



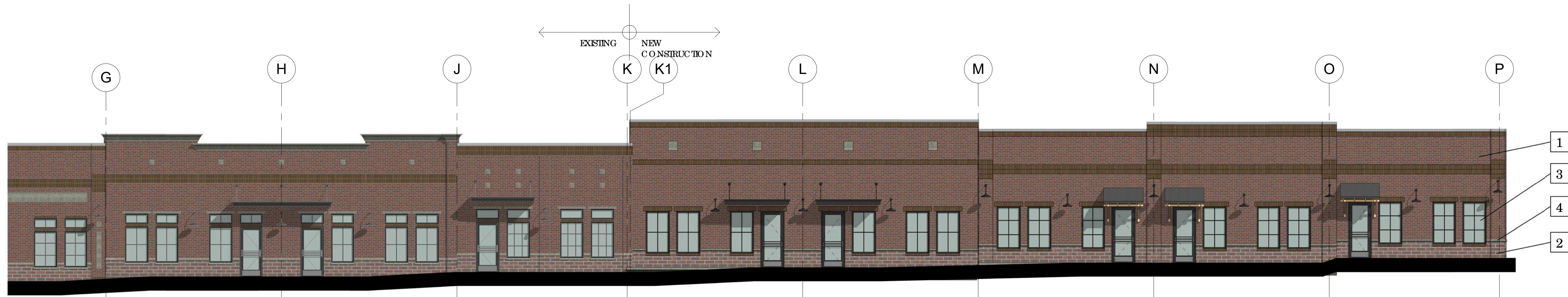
2016, 906 STUDIO ARCHITECTS, LLC. DRAWINGS AND DESIGN CONCEPTS SHALL NOT BE USED OR REPRODUCED IN WHOLE OR IN PART IN ANY FORM WITHOUT PRIOR WRITTEN CONSENT OF 906 STUDIO ARCHITECTS, LLC.

NO. DESCRIPTION DATE

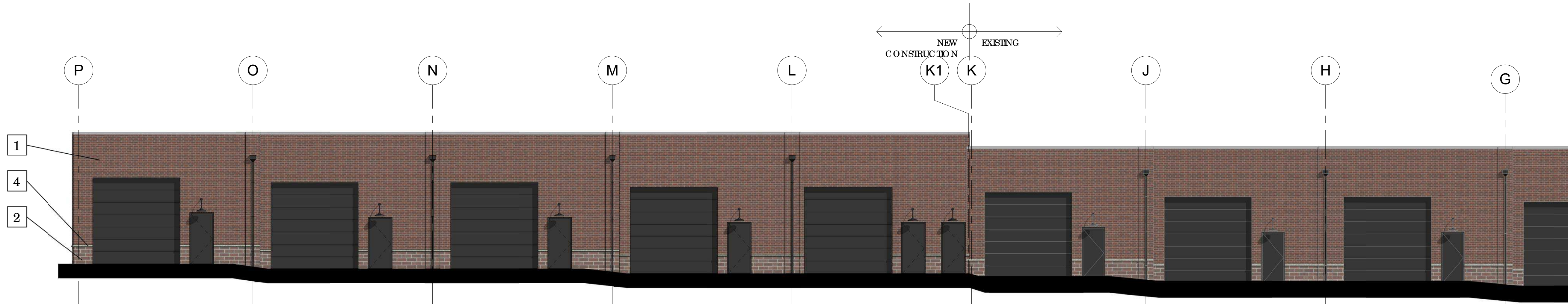
Project Number
 16.1041

COLORED
 ELEVATIONS

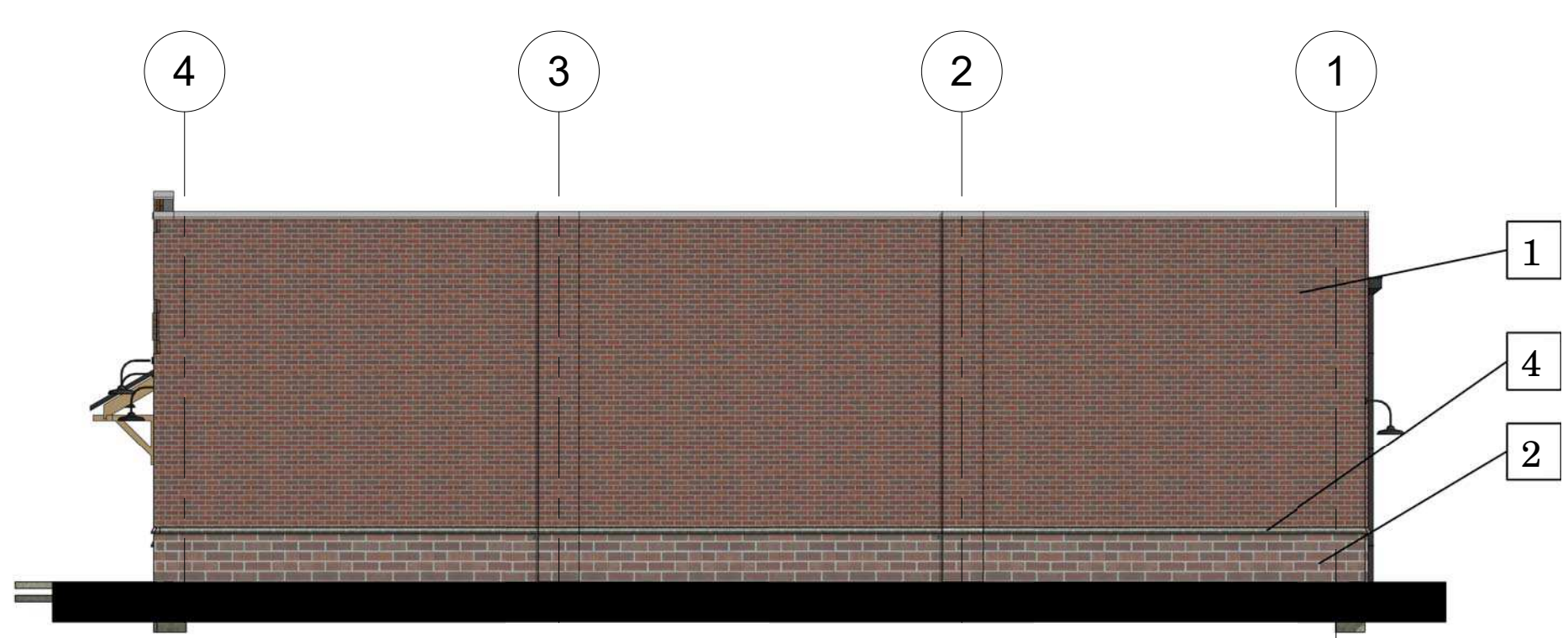
A1.1



1 FRONT ELEVATION
 1/8" = 1'-0"
 0' 4' 8' 16'



2 REAR ELEVATION
 1/8" = 1'-0"
 0' 4' 8' 16'



3 RIGHT SIDE ELEVATION
 1/8" = 1'-0"
 0' 4' 8' 16'

MATERIALS LEGEND

- 1 STANDARD BRICK
- 2 UTILITY BRICK
- 3 ALUM-CLAD, STIREFRONT WINDOWS
- 4 PRE-CAST CONCRETE SILL

MATERIALS PROPORTION LEGEND

FRONT ELEVATION	SURFACE AREA	PERCENT OF NET
GROSS AREA OF WALL	2472 S.F.	N/A
NET AREA OF WALL	2072 S.F.	100%
NET STANDARD BRICK AREA	1812 S.F.	87.5%
NET UTILITY BRICK AREA	260 S.F.	12.5%

BACK ELEVATION	SURFACE AREA	PERCENT OF NET
GROSS AREA OF WALL	2378 S.F.	N/A
NET AREA OF WALL	1501 S.F.	100%
NET STANDARD BRICK AREA	1383 S.F.	92.1%
NET UTILITY BRICK AREA	118 S.F.	7.9%

RIGHT ELEVATION	SURFACE AREA	PERCENT OF NET
GROSS AREA OF WALL	1103 S.F.	N/A
NET AREA OF WALL	1103 S.F.	100%
NET STANDARD BRICK AREA	943 S.F.	85.5%
NET UTILITY BRICK AREA	160 S.F.	14.5%

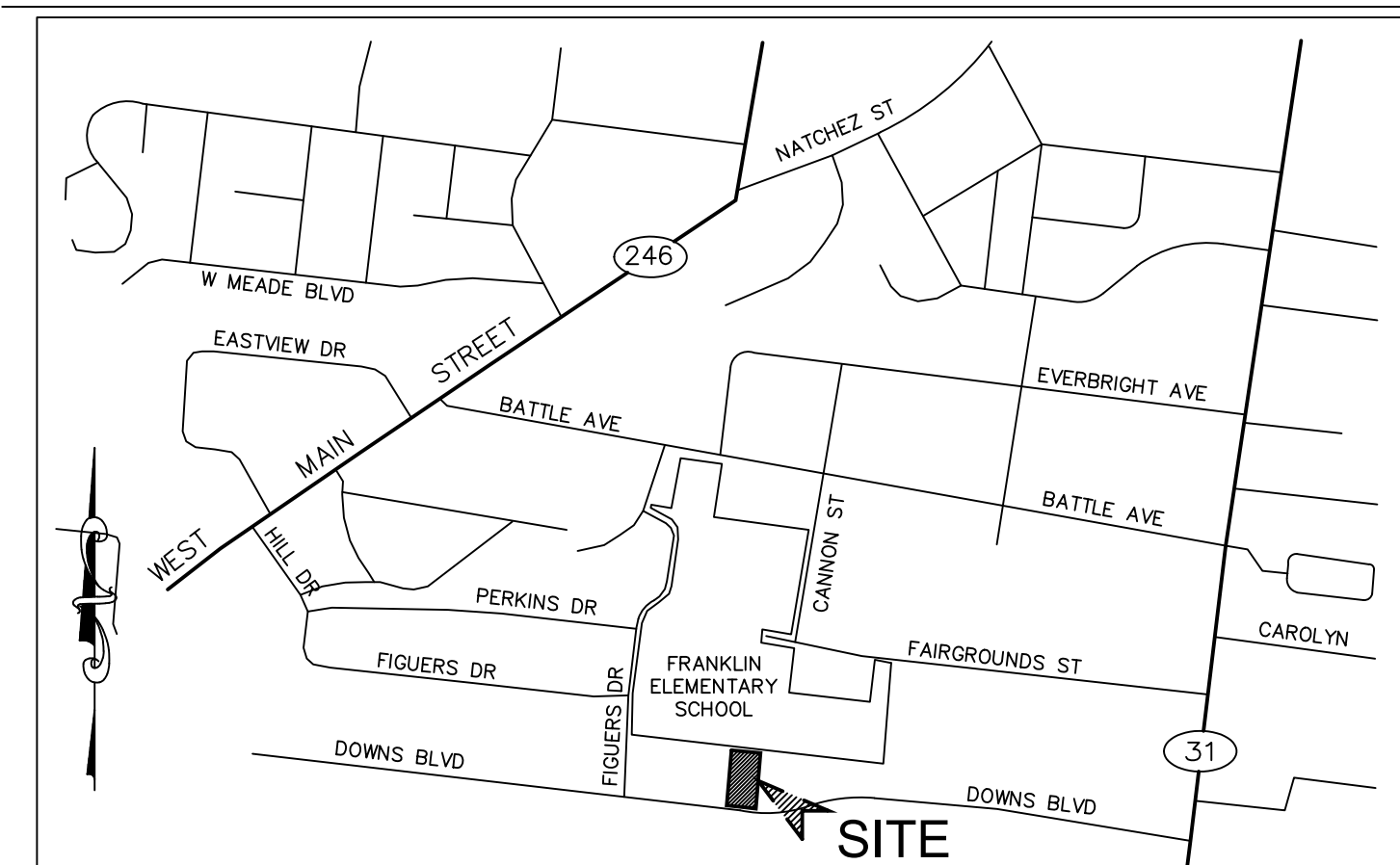
DOWNNS BOULEVARD SITE CONSTRUCTION PLANS

CITY PROJECT #: 6336
BEING PARCEL 1.00 ON TAX MAP 780B
354 DOWNNS BOULEVARD
CITY OF FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

SHEET SCHEDULE:

C0.0	COVER SHEET
C1.0	SITE EXISTING CONDITIONS
C1.1	SITE DEMOLITION / INITIAL EROSION CONTROL PLAN
C2.0	SITE LAYOUT PLAN
C3.0	SITE GRADING AND DRAINAGE / FINAL EROSION CONTROL PLAN
C4.0	SITE UTILITY PLAN
C4.1	SITE PHOTOMETRIC PLAN
C5.0	SITE FIRE TRUCK TURNING PLAN
C5.1	SITE GARBAGE TRUCK TURNING PLAN
C6.0	SITE DETAILS
C6.1	SITE DETAILS
L1.0	SITE TREE PRESERVATION PLAN
L2.0	SITE LANDSCAPE PLAN
L3.0	LANDSCAPE DETAILS
A1.0	BUILDING ELEVATIONS

SITE LOCATION MAP:



PROJECT DATA:

PROJECT NAME:	DOWNNS BOULEVARD SUBDIVISION, SITE PLAN, SECTION 1, LOT 20 (NIMMONS WAREHOUSE)		
PROJECT #:	C.O.F. # 6336		
SUBDIVISION:	DOWNNS BOULEVARD PROPERTIES SUBDIVISION		
LOT NUMBER:	20		
ADDRESS:	354 DOWNNS BOULEVARD		
CITY:	FRANKLIN		
STATE:	TENNESSEE		
CIVIL DISTRICT:	9TH		
EXISTING ZONING AND OVERLAY:	LIGHT INDUSTRIAL (LI)		
OTHER APPLICABLE OVERLAYS:	NONE		
APPLICABLE DEVELOPMENT STANDARD:	CONVENTIONAL		
ACERAGE OF SITE:	0.78		
SQUARE FOOTAGE OF SITE:	34,040		
MINIMUM REQUIRED SETBACK LINES			
FRONT:	75'		
SIDE:	25'		
REAR:	25'		
OWNER:	MR. RANDY COLLIER		
ADDRESS:	123 SOUTHEAST PKWY CT #170 FRANKLIN, TN 37064		
ENGINEER:	LAND SOLUTIONS COMPANY, LLC.		
CONTACT NAME:	MR. LYNN EALEY		
ADDRESS:	2925 BERRY HILL DRIVE, NASHVILLE, TN 37204		
PHONE NUMBER:	615-969-9202		
EMAIL ADDRESS:	LYNN@LANDSOLUTIONSCO.NET		
BUILDING SQUARE FOOTAGE (EXISTING & PROPOSED):	20,670 SF		
BUILDING HEIGHT:	23'-8"		
LANDSCAPE SURFACE RATIO:	0.26		
MINIMUM LANDSCAPE SURFACE RATIO:	0.20		
MINIMUM PARKING REQUIREMENT:			
	USE & S.F.	REQUIREMENT	SPACES REQ.
	EXISTING WAREHOUSE (11,700 SF)	2.5/ 1000 SF	54
	EXISTING BARBER (1,470 SF)	1/CHAIR + 1/EMP	4
	PROPOSED WAREHOUSE (7,500 SF)	2.5/1000 SF	19
	64 SPACES (120% OF MINIMUM)		
MAXIMUM PARKING LIMIT:	42 SPACES		
EXISTING PARKING:			
PARKING PROVIDED:	21 SPACES (SEE SHEET C5.0 FOR OVERALL)		

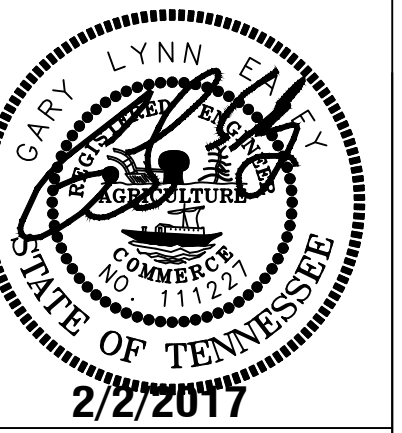
DOWNNS BOULEVARD SUBDIVISION
SITE PLAN
LOTS 19 & 20, REVISION 3
BEING PARCEL 1.00 ON TAX MAP 780B
354 DOWNNS BOULEVARD
CITY OF FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

ISSUANCE/REVISION NOTES:
- PLAN DATE FEBRUARY 2, 2016

- A NONE
- B NONE
- C NONE
- D NONE

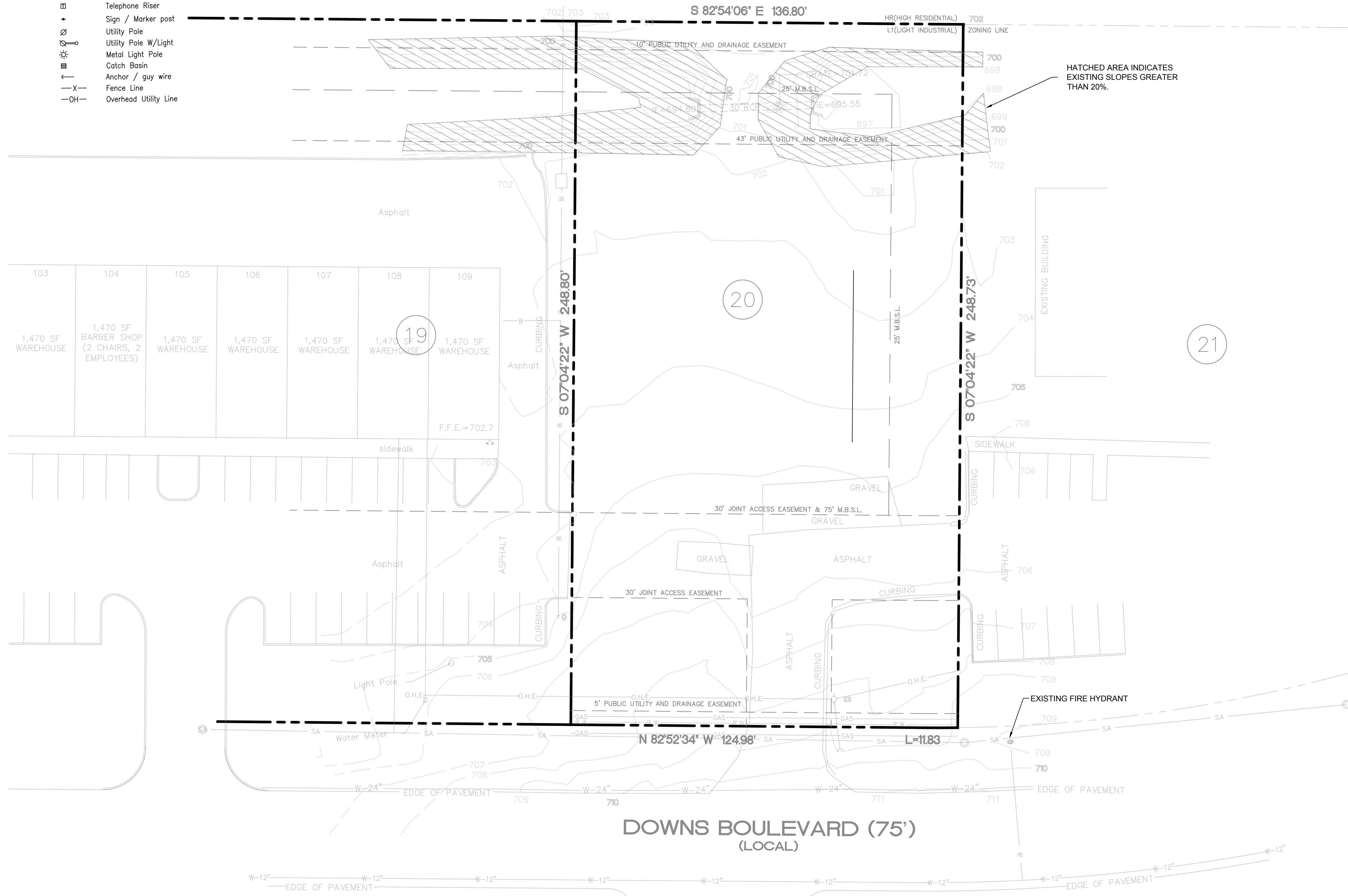


COVER SHEET
C0.0



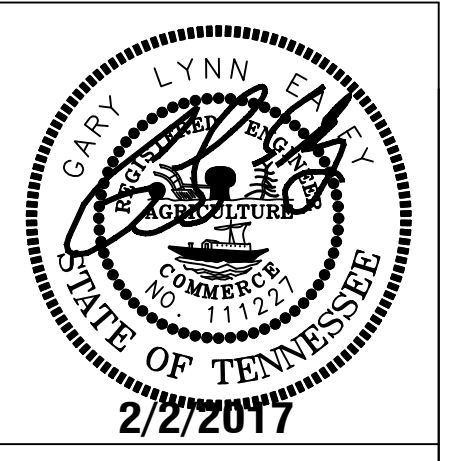
LEGEND

○ IRO	Iron Rod (Found)
● PKN	P.K. Nail (Set)
● IRN	Iron Rod (Set)
⊙	Sanitary Manhole
⊠	Electric Box
⊞	Gas Meter
⊕	Water Valve
⊞	Water Meter
⊞	Fire Hydrant
⊞	Telephone Riser
+	Sign / Marker post
⊞	Utility Pole
⊞	Utility Pole W/Light
⊞	Metal Light Pole
⊞	Catch Basin
⊞	Anchor / guy wire
—X—	Fence Line
—OH—	Overhead Utility Line



SURVEYORS NOTES

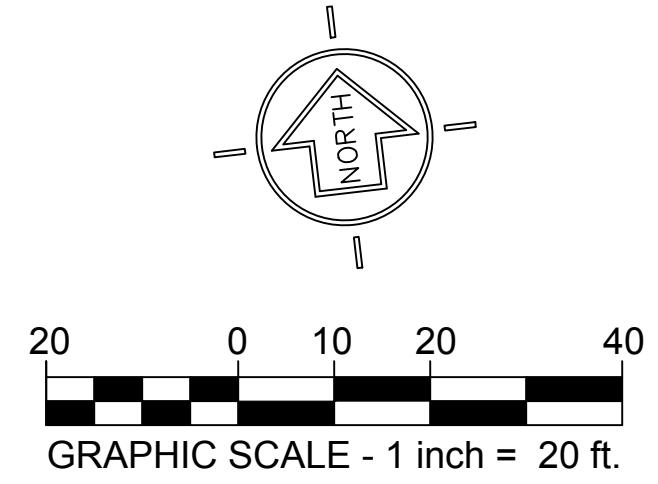
- BEARINGS SHOWN HEREON ARE REFERENCED TO THE CURRENT DEED OF THE PREMISES AS OF RECORD IN BOOK 2558, PAGE 640, REGISTER'S OFFICE FOR WILLIAMSON COUNTY, TENNESSEE.
- SUBJECT PROPERTY IS SHOWN AS PARCEL 1.00 ON WILLIAMSON COUNTY TAX MAP NO. 780-B
- SUBJECT PROPERTY IS CURRENTLY ZONED: GC (GENERAL COMMERCIAL DISTRICT).
- THIS SURVEYOR HAS NOT PHYSICALLY LOCATED ALL UNDERGROUND UTILITIES, ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN HEREON WERE TAKEN FROM VISIBLE APPURTENANCES AT THE SITE, PUBLIC RECORDS AND/OR MAPS PREPARED BY OTHERS. THIS SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION AS INDICATED. THEREFORE, RELIANCE UPON THE TYPE, SIZE AND LOCATION OF ALL UNDERGROUND UTILITIES SHOULD BE DONE SO WITH THIS CIRCUMSTANCE CONSIDERED. DETAILED VERIFICATION OF EXISTENCE, LOCATION AND DEPTH SHOULD ALSO BE MADE PRIOR TO ANY DECISION RELATIVE THERETO IS MADE. AVAILABILITY AND COST OF SERVICE SHOULD BE CONFIRMED WITH THE APPROPRIATE UTILITY COMPANY. TENNESSEE ONE CALL 1-800-351-1111 OR 1-615-366-1987.
- BY GRAPHIC PLOTTING AND SCALED MAP LOCATION ONLY, THIS PROPERTY IS NOT WITHIN AN AREA OF FLOOD INUNDATION AS DESIGNATED BY CURRENT FEDERAL EMERGENCY MANAGEMENT AGENCY MAPS WHICH MAKE UP A PART OF THE NATIONAL FLOOD INSURANCE ADMINISTRATION REPORT AS SHOWN ON F.E.M.A. MAP NUMBER 47187C 0212 F, WHICH BEARS AN EFFECTIVE DATE OF SEPTEMBER 29, 2006.
- THIS SURVEYOR HAS BEEN FURNISHED WITH A TITLE REPORT FORM OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, FILE NO.: 141221, EFFECTIVE DATE: APRIL 28, 2014 AT 8:00 A.M.
- SCHEDULE B-SECTION II OF THE TITLE REPORT HAS DISCLOSED THE FOLLOWING SURVEY-RELATED EXCEPTIONS:
ITEM 8. EASEMENT TO THE CITY OF FRANKLIN OF RECORD IN BOOK 290, PAGE 864, SAID REGISTER'S OFFICE. DOES NOT AFFECT THE SUBJECT PROPERTY.
- VERTICAL CONTROL BASED ON NAVD 1988 DATUM. ELEVATIONS SHOWN WERE TAKEN FROM A FIELD-RUN SURVEY, USING RANDOM SPOT ELEVATIONS. CONTOURS ARE AT 1-FOOT INTERVALS AND WERE DERIVED USING SURFACE-MODELING TECHNIQUES.



DOWN'S BOULEVARD SUBDIVISION
SITE PLAN
 LOTS 19 & 20, REVISION 3
 BEING PARCEL 1.00 ON TAX MAP 780B
 354 DOWNS BOULEVARD
 CITY OF FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

ISSUANCE/REVISION NOTES:
 - PLAN DATED FEBRUARY 2, 2018

- NONE
- NONE
- NONE
- NONE



SITE EXISTING CONDITIONS PLAN
C1.0

LEGEND

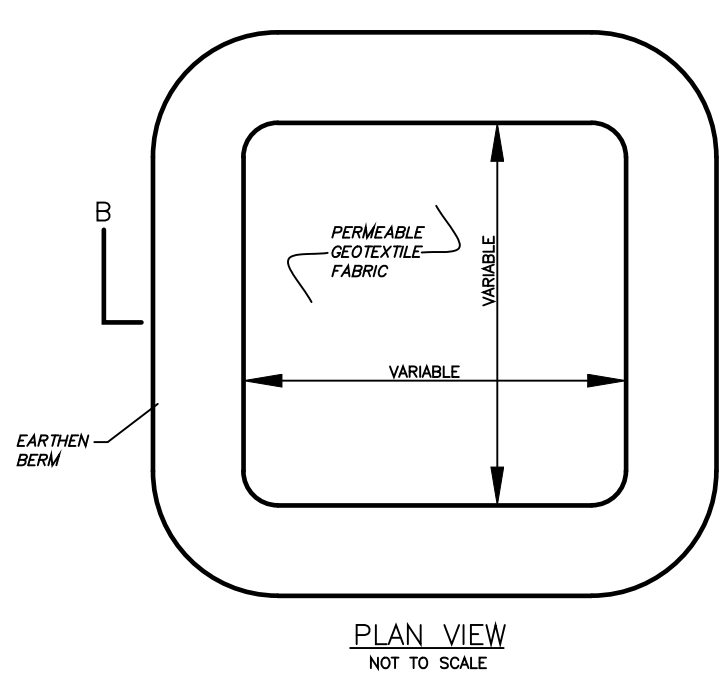
○ IRO	Iron Rod (Found)
● PKN	P.K. Nail (Set)
● IRN	Iron Rod (Set)
⊙	Sanitary Manhole
⊠	Electric Box
⊞	Gas Meter
⊕	Water Valve
⊗	Water Meter
⊞	Fire Hydrant
⊞	Telephone Riser
+	Sign / Marker post
○	Utility Pole
○	Utility Pole W/Light
⊙	Metal Light Pole
⊞	Catch Basin
—	Anchor / guy wire
-X-	Fence Line
-OH-	Overhead Utility Line



EROSION AND SEDIMENT CONTROL NOTES:

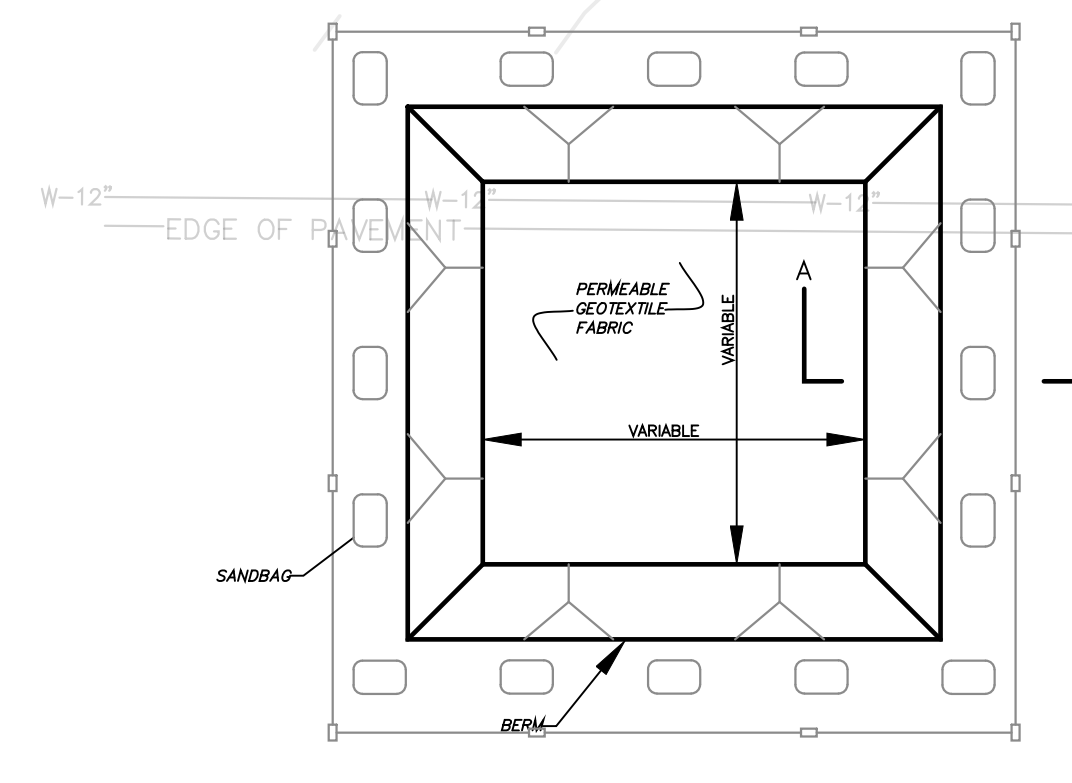
- ALL SEDIMENT AND EROSION CONTROL MEASURES, SUCH AS SILT PONDS OR INLET SEDIMENT BARRIERS SHALL CONFORM TO THE STORM WATER PERMITTING REQUIREMENTS OF THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION AND THE "TENNESSEE EROSION AND SEDIMENT CONTROL HANDBOOK" AS A MINIMUM.
- EROSION CONTROL TO BE INSPECTED AND APPROVED PRIOR TO ALL OTHER WORK BEING STARTED.
- THE TIME OF EXPOSURE UNPROTECTED SOILS SHALL BE KEPT TO A MAXIMUM OF 15 DAYS. REFER TO THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION, EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION; SECTION TS FOR AREAS TO BE STABILIZED THAT DO NOT REQUIRE PERMANENT STABILIZATION SUCH AS BUILDING FOOTPRINTS, PARKING LOTS, ETC.
- KEEP DUST WITHIN TOLERABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE REFER TO THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION, EROSION AND SEDIMENT CONTROL HANDBOOK, SECTION PAM.
- NO OTHER WORK WILL BE INITIATED ON THE PROJECT UNTIL THE EROSION, SEDIMENT CONTROL MEASURES SHOWN ON THE PLANS AND DETAILS ARE PROPERTY IN PLACE.
- IF, AT ANY TIME DURING THE CONSTRUCTION PHASE OF THIS PROJECT, THE EROSION/SEDIMENT CONTROL MEASURES INSTALLED FAIL TO FUNCTION PROPERLY, NEED MAINTENANCE OR REPAIR, OR NEED NEW REPLACEMENT IN KIND, THE CONTRACTOR WILL EFFECT SUCH ACTION AS ARE NEEDED TO CORRECT THE SITUATION AT NOT ADDITIONAL COST TO THE OWNER. ALL MEASURES ARE TO BE INSPECTED AFTER EACH RAIN EVENT. ANY MEASURES NEEDING REPLACEMENT WILL BE CORRECTED WITHIN 5 DAYS OF THE RAIN EVENT.
- DISTURBED AREAS ARE TO BE GRADED TO DRAIN AS INDICATED ON GRADING PLAN TO SEDIMENT BARRIERS DURING AND UPON COMPLETION OF CONSTRUCTION. ALL STRIPPED OR CUT/FILL AREAS REQUIRING PERMANENT VEGETATION ARE TO HAVE A MINIMUM OF 6-INCH DEPTH TOPSOIL COVER. AREAS DRESSED WITH TOPSOIL WILL RECEIVE 12 POUNDS PER 1,000 SQUARE FEET OF 6-12-12 FERTILIZER. REFER TO SECTION PS OF THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION, EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION TO DETERMINE SEED TYPE AND SEEDING DATES ALONG WITH SEEDBED PREPARATION AND PLANT SELECTION AND STRAW MULCH OF 75% COVERAGE (APPROXIMATELY 125 POUNDS PER 1,000 SQUARE FEET) EXCEPT AS OTHERWISE SHOWN ON PLAN. AREAS SHALL BE WATERED TO NOT CAUSE RUNOFF.
- ALL STOCKPILED SOIL SHOULD BE STABILIZED USING TEMPORARY VEGETATION. REFER TO THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION, EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION, SECTION TS. UPON STABILIZATION OF THE SITE WITH A GOOD (ACCEPTABLE) STAND OF GRASS AND/OR GROUND COVER, THE EROSION/SEDIMENT CONTROL INSTALLATIONS WILL BE REMOVED AND THE AREA DISTURBED WILL BE SEEDED AND MULCHED WITH THE SAME TREATMENT AS OTHER NEW GRASSED AREAS OF THE PROJECT.
- A STONE ACCESS RAMP IS TO BE CONSTRUCTED AT THE SITE ENTRANCE WITH A MINIMUM WIDTH OF 20 FEET AND MINIMUM LENGTH OF 100 FEET. THE RAMP IS TO BE BASED WITH 8 INCHES OF ASTM D 448, SIZE NO. 1 STONE, AND MAINTAINED THROUGHOUT CONSTRUCTION.
- PRIOR TO THE ISSUANCE OF A GRADING PERMIT, ALL EROSION AND SEDIMENT CONTROL MEASUREMENTS INDICATED ON THE PLANS AND ANY ADDITIONAL MEASURES REQUESTED BY THE CITY SHALL BE INSTALLED.
- BUFFER ZONES AND TREES SPECIFIED FOR PRESERVATION SHOULD BE CLEARLY INDICATED ON THE GRADING AND DEMOLITION PLANS. BUFFER ZONES AND TREES SPECIFIED FOR PRESERVATION MUST BE PROTECTED THROUGH THE USE OF TREE PROTECTION BARRIERS TO THE DRIP LINE OF SAID TREES. THESE BARRIERS SHOULD CONSIST OF ORANGE GRID FABRIC STAKED AT THE BORDER AND/OR DRIP LINE OF PRESERVED BUFFER ZONE AND/OR TREES TO RESTRICT CONSTRUCTION ACTIVITY AND ACCESS WITHIN THE PROTECTED AREAS AND/OR TREE'S DRIP LINE. A TREE PROTECTION DETAIL MUST ALSO BE PROVIDED.
- WATER QUALITY BMPs SHALL NOT BE INSTALLED UNTIL BUILD OUT IS NEAR COMPLETION TO PREVENT CONSTRUCTION SEDIMENT FROM ENTERING BMPs.
- WATER QUALITY AREAS SHALL NOT BE USED AS SEDIMENT BASINS DURING CONSTRUCTION.
- INSTALLERS OF WATER QUALITY BMPs SHOULD FOLLOW ALL INSTALLATION GUIDELINES SET FORTH IN THE CITY OF FRANKLIN BMP MANUAL LOCATED ON THE CITY'S WEBSITE.
- THERE SHALL BE NO MOWING, CLEARING, GRADING, CONSTRUCTION, STORAGE OR DISTURBANCE OF VEGETATION IN RIPARIAN BUFFERS EXCEPT AS PERMITTED BY THE CITY ENGINEER, OR HIS DESIGNEE.

AREAS WHERE EXISTING ASPHALT, CURBING, AND OTHER EXISTING IMPROVEMENTS TO BE REMOVED.

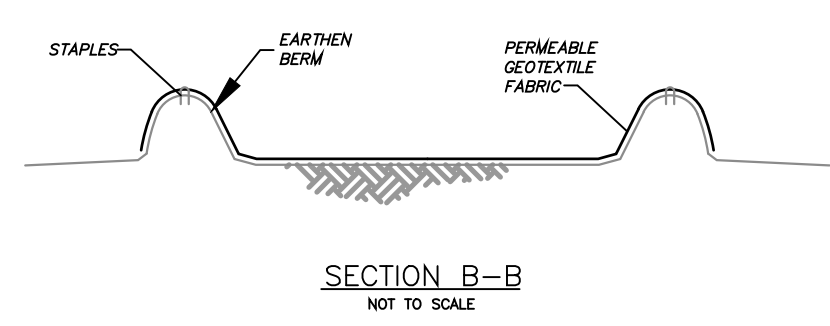
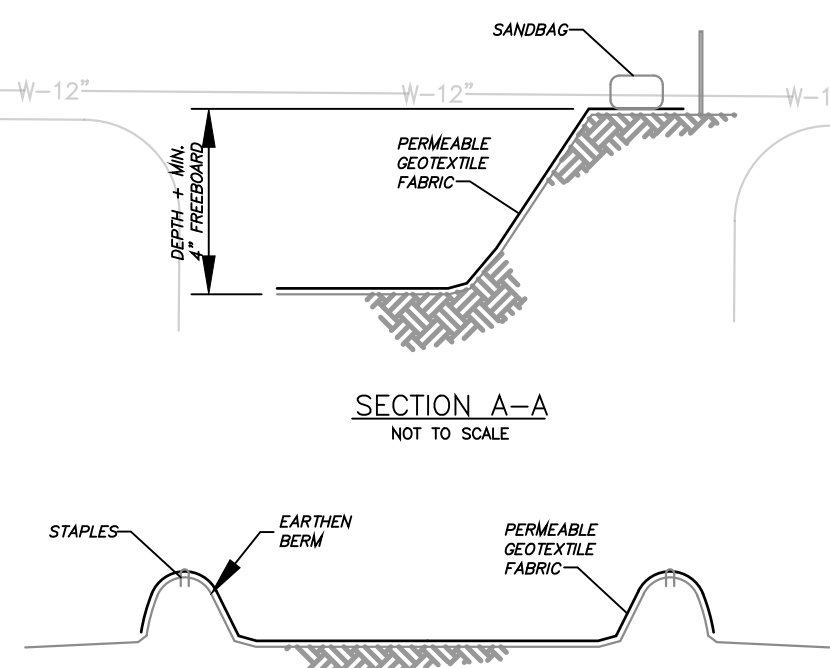


TYPE "ABOVE GRADE" WITH EARTHEN BERMS

CONCRETE WASH DOWN AREA
NOT TO SCALE



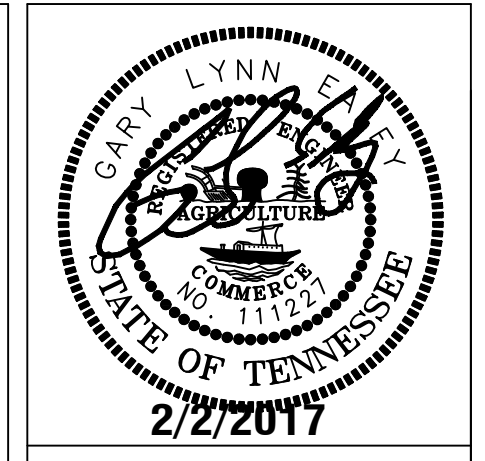
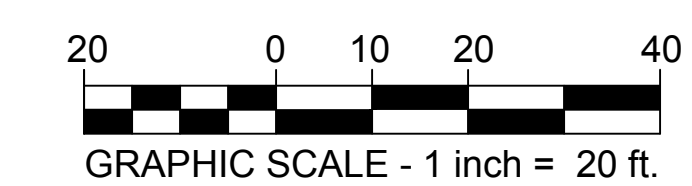
TYPE "BELOW GRADE"



NOTES:
1. ACTUAL LAYOUT DETERMINED IN THE FIELD.
2. SIGNAGE IDENTIFYING THE CONCRETE WASHOUT AREA SHALL BE INSTALLED WITHIN 5 FT. OF THE WASHOUT FACILITY.



Know what's below.
Call before you dig.



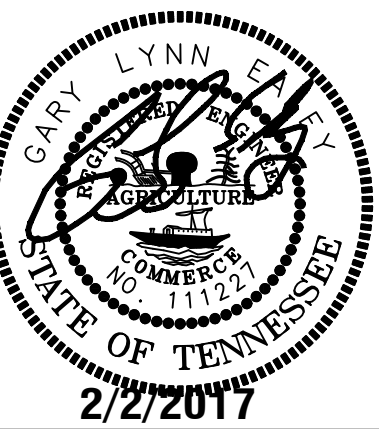
DOWNNS BOULEVARD SUBDIVISION
SITE PLAN
LOTS 19 & 20, REVISION 3
BEING PARCEL 1.00 ON TAX MAP 780B
354 DOWNNS BOULEVARD
CITY OF FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

ISSUANCE/REVISION NOTES:
- PLAN DATED FEBRUARY 2, 2019

	NONE
	NONE
	NONE
	NONE

DEMOLITION & INITIAL EPSC PLAN

C1.1



ISLAND SOLUTIONS
2025 Berry Hill Drive, Nashville, TN 37204

DOWNNS BOULEVARD SUBDIVISION
SITE PLAN
LOTS 19 & 20, REVISION 3
BEING PARCEL 1.00 ON TAX MAP 780B
354 DOWNNS BOULEVARD
CITY OF FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

ISSUANCE/REVISION NOTES:
- PLAN DATE FEBRUARY 2, 2016

- NONE
- NONE
- NONE
- NONE

SITE LAYOUT PLAN
C2.0

SITE CONSTRUCTION NOTES

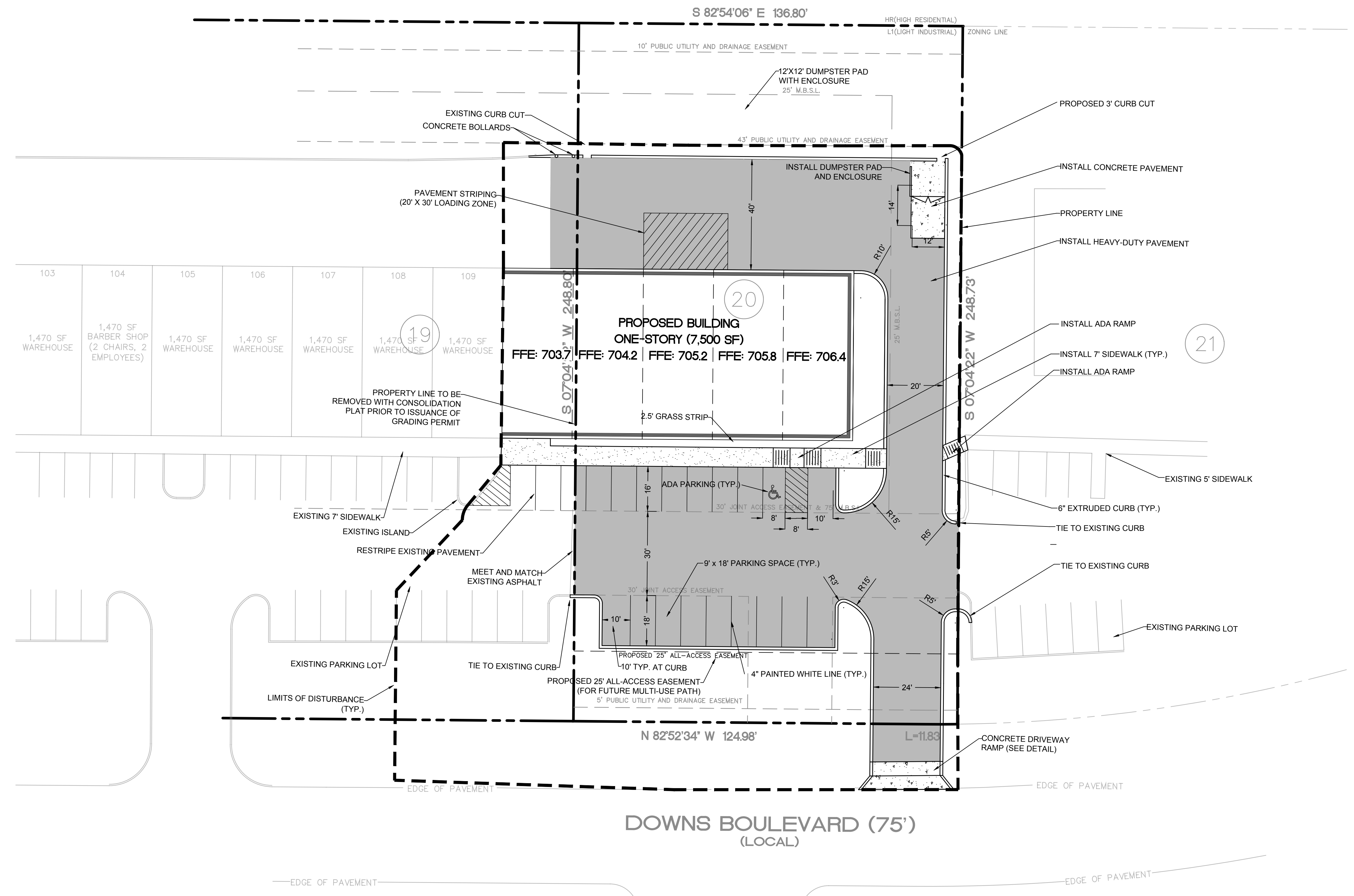
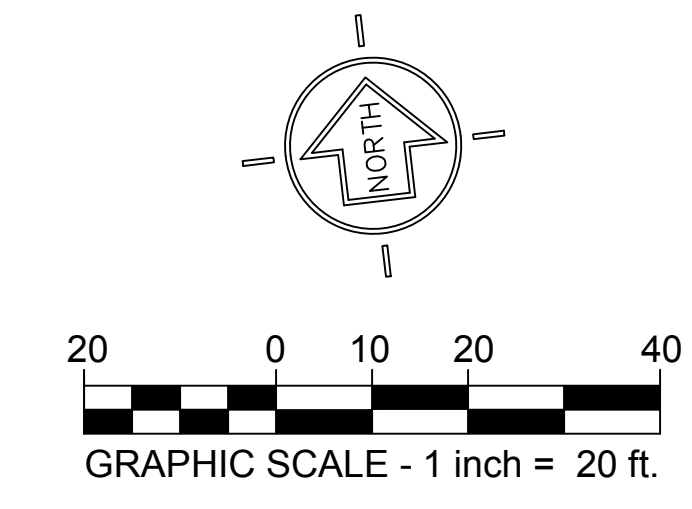
- THE NECESSARY PERMITS FOR THE WORK SHOWN ON THESE SITE DEVELOPMENT PLANS WILL BE OBTAINED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK ON THIS PROJECT. THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES AND OBTAIN ALL PERMITS AND PAY ALL FEES INVOLVED IN SECURING SAID PERMITS. HE SHALL ALSO COMPLY WITH ALL CITY, COUNTY AND STATE BUILDING LAWS, ORDINANCES OR REGULATIONS RELATING TO THE CONSTRUCTION OF PROJECTS SUCH AS THIS ONE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL BEAR ALL EXPENSES OF FIELD STAKING NECESSARY FOR SITE AND BUILDING LAYOUT. ALL LAYOUT SHALL BE PERFORMED IN ACCORDANCE WITH DETAIL PLANS AS OUTLINED IN THE SITE LAYOUT PLAN.
- THE LOCATION OF EXISTING PIPING AND UNDERGROUND UTILITIES, SUCH AS WATER AND GAS LINES, ELECTRICAL AND TELEPHONE CONDUITS, ETC., AS SHOWN ON THIS PORTION OF THE PLANS HAVE BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION BY ACTUAL SURVEYS, OR TAKEN FROM THE RECORDS AND DRAWINGS OF THE EXISTING UTILITIES. HOWEVER, THE CIVIL ENGINEER DOES NOT ASSUME RESPONSIBILITY THAT, DURING CONSTRUCTION, THE POSSIBILITY OF UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED OR THAT ACTUAL LOCATION OF THOSE SHOWN MAY VARY SOMEWHAT FROM THE LOCATION DESIGNATED ON THIS PORTION OF THE PLANS. IN AREAS WHERE IT IS NECESSARY THAT THE EXACT LOCATIONS OF UNDERGROUND LINES BE KNOWN, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, FURNISH ALL LABOR AND TOOLS TO EITHER VERIFY AND SUBSTANTIATE OR DEFINITELY ESTABLISH THE LOCATION OF THE LINES.
- THE CONTRACTOR MUST UNDERSTAND THAT THE WORK IS ENTIRELY AT HIS RISK UNTIL SAME IS ACCEPTED AND HE WILL BE HELD RESPONSIBLE FOR ITS SAFETY BY THE OWNER. THEREFORE, THE CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY TEMPORARY WORKS FOR THE PROTECTION OF THE WORK, INCLUDING BARRICADES, WARNING SIGNS, AND LIGHTS.
- IF, DURING THE CONSTRUCTION OF THE SITE DEVELOPMENT PORTION OF THIS PROJECT, A QUESTION OF INTENT OR CLARITY ARISES FROM EITHER THE PLANS OR SPECIFICATIONS, THE CONTRACTOR WILL IMMEDIATELY BRING THE MATTER TO THE ATTENTION OF THE CIVIL ENGINEER BEFORE THE AFFECTED WORK ITEMS ARE INITIATED OR PURSUED FURTHER.
- THE CONTRACTOR WILL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND OVERHEAD POWER LINES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF THE ABOVE-NOTED LINES, THE ELECTRIC AND/OR TELEPHONE COMPANIES SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN. A THOROUGH EXAMINATION OF THE OVERHEAD LINES IN THE PROJECT AREA SHOULD BE MADE BY THE CONTRACTOR PRIOR TO THE INITIATION OF CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO THE PREMISES OR ADJACENT PREMISES, OR INJURIES TO THE PUBLIC DURING THE CONSTRUCTION OF THE WORK, CAUSED BY HIMSELF, HIS SUBCONTRACTORS OR THE CARELESSNESS OF ANY OF HIS EMPLOYEES.
- TOPSOIL STRIPPED FROM THE AREAS TO BE GRADED WILL BE STOCKPILED ON SITE, AT A SPOT TO BE AUTHORIZED BY THE CIVIL ENGINEER, AND SHALL LATER BE USED FOR FINAL DRESSING AND SEEDBED PREPARATION, SAID STOCKPILES WILL BE LOCATED SO AS NOT TO INTERFERE WITH ACTIVITIES OF OTHER PORTIONS OF THE WORK ON THE PROJECT.
- THE STOCKPILING OR STORAGE OF TREES, VEGETATION AND OTHER DELETERIOUS MATTER OR MATERIALS DEEMED "UNSUITABLE" BY THE SOILS AND CIVIL ENGINEERS SHALL NOT BE ALLOWED ON SITE. SAID MATERIALS SHALL BE PROPERLY DISPOSED OF OFF THE PROPERTIES, THE COST AND RESPONSIBILITY OF WHICH SHALL BE THE CONTRACTOR'S. SITE FOR THE DISPOSAL OF SAID MATERIALS SHALL FIRST BE APPROVED BY THE CIVIL ENGINEER.
- THE PLACING AND SPREADING OF ANY FILL MATERIAL IS TO BE STARTED AT THE LOWEST POINT AND BROUGHT UP IN HORIZONTAL LAYERS OF 8-INCH THICKNESS. SAID FILL MATERIAL IS TO BE FREE OF SOD, ROOTS, FROZEN SOILS, OR ANY OTHER DECOMPOSABLE MATERIAL. THE RELATIVE COMPACTION OF EACH LAYER SHALL NOT BE LESS THAN 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D-698) IN ALL AREAS OF FILL, AND COMPACTION OF 98% OF SAME SPECIFICATION FOR MATERIALS USED IN THE UPPER 24 INCHES BENEATH PAVEMENT AND GRADE SLABS.
- ALL STORM DRAINAGE STRUCTURES SHALL BE PRECAST CONCRETE WITH STEEL REINFORCEMENT PER T.D.O.T. STANDARD SPECIFICATIONS UNLESS OTHERWISE NOTED. ALL STORM DRAINAGE CASTINGS TO BE JOHN BOUCHARD & SONS OR APPROVED EQUAL.
- ALL RADI AT INTERNAL ISLANDS ARE 3'. OTHER RADI ARE 5' UNLESS NOTED.
- CONCRETE WALKS WHERE CURB IS INDICATED ARE TO BE TURNDOWN SIDEWALKS. CONCRETE WALKS ADJACENT TO GRASS DO NOT REQUIRE TURNDOWN.

PROJECT GENERAL NOTES:

- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES IN THE PROXIMITY OF THE CONSTRUCTION AREA AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE AND PROJECT CONSULTANTS PRIOR TO BEGINNING WORK.
- THE CONTRACTOR SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL CODES AND OBTAIN ALL PERMITS PRIOR TO BEGINNING WORK.
- THE CONTRACTOR SHALL CHECK ALL FINISHED GRADES AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE AND PROJECT CONSULTANTS PRIOR TO BEGINNING WORK.
- DIMENSIONS ARE TO THE FACE OF CURB, EDGE OF CONCRETE AND FACE OF BUILDING, UNLESS NOTED OTHERWISE.
- PROPOSED BUILDING FOOTPRINT IS FOR GRAPHIC PURPOSES ONLY. CONTRACTOR SHALL USE THE CURRENT ARCHITECTURAL DRAWINGS FOR BUILDING LOCATION AND VERIFY THAT THERE ARE NO DISCREPANCIES WITH THESE PLANS.
- ALL TRAFFIC MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICE (MUTCD).
- ALL HANDICAP PARKING SPACES AND ACCESSIBLE ROUTES SHALL COMPLY WITH THE CURRENT ADA REQUIREMENTS.
- EXTERIOR DOOR LANDINGS SHALL BE PROVIDED PER THE STATE AND LOCAL BUILDING CODE. CONTRACTOR SHALL COORDINATE DOOR LOCATIONS AND ADJACENT SIDEWALK/LANDING GRADES WITH THESE PLANS AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE AND PROJECT CONSULTANTS.
- THE SURVEY IS BASED ON TENNESSEE STATE PLANE COORDINATE SYSTEM, ZONE 5301, FIPSZONE 4100, NAD 83 DATUM.

PAVEMENT LEGEND:

- CONCRETE PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- CONCRETE SIDEWALK

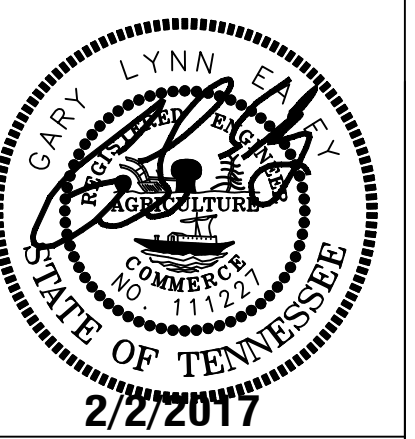


811 Know what's below. Call before you dig.

SITE DATA:
 SITE ACREAGE: 0.78 ACRES
 DISTURBED ACREAGE: 0.85 ACRES
 PROPOSED IMPERVIOUS SQUARE FOOTAGE: 0.58 ACRES

GRADING AND DRAINAGE NOTES:

1. GRADING PERMIT IS REQUIRED FOR ANY PROJECT DISTURBING MORE THAN 10,000 SF, ADDING MORE THAN 5,000 SF OF IMPERVIOUS SURFACE OR FOR ANY SITE GRADING REQUIRING STOCKPILING OF MATERIAL.
2. THE DEVELOPER SHALL PROVIDE THE NECESSARY LABOR AND SUPERVISION REQUIRED TO SUPPORT FIELD TESTING BY THE INDEPENDENT TESTING FIRM AND INSPECTIONS BY CITY OFFICIALS AT NO COST TO THE CITY. TEST REPORTS OF FIELD TESTING IF APPLICABLE SHALL BE SUBMITTED DIRECTLY TO THE STREET DEPARTMENT. DEFECTS DISCLOSED BY TESTS SHALL BE RECTIFIED.
3. AN AUTHORIZED REPRESENTATIVE OF THE CITY SHALL MAKE A FINAL INSPECTION OF THE PROJECT AFTER COMPLETION TO DETERMINE ACCEPTABILITY OF THE WORK AND FOR RELEASE OF PERFORMANCE BONDS IF REQUIRED. BEFORE THIS FINAL INSPECTION CAN BE MADE, THE ENGINEER RESPONSIBLE FOR THE PROJECT SHALL CERTIFY IN WRITING TO THE CITY ENGINEER THAT THE WORK HAS BEEN COMPLETED IN ACCORDANCE WITH APPROVED PLANS AND SPECIFICATIONS.
4. DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, CULVERTS, DETENTION BASINS AND DITCHES, AS WELL AS THE ROADWAY SUB-GRADE, BASE STONE AND BINDER & SURFACE COURSE SHALL BE INSPECTED, TESTED AND GIVEN APPROVAL AT EACH STAGE OF INSTALLATION PRIOR TO PROCEEDING TO THE NEXT STAGE OF CONSTRUCTION. FINAL CONSTRUCTION INSPECTION FOR APPROVAL AND ACCEPTANCE OF STREETS AND DRAINAGE SYSTEMS WILL NOT BE GRANTED UNTIL ALL WORK HAS BEEN COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS.
5. LOCATING AND COORDINATION FOR THE RELOCATION OF EXISTING UTILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR. TENNESSEE'S ONE-CALL AND THE CITY OF FRANKLIN UTILITY LOCATION SERVICE SHALL BE UTILIZED IN ADDITION TO COORDINATION WITH LOCAL UTILITY OWNERS. THE CONTRACTOR SHALL AT ALL TIES PROTECT EXISTING UTILITIES AND WILL BE RESPONSIBLE FOR COSTS DUE TO DAMAGE CAUSED TO ANY UTILITY LINES.
6. ALL SEDIMENT AND EROSION CONTROL MEASURES, SUCH AS SILT PONDS OR INLET SEDIMENT BARRIERS SHALL CONFORM TO THE STORM WATER PERMITTING REQUIREMENTS OF THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION AND THE "TENNESSEE EROSION AND SEDIMENT CONTROL HANDBOOK" AS A MINIMUM.
7. EROSION CONTROL TO BE INSPECTED AND APPROVED PRIOR TO ALL OTHER WORK BEING STARTED.
8. THE TIME OF EXPOSURE UNPROTECTED SOILS SHALL BE KEPT TO A MAXIMUM OF 20 DAYS. REFER TO THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION, EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION; SECTION TS FOR AREAS TO BE STABILIZED THAT DO NOT REQUIRE PERMANENT STABILIZATION SUCH AS BUILDING FOOTPRINTS, PARKING LOTS, ETC.
9. KEEP DUST WITHIN TOLERABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE REFER TO THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION, EROSION AND SEDIMENT CONTROL HANDBOOK, SECTION PAM.
10. NO OTHER WORK WILL BE INITIATED ON THE PROJECT UNTIL THE EROSION, SEDIMENT CONTROL MEASURES SHOWN ON THE PLANS AND DETAILS ARE PROPERTY IN PLACE.
11. STRAW BALES SHOWN THUS (INSERT APPROPRIATE LINE TYPE) ARE TO BE USED AS TEMPORARY SEDIMENT BARRIERS. STRAW BALES ARE TO BE FIRM AND SECURELY TIED WITH PLASTIC OR WIRE BINDING. BALES ARE TO BE PLACED RANCHING AND FIRMLY ANCHORED TO THE GROUND WITH STEEL DRIFT PINS OR WOODEN STAKES AS SHOWN IN DETAIL. SILT FENCE SHALL BE INSTALLED AS PER SECTION SF OF THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION, EROSION AND SEDIMENT CONTROL HANDBOOK; LATEST EDITION.
12. IF, AT ANY TIME DURING THE CONSTRUCTION PHASE OF THIS PROJECT, THE EROSION/SEDIMENT CONTROL MEASURED INSTALLED FAIL TO FUNCTION PROPERLY, NEED MAINTENANCE OR REPAIR, OR NEED NEW REPLACEMENT IN KIND, THE CONTRACTOR WILL EFFECT SUCH ACTION AS ARE NEEDED TO CORRECT THE SITUATION AT NOT ADDITIONAL COST TO THE OWNER. ALL MEASURES ARE TO BE INSPECTED AFTER EACH RAIN EVENT. ANY MEASURES NEEDING REPLACEMENT WILL BE CORRECTED WITHIN 5 DAYS OF THE RAIN EVENT.
13. DISTURBED AREAS ARE TO BE GRADED TO DRAIN AS INDICATED ON GRADING PLANS TO SEDIMENT BARRIERS DURING AND UPON COMPLETION OF CONSTRUCTION. ALL STRIPPED OR CUT/FILL AREAS REQUIRING PERMANENT VEGETATION ARE TO HAVE A MINIMUM OF 6-INCH DEPTH TOPSOIL COVER. AREAS DRESSED WITH TOPSOIL WILL RECEIVE 12 POUNDS PER 1,000 SQUARE FEET OF 6-12-12 FERTILIZER, REFER TO SECTION PS OF THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION, EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION TO DETERMINE SEED TYPE AND SEEDING DATES ALONG WITH SEEDBED PREPARATION AND PLANT SELECTION AND STRAW MULCH OF 75% COVERAGE (APPROXIMATELY 125 POUNDS PER 1,000 SQUARE FEET) EXCEPT AS OTHERWISE SHOWN ON PLAN. AREAS SHALL BE WATERED TO NOT CAUSE RUNOFF.
14. ALL STOCKPILED SOIL SHOULD BE STABILIZED USING TEMPORARY VEGETATION. REFER TO THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION, EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION, SECTION TS. UPON STABILIZATION OF THE SITE WITH A GOOD (ACCEPTABLE) STAND OF GRASS AND/OR GROUND COVER, THE EROSION/SEDIMENT CONTROL INSTALLATIONS WILL BE REMOVED AND THE AREA DISTURBED WILL BE SEEDED AND MULCHED WITH THE SAME TREATMENT AS OTHER NEW GRASSED AREAS OF THE PROJECT.
15. A STONE ACCESS RAMP IS TO BE CONSTRUCTED AT THE SITE ENTRANCE WITH A MINIMUM WIDTH OF 20 FEET AND MINIMUM LENGTH OF 100 FEET. THE RAMP IS TO BE BASED WITH 8 INCHES OF ASTM D 448, SIZE NO. 1 STONE, AND MAINTAINED THROUGHOUT CONSTRUCTION.
16. PRIOR TO THE ISSUANCE OF A GRADING PERMIT, ALL EROSION AND SEDIMENT CONTROL MEASUREMENTS INDICATED ON THE PLANS AND ANY ADDITIONAL MEASURES REQUESTED BY THE CITY SHALL BE INSTALLED.
17. BUFFER ZONES AND TREES SPECIFIED FOR PRESERVATION SHOULD BE CLEARLY INDICATED ON THE GRADING AND DEMOLITION PLANS. BUFFER ZONES AND TREES SPECIFIED FOR PRESERVATION MUST BE PROTECTED THROUGH THE USE OF TREE PROTECTION BARRIERS TO THE DRIP LINE OF SAID TREES. THESE BARRIERS SHOULD CONSIST OF ORANGE GRID FABRIC STAKED AT THE BORDER AND/OR DRIP LINE OF PRESERVED BUFFER ZONE AND/OR TREES TO RESTRICT CONSTRUCTION ACTIVITY AND ACCESS WITHIN THE PROTECTED AREAS AND/OR TREE'S DRIP LINE. A TREE PROTECTION DETAIL MUST ALSO BE PROVIDED.
18. THIS SURVEY IS BASED ON TENNESSEE STATE PLANE COORDINATE SYSTEM ZONE 5301, FIPSZONE 4100, NAD 83 DATUM.
19. THERE SHALL BE NO MOWING, CLEARING, GRADING, CONSTRUCTION, STORAGE OR DISTURBANCE OF VEGETATION IN RIPARIAN BUFFERS EXCEPT AS PERMITTED BY THE CITY ENGINEER, OR HIS DESIGNEE.



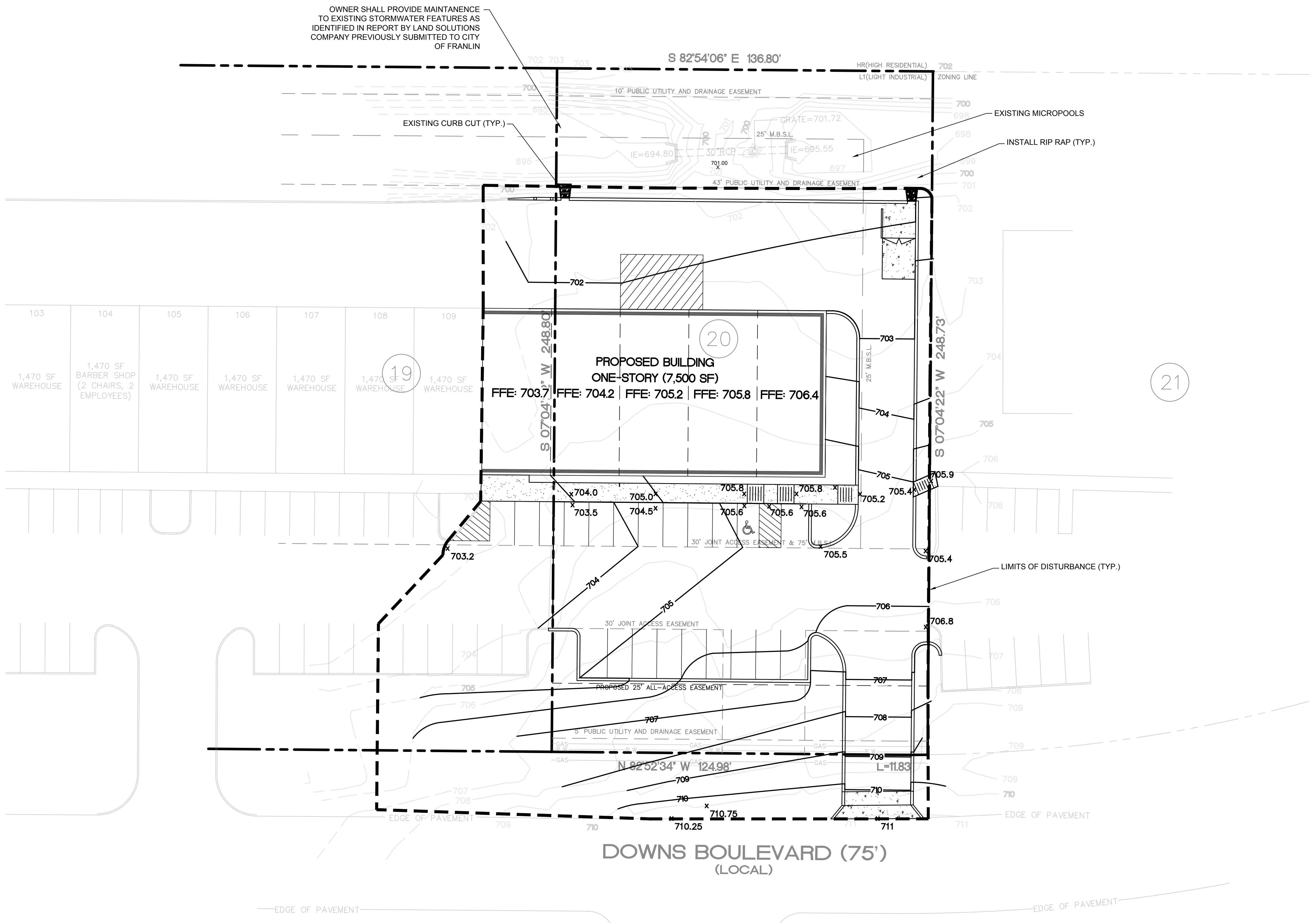
ISLAND SOLUTIONS
 2925 Berry Hill Drive, Nashville, TN 37204

DOWNS BOULEVARD SUBDIVISION
SITE PLAN
 LOTS 19 & 20, REVISION 3
 BEING PARCEL 1.00 ON TAX MAP 780B
 354 DOWNS BOULEVARD
 CITY OF FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

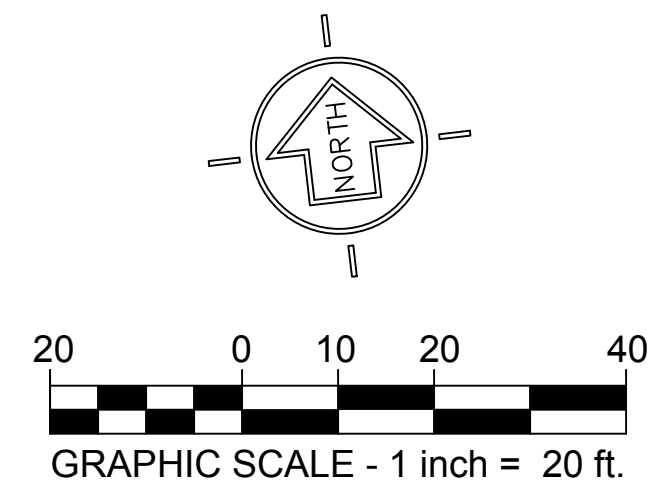
ISSUANCE/REVISION NOTES:
 - PLAN DATE: FEBRUARY 2, 2018

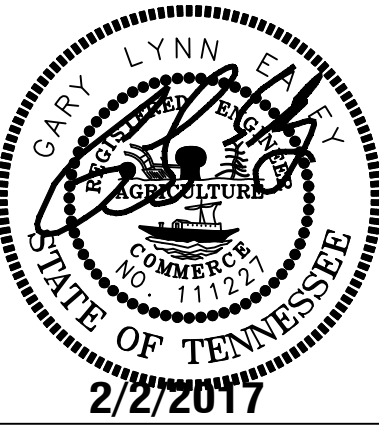
- NONE
- NONE
- NONE
- NONE

SITE GRADING & DRAINAGE / FINAL EROSION CONTROL PLAN
C3.0



OWNER SHALL PROVIDE MAINTENANCE TO EXISTING STORMWATER FEATURES AS IDENTIFIED IN REPORT BY LAND SOLUTIONS COMPANY PREVIOUSLY SUBMITTED TO CITY OF FRANKLIN





ISLAND SOLUTIONS
 2925 Berry Hill Drive, Nashville, TN 37204

UTILITY NOTES:

1. LOCATION OF EXISTING SEWER SERVICE, SIZE AND INVERT ELEVATION TO BE DETERMINED BY CONTRACTOR. NOTIFY ENGINEER PRIOR TO INSTALLATION OF NEW SERVICE TO BUILDING.
2. ALL SEWER WORK TO BE IN ACCORDANCE WITH THE CITY OF FRANKLIN SPECIFICATIONS.
3. ALL WATER LINE WORK TO BE IN ACCORDANCE WITH CITY OF FRANKLIN SPECIFICATIONS.
4. THIS SURVEY IS BASED ON TENNESSEE STATE PLANE COORDINATE SYSTEM ZONE 5301, FIPSSZONE 4100, NAD 83 DATUM.
5. CITY OF FRANKLIN WATER MANAGEMENT CONTACT:
 124 LUMBER DRIVE
 FRANKLIN, TN 37064
 ATTN: UTILITY INSPECTOR
 615-794-4554

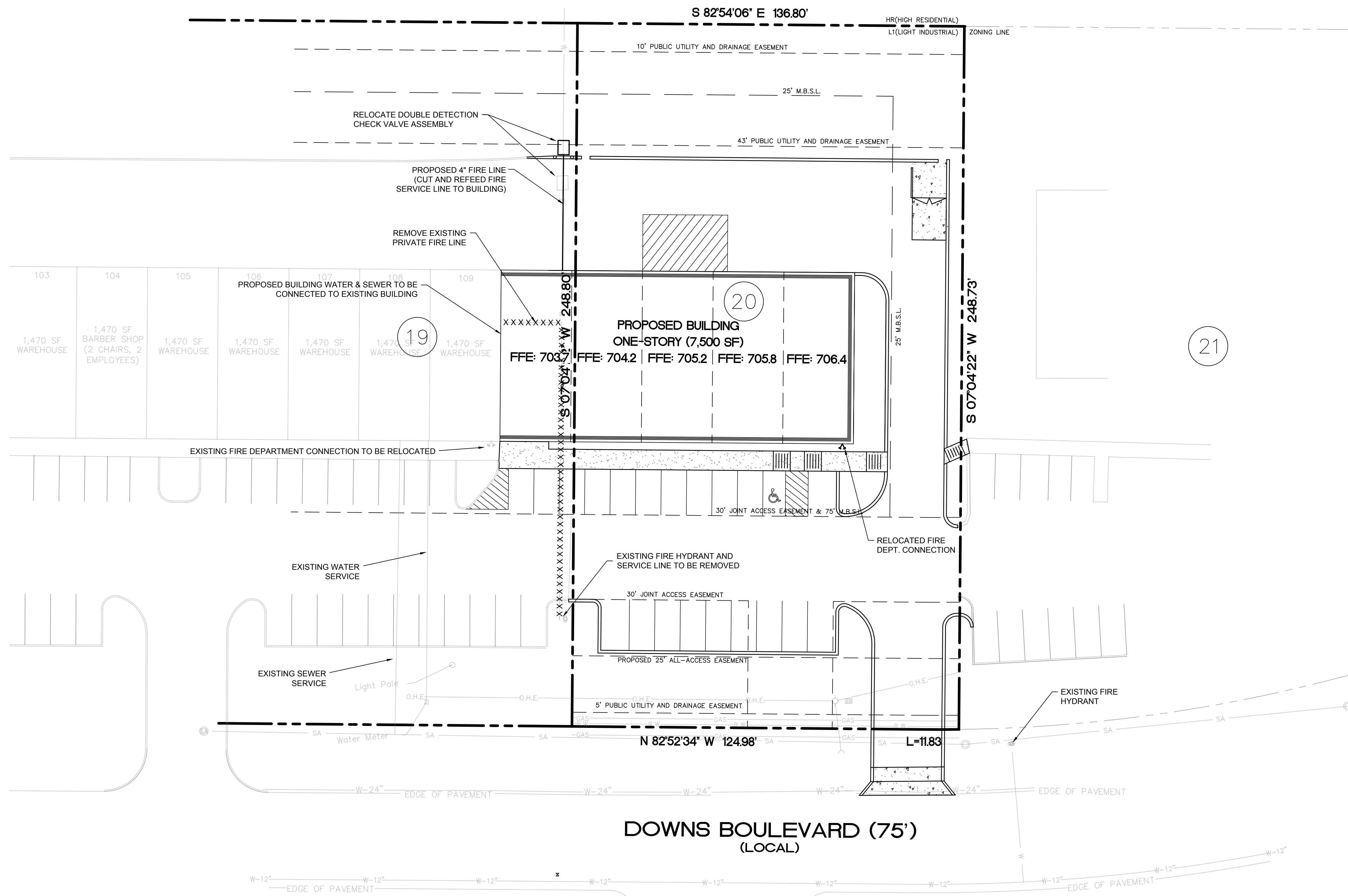
**DOWNNS BOULEVARD SUBDIVISION
 SITE PLAN**

LOTS 19 & 20, REVISION 3
 BEING PARCEL 1.00 ON TAX MAP 780B
 354 DOWNNS BOULEVARD
 CITY OF FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

ISSUANCE/REVISION NOTES:
 - PLAN DATE: FEBRUARY 2, 2016

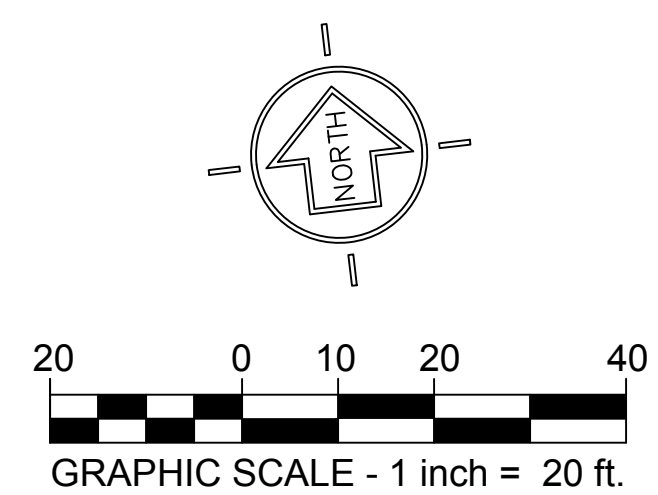
- A NONE
- B NONE
- C NONE
- D NONE

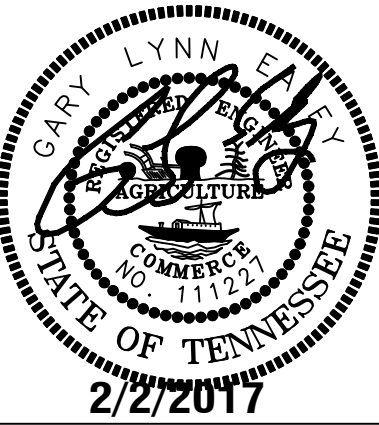
**SITE
 UTILITY
 PLAN
 C4.0**



UNDERGROUND UTILITY NOTE:

WITHIN NEW DEVELOPMENTS AND FOR OFF-SITE LINES CONSTRUCTED AS A RESULT OF, OR TO PROVIDE SERVICE TO, THE NEW DEVELOPMENT, ALL UTILITIES, SUCH AS CABLE TELEVISION, ELECTRICAL (EXCLUDING TRANSFORMERS, GAS, SEWER, TELEPHONE AND WATER LINES SHALL BE PLACED UNDERGROUND.





ISLAND SOLUTIONS
2925 Berry Hill Drive, Nashville, TN 37204

LEGEND

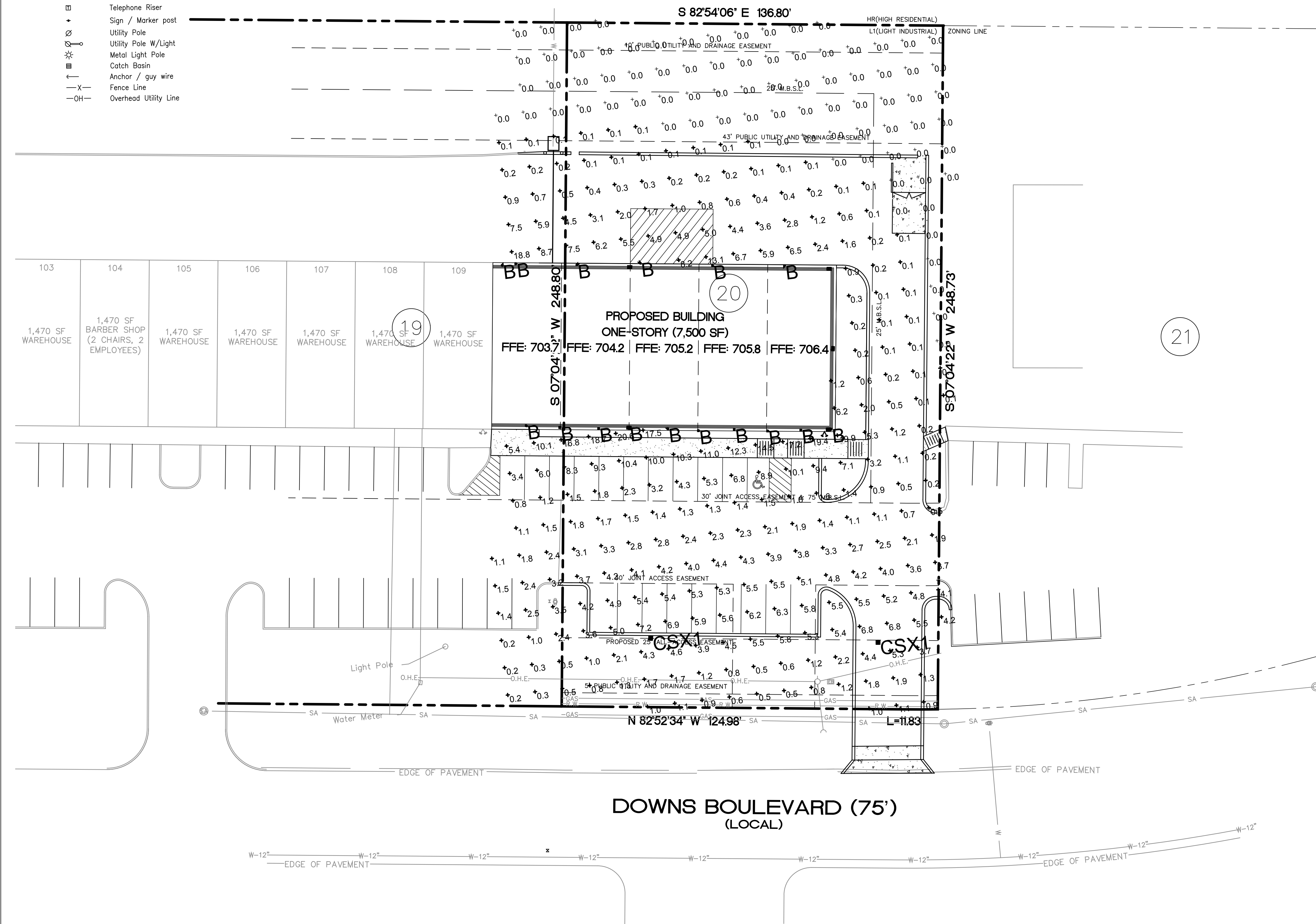
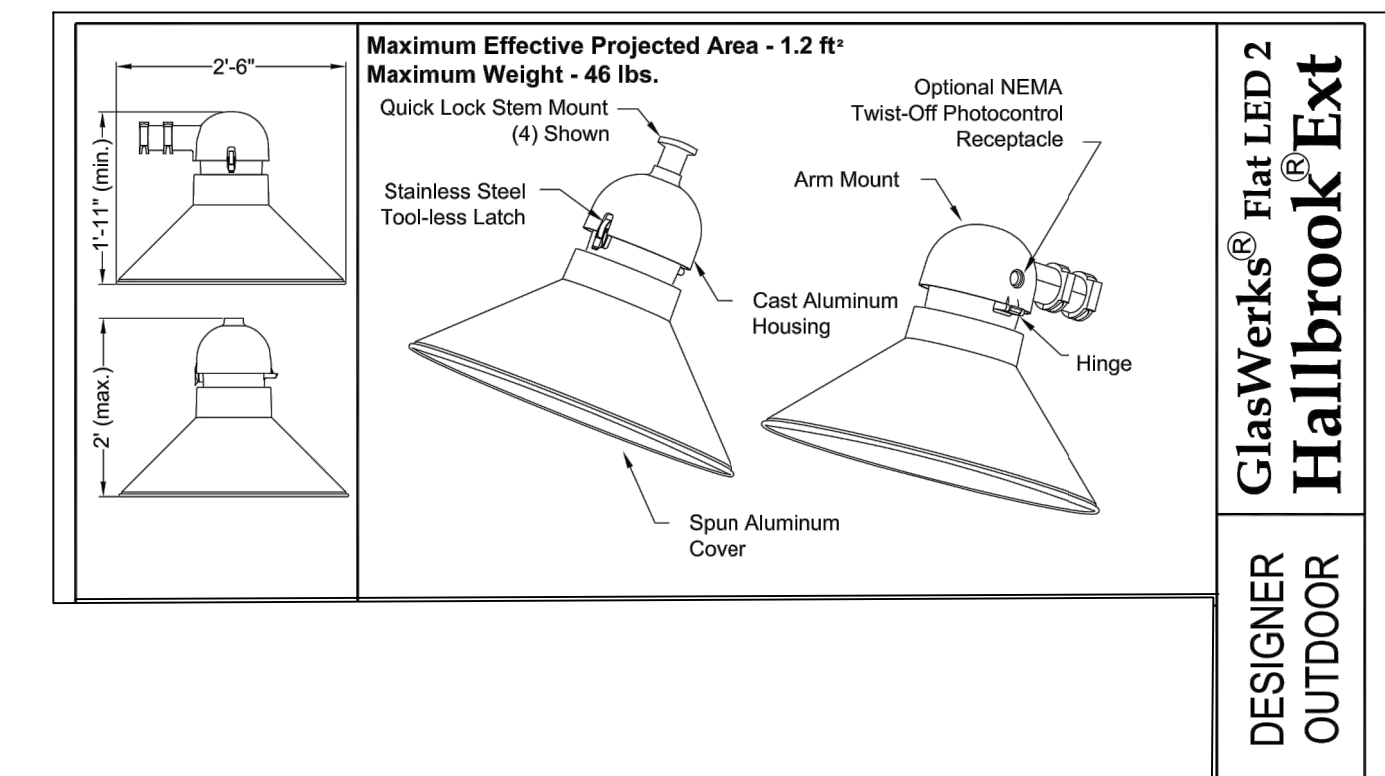
- IRO Iron Rod (Found)
- PKN P.K. Nail (Set)
- IRN Iron Rod (Set)
- ⊙ Sanitary Manhole
- ⊠ Electric Box
- ⊠ Gas Meter
- ⊙ Water Valve
- ⊙ Water Meter
- ⊠ Fire Hydrant
- ⊠ Telephone Riser
- + Sign / Marker post
- ⊙ Utility Pole
- ⊙ Utility Pole W/Light
- ⊙ Metal Light Pole
- ⊙ Catch Basin
- ⊙ Anchor / guy wire
- X- Fence Line
- OH- Overhead Utility Line

UTILITY NOTES:

1. PRIOR TO INSTALLATION OF THE ELECTRICAL CONTRACTOR SHALL FIELD VERIFY ALL NEW EXISTING UTILITIES AND BE RESPONSIBLE FOR THEIR PROTECTION DURING INSTALL.
2. THE ELECTRICAL CONTRACTOR SHALL SIZE ALL WIRE GAUGES TO ENSURE PROPER PERFORMANCE OF EACH FIXTURE.
3. FOOTINGS, POLES, AND MOUNTING HARDWARE SHALL BE ACQUIRED THROUGH THE MANUFACTURER AND INSTALLED PER SPECIFICATIONS.
4. ALL UNDERGROUND CONDUITS FOR EXTERIOR USE LIGHTING SHALL BE 2" SCHEDULE 80 PVC WITH RIGID STEEL GALVANIZED SLEEVES FOR HOMERUNS TO 6' FROM THE BUILDING. ALL CONDUITS AND SLEEVES SHALL BE 24" BELOW FINISHED GRADE. CONTRACTOR SHALL VERIFY USE OF PVC WITH LOCAL MUNICIPALITY PRIOR TO INSTALLATION. MORE STRINGENT LOCAL STANDARDS SHALL APPLY.
5. ALL ASSOCIATED ELECTRICAL WORK SHALL ADHERE TO ANSI STANDARDS.
6. THE ELECTRICAL CONTRACTOR SHALL IDENTIFY ALL OVERHEAD UTILITIES PRIOR TO POLE RAISING AND INSTALLATION. PROVIDE CLEARANCE AND SETBACKS PER THE LOCAL UTILITY REQUIREMENTS.
7. ALL PARKING LOT LIGHTING SHALL BE CUT-OFF STYLE.
8. ALL LUMINAIRES SHALL BEAR UL WET LOCATION AND IBEW LABELS.

LIGHTING SCHEDULE

KEY	TYPE	BRAND	SPECIFICATIONS
B	HOLOPHANE EXTENDED SERIES - 130W	GLASWERKS	GLASWERKS II HALLBROOK
CSX1	POLE LIGHT (SMALL)	LITHONIA	CONTOUR SERIES LED AREA LUMINAIRE WITH 60 4000K LEDS OPERATED AT 1000mA AND PRECISION MOLDED ACRYLIC TYPE III LENS WITH HOUSE SIDE SHIELD POLE MOUNTED 20'-0" ABOVE GRADE

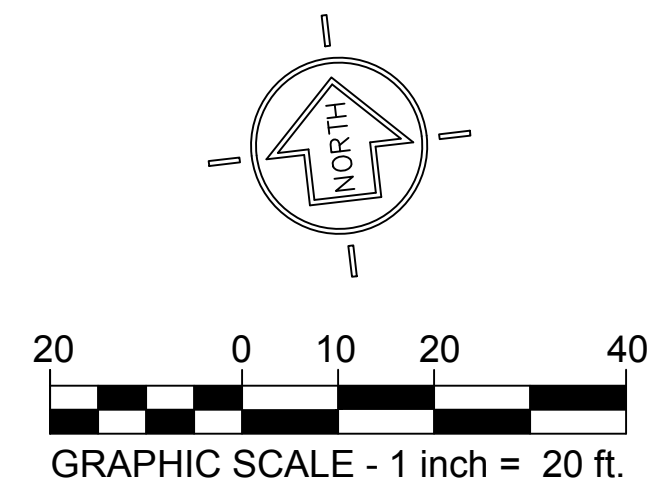


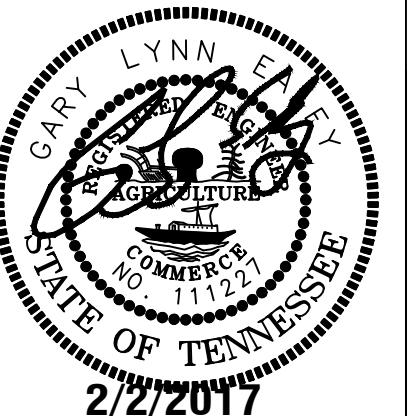
DOWNNS BOULEVARD SUBDIVISION
SITE PLAN
LOTS 19 & 20, REVISION 3
BEING PARCEL 1.00 ON TAX MAP 780B
354 DOWNNS BOULEVARD
CITY OF FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

ISSUANCE/REVISION NOTES:
- PLAN DATE: FEBRUARY 2, 2016

- A NONE
- B NONE
- C NONE
- D NONE

SITE PHOTOMETRIC PLAN
C4.1





ISLAND SOLUTIONS
2925 Berry Hill Drive, Nashville, TN 37204

DOWN'S BOULEVARD SUBDIVISION
SITE PLAN
LOTS 19 & 20, REVISION 3
BEING PARCEL 1.00 ON TAX MAP 780B
354 DOWN'S BOULEVARD
CITY OF FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

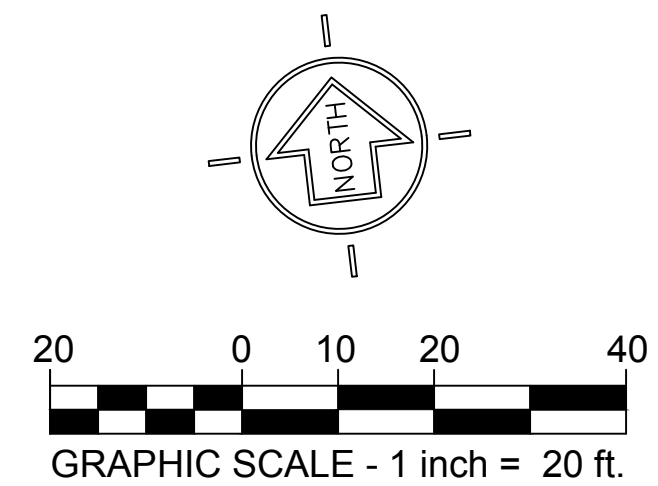
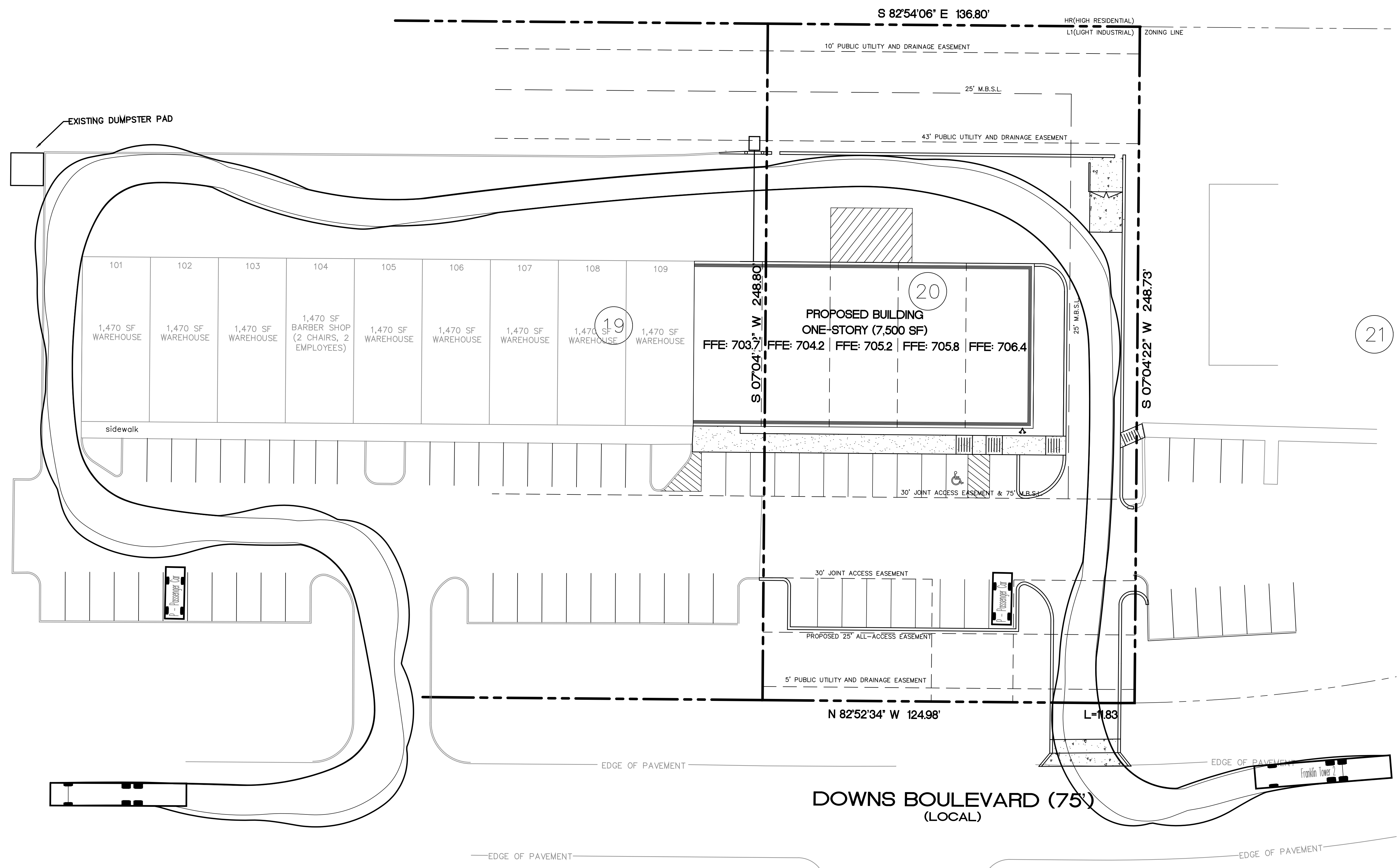
ISSUANCE/REVISION NOTES:
- PLAN DATE: FEBRUARY 2, 2018

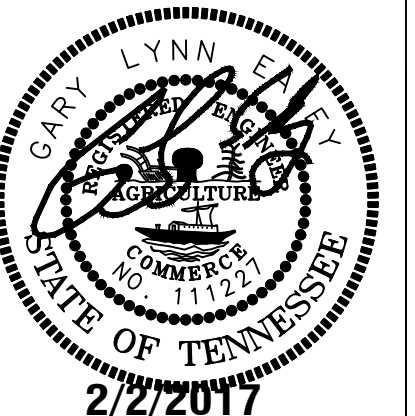
- A NONE
- B NONE
- C NONE
- D NONE

SITE FIRE TRUCK PATH PLAN
C5.0

- LEGEND**
- IRO Iron Rod (Found)
 - PKN P.K. Nail (Set)
 - IRN Iron Rod (Set)
 - ⊙ Sanitary Manhole
 - ⊠ Electric Box
 - ⊠ Gas Meter
 - ⊙ Water Valve
 - ⊙ Water Meter
 - ⊙ Fire Hydrant
 - ⊠ Telephone Riser
 - + Sign / Marker post
 - Utility Pole
 - Utility Pole W/Light
 - ⊙ Metal Light Pole
 - ⊠ Catch Basin
 - ← Anchor / guy wire
 - X- Fence Line
 - OH- Overhead Utility Line

Apparatus Specifications
Number of Front Axles = 1
Front Track Width = 8'
Wheels on Each Front Axle = 2
Number of Rear Axles = 2
Rear Track Width = 8'
Wheel Base = 21.316'
(Front Axle to Front Rear Axle)
Rear Axle Spacing = 4.417'
Body Length = 50.0417'
Width = 8.3333'
Rear Overhang = 22.1424'
Body Style = Fire Truck
Turning Radius Wall to Wall = 42'





ISLAND SOLUTIONS
2925 Berry Hill Drive, Nashville, TN 37204

DOWN'S BOULEVARD SUBDIVISION
SITE PLAN
LOTS 19 & 20, REVISION 3
BEING PARCEL 1.00 ON TAX MAP 780B
354 DOWN'S BOULEVARD
CITY OF FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

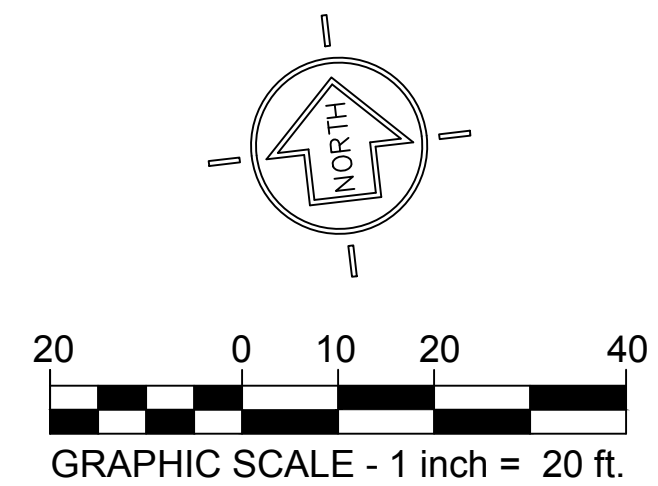
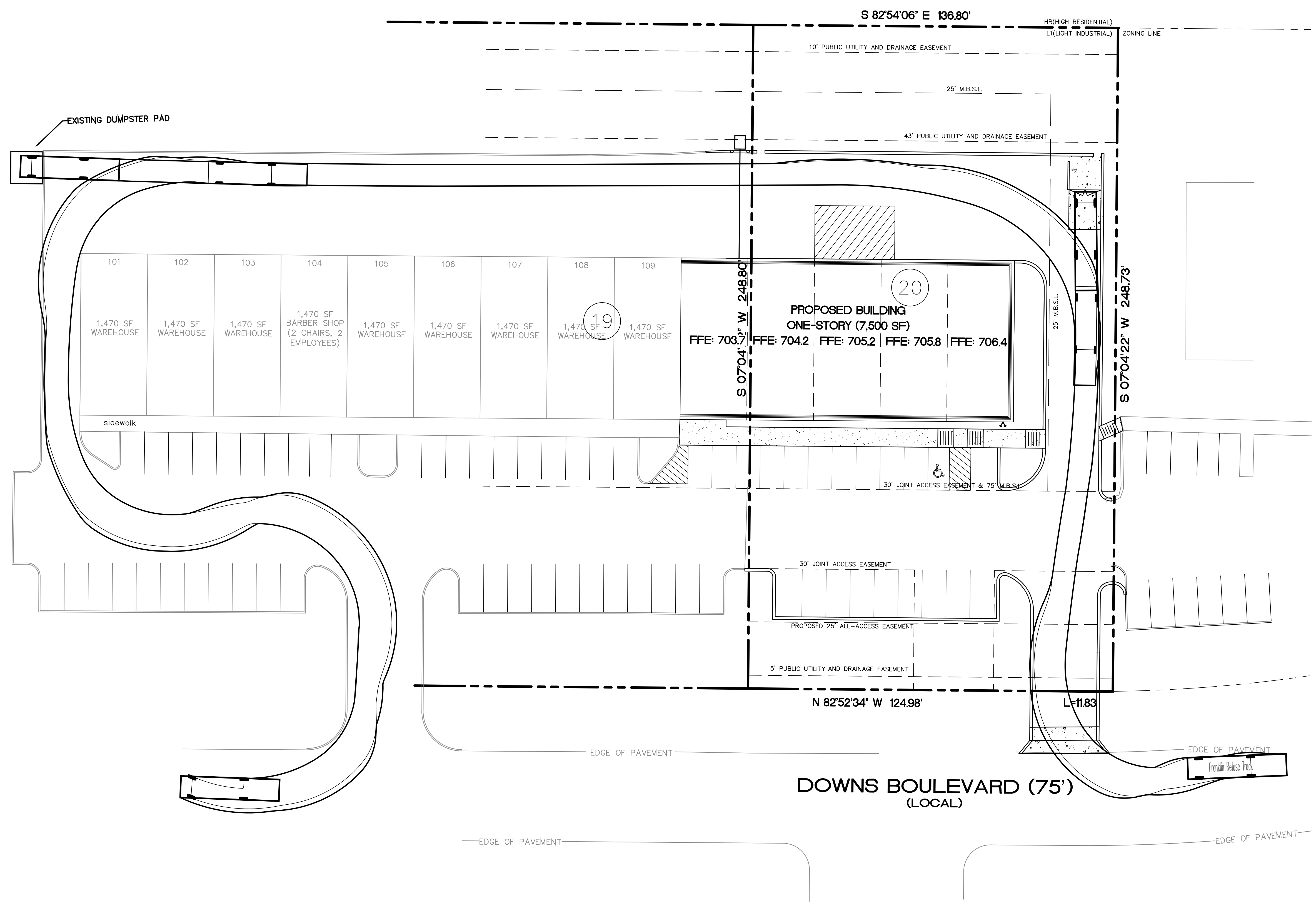
ISSUANCE/REVISION NOTES:
- PLAN DATE: FEBRUARY 2, 2016

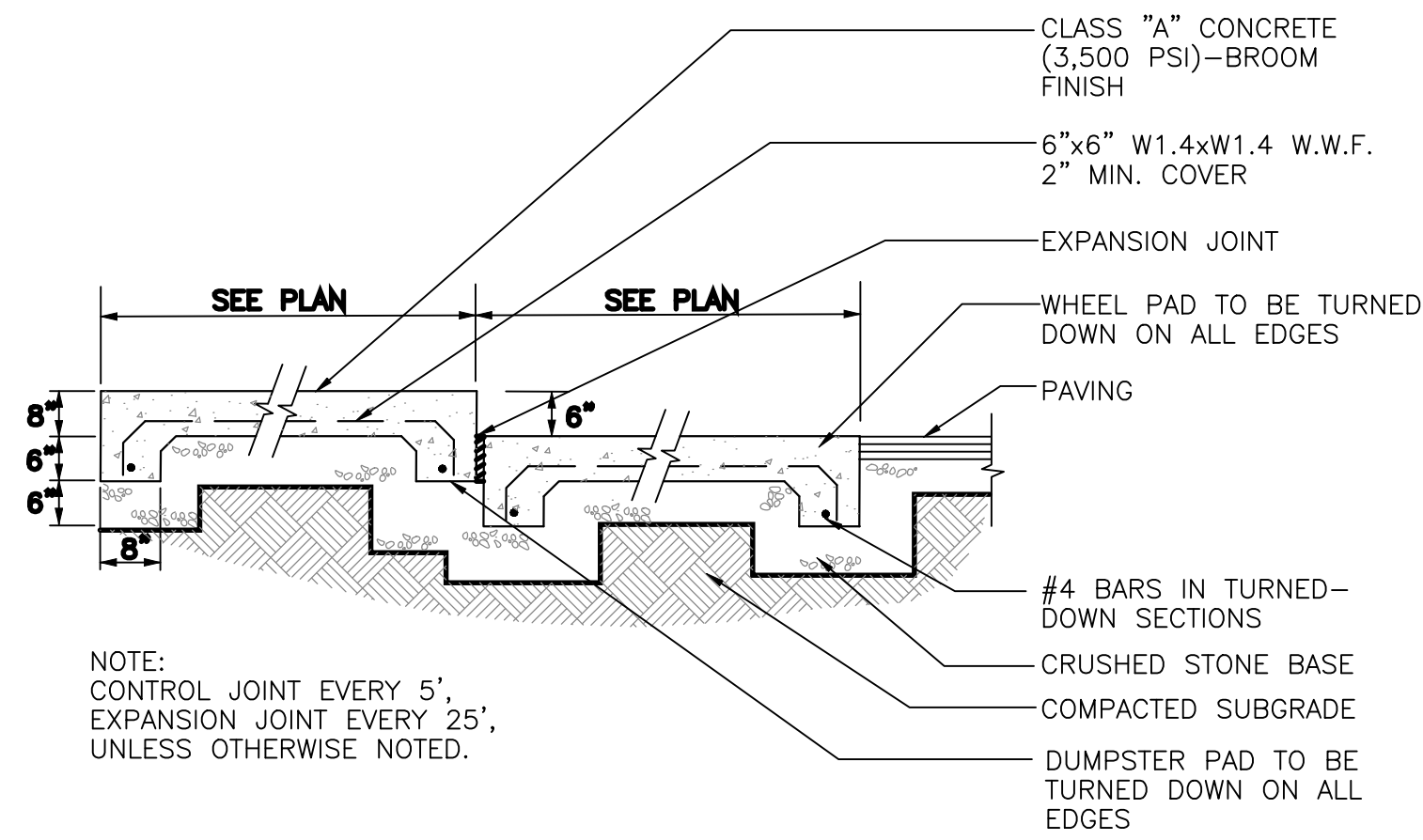
- A NONE
- B NONE
- C NONE
- D NONE

SITE REFUSE TRUCK PATH PLAN
C5.1

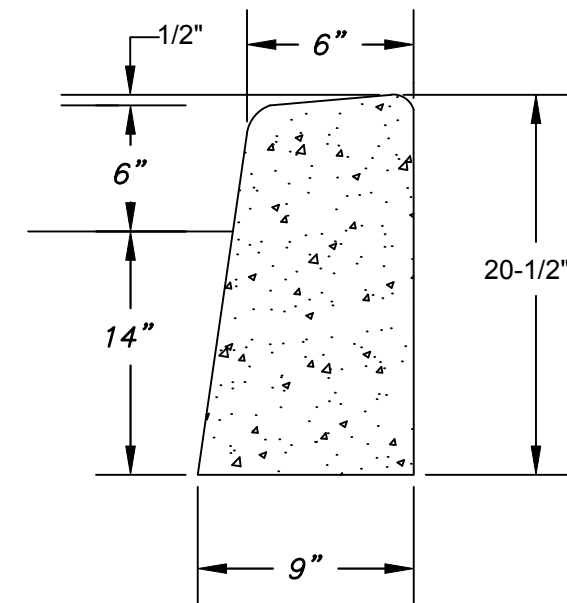
- LEGEND**
- IRO Iron Rod (Found)
 - PKN P.K. Nail (Set)
 - IRN Iron Rod (Set)
 - ⊙ Sanitary Manhole
 - ⊠ Electric Box
 - ⊠ Gas Meter
 - ⊙ Water Valve
 - ⊙ Water Meter
 - ⊙ Fire Hydrant
 - ⊠ Telephone Riser
 - + Sign / Marker post
 - ⊙ Utility Pole
 - ⊙ Utility Pole W/Light
 - ⊙ Metal Light Pole
 - ⊠ Catch Basin
 - ← Anchor / guy wire
 - X- Fence Line
 - OH- Overhead Utility Line

Apparatus Specifications
 Number of Front Axles 1
 Front Track Width = 8'-1"
 Wheels on Each Front Axle = 2
 Number of Rear Axles = 1
 Rear Track Width = 8'-1"
 Wheel Base = 19.5'
 Body Length = 37.0'
 Width = 8'-1"
 Front Overhang = 4'-2"
 Body Style = Refuse Truck
 Turning Radius Wall to Wall = 46.0'



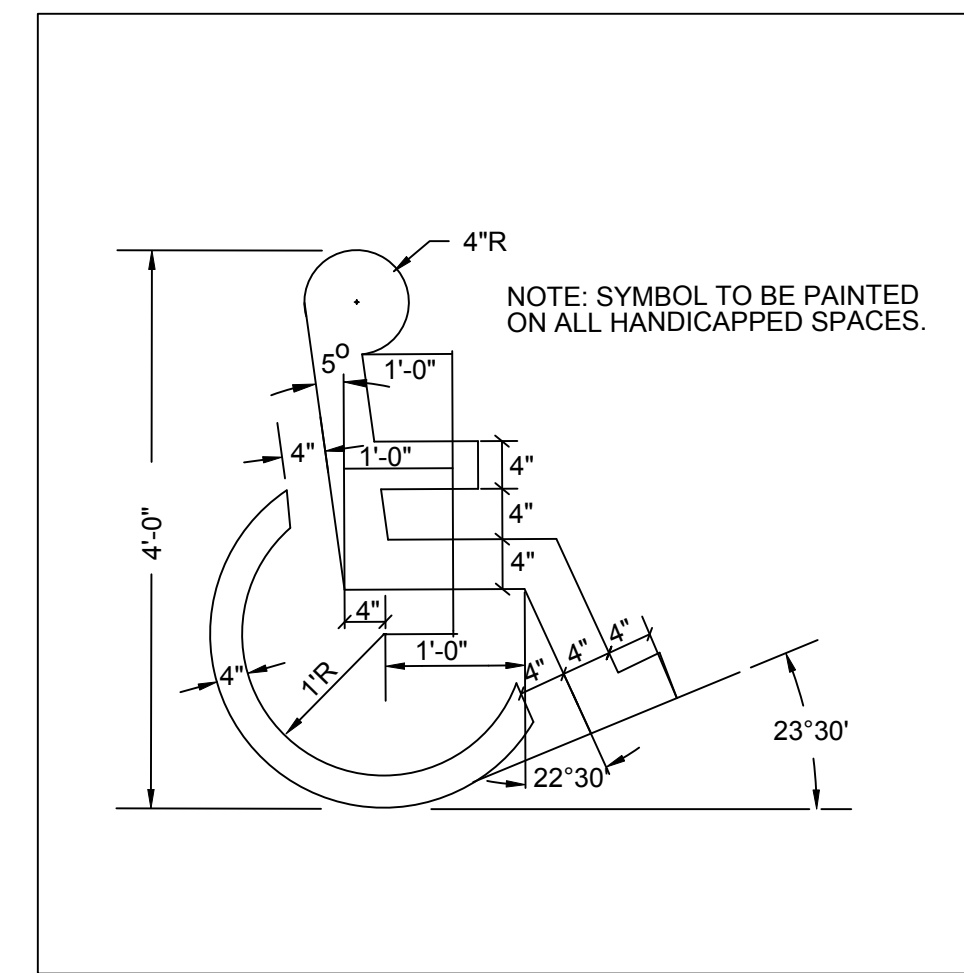


DUMPSTER & WHEEL PADS
NOT TO SCALE



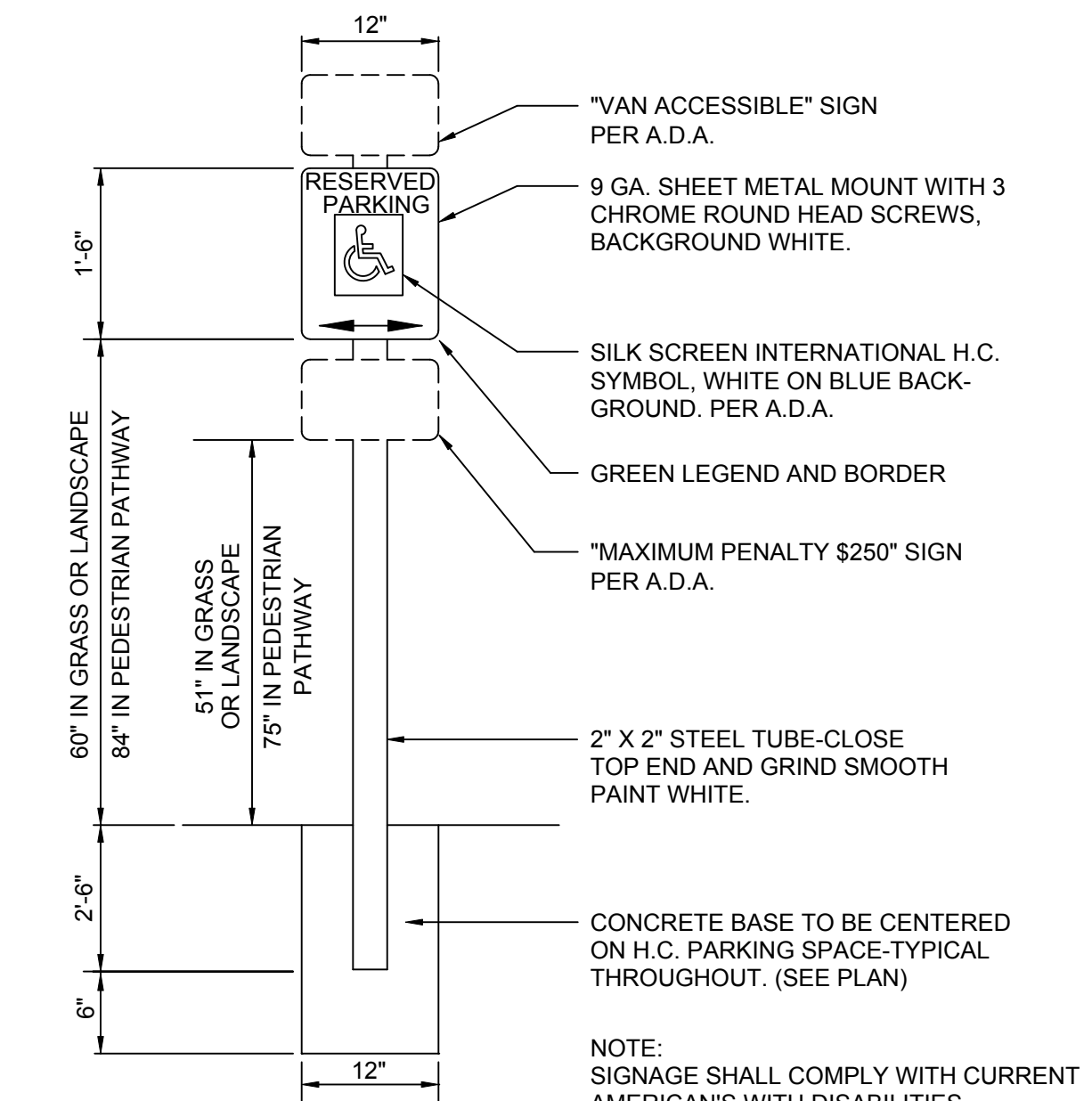
- GENERAL NOTES**
- EXPANSION JOINTS TO BE SPACED A MAXIMUM OF 100 FEET APART OR AS DIRECTED BY THE ENGINEER.
 - EXPANSION JOINTS WILL ALSO BE REQUIRED AT TANGENT POINTS, RAMPS, AND INLETS.
 - CONTRACTION JOINTS ARE TO BE CUT INTO CURB AND GUTTER EVERY 10 FEET TO A DEPTH OF D/4, WHERE D EQUALS THE THICKNESS OF THE SECTION. THE SPACING OF 10 FEET MAY BE REDUCED AT CLOSURES BUT NO SECTION OF CURB SHALL BE LESS THAN 10 FEET.
 - COST OF JOINS TO BE INCLUDED IN THE UNIT BID PRICE FOR CONCRETE CURB.

EXTRUDED CURB
NOT TO SCALE



THE CONTRACTOR SHALL ASSURE TO METRO THAT ALL SERVICES PROVIDED THROUGH THIS CONTRACT SHALL BE COMPLETED IN FULL COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT ("ADA") AND ARCHITECTURAL AND TRANSPORTATION BARRIERS COMPLIANCE BOARD, FEDERAL REGISTER 36 CFR PARTS 1190 AND 1191, ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES; ARCHITECTURAL BARRIERS ACT (ABA) ACCESSIBILITY GUIDELINES; PROPOSED RULE, PUBLISHED IN THE FEDERAL REGISTER ON JULY 23, 2004, AS HAS BEEN ADOPTED BY METRO.

ADA SYMBOL
NOT TO SCALE



ADA SIGN
NOT TO SCALE



ISLAND SOLUTIONS
2925 Berry Hill Drive, Nashville, TN 37204

DOWNNS BOULEVARD SUBDIVISION
SITE PLAN
LOTS 19 & 20, REVISION 3
BEING PARCEL 1.00 ON TAX MAP 780B
354 DOWNS BOULEVARD
CITY OF FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

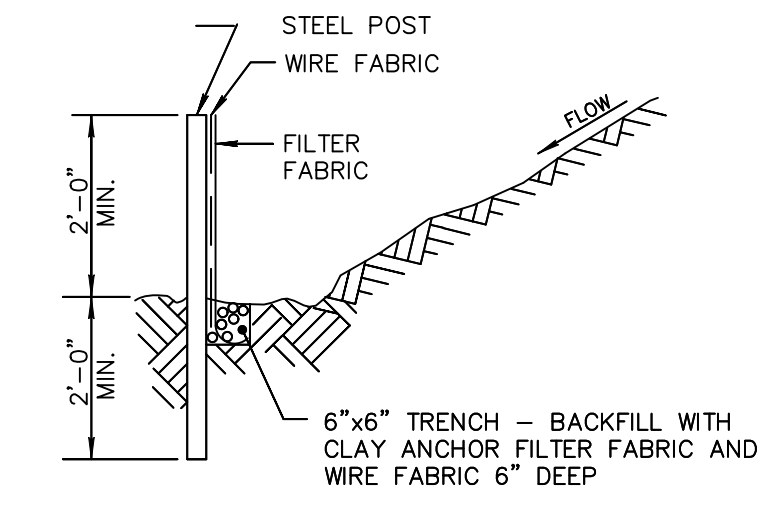
ISSUANCE/REVISION NOTES:
- PLAN DATE: FEBRUARY 2, 2019

A	NONE
B	NONE
C	NONE
D	NONE

SITE DETAILS
C6.0

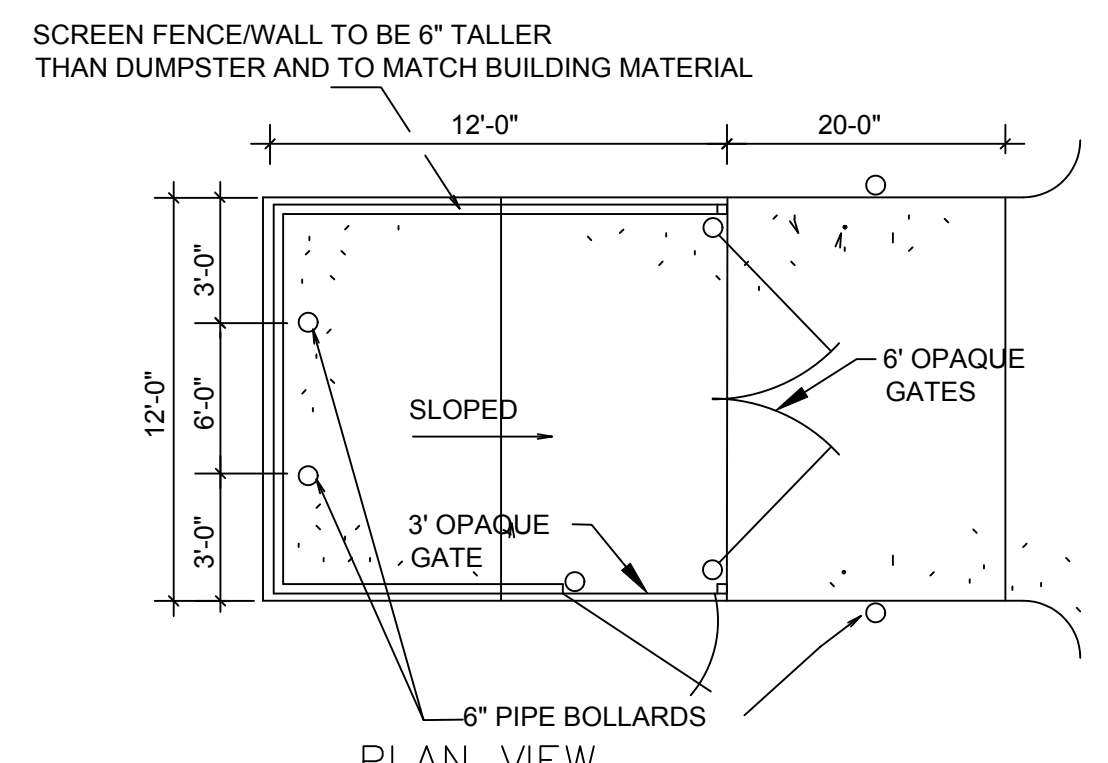


Know what's below.
Call before you dig.



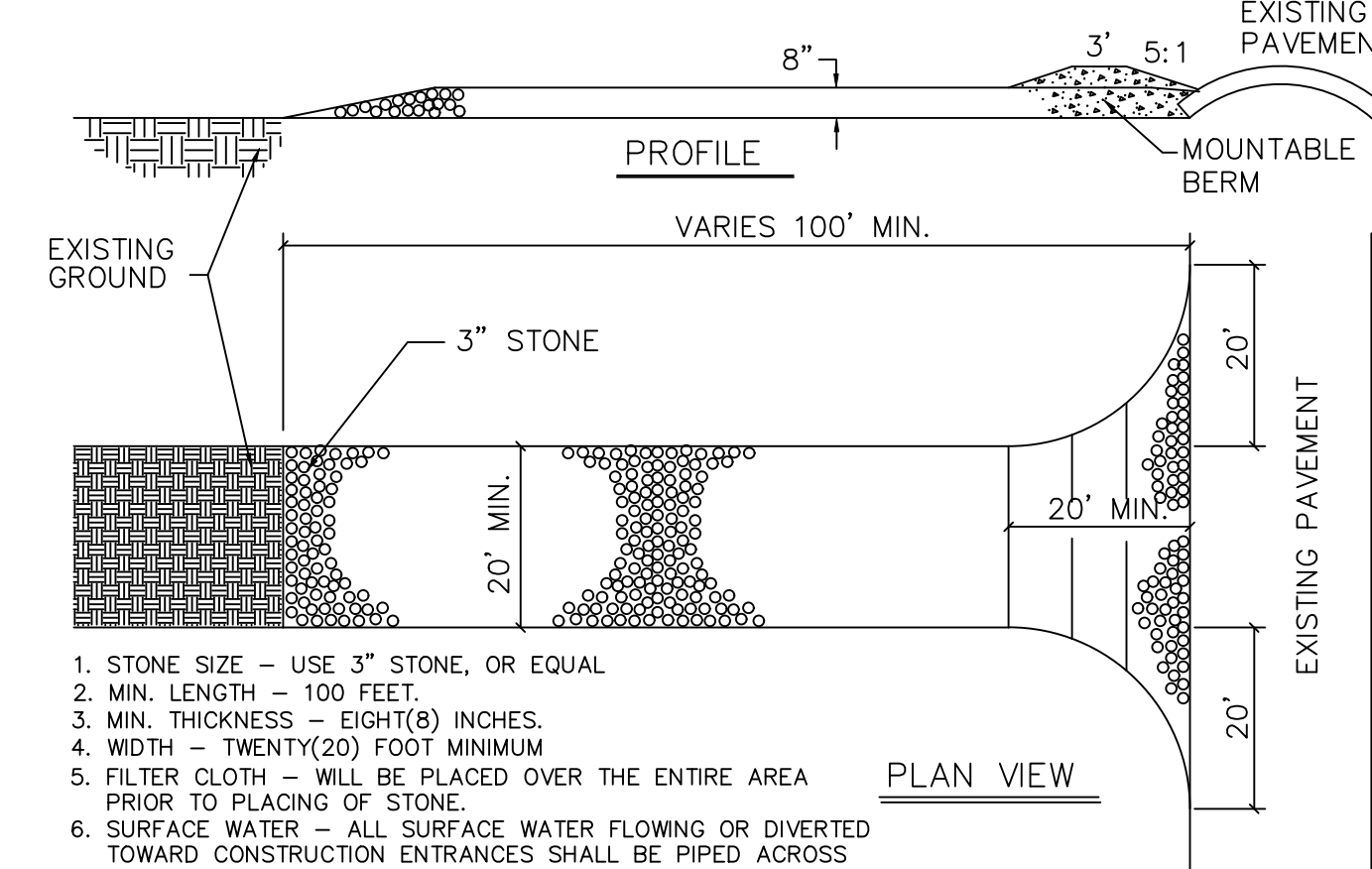
- NOTES:**
- Excavate a 6" x 6" trench for toe of silt fence burial.
 - Install steel post 10" center to center (maximum).
 - Drive post into the ground at least 2' deep.
 - Securely attach the metal fence to the steel post.
 - Use hog rings (or equivalent) to secure the silt fence to the metal fence.
 - Bury the toe of the silt fence with the previously excavated material and tamp in place to secure the toe of the fence.
 - Inspect the installation on a regular basis and make repairs as needed.
- Reference Franklin detail SD-21 for correct installation of silt fence.
PERIMETER SILTATION CONTROL SHALL BE INSTALLED PER CITY DETAIL SD-21.

SILT FENCE
NOT TO SCALE



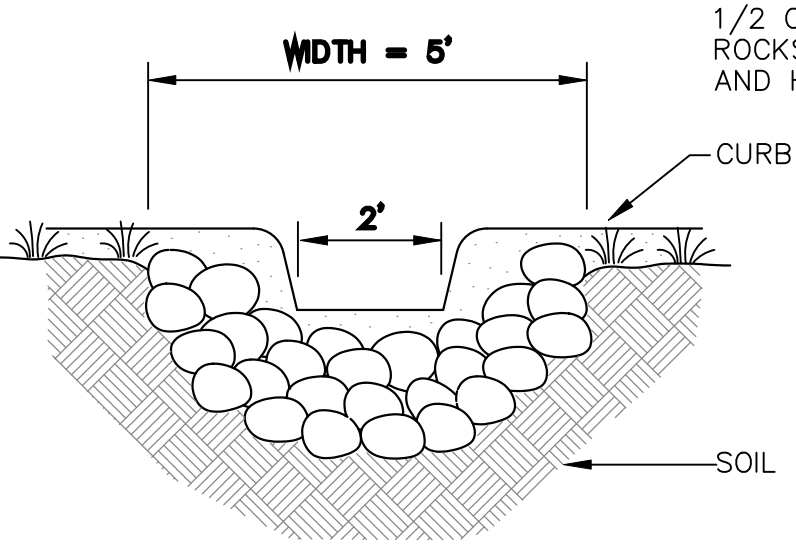
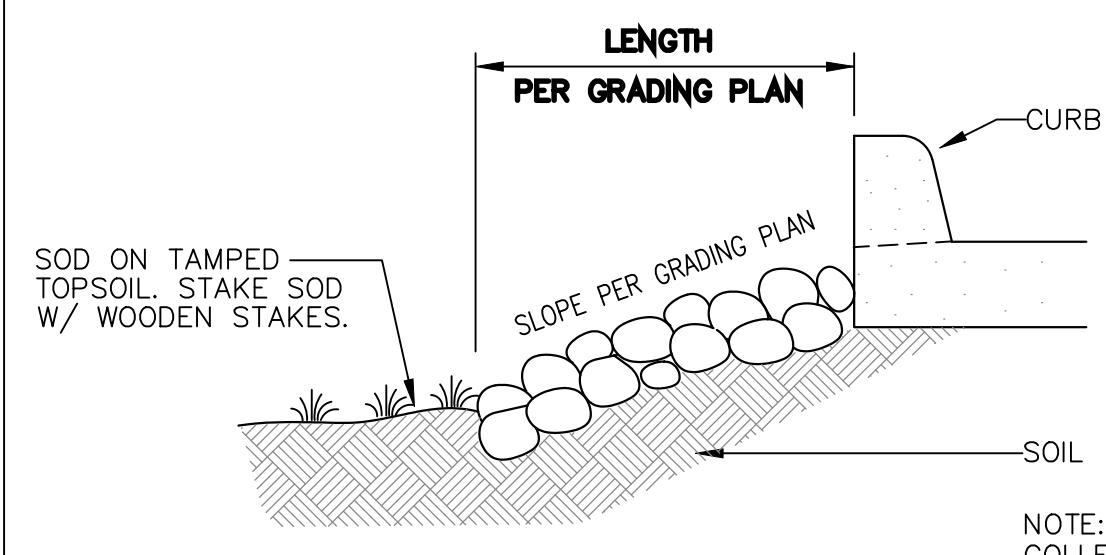
- PLAN VIEW**
- CLASS "A" CONCRETE (3,500 PSI)
 - 6" x 6" W1.4xW1.4 W.W.F. 2" MIN. COVER
 - CRUSHED STONE BASE
 - COMPACTED SUBGRADE
- NOTE:** CONTROL JOINT EVERY 5', EXPANSION JOINT EVERY 25', UNLESS OTHERWISE NOTED.

CONCRETE DUMPSTER PAD
NOT TO SCALE

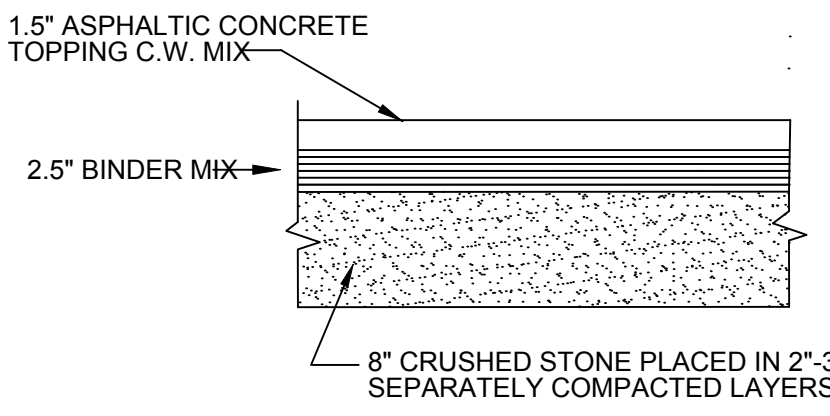


- PLAN VIEW**
- STONE SIZE - USE 3" STONE, OR EQUAL
 - MIN. LENGTH - 100 FEET
 - MIN. THICKNESS - EIGHT(8) INCHES
 - WIDTH - TWENTY(20) FOOT MINIMUM
 - FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.

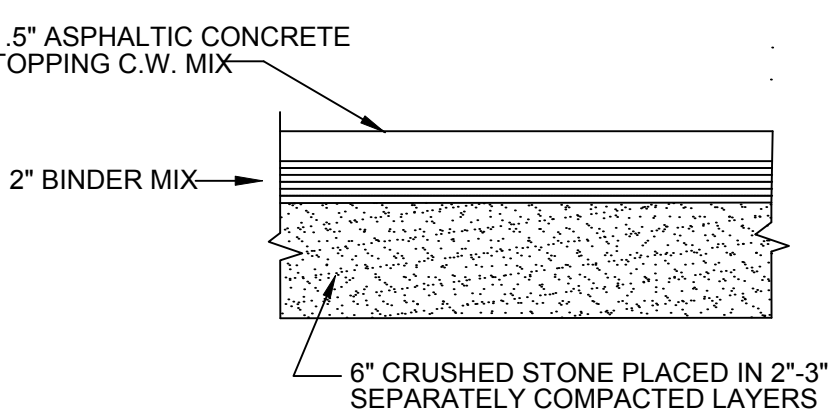
CONSTRUCTION EXIT
NOT TO SCALE



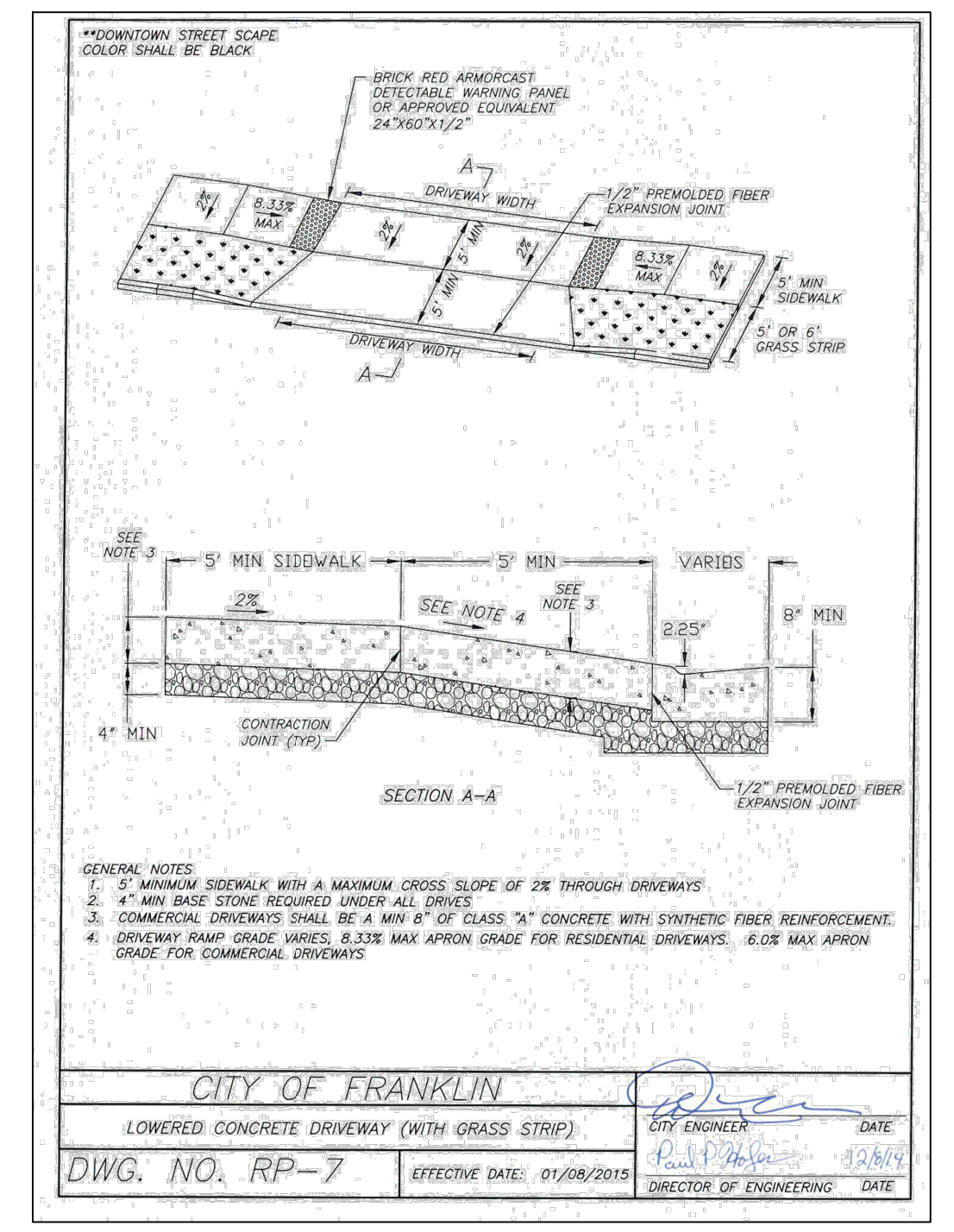
CURB CUT AND RIP-RAP
NOT TO SCALE



HEAVY DUTY ASPHALT SECTION
NOT TO SCALE



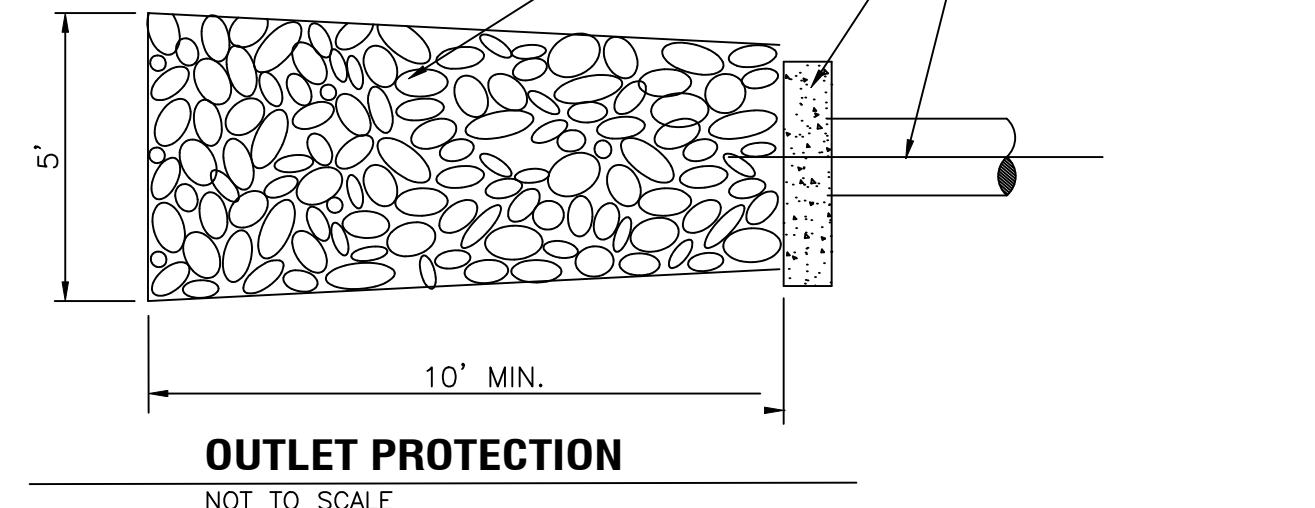
LIGHT DUTY ASPHALT SECTION
NOT TO SCALE



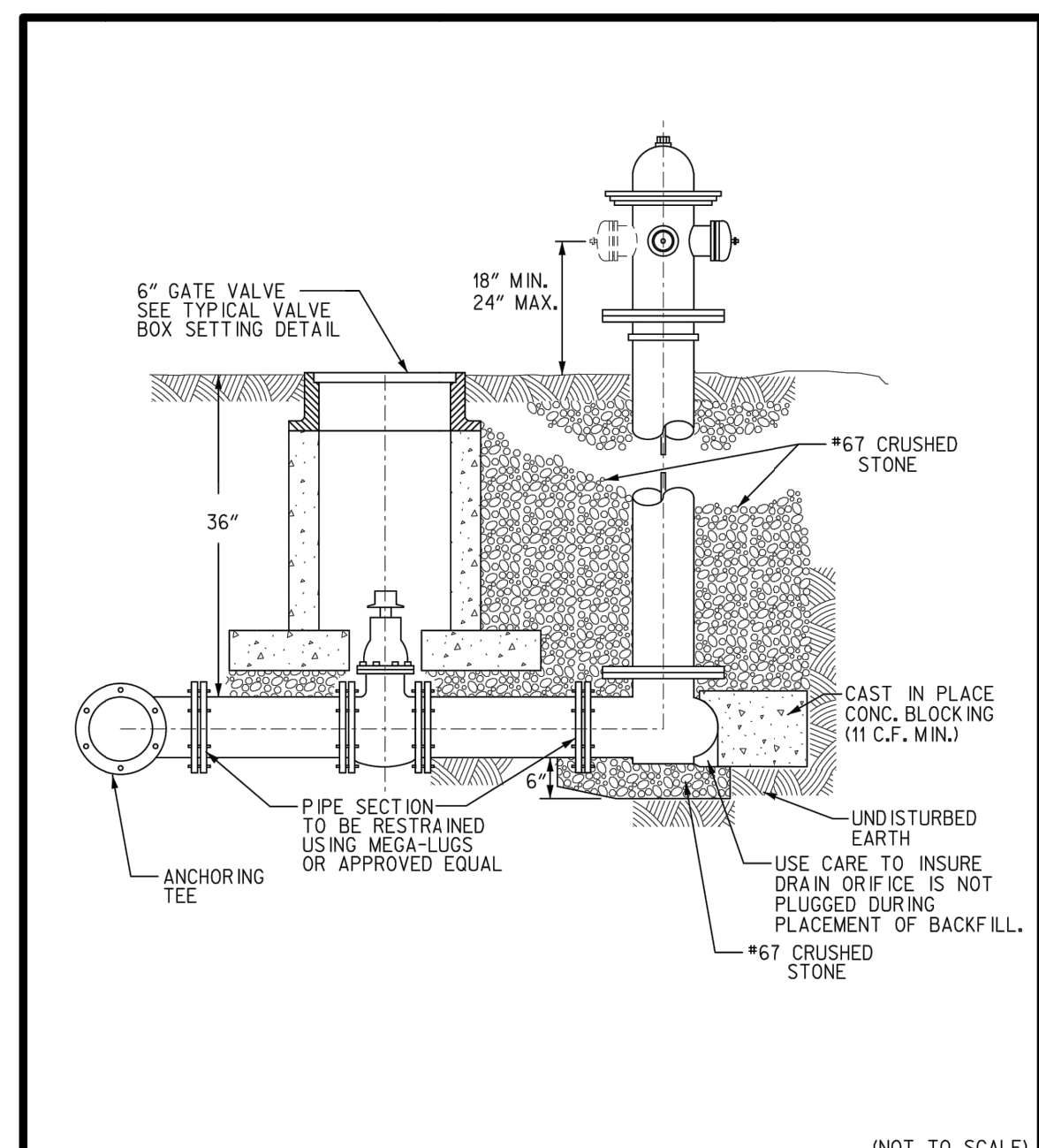
- GENERAL NOTES**
- 5" MINIMUM SIDEWALK WITH A MAXIMUM CROSS SLOPE OF 2% THROUGH DRIVEWAYS
 - 4" MIN BASE STONE REQUIRED UNDER ALL DRIVEWAYS
 - COMMERCIAL DRIVEWAYS SHALL BE A MIN 4" OF CLASS "A" CONCRETE WITH SYNTHETIC FIBER REINFORCEMENT.
 - DRIVEWAY RAMP GRADE VARIES: 0.33% MAX APPROX GRADE FOR RESIDENTIAL DRIVEWAYS, 0.6% MAX APPROX GRADE FOR COMMERCIAL DRIVEWAYS

CITY OF FRANKLIN
LOWERED CONCRETE DRIVEWAY (WITH GRASS STRIP)
DWG. NO. RP-7
EFFECTIVE DATE: 07/28/2019

- NOTE:** RIVER ROCK WILL CONSIST OF HAND-PLACED CLEAN NATIVE STONE, HAVING A MAXIMUM LENGTH & WIDTH DIMENSION OF 12" IN EITHER DIRECTION AND A MINIMUM THICKNESS OF 6".



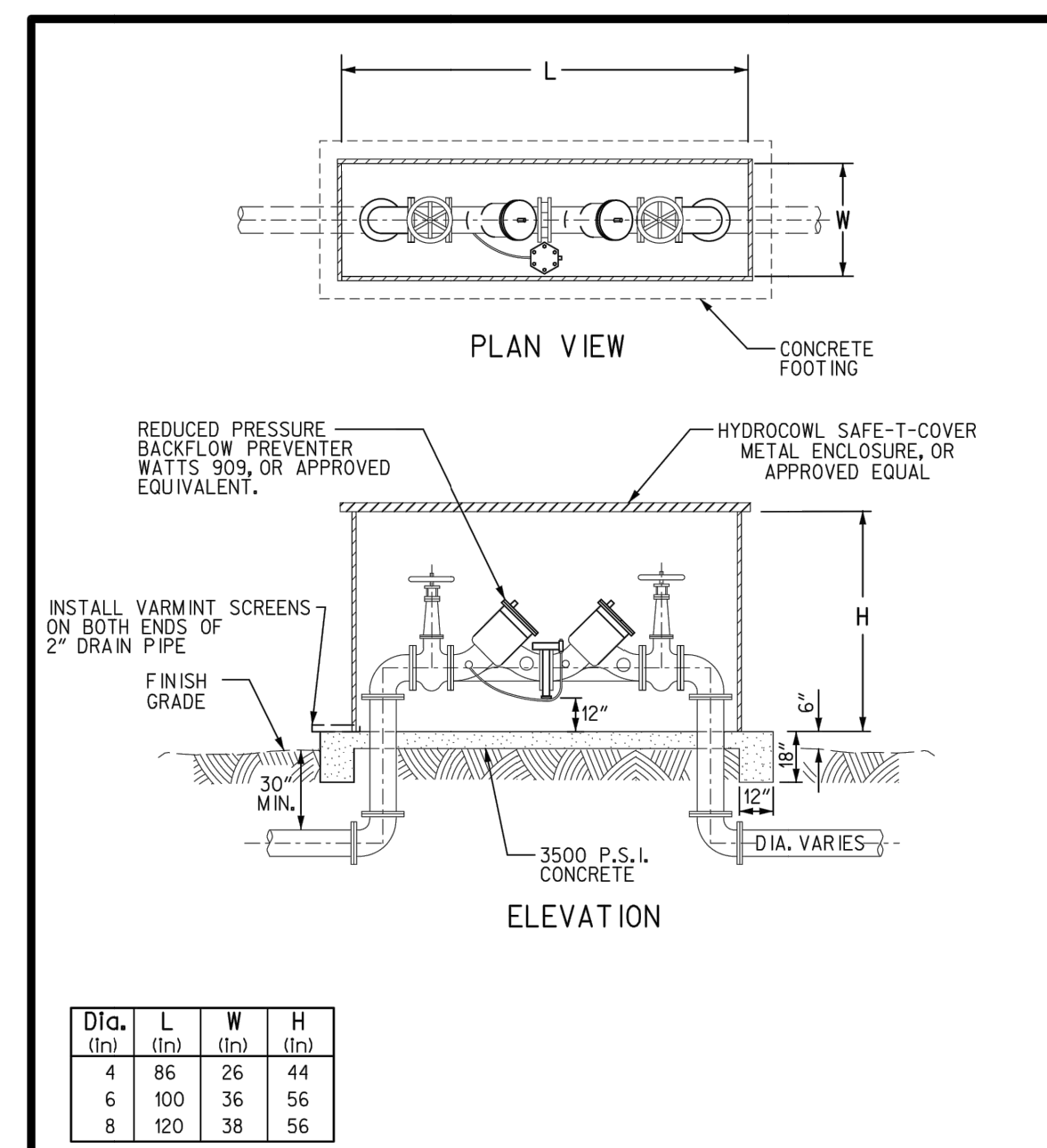
OUTLET PROTECTION
NOT TO SCALE



STANDARD DETAIL
WATER MANAGEMENT DEPARTMENT
CITY OF FRANKLIN, TENNESSEE
FIRE HYDRANT SETTING



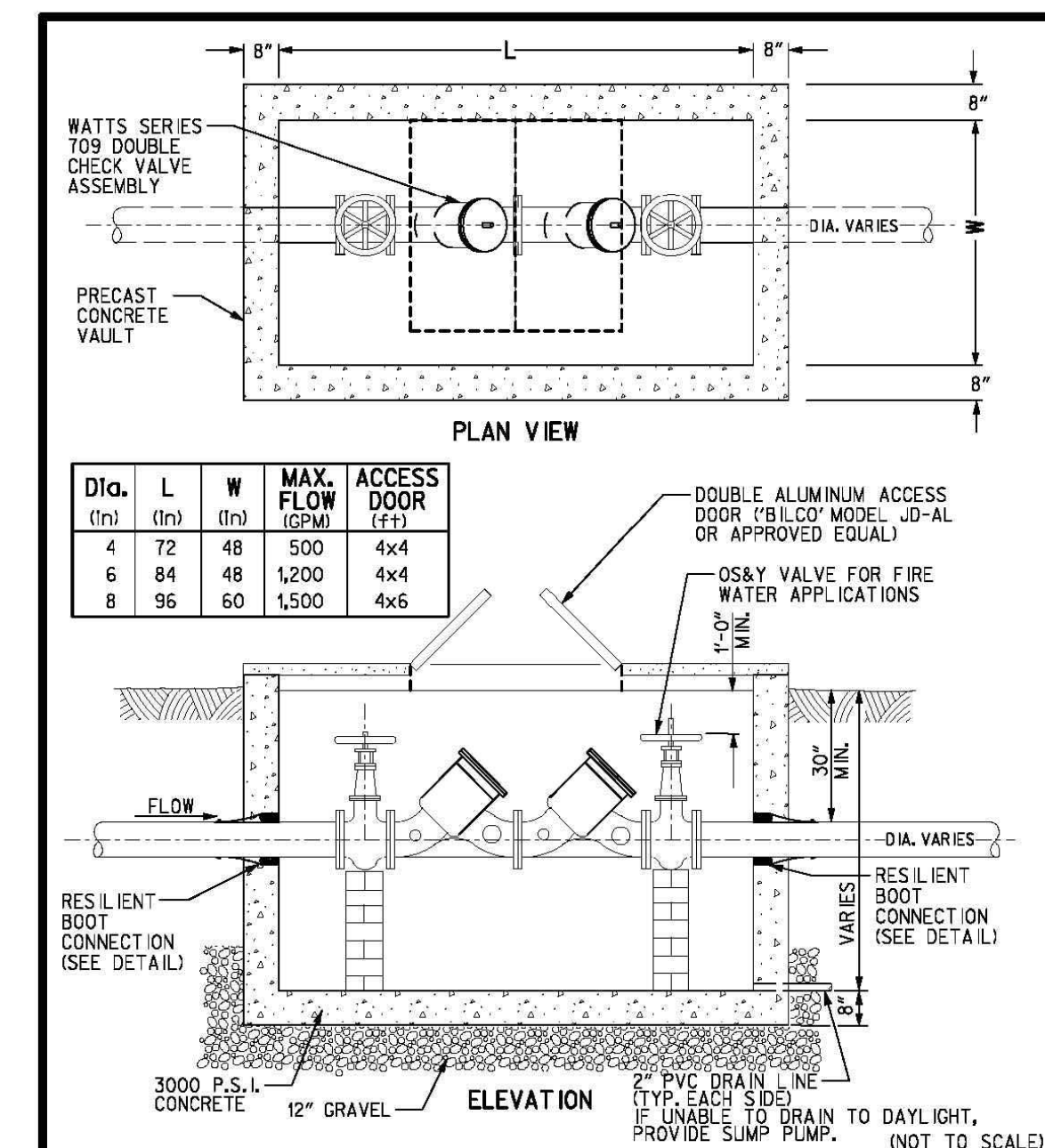
W - 2



STANDARD DETAIL
WATER MANAGEMENT DEPARTMENT
CITY OF FRANKLIN, TENNESSEE
REDUCED PRESSURE BACKFLOW
PREVENTER FOR 4" TO 8" LINES
(ABOVE GROUND)



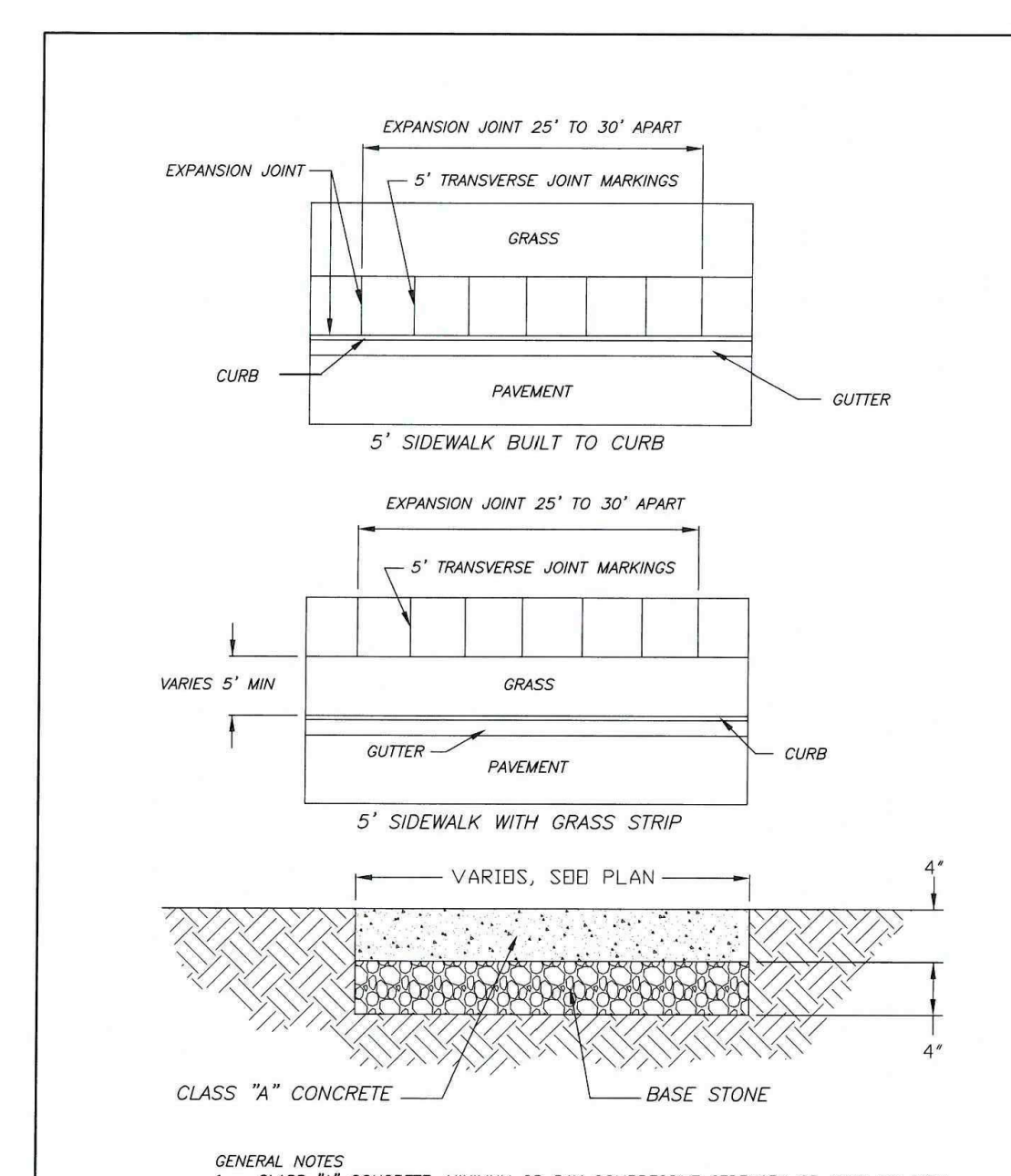
W - 4



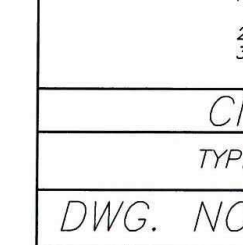
STANDARD DETAIL
WATER MANAGEMENT DEPARTMENT
CITY OF FRANKLIN, TENNESSEE
DOUBLE CHECK VALVE ASSEMBLY
FOR 4" TO 8" LINES (BELOW GROUND)



W - 6



STANDARD DETAIL
WATER MANAGEMENT DEPARTMENT
CITY OF FRANKLIN, TENNESSEE
TYPICAL 5" CONCRETE SIDEWALK



W - 6



LAND SOLUTIONS
2825 Berry Hill Drive, Nashville, TN 37204

DOWNNS BOULEVARD SUBDIVISION
SITE PLAN
LOTS 19 & 20, REVISION 3
BEING PARCEL 1.00 ON TAX MAP 780B
354 DOWNS BOULEVARD
CITY OF FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

ISSUANCE/REVISION NOTES
- PLAN DATE: FEBRUARY 2, 2016

A	NONE
B	NONE
C	NONE
D	NONE

SITE DETAILS
C6.1

MATERIAL SPECIFICATION

SC250

The composite turf reinforcement mat (C-TRM) shall be a machine-produced mat of 70% straw/30% coconut fiber matrix incorporated into a permanent three-dimensional turf reinforcement matting.

The matrix shall be evenly distributed across the entire width of the matting and stitch bonded between a heavy duty UV stabilized bottom net with 0.50 x 0.50 inch (1.27 x 1.27 cm) openings, an ultra heavy duty UV stabilized, dramatically corrugated (crimped) intermediate netting with 0.50 x 0.50 inch (1.27 x 1.27 cm) openings, and covered by a heavy duty UV stabilized top net with 0.50 x 0.50 inch (1.27 x 1.27 cm) openings. The middle corrugated netting shall form prominent closely spaced ridges across the entire width of the mat. The three nettings shall be stitched together on 1.50 inch (3.81 cm) centers with UV stabilized polypropylene thread to form a permanent three-dimensional turf reinforcement matting.

The SC250 shall meet requirements established by the Erosion Control Technology Council (ECTC) Specification and the U.S. Department of Transportation, Federal Highway Administration's (FHWA) *Standard Specifications For Construction of Roads and Bridges on Federal Highway Projects, FP-03 2003 Section 713.18 as a Type 5A, B, and C Permanent Turf Reinforcement Mat.*

Installation staple patterns shall be clearly marked on the turf reinforcement matting with environmentally safe paint. All mats shall be manufactured with a colored thread stitched along both outer edges (approximately 2-5 inches [5-12.5 cm] from the edge) as an overlap guide for adjacent mats.

The composite turf reinforcement mat shall be the North American Green SC250, or equivalent. The SC250 permanent composite turf reinforcement mat shall have the following physical properties:

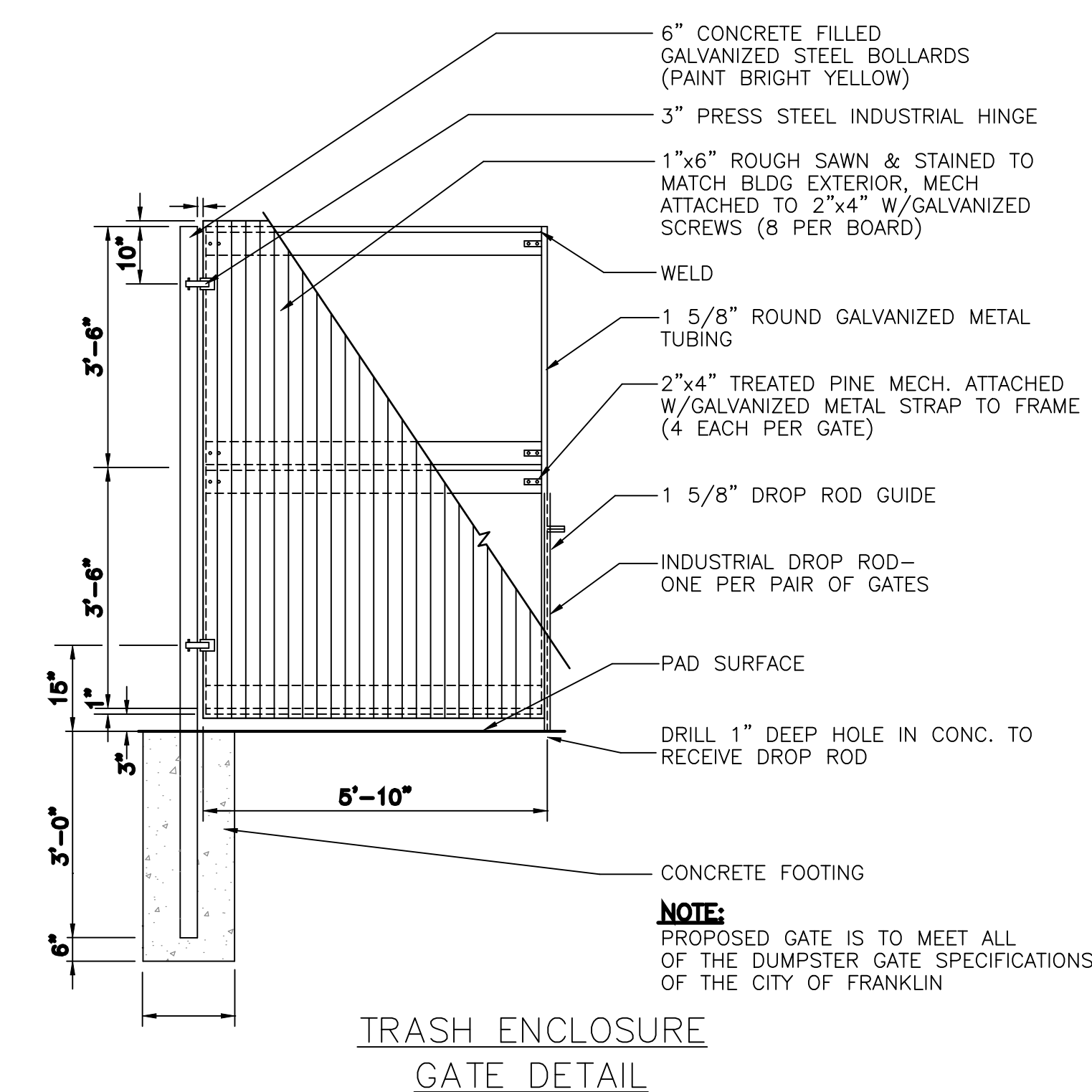
Material Content	
Matrix	70% Straw Fiber (0.35 lb/yd ²) (0.19 kg/m ²) 30% Coconut Fiber (0.15 lb/yd ²) (0.08 kg/m ²)
Netting	Top and Bottom - Heavy Duty UV Stabilized Polypropylene (5.0 lbs/1,000 ft ² [2.44 kg/100 m ²] approximate weight) Mid - Corrugated Ultra Heavy Duty UV Stabilized Polypropylene (24 lb/1,000 ft ² [11.7 kg/100 m ²] approximate weight)
Thread	UV Stabilized Polypropylene

SC250 is Available with the Following Physical Specifications Per Roll [English Units (Metric Units)]

Width	6.50 ft (2.00 m)
Length	55.50 ft (16.90 m)
Weight ± 10%	34.00 lbs (15.42 kg)
Area	40.00 yd ² (33.40 m ²)

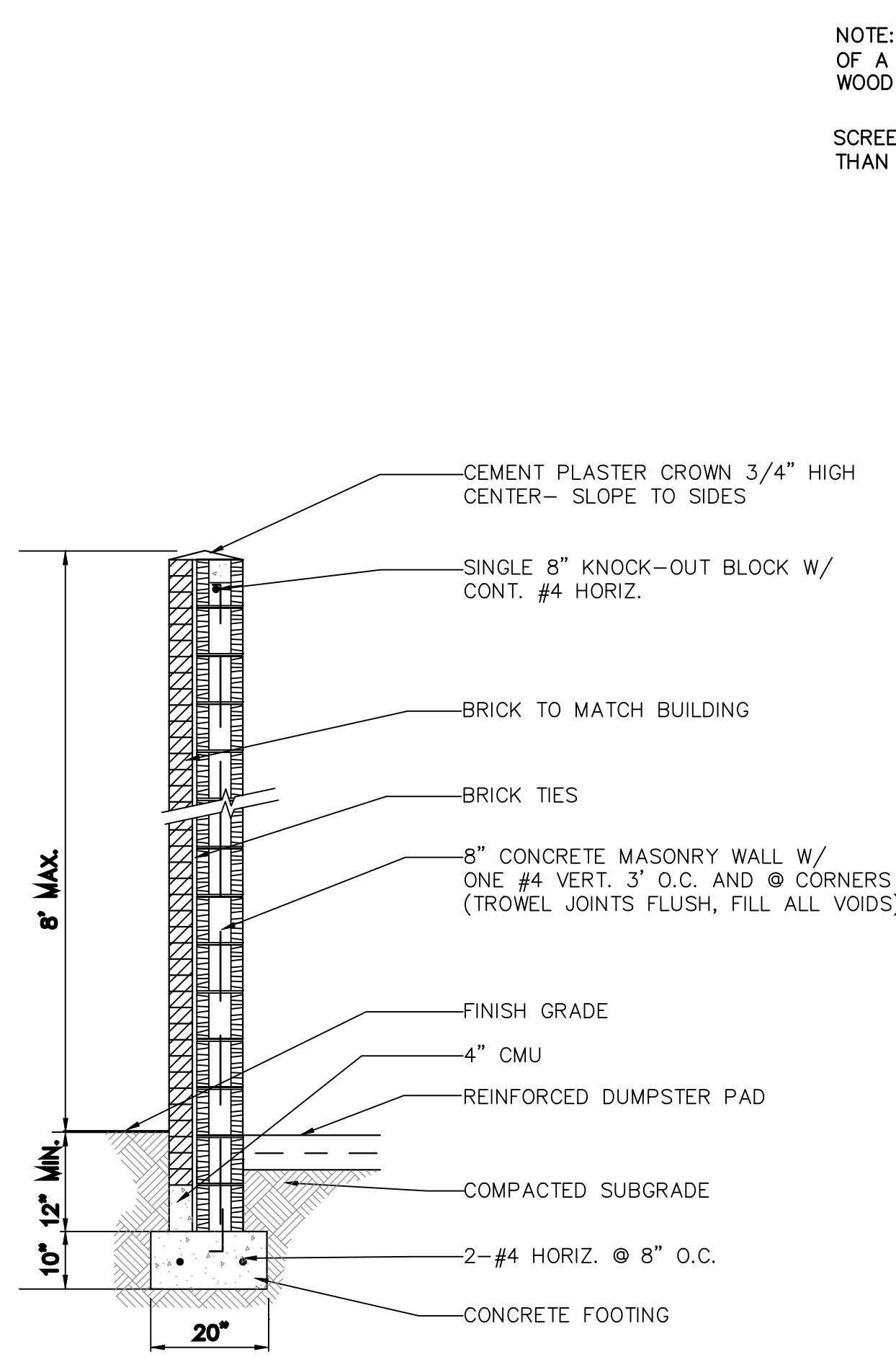
Stitch Spacing for All Rolls = 1.50 inches (3.81 cm)

Updated 1/2004



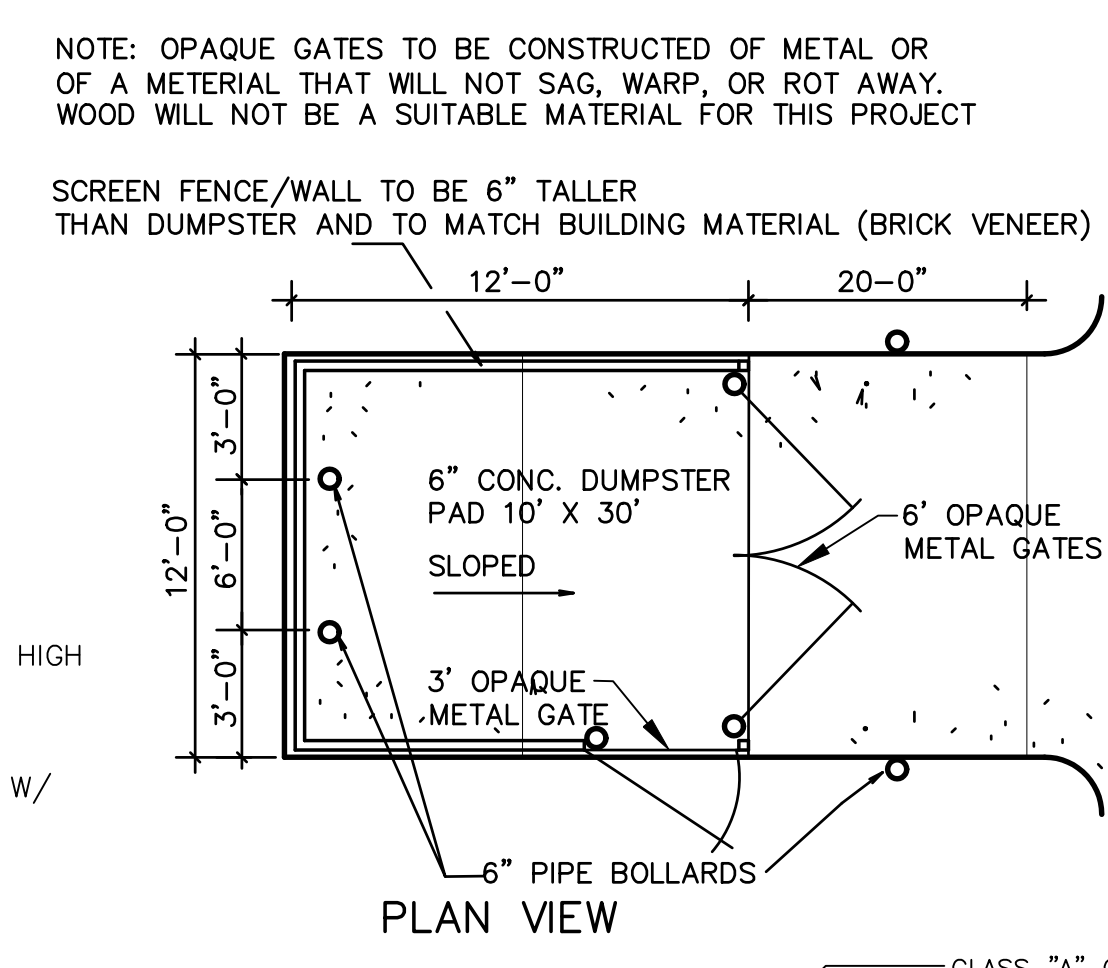
TRASH ENCLOSURE
GATE DETAIL

NOT TO SCALE



BRICK DUMPSTER WALL SECTION

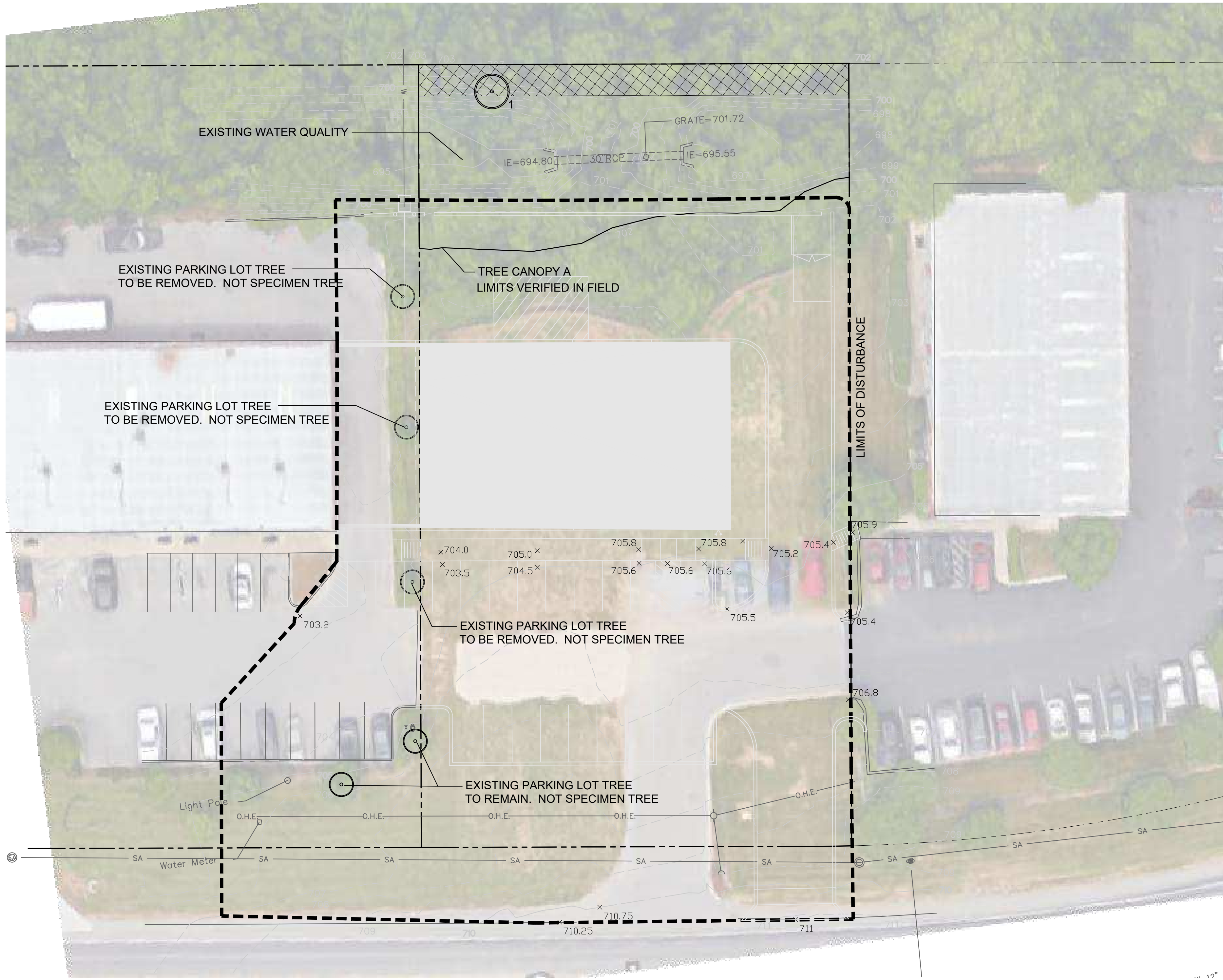
NOT TO SCALE



CONCRETE DUMPSTER PAD

NOT TO SCALE





SITE DATA:

PROJECT NAME:	336 DOWNS BOULEVARD PROJECT
PROJECT #:	6336
SITE ACREAGE:	0.78 AC (34,040 SF)
SITE ZONING:	L1 - LIGHT INDUSTRIAL
CHARACTER AREA OVERLAY:	SOCCO-1
OTHER APPLICABLE OVERLAYS:	NONE
DEVELOPMENT STANDARD:	CONVENTIONAL
MINIMUM REQUIRED LSA:	0.20 (8,795 SF)
PROVIDED LSA:	0.29 (9,897 SF)
EXISTING TREE CANOPY:	7,012 SF (21% OF TOTAL SITE)
REQUIRED TREE CANOPY PRESERVATION:	1,052 SF (15% OF CANOPY)
PROVIDED TREE CANOPY PRESERVATION:	1,369 SF (20% OF CANOPY)
SPECIMEN TREES REMOVED:	0 TREES

SPECIMEN TREES

NUMBER	TYPE	SIZE-DBH	HEALTH	STATUS
1	OAK	30	FAIR	RETAINED
TOTAL SPECIMEN INCHES REMOVED:		0		
TOTAL HEALTHY INCHES REMOVED:		0		
REPLACEMENT REQUIRED:		0 INCHES		

TREE CANOPY RETENTION

TREE CANOPY	EXISTING	REMOVED	RETAINED
A	7,012 SF	1,714 SF	5,298 SF
TOTAL SF	7,012 SF	5,643 SF	1,369 SF
TOTAL ACRES	0.16 AC	0.13 AC	0.03 AC

TREE CANOPY DATA

EXISTING TREE CANOPY: 7,012 SF
 7,012 SF / 34,040 SF = .21 (21%) OF TOTAL SITE
 REQUIRED CANOPY PRESERVATION = 15% OF TOTAL CANOPY
 7,012 SF * 15% = 1,052 SF (0.02 AC)
 PROVIDED CANOPY PRESERVED = 1,369 SF (20%) OF TOTAL EXISTING CANOPY

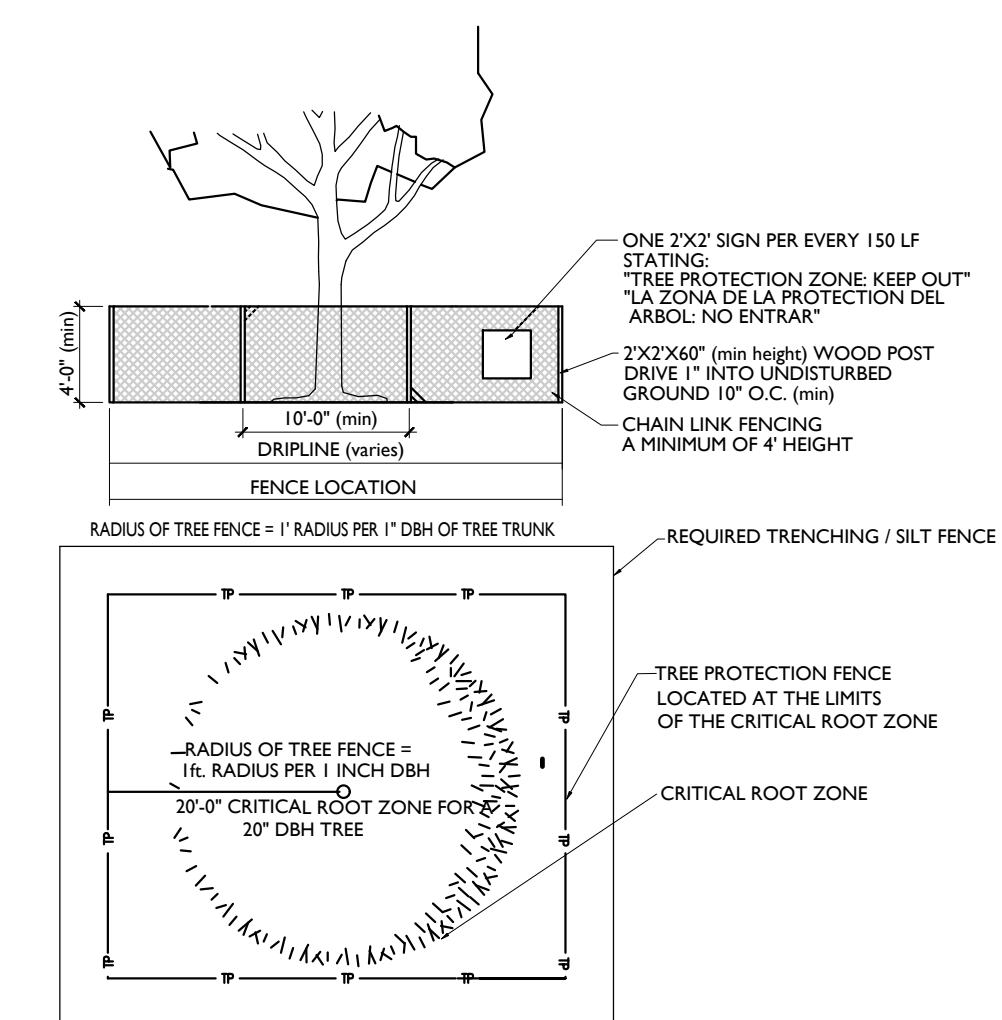
NOTE: IT IS NOT THE INTENTION TO CLEAR CUT THE TREE CANOPY FROM THE WATER QUALITY AREA. HOWEVER, SINCE SOME TREE REMOVAL MAY OCCUR IN THE MICROPOOL AREA, WE HAVE NOT INCLUDED THIS CANOPY IN THE PRESERVATION AREA.

KEY:

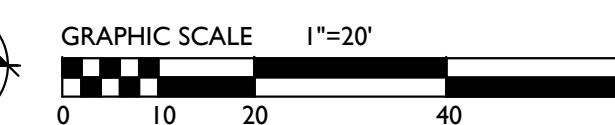
- SPECIMEN TREE
- TREE PRESERVATION AREA

TREE PROTECTION NOTES:

- The tree protection barriers shall be constructed before the issuance of any permits, and shall remain intact throughout the entire period of construction.
- The tree protection barrier shall be installed as labeled on this plan or a distance to the radius of the dripline, whichever is greatest, as measured from the trunk of the protected tree.
- Any required excavation in or around the protection zone to accommodate underground services, footings, etc., shall be indicated on the plan, and shall be excavated by hand. In addition, related root pruning shall be accomplished via ANSI A-300-95 standard so as to minimize impact on the general root system.
- The storage of building materials or stock piling shall not be permitted within the limits of or against the protection barriers.
- Trees within the protection barriers must be adequately cared for throughout the construction process (i.e., they must be watered sufficiently). Fill shall not be placed upon the root system as to endanger the health or life of the affected tree.



CONTRACTORS RESPONSIBILITY TO ACQUIRE TREE REMOVAL PERMITS
TREE PROTECTION FENCING DETAIL



336 DOWNS BOULEVARD
SITE PLAN
 PARCEL 10.00 ON TAX MAP 0780
 FRANKLIN, TENNESSEE



ISSUED: JANUARY 9, 2017

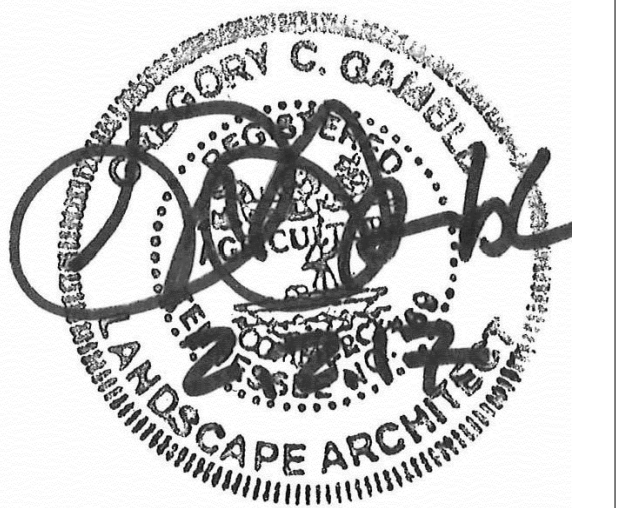
Revision	Date
△ 2.2	2017
△	
△	
△	

TREE PRESERVATION PLAN

SHEET
L1.0

COF # 6336

336 DOWNS BOULEVARD
SITE PLAN
 PARCEL 10.00 ON TAX MAP 0780
 FRANKLIN, TENNESSEE



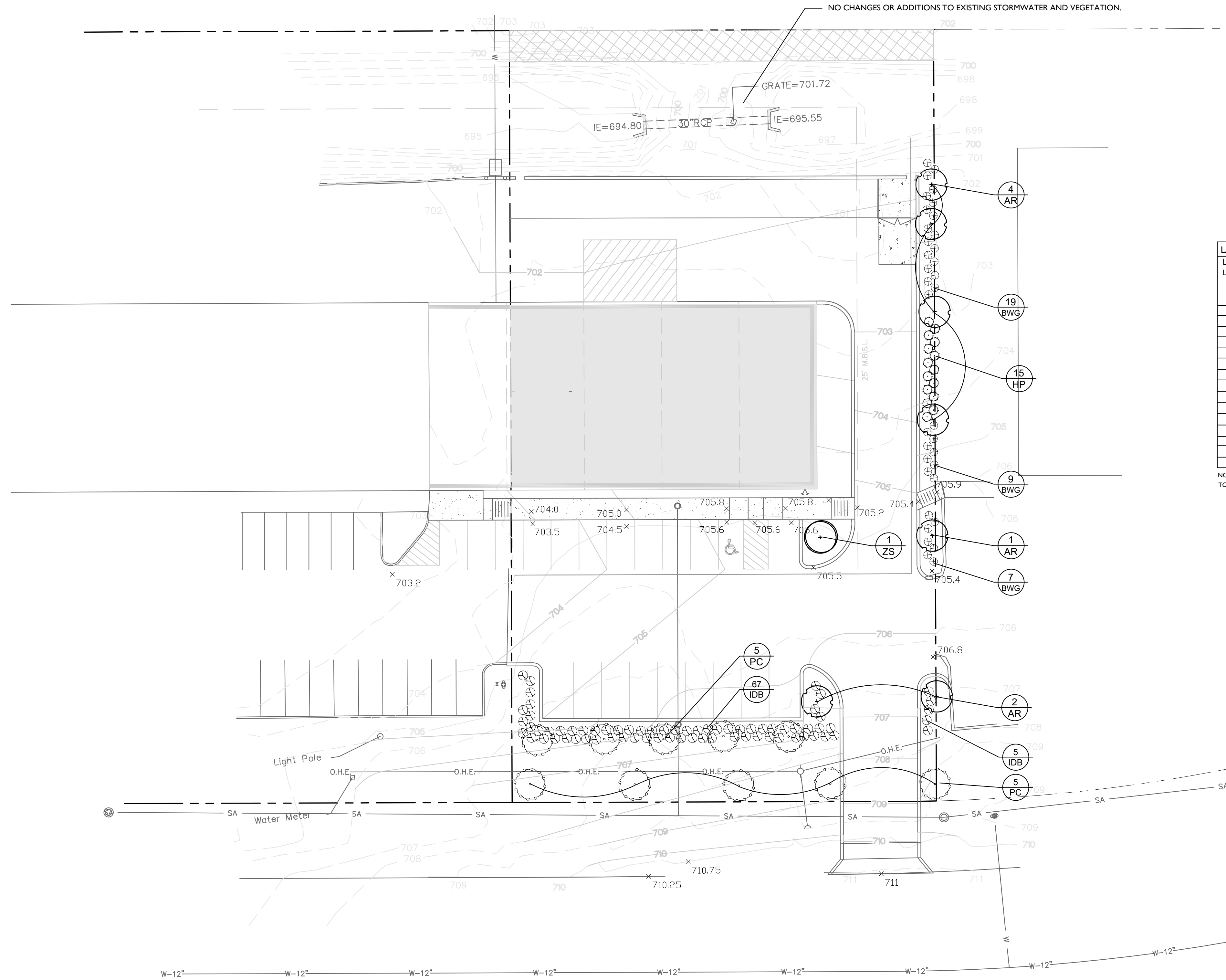
ISSUED: JANUARY 9, 2017

Revision	Date
△ 2	2.2.2017
△	
△	
△	

LANDSCAPE PLAN
SHEET
L2.0
 COF # 6336

SITE DATA:

PROJECT NAME:	336 DOWNS BOULEVARD PROJECT
PROJECT #:	XXXX
SITE ACREAGE:	0.78 AC (34,040 SF)
SITE ZONING:	LI - LIGHT INDUSTRIAL
CHARACTER AREA OVERLAY:	SOCCO-1
OTHER APPLICABLE OVERLAYS:	NONE
DEVELOPMENT STANDARD:	CONVENTIONAL
MINIMUM REQUIRED LSA:	0.20 (8,795 SF)
PROVIDED LSA:	0.29 (9,897 SF)
EXISTING TREE CANOPY:	7,012 SF (21% OF TOTAL SITE)
REQUIRED TREE CANOPY PRESERVATION:	1,062 SF (15% OF CANOPY)
PROVIDED TREE CANOPY PRESERVATION:	1,389 SF (20% OF CANOPY)
SPECIMEN TREES REMOVED:	0



LANDSCAPE REQUIREMENTS: (ACI)	QUANTITY PROVIDED		INCHES PROVIDED
	EXISTING TREES	PROPOSED	
LSR REQUIRED: 0.20			
LSR PROVIDED: 0.29			
CANOPY (82' PER AC) = 24'			
UNDERSTORY (21' PER AC) = 6'			
SHRUBS (96 PER AC) = 28			
EXISTING TREES (SEE TREE INVENTORY)	-	-	-
4" CALIPER CANOPY TREES	-	-	-
3" CALIPER CANOPY TREES	8	-	24
2" CALIPER CANOPY TREES	-	-	-
AGGREGATE CANOPY CALIPER INCHES PROVIDED:			24
AGGREGATE CANOPY CALIPER INCHES REQUIRED:			24
2" CALIPER UNDERSTORY TREES	10	-	20
1.5" CALIPER UNDERSTORY TREES	-	-	-
AGGREGATE UNDERSTORY CALIPER INCHES PROVIDED:			20
AGGREGATE UNDERSTORY CALIPER INCHES REQUIRED:			6
MINIMUM 18" HEIGHT SHRUBS	-	-	-
MINIMUM 30" HEIGHT SHRUBS	122	-	122
TOTAL SHRUBS PROVIDED:			122
TOTAL SHRUBS REQUIRED:			28

NOTE: STREET TREES AND PARKING LOT TREES ARE REQUIRED TO BE UNDERSTORY DUE TO THE OVERHEAD LINE AND EASEMENT.

MINIMUM BUFFER/SCREENING REQUIREMENTS:
 HVAC units, cooling and/or mechanical equipment are mounted on the:
 Rooftop
 Ground

THIS DEVELOPMENT IS REQUIRED TO HAVE THE FOLLOWING LANDSCAPE IMPROVEMENTS:

Buffer/Screen Type:	Purpose:
<input type="checkbox"/> Foundation Planting	Along primary facade
<input checked="" type="checkbox"/> Perimeter Planting Strip	Screen "UJAs" and to create "modules"
<input checked="" type="checkbox"/> Utility Box Screen from view	Screen Utility Boxes and Meters from view
<input checked="" type="checkbox"/> HVAC Screen	Screen HVAC from view
<input checked="" type="checkbox"/> Dumpster Screen	Screen dumpster from view
<input checked="" type="checkbox"/> Street Trees	Spatial definition/environmental mitigation

ATTENTION OWNER/INSTALLER:
 This landscape plan has been designed to meet the minimum requirements of the City of Franklin zoning ordinance, the approval of the planning commission, and planning department policy. Relocating, substituting, resizing, reducing, or deleting material may cause the site to no longer conform to the requirements; thus problems may arise with releasing the performance/maintenance surety for the landscape material. Deviation from the approved landscape plan shall not be made without first consulting the Landscape Architect who designed the project. The designing Landscape Architect shall review proposed substitutions to ensure that all City standards and requirements are met. The City shall be notified in writing upon final approval of any plant substitutions.

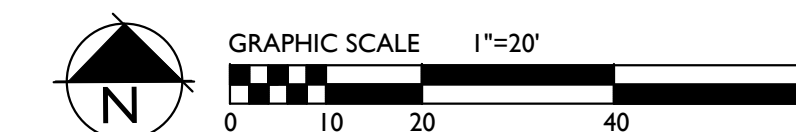
Applicant: Lynn Esley, Land Solutions Company 615.969.9202
 Landscape Architect: Greg Gamble 615.975.5765
 Franklin Planning Department: 615.791.3212

AFTER INSTALLATION LANDSCAPE WILL BE MAINTAINED BY:
 Ken Nimmons
 708 Azalea Court
 Franklin, TN 37064

Landscape Architecture Provided by:
 Gamble Design Collaborative, LLC
 Greg Gamble, RLA
 144 Southeast Parkway, Suite 200
 Franklin, Tennessee 37064
 615.975.5765
 greggamble209@gmail.com

REQUIRED PLANT MATERIAL

QTY	SYM	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	LEAF	SPACING	NOTES
CANOPY TREES								
7	AR	ACER RUBRUM 'AUTUMN FLAME'	AUTUMN FLAME RED MAPLE	3" CAL, B/B	12'-14'	DECIDUOUS	AS SHOWN	CENTRAL LEADER
1	ZS	ZELKOVA SERRATA 'VILLAGE GREEN'	VILLAGE GREEN JAPANESE ZELKOVA	3" CAL, B/B	12'-14'	DECIDUOUS	AS SHOWN	BALANCED CANOPY
UNDERSTORY TREES								
10	PC	PRUNUS CERASIFERA	PURPLE LEAF PLUM	2" CAL, B/B	6'-8'	DECIDUOUS	AS SHOWN	BALANCED CANOPY
SHRUBS								
35	BWG	BUXUS SINICA VAR. INSULARIS	WINTERGREEN BOXWOOD		30" X 24"	EVERGREEN	36" O.C.	
15	HP	HYDRANGEA PANICULATA 'LIMELIGHT'	LIMELIGHT HYDRANGEA		30" X 24"	DECIDUOUS	36" O.C.	
72	IDB	ILEX CORNUTA 'DWARF BURFORD'	DWARF BURFORD HOLLY		30" X 24"	EVERGREEN	36" O.C.	



CITY OF FRANKLIN LANDSCAPE NOTES:

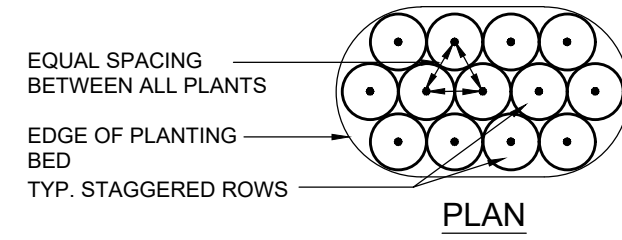
1. ANY PLANT MATERIAL THAT DIES, TURNS BROWN OR DEFOLIATES SHALL BE REPLACED WITHIN ONE YEAR OR BY THE NEXT GROWING SEASON, WHICH EVER COMES FIRST. OTHER DEFECTIVE LANDSCAPE MATERIAL SHALL BE REPLACED WITHIN THREE MONTHS.
2. ALL TREES SHALL MEET FRANKLIN'S MINIMUM SIZE AND QUALITY STANDARDS. ALL PLANTS SHALL BE HEALTHY, VIGOROUS MATERIAL, FREE OF PEST AND DISEASE. ALL ROOTBALLS, CONTAINERS, AND HEIGHT TO WIDTH RATIOS SHALL CONFORM TO THE SIZE STANDARDS SET FORTH IN THE AMERICAN STANDARDS FOR NURSERY STOCK, CURRENT EDITION.
3. ALL REQUIRED TREES AND SHRUBS SHALL MEET THE MINIMUM SIZE AND QUANTITY AS LISTED IN THE PLANT SCHEDULE.
4. PLANT MATERIAL SHALL NOT OBSCURE TRAFFIC OR PARKING SIGNS/SIGNALS OR VEHICULAR SIGHT LINES.
5. TREE TOPPING IS NOT PERMITTED.
6. ADDITIONAL SCREENING MAY BE REQUIRED IF THE INSPECTION FOR THE RELEASE OF THE PERFORMANCE SURETY REVEALS THAT THE REQUIRED SCREENING IS NOT EFFECTIVE.
7. ALL REQUIRED TREE PROTECTION FENCING SHALL BE INSTALLED AND INSPECTED BY THE CODES DEPARTMENT PRIOR TO LAND DISTURBING ACTIVITIES.
8. ANY SITE OR LANDSCAPE CHANGES (INCLUDING BUT NOT LIMITED TO A CHANGE IN DESIGN, A REDUCTION IN SIZE OR NUMBER OF PLANT MATERIAL, OR THE RELOCATION OF OVERHEAD OR UNDERGROUND UTILITIES) SHALL REQUIRE A REVISED LANDSCAPE PLAN TO BE SUBMITTED AND APPROVAL PRIOR TO THE LANDSCAPE INSTALLATION.
9. EXISTING TREES ACCEPTED IN PARTIAL COMPLIANCE OF THE LANDSCAPE REQUIREMENTS FOR THIS SITE SHALL BE ACCESSIBLE AND FLAGGED PRIOR TO ALL LANDSCAPE INSPECTIONS.
10. ANY EXISTING TREE, SHOWN AS BEING PRESERVED ON APPROVED PLANS THAT IS REMOVED, DIES OR IS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED AS REQUIRED IN THE ZONING ORDINANCE.
11. SCREENING PROPOSED AROUND ANY UTILITY BOX OR TRANSFORMER IS REQUIRED TO BE EVERGREEN AND ADEQUATELY SCREEN THE OBJECT. THE PROPOSED EVERGREEN PLANT MATERIAL SHALL BE REPLACED IF IT IS NOT OF A HEIGHT SUFFICIENT TO SCREEN THE OBJECT.
12. ALL PLANT MATERIAL SHALL BE FROM THE FRANKLIN PLANT LIST UNLESS PRIOR APPROVAL IS RECEIVED FROM THE CITY.
13. ALL TREE-PROTECTION FENCING SHALL BE IN PLACE PRIOR TO THE ISSUANCE OF A GRADING PERMIT AND SHALL BE MAINTAINED IN GOOD WORKING ORDER UNTIL ALL CONSTRUCTION ACTIVITY IS COMPLETED. ANY REQUIRED EROSION CONTROL MEASURES SHALL BE PLACED OUTSIDE OF ANY TREE PROTECTION FENCING.
14. TOP SOIL USED IN ALL LANDSCAPE AREAS SHALL BE SCREENED PRIOR TO DEPOSITION IN PLANTING AREAS AND ISLANDS.
15. ANY PLANT MATERIAL LOCATED ADJACENT TO A PARKING AREA SHALL BE PLANTED SO AS TO ALLOW FOR A TWO AND A HALF FOOT VEHICULAR BUMPER OVERHANG FROM THE FACE OF CURB TO THE EDGE OF THE MATURE ADJACENT PLANT MATERIAL.
16. THE OWNER ACKNOWLEDGES THAT PLANTING LANDSCAPE MATERIAL IN A DEDICATED EASEMENT DOES NOT WAIVE OR MODIFY THE CITY OF FRANKLIN'S RIGHTS AS THE EASEMENT HOLDER. THE OWNER UNDERSTANDS THAT THE CITY OF FRANKLIN, ITS AUTHORIZED CONTRACTOR OR APPLICABLE PRIVATE UTILITY MAY AT ANY TIME AND FOR ANY REASON PERFORM WORK WITHIN THE DEDICATED EASEMENT. THE CITY, ITS AUTHORIZED CONTRACTOR OR APPLICABLE PRIVATE UTILITY SHALL HAVE NO LIABILITY TO THE OWNER FOR ANY DAMAGE TO THE LANDSCAPE MATERIAL IN THE EASEMENT WHEN SAID DAMAGE IS DUE TO WORK WITHIN THE EASEMENT. THE OWNER MAY BE HELD RESPONSIBLE FOR THE REMOVAL OF THE LANDSCAPE MATERIAL TO ENABLE WORK TO BE DONE. THE OWNER SHALL BE SOLELY RESPONSIBLE FOR ANY COST INCURRED IN REPAIRING AND/OR REPLACING THE REQUIRED LANDSCAPE MATERIAL.

LANDSCAPE PLANTING GENERAL NOTES

1. THE LANDSCAPE CONTACTOR SHALL BE RESPONSIBLE FOR CONFIRMING THE QUANTITIES OF ALL MATERIALS. THE QUANTIES ON THE PLAN SHALL TAKE PRECEDENCE OVER THE PLANT LIST.
2. SUBSTITUTIONS OF TYPE, SIZE, OR SPACING OF PLANTS MAY NOT BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER'S LANDSCAPE ARCHITECT, AND MAY RESULT IN THE RESUBMITTAL OF LANDSCAPE PLANS TO THE CITY OF FRANKLIN FOR APPROVAL PRIOR TO INSTALLATION.
3. ALL CONSTRUCTION ACTIVITY SHALL BE COORDINATED WITH TENNESSEE ONE CALL PRIOR TO DIGGING. ALL DAMAGE TO UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE PER UTILITY PROVIDER'S STANDARDS.
4. THE PLANT LIST SPECIFICATIONS PROVIDED WITHIN THE PLANT LIST FOR HEIGHT AND SIZE ARE MINIMUMS.
5. ALL PLANT BEDS SHALL BE RAKED AND CLEARED OF LARGE ROCKS. ALL LARGE DIRT CLOUDS SHALL BE PULVERIZED OR REMOVED PRIOR TO PLANTING.
6. ALL LARGE DIRT CLOUDS RESULTING FROM PLANTING SHALL BE PULVERIZED AND REMOVED PRIOR TO MULCHING.
7. PRE-EMERGENT HERBICIDE SHALL BE APPLIED AFTER INSTALLATION AND IMMEDIATELY PRIOR TO MULCHING.
8. ALL PLANT BEDS ARE TO BE MULCHED WITH A MINIMUM OF 4 INCHES OF SHREDDED PINE BARK. ALL ANNUAL BEDS SHALL BE MULCHED WITH A MINIMUM OF 2 INCHES OF SOIL CONDITIONER, PINE BARK FINES.
9. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL OR ANY DEFECTIVE WORKMANSHIP.
10. ALL SOD AREAS SHALL BE TILLED AND RAKED SMOOTH, WITH LARGE DIRT CLOUDS AND ROCKS REMOVED, PRIOR TO SOD INSTALLATION.
11. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL STAKING AND LAYOUT OF PLANT BEDS.
12. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE DRAINAGE OF ALL TREE AND SHRUB PITS. A PVC OR GRAVEL SUMP AT THE BASE OF THE TREE WELL MAY BE REQUIRED IN AREAS WHERE CLAY SOILS DO NOT ADEQUATELY DRAIN.
13. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT WHEN THE PLANT MATERIALS ARE AT THE JOB SITE FOR REVIEW PRIOR TO INSTALLATION.

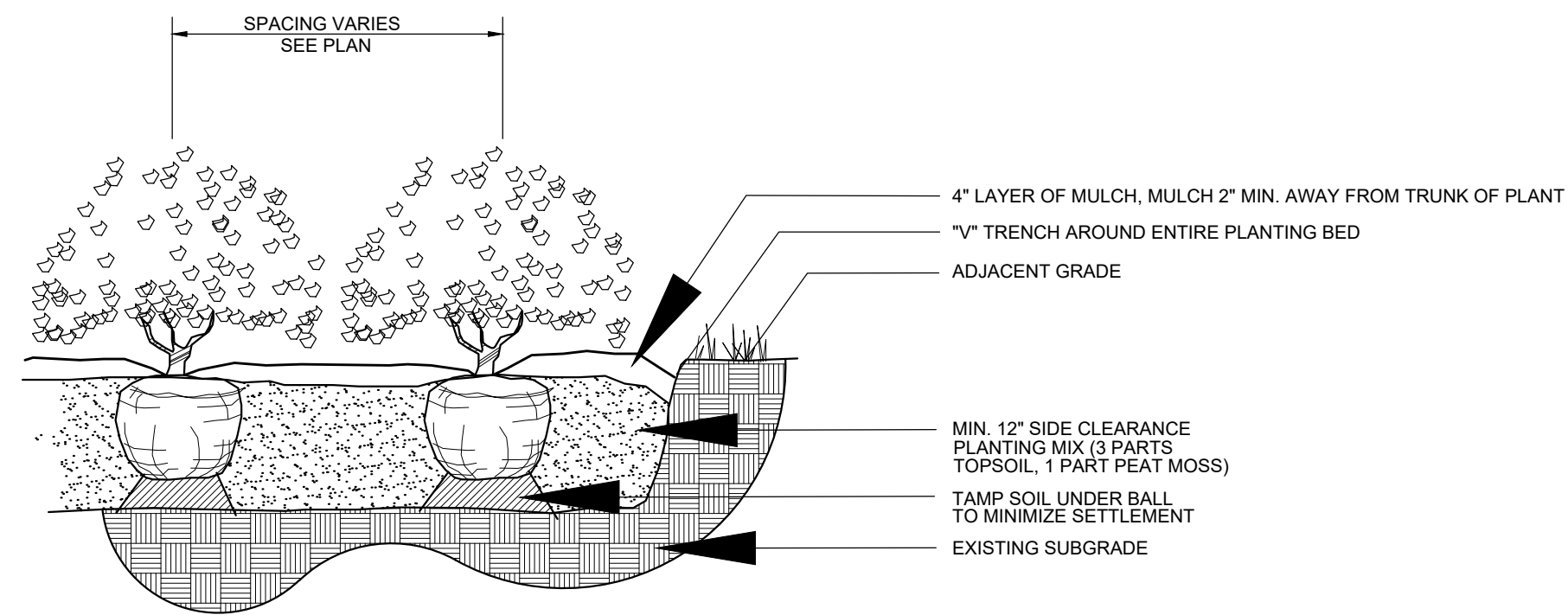
CITY OF FRANKLIN MINIMUM PLANT QUALITY AND SIZE STANDARDS

1. ALL NEWLY PLANTED LANDSCAPE PLANT MATERIALS SHALL CONFORM TO THE LATEST VERSIONS OF THE AMERICAN STANDARD OF NURSERY STOCK (ANSI Z60).
2. ALL TYPE 1, 2, AND 3 TREES (AS DEFINED IN ANSI Z60.1) USED TO MEET THE REQUIREMENTS OF THIS SUBSECTION SHALL HAVE THE FOLLOWING CHARACTERISTICS:
 - A. DECIDUOUS TREES SHALL HAVE ONE DOMINANT TRUNK WITH THE TIP OF THE LEADER ON THE MAIN TRUNK LEFT INTACT AND THE TERMINAL BUD ON THE CENTRAL LEADER AT THE HIGHEST POINT ON THE TREE.
 - B. TREES WITH FORKED TRUNKS ARE ACCEPTABLE IF ALL THE FOLLOWING CONDITIONS ARE MET:
 1. THE FORK OCCURS IN THE UPPER ONE-THIRD OF THE TREE.
 2. ONE FORK IS LESS THAN TWO-THIRDS OF THE TREE.
 3. THE TOP ONE-THIRD OF THE SMALLER FORK IS REMOVED AT THE TIME OF PLANTING.
 - C. NO BRANCH IS GREATER THAN TWO-THIRDS THE DIAMETER OF THE TRUNK DIRECTLY ABOVE THE BRANCH.
 - D. SEVERAL BRANCHES ARE LARGER IN DIAMETER AND OBVIOUSLY MORE DOMINANT.
 - E. BRANCHING HABIT IS MORE HORIZONTAL THAN VERTICAL AND NO BRANCHES ARE ORIENTED NEARLY VERTICAL TO THE TRUNK.
 - F. BRANCHES ARE EVENLY DISTRIBUTED AROUND THE TRUNK WITH NO MORE THAN ONE MAJOR BRANCH LOCATED DIRECTLY ABOVE ANOTHER AND THE CROWN IS FULL OF FOLIAGE THAT IS EVENLY DISTRIBUTED AROUND THE TREE.



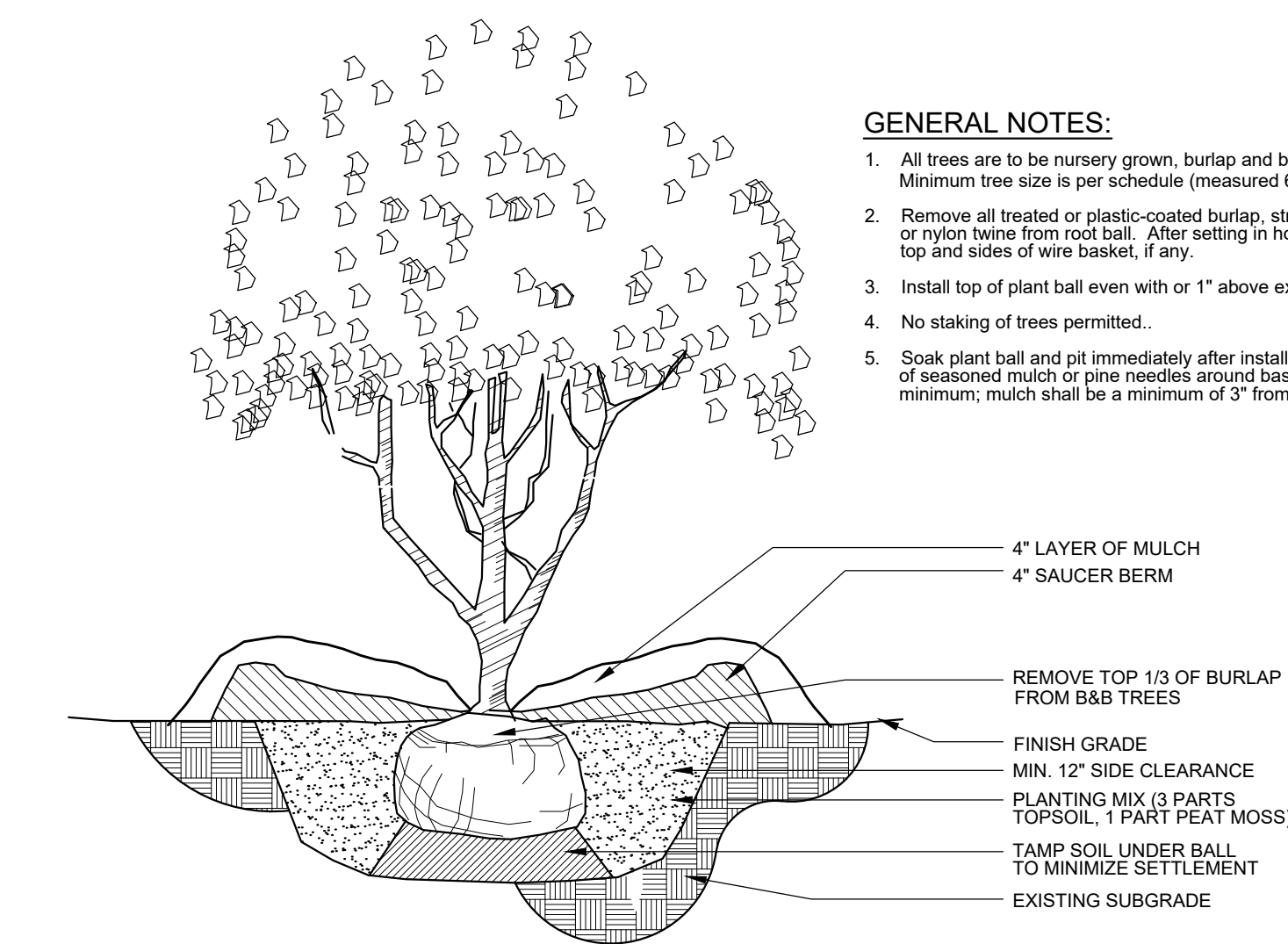
GENERAL NOTES:

1. Install top of plant ball shall be level with finished grade.
2. Tamp planting mix firmly as pit is filled around each plant ball.
3. Soak each plant ball and pit immediately after installation.
4. Cut and remove burlap from top 1/3 of root ball. Non-degradable burlap shall be removed or rolled under ball after replacement of plant.



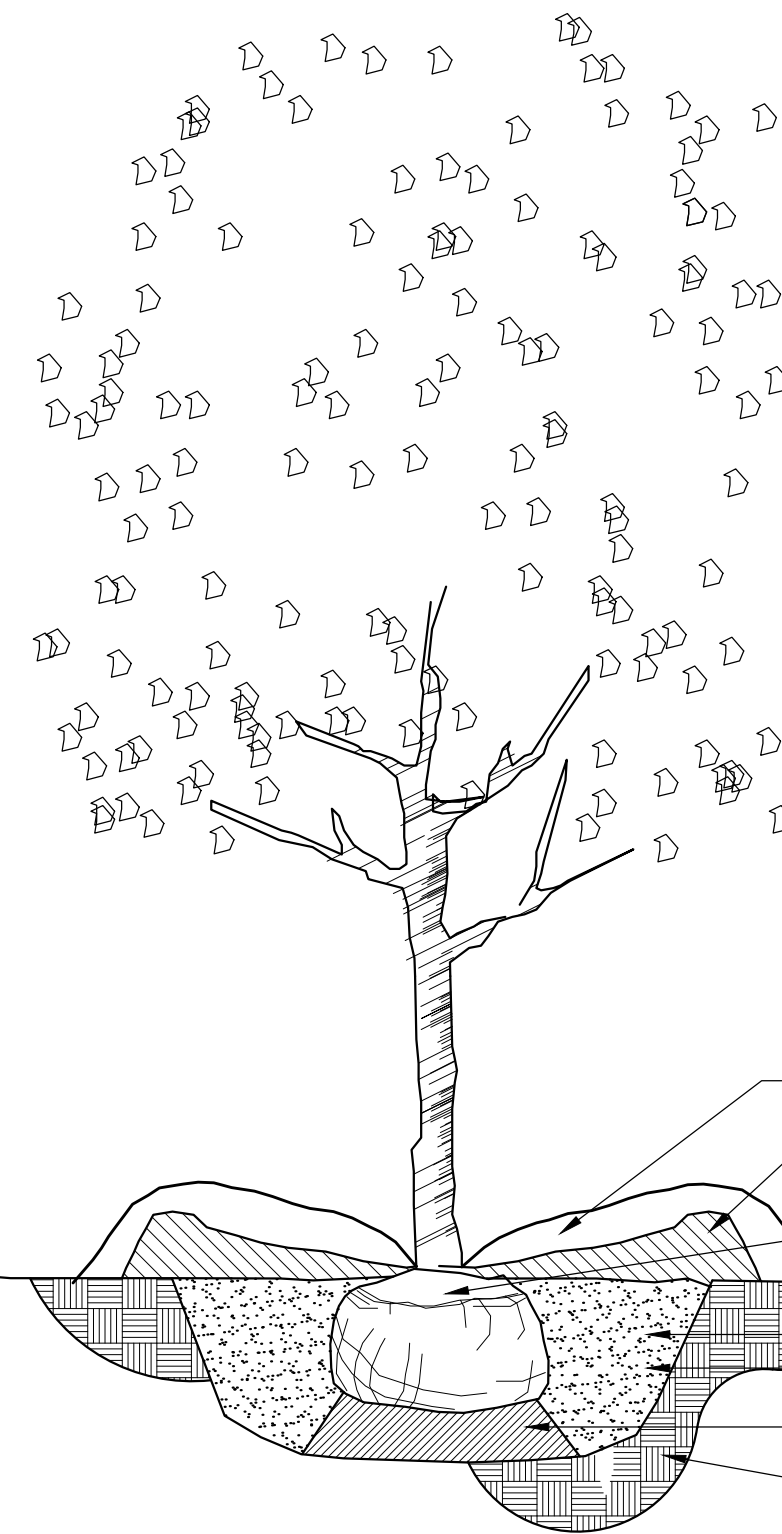
1 SHRUB PLANTING
L3.0 PLAN/ SECTION

DETAIL # NTS



2 UNDERSTORY TREE
L3.0 SECTION

DETAIL # NTS

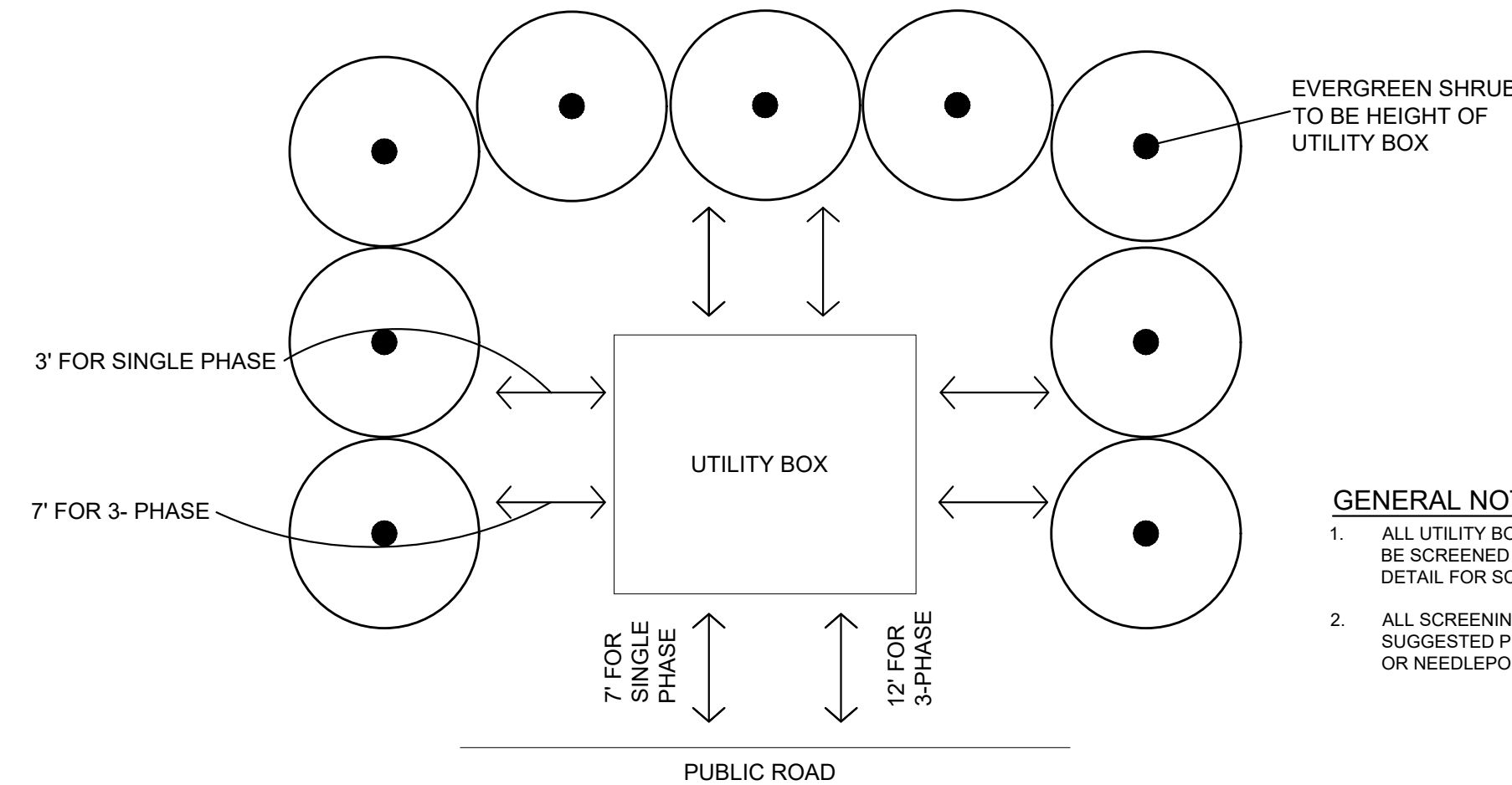


GENERAL NOTES:

1. All trees are to be nursery grown, burlap and ball (B&B). Minimum tree size is per schedule (measured 6" above root ball).
2. Remove all treated or plastic-coated burlap, strapping, wire or nylon twine from root ball. After setting in hole, cut away top and sides of wire basket, if any.
3. Install top of plant ball even with or 1" above existing grade.
4. No staking of trees permitted.
5. Soak plant ball and pit immediately after installation. Place 4-6" of seasoned mulch or pine needles around base of tree, 3' diameter minimum; mulch shall be a minimum of 3" from the trunk.

3 SINGLE TRUNK DECIDUOUS TREE
L3.0 SECTION

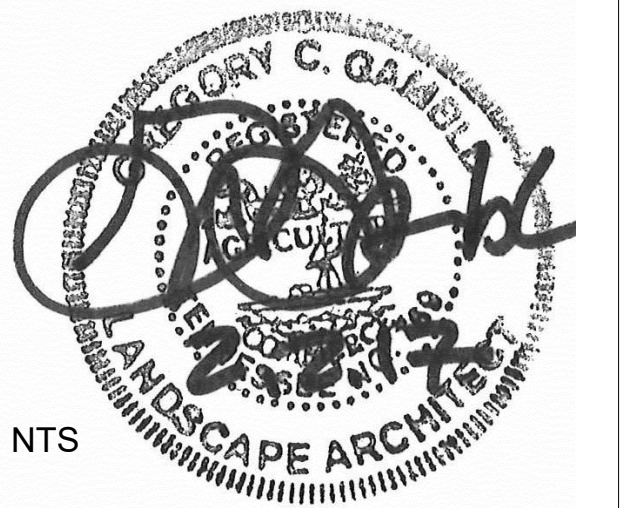
DETAIL # NTS



GENERAL NOTES:

1. ALL UTILITY BOXES AND METERS MUST BE SCREENED FROM VIEW. PLEASE USE THIS STANDARD DETAIL FOR SCREENING REQUIREMENTS.
2. ALL SCREENING PLAN MATERIAL SHALL BE EVERGREEN. SUGGESTED PLAN MATERIAL TO INCLUDE: INKBERRY HOLLY OR NEEDLEPOINT HOLLY.

4 UTILITY BOX SCREEN
L3.0



NTS

ISSUED: JANUARY 9, 2017

Revision Date

- △ 2.2.2017
- △
- △
- △



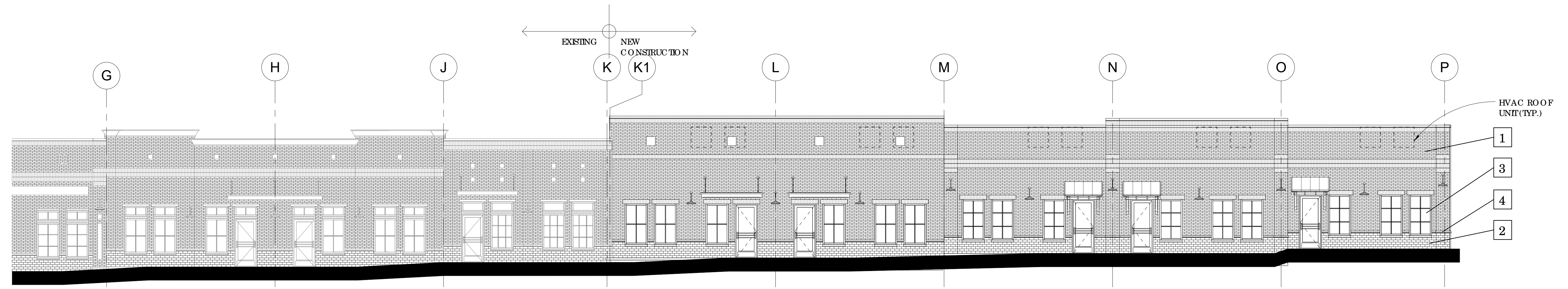
2016, 906 STUDIO ARCHITECTS, LLC. DRAWINGS AND DESIGN CONCEPTS SHALL NOT BE USED OR REPRODUCED IN WHOLE OR IN PART IN ANY FORM WITHOUT PRIOR WRITTEN CONSENT OF 906 STUDIO ARCHITECTS, LLC.

NO. DESCRIPTION DATE

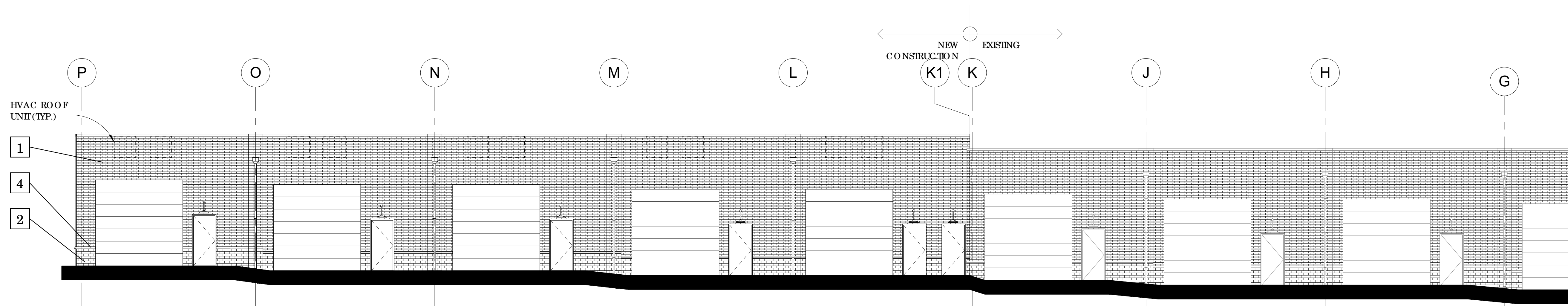
Project Number
16.1041

ELEVATIONS

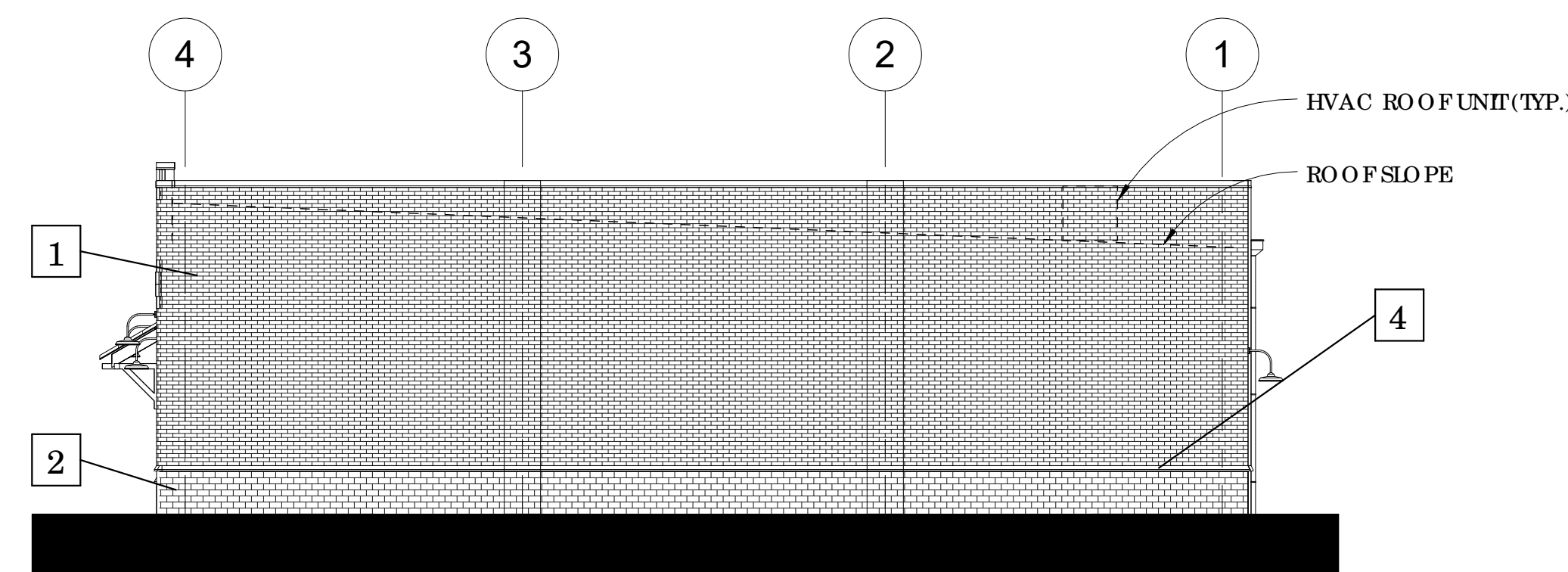
A1.0



1 FRONT ELEVATION
1/8" = 1'-0"
0' 4' 8' 16'



2 REAR ELEVATION
1/8" = 1'-0"
0' 4' 8' 16'



3 RIGHT SIDE ELEVATION
1/8" = 1'-0"
0' 4' 8' 16'

MATERIALS LEGEND

- 1 STANDARD BRICK
- 2 UTILITY BRICK
- 3 ALUM-C LAD, SIO REFRONT WINDOWS
- 4 PRE-CAST CONCRETE SILL

MATERIALS PROPORTION LEGEND

FRONT ELEVATION	SURFACE AREA	PERCENT OF NET
GROSS AREA OF WALL	2472 S.F.	N/A
NET AREA OF WALL	2072 S.F.	100%
NET STANDARD BRICK AREA	1812 S.F.	87.5%
NET UTILITY BRICK AREA	260 S.F.	12.5%

BACK ELEVATION	SURFACE AREA	PERCENT OF NET
GROSS AREA OF WALL	2378 S.F.	N/A
NET AREA OF WALL	1501 S.F.	100%
NET STANDARD BRICK AREA	1383 S.F.	92.1%
NET UTILITY BRICK AREA	118 S.F.	7.9%

RIGHT ELEVATION	SURFACE AREA	PERCENT OF NET
GROSS AREA OF WALL	1103 S.F.	N/A
NET AREA OF WALL	1103 S.F.	100%
NET STANDARD BRICK AREA	943 S.F.	85.5%
NET UTILITY BRICK AREA	160 S.F.	14.5%