDING |
| ADDRESS: | 1360 MOHER BLVD. |
| CITY: | FRANKLIN |
| COUNTY: | WILLIAMSON |
| STATE: | TENNESSEE |
| PARCEL\MAP: | PARCEL 49 MAP 064B GROUP B |
| ACREAGE OF SITE: | 1.45± ACRES |
| SQUARE FOOTAGE OF SITE: | 63,245± S.F. |
| DISTURBED ACREAGE: | 1.20± ACRES |
| CIVIL DISTRICT: | 3 RD |
| ZONING DISTRICT: | SD-X 6.64/144, 258 |
| CHARACTER AREA | BERRYS CHAPEL-4 |
| DEVELOPMENT STANDARD | TRADITIONAL |
| EXISTING USE | VACANT |
| PROPOSED USE | OFFICE |
| APPLICANT: | ARCHITECT MR. MICHAEL HINDMAN, A.I.A. H. MICHAEL HINDMAN ARCHITECTS, P.C. 1607 WESTGATE CIRCLE, SUITE 100 BRENTWOOD, TN 37027 (615) 370-3252 |
| | ENGINEER MR. JARED R. GRAY, P.E. CIVIL DESIGN CONSULTANTS, LLC. 8170 COLEY DAVIS RD. NASHVILLE, TN 37221 (615) 638-8207 |
| | LANDSCAPE ARCHITECT MR. CONNOR BALL, RLA HEIBERT + BALL LAND DESIGN 1894 GENERAL GEORGE PATTON DR. FRANKLIN, TN 37067 (615) 376-2421 |

| | |
|--------------------------|------------------------------|
| BUILDING SQUARE FOOTAGE: | 21,000 S.F. (MEDICAL OFFICE) |
| PARKING REQUIRED: | 60 SPACES |
| PARKING PROVIDED: | 60 SPACES |

ALL 90° PARKING ADJACENT TO THE PROPOSED BUILDING SHALL BE 9'X18' UNLESS OTHERWISE NOTED
ALL PERIMETER SPACES ARE 9'X16' UNLESS OTHERWISE NOTED ALL DRIVE AISLES ARE 24' WIDE
ALL PARKING ADJACENT TO ISLANDS SHALL BE 10'X18'
SEE LANDSCAPE ARCHITECTURE PLAN FOR ADDITIONAL LAND DISTURBANCE AND GREEN SPACE CALCULATIONS.

CITY OF FRANKLIN IS NOT A PART OF TN. ONE CALL
CONTRACTOR SHALL COORDINATE WITH CITY FOR
MARKING OF CITY UTILITIES

COF #5740

Revisions

HMH Job Number
14035

Drawn By
HMH

Date
07.28.14

Drawing

COVER SHEET

CS

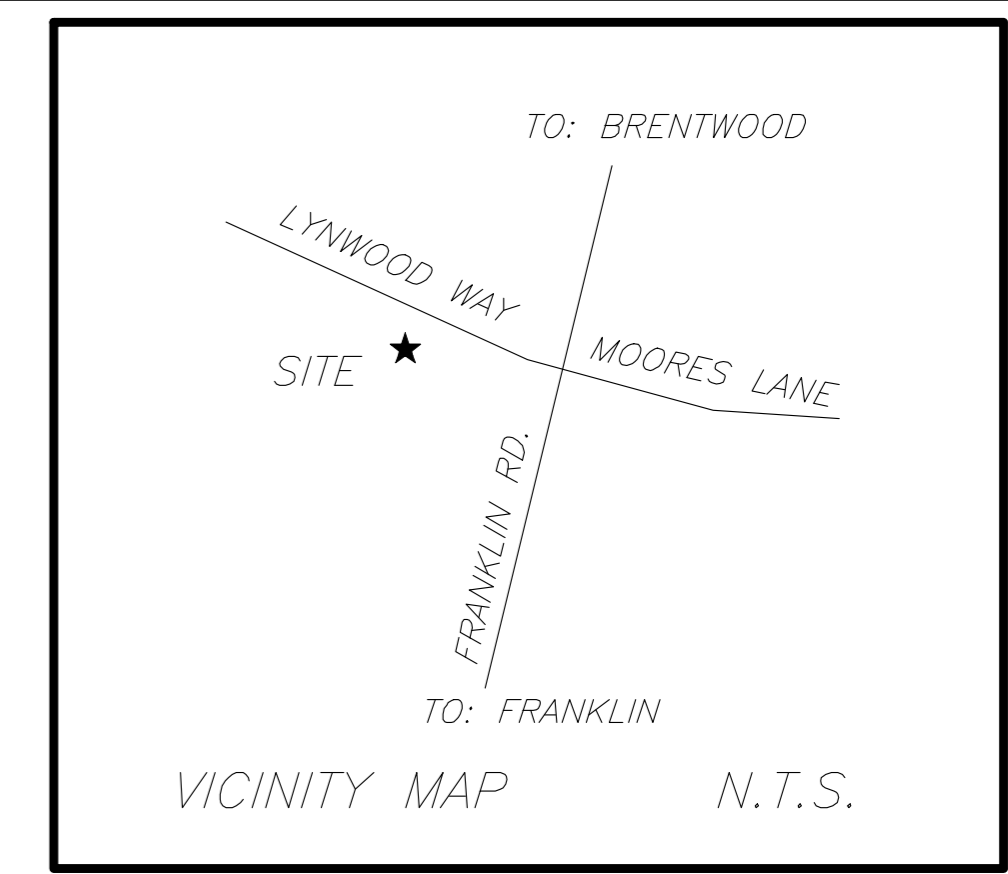
EXISTING TREE SURVEY:

| | | |
|------|------|--------|
| TREE | SIZE | HEALTH |
| OAK | 60" | GOOD |

TREE HEALTH VERIFIED BY HEIBERT, BALL & ASSOCIATES

LEGEND

- PROPERTY CORNER FOUND
- IRON PIN SET
- UNMONUMENTED POINT
- PROPERTY LINE
- - - BUILDING SETBACK LINE
- N.T.S. NOT TO SCALE
- OVERHEAD UTILITY LINE
- SA SANITARY SEWER LINE GRAVITY
- APPROXIMATE GAS LINE AS MARKED
- ⊙ SANITARY SEWER MANHOLE
- ⊕ UTILITY POLE
- ⊕ GAS VALVE
- ⊕ WATER METER
- ⊕ WATER VALVE
- ⊕ FIRE HYDRANT
- ① LOT NUMBER



NOTES:

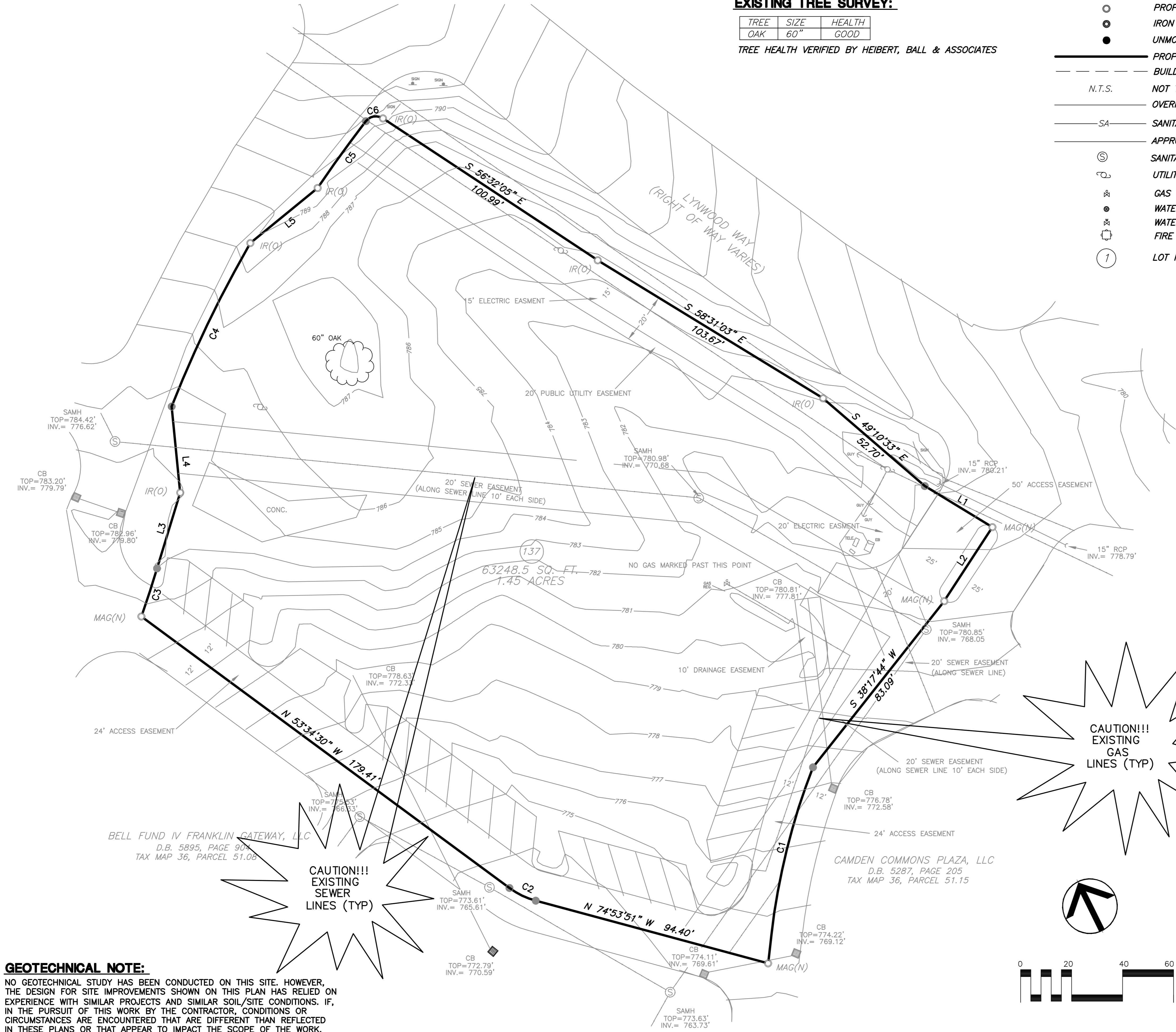
- BEARINGS SHOWN HEREON ARE BASED ON TSPC.
- PARCEL NUMBERS PERTAIN TO WILLIAMSON COUNTY TAX MAPS.
- PROPERTY IS ZONED "PC 6.93 SUBURBAN". (PER SURVEY BY SCOTT CHERRY DATED 2/20/2008.)
- NO ABSTRACT OF TITLE PROVIDED TO SURVEYOR. THERE MAY EXIST OTHER EASEMENTS (WRITTEN OR UNWRITTEN) OR DOCUMENTS OF RECORD THAT COULD EFFECT THIS PROPERTY.
- ALL ELEVATIONS SHOWN ARE BASED ON NAVD88.
- UNDERGROUND UTILITY LOCATIONS WERE TAKEN FROM FIELD LOCATIONS AND/OR APPROPRIATE GOVERNING AGENCIES AND ARE APPROXIMATE ONLY. BROWN LAND SURVEYING, LLC. DOES NOT CERTIFY THE EXACT LOCATION OF UTILITIES OR THAT ALL THE UTILITIES PRESENT ARE SHOWN ON THE SURVEY. PRECISE LOCATION OF UNDERGROUND UTILITIES IS RECOMMENDED PRIOR TO ANY CONSTRUCTION ON THIS PROPERTY. CALL TN-ONE CALL.
- THIS IS TO CERTIFY THAT I HAVE EXAMINED THE FLOOD INSURANCE RATE MAP AND FOUND THE HEREON DESCRIBED PROPERTY APPEARS TO BE LOCATED IN A SPECIAL FLOOD HAZARD AREA PER FEMA MAP NO. 4718700205F FOR WILLIAMSON COUNTY TENNESSEE UNINC. & INC. AREAS. DATED 9/29/2006.
- PROPERTY IS SUBJECT TO EASEMENTS SHOWN ON RECORDED PLAT AND SURVEY PREPARED BY SCOTT CHERRY DATED 2/20/2008.

EXISTING CONDITIONS NOTE:

EXISTING CONDITIONS SHOWN ON THIS PLAN TAKEN FROM FIELD RUN SURVEY DATA COMPLETED BY BROWN LAND SURVEYING, INC. CIVIL DESIGN CONSULTANTS LLC, AND THIS ENGINEER, ASSUME NO LIABILITY AS TO THE COMPLETENESS OR ACCURACY OF WHAT IS SHOWN TO BE EXISTING. CONTRACTOR SHALL VERIFY IF NECESSARY ALL EXISTING CONDITIONS AND NOTIFY CIVIL ENGINEER IN THE EVENT THAT DISCREPANCIES EXIST.

PURPOSE NOTE:

THE PURPOSE OF THIS PLAN IS TO ALLOW FOR CONSTRUCTION OF A COMMERCIAL MEDICAL OFFICE DEVELOPMENT.



CAUTION!!!
EXISTING GAS LINES (TYP)

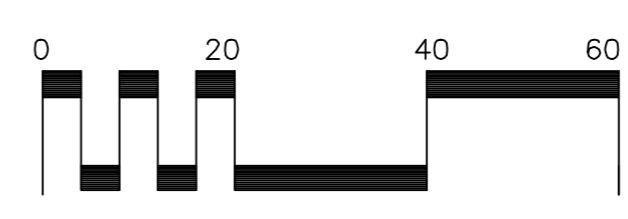
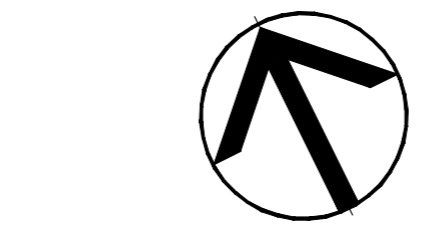
CAUTION!!!
EXISTING SEWER LINES (TYP)

| LINE | BEARING | DISTANCE |
|------|---------------|----------|
| L1 | S 58°43'02" E | 31.03' |
| L2 | S 33°03'13" W | 34.63' |
| L3 | N 17°00'51" E | 31.08' |
| L4 | N 05°40'40" W | 33.96' |
| L5 | N 50°41'39" E | 34.12' |

| CURVE | RADIUS | ARC LENGTH | CHORD LENGTH | CHORD BEARING |
|-------|---------|------------|--------------|---------------|
| C1 | 262.01' | 67.72' | 67.53' | S 13°57'36" W |
| C2 | 31.02' | 11.54' | 11.47' | N 64°14'32" W |
| C3 | 524.50' | 19.86' | 19.86' | N 18°01'06" E |
| C4 | 480.00' | 71.24' | 71.17' | N 25°41'41" E |
| C5 | 469.00' | 32.33' | 32.32' | N 35°49'17" E |
| C6 | 5.00' | 7.47' | 6.79' | N 80°40'23" E |

GEOTECHNICAL NOTE:

NO GEOTECHNICAL STUDY HAS BEEN CONDUCTED ON THIS SITE. HOWEVER, THE DESIGN FOR SITE IMPROVEMENTS SHOWN ON THIS PLAN HAS RELIED ON EXPERIENCE WITH SIMILAR PROJECTS AND SIMILAR SOIL/SITE CONDITIONS. IF, IN THE PURSUIT OF THIS WORK BY THE CONTRACTOR, CONDITIONS OR CIRCUMSTANCES ARE ENCOUNTERED THAT ARE DIFFERENT THAN REFLECTED IN THESE PLANS OR THAT APPEAR TO IMPACT THE SCOPE OF THE WORK, THE CONTRACTOR WILL IMMEDIATELY NOTIFY CIVIL DESIGN CONSULTANTS, LLC AND THE OWNER/DEVELOPER BEFORE ANY REMEDIAL COURSE OF ACTION OR DESIGN CHANGE IS INITIATED. ALL PARTIES (OWNER, CIVIL ENGINEER, PROPER GOVERNMENTAL AGENCIES, AND CONTRACTOR) MUST BE IN AGREEMENT AND THE MAGNITUDE OF THE COST/TIME REQUIRED FOR THE MEASURES ESTABLISHED.



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1-615-366-1987
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CIVIL DESIGN CONSULTANTS, LLC
CIVIL ENGINEERS & LAND PLANNERS
CIVIL DESIGN CONSULTANTS, LLC
8170 COLEBY DRIVE RD., NASHVILLE, TN, 37221
PHONE: (615) 316-5746/4411 CHICAGO/INDIANAPOLIS/ELLSWORTH/MIAMI



COF #5740

Revisions

HMH Job Number
14035
Drawn By
HMH
Date
07.28.14
Drawing
EXISTING COND.

C0.0

THE CITY OF FRANKLIN IS NOT A PART OF TN ONE CALL. PLEASE CONTACT THE CITY DIRECTLY FOR LOCATION MARKINGS.



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H. Michael Hindman
Architects, P.C.

1607 Westgate Circle - Suite 100
Brentwood, Tennessee 37027
615.370.2022
www.hmhaarchitects.com

OFFICE BUILDING FOR
Touchstone Medical Imaging

LYNWOOD WAY
LOT 137 GATEWAY
VILLAGE SECTION 3
FRANKLIN, TENNESSEE

LAYOUT NOTES

- THE CONTRACTOR SHALL CHECK ALL FINISHED GRADES AND DIMENSIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE OR ENGINEER PRIOR TO BEGINNING WORK.
- THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR CONTRACTOR CAUSED DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
- THE CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES AND OBTAIN ALL PERMITS PRIOR TO BEGINNING WORK.
- PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY. INSTALL ALL UTILITIES PRIOR TO INSTALLATION OF PAVEMENT.
- ALL DAMAGE TO EXISTING ASPHALT PAVEMENT TO REMAIN, WHICH RESULTS FROM NEW CONSTRUCTION, SHALL BE REPLACED WITH LIKE MATERIALS AT CONTRACTOR'S EXPENSE.
- DIMENSIONS ARE TO THE EDGE OF ASPHALT UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND OVERHEAD ELECTRICAL WIRES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK, THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF THE ABOVE NOTED WIRES, THE ELECTRICAL COMPANY SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN.
- IN EASEMENTS AND RIGHTS-OF-WAY, CONTRACTOR SHALL PROTECT AND RESTORE SAID PROPERTY TO A CONDITION SIMILAR OR EQUAL TO THAT EXISTING AT THE COMMENCEMENT OF CONSTRUCTION EXCEPT AS NOTED.
- THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE "MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION" ISSUED BY AOC OF AMERICA, INC. AND THE "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION" ISSUED BY THE U.S. DEPARTMENT OF LABOR.

SITE DATA:

| | |
|--------------------------|---|
| SUBDIVISION/DEVELOPMENT: | GATEWAY VILLAGE PUD SUBDIVISION DEVELOPMENT PLAN, REVISION 4, TOUCHSTONE OFFICE BUILDING |
| ADDRESS: | 1360 MOHER BLVD. |
| CITY: | FRANKLIN |
| COUNTY: | WILLIAMSON |
| STATE: | TENNESSEE |
| PARCEL MAP: | PARCEL 49 MAP 064B GROUP B |
| ACREAGE OF SITE: | 1.45± ACRES |
| SQUARE FOOTAGE OF SITE: | 63,245± S.F. |
| NEW IMPERVIOUS AREA: | 0.76± ACRES |
| DISTURBED ACREAGE: | 1.20± ACRES |
| CIVIL DISTRICT: | 3 RD |
| ZONING DISTRICT: | SD-X 6.64/144, 258 |
| CHARACTER AREA: | BERRYS CHAPEL-4 |
| DEVELOPMENT STANDARD: | TRADITIONAL |
| EXISTING USE: | VACANT |
| PROPOSED USE: | OFFICE |
| APPLICANT: | ARCHITECT MR. MICHAEL HINDMAN, A.I.A. H. MICHAEL HINDMAN ARCHITECTS, P.C. 1607 WESTGATE CIRCLE, SUITE 100 BRENTWOOD, TN 37027 (615) 370-3252 |
| ENGINEER: | MR. JARED R. GRAY, P.E. CIVIL DESIGN CONSULTANTS, LLC. 8170 COLEY DAVIS RD. NASHVILLE, TN 37221 (615) 636-8207 |
| LANDSCAPE ARCHITECT: | MR. CONNOR BALL, RLA HEIBERT + BALL LAND DESIGN 1894 GENERAL GEORGE PATTON DR. FRANKLIN, TN 37067 (615) 376-2421 |

| | |
|--------------------------|------------------------------|
| BUILDING SQUARE FOOTAGE: | 21,000 S.F. (MEDICAL OFFICE) |
| PARKING REQUIRED: | 60 SPACES |
| PARKING PROVIDED: | 60 SPACES |

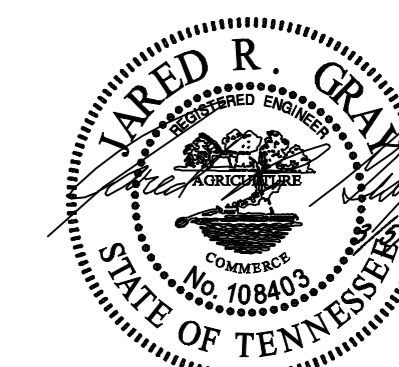
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ALL PARKING ADJACENT TO ISLANDS SHALL BE 10'X18'
SEE LANDSCAPE ARCHITECTURE PLAN FOR ADDITIONAL LAND DISTURBANCE AND GREEN SPACE CALCULATIONS.

PAVEMENT LEGEND

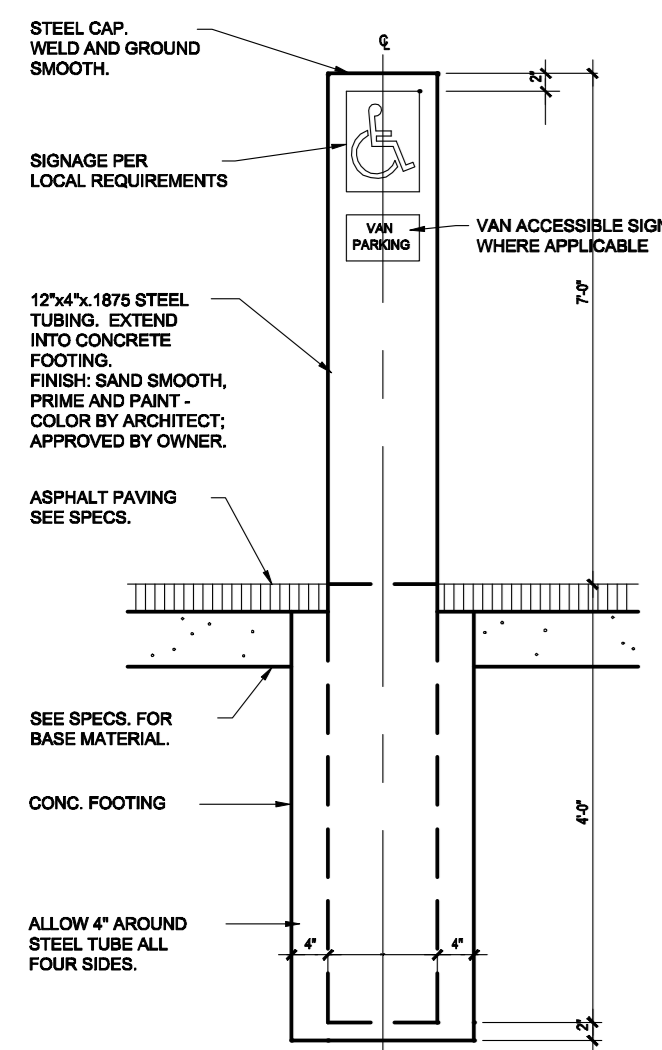
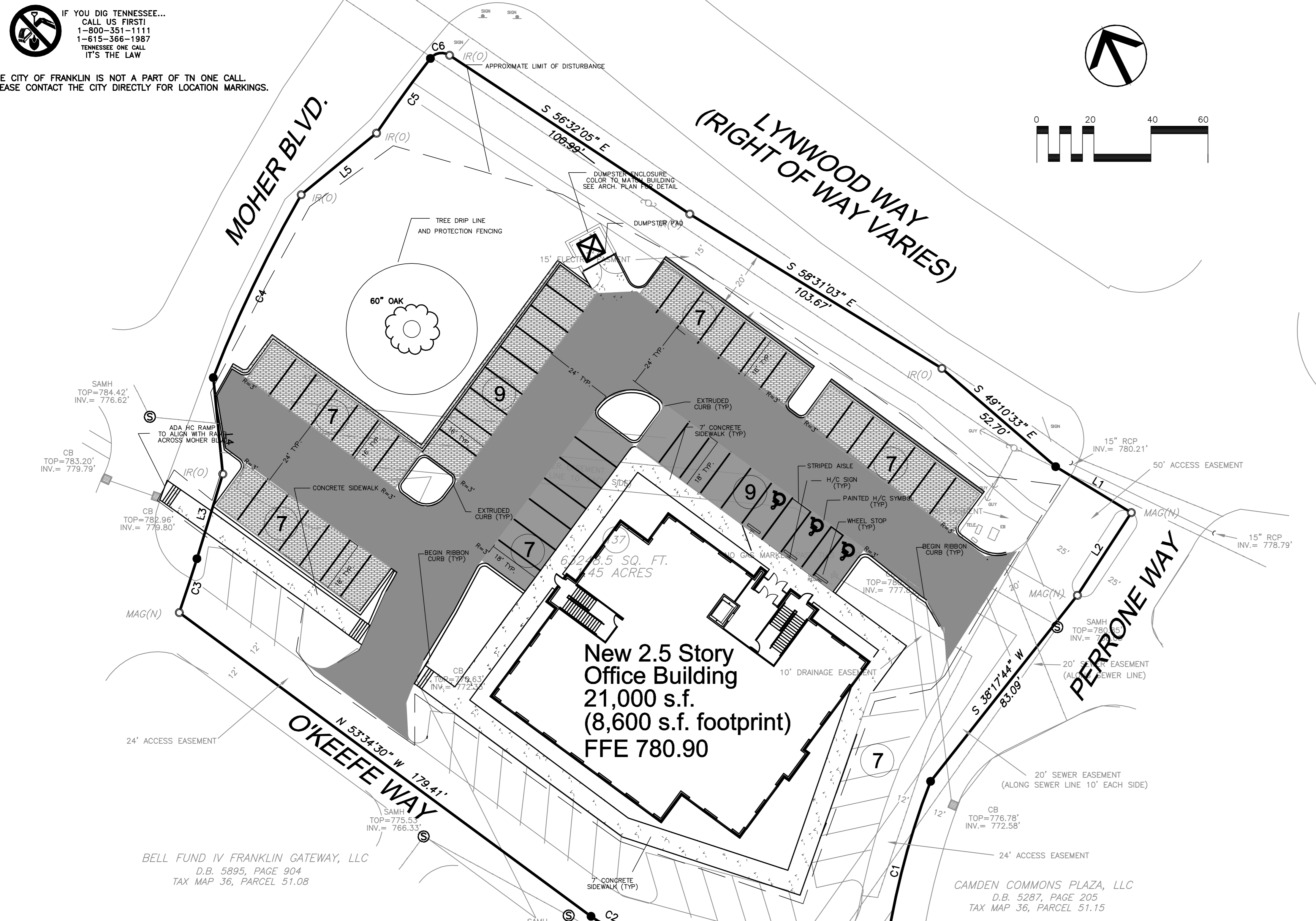
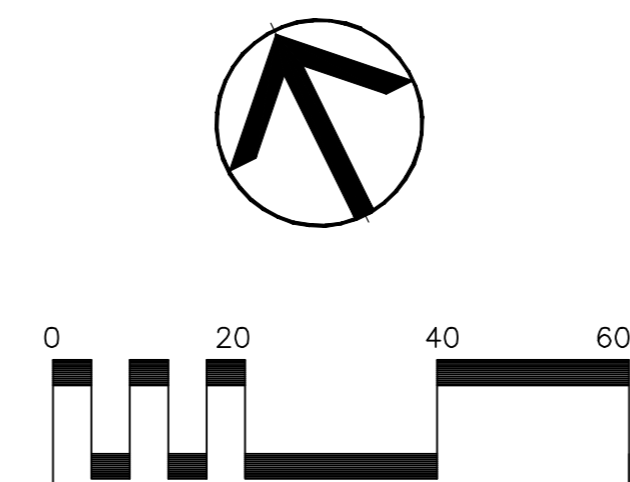
| | |
|--|--------------------------------|
| | HEAVY DUTY ASPHALT PAVEMENT |
| | LIGHT DUTY ASPHALT PAVEMENT |
| | CONCRETE PAVEMENT/FILTER STRIP |
| | CONCRETE WALK |
| | CONCRETE PAVERS |

PARKING COUNT

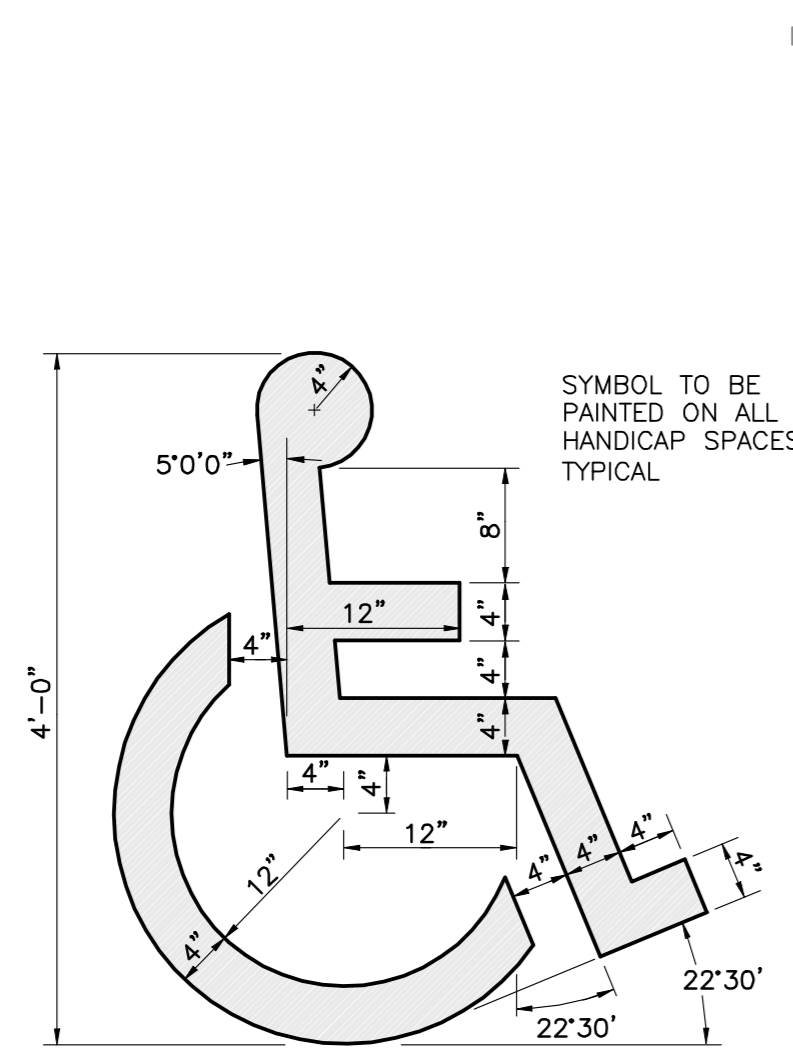
CIVIL DESIGN CONSULTANTS, LLC
CIVIL ENGINEERS - LAND PLANNERS
8170 COLEY DAVIS RD., NASHVILLE, TN 37221
PHONE: (615) 358-2254 FAX: (615) 358-2254



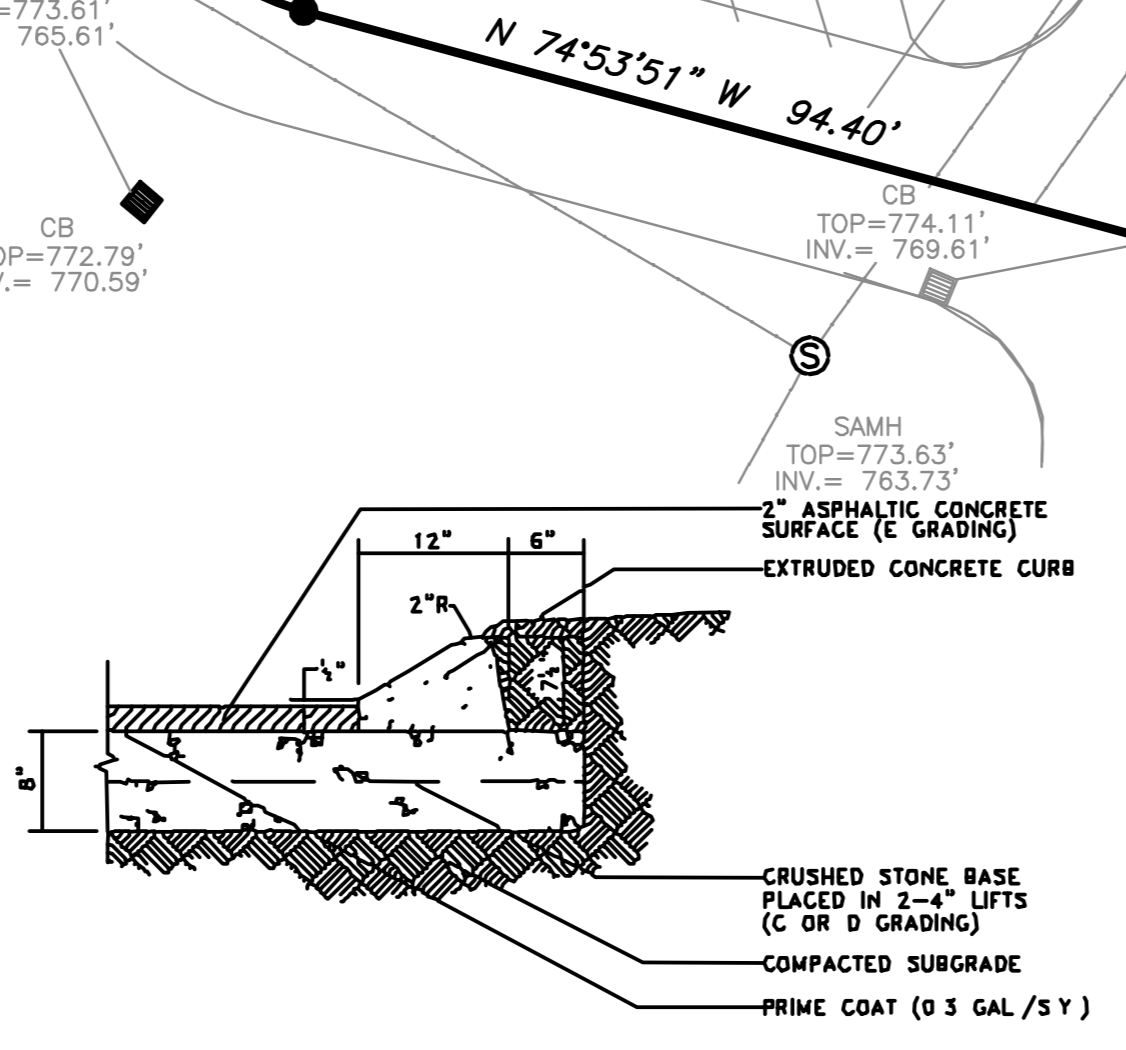
COF #5740



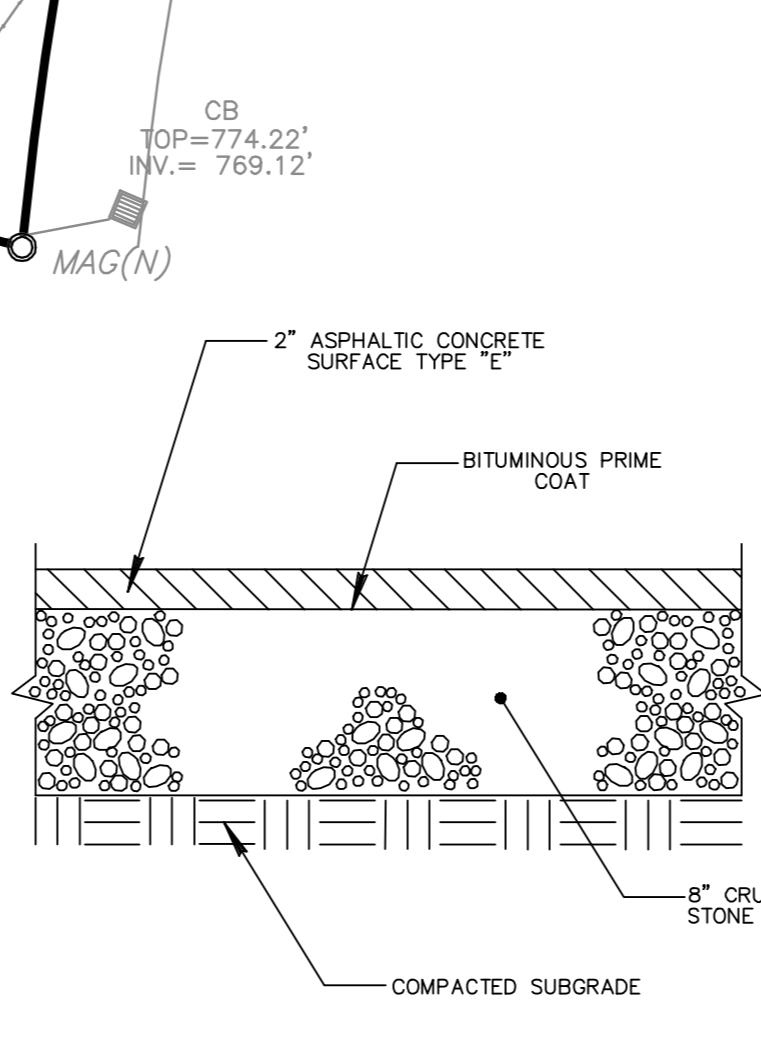
EXTERIOR HANDICAP SIGN
NOT TO SCALE



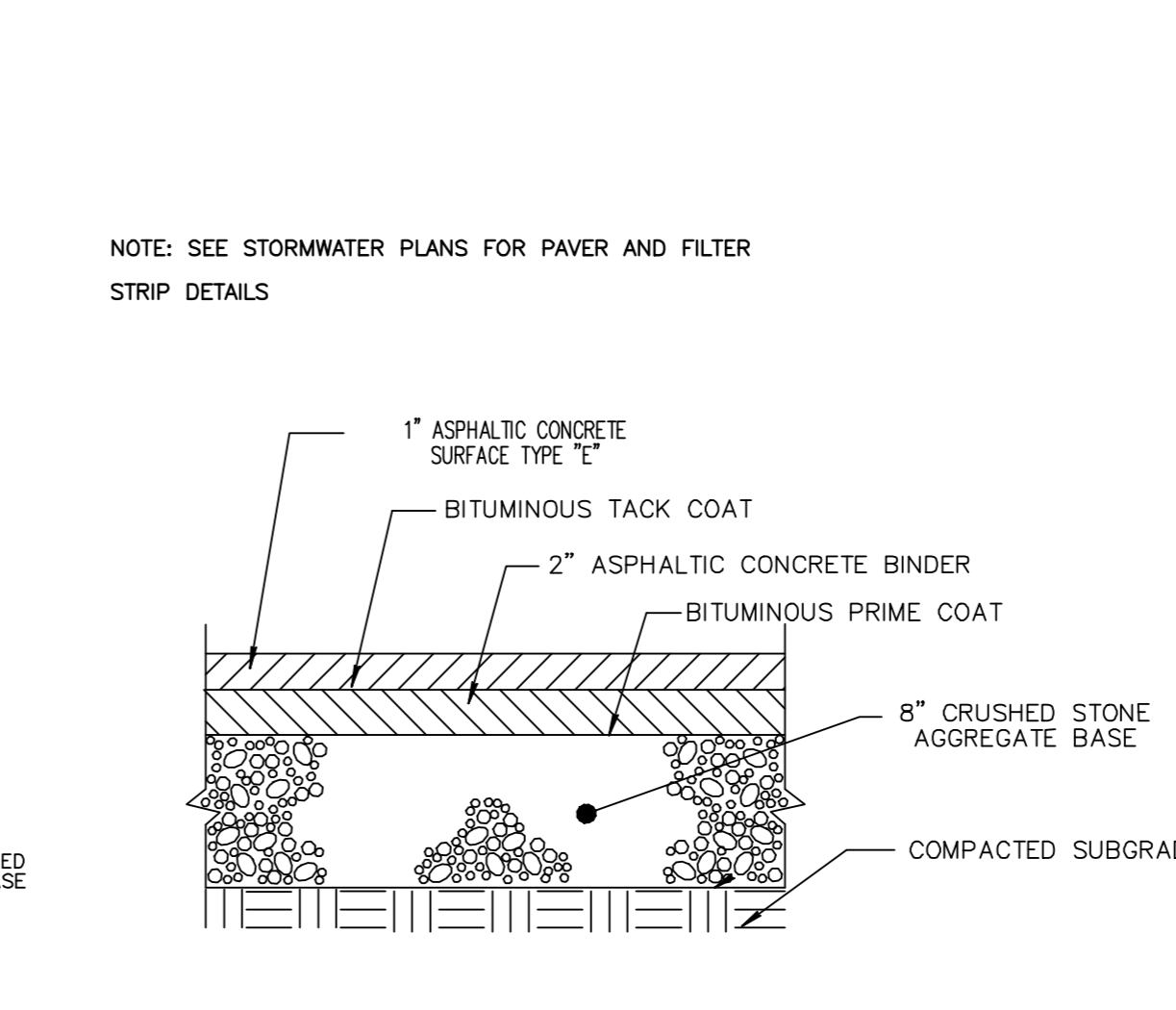
PAINTED HANDICAP SYMBOL
NOT TO SCALE



EXTRUDED CURB DETAIL
NOT TO SCALE



LIGHT DUTY ASPHALT DETAIL
NOT TO SCALE



HEAVY DUTY ASPHALT DETAIL
NOT TO SCALE

Revisions

HMH Job Number
14035
Drawn By
HMH
Date
07.28.14
Drawing
LAYOUT PLAN

C1.0



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GENERAL, GRADING AND DRAINAGE NOTES:

- ALL GRADING AND DRAINAGE WORK AS SHOWN ON THIS PLAN WILL BE DONE IN STRICT ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE FRANKLIN ENGINEERING DEPARTMENT.
- THE NECESSARY PERMITS FOR THE WORK SHOWN ON THESE SITE DEVELOPMENT PLANS WILL BE OBTAINED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK ON THIS PROJECT. THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES AND OBTAIN ALL PERMITS AND PAY ALL FEES INVOLVED IN SECURING SAID PERMITS. HE SHALL ALSO COMPLY WITH ALL CITY AND STATE BUILDING LAWS, ORDINANCES AND REGULATIONS RELATING TO THE CONSTRUCTION OF THE PROJECT.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO AVOID DAMAGE TO ALL EXISTING UTILITIES TO REMAIN DURING CONSTRUCTION. IF DAMAGE DOES OCCUR TO ANY SUCH EXISTING INSTALLATIONS, FULL REPAIR WILL BE THE COST OF THE CONTRACTOR AND BE ACCOMPLISHED AS PER THE CURRENT SPECIFICATIONS FOR SUCH WORK FOR THE RESPONSIBLE AGENCY.
- THE LOCATION OF EXISTING PIPING AND UNDERGROUND UTILITIES, SUCH AS WATER AND GAS LINES, ELECTRICAL AND TELEPHONE CONDUITS, ETC. AS SHOWN ON THIS PORTION OF THE PLANS HAVE BEEN DETERMINED FROM THE BEST INFORMATION PROVIDED, OR TAKEN FROM THE RECORDS AND DRAWINGS OF THE EXISTING UTILITIES; HOWEVER THE CIVIL ENGINEER DOES NOT ASSUME RESPONSIBILITY THAT, DURING CONSTRUCTION, THE POSSIBILITY OF UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED OR THAT ACTUAL LOCATION OF THOSE SHOWN MAY VARY SOMEWHAT FROM THE LOCATIONS DESIGNATED ON THIS PORTION OF THE PLANS. IN AREAS WHERE IT IS NECESSARY THAT EXACT LOCATIONS OF UNDERGROUND LINES BE KNOWN, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, FURNISH ALL LABOR AND TOOLS TO EITHER VERIFY AND SUBSTANTIATE OR DEFINITELY ESTABLISH THE LOCATION OF THE LINES.
- THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND ELECTRICAL/TELEPHONE WIRES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK, THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF THE ABOVE-NOTED WIRES, THE ELECTRIC OR TELEPHONE COMPANIES SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN. A THOROUGH EXAMINATION OF THE OVERHEAD WIRES IN THE PROJECT AREA SHOULD BE MADE BY THE CONTRACTOR PRIOR TO THE INITIATION OF CONSTRUCTION.
- ALL DELETERIOUS MATERIAL SHALL BE REMOVED AND DISPOSED OF OFF-SITE BY CONTRACTOR AS PER THE INSPECTION AND FINAL APPROVAL OF THE ENGINEER AND OWNER. ALL FILL MATERIAL TO BE USED FOR SITE GRADING WILL BE AN INORGANIC SOIL, FREE OF DEBRIS AND APPROVED BY THE ENGINEER AND OWNER.
- THE PLACING AND SPREADING OF ANY FILL MATERIAL IS TO BE STARTED AT THE LOWEST POINT AND BROUGHT UP IN HORIZONTAL LAYERS OF 8-INCH THICKNESS. SAID FILL MATERIAL IS TO BE SOIL AND ROCK ONLY, FREE OF SOD, ROOTS, FROZEN SOILS, OR ANY OTHER DECOMPOSABLE MATERIALS. THE RELATIVE COMPACTION OF EACH LAYER SHALL NOT BE LESS THAN 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D-698) IN ALL AREAS OF FILL, AND COMPACTION OF 95% OF SAME SPECIFICATION FOR MATERIALS USED IN THE UPPER 12 INCHES BENEATH PAVEMENT AND GRADE SLABS.
- THE CONTRACTOR IS TO CHECK AND VERIFY ALL MEASUREMENTS, LEVELS, ETC., BEFORE ORDERING MATERIALS AND PROCEEDING WITH THE WORK, AND IS TO BE RESPONSIBLE FOR THE SAME.
- SPOT ELEVATIONS SHOWN ARE TO TOP OF PAVEMENT OR FINISHED GRADE.
- ALL UNPAVED AREAS SHALL HAVE A MAXIMUM SLOPE OF 3:1 UNLESS OTHERWISE SPECIFIED OR REQUIRED IN SITE SPECIFIC AREAS. ALL SLOPES 3:1 OR GREATER SHALL HAVE REINFORCEMENT MATTING TO PROTECT AGAINST EROSION.

MEMBRANE LINER NOTE:

CONTRACTOR SHALL INSTALL AN IMPERMEABLE MEMBRANE LINER AGAINST ALL STRUCTURAL COMPONENTS ADJACENT TO RAIN GARDEN AREAS TO PROTECT STRUCTURE.

WATER QUALITY BMP NOTE:

WATER QUALITY BMP AREAS SHALL NOT BE CONSTRUCTED UNTIL BUILD OUT IS NEAR COMPLETION TO PREVENT CONSTRUCTION SEDIMENT FROM ENTERING WATER QUALITY BMP'S. WATER QUALITY AREAS SHOULD NOT BE USED AS SEDIMENTATION BASINS DURING CONSTRUCTION. INSTALLERS OF WATER QUALITY BMP'S SHOULD FOLLOW ALL INSTALLATION GUIDELINES AS SET FORTH IN THE CITY OF FRANKLIN BMP MANUAL LOCATED ON THE CITIES WEBSITE.

DRAINAGE DATA

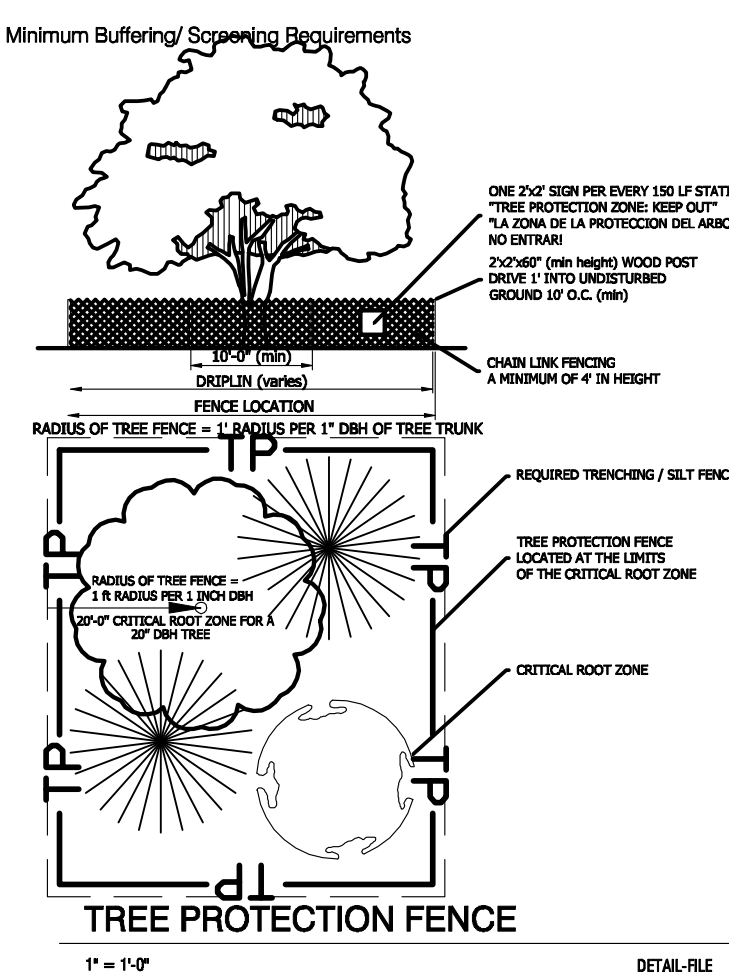
| NO. | TYPE** | CASTING* | ELEVATIONS | | |
|-----|------------|----------|------------|---------|----------|
| | | | I.C. | IN F.L. | OUT F.L. |
| 1 | EXISTING | EXISTING | 774.11 | 769.81 | 769.61 |
| 2 | AREA DRAIN | 3101 | 777.60 | --- | 770.45 |
| 3 | EXISTING | 3101 | 780.81 | 778.31 | 777.81 |
| 4 | AREA DRAIN | 3101 | 779.40 | --- | 778.01 |
| 5 | EXISTING | EXISTING | 778.63 | 772.53 | 772.33 |
| 6 | AREA DRAIN | 3101 | 778.30 | --- | 774.57 |

| PIPES | | | |
|-------|-----------------|---------------|-----------|
| LINE | SIZE * (inches) | LENGTH (feet) | SLOPE (%) |
| 1-2 | 15 | 64 | 1.00 |
| 3-4 | 15 | 20 | 1.00 |
| 5-6 | 15 | 12 | 2.00 |

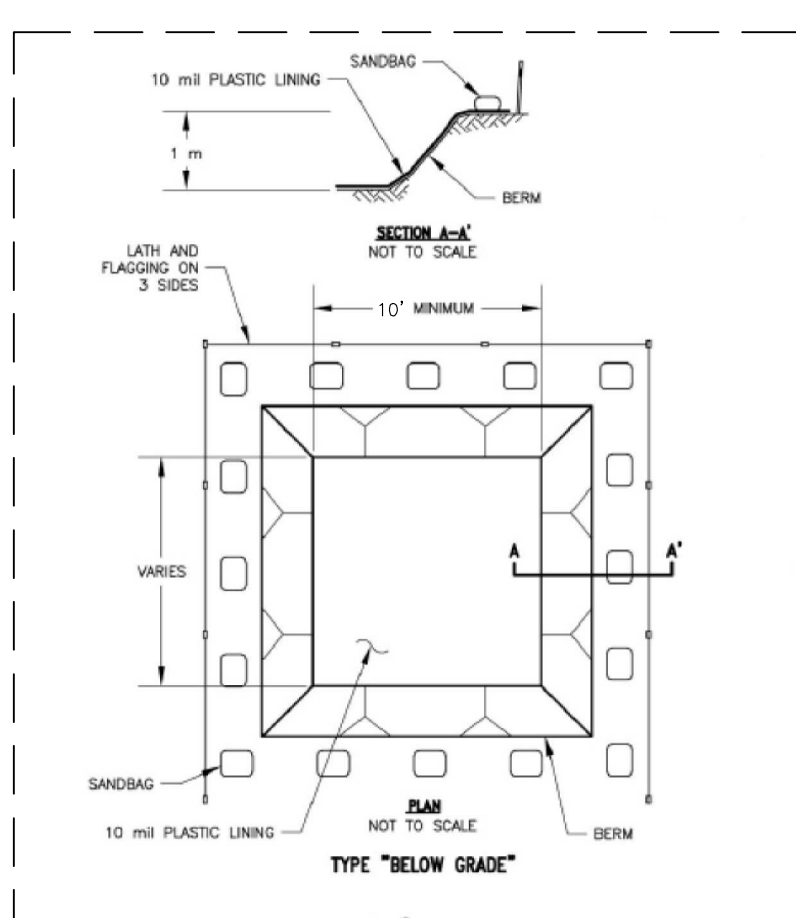
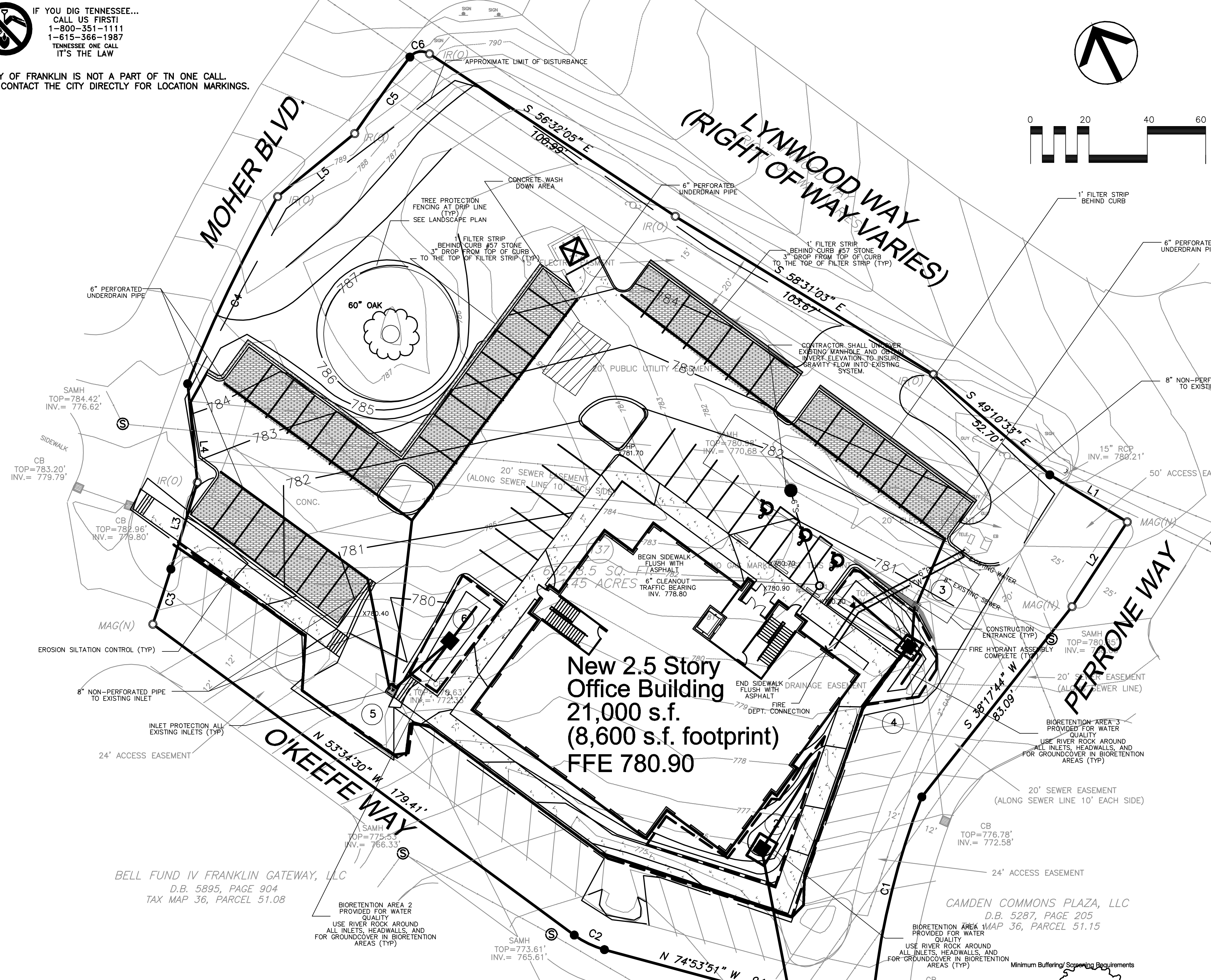
ALL PIPES SHALL BE RCP

ALL CASTINGS SHALL BE JOHN BOUCHARD AND SONS OR EQUIVALENT

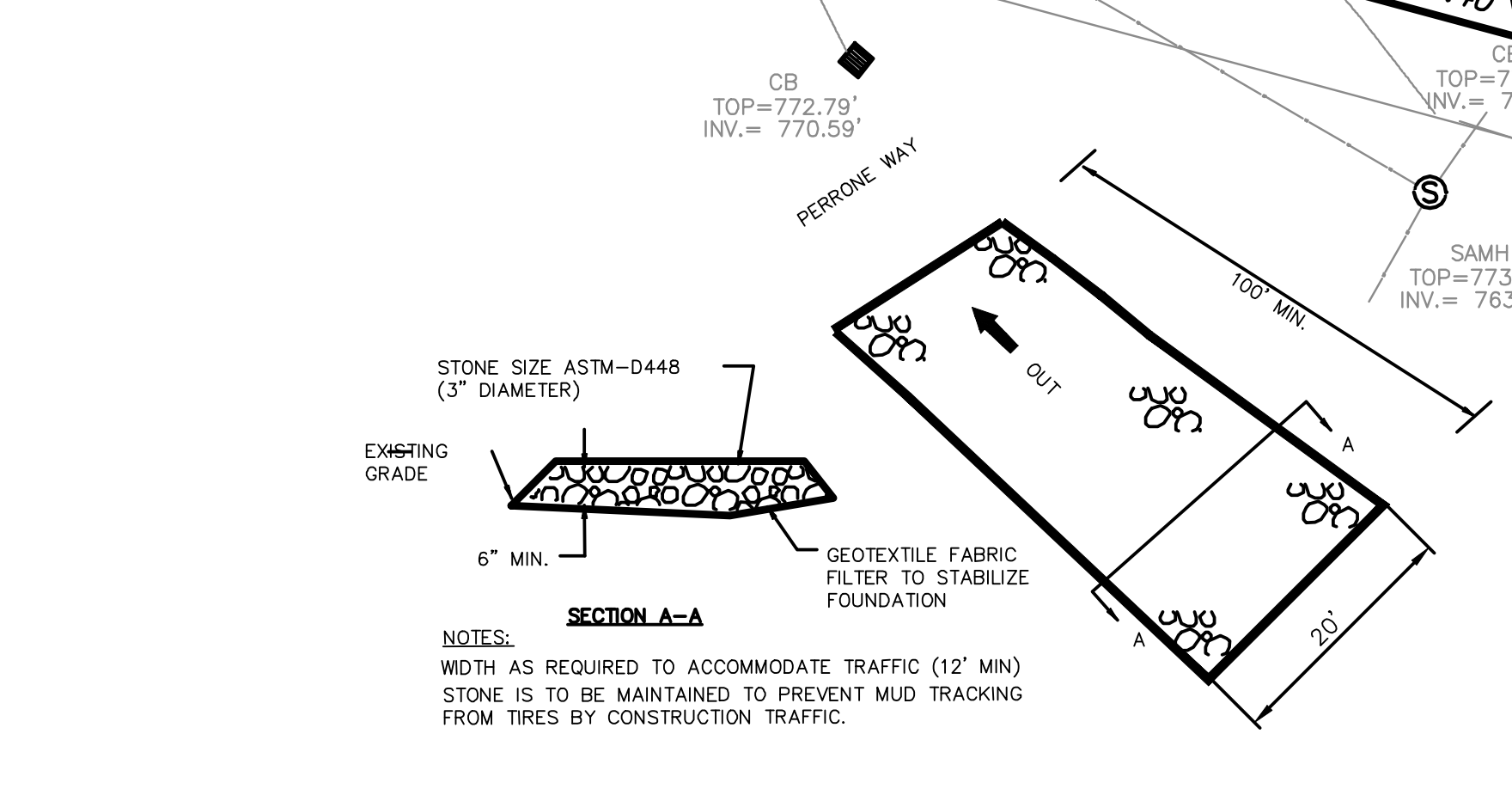
- 5.2.7 Tree Protection During Construction
- (1) Owner's Responsibility
During development, the owner or developer shall be responsible for the erection of all barriers necessary to protect any existing or installed trees from damage both during and after construction in accordance with the standards of this subsection.
- (2) Tree Protection Fencing
(a) Where Required
All specimen trees, trees in a Tree Protection Zone, and trees intended for use as credit towards the landscaping standards of this chapter shall be fenced in accordance with this subsection before grading or other land disturbing activity begins at least one foot in distance from the edge of the tree for each inch of DBH, so that each tree's dripline is protected, but no less than ten feet from the trunk. The Codes Department shall consider existing site conditions in determining the exact location of any tree protection fencing.
(b) Type of Fencing
All fencing required by this subsection shall be chain link fencing at least four feet in height and secured using appropriate posts spaced not more than ten feet apart. Such chain link fencing is not required to be coated.
(c) Signage
Signs shall be installed on the tree protection fence visible on all sides of the fenced-in area at a rate of at least one sign for every 150 linear feet. The size of each sign must be a minimum of two feet by two feet tall and shall contain the following language in English and Spanish: "TREE PROTECTION ZONE: KEEP OUT."
(d) Trenching Prior to Clearing Activities
The removal of tree adjacent to tree save areas can cause inadvertent damage to the protected trees. Prior to clearing activities, trenches with a minimum depth of 12 inches shall be cut along the limits of the disturbance, so as to cut, rather than tear tree roots.
(e) Inspection
All tree protection measures shall be inspected and approved by the Codes Department prior to the start of any land disturbing activities. Failure to have tree protection measures prior to the commencement of construction is a violation of this ordinance.
(f) When Required
The tree protection fencing shall be clearly shown on the Site Plan. No construction, grading, equipment or material storage of any other activity shall be allowed within the fenced area except in accordance with the standards in Subsection 5.2.7 (3), Encroachments into Root Zones. Fencing shall be maintained until the land disturbance activities are complete.



1" = 1'-0" DETAIL FILE



CONCRETE WASH DOWN AREA DETAIL NOT TO SCALE



TEMPORARY CONSTRUCTION ENTRANCE DETAIL NOT TO SCALE

Revisions

HMH Job Number
14035

Drawn By
HMH

Date
07.28.14

Drawing

GRADING/DRAINAGE

C2.0



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CIVIL ENGINEERS - LAND PLANNERS
8110 COLLEY AVENUE, NASHVILLE, TN 37221
PHONE: (615) 219-2466 FAX: (615) 219-2467

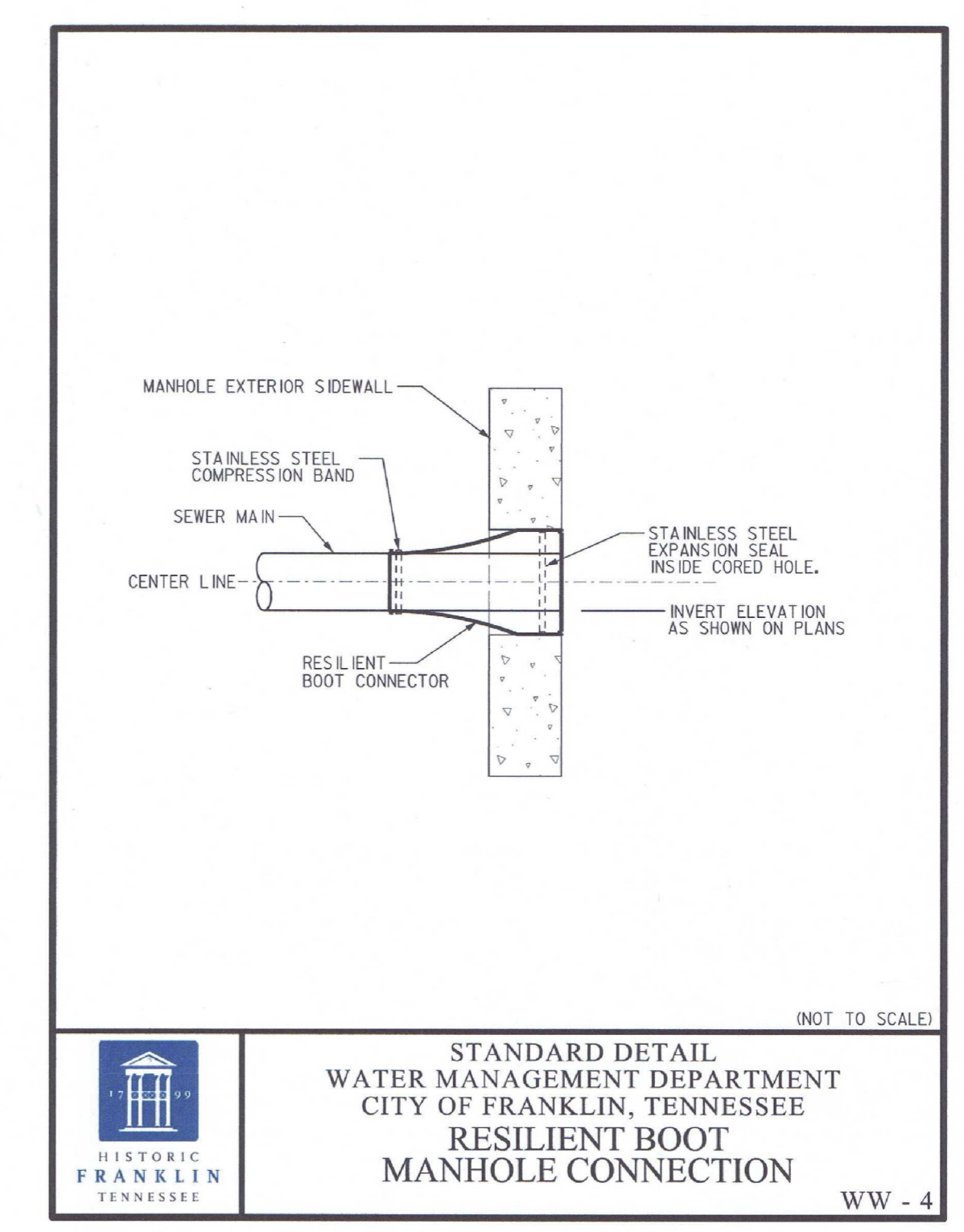
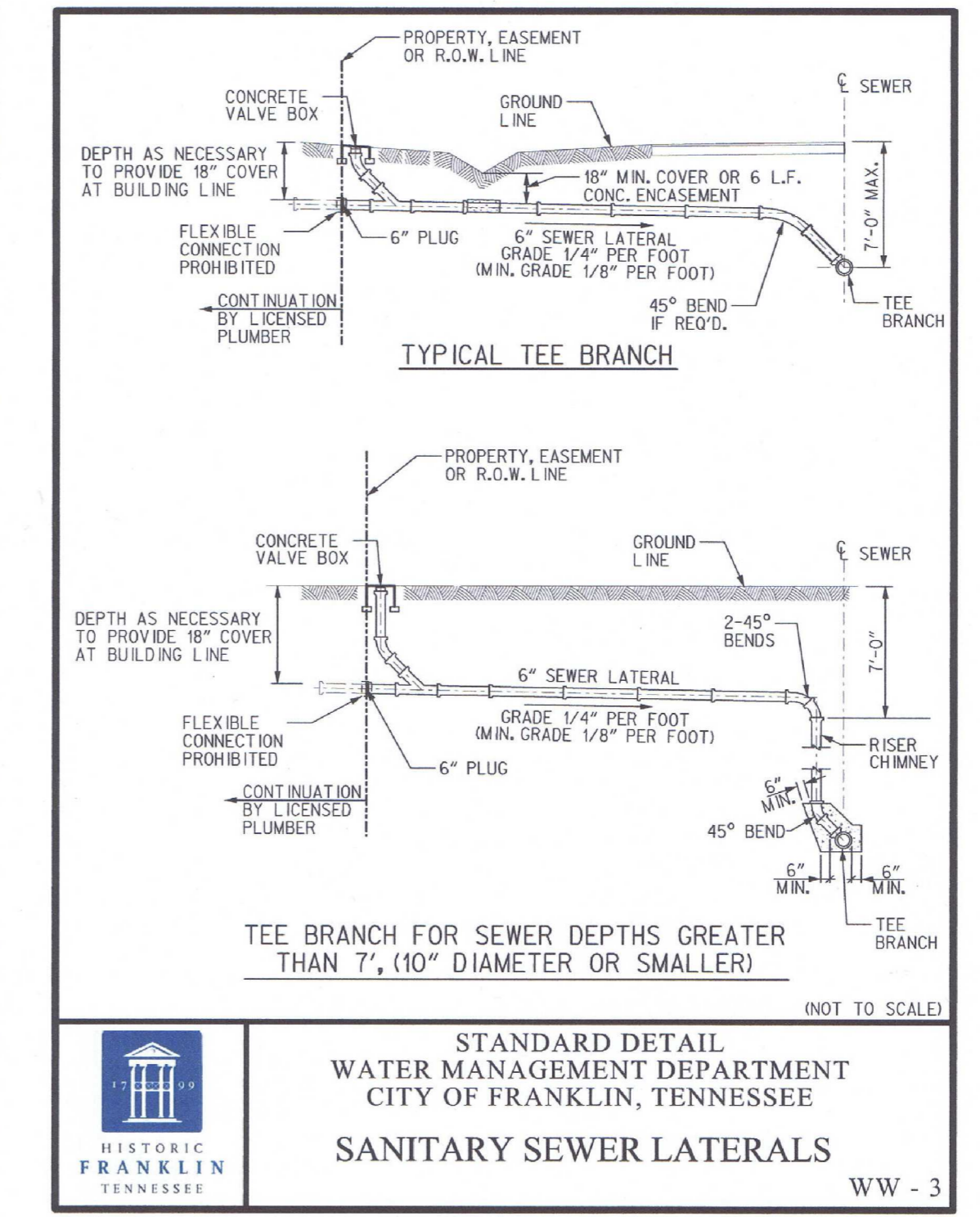
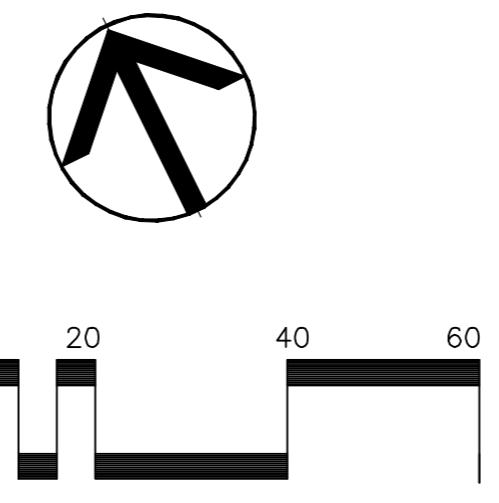
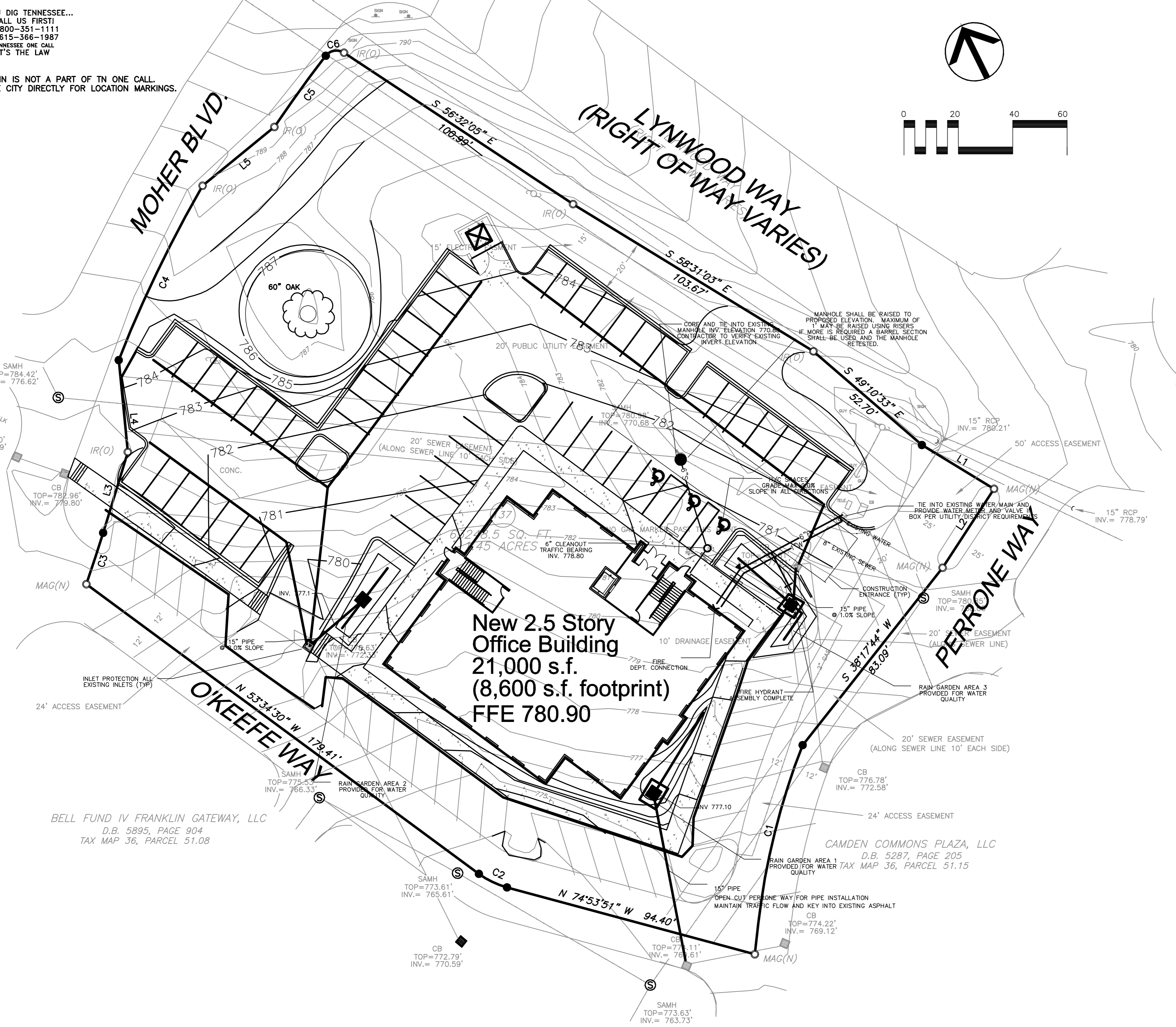


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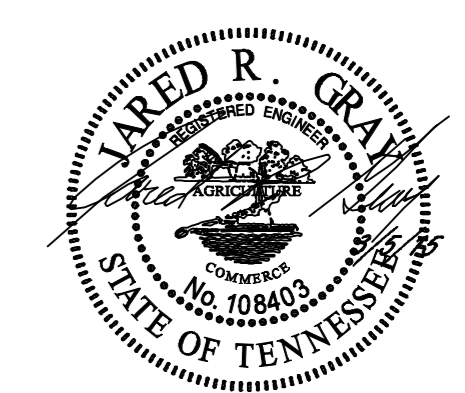


WATER QUALITY BMP NOTE:

WATER QUALITY BMP AREAS SHALL NOT BE CONSTRUCTED UNTIL BUILD OUT IS NEAR COMPLETION TO PREVENT CONSTRUCTION SEDIMENT FROM ENTERING WATER QUALITY BMP'S. WATER QUALITY AREAS SHOULD NOT BE USED AS SEDIMENTATION BASINS DURING CONSTRUCTION. INSTALLERS OF WATER QUALITY BMP'S SHOULD FOLLOW ALL INSTALLATION GUIDELINES AS SET FORTH IN THE CITY OF FRANKLIN BMP MANUAL LOCATED ON THE CITIES WEBSITE.



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COF #5740



H. Michael Hindman
Architects, P.C.

1607 Westgate Circle - Suite 100
Brentwood, Tennessee 37027
615.370.0252
www.hmharchitects.com

OFFICE BUILDING FOR
Touchstone Medical Imaging

LYNWOOD WAY
LOT 137 GATEWAY
VILLAGE SECTION 3
FRANKLIN, TENNESSEE

Revisions

HMH Job Number
14035

Drawn By
HMH

Date
07.28.14

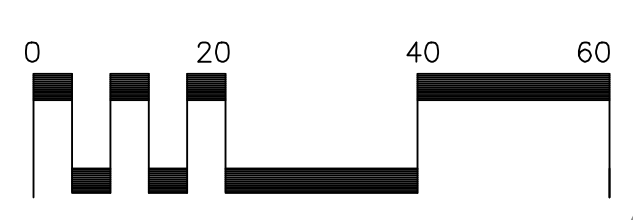
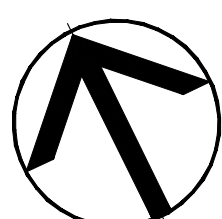
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EROSION/SILTATION CONTROL NOTES

- AREAS AND TIME OF EXPOSURE OF UNPROTECTED SOILS SHALL BE KEPT TO A MAXIMUM OF 15 DAYS.
- KEEP DUST WITHIN TOLERABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE MEANS.
- USE TEMPORARY VEGETATION AND/OR MULCH TO PROTECT BARE AREAS FROM EROSION DURING CONSTRUCTION.
- NO OTHER WORK WILL BE INITIATED ON THE PROJECT UNTIL THE EROSION/SILTATION MEASURES SHOWN ON THE PLANS AND DETAILS ARE PROPERLY IN PLACE.
- SILT FENCING SHOWN THUS ARE TO BE USED AS TEMPORARY SEDIMENT BARRIERS. PER THE ATTACHED DETAILS.
- IF, AT ANY TIME DURING THE CONSTRUCTION PHASE OF THIS PROJECT, THE EROSION/SILTATION MEASURES INSTALLED FAIL TO FUNCTION PROPERLY, NEED MAINTENANCE OR REPAIR, OR NEED NEW REPLACEMENT IN KIND, THE CONTRACTOR WILL EFFECT SUCH ACTIONS AS ARE NEEDED TO CORRECT THE SITUATION AT NO ADDITIONAL COST TO THE OWNER.
- DISTURBED AREAS ARE TO BE GRADED TO DRAIN AS INDICATED ON PLAN TO SEDIMENT BARRIERS DURING AND UPON COMPLETION OF CONSTRUCTION.
- ALL CUT/FILL AREAS TO HAVE A MINIMUM OF 6-INCH DEPTH TOPSOIL COVER. AREAS DRESSED WITH TOPSOIL WILL RECEIVE 12 POUNDS PER 1000 SQUARE FEET OF 6-12 FERTILIZER, 5 POUNDS OR MORE OF KENTUCKY 31 FESCUE SEED PER 1000 SQUARE FEET AND A STRAW MULCH OF 70%-80% COVERAGE (APPROXIMATELY 125 POUNDS PER 1000 SQUARE FEET) EXCEPT AS OTHERWISE DETERMINED BY PLAN.
- UPON STABILIZATION OF THE PROJECT SITE WITH A GOOD (ACCEPTABLE) STAND OF GRASS AND/OR GROUND COVER, THE EROSION/SILTATION INSTALLATIONS WILL BE REMOVED AND THE AREA DISTURBED WILL BE SEEDED AND MULCHED WITH THE SAME TREATMENT AS OTHER NEW GRASSED AREAS OF THE PROJECT.
- A STONE ACCESS ENTRANCE IS TO BE CONSTRUCTED AT THE SITE ENTRANCE WITH A MINIMUM WIDTH OF 20 FEET AND MINIMUM LENGTH OF 100 FEET. ENTRANCE IS TO BE BASED WITH 8 INCHES OF ASTM D 448, SIZE NO. 1 STONE, AND MAINTAINED THROUGHOUT CONSTRUCTION. ENTRANCE SHALL BE GEOTEXTILE REINFORCED.
- PRIOR TO THE ISSUANCE OF A GRADING PERMIT, ALL EROSION/SILTATION CONTROL MEASUREMENTS INDICATED ON THE PLANS SHALL BE INSTALLED.

POST CONSTRUCTION BMP/WATER QUALITY NOTE:

TO MEET THE FRANKLIN STORMWATER QUALITY REGULATIONS, A STORM DRAINAGE TREATMENT SYSTEM SHALL BE INSTALLED. DUE TO HAVING AVAILABLE SITE AREA FOR NATURAL DRAINAGE, ON-SITE STORM DRAINAGE SHALL BE DIRECTED TO A RAIN GARDEN AREA FOR STORMWATER TREATMENT. THESE STRUCTURES ARE DESIGNED TO SEPARATE CONTAMINATED EFFLUENT FROM THE STORMWATER DRAINAGE THROUGH PHYDROREMEDIATION AND ABSORPTION OF THE CONTAMINATED EFFLUENT INTO THE ROOT SYSTEM OF VEGETATION. THIS SYSTEM WILL CONTROL THE POLLUTANT LEVELS AND CONTROL DISCHARGE VELOCITIES FROM STORMWATER RUNOFF. THE SITE OWNER SHALL BE RESPONSIBLE FOR MAINTAINING ALL STORMWATER QUALITY AND DETENTION SURFACES ON THIS SITE PER THE FRANKLIN STORMWATER REGULATIONS.

EROSION CONTROL SCHEDULE:

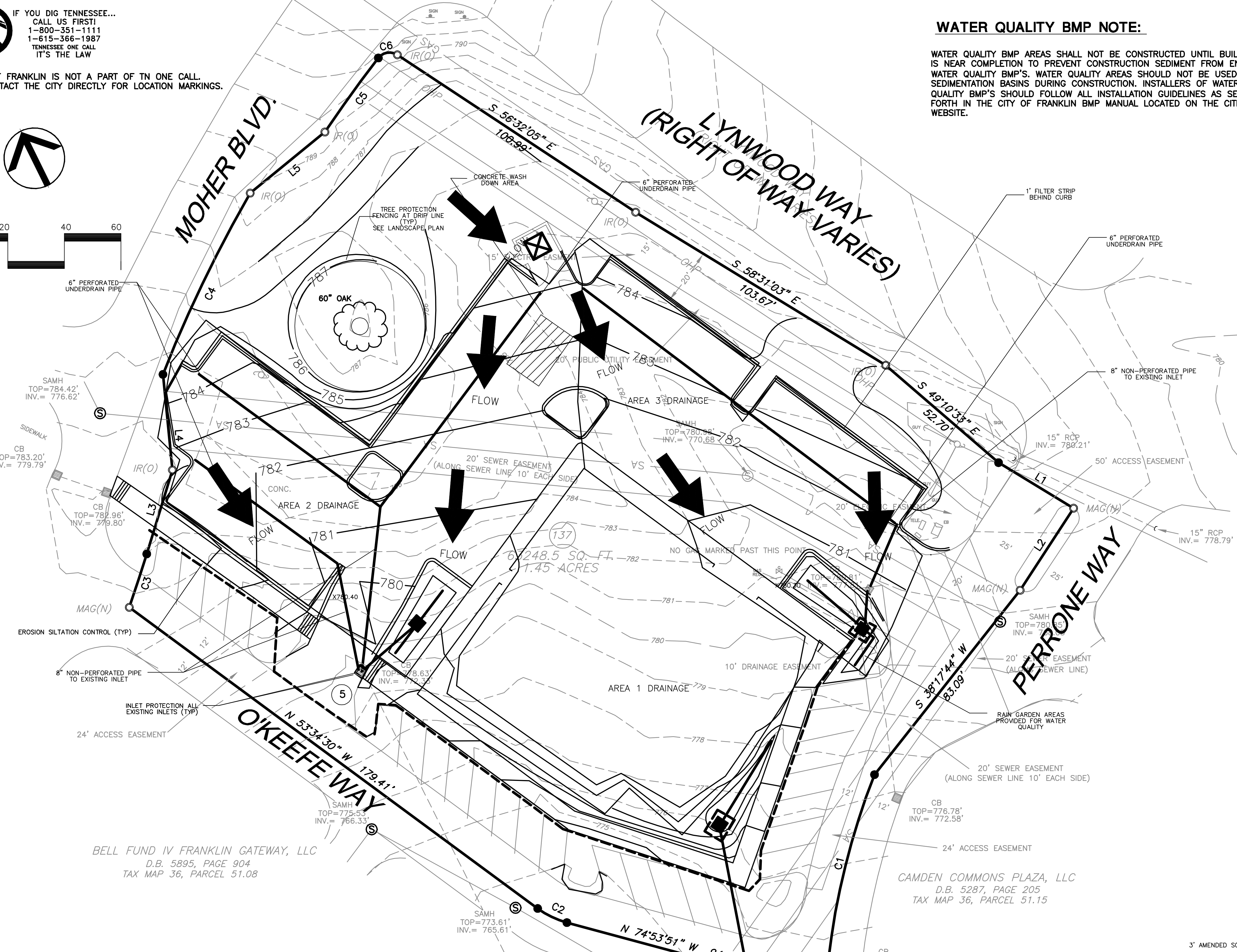
- STAGE #1: SILT FENCE SHALL BE INSTALLED PRIOR TO ANY GRADING OPERATIONS. STRAW CHECK DAMS AND INLET PROTECTION AROUND ALL EXISTING DRAINAGE STRUCTURES SHALL BE INSTALLED PRIOR TO ANY GRADING OPERATIONS. TREE PROTECTION, IF REQUIRED BY LANDSCAPE PLAN, IS TO BE INSTALLED AT THIS TIME. A GRADING PERMIT CAN BE OBTAINED FROM BRENTWOOD CODES AND ENGINEERING DEPARTMENT AFTER STAGE #1 HAS PASSED THEIR INSPECTION.
- STAGE #2: CONSTRUCT SITE IMPROVEMENTS PROVIDING INLET PROTECTION AND ALL OTHER EROSION CONTROL MEASURES AS THE DRAINAGE SYSTEM IS CONSTRUCTED.
- STAGE #3: REMOVE EROSION CONTROL DEVICES ONLY AFTER A PROPER STAND OF GRASS IS OBTAINED AND ONLY UPON APPROVAL FROM THE FRANKLIN STORMWATER DEPARTMENT AND ENGINEER.

BUILDING DRAINAGE NOTE:

ALL DOWNSPOUTS SHALL BE DIRECTED TO THE RAIN GARDEN AREAS.

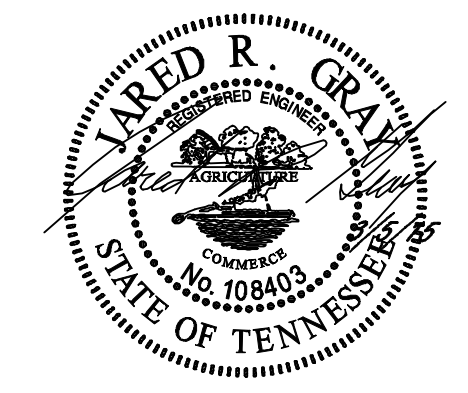
CONCRETE WASHOUT NOTE:

CONCRETE WASH OUT AREAS SHALL BE INSTALLED IN THE AREAS SHOWN AND PER THE REGULATIONS OF THE CITY OF FRANKLIN. THE AREA SHALL BE SIGNED AND SHALL BE LINED WITH AN APPROPRIATE LEACHATE LINER MATERIAL.

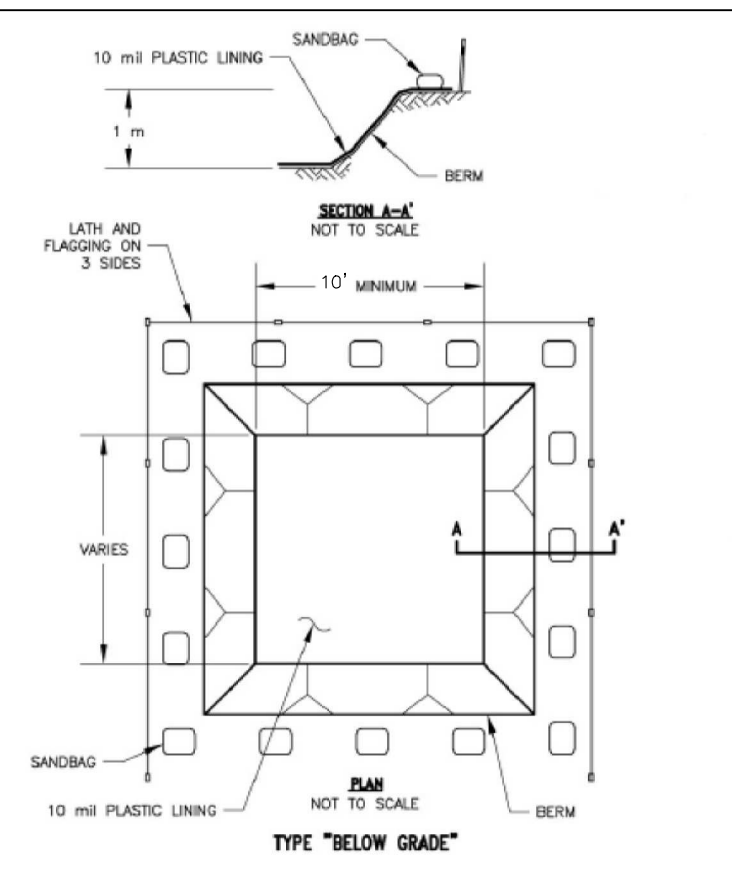


BELL FUND IV FRANKLIN GATEWAY, LLC
D.B. 5895, PAGE 904
TAX MAP 36, PARCEL 51.08

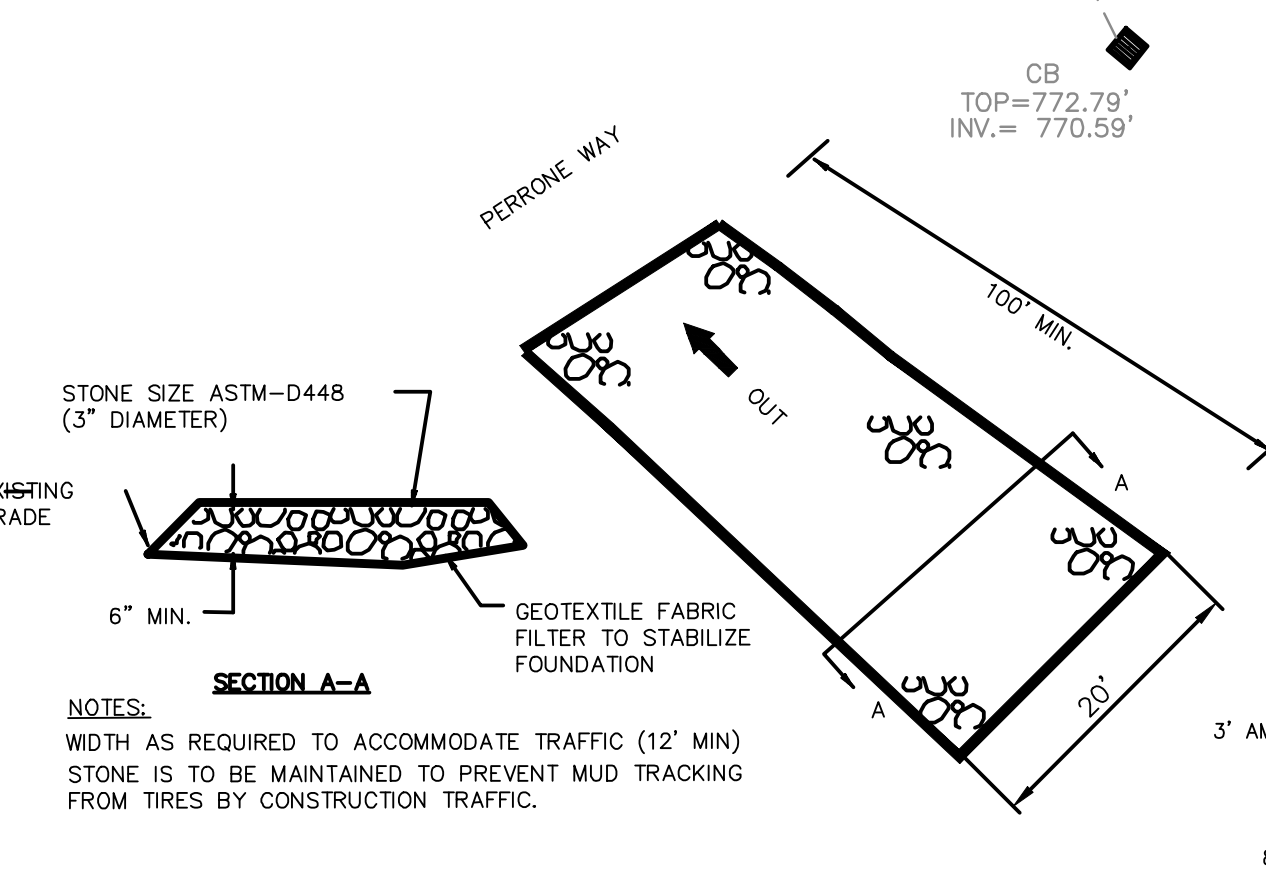
CAMDEN COMMONS PLAZA, LLC
D.B. 5287, PAGE 205
TAX MAP 36, PARCEL 51.15



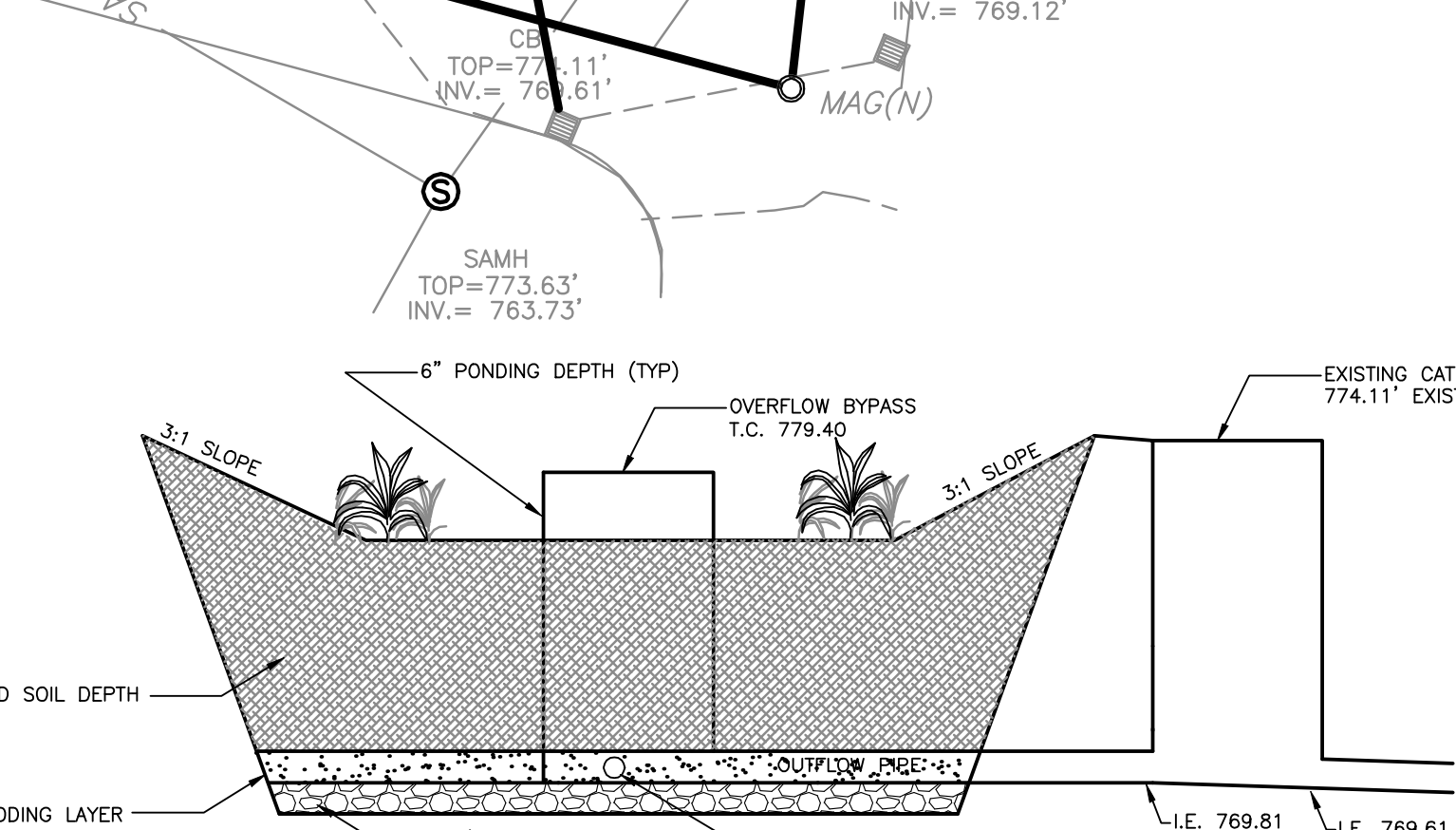
Revisions



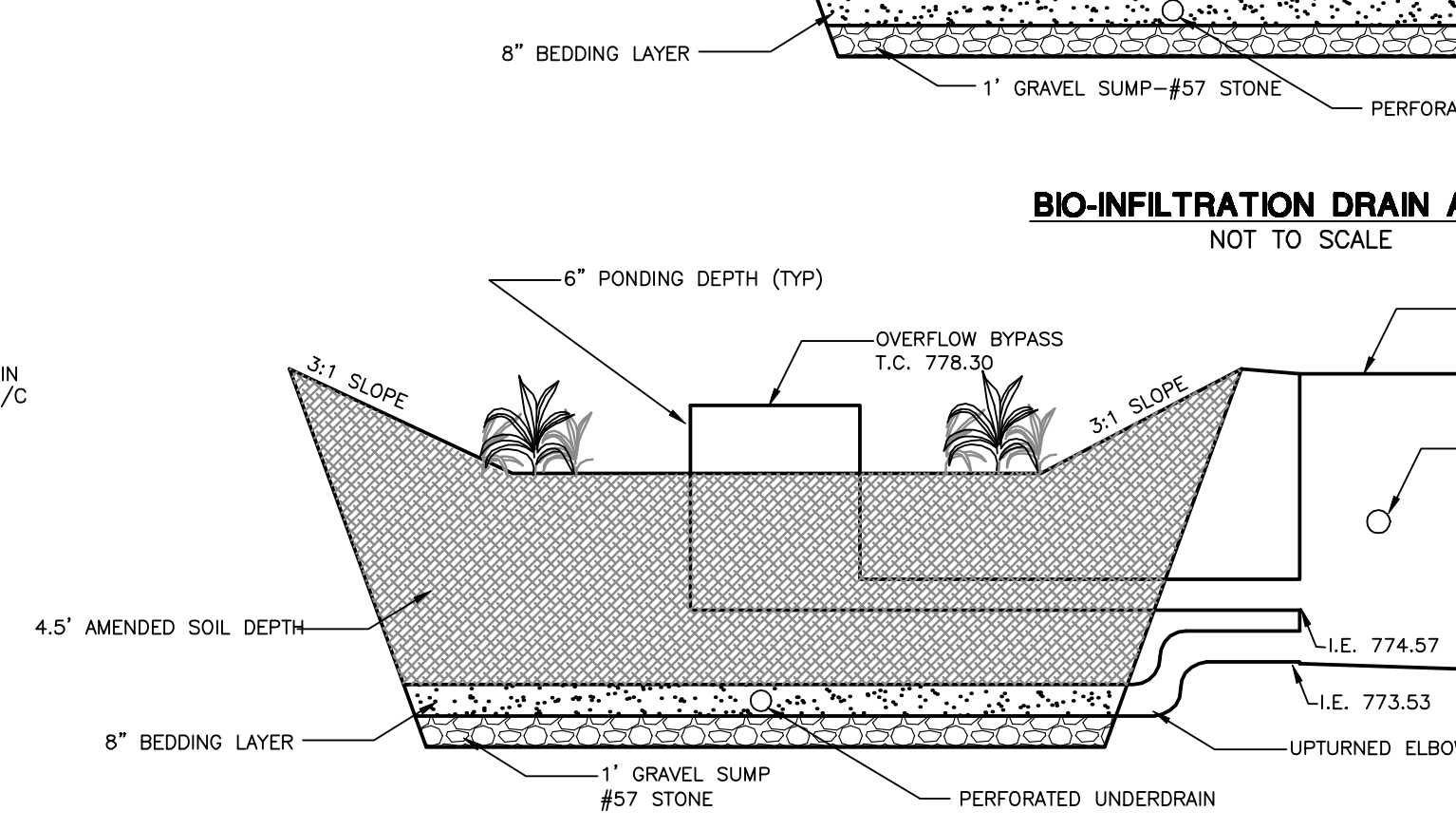
CONCRETE WASH DOWN AREA DETAIL
NOT TO SCALE



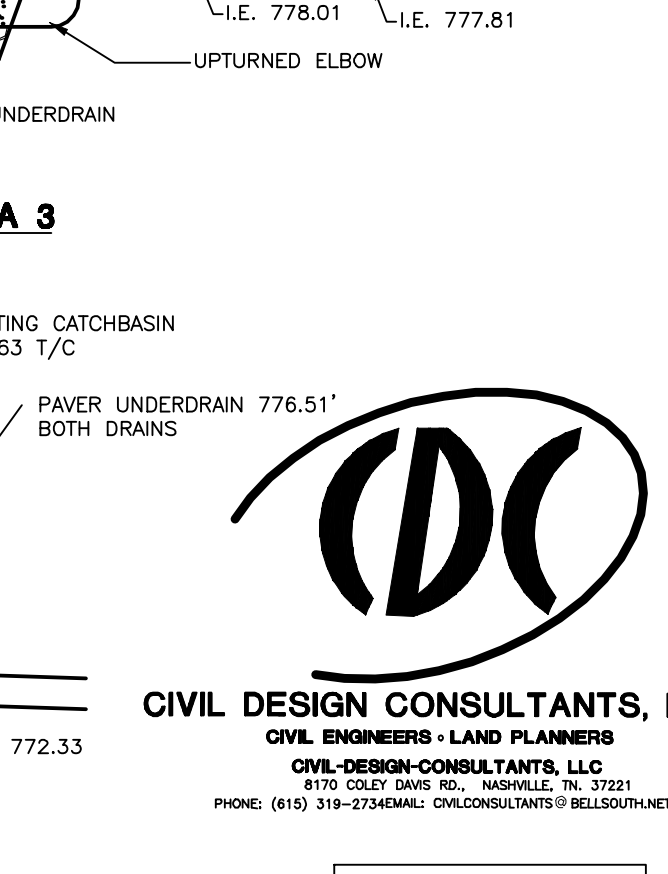
TEMPORARY CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE



BIO-INFILTRATION DRAIN AREA 1
NOT TO SCALE



BIO-INFILTRATION DRAIN AREA 2
NOT TO SCALE



BIO-INFILTRATION DRAIN AREA 3
NOT TO SCALE



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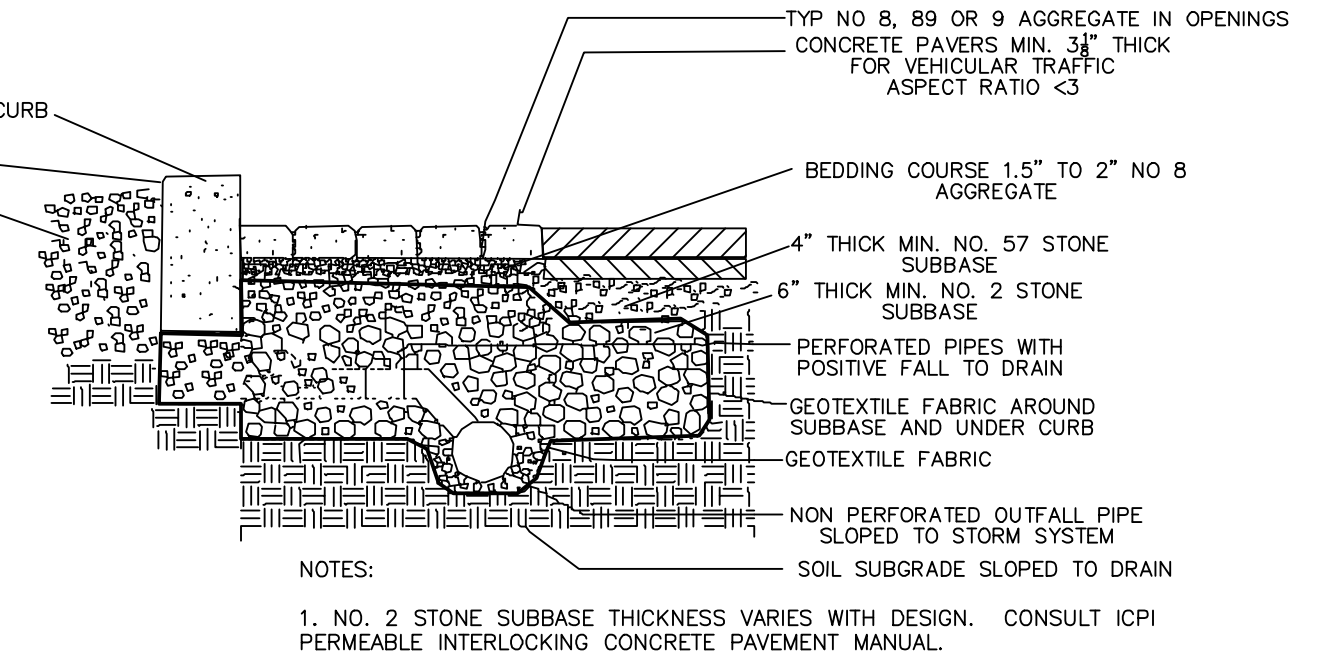
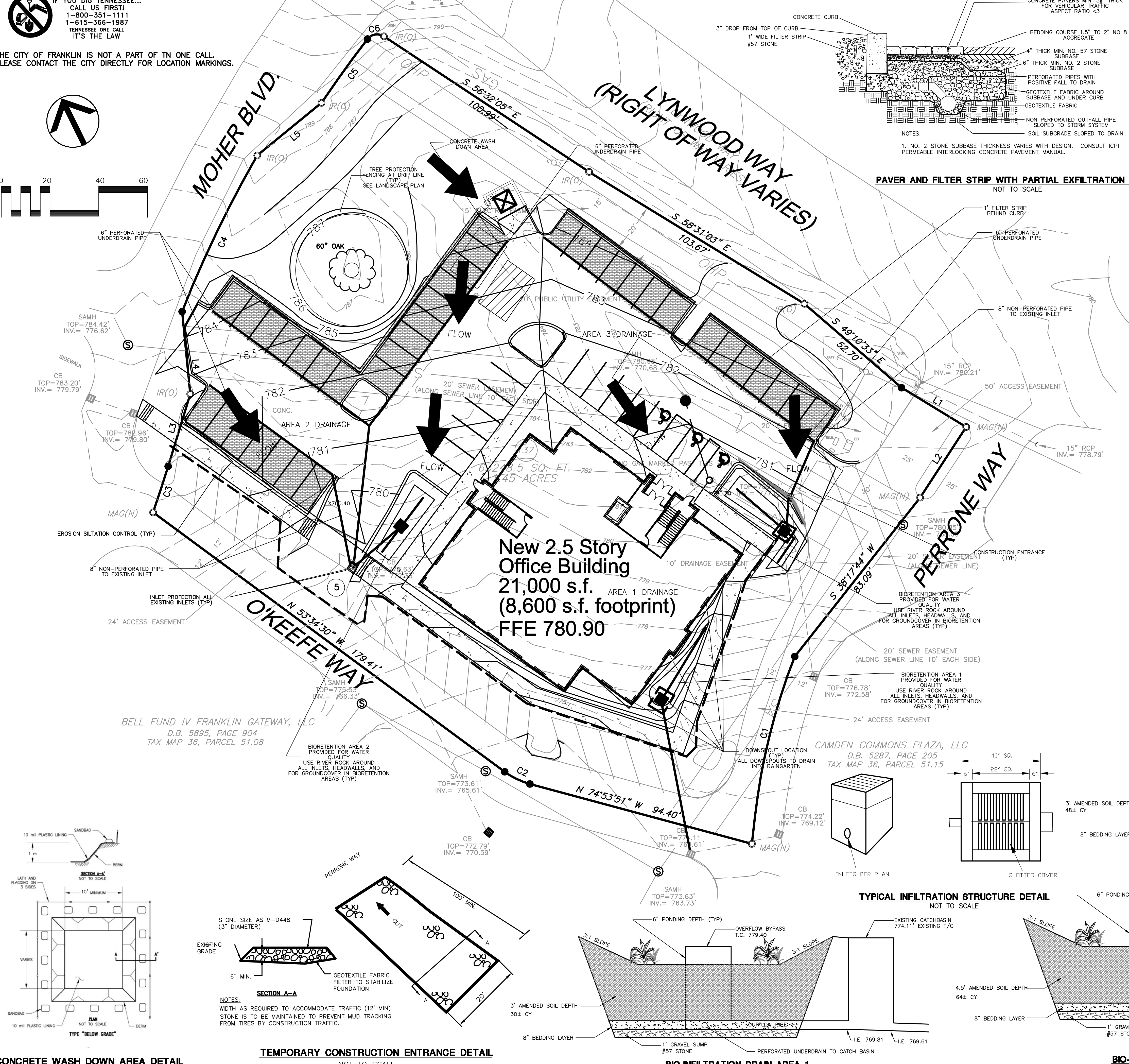
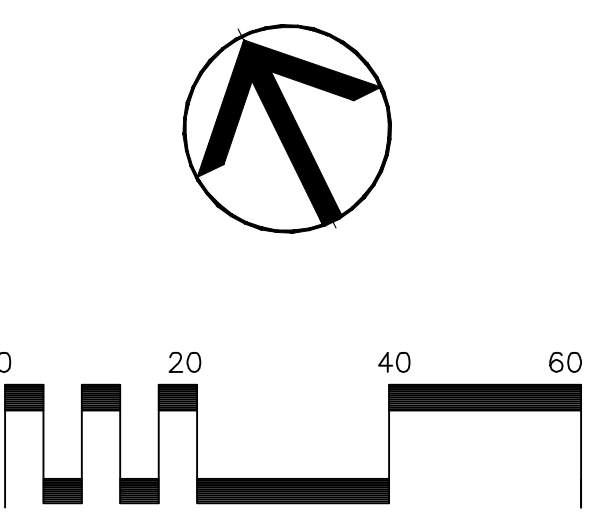
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14035
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HMH
Date
07.28.14
Drawing

STORMWATER INITIAL

C3.0

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EROSION/SILTATION CONTROL NOTES

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3. USE TEMPORARY VEGETATION AND/OR MULCH TO PROTECT BARE AREAS FROM EROSION DURING CONSTRUCTION.
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TO MEET THE FRANKLIN STORMWATER QUALITY REGULATIONS, A STORM DRAINAGE TREATMENT SYSTEM SHALL BE INSTALLED. DUE TO HAVING AVAILABLE SITE AREA FOR NATURAL DRAINAGE, ON-SITE STORM DRAINAGE SHALL BE DIRECTED TO A FILTER STRIP BEHIND THE CURB, PERVIOUS PAVEMENT AREAS AND/OR A RAIN GARDEN AREA FOR STORMWATER TREATMENT. THESE STRUCTURES ARE DESIGNED TO SEPARATE CONTAMINATED EFFLUENT FROM THE STORMWATER DRAINAGE THROUGH PHYDROREMEDIATION AND ABSORPTION OF THE CONTAMINATED EFFLUENT INTO THE ROOT SYSTEM OF VEGETATION. THIS SYSTEM WILL CONTROL THE POLLUTANT LEVELS AND CONTROL DISCHARGE VELOCITIES FROM STORMWATER RUNOFF. THE SITE OWNER SHALL BE RESPONSIBLE FOR MAINTAINING ALL STORMWATER QUALITY AND DETENTION SURFACES ON THIS SITE PER THE FRANKLIN STORMWATER REGULATIONS.

EROSION CONTROL SCHEDULE:

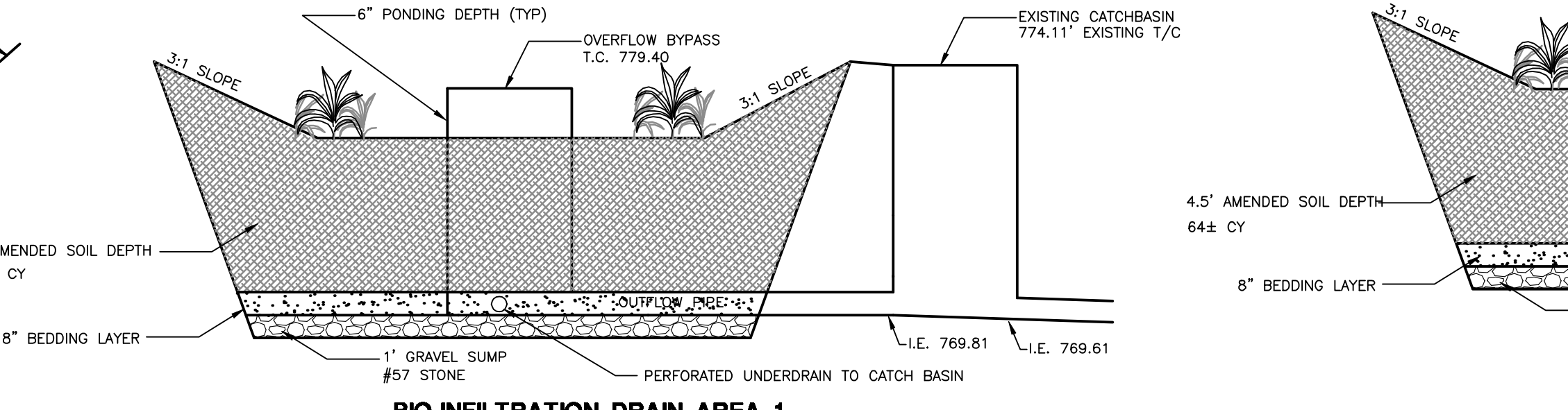
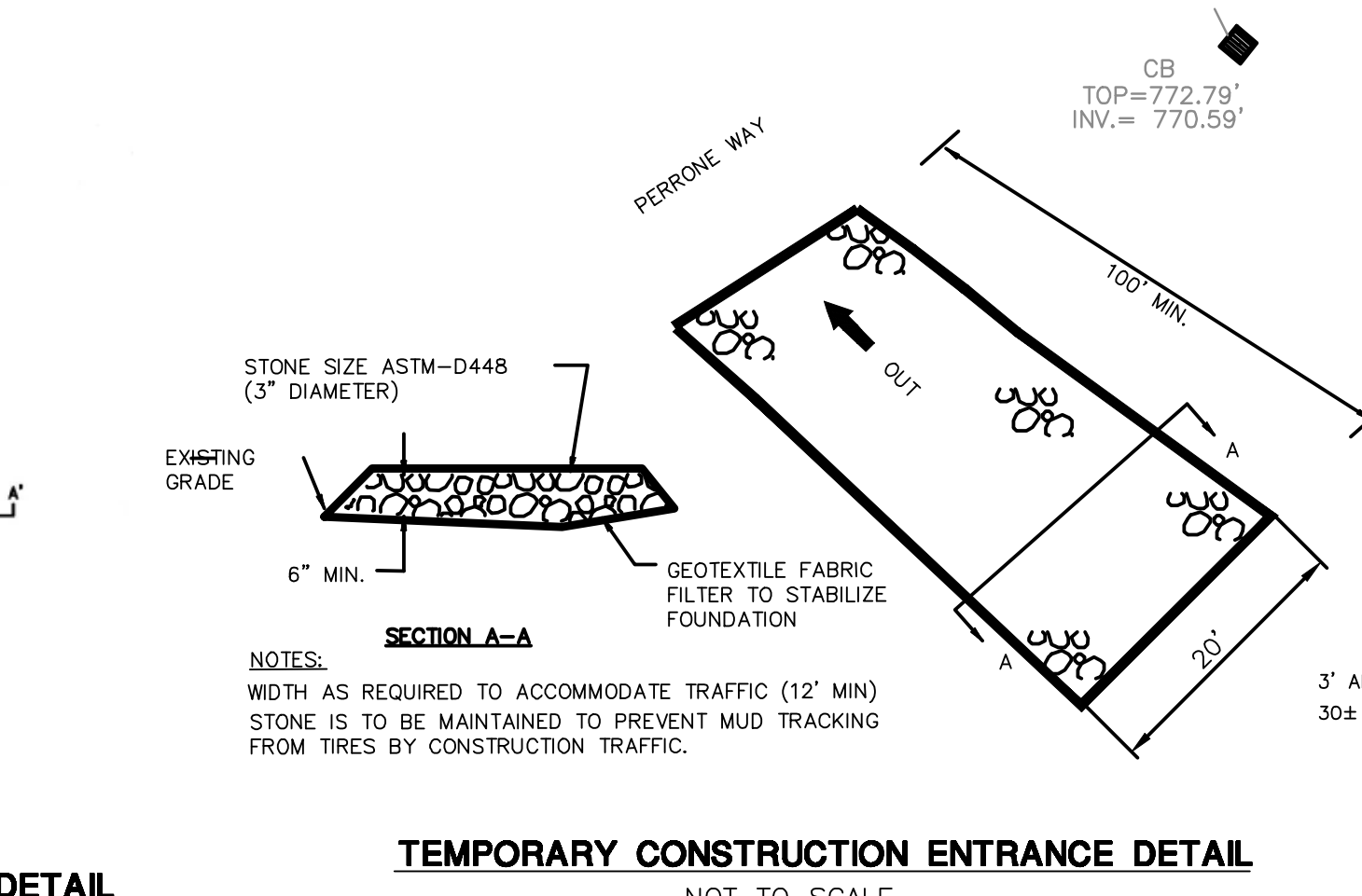
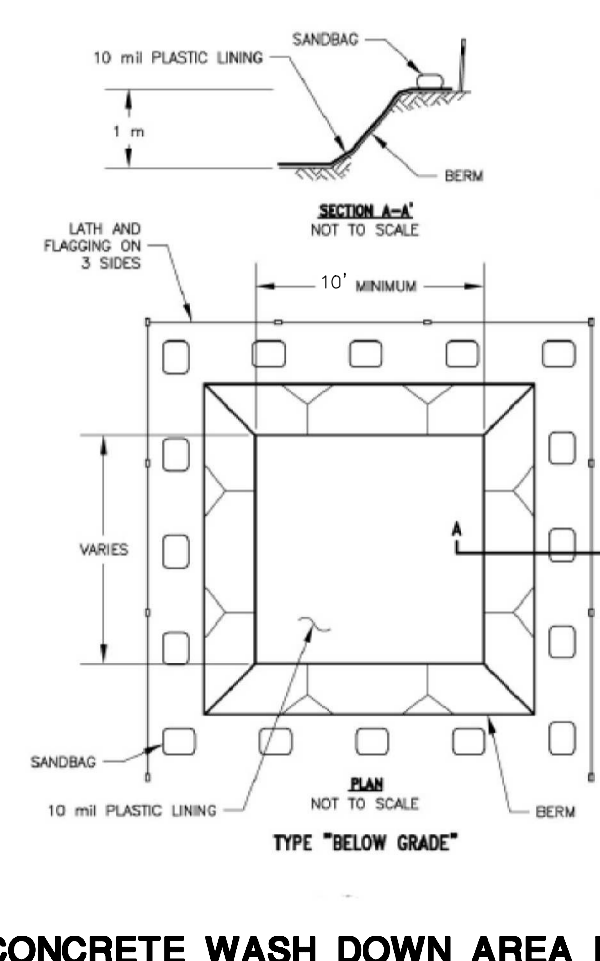
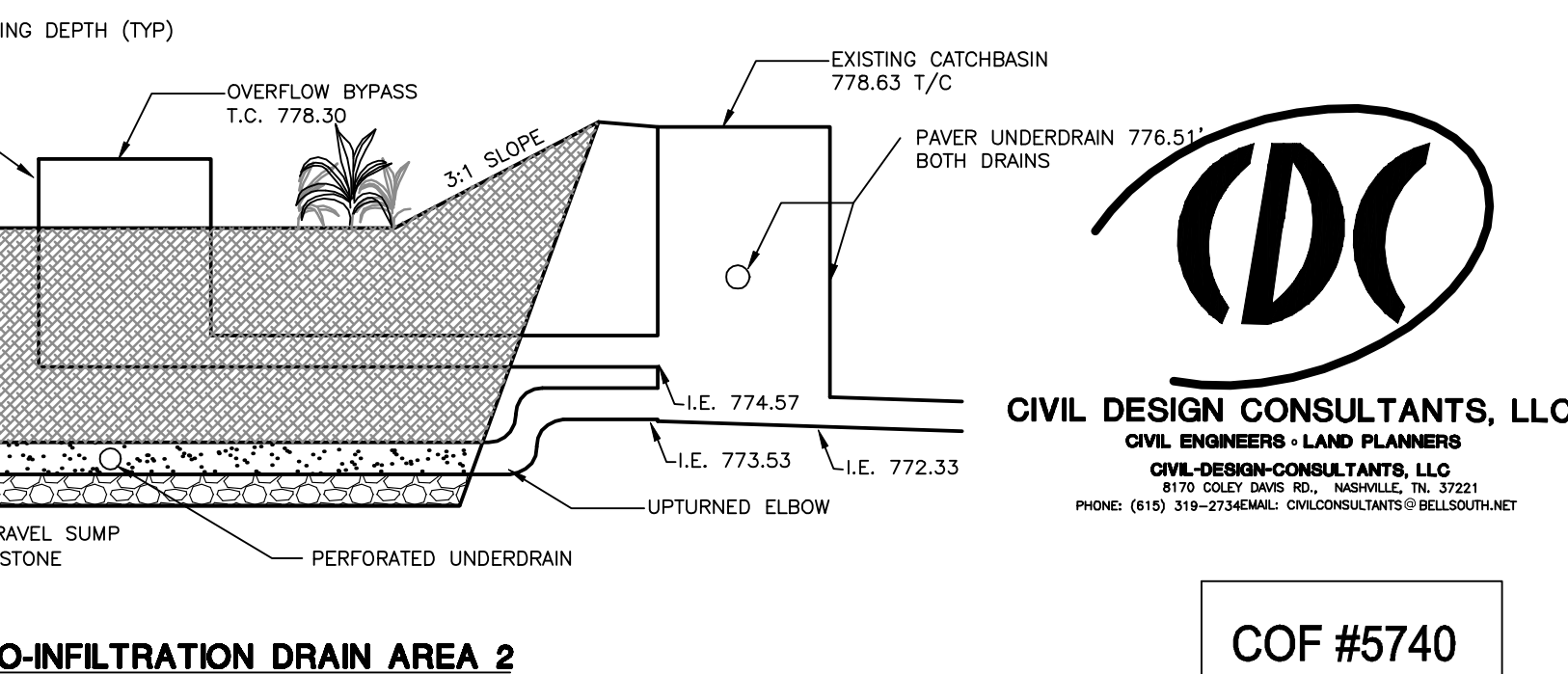
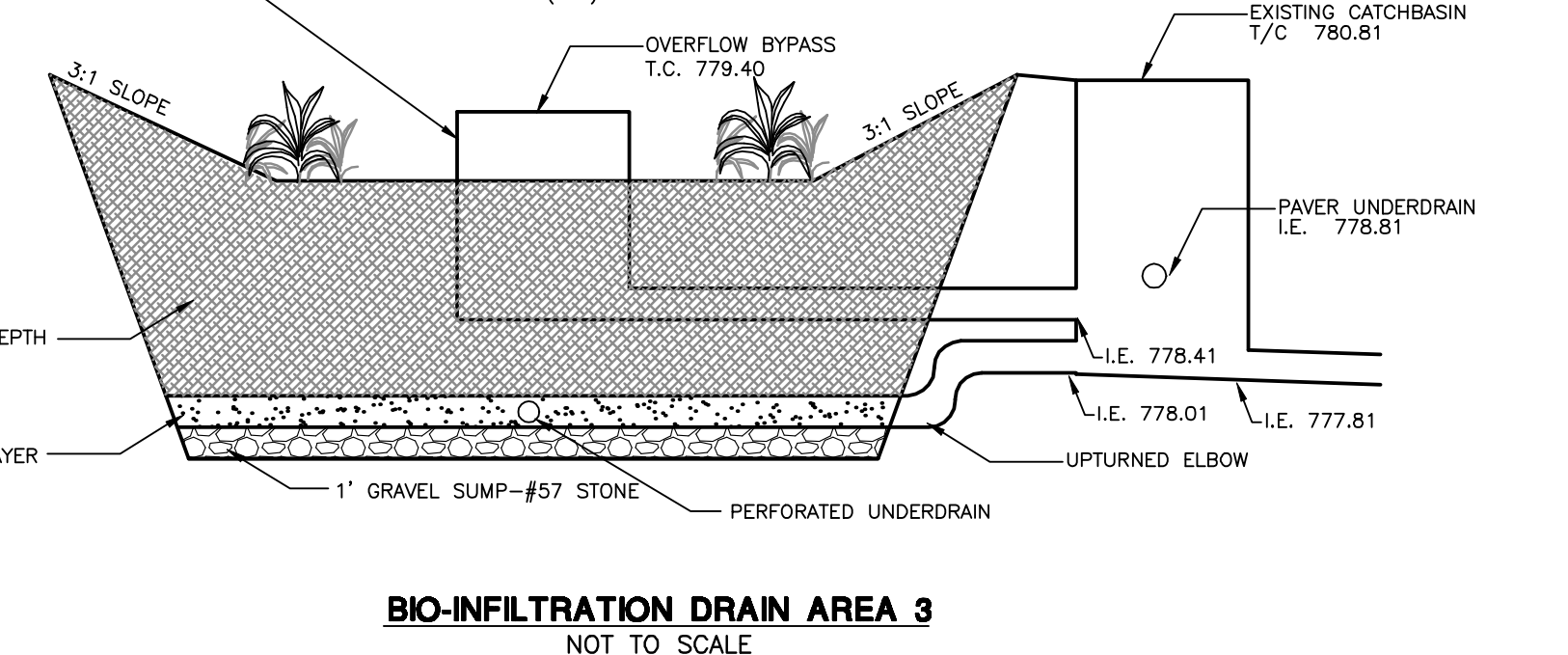
- STAGE #1: SILT FENCE SHALL BE INSTALLED PRIOR TO ANY GRADING OPERATIONS. STRAW CHECK DAMS AND INLET PROTECTION AROUND ALL EXISTING DRAINAGE STRUCTURES SHALL BE INSTALLED PRIOR TO ANY GRADING OPERATIONS. TREE PROTECTION, IF REQUIRED BY LANDSCAPE PLAN, IS TO BE INSTALLED AT THIS TIME. A GRADING PERMIT CAN BE OBTAINED FROM BRENTWOOD CODES AND ENGINEERING DEPARTMENT AFTER STAGE #1 HAS PASSED THEIR INSPECTION.
- STAGE #2: CONSTRUCT SITE IMPROVEMENTS PROVIDING INLET PROTECTION AND ALL OTHER EROSION CONTROL MEASURES AS THE DRAINAGE SYSTEM IS CONSTRUCTED.
- STAGE #3: REMOVE EROSION CONTROL DEVICES ONLY AFTER A PROPER STAND OF GRASS IS OBTAINED AND ONLY UPON APPROVAL FROM THE FRANKLIN STORMWATER DEPARTMENT AND ENGINEER.

BUILDING DRAINAGE NOTE:

ALL DOWNSPOUTS SHALL BE DIRECTED TO THE RAIN GARDEN AREAS.

WATER QUALITY BMP NOTE:

WATER QUALITY BMP AREAS SHALL NOT BE CONSTRUCTED UNTIL BUILD OUT IS NEAR COMPLETION TO PREVENT CONSTRUCTION SEDIMENT FROM ENTERING WATER QUALITY BMP'S. WATER QUALITY AREAS SHOULD NOT BE USED AS SEDIMENTATION BASINS DURING CONSTRUCTION. INSTALLERS OF WATER QUALITY BMP'S SHOULD FOLLOW ALL INSTALLATION GUIDELINES AS SET FORTH IN THE CITY OF FRANKLIN BMP MANUAL LOCATED ON THE CITIES WEBSITE.



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OFFICE BUILDING FOR
**Touchstone
Medical
Imaging**

LYNWOOD WAY
LOT 137 GATEWAY
VILLAGE SECTION 3
FRANKLIN, TENNESSEE



Revisions

HMH Job Number
14035
Drawn By
HMH
Date
07.28.14
Drawing

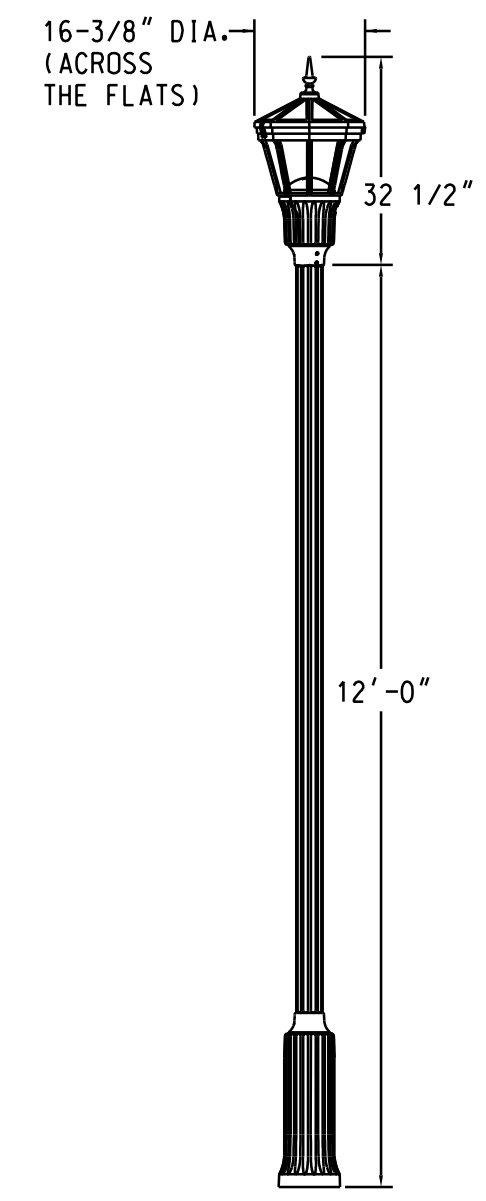
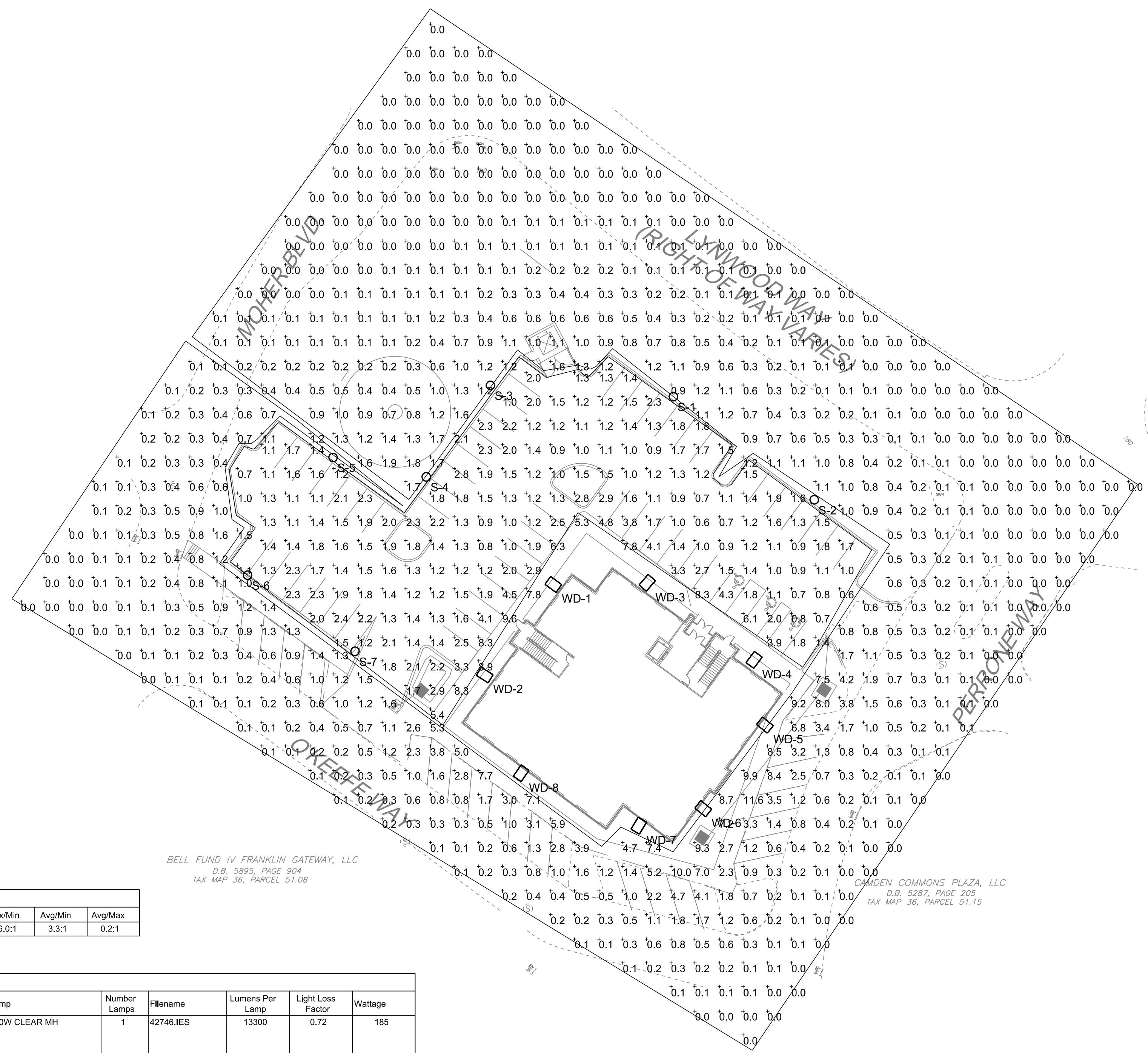
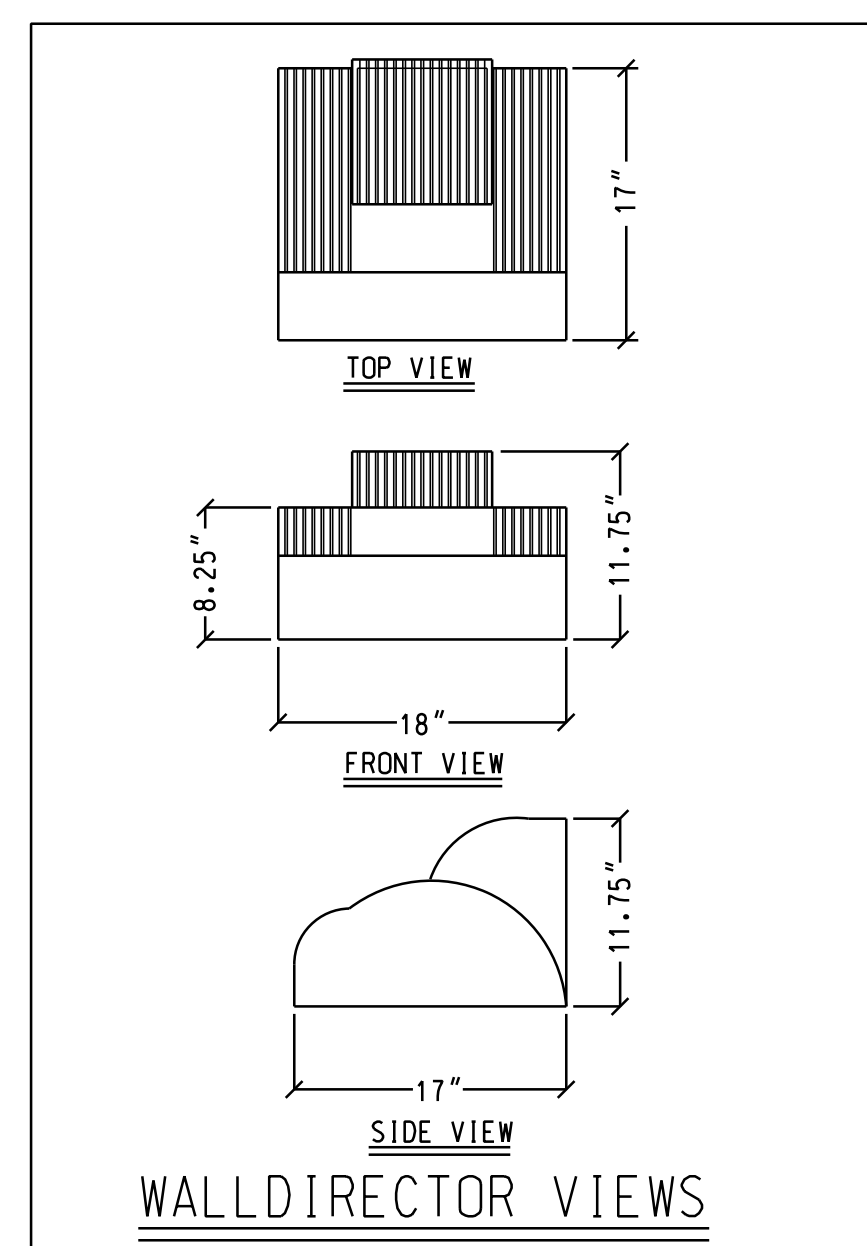


CIVIL DESIGN CONSULTANTS, LLC
CIVIL ENGINEERS - LAND PLANNERS
810 OAKLAND BL. HOUSTON, TX 77221
PHONE: (615) 319-2343 FAX: (615) 319-2344

COF #5740

STORMWATER FINAL
C3.0A

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HOLOPHANE ARLINGTON UTILITY
SCALE: NONE

| Statistics | | | | | | |
|-------------|--------|--------|--------|--------|---------|---------|
| Description | Symbol | Avg | Max | Min | Max/Min | Avg/Min |
| Parking Lot | + | 2.0 fc | 9.6 fc | 0.5 fc | 16.0:1 | 3.3:1 |

| Luminaire Schedule | | | | | | | | | | | |
|--------------------|-------|----------|--------------|--|---|---|--------------|-----------------|-----------------|-------------------|---------|
| Symbol | Label | Quantity | Manufacturer | Catalog Number | Description | Lamp | Number Lamps | Filename | Lumens Per Lamp | Light Loss Factor | Wattage |
| S | | 7 | HOLOPHANE | ARU 150MH MA B G3 S H P27 S-84402 WDA 12 FSJ 17 P07 ABG BK | Utility Arlington (ARU): ARU, 150W Metal Halide, Medium Base, Multivolt 120,208,240 & 277V, Factory wired for 120V only, UL Only, Black, Asymmetric Glass Refractor, Spike Finish, NEMA twistlock photocontrol receptacle, DTL Twistlock photocontrol, 120-277 Wadsworth Aluminum Pole (WDA), Wadsworth Aluminum Pole, 12 feet, 5 inch diameter Fluted, .25 wall, 17 inch Round Base, 3 X 3 Tanon, Anchor bolts, galvanized steel, Powder Coat Paint Finish, Black with Sylvania (MP150/U/ME) 150MH Clear Medium Lamp | 150W CLEAR MH | 1 | 42746.IES | 13300 | 0.72 | 185 |
| WD | | 8 | KIM LIGHTING | WD18x2/250PMH-ED28 | WALL DIRECTOR WALL MOUNTED LUMINAIRE DIE CAST ALUM. REFLECTOR SYSTEM WITH HIGH SPECULAR PANELS DIE CAST ALUM. HOUSING AND LENS FRAME CLEAR FLAT GLASS LENS | 250 WATT CLEAR, PMH ED28 LAMP, HORIZONTAL POSITION, RATED AT 22000 INITIAL LUMENS | 1 | wd18x2-250p.ies | 23000 | 0.72 | 250 |

SITE LIGHTING DATA
 DEVELOPMENT STANDARD: TRADITIONAL
 LAND USE: NONRESIDENTIAL
 ZONING DISTRICT: LOCAL MIXED USE DISTRICT
 HEIGHT OF PROPOSED BUILDING: 42'
 POLE HEIGHT: 12'
 POLE/FIXTURE COLOR: BLACK/DARK BRONZE
 COLOR OF LIGHT: WHITE/METAL HALIDE

THIS LIGHTING PLAN HAS BEEN DESIGNED TO MEET THE CITY OF FRANKLIN STANDARDS AND THE APPROVAL OF THE PLANNING COMMISSION/CITY OF FRANKLIN. CHANGES SHALL NOT BE MADE TO THE APPROVED LIGHTING PLAN UNLESS APPROVED BY EITHER THE RELEVANT DEPARTMENT SUPERINTENDENT OR THE PLANNING COMMISSION.

PHOTOMETRIC SITE PLAN
SCALE: 1" = 30'

Revisions

CITY COMMENTS
12-12-14

HM Job Number
14035

Drawn By

Date
08.01.14

Drawing
PHOTOMETRIC SITE PLAN

E.01

30.0' / in.

SUBSTITUTION NOTE:
 1. Requirements shown are as per City Zoning Ordinance.
 Substitutions are not allowed unless approved by Heibert+Ball, Land Design.
 2. After installation, the landscape will be maintained by the owner.
 3. Additional screening may be required if the inspection for the release of the performance bond reveals that the screening is not effective.

TO AVOID OVERHEAD UTILITY CONFLICTS:
 In the event proposed canopy trees are in conflict (within 25') with proposed or existing overhead utility locations, the landscape contractor shall stop work and contact Heibert+Ball, Land Design immediately for coordination and field adjustment.

TO AVOID OVERHEAD LIGHT POLE CONFLICTS:
 In the event proposed canopy trees are in conflict (within 10') with proposed or existing light pole locations, the landscape contractor shall stop work and contact Heibert+Ball, Land Design immediately for coordination and field adjustment.

UTILITY SCREEN
 All utility structures, transformers, meters, and/or units shall be screened with plant material tall enough to provide an effective screen. Structures not shown on landscape plans will be required to be screened. If utilities are added to the site, contact Heibert+Ball, Land Design for screening recommendations.

PLANT STANDARDS
 The standards set forth in "American Standard for Nursery Stock" represent general guideline specifications only and will constitute minimum quality requirements for plant material. All plants must meet minimum size noted at the materials schedule. And meet the characteristics stated on this drawing. All material installed on the site MUST meet or exceed these specifications. Any trees or shrubs not meeting these standards can be rejected at time of inspection.

TREE SPECIFICATIONS. ALL TREES SHALL HAVE THE FOLLOWING CHARACTERISTICS:
 1. Deciduous trees shall have one dominant single straight trunk with the top of the leader on the main trunk left intact and the terminal bud on the central leader at the highest point on the tree.
 2. Trees with forked trunks are acceptable if all the following conditions are met:
 a. The fork occurs in the upper 1/3 of the tree.
 b. One fork is less than 2/3 the diameter of the dominant fork.
 c. The top 1/3 of the smaller fork is removed at the time of planting.
 3. No branch is greater than 2/3 the diameter of the trunk directly above the branch.
 4. The trunk and/or major branches shall not touch.
 5. Several branches are larger in diameter and obviously more dominant.
 6. Branching habit is more horizontal than vertical, and no branches are oriented nearly vertical to the trunk.
 7. Branches are evenly distributed around the trunk with no more than one major branch located directly above another and the crown is full of foliage evenly distributed around the tree.
 8. Crown spread shall look proportional to the tree.
 9. NO flush cuts or open trunk wounds or other bark injury.
 10. Root ball meets all ANSI standards and is appropriately sized.

DEFICIENCIES NOT ACCEPTED:
 1. Tip dieback on 5% of branches
 2. Crown thin/sparsely foliated
 3. Included bark
 4. Major branches touching
 5. Asymmetrical branching

LANDSCAPE SHALL NOT OBSTRUCT VISIBILITY OR ACCESS TO FIRE PROTECTION EQUIPMENT INCLUDING, BUT NOT LIMITED TO, FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTIONS

REFERENCE NOTES SCHEDULE

| SYMBOL | DESCRIPTION | QTY | DETAIL |
|--------|--|-----|--------|
| 1 | 4" of 4"-6" Brown River Cobbles in landscape beds around building and in rain gardens | | |
| 2 | 4" depth of hardwood bark mulch in landscape beds not around the building | | |
| 3 | Tree Protection Fence (see detail) | | |
| 4 | Existing Oak Tree. Contractor to: Prune canopy to at least 8' HT above grade Remove ALL turf under the drip line Install shredded hardwood bark mulch under the drip line Install | | |
| 5 | Site Furniture: Bench (4) Manufacturer: Landscape Forms Product: 72" Parc Vue Color: Silver Contact: Michele Batchik 269.370.0563 | | |
| 6 | Site Furniture: Table (2) Manufacturer: Landscape Forms Product: Gretchen - Polysite Color: Natural Contact: Michele Batchik 269.370.0563 | | |
| 7 | Formail Open Space 1 Park: 14,890 Landscape & Tables | | |
| 8 | Formail Open Space 2 Park: 2,605 sf Landscape & Benches | | |



ATTENTION OWNER/INSTALLER:
 This landscape plan has been designed to meet the minimum requirements of the City of Franklin zoning ordinance, the approval of the planning commission, and planning department policy. Replanting, substituting, resizing, reducing, or deleting material may cause the site to no longer conform to the requirements; thus problems may arise with releasing the performance/maintenance surety for the landscape material. **Deviation from the approved landscape plan shall not be made without first consulting the Landscape Architect who designed the project. The designing Landscape Architect shall review proposed substitutions to ensure that all City standards and requirements are met. The City shall be notified in writing upon final approval of any plant substitutions.**

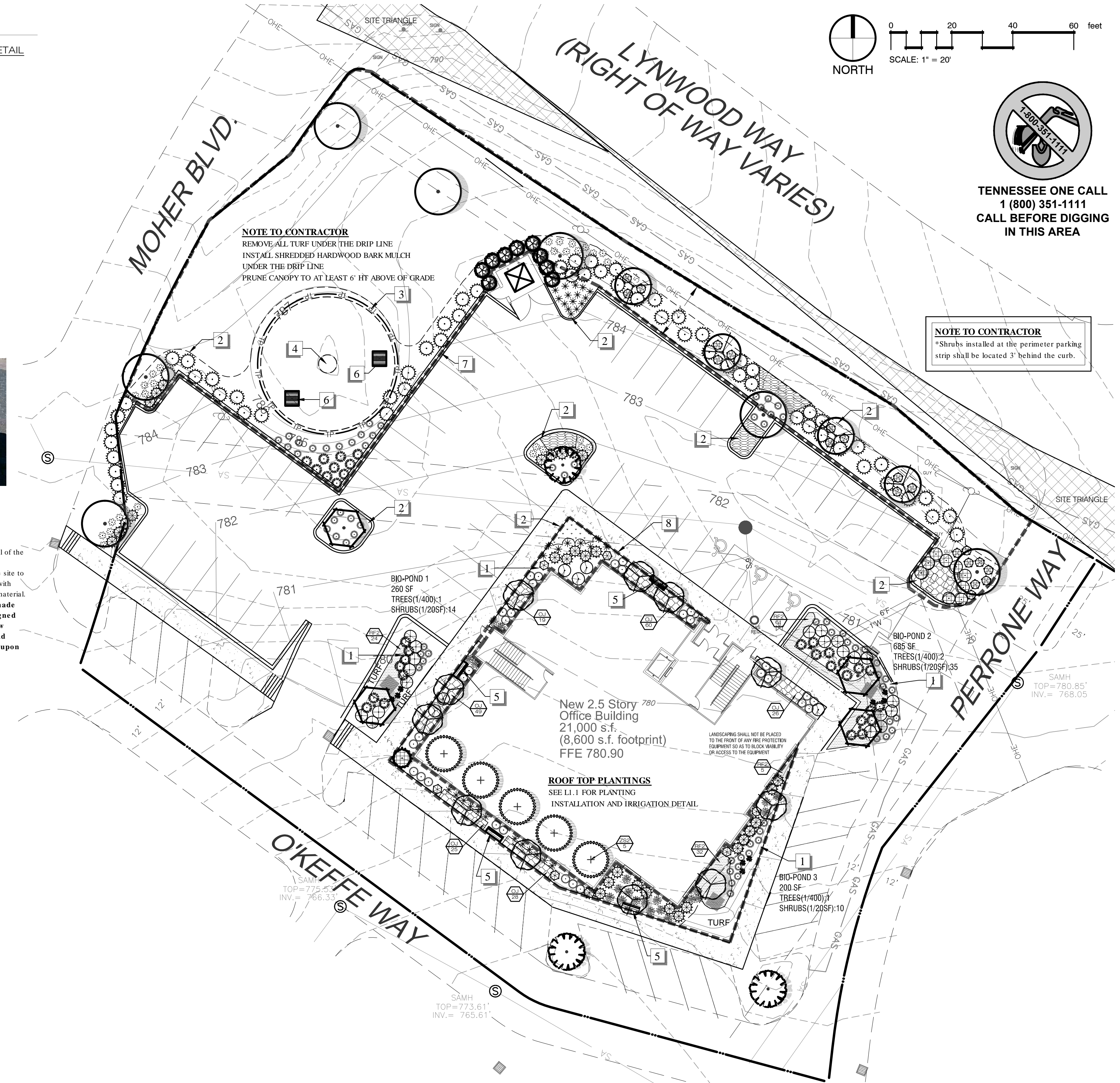
PLANT SCHEDULE

| 1.5' UNDERSTORY TREES | CODE | QTY | COMMON NAME / BOTANICAL NAME | CONT | CAL | SIZE |
|--|--------|------|--|------------------------------|----------|------------|
| TO | 9 | | Emerald Green Upright Arborvitae / Thuja occidentalis 'Emerald Green' Full, Dense Upright Form | B & B | 1.5" Cal | 8' HT |
| 2' REPLACEMENT TREES | CODE | QTY | COMMON NAME / BOTANICAL NAME | CONT | CAL | SIZE |
| BN | 4 | | Duraheat River Birch / Betula nigra 'Duraheat' Single Trunk, 4" Clear Trunk, Single, Straight Central Leader, Evenly Branched, Full Symmetrical Crown. See Tree Specifications. | B & B | 2" Cal | 10'-12' HT |
| LA | 3 | | Arnold Tulip Poplar / Liriodendron tulipifera 'Arnold' 5" Clear Trunk, Single, Straight Central Leader, Full Upright Branching, Even Branching. See Tree Specifications. Matched | B & B | 2" Cal | 12'-14' HT |
| MG | 1 | | Mig Tig Magnolia / Magnolia grandiflora 'Mig Tig' | B & B | 2" Cal | 10' HT |
| SJ | 11 | | Japanese Pink Snowbell Dwarf / Syringa japonica 'Pink Chimes' Perfect Form, Perfect Match, 5" Clear Trunk, Evenly Branched, Full Symmetrical Crown. See Tree Specifications. | B & B | 2" Cal | 12' HT |
| ZS2 | 5 | | Musashino Zelkova / Zelkova serrata 'Musashino' Upright Form, 5" Clear Trunk, Evenly Branched, Full Symmetrical Crown. See Tree Specifications. | 24" box | 2" Cal | 12'-14' HT |
| STREET TREES | CODE | QTY | COMMON NAME / BOTANICAL NAME | CONT | CAL | SIZE |
| CA | 4 | | Oklahoma Redbud / Cercis canadensis 'Oklahoma' 5" Clear Single Trunk, Full Symmetrical Crown. See Tree Specifications. | B & B | 2" Cal | 10'-12' HT |
| ZS | 7 | | Green Vase Zelkova / Zelkova serrata 'Green Vase' 5" Clear Trunk, Evenly Branched, Full Symmetrical Crown. See Tree Specifications. | B & B | 2" Cal | 12'-14' HT |
| ALL SHRUBS INSTALLED BY CURBS ALONG DRIVES AND IN PARKING AREAS SHALL BE PLANTED 36" FROM THE BACK OF CURB | SHRUBS | CODE | QTY | COMMON NAME / BOTANICAL NAME | CONT | |
| AG | 21 | | Rose Creek Abelia / Abelia x grandiflora 'Rose Creek' Full, Dense | 15"x15" | | |
| BG | 32 | | Littleleaf Boxwood / Buxus microphylla 'Glencoe' Full, Dense | 16"x16" | | |
| HM | 6 | | Nikko Blue Hydrangea / Hydrangea macrophylla 'Nikko Blue' Full, Dense Form | #5 Container | | |
| IN | 62 | | Needlepoint Holly / Ilex cornuta 'Needlepoint' Full, 30' HT, Heavy | 30' HT Min. | | |
| IS | 6 | | Sky Pencil Japanese Holly / Ilex crenata 'Sky Pencil' Full, Dense Upright | 48" HT | | |
| IV | 20 | | Virginia Sweetstaple / Ilex virginica 'Little Henry' TM Full, Dense Form | 30' HT | | |
| PE | 35 | | Little Bunny Fountain Grass / Pennisetum alopecuroides 'Little Bunny' Full, Dense Form | #1 Container | | |
| PL | 9 | | Schipka Laurel / Prunus laurocerasus 'Schipkaensis' Full, Dense Form | 42" HT | | |
| SB | 30 | | Neon Flash Spirea / Spiraea x bumalda 'Neon Flash' Full, Heavy, Well Branched | #1 Container | | |
| TM | 32 | | Dense Yew / Taxus x media 'Densiformis' Full, Heavy, Well Branched, Not Sheared | 30' HT Min. | | |
| BIO-RETENTION SHRUBS | CODE | QTY | COMMON NAME / BOTANICAL NAME | CONT | | |
| CL | 33 | | Summerweet Cestrum / Cestrum alnitola 'Hummingbird' Full, Dense Form | 18" HT | | |
| IG | 20 | | Inkberry Holly / Ilex glabra Full, Dense Form | 18" HT / 15" SP | | |
| MF | 9 | | Bee Balm / Monarda fistulosa 'Pink Supreme' | 1 Pint Container | | |
| SS | 67 | | The Blues Little Bluestem / Schizachyrium scoparium 'The Blues' Full, Dense | #1 Container | | |
| GROUND COVERS | CODE | QTY | COMMON NAME / BOTANICAL NAME | CONT | | |
| OJ | 254 | | Dwarf Black Mondo Grass / Ophiopogon japonicus 'Nigra' Install in Triangular Spacing | 4" pot | | |
| RF2 | 122 | | Black-eyed Susan & Purple Coneflower / Perennial Mix Quantity as for total plants. Groups of 5. Randomly Spaced. | 1 Quart | | |
| PA | 29 | | Little Spire Russian Sage / Perovskia atriplicifolia 'Little Spire' TM Full. | 1 Quart | | |
| SC | 32 | | Selection of Perennial, Annuals, and Grasses / Seasonal Color | 4" pot | | |

MISCELLANEOUS
 Shredded Hardwood Bark Mulch Minimum 4" depth throughout landscape beds
 4"-6" River Cobbles Minimum 4" depth in landscape beds around the building
 4"-6" River Cobbles Minimum 4" depth Where shown in Bio-Pond at inlets and head walls
 ALL SHRUBS INSTALLED BY CURBS ALONG DRIVES AND IN PARKING AREAS SHALL BE PLANTED 36" FROM THE BACK OF CURB

TURF
 Fesque. Install in all disturbed areas

NOTES
 F.T.B. = Full To Base
 ANY CHANGES TO THE PLANT MATERIAL WITHOUT THE APPROVAL OF HEIBERT+BALL LAND DESIGN MAY BE DENIED AT THE TIME OF INSPECTION. PLEASE CONTACT H+B FOR ANY SUBSTITUTION REQUESTS.



TREE TABLE

| NO. | SIZE | TYPE |
|---|------|------|
| 1 | 60" | OAK |
| Total Healthy Trees to Remain > 14': 1 | | |
| Total ACI of Trees > 14" to Remain: 60 | | |
| Total Healthy Trees to be Removed > 24": 0 | | |
| Total Caliper Inch of Replacement: 0 | | |
| EXISTING TREE CANOPY: 0.03 AC. (2% of Site) | | |
| PROPOSED TREE CANOPY RETENTION: 0.03 AC. (100% OF EXISTING COVER) | | |
| PROPOSED REPLACEMENT CALIPER INCHES FROM FOR LOT 137 48 | | |

| Landscape Requirements (ACI) | Quantity Provided | | Inches Provided |
|---|-------------------|----------|-----------------|
| | Existing Trees | Proposed | |
| Provided LSA: 0.456 Credit for 0.03 acres of preserved trees LSA = 0.43 | | | |
| Existing trees > 14" (0x1.25): | 75 | 75 | 75" |
| Existing trees (See Tree Inventory): | 0 | 0 | 0" |
| 2" caliper canopy trees: | 0 | 0 | 0" |
| Aggregate Canopy Caliper Inches Provided: | | | 75.0" |
| Aggregate Canopy Caliper Inches Required (82x0.43): | | | 35.3" |
| 1.5" caliper understory trees: | 0 | 9 | 13.5" |
| Aggregate Understory Caliper Inches Provided: | | | 13.5" |
| Aggregate Understory Caliper Inches Required (21x0.43): | | | 9" |
| 2" Caliper Replacement Caliper Inches Provided: | 24 | | 48" |
| Min. 18" Height Shrubs: | 81 | | 81" |
| Min. 30" Height Shrubs: | 129 | | 129" |
| Total Shrubs Provided: | 210 | | |
| Total Shrubs Required (96x0.43): | 42 | | |

SEE L1.1 FOR NOTES AND DETAILS

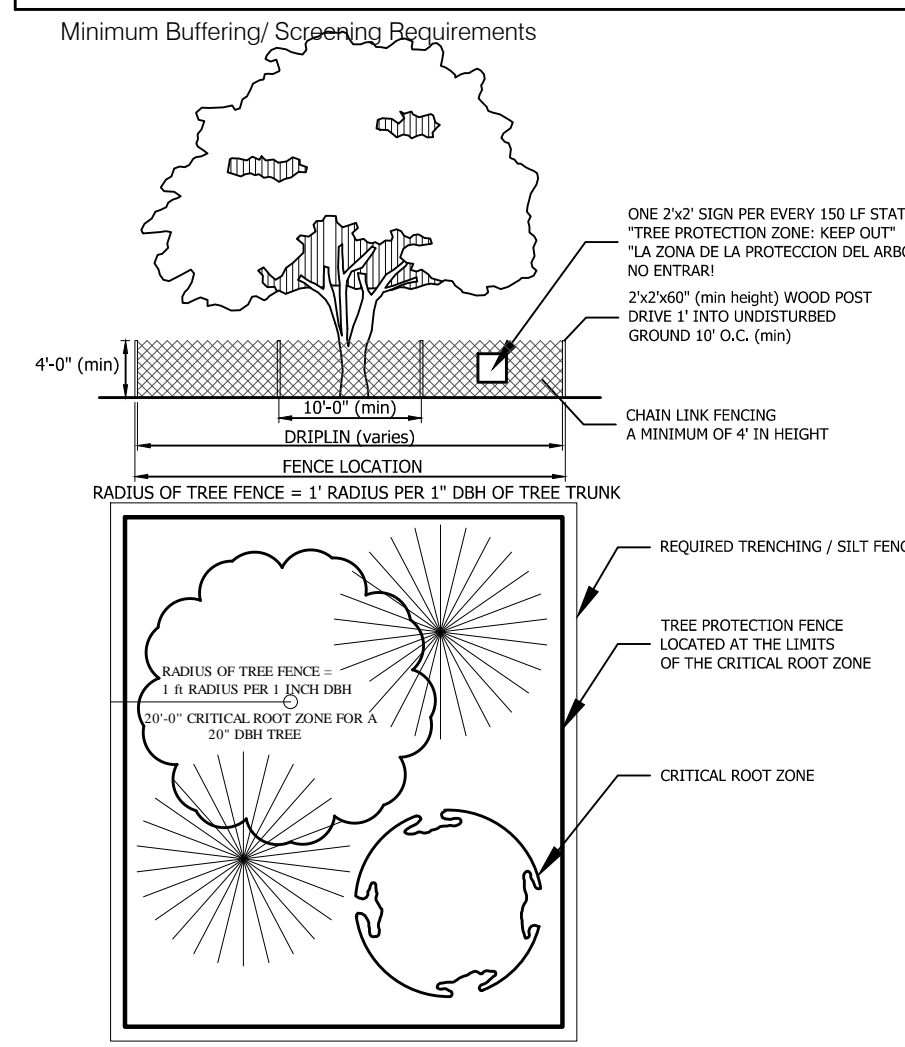


| GATEWAY VILLAGE TREE TAKEDOWN CHART | |
|---|-------|
| Site Specimen Tree Replacement Required | |
| TOTAL SITE INCHES REQUIRED TO BE REPLACED | 1,341 |
| TOTAL REPLACEMENT CALIPER INCH FROM SEC. 1 | 189 |
| TOTAL REPLACEMENT CALIPER INCH FROM SEC. 2 | 354 |
| TOTAL REPLACEMENT CALIPER INCH FROM SEC. 6 | 17.75 |
| TOTAL REPLACEMENT CALIPER INCHES FOR SEC 3 LOT 133 | 105.0 |
| TOTAL REPLACEMENT CALIPER INCHES FROM SEC 3 LOT 143 | 55.0 |
| TOTAL REPLACEMENT CALIPER INCHES FROM LOT 145 | 9.0 |
| TOTAL REPLACEMENT CALIPER INCHES FOR SECTION 3 & 6 LOTS 138, 139, 140, 141, 142 | 198.0 |
| PROPOSED REPLACEMENT CALIPER INCHES FROM FOR LOT 137 | 48 |
| DEVELOPMENT REPLACEMENT CALIPER INCHES REMAINING: 865.25 | |

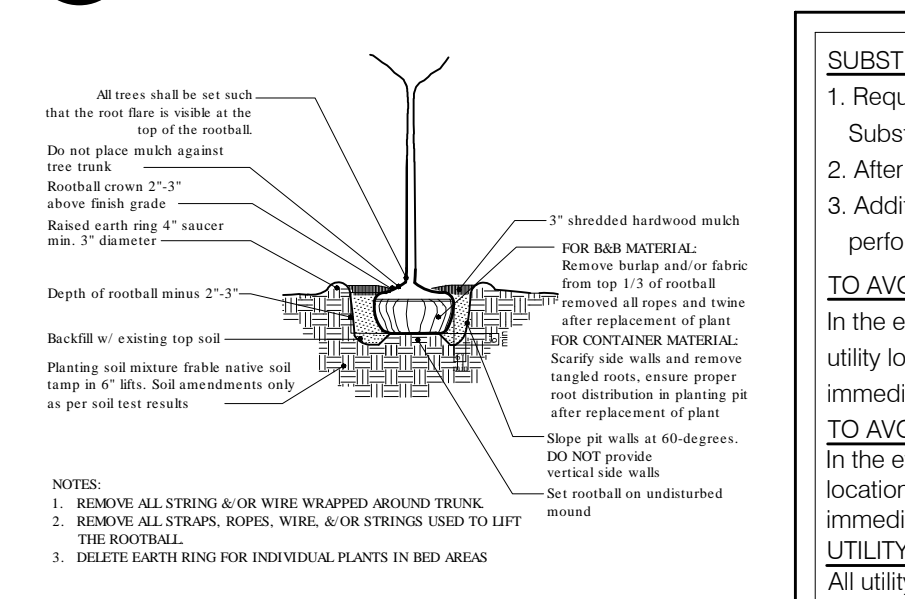
| MINIMUM OPEN SPACE REQUIREMENTS FOR RESIDENTIAL FORMAL OPEN SPACE | | | | |
|---|-------------------------|-----------------------------|---------------------------------|---------------------------------|
| AREA | TYPE | APPROVED AREA OF OPEN SPACE | APPROVED MAXIMUM 25% PAVED AREA | PROPOSED MAXIMUM 25% PAVED AREA |
| F-1 | Section 1 Median/Circle | 9,996 SF | 2,499 SF | 9,170 SF |
| F-2 | Section 2 Median/Green | 6,624 SF | 1,656 SF | 3,981 SF |
| F-3 | Section 2 Park | 11,623 SF | 2,906 SF | 7,150 SF |
| F-4 | Neighborhood Park | 42,171 SF | 10,527 SF | 42,334 SF |
| F-5 | Gateway Monument | 14,908 SF | 3,727 SF | 13,041 SF |
| F-6 (LOT 135) | Focal Point | 12,073 SF | 3,018 SF | 5,059 SF |
| F-6 (LOT 138) | Focal Point | | | 7,491 SF |
| F-6 (LOT 145) | Focal Point | | | 1,225 SF |
| F-7 | Traffic Circle | 8,659 SF | 2,165 SF | 11,804 SF |
| F-8 | Plaza | 19,528 SF | 4,882 SF | 24,115 SF |
| F-9 (Lot 137) | Park | 16,076 SF | 4,019 SF | 17,495 SF |
| F-10 | Park | 7,852 SF | 1,963 SF | 12,453 SF |
| F-11 (LOT 135) | Plaza | 12,701 SF | 3,175 SF | 482 SF |
| F-11 (LOT 136) | Plaza | | | 2,837 SF |
| F-11 (LOT 145) | Plaza | | | 12,640 SF |
| | | 162,211 SF (3.72 Acres) | | 171,277 SF (3.93 Acres) |

5% of Developable Area Required for Formal Open Space
 Total Developable Area = 41.82 AC, 5% of 41.82 AC = 91,040 SF (2.09 AC)
 Concept Plan - Staff Comments - Expand Formal Open Space

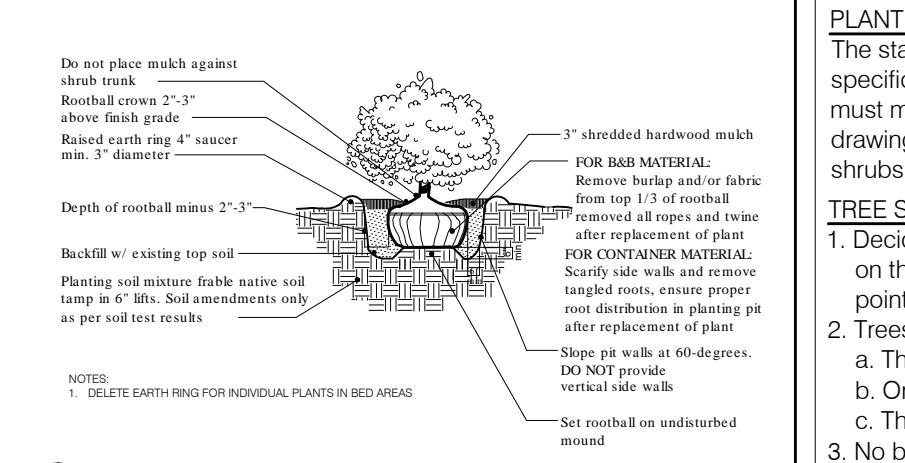
NOTE: PLANNING COMMISSION APPROVED MINIMUM 160,533 SF



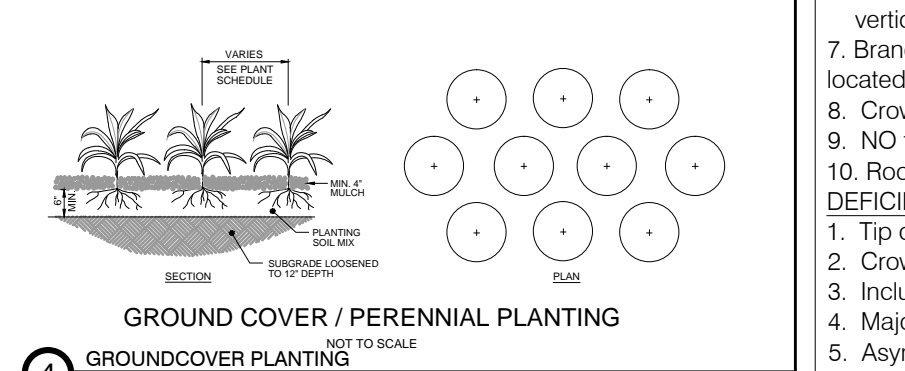
1 TREE PROTECTION FENCE
 1" = 1'-0"



2 TREE PLANTING
 PAGE 04



3 SHRUB PLANTING
 1" = 1'-0"



4 GROUND COVER / PERENNIAL PLANTING
 1" = 1'-0"

5.2.7 Tree Protection During Construction

(1) Owner's Responsibility
 During development, the owner or developer shall be responsible for the erection of all barriers necessary to protect any existing or installed trees from damage both during and after construction in accordance with the standards of this subsection.

(2) Tree Protection Fencing
 (a) Where Required
 All specimen trees, trees in a Tree Protection Zone, and trees intended for use as credit towards the landscaping standards of this chapter shall be fenced in accordance with this subsection before grading or other land disturbing activity begins. Fencing shall extend at least one foot in distance from the edge of the tree for each inch of DBH, so that each tree's drip line is protected, but no less than ten feet from the trunk. The Codes Department shall consider existing site conditions in determining the exact location of any tree protection fencing.

(b) Type of Fencing
 All fencing required by this subsection shall be chain link fencing at least four feet in height and secured using appropriate posts spaced not more than ten feet apart. Such chain link fencing is not required to be coated.

(c) Signage
 Signs shall be installed on the tree protection fence visible on all sides of the fenced-in area at a rate of at least one sign for every 150 linear feet. The size of each sign must be a minimum of two feet by two feet tall and shall contain the following language in English and Spanish: "TREE PROTECTION ZONE: KEEP OUT."

(d) Trenching Prior to Clearing Activities
 The removal of tree adjacent to tree save areas can cause inadvertent damage to the protected trees. Prior to clearing activities, trenches with a minimum depth of 12 inches shall be cut along the limits of the disturbance, so as to cut, rather than tear tree roots.

(e) Inspection
 All tree protection measures shall be inspected and approved by the Codes Department prior to the start of any land disturbing activities. Failure to have tree protection measures prior to the commencement of construction is a violation of this ordinance.

(f) When Required
 The tree protection fencing shall be clearly shown on the Site Plan. No construction, grading, equipment or material storage of any other activity shall be allowed within the fenced area except in accordance with the standards in Subsection 5.2.7 (3). Encroachments Into Root Zones. Fencing shall be maintained until the land disturbance activities are complete.

323101-01

SUBSTITUTION NOTE:
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 In the event proposed canopy trees are in conflict (within 25') with proposed or existing overhead utility locations, the landscape contractor shall stop work and contact Heibert+Ball, Land Design immediately for coordination and field adjustment.

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PLANT STANDARDS
 The standards set forth in "American Standard for Nursery Stock" represent general guideline specifications only and will constitute minimum quality requirements for plant material. All plants must meet minimum size noted at the materials schedule. And meet the characteristics stated on this drawing. All material installed on the site MUST meet or exceed these specifications. Any trees or shrubs not meeting these standards can be rejected at time of inspection.

TREE SPECIFICATIONS: ALL TREES SHALL HAVE THE FOLLOWING CHARACTERISTICS:

- Deciduous trees shall have one dominant single straight trunk with the tip of the leader on the main trunk, left intact and the terminal bud on the central leader is at the highest point on the tree.
- Trees with forked trunks are acceptable if all the following conditions are met:
 - The fork occurs in the upper 1/3 of the tree.
 - One fork is less than 2/3 the diameter of the dominant fork.
 - The top 1/3 of the smaller fork is removed at the time of planting.
- No branch is greater than 2/3 the diameter of the trunk directly above the branch.
- The trunk and/or major branches shall not touch.
- Several branches are larger in diameter and obviously more dominant.
- Branching habit is more horizontal than vertical, and no branches are oriented nearly vertical to the trunk.
- Branches are evenly distributed around the trunk with no more than one major branch located directly above another and the crown is full of foliage evenly distributed around the tree.
- Crown spread shall look proportional to the tree.
- NO flush cuts or open trunk wounds or other bark injury.
- Root ball meets all ANSI standards and is appropriately sized.

DEFICIENCIES NOT ACCEPTED:

- Tip dieback on 5% of branches
- Crown thin/sparsely foliated
- Included bark
- Major Branches touching
- Asymmetrical branching

LANDSCAPE SHALL NOT OBSTRUCT VISIBILITY OR ACCESS TO FIRE PROTECTION EQUIPMENT INCLUDING, BUT NOT LIMITED TO, FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTIONS

Hvac units, cooling and/or mechanical equipment are mounted on the:

- Rooftop
- Ground
- Not Applicable

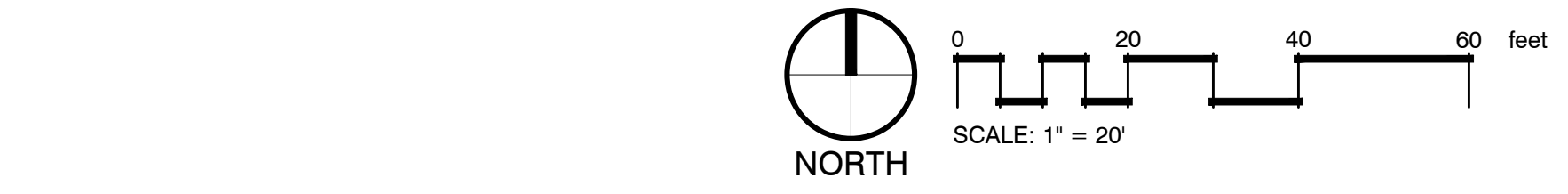
THIS DEVELOPMENT IS REQUIRED TO HAVE THE FOLLOWING LANDSCAPE IMPROVEMENTS

Buffer/Screening Type: Purpose:

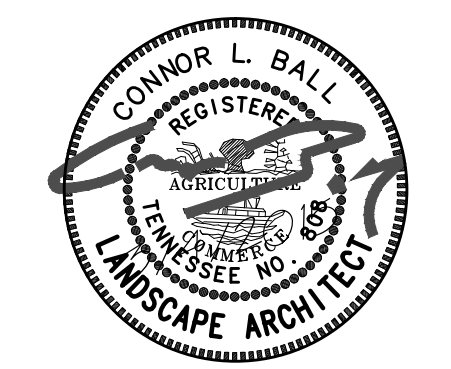
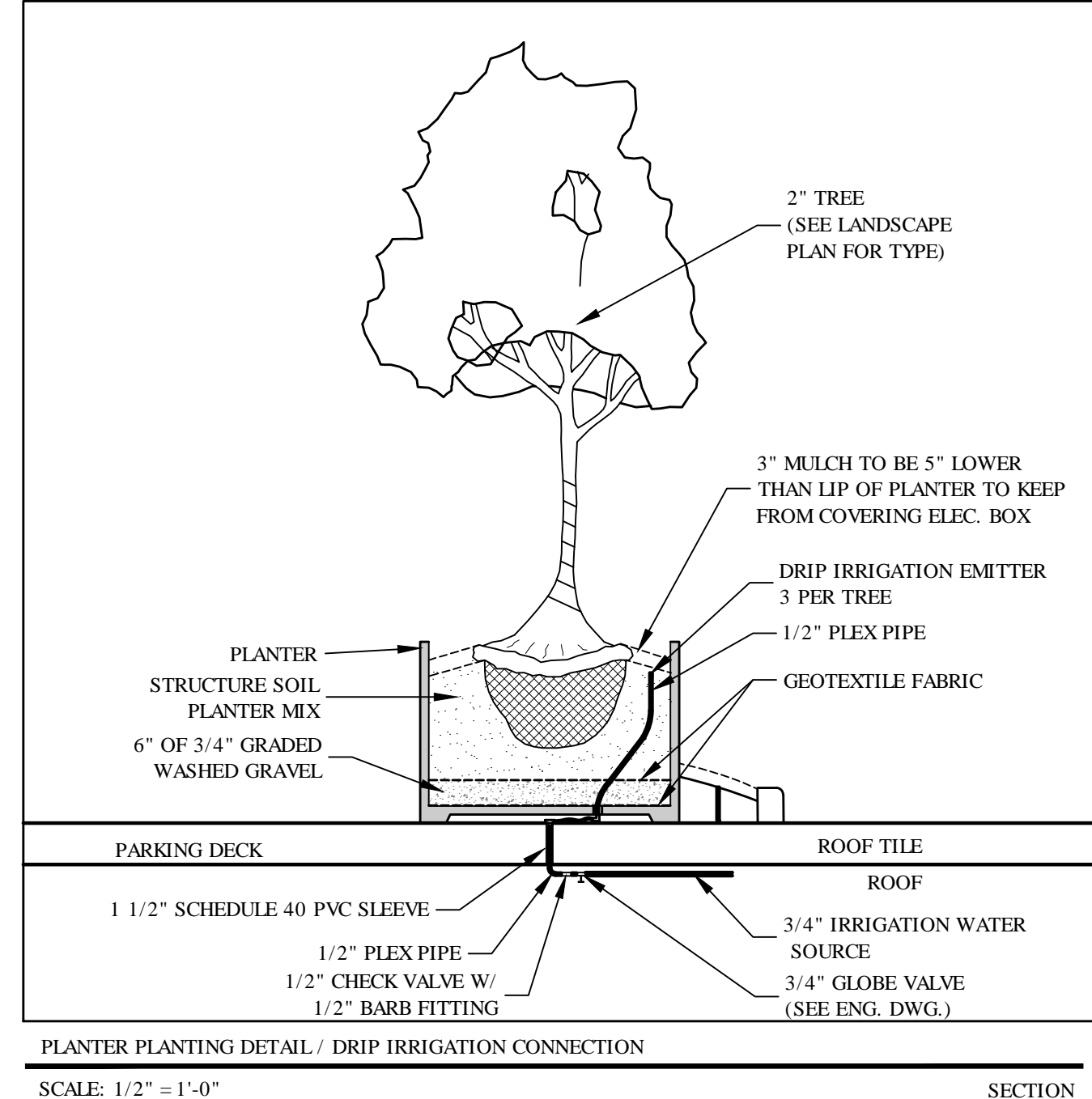
- Not Applicable: Buffering/Screening not required
- Foundation planting: Along primary facade
- Perimeter Planting Strip: Screen VUAs and to create "modules"
- Interior VUA Planting: Create VUA "modules"
- Utility Box Screen: Screen from view
- HVAC Screen: Screen HVAC from view
- Dumpster Screen: Screen Dumpster from view
- Loading/service Area: Buffer the street or residential property
- Incompatible Use Buffer: Buffer the adjacent less intensive use
- 30-foot Front Yard Buffer: Buffer the adjacent Hatcher Bypass
- 40-foot Front Yard Buffer: Buffer the adjacent Interstate 65
- Street Trees: Spatial Definition/Environmental Mitigation
- Other:

LANDSCAPE ARCHITECT: Heibert+Ball Land Design
 Connor Ball, PLA
 615.376.2421

FRANKLIN PLANNING DEPARTMENT: 615.791.3212 phone
 615.791.3257 fax



TENNESSEE ONE CALL
 1 (800) 351-1111
 CALL BEFORE DIGGING
 IN THIS AREA



HB
 Heibert+Ball
 LAND DESIGN
 1894 Gen. Geo. Patton Dr.
 Suite 400
 Franklin, TN 37067
 Tel: 615.376.2421
 www.hb-land.co

COF# TBD



CAST STONE WATER TABLE/ACCENT BAND
METAL PANEL CANOPY
ALUMINUM STOREFRONT SYSTEM W/ INSULATED GLASS
MONUMENTAL CAST MASONRY/STONE (ALTERNATE BRICK) W/ ROUGH ACCENT REVEALS
CAST/STONE BASE

1 North Elevation
A1 1/8" = 1'-0"



PREFINISHED METAL PANEL HAT AND METAL BRACKETS
EIFS PARAPET CORNICE
VERTICAL BRICK RECESS
ALUMINUM STOREFRONT SYSTEM W/ INSULATED GLASS AND SPANDREL PANELS
BRICK
METAL PANEL CANOPY BEYOND
CAST STONE ACCENT BAND
CAST/STONE BASE
PREFINISHED METAL PANEL HAT AND METAL BRACKETS
MONUMENTAL CAST MASONRY/STONE (ALTERNATE BRICK) W/ ROUGH ACCENT REVEALS
EIFS TO MATCH BRICK W/ METAL COPING
POWDER COATED ALUM. GUARD RAIL
CAST STONE LINTEL & ACCENT BAND
ALUMINUM CURTAIN WALL SYSTEM W/ INSULATED GLASS AND SPANDREL PANELS
BRICK
CAST/STONE BASE

2 West Elevation
A1 1/8" = 1'-0"

NOTES

1. LOCATION AND NUMBERS OF STOREFRONT DOORS SUBJECT TO CHANGE PER TENANT REQUIREMENTS.
2. LOCATION AND NUMBERS OF REAR & EGRESS DOORS SUBJECT TO CHANGE PER TENANT REQUIREMENTS.
3. TENANT SIGNS WILL BE SUBMITTED FOR APPROVAL AS TENANT REQUIREMENTS ARE DETERMINED.
4. SPECIFIED MATERIALS MAY CHANGE SUBJECT TO AVAILABILITY AT TIME OF CONSTRUCTION AND SUBJECT TO APPROVAL OF BNS DEPARTMENT OR PLANNING COMMISSION.
5. THESE ELEVATIONS HAVE BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE CITY OF FRANKLIN'S ARCHITECTURAL DESIGN STANDARDS AND THE APPROVAL OF THE PLANNING COMMISSION. CHANGES SHALL NOT BE MADE TO THE APPROVED ELEVATIONS UNLESS APPROVED BY EITHER THE BNS DEPARTMENT OR THE PLANNING COMMISSION.
6. HVAC UNITS ARE LOCATED ON THE ROOFS OF THE BUILDING AND ARE SCREENED FROM PUBLIC VIEW BY PARAPET WALLS.
7. CAVITY WALL CONSTRUCTION SHALL BE USED WHEREVER INTEGRALLY COLORED, UNPAINTED, SPLIT FACE CONCRETE BLOCK IS USED TO PREVENT WATER PENETRATION.

EXTERIOR FINISH LEGEND

| | |
|--|---|
| BRICK STYLE/SIZE: COLOR: MANUFACTURER: MORTAR: MORTAR MANUF.: | UTILITY RED/BROWN TBD TYPE N, STANDARD TBD |
| MONUMENTAL CAST STONE STYLE/SIZE: COLOR: MANUFACTURER: MORTAR: MORTAR MANUF.: | TRENDSTONE PLUS MONUMENTAL SERIES MW WHITE TRENWYTH TBD TBD BRICK OR CAST STONE OF SIMILAR COLOR |
| CAST STONE LINTEL & ACCENT BAND STYLE/SIZE: COLOR: MANUFACTURER: MORTAR: | SMOOTH BUFFSTONE, GP-A ROCK CAST SAME AS ADJACENT MASONRY |
| CAST STONE BASE STYLE/SIZE: COLOR: MANUFACTURER: MORTAR: MORTAR MANUF.: | SPLIT/STPS-304 (3.625"x23.625") ASH PRAIRIE STONE TBD TBD NATURAL STONE/PEWTER MIST |
| EIFS CORNICE STYLE/SIZE: COLOR: MANUFACTURER: | SAND FINE LB. THICKNESS PER DWGS 10402 LIMESTONE PAREX, OR EQUAL |
| STOREFRONT & CURTAIN WALL STYLE/SIZE: COLOR: MANUFACTURER: | ALUMINUM RECTANGULAR KYNAR CHARCOAL GRAY OR ANODIZED DARK BRONZE TUBELITE OR EQUAL |
| GLAZING STYLE/SIZE: COLOR: MANUFACTURER: | 1" INSULATED LOW-E SOLAR BLUE + SOLARBAN 70XL (3) PPG OR EQUAL |
| PREFINISHED METAL PARAPET COPING COLOR: MANUFACTURER: | SIERRA TAN & SLATE GRAY BERRIDGE OR EQUAL |
| METAL PANEL CANOPY & HAT STYLE/SIZE: COLOR: MANUFACTURER: | SMOOTH METAL PANEL, 18" PEWTER/TITANIUM CENTRIA/ALUCOBOND OR EQUAL |
| PAINT COLOR: | TBD |

MATERIAL AREA NOTES

1. MINOR MATERIALS INCLUDING COPINGS, FLASHINGS, AND TRIM INSTALLED OVER BRICK ARE NOT INCLUDED IN MATERIAL AREA CALCULATIONS.
2. NET WALL AREA EXCLUDES STOREFRONT, DOORS, LOUVERS AND MINOR TRIM.

MATERIAL CALCULATIONS

NORTH ELEVATION

| | AREA | % OF NET |
|--------------------|-----------|----------|
| GROSS WALL AREA | 4843 S.F. | NA% |
| NET WALL AREA | 2861 S.F. | 100% |
| BRICK AREA | 1304 S.F. | 46% |
| CAST STONE AREA | 1115 S.F. | 39% |
| METAL PANEL/CANOPY | 86 S.F. | 2% |
| EIFS | 356 S.F. | 13% |

WEST ELEVATION

| | AREA | % OF NET |
|--------------------|-----------|----------|
| GROSS WALL AREA | 4224 S.F. | NA% |
| NET WALL AREA | 2724 S.F. | 100% |
| BRICK AREA | 1176 S.F. | 43% |
| CAST STONE AREA | 1064 S.F. | 39% |
| METAL PANEL/CANOPY | 113 S.F. | 4% |
| EIFS | 371 S.F. | 14% |

Revisions
11.13.14
01.05.15

HMH Job Number
14035

Drawn By
TT

Date
01.05.15

Drawing
Elevations

A1



1 East Elevation
A2 1/8" = 1'-0"



2 South Elevation
A2 1/8" = 1'-0"

NOTES

1. LOCATION AND NUMBERS OF STOREFRONT DOORS SUBJECT TO CHANGE PER TENANT REQUIREMENTS.
2. LOCATION AND NUMBERS OF REAR & EGRESS DOORS SUBJECT TO CHANGE PER TENANT REQUIREMENTS.
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6. HVAC UNITS ARE LOCATED ON THE ROOFS OF THE BUILDING AND ARE SCREENED FROM PUBLIC VIEW BY PARAPET WALLS.
7. CAVITY WALL CONSTRUCTION SHALL BE USED WHEREVER INTEGRALLY COLORED, UNPAINTED, SPLIT FACE CONCRETE BLOCK IS USED TO PREVENT WATER PENETRATION.

EXTERIOR FINISH LEGEND

| | |
|--|---|
| BRICK | UTILITY |
| STYLE/SIZE: | RED/BROWN |
| COLOR: | TBD |
| MANUFACTURER: | TYPE N, STANDARD |
| MORTAR: | TBD |
| MORTAR MANUF.: | TBD |
| MONUMENTAL CAST STONE | |
| STYLE/SIZE: | TRENDSTONE PLUS MONUMENTAL SERIES |
| COLOR: | MW WHITE |
| MANUFACTURER: | TRENWYTH |
| MORTAR: | TBD |
| MORTAR MANUF.: | TBD |
| ALTERNATE: | BRICK OR CAST STONE OF SIMILAR COLOR |
| CAST STONE LINTEL & ACCENT BAND | |
| STYLE/SIZE: | SMOOTH |
| COLOR: | BUFFSTONE, GP-A |
| MANUFACTURER: | ROCK CAST |
| MORTAR: | SAME AS ADJACENT MASONRY |
| CAST STONE BASE | |
| STYLE/SIZE: | SPLIT/STPS-304 (3.625"x23.625") |
| COLOR: | ASH |
| MANUFACTURER: | PRAIRIE STONE |
| MORTAR: | TBD |
| MORTAR MANUF.: | TBD |
| ALTERNATE: | NATURAL STONE/PEWTER MIST |
| EIFS CORNICE | |
| STYLE/SIZE: | SAND FINE LB. THICKNESS PER DWGS |
| COLOR: | 10402 LIMESTONE |
| MANUFACTURER: | PAREX, OR EQUAL |
| STOREFRONT & CURTAIN WALL | |
| STYLE/SIZE: | ALUMINUM RECTANGULAR |
| COLOR: | KYNAR CHARCOAL GRAY OR ANODIZED DARK BRONZE |
| MANUFACTURER: | TUBELITE OR EQUAL |
| GLAZING | |
| STYLE/SIZE: | 1" INSULATED LOW-E |
| COLOR: | SOLAR BLUE + SOLARBAN 70XL (3) |
| MANUFACTURER: | PPG OR EQUAL |
| PREFINISHED METAL PARAPET COPING | |
| COLOR: | SIERRA TAN & SLATE GRAY |
| MANUFACTURER: | BERRIDGE OR EQUAL |
| METAL PANEL CANOPY & HAT | |
| STYLE/SIZE: | SMOOTH METAL PANEL, 18" |
| COLOR: | PEWTER/TITANIUM |
| MANUFACTURER: | CENTRIA/ALUCOBOND OR EQUAL |
| PAINT | |
| COLOR: | TBD |

MATERIAL AREA NOTES

1. MINOR MATERIALS INCLUDING COPINGS, FLASHINGS, AND TRIM INSTALLED OVER BRICK ARE NOT INCLUDED IN MATERIAL AREA CALCULATIONS.
2. NET WALL AREA EXCLUDES STOREFRONT, DOORS, LOUVERS AND MINOR TRIM.

MATERIAL CALCULATIONS

| EAST ELEVATION | | |
|--------------------|-----------|----------|
| | AREA | % OF NET |
| GROSS WALL AREA | 3917 S.F. | NA% |
| NET WALL AREA | 2413 S.F. | 100% |
| BRICK AREA | 1091 S.F. | 45% |
| CAST STONE AREA | 1102 S.F. | 46% |
| METAL PANEL/CANOPY | 48 S.F. | 2% |
| EIFS | 172 S.F. | 7% |

| SOUTH ELEVATION | | |
|--------------------|-----------|----------|
| | AREA | % OF NET |
| GROSS WALL AREA | 5570 S.F. | NA% |
| NET WALL AREA | 3602 S.F. | 100% |
| BRICK AREA | 1642 S.F. | 46% |
| CAST STONE AREA | 1477 S.F. | 41% |
| METAL PANEL/CANOPY | 128 S.F. | 3% |
| EIFS | 355 S.F. | 10% |

Revisions
11.13.14
01.05.15

HMH Job Number
14035

Drawn By
TT

Date
01.05.15

Drawing
Elevations



1
A3 View from North



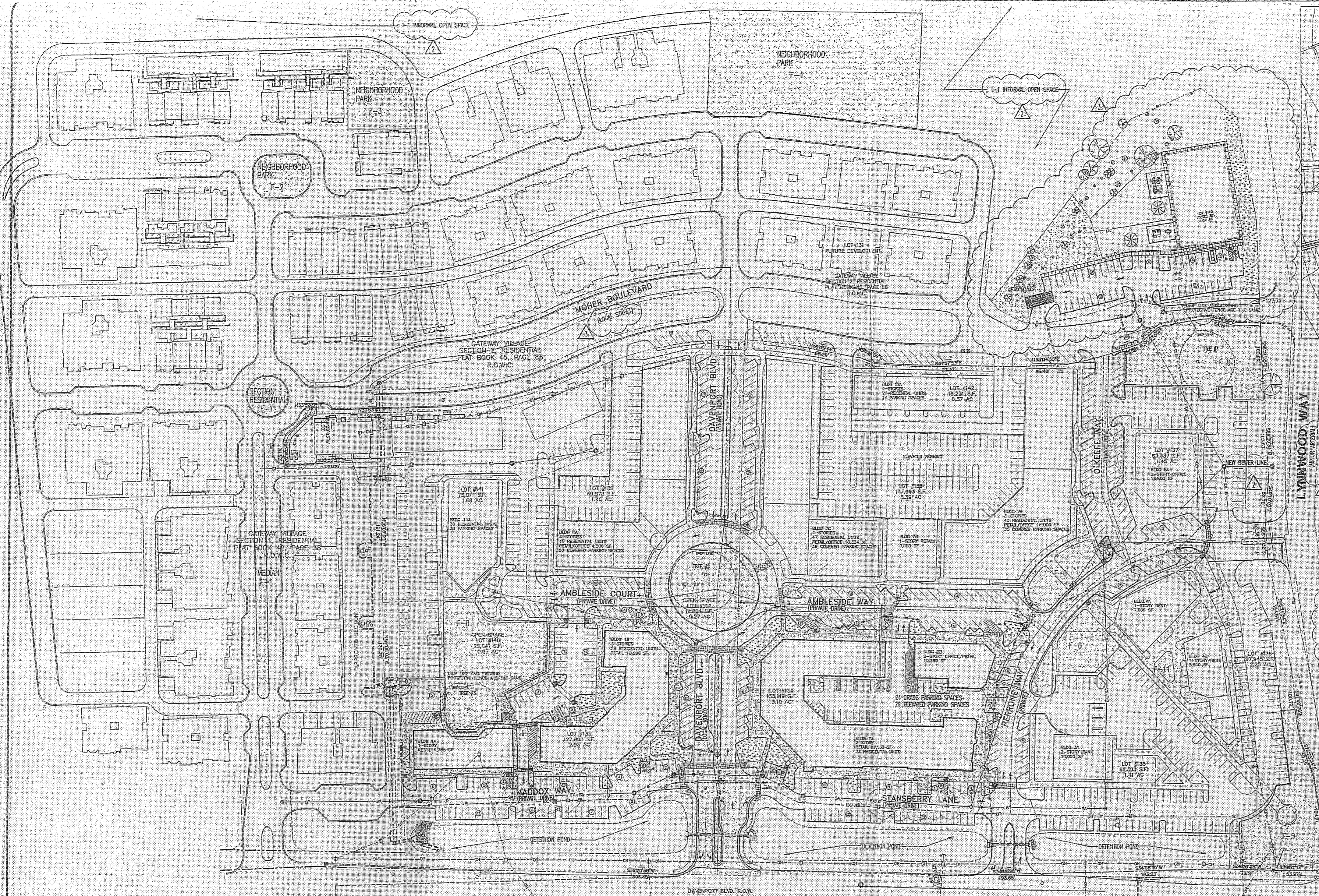
2
A3 View from East



3
A3 View from South



4
A3 View from West



VICINITY MAP NOT TO SCALE

NEW LAND USE REGULATIONS
 APPROVED ZONING: PLANNED COMMERCIAL (PC 6.83)
 PROPOSED ZONING: PLANNED COMMERCIAL (PC 6.84)
 GROSS SITE AREA: 40.80 AC
 TOTAL RESIDENTIAL UNITS: 402 DWELLING UNITS
 TOWNHOUSES: 130 DWELLING UNITS (APPROVED SECTIONS 1 & 4)
 CONDOMINIUMS: 39 DWELLING UNITS (APPROVED SECTION 6)
 GROSS DENSITY: 6.94 DUA
 TOTAL SF OF RETAIL/RESTAURANT: 65,092 SF
 TOTAL SF OF OFFICE: 67,176 SF
 TOTAL RETAIL/OFFICE/RESTAURANT: 132,268 SF
 PROPOSED FLOOR AREA RATIO: 0.050
 MAX. ALLOWED FLOOR AREA RATIO: 0.050

MINIMUM OPEN SPACE REQUIREMENTS FOR RESIDENTIAL
 FORMAL OPEN SPACE:
 50% of Developable Area Required for Formal Open Space
 Total Developable Area: 41.82 AC, 5% of 41.82 AC = 91,040 SF (2.08 AC)
 Informal Open Space: 10% of 41.82 AC = 172,080 SF (3.95 AC)

| AREA | TYPE | APPROVED AREA OF OPEN SPACE | FORMAL MINIMUM AREA | PROPOSED MAXIMUM OF OPEN SPACE | PROPOSED MAXIMUM OF OPEN SPACE 25% PAVED AREA |
|-----------|-------------------------|-----------------------------|------------------------|--------------------------------|---|
| Area F-1 | Section 1 Median/Circle | 6,966 SF | 2,492 SF | 6,966 SF | 4,499 SF |
| Area F-2 | Section 2 Median/Circle | 6,844 SF | 1,856 SF | 6,844 SF | 3,550 SF |
| Area F-3 | Section 3 Circle | 11,923 SF | 2,895 SF | 11,923 SF | 2,564 SF |
| Area F-4 | Neighborhood Park | 42,171 SF | 10,522 SF | 42,171 SF | 10,842 SF |
| Area F-5 | Openway Midway | 14,900 SF | 3,725 SF | 14,718 SF | 3,870 SF |
| Area F-6 | Front Point | 12,973 SF | 3,071 SF | 10,687 SF | 3,914 SF |
| Area F-7 | Traffic Circle | 8,836 SF | 2,153 SF | 11,422 SF | 2,856 SF |
| Area F-8 | Circle | 18,628 SF | 4,652 SF | 19,378 SF | 4,882 SF |
| Area F-9 | Park | 18,079 SF | 4,019 SF | 15,076 SF | 4,919 SF |
| Area F-10 | Circle | 7,852 SF | 1,963 SF | 8,152 SF | 2,783 SF |
| Area F-11 | Circle | 12,701 SF | 3,175 SF | 11,807 SF | 2,951 SF |
| | | 182,221 SF (3.72 Acres) | 46,074 SF (1.07 Acres) | 169,074 SF (3.87 Acres) | 104,163 SF (2.39 Acres) |

INFORMAL OPEN SPACE:
 10% Developable Area Required for Informal Open Space
 Total Developable Area = 41.82 AC, 10% of 41.82 AC = 182,081 SF (4.18 AC)

| KEY | CLASSIFICATION | TYPE | AREA OF OPEN SPACE | PAVED AREA |
|----------|----------------|----------|--------------------|------------|
| AREA F-1 | INFORMAL | HILLSIDE | 1,017.61D | |

CURRENTLY APPROVED GATEWAY VILLAGE LAND USE DATA:

| Development | PLUPC Approved | PC Zoned Acres | Total Dwelling Units | RETAIL OFFICE | MIXED USE |
|-------------------------------------|----------------|----------------|----------------------|---------------|---------------|
| Section 1 | 5/25/03 | 60.00 | 419 | 133,958 | 185 multipler |
| Section 2 | 6/6/04 | 4.83 | 33 | | |
| Section 3 | 3/24/05 | 11.42 | 97 | | |
| Section 4 | 7/27/09 | 1.12 | 38 | | |
| Approved Section 5, Lots 1-3 and 15 | 3/28/08 | 2.07 | 50 | 97,235 | 546 |

OWNER/DEVELOPER: VILLAGE CENTER, CODA COMPANIES & GATEWAY VILLAGE DEVELOPMENT, INC.
 ADDRESS: 3042 THOROUGHBRED LANE SUITE 200 BRENTWOOD, TN 37027
 PHONE NO. (615) 832-5427
 E-MAIL: LYNNELLSWORTH@GMAIL.COM CONTACT NAME: LYNN ELLSWORTH

OWNER/DEVELOPER SECTION 1, 2, & 6: GATEWAY VILLAGE DEVELOPMENT, INC.
 ADDRESS: 3628 TROUSDALE DRIVE, SUITE F NASHVILLE, TN 37204
 PHONE NO. (615) 832-0779
 FAX NO. (615) 832-0779
 E-MAIL: DYL@GATEWAYVILLAGE.COM CONTACT NAME: DAVID A. FLOW

APPLICANT:
 KLINE SWINNEY ASSOCIATES
 22 MIDDLETON STREET NASHVILLE, TN 37219
 PHONE NO. 615.255.1184
 E-MAIL: DKLINE@KSWINNEYARCHITECTS.COM CONTACT: DAVID KLINE

CIVIL ENGINEER:
 CIVIL ENGINEERING SERVICES
 PO BOX 186 FARMVIEW, TN 37602
 PHONE NO. 615.333.0001
 E-MAIL: RAY@CIVILENGINEERINGSERVICES.NET CONTACT: RAY FLAKE

REVISED SITE CONCEPT PLAN
 SCALE: 1" = 60'

GATEWAY VILLAGE IMPROVEMENTS PROPOSED CONCEPT PLAN FOR SECTION 3, LOT 133 & 134 CHANGE

| SECTION 3 LOT NUMBER | LAND ALLOCATIONS BY PARCEL | CONDOS/LOFTS | RESTAURANT/COFFEE AND BAKERY | RESTAURANT | ACREAGE | SQUARE FOOTAGE LAND | PARKING SHOWN | PARKING/CODE WITH 35 MULTIPLEX |
|----------------------|----------------------------|--------------|------------------------------|---------------|--------------|---------------------|---------------|--------------------------------|
| 133 | A, B | 26 | 22,861 | | 2.26 | 127,082 | 154 | 174 |
| 134 | A, B | 22 | 24,963 | | 3.10 | 135,419 | 197 | 193 |
| 135 | A | | 10,420 | | 1.41 | 61,309 | 92 | 28 |
| 136 | A, B | | | 12,500 | 2.25 | 92,345 | 91 | 115 |
| 137 | A, B | | 16,800 | | 1.93 | 83,632 | 97 | 69 |
| 138 | A | | 10,300 | | 1.42 | 70,570 | 46 | 39 |
| 139 | A, B, C | 87 | 23,254 | | 3.30 | 147,993 | 223 | 232 |
| 140 | Formal Open Sp | 46 | 4,500 | | 3.40 | 149,076 | 148 | 169 |
| 141 | Formal Open Sp | | | | 1.05 | 29,071 | 71 | 13 |
| 142 | A | 93 | | | 1.28 | 73,071 | 76 | 57 |
| | A | 21 | | | 0.27 | 11,853 | 0 | 0 |
| | A | 30 | | | 1.28 | 73,071 | 76 | 57 |
| | A | 21 | | | 0.27 | 11,853 | 0 | 0 |
| Total | | 224 | 131,768 | 12,500 | 26.54 | 862,168 | 1,254 | 1,086 |

Notes: Shared parking allows .85 multiplier of required parking per City.
 Full version of driveway standards are to provide 10 spaces per 1,000 SF, plus 1 per employee at maximum shift.
 Studio units shall require only 1 space per unit.

STORMWATER NOTES

- This site will provide adequate on-site detention for one and post development runoff.
- No portion of site shall flow into a roadway (RW) or roadway fringe (RF) boundary. Map 847187020200.
- The storm water detention facilities will minimize impacts of increased runoff on downstream properties. The detention facility will be used for all of the detention & water quality requirements for 2-100 year storms. Water quality will provide a minimum of 60% TSS (total suspended solids) removal.
- Refer to Plan for approximate locations for detention. This is shown in conceptual only. Final size and location to be determined with site plan development.
- Expected Pollutant Removal Efficiency taken from City of Franklin Stormwater Management Plan.
- All Water Quality Devices east of the Water Quality Cell on motor shall drain toward the Existing Detention facilities.
- Structural treatment shall be City of Franklin approved.
- Restoration of storm water study not required/ per pre-application meeting.

GENERAL NOTES

- SECTIONS 1, 2 & 6 OF GATEWAY VILLAGE DESIGNED BY LANDSCAPE INC. THE REVISED COMMERCIAL VILLAGE DESIGNED BY KSA/OZGA COMPANIES.
- THREE EXISTING TREES WITHIN THE COMMERCIAL VILLAGE SHALL BE PRESERVED.
- ALL TREE-PROTECTION FENCING SHALL BE IN PLACE PRIOR TO THE ISSUANCE OF A GRADING PERMIT AND SHALL BE MAINTAINED IN GOOD WORKING ORDER UNTIL ALL CONSTRUCTION ACTIVITY IS COMPLETED. ANY REQUIRED PROTECTIVE MEASURES SHALL BE PLACED OUTSIDE OF ANY TREE PROTECTION FENCING.
- THE PLANT MATERIAL PROPOSED FOR THE SITE SHALL BE SHOWN ON THE PLAN AND INCLUDED IN A PLANT SCHEDULE AT THE SITE PLAN STAGE. MAINTENANCE GUIDELINES FOR THESE AREAS SHALL BE PROVIDED.

TREES TO BE SAVED/PROTECTED

| ID# | SIZE | TYPE | CONDITION |
|-----|----------|------|-----------|
| #1 | 60" CAL. | CAK | FAIR |
| #2 | 48" CAL. | ELM | GOOD |
| #3 | 40" CAL. | ELM | GOOD |

GATEWAY VILLAGE TREE TAKE DOWN CHART

| SITE SPECIMEN TREE REPLACEMENT REQUIRED | REPLACEMENT CALIPER INCH |
|--|--------------------------|
| TOTAL SITE INCHES REQUIRED TO BE REPLACED | 1,341 |
| TOTAL REPLACEMENT CALIPER INCH FROM SEC. 1 | 189 |
| TOTAL REPLACEMENT CALIPER INCH FROM SEC. 2 | 354 |
| TOTAL REPLACEMENT CALIPER INCH FROM SEC. 5 | 17.75 |
| TOTAL REPLACEMENT CALIPER INCH FROM SECTION 3, LOT 133 & 134 | 214.9 |
| REMAINING SPECIMEN CALIPER INCHES TO BE REPLACED PER FUTURE SECTIONS | 565.25 |

22 Middleton Street Nashville, Tennessee 37219

LYNN ELLSWORTH ASSOCIATES
 architecture • interior design • planning



Reproduction of these drawings or any part thereof is prohibited without written consent of the project owner. SWINNEY ASSOCIATES. These drawings are prepared by LSA and are not to be used for any other project.

REVISED SITE CONCEPT PLAN
 SECTION 3 LOT 133 REVISIONS
 GATEWAY VILLAGE
 FRANKLIN ROAD AND LYNNWOOD WAY
 101 MOYER BLVD.
 FRANKLIN, TENNESSEE

PROJECT NO. 1861

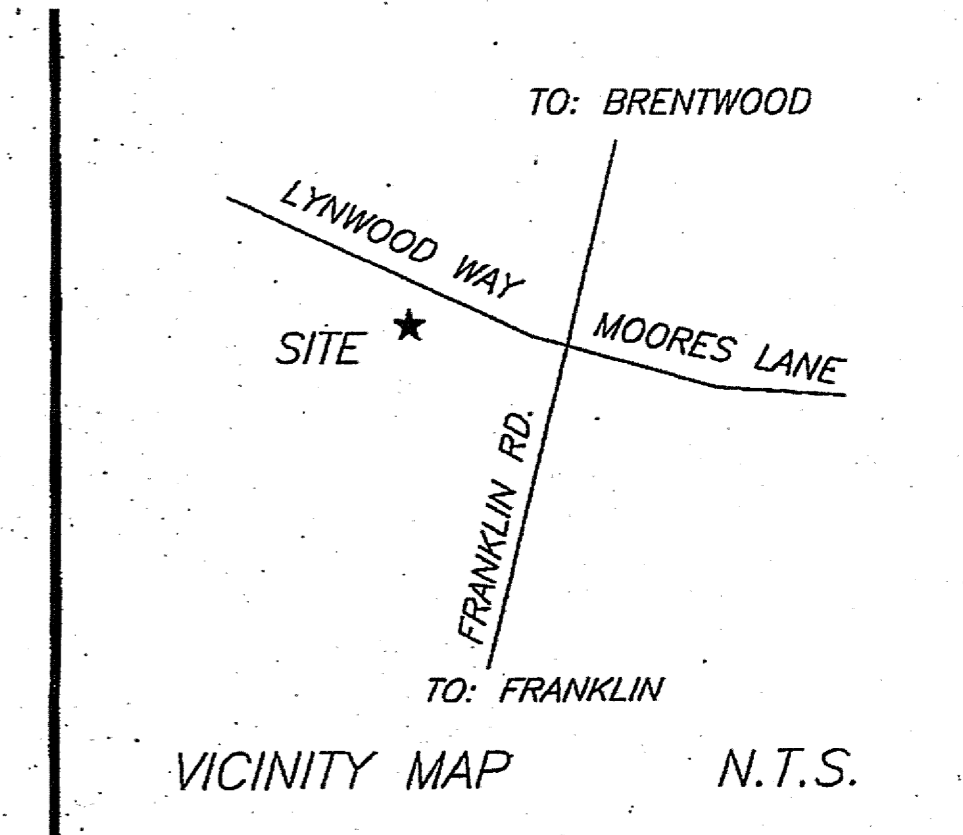
REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|-----------|-------------|
| 1 | 01 MAR 08 | |
| 2 | 29 APR 08 | |
| 3 | 19 AUG 08 | |

PROJECT NO. 0906.01
 DATE 07 MAR 08
 SHEET NO.

G1.01

POST PC 9/11/08 RECD AUG 29 2008



SPECIAL NOTE:

THIS CONCEPT PLAN INFORMATION SHOWN WAS TAKEN FROM AVAILABLE PUBLIC INFORMATION PROVIDED BY THE CITY OF FRANKLIN. CDC LLC AND THIS ENGINEER ACCEPT NO LIABILITY AS THE EXACTNESS OF THE DEVELOPMENT OUTSIDE OF THE PROPOSED PLAN SHOWN.

TREES TO BE SAVED #1 68" OAK FAIR CONDITION, #2 48" ELM GOOD CONDITION, #3 40" ELM GOOD CONDITION

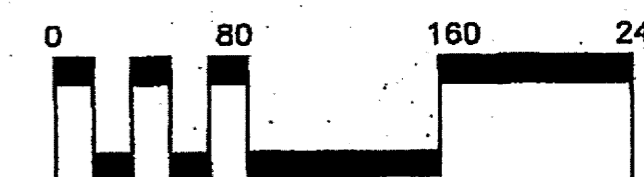
| GATEWAY VILLAGE TREE TAKEDOWN CHART | |
|--|-------|
| SITE SPECIMEN TREE REPLACEMENT REQUIRED | |
| TOTAL SITE INCHES REQUIRED TO BE REPLACED | 1,341 |
| TOTAL REPLACEMENT CALIPER INCH SECTION 1 | 289 |
| TOTAL REPLACEMENT CALIPER INCH SECTION 2 | 354 |
| TOTAL REPLACEMENT CALIPER INCH SECTION 6 | 17.8 |
| TOTAL REPLACEMENT CALIPER INCH SECTION 3 | 215 |
| TOTAL REPLACEMENT CALIPER INCH SECTION 3 LOT 143 | 55 |
| TOTAL REPLACEMENT CALIPER INCH SECTION 3 & 6 LOTS 138, 139, 140, 141 & 142 | 198 |
| REMAINING SPECIMEN CALIPER INCHES TO BE REPLACED FOR FUTURE SECTIONS | 510 |

LAND USE TABULATIONS
APPROVED ZONING

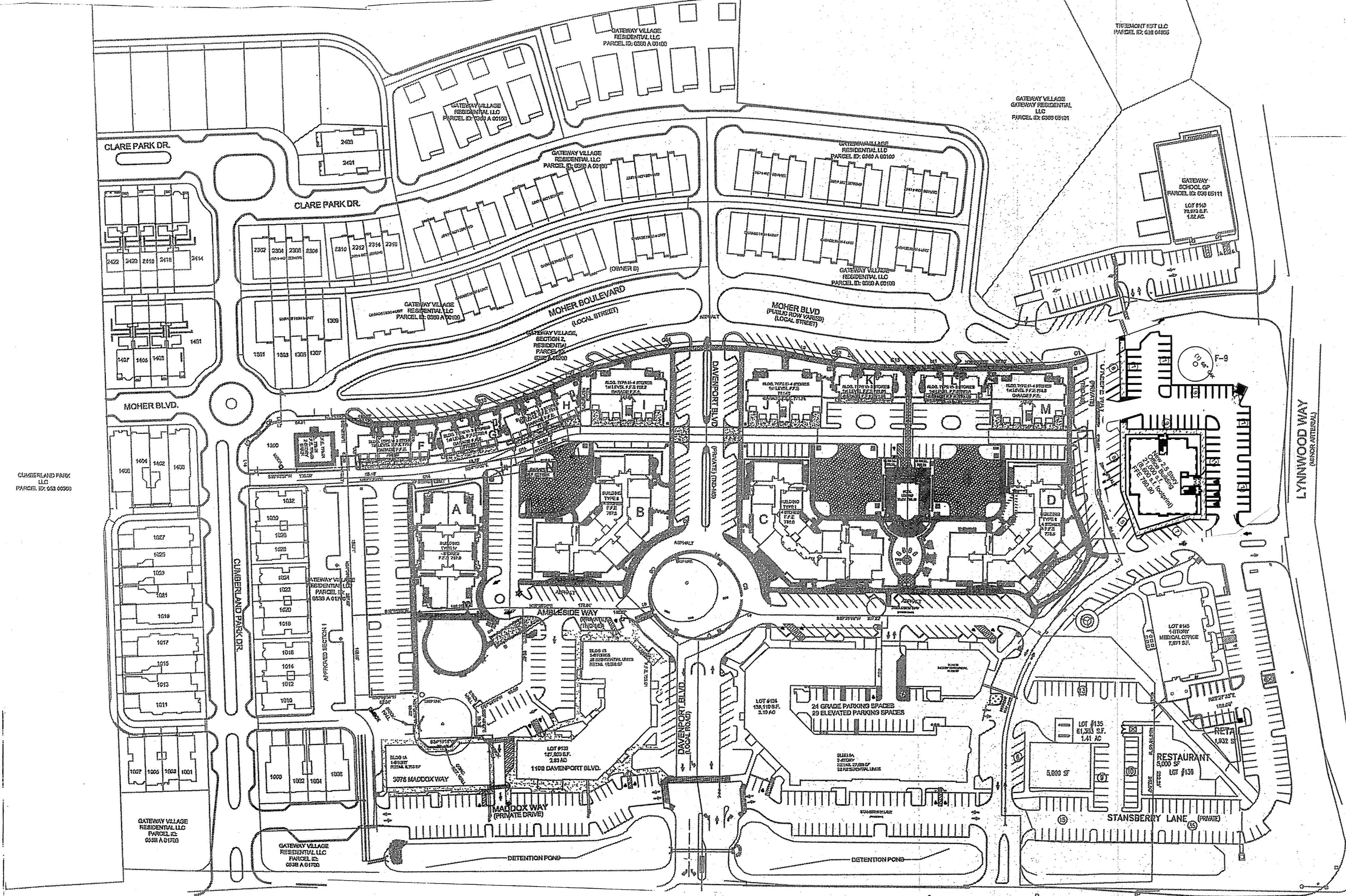
MIXED USE LOCAL (ML)
MIXED USE LOCAL (ML)
+/- 60.50 ACRE
402 DWELLING UNITS
15 DWELLING UNITS
113 DWELLING UNITS
6 DWELLING UNITS
214 DWELLING UNITS
(LOT 133-28, LOT 138, 186)

GROSS DENSITY
TOTAL S.F. OF RETAIL RESTAURANT
TOTAL S.F. OF OFFICE
TOTAL RETAIL OFFICE/RESTAURANT
PROPOSED FLOOR AREA RATIO
MAX. ALLOWED FLOOR AREA RATIO

6.64 DUA
83,082 S.F.
61,176 S.F.
144,258 S.F.
0.055
0.6



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Gateway Village Section III Detailed Analysis
October 7, 2014

| Lot | # of Units | "Traditional" | | 0.85 | Actual |
|---|------------|---------------|--------|--------|--------|
| | | Required | Spaced | | |
| Lot 133 Camden Commons I Apartments | 2 | 1 | 2 | | |
| Studio | 12 | 2 | 24 | | |
| one bed | 34 | 2.5 | 85 | | |
| two bed | | | | | |
| sub total | | | | | |
| Restaurants | | | | | |
| Mack and Kates | 3,077 | 7.5/1000 | 23 | | |
| Employees | 9 | | 7 | | |
| Wall Street Pizza | 2,612 | 7.5/1000 | 20 | | |
| Employees | 6 | | 5 | | |
| Sopapillas | 4,387 | 7.5/1000 | 33 | | |
| Employees | 25 | | 19 | | |
| Baxter & Co. | 10 | | 10 | | |
| Employees | 10 | | 10 | | |
| Stations | 10 | | 10 | | |
| Lunatic Fing | 10 | | 10 | | |
| Employees | 10 | | 10 | | |
| Stations | 10 | | 10 | | |
| True-I-Care | 1,467 | 2.5/1000 | 3.67 | | |
| Employees | 2,554 | 2.5/1000 | 6.41 | | |
| RIS-Qutery | 2,732 | 2.5/1000 | 7 | | |
| Stand & Whitley | 1,248 | 2.5/1000 | 3 | | |
| Amish excellence | (37) | | | | |
| Applied from sec. 1 | | | | | |
| sub total | | | | 228.08 | 193.87 |
| Lot 134 Residential | | | | | |
| Studio | 15 | 1 | 15 | | |
| 1 bed | 25 | 2 | 50 | | |
| 2 Bed | 14 | 2.5 | 35 | | |
| sub total | | | | | |
| Commercial | | | | | |
| Retail | 15,861 | 3.33 | 52.82 | | |
| Restaurant | 4,195 | 10 | 41.36 | | |
| sub total | | | | 194.18 | 165.05 |
| Lot 135 (Bank) | | | | | |
| sq. ft. | 5,000 | 5/1000 | 25 | | |
| Stacking | | | 30 | 25.50 | 45 |

| Lot | # of Units | "Traditional" | | 0.85 | Actual |
|---|------------|---------------|---------|--------|---------|
| | | Required | Spaced | | |
| Lot 136 Apollo Burger sq. ft. | 3894 | | | | |
| employees | 11 | | 0 | | |
| Seats | 80 | 0.67 | 53.6 | | |
| sub total | | | 53.6 | 45.56 | 43 |
| Lot 137 Touchstone Imaging (office) sq. ft. | 21,000 | 2.65/1000 | 60 | 60 | 52 |
| lots 138, 139, 143, 142 | | | | | |
| Bell Apartments | | | | | |
| one bed | 87 | 2 | 174 | | |
| two bed | 77 | 2.5 | 192.5 | | |
| three bed | 22 | 3 | 66 | | |
| sub total | | | 432.5 | 367.63 | 467 |
| Small Park | | | | | |
| Lot 140 | | | | 21.00 | 21 |
| Lot 143 Goddard School (daycare) Employees | 30 | 1 | 30 | | |
| sq. ft. | 10,276 | 2/1000 | 21 | | |
| Stacking | | | 5 | | |
| sub total | | | 51 | 43.35 | 46 |
| Lot 145 Camden Commons Plaza (Oral Surgery) sq. ft. | 7885 | | | | |
| Employees | 12 | | | | |
| sub total | | | | 36.00 | 36 |
| Total | | | 1049.36 | 891.96 | 1089.00 |

| MINIMUM OPEN SPACE REQUIREMENTS FOR RESIDENTIAL FORMAL OPEN SPACE | | | | | | | |
|--|-------------------------|--------------------------------|--------------------------------|--------------------------|----------------------------------|------------|------------|
| 5% OF DEVELOPABLE AREA REQUIRED FOR FORMAL OPEN SPACE | | | | | | | |
| TOTAL DEVELOPABLE AREA=41.82 ACRES, 5% OF 41.82 ACRES=209 ACRES ON 91,040 S.F. | | | | | | | |
| CONCEPT PLAN STAFF COMMENTS- EXPAND FORMAL OPEN SPACE | | | | | | | |
| KEY | TYPE | APPROVED AREA OF OPEN SPACE SF | APPROVED MAXIMUM PAVED AREA SF | PROPOSED OPEN SPACE AREA | PROPOSED MAXIMUM PAVED AREA S.F. | | |
| AREA F-1 | SECTION 1 MEDIAN CIRCLE | 9,396 | 2,439 | 9,396 | 2,439 | | |
| AREA F-2 | SECTION 2 MEDIAN/CIRCLE | 6,624 | 1,656 | 6,624 | 1,656 | | |
| AREA F-3 | SECTION 3 PARK | 11,623 | 2,906 | 11,623 | 2,906 | | |
| AREA F-4 | NEIGHBORHOOD PARK | 42,271 | 10,567 | 42,271 | 10,564 | | |
| AREA F-5 | GATEWAY MACHINERY | 14,908 | 3,727 | 14,908 | 3,727 | | |
| AREA F-6 LOT 133, 138 | FOCAL POINT | 32,078 | 8,019 | 32,078 | 8,019 | | |
| AREA F-7 LOT 138 | FOCAL POINT | 6,637 | 1,659 | 6,637 | 1,659 | | |
| AREA F-8 | TRAFFIC CIRCLE | 8,639 | 2,159 | 8,639 | 2,156 | | |
| AREA F-9 | PARK | 18,538 | 4,634 | 18,538 | 4,634 | | |
| AREA F-10 | PARK | 18,076 | 4,519 | 18,076 | 4,519 | | |
| AREA F-11 | PARK | 7,812 | 1,953 | 7,812 | 1,953 | | |
| AREA F-12 | PLAZA | 13,791 | 3,447 | 13,791 | 3,447 | | |
| | | 182,211 | 45,551 | 182,211 | 45,551 | 3.72 ACRES | 1.87 ACRES |

NOTE: PLANNING COMMISSION APPROVED MIN 140,533 S.F.

| Lots | Required per "Traditional" | 85% | Actual |
|--------|----------------------------|---------|--------|
| 133 | 228.08 | 193.868 | 191 |
| 134 | 194.18 | 165.053 | 188 |
| 135 | 30 | 25.5 | 45 |
| 136 | 53.6 | 45.56 | 43 |
| 137 | 60 | 51 | 52 |
| 143 | 51 | 43.35 | 46 |
| 145 | 36 | 30.6 | 36 |
| 140 | 21 | 17.85 | 21 |
| 138, | | | |
| 141, | | | |
| 142 | 432 | 367.2 | 467 |
| Totals | 1105.86 | 939.981 | 1089 |

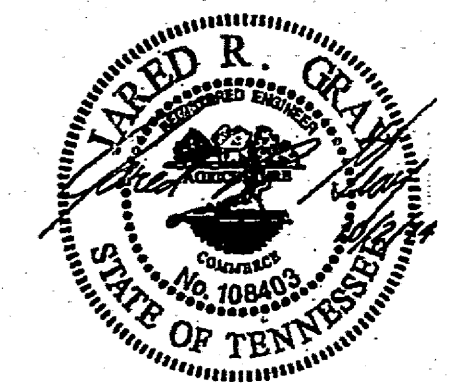
| INFORMAL OPEN SPACE | | | | | | | |
|--|----------------|----------|--------------------|------------|--|--|--|
| 10% DEVELOPABLE AREA REQUIRED FOR INFORMAL OPEN SPACE | | | | | | | |
| TOTAL DEVELOPABLE AREA=41.82 ACRES, 10% OF 41.82 ACRES=41.82 ACRES ON 182,211 S.F. | | | | | | | |
| KEY | CLASSIFICATION | TYPE | AREA OF OPEN SPACE | PAVED AREA | | | |
| AREA I-1 | INFORMAL | HILLSIDE | 1,017,610 | | | | |

| CURRENTLY APPROVED GATEWAY VILLAGE LAND USE DATA | | | | | | | |
|--|-------------------|---------------|----------------------|--------------------------|-------------------|-----|---|
| DEVELOPMENT | FMP APPROVAL DATE | PC ZONED ACRE | TOTAL DWELLING UNITS | RETAIL OFFICE S.F. | MIXED USE PARKING | | |
| CONCEPT PLAN | 6/2/2008 | 60.5 | 419 | 142,258 | .85 MULTIPLIER | | |
| CONCEPT PLAN REV. 3 | 5/22/2008 | 60.5 | 402 | 144,258 | .85 MULTIPLIER | | |
| SECTION 1 | 8/6/2004 | 4.83 | 33 | | | | |
| SECTION 2 | 3/24/2005 | 11.42 | 85 | | | | |
| SECTION 6 | 7/27/2006 | 1.14 | 39 | | | | |
| SECTION 6 LOT 141 (REV 6) | 9/23/2010 | 0.18 | 6 | | | | 7 |
| APPROVED SECTION 3 | 9/27/2007 | 2.93 | 28 | 22,851 | | 154 | |
| LOT 138 | 11/20/2008 | 1.92 | -- | 10,276 | | 46 | |
| SECTION 3 LOTS 138, 140, 144 | 9/23/2010 | 7.74 | 186 | N/A (6,500 S.F. LEASING) | | 368 | |
| TOTAL | | | 348 | 33,127 | | 575 | |

NOTE: ONLY LOTS 138 AND 143 WERE DEVELOPED FROM 9/27/2007 APPROVAL THE SITE PLAN HAS EXPIRED FOR LOTS 134 AND 154



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Revisions

HMJ Job Number
14035

Drawn By
HMJ

Date
07.28.14

Drawing

PROP. CONCEPT
AND PARKING PLAN

PCP