

RESIDENTIAL DISTRICT (R-1)
RELIGIOUS USE

OPEN SPACE
TOTAL AREA - 12.26 ACRES = 64.11%

OFFICE BLDG 1 = 18,240 SF (0.42 AC)
OFFICE BLDG 2 = 18,240 SF (0.42 AC)
TOTAL OFFICE = 36,480 SF (0.84 AC)
TOTAL AREA = 118,108 SF (2.71 AC)

NOTE:
THERE SHALL BE NO CLEARING, GRADING, CONSTRUCTION, STORAGE,
OR DISTURBANCE OF VEGETATION ALLOWED IN THE STREAM BUFFER
EXCEPT PERMITTED BY THE CITY ENGINEER.

A PORTION OF THIS PROPERTY IS LOCATED WITHIN AN AREA ZONE AE AS SHOWN ON F.E.M.A. FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 47187C0205F, DATED SEPTEMBER 29, 2006 AND A PORTION OF THE PROPERTY IS LOCATED WITHIN AND AREA ZONE X AS SHOWN ON F.E.M.A. FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 47187C0205F DATED SEPTEMBER 29, 2006

NOTE:
SITE REFERENCES TENNESSEE STATE PLANE COORDINATE SYSTEM
ZONE 5301, FIPSZONE 4100: NAD83 DATUM

ORIGINAL DEVELOPMENT PLAN
NOT TO SCALE: FOR REFERENCE ONLY

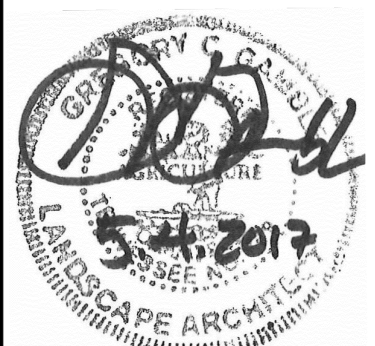


GDC
GAMBLE
DESIGN COLLABORATIVE
DEVELOPMENT PLANNING AND
LANDSCAPE ARCHITECTURE

BRANCH CREEK CROSSING
DEVELOPMENT PLAN, REVISION 2

Franklin, Williamson County, Tennessee

Franklin, Williamson County, Tennessee



ISSUED: April 10, 2017

Revision Date
 ① May 4, 2017
 △ _____
 △ _____
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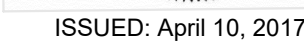
ORIGINAL
DEVELOPMENT PLAN

S H E E T
C O . 1

COF # 6410



Franklin, Williamson County, Tennessee



Revision Date
 1 May 4, 2017

S H E E T

S H E E T

010

010

(C)

(C)

COF # 6410

A parcel of land situated in the 8th Civil District in the City of Franklin in Williamson County Tennessee
and being more particularly described as follows:

Being all of Lot 3 of Plat Book 64 page 38 as recorded in the Registers Office of
Williamson County and
Containing 13.816 acres more or less

PROJECT NAME:	BRANCH CREEK CROSSING (PUD), DEVELOPMENT PLAN REVISION 2
PROJECT NUMBER:	6410
SUBDIVISION:	BRANCH CREEK CROSSING PUD
LOT NUMBER:	NA
ADDRESS:	574 & 580 FRANKLIN ROAD
CITY:	FRANKLIN
COUNTY:	WILLIAMSON
STATE:	TENNESSEE
CIVIL DISTRICT:	8TH CIVIL DISTRICT
MAP, GROUP, PARCEL NUMBERS:	MAP 53, PARCEL 75
EXISTING ZONING:	SD-X (2,540,536)
PROPOSED ZONING:	SD-X (2,940,536)
CHARACTER AREA OVERLAY:	BCCO-4
OTHER APPLICABLE OVERLAYS	H10, H10 BUFFER, FFO
APPLICABLE DEVELOPMENT STANDARD:	TRADITIONAL
TOTAL ACREAGE:	19.11 AC
TOTAL SQUARE FOOTAGE:	832,556 +/- SF

MINIMUM REQUIRED SETBACKS:	
FRONT YARD:	15'
REAR YARD:	0'
SIDE YARD:	5'

OWNER COMMERCIAL TRACTS: BRANCH CREEK PARTNERS

LOT 1, LOT 2, OS1A, OS1B, OS2 1616 WESTGATE CIRCLE
SUITE 215
BRENTWOOD, TN 37207
615.467.6330
THARRIS@AVENUECONSTRUCTION.COM
TONY HARRIS

OWNER RESIDENTIAL TRACTS: BBC INVESTMENTS

LOT 3, OS3A, OS3B
202 E. WASHINGTON ST.
SUITE 310
ANN ARBOR, MI 48104

DEVELOPER RESIDENTIAL TRACTS: BEAZER HOMES LLC - NASHVILLE

LOT 3, OS3A, OS3B
501 CORPORATE CENTER DRIVE
FRANKLIN, TN
615.369.6125
WILL SMITH

APPLICANT: GAMBLE DESIGN COLLABORATIVE

144 SOUTHEAST PARKWAY
SUITE 200
FRANKLIN, TN 37064
615.975.5765
greggamble209@gmail.com
GREG GAMBLE

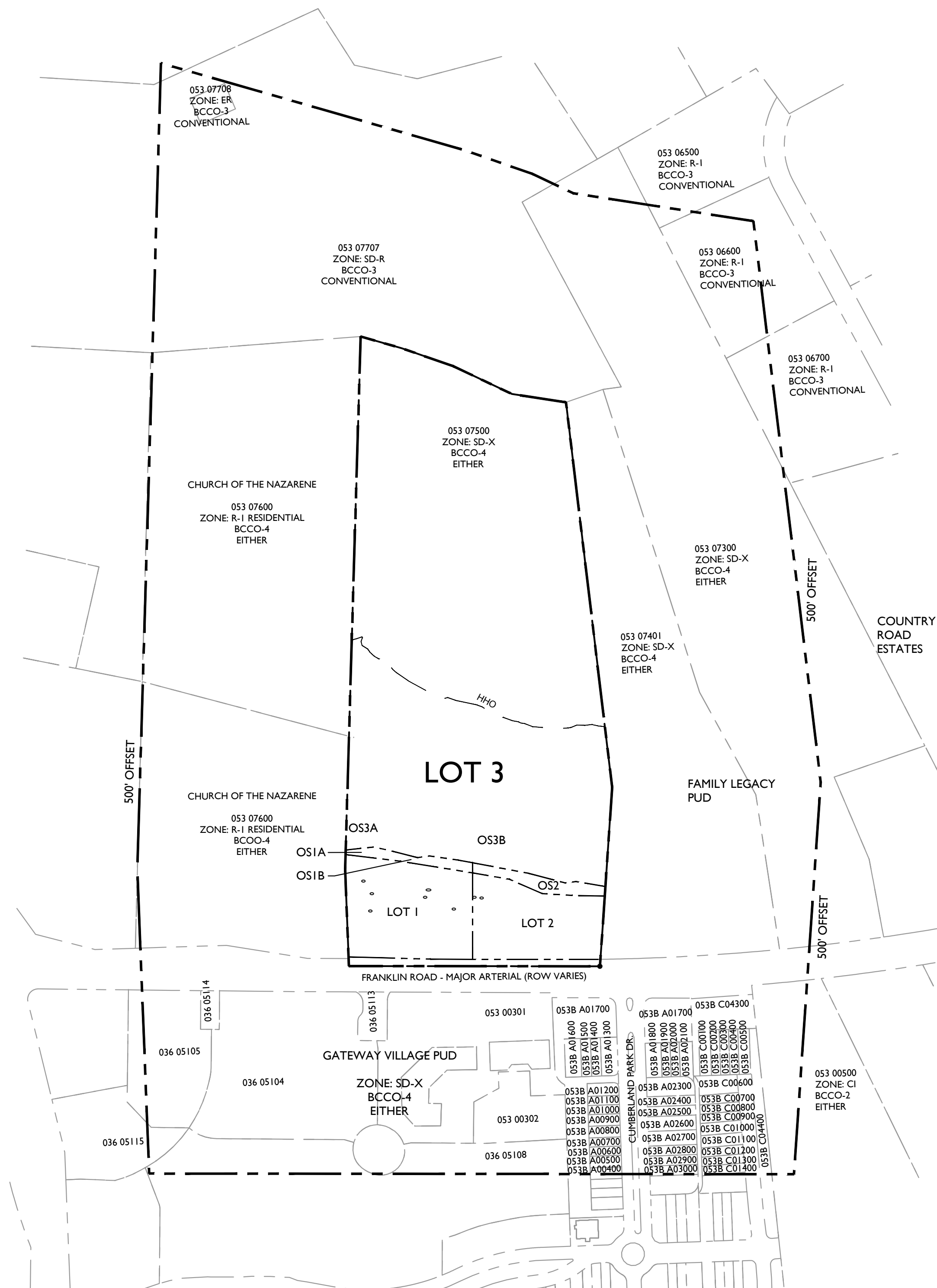
BUILDING SQUARE FOOTAGE: ±40,536

BUILDING HEIGHT:	3 STORIES
LANDSCAPE SURFACE RATIO:	0.57 / 10.86 AC PROVIDED
MINIMUM LANDSCAPE SURFACE RATIO:	0.20 / 3.82 AC REQUIRED
MINIMUM PARKING REQUIREMENT:	SEE CHART C2.0
MAXIMUM PARKING LIMIT:	SEE CHART C2.0
EXISTING PARKING:	SEE CHART C2.0
RESIDENTIAL DENSITY:	2.9 DUA
TREE CANOPY:	522,696 SF (87% OF TOTAL CANOPY)
PARKLAND DEDICATION:	53,400 SF REQ. IN FORM OF WALKING TRAILS OR FEES IN LIEU

19 HOMES @ 600 SF/HOME = 11,400 SF

OPEN SPACE: 3% REQ. (0.57AC) FOR TRADITIONAL MIXED-USE ZONE, ALL FORMAL

PROVIDED LOT 1: 0.05 AC
PROVIDED LOT 2: 0.06 AC
PROVIDED LOT 3: 0.46 AC



000' ADJACENT PROPERTY OWNERS:						
PROPERTY ADDRESS	OWNER	CITY	STATE	ZIP	ZONE	CHARACTER AREA DIV. STANDARD
130 DAVENPORT BLVD	CIVICUS LLC	BRENTWOOD	TN	37027		
136 PERROWE WAY	FOR G.LLC	BRENTWOOD	TN	37027		
330 MOHER BLVD	BELL FUND IV FRANKLIN CITY GOV INC	ATLANTA	GA	30343		
DAVENPORT BLVD	GATEWAY VILLAGE DEV INC	5002 THOROUGHSHIRE LN #200	BRENTWOOD	TN	37027	
PERROWE WAY	CAMDEN COMMONS PROPERTY OWNERS ASSC	5004 THOROUGHSHIRE LN IN 200	BRENTWOOD	TN	37027	
CAMDEN COMMONS PVT LN	CAMDEN COMMONS PROPERTY OWNERS ASSC	5002 THOROUGHSHIRE LN IN 200	BRENTWOOD	TN	37027	
121 DAVENPORT BLVD	CAMDEN COMMONS PLAZA L.L.C.	5004 THOROUGHSHIRE LN IN 200	BRENTWOOD	TN	37027	
AMBLESIDE WAY	BELL FUND IV FRANKLIN CITY GOV INC	300 N GREENE ST #1000	GREENSBORO	NC	27401	
557 Franklin RD	CHURCH CLEARVIEW BAPTIST	537 Franklin Rd	FRANKLIN	TN	37069	
1228 COUNTRY RD	PABLO JEFFERSON S	1228 country rd	FRANKLIN	TN	37069	
1228 COUNTRY RD	ZHU HUIHONG	731 VA IN CANADA AVE	MOUNTAIN HOUSE CA	95391		
1228 COUNTRY RD	ROBERTING JOHN JOHAN	1228 COUNTRY RD	FRANKLIN	TN	37069	
562-68 FRANKLIN RD	FRANKLIN FUNERAL HOME LLC	7427 CHARLOTTE PK	NASHVILLE	TN	37229	
574 FRANKLIN RD	BCI INVESTMENTS LLC	7427 CHARLOTTE PK	NASHVILLE	TN	37229	
FRANKLIN RD	CHURCH BRENTWOOD OF THE NAZARENE	502 WASHINGTON ST SUITE 310	ANN ARBOR MI	48104		
LANDINGS DR	VW LANDINGS AT BRENTWOOD LP	568 FRANKLIN LN	FRANKLIN	TN	37069	
LANDINGS DR	CEMETERY MCKAY	731 VA PARK BLVD	WESTLEY TN	37069		
1026 CUMBERLAND PARK DR	WILSON LESLIE ANN	1026 CUMBERLAND PARK DR	FRANKLIN	TN	37069 SD-X	BCCO-4 EITHER
1026 CUMBERLAND PARK DR	BRIDGES LAUREL MICHELLE	1026 CUMBERLAND PARK DR	FRANKLIN	TN	37069 SD-X	BCCO-4 EITHER
1022 CUMBERLAND PARK DR	PRASER DOUGLAS DAVID	1022 CUMBERLAND PARK DR	FRANKLIN	TN	37069 SD-X	BCCO-4 EITHER
1026 CUMBERLAND PARK DR	HOLLERS HILLS FAMILY LTD PARTNSHP	1126 BEESCH TAVERN TRL	FRANKLIN	TN	37069 SD-X	BCCO-4 EITHER
1026 CUMBERLAND PARK DR	FRANKLIN UNIVERSITY HEALTH LEIGH	1026 CUMBERLAND PARK DR	FRANKLIN	TN	37069 SD-X	BCCO-4 EITHER
1014 CUMBERLAND PARK DR	LEPPER BOBBY	1014 CUMBERLAND PARK DR	FRANKLIN	TN	37069 SD-X	BCCO-4 EITHER
1014 CUMBERLAND PARK DR	WYLIE SUZANNE F	1006 SCRAMBLERS KNOB	FRANKLIN	TN	37069 SD-X	BCCO-4 EITHER
1026 CUMBERLAND PARK DR	VAN DYCKE JOHN HAVES	1022 CUMBERLAND PARK DR	FRANKLIN	TN	37069 SD-X	BCCO-4 EITHER
1026 CUMBERLAND PARK DR	JOHNSTON JOHN TYLER	1026 CUMBERLAND PARK DR	FRANKLIN	TN	37069 SD-X	BCCO-4 EITHER
1000 CUMBERLAND PARK DR	YOUNG KRISTINA ANN	1000 CUMBERLAND PARK DR	FRANKLIN	TN	37069 SD-X	BCCO-4 EITHER
1002 CUMBERLAND PARK DR	JONES CHRISTINA ANNE	1002 CUMBERLAND PARK DR	FRANKLIN	TN	37069 SD-X	BCCO-4 EITHER
1000 CUMBERLAND PARK DR	BECKER BRADLEY	1000 CUMBERLAND PARK DR	FRANKLIN	TN	37069 SD-X	BCCO-4 EITHER
1000 CUMBERLAND PARK DR	TAFFET PAULINE	1046 HOLLY TREE GAP RD	BRENTWOOD	TN	37027 SD-X	BCCO-4 EITHER
CUMBERLAND PARK DR	GATEWAY VILLAGE DEV INC	5002 THOROUGHSHIRE LN IN 200	BRENTWOOD	TN	37027 SD-X	BCCO-4 EITHER
1000 CUMBERLAND PARK DR	DARTLEY CAROL	1000 CUMBERLAND PARK DR	FRANKLIN	TN	37069 SD-X	BCCO-4 EITHER
1000 CUMBERLAND PARK DR	KEMAN KATHA CHAO	1760 FORTYSIX PARK DR	BRENTWOOD	TN	37027 SD-X	BCCO-4 EITHER
1000 CUMBERLAND PARK DR	REYNOLDS SALLY M	1360 HOLLY TREE GAP RD	BRENTWOOD	TN	37027 SD-X	BCCO-4 EITHER
1000 CUMBERLAND PARK DR	RUDISHTH PATRICIA	1007 CUMBERLAND PARK DR	FRANKLIN	TN	37069 SD-X	BCCO-4 EITHER
1000 CUMBERLAND PARK DR	WILSON RAYNER RESIDENTIAL LLC	113 SEABARD IN HA-305	FRANKLIN	TN	37069 SD-X	BCCO-4 EITHER
1001 CUMBERLAND PARK DR	TELFER GEORGE CURTIS	PO BOX 50536	NASHVILLE	TN	37205 SD-X	BCCO-4 EITHER
1013 CUMBERLAND PARK DR	HEME GEORGE ALLEN	1013 CUMBERLAND PARK DR	FRANKLIN	TN	37069 SD-X	BCCO-4 EITHER
1013 CUMBERLAND PARK DR	MAHARISHI RAMANUJAM & ANAND REV	1013 CUMBERLAND PARK DR	FRANKLIN	TN	37069 SD-X	BCCO-4 EITHER
1017 CUMBERLAND PARK DR	BULLARO FRANCESCA	1017 CUMBERLAND PARK DR	FRANKLIN	TN	37069 SD-X	BCCO-4 EITHER
1019 CUMBERLAND PARK DR	ROSS RICHARD F	563 MIDWAY CIR	BRENTWOOD	TN	37027 SD-X	BCCO-4 EITHER
1023 CUMBERLAND PARK DR	COOK JAMES E	1023 CUMBERLAND PARK DR	FRANKLIN	TN	37069 SD-X	BCCO-4 EITHER
1023 CUMBERLAND PARK DR	MATTHEWS LAURIE M	255 DEER PARK CIR	NASHVILLE	TN	37205 SD-X	BCCO-4 EITHER
1026 CUMBERLAND PARK DR	MARTIN ROBERT M	919 STUART LN	BRENTWOOD	TN	37027 SD-X	BCCO-4 EITHER
201 GATEWAY CT	RUTLEDGE JOHN M	3100 WEST END AVE #700	NASHVILLE	TN	37203 SD-R	BCCO-4 EITHER
201 GATEWAY CT	RUTLEDGE JOHN M	3100 WEST END AVE #700	NASHVILLE	TN	37203 SD-R	BCCO-4 EITHER
213 GATEWAY CT	RUTLEDGE JOHN M	3100 WEST END AVE #700	NASHVILLE	TN	37203 SD-R	BCCO-4 EITHER
219 GATEWAY CT	RUTLEDGE JOHN M	3100 WEST END AVE #700	NASHVILLE	TN	37203 SD-R	BCCO-4 EITHER
221 GATEWAY CT	RUTLEDGE JOHN M	3100 WEST END AVE #700	NASHVILLE	TN	37203 SD-R	BCCO-4 EITHER
232 GATEWAY CT	SPEAR CARLY L	232 GATEWAY CT	FRANKLIN	TN	37069 SD-X	BCCO-4 EITHER
238 GATEWAY CT	PATTERSON CO LLC	321 BILLINGSLEY CT #19	FRANKLIN	TN	37069 SD-R	B

BOUNDARY AND TOPOGRAPHY SURVEY PROVIDED BY
HARRAH & ASSOCIATES
ROGER HARRAH
1722 GENERAL GEORGE PATTON DRIVE
#400
BRENTWOOD, TN 37027



GRAPHIC SCALE 1"=200'

SPECIMEN TREE SURVEY

Tree Number	Tree Size	Status	Number	Type	Size	Health	Status
1	40"		101	TREE	38"	POOR	REMOVED 1
2	26"		102	TREE	24"	POOR	REMOVED 1
3	26"		103	TREE	36"	FAIR	REMOVED 2
4	28"		104	TREE	48"	FAIR	
5	24"		105	TREE	36"	FAIR	
6	24"		106	TREE	28"	FAIR	
7	30"		107	TREE	38"	FAIR	
8	28"	REMOVED 3	108	TREE	32"	FAIR	REMOVED 1
9	24"	REMOVED 3	109	TREE	48"	POOR	
10	44"	REMOVED 3	110	TREE	36"	POOR	
11	30"	REMOVED 3	111	TREE	30"	FAIR	
12	40"	REMOVED 3	112	TREE	24"	FAIR	
13	26"	REMOVED 3	113	TREE	32"	FAIR	REMOVED 3
14	24"	REMOVED 3	114	TREE	26"	FAIR	REMOVED 3
15	30"	REMOVED 3	115	TREE	48"	GOOD	
16	40"	REMOVED 3	116	TREE	28"	GOOD	
17	24"	REMOVED 3					
18	24"	REMOVED 3					
19	24"						
20	48"						
21	44"						
22	42"						
23	30"						
24	26"						
25	24"						
26	24"						
27	24"						
28	24"						
29	26"						
30	24"						
31	24"						
32	24"						
33	24"						
34	30"						
35	30"						
36	30"						
37	24"						
38	24"						
39	24"						
40	24"						

SPECIMEN TREE REPLACEMENT CHART			
	REPLACEMENT IN. REQUIRED	INCHES REPLACED	TOTAL REMAINING
LOT 1 - COF #6281	64	65	+1 IN
LOT 2 - COF #6360	72	76	+4 IN
LOT 3	668	668	-668 IN
TOTAL REPLACEMENT			-663 IN

REPLACEMENT FOR REMOVED HEALTHY SPECIMEN INCHES IS 2:1

SPECIMEN TREES REMOVED ON LOTS 1 AND 2 HAVE BEEN REPLACED ON LOTS 1 AND 2.

ANY SPECIMEN TREE REMOVED ON LOT 3 WILL BE REPLACED ON LOT 3, OR A CONTRIBUTION TO THE TREE BANK WILL BE MADE. ANTICIPATED REMOVAL IS NOTED ABOVE AND WILL BE CONFIRMED WITH SUBMITTAL OF SITE PLAN DOCUMENTS FOR LOT 3.

SITE DATA:

PROJECT NAME:	BRANCH CREEK CROSSING (PUD), DEVELOPMENT PLAN REVISION 2
PROJECT NUMBER:	6410
SUBDIVISION:	BRANCH CREEK CROSSING PUD
LOT NUMBER:	NA
ADDRESS:	574 & 580 FRANKLIN ROAD
CITY:	FRANKLIN
COUNTY:	WILLIAMSON
STATE:	TENNESSEE
CIVIL DISTRICT:	8TH CIVIL DISTRICT
MAP, GROUP, PARCEL NUMBERS:	MAP 55, PARCEL 75
EXISTING ZONING:	SD-X (2,540,536)
PROPOSED ZONING:	SD-X (2,940,536)
CHARACTER AREA OVERLAY:	BCCO-4
OTHER APPLICABLE OVERLAYS:	HBO, HHO BUFFER, FFO
APPLICABLE DEVELOPMENT STANDARD:	TRADITIONAL
TOTAL ACREAGE:	19.11 AC
TOTAL SQUARE FOOTAGE:	832,556 +/- SF
MINIMUM REQUIRED SETBACKS:	
FRONT YARD:	15'
REAR YARD:	0'
SIDE YARD:	5'
OWNER COMMERCIAL TRACTS:	BRANCH CREEK PARTNERS 1616 WESTGATE CIRCLE SUITE 215 BRENTWOOD, TN 37207 615.467.6330 THARRIS@AVENUECONSTRUCTION.COM TONY HARRIS
OWNER RESIDENTIAL TRACTS:	BBC INVESTMENTS 202 E. WASHINGTON ST. SUITE 310 ANN ARBOR, MI 48104
DEVELOPER RESIDENTIAL TRACTS:	BEAZER HOMES LLC - NASHVILLE 501 CORPORATE CENTER DRIVE FRANKLIN, TN 37064 615.369.6125 WILL SMITH
APPLICANT:	GAMBLE DESIGN COLLABORATIVE 144 SOUTHEAST PARKWAY SUITE 200 FRANKLIN, TN 37064 615.875.5765 greggambler209@gmail.com GREG GAMBLE
BUILDING SQUARE FOOTAGE:	+40,536
BUILDING HEIGHT:	3 STORIES
LANDSCAPE SURFACE RATIO:	0.17 / 10.86 AC PROVIDED
MINIMUM LANDSCAPE SURFACE RATIO:	0.20 / 3.82 AC REQUIRED
MINIMUM PARKING REQUIREMENT:	SEE CHART C2.0
MAXIMUM PARKING LIMIT:	SEE CHART C2.0
EXISTING PARKING:	2.9 DUA
RESIDENTIAL DENSITY:	522,696 SF (87% OF TOTAL CANOPY)
TREE CANOPY:	53,400 SF REQ. IN FORM OF WALKING TRAILS OR FEES IN LIEU
PARKLAND DEDICATION:	35 HOMES @ 1200 SF/HOME = 42,000 SF 19 HOMES @ 600 SF/HOME = 11,400 SF 3% REQ. (0.57AC) FOR TRADITIONAL MIXED-USE ZONE, ALL FORMAL PROVIDED LOT 1: 0.05 AC PROVIDED LOT 2: 0.08 AC PROVIDED LOT 3: 0.46 AC
OPEN SPACE:	

TREE CANOPY DATA

EXISTING TREE CANOPY: 602,752 SF (72% OF TOTAL SITE)
REQUIRED CANOPY PRESERVATION = 18%
REQUIRED PRESERVATION = 108,495 SF (2.49 AC)
TOTAL CANOPY REMOVED WITH SITE PLAN 1 & 2: 21,087 SF
TOTAL CANOPY REMOVED WITH FUTURE LOT 3: 58,961 SF
PROVIDED TREE CANOPY PRESERVATION: 522,696 SF (87% OF TOTAL CANOPY)

TREE CANOPY RETENTION

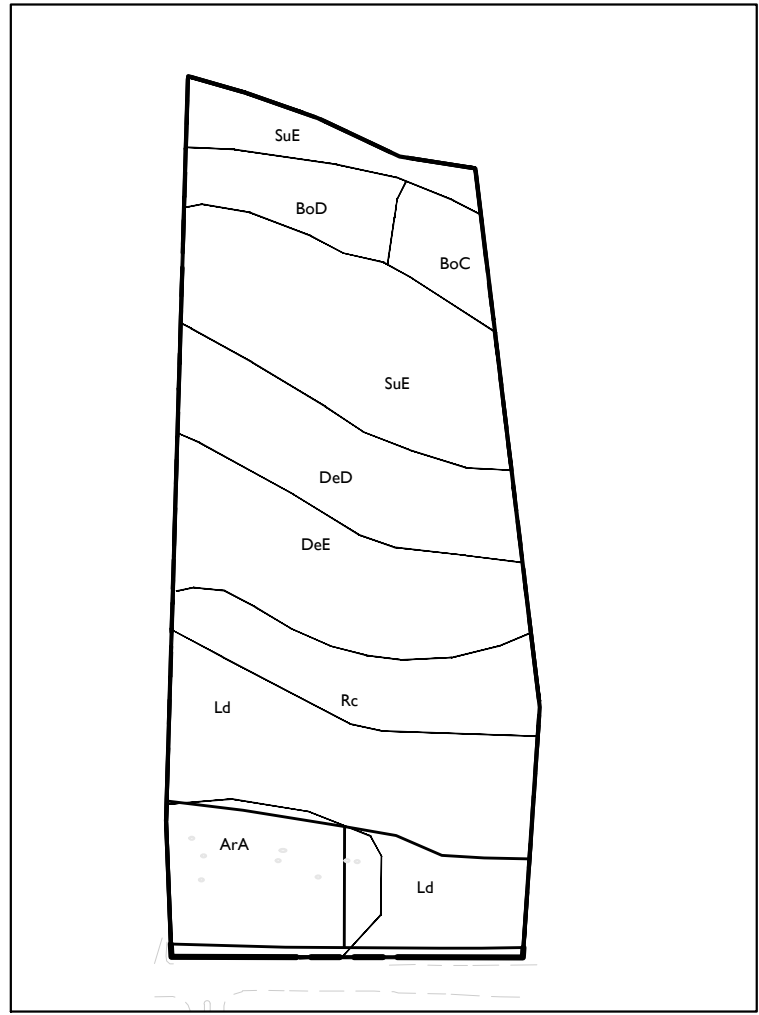
TREE AREA	EXISTING CANOPY	REMOVED CANOPY SITE PLAN 1	REMOVED CANOPY SITE PLAN 2	REMOVED CANOPY FUTURE	REMAINING CANOPY
TREE R1	559,731 SF	0 SF	0 SF	58,961 SF	500,770 SF
TREE R2	16,429 SF	5,851 SF	0 SF	203 SF	10,375 SF
TREE R3	6,439 SF	6,288 SF	151 SF	0 SF	0 SF
TREE R4	8,985 SF	0 SF	8,570 SF	0 SF	415 SF
TREE R5	11,168 SF	0 SF	446 SF	0 SF	10,722 SF
TOTAL SF	602,752 SF	12,139 SF	9,167 SF	59,133 SF	522,282 SF
TOTAL ACRES	13.84 AC	0.28 AC	0.21 AC	1.36 AC	11.99 AC

KEY:

	SPECIMEN TREE		STREAM BUFFER ZONE 1
	TREE CANOPY REMOVED WITH LOT 1 AND 2 SITE PLANS		STREAM BUFFER ZONE 2
	TREE CANOPY REMOVAL AREA		

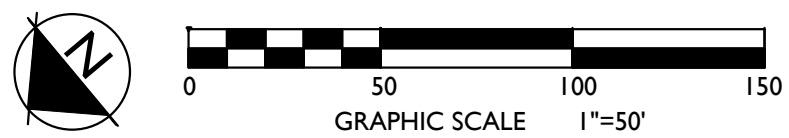
BOUNDARY AND TOPOGRAPHY SURVEY PROVIDED BY:
HARRAH & ASSOCIATES
ROGER HARRAH
1722 GENERAL GEORGE PATTON DRIVE
#400
BRENTWOOD, TN 37027

MINERAL RIGHTS:
NO THIRD PARTY MINERAL RIGHTS ARE ASSOCIATED WITH THIS PROPERTY



SOIL KEY

Aa	ARMOUR SILT LOAM, 0 TO 2 PERCENT SLOPES
BoC	BODINE CHERTY SILT LOAM, 2 TO 5 PERCENT SLOPES, ERODED
DeE	DELLROSE GRAVELLY SILT LOAM, 12 TO 20 PERCENT SLOPES, ERODED
Rc	ROCKLAND
SuE	SULPHURA CHERTY SILT LOAM, 20 TO 50 PERCENT SLOPES





ISSUED: April 10, 2017

Revision	Date
1	May 4, 2017
2	
3	
4	

OVERALL
DEVELOPMENT PLAN

SHEET
C2.0
COF # 6410

SITE DATA:

PROJECT NAME: BRANCH CREEK CROSSING (PUD), DEVELOPMENT PLAN REVISION 2
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BRANCH CREEK PARTNERS
1616 WESTGATE CIRCLE
SUITE 215
BRENTWOOD, TN 37207
615.467.6330
THARRIS@GAVENUECONSTRUCTION.COM
TONY HARRIS

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BBC INVESTMENTS
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ANN ARBOR, MI 48104

DEVELOPER RESIDENTIAL TRACTS:
LOT 3, OS3A, OS3B
BEAZER HOMES LLC - NASHVILLE
501 CORPORATE CENTER DRIVE
FRANKLIN, TN
615.369.6125
WILL SMITH

APPLICANT:
GAMBLE DESIGN COLLABORATIVE
SUITE 200
FRANKLIN, TN 37064
615.975.6765
gregg@gamble209@gmail.com
GREGG GAMBLE

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19 HOMES @ 600 SF/HOME = 11,400 SF
3% REQ. (0.57AC) FOR TRADITIONAL MIXED-USE ZONE, ALL FORMAL
PROVIDED LOT 1: 0.05 AC
PROVIDED LOT 2: 0.06 AC
PROVIDED LOT 3: 0.46 AC

STATEMENT OF IMPACTS:

WATER: COMMERCIAL (DEVELOPMENT PLAN REVISION 1)
TOTAL ESTIMATED USAGE OF 27,825 GALLONS PER DAY. DEVELOPMENT WILL BE SERVED FROM AN EXISTING 12 INCH WATER LINE ON FRANKLIN ROAD, AND THE RESIDENTIAL DEVELOPMENT WILL BE SERVED BY A PROPOSED 8 INCH WATER LINE EXTENSION. MODELS BY MALLORY VALLEY UTILITY DISTRICT INDICATE THAT THE RESIDENTIAL RESIDUAL PRESSURE WILL BE IN THE RANGE OF 85 TO 95 PSI DURING NORMAL SYSTEM DEMANDS AND THE COMMERCIAL RESIDUAL PRESSURES WILL BE IN THE RANGE OF 80 TO 90 PSI DURING NORMAL SYSTEM DEMAND PERIODS. A FIRE FLOW EVENT WAS ALSO CHECKED AT THE END OF THE PROPOSED 8 INCH LINE AND THE MODEL INDICATES A RESIDUAL PRESSURE OF 70 PSI DURING SUCH AN EVENT AT THE END OF THE LINE.

WATER: RESIDENTIAL (DEVELOPMENT PLAN REVISION 2)
WATER IS PROVIDED BY MALLORY VALLEY UTILITY DISTRICT VIA EXISTING 8" WATER LINE THAT EXTENDS APPROXIMATELY 615 LF FROM A 1" WATER LINE OFF FRANKLIN ROAD. WATER AVAILABILITY OF APPROXIMATELY 20,400 GPD HAS BEEN CONFIRMED BY MVUD FOR THIS DEVELOPMENT.

SEWER: COMMERCIAL (DEVELOPMENT PLAN REVISION 1)
A PROPOSED 8" SANITARY SEWER LINE IS BEING EXTENDED ACROSS THE PROPERTY TO THE BRENTWOOD CHURCH OF THE NAZARENE. THE PROPOSED DEVELOPMENT WILL TIE TO THE PROPOSED 8" SANITARY SEWER MAIN. INSTALLATION OF THIS CONNECTION TO THE NEIGHBORING PROPERTY WILL OCCUR WITH THE DEVELOPMENT OF THE RESIDENTIAL PHASES 2 AND 4.
SEWER: RESIDENTIAL (DEVELOPMENT PLAN REVISION 2)
SANITARY SEWER WILL BE PROVIDED BY THE CITY OF FRANKLIN THROUGH THE SPENCER CREEK BASIN INTERCEPTOR. THE COF HAS APPROVED THE ADDITION OF 60 SFVE FOR THE DEVELOPMENT.

REPURIFIED (REUSE) WATER FACILITIES:
NONE WITHIN THE DEVELOPMENT

STREET NETWORK:
FRANKLIN ROAD (STATE ROUTE 6, US 31) IS FUNCTIONALLY CLASSIFIED BY THE CITY OF FRANKLIN AS A MAJOR ARTERIAL ORIENTED IN THE NORTH-SOUTH DIRECTION PROVIDING A CONNECTION BETWEEN FRANKLIN AND BRENTWOOD. MOORES LANE (STATE ROUTE 441/LYNWOOD WAY) IS FUNCTIONALLY CLASSIFIED BY THE TENNESSEE DEPARTMENT OF TRANSPORTATION (TDOT) AS AN URBAN MINOR ARTERIAL. DAVENPORT BOULEVARD SERVES AS THE MAIN ACCESS TO THE GATEWAY DEVELOPMENT ON THE WEST SIDE OF FRANKLIN ROAD. THE PROPOSED SITE PLAN SHOWS ACCESS TO FRANKLIN ROAD AS THE FOURTH LEG OF THE EXISTING INTERSECTION OF FRANKLIN ROAD AND DAVENPORT BOULEVARD.

DEVELOPMENT WILL REQUIRE RIGHT TURN LANE AND SIGNALIZATION AS PER TRAFFIC STUDY PREVIOUSLY SUPPLIED WITH ORIGINAL SUBMITTAL.

DRAINAGE FACILITIES:
STORMWATER FLOWS WILL BE TREATED FOR WATER QUALITY BY GREEN INFRASTRUCTURE THROUGHOUT THE SITE, AND POST DEVELOPMENT FLOW DISCHARGES WILL BE CONTROLLED TO PREDEVELOPMENT PEAK FLOWS BY THE DETENTION POND AND OUTLET STRUCTURE.

POLICE, FIRE AND RECREATIONAL FACILITIES:
POLICE - 900 COLUMBIA AVE, 4.2 MILES
FIRE - STATION #5, 370 MALLORY STATION ROAD, 2.4 MILES
RECREATIONAL - DRY BRANCH WETLANDS, 0.25 MILES

PROJECTED STUDENT POPULATION:
54 X 0.64 STUDENTS = 35 PROJECTED STUDENTS
*NOTE: THE APPLICANT IS PROPOSING AN AGE RESTRICTED (55+) ACTIVE ADULT CONDOMINIUM COMMUNITY. THEREFORE, IT IS EXPECTED THAT THERE WILL NO PROJECTED STUDENT POPULATION.

REFUSE COLLECTION:
DEVELOPMENT WILL PROVIDE SCREENED DUMPSTERS.

NOTE:
NO CHANGES ARE PROPOSED TO COMMERCIAL LOTS 1 AND 2

PHASING SCHEDULE (ESTIMATED):

REVISION 2
LOT 1 - COMMERCIAL
SITE PLAN FOR 18,000 SF NON-RESIDENTIAL BUILDING IS APPROVED. SITE IS IN CONSTRUCTION.
LOT 2 - COMMERCIAL
22,696 SF NON-RESIDENTIAL BUILDING. CONSTRUCTION TO COMMENCE IN 2017.
LOT 3 - RESIDENTIAL
BUILDING 1 ROAD AND PARKING WILL BE BUILT FIRST, FOLLOWED BY BUILDING 2.

DEVELOPMENT SUMMARY

- REVISION 2**
- LOT 3 LAYOUT CHANGE TO ACCOMMODATE NEW RESIDENTIAL BUILDINGS AND FULL CIRCULATION AROUND THE BUILDINGS
 - INCREASE IN RESIDENTIAL CONDO UNITS FROM 48 TO 54 UNITS
 - NO CHANGES PROPOSED TO COMMERCIAL LOTS
- REVISION 1: APPROVED NOVEMBER 2016, COF# 6281**
- REMOVAL OF INCOMPATIBLE USE BUFFER ADJACENT TO FAMILY LEGACY PUD
 - INCREASE OF COMMERCIAL SQUARE FOOTAGE FROM 36,480 SF TO 40,000-44,000 SF
 - NO CHANGES TO RESIDENTIAL LOT

ORIGINAL DEVELOPMENT PLAN: APPROVED APRIL 2016, COF# 4692

TREE CANOPY RETENTION

TREE AREA	EXISTING CANOPY	REMOVED CANOPY SITE PLAN 1	REMOVED CANOPY SITE PLAN 2	REMOVED LOT 3	REMAINING CANOPY
TREE R1	559,731 SF	0 SF	0 SF	58,961 SF	500,770 SF
TREE R2	16,429 SF	5,851 SF	0 SF	203 SF	10,375 SF
TREE R3	6,439 SF	6,288 SF	151 SF	0 SF	0 SF
TREE R4	8,985 SF	0 SF	8,570 SF	0 SF	415 SF
TREE R5	11,168 SF	0 SF	446 SF	0 SF	10,722 SF
TOTAL SF	602,752 SF	12,139 SF	9,167 SF	59,133 SF	522,262 SF
TOTAL ACRES	13.84 AC	0.26 AC	0.21 AC	1.36 AC	11.99 AC

TREE CANOPY DATA
EXISTING TREE CANOPY: 602,752 SF (72% OF TOTAL SITE)
REQUIRED CANOPY PRESERVATION = 18%
REQUIRED PRESERVATION = 108,495 SF (2.49 AC)

TOTAL CANOPY REMOVED WITH SITE PLAN 1 & 2: 21,087 SF
TOTAL CANOPY REMOVED WITH FUTURE LOT 3: 58,961 SF
PROVIDED TREE CANOPY PRESERVATION: 522,696 SF (87% OF TOTAL CANOPY)

TREE PRESERVATION AREA

OPEN SPACE REQUIREMENT CHART

MINIMUM OPEN SPACE REQUIREMENT: 3% OF TOTAL SITE

KEY	CLASSIFICATION	TYPE	AREA (SF)
101A	FORMAL	PLAZA	2,271
102A	FORMAL	PLAZA	2,621
103A	FORMAL	PLAZA	10,556
103B	FORMAL	PARK/FORMAL SITTING AREA/TRAIL HEAD	5,418

ADDITIONAL OPEN SPACE LOTS AS SHOWN ON PLAT:

KEY	CLASSIFICATION	TYPE	AREA (SF)
OS1A	INFORMAL	STREAM BUFFER AREA	1,167
OS1B	INFORMAL	STREAM BUFFER AREA	4,174
OS2	INFORMAL	STREAM BUFFER AREA	9,336

TOTAL OPEN SPACE:
FORMAL = 0.57 AC / 24,866 SF (3%)

PARKING CHART - RESIDENTIAL LOT 3

TOTAL RESIDENTIAL UNITS PER BUILDING: 27 UNITS (REQUIRES 70.5 SPACES)
21 - TWO BED ROOM UNITS - REQUIRED 2.5 PARKING SPACES PER UNIT
6 - ONE BED ROOM UNITS - REQUIRED 3 PARKING SPACES PER UNIT

TOTAL PARKING REQUIRED: 141 PARKING SPACES
TOTAL PARKING PROVIDED: 141 PARKING SPACES
44 PARK UNDER GARAGE SPACES
28 TANDEM GARAGE PARKING SPACES (20' MIN)
20 DETACHED GARAGE SPACES
49 SURFACE PARKING SPACES

LAND USE PLAN COMPLIANCE & DESIGN CONCEPTS:

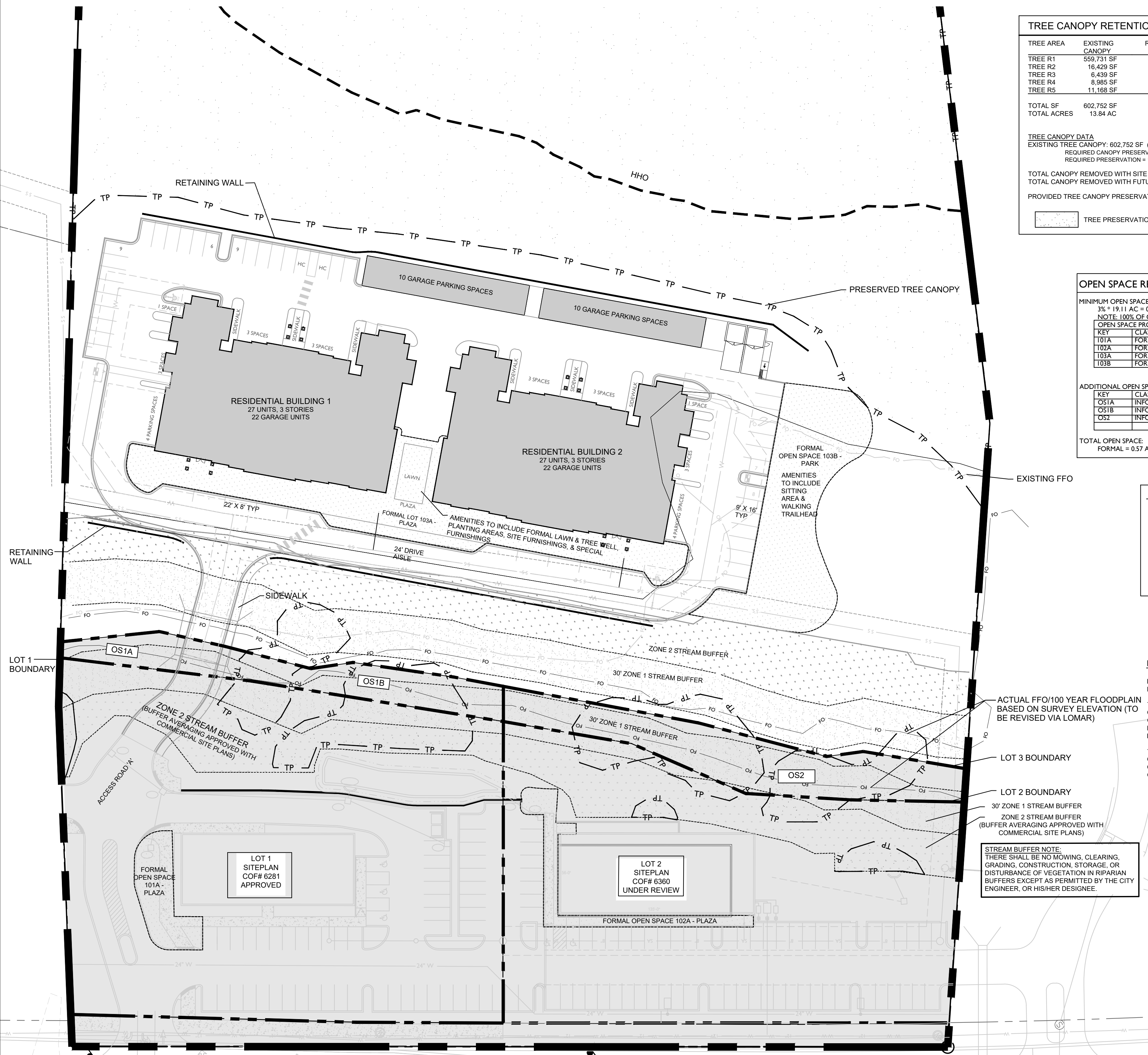
ENVISION FRANKLIN: NEIGHBORHOOD MIXED USE
MULTI FAMILY IS AN APPROVED USE

THIS DEVELOPMENT PLAN REVISION SPECIFICALLY ADDRESSES THE CONDOMINIUM COMMUNITY ON LOT 3. TEH LAYOUT REVISIONS PROPOSED HERE ARE SUPPORTED BY THE ENVISION FRANKLIN GUIDELINES. EXAMPLES INCLUDE ORIENTING MAIN BUILDING ENTRANCES TO THE STREET, REAR LOADED GARAGES, AND CREATING AN ACTIVE STREET ENVIRONMENT THROUGH THE RELATIONSHIP OF BUILDINGS TO STREETS AND OPEN SPACE PLAZA.

THE TWO CONDO BUILDINGS PROPOSED ARE POSITIONED ON A LARGE PEDESTRIAN PLAZA. THE CONDO BUILDING FRONT DOOR (MAIN CORRIDORS) ARE ACCESSED FROM THE PLAZA. INDIVIDUAL CONDOS ALSO HAVE PATIO OR BALCONY ACCESS TO THIS PLAZA. SERVICE AND VEHICULAR GARAGE ACCESS IS LIMITED TO THE SIDES AND REAR.

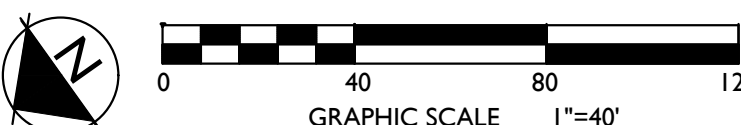
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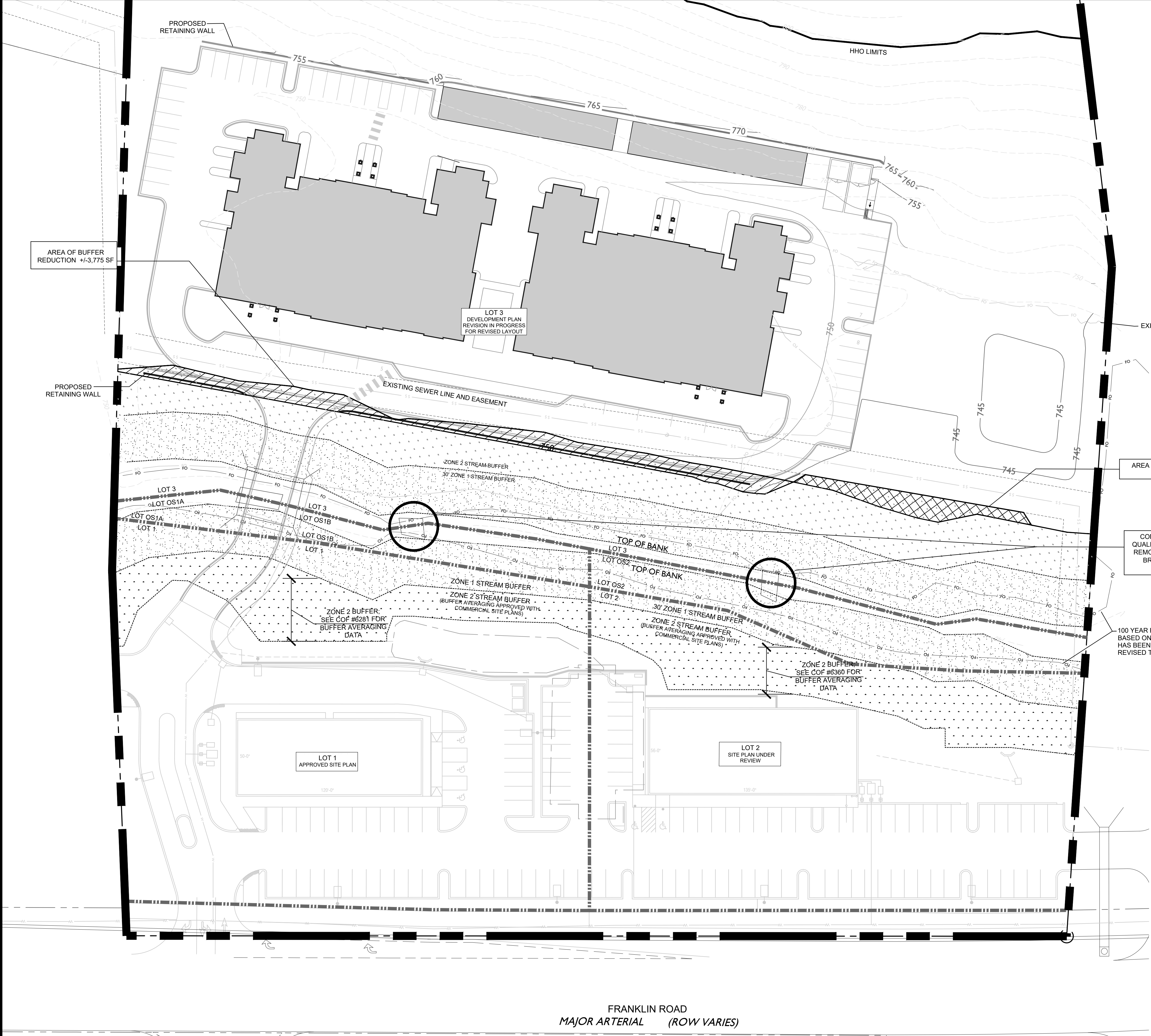
- SITE PLAN APPROVED OR UNDER REVIEW, NO CHANGES PROPOSED
- FORMAL OPEN SPACE
- PRESERVED TREE CANOPY
- ZONE 1 BUFFER
- ZONE 2 BUFFER



Franklin Rd (Highway 31)
(Major Arterial)
R.O.W. Width Varies
MAJOR ARTERIAL (ROW VARIES)

FRANKLIN ROAD





STREAM BUFFER REDUCTION REQUEST

The applicant requests the buffer reduction shown in order to accommodate the Lot 3 layout shown. This layout provides full vehicular circulation around the residential buildings for improved access and safety. In order to accomplish this, retaining walls are required in both the front and rear of the property. Due to the location of the existing sanitary sewer line, the site is pushed down to allow the sanitary sewer line to be in located in the proposed drive lane. This location also provides for the shortest retaining walls.

If the buffer reductions is granted, the applicant is proposing the creation of zone 2 buffer where possible. Since the existing sanitary sewer line and easement prohibit further expansion of the zone 2 buffer, the applicant is proposing additional, comparable water quality improvements in the form of bridge removal and stream bank stabilization in the removal area.

Typical stream buffer enhancements shall also occur and be defined further at Site Plan.

COMPARABLE WATER QUALITY IMPROVEMENTS

- Improvements include:
- Removal of collapsed bridges and debris
 - Stabilization of bank / live staking

The applicant shall stabilize the banks where the bridge removal occurs. The work shall be coordinated with the COF stormwater coordinator and will be defined further in Site Plan submittal documents.

General methods shall include proper site preparation, grading and installation of an organic matting/RECP (biodegradable rolled erosion controlled product) such as lute matting. Installed matting to have complete contact with soil.

Revegetation is also required. Seed mix is typically installed both above and below matting, and live staking shall be used to stabilize slopes. Appropriate installation of live stakes include planting 2-3 feet apart using triangular spacing and planting at right angles to the slope. Refer to the City of Franklin BMP Stormwater Management Manual for bank stabilization details. Prior to starting site work, the owner/installer, the COF Stormwater Coordinator and the COF Land Planner shall meet on site to verify plant placement and installation methods.

STREAM BUFFER

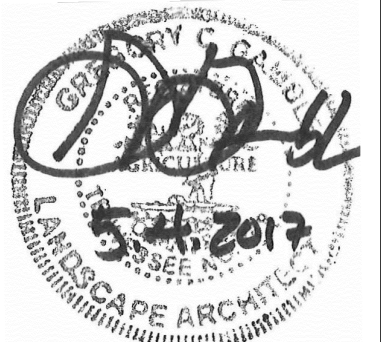
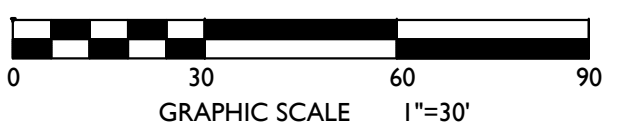
In the urban riparian zone buffers, all water resources shall be enhanced. Enhancement shall include removal of invasive species and the re-establishment of native species which includes a mix a canopy trees, understory trees, shrubs, and a native seed mix of forbes/grasses/sedges/rushes suitable for a moist shaded understory environment.

There shall be no mowing, clearing grading, construction, storage, or disturbance of vegetation in riparian buffers except as permitted by the City Engineer, or his/her designee.

STREAM BUFFER KEY

- ZONE 1 STREAM BUFFER
30' FROM TOP OF BANK, UNLESS ADJUSTED FOR SLOPE
- ZONE 2 STREAM BUFFER
30' OFFSET OF ZONE 1 BUFFER
- PROPOSED AREA OF ZONE 2 BUFFER REDUCTION
3,775 SF OF DISTURBANCE
- PROPOSED AREA OF ZONE 2 BUFFER REPLACEMENT
1,476 SF

THIS EXHIBIT HAS BEEN SUBMITTED TO THE COF STORMWATER COORDINATOR FOR APPROVAL OF A VARIANCE REQUEST TO FMC 23-107. THIS EXHIBIT WILL TRACK WITH THE DEVELOPMENT PLAN AND FUTURE SITE PLAN.



ISSUED: April 10, 2017

Revision	Date
1	May 4, 2017
2	
3	
4	

APPROVED DEVELOPMENT PLAN REVISION 1 COF#6281
NOT TO SCALE



- DEVELOPMENT SUMMARY**
- REVISION 2**
- LOT 3 LAYOUT CHANGE TO ACCOMMODATE NEW RESIDENTIAL BUILDINGS AND FULL CIRCULATION AROUND THE BUILDINGS
 - INCREASE IN RESIDENTIAL CONDO UNITS FROM 48 TO 54 UNITS
 - NO CHANGES PROPOSED TO COMMERCIAL LOTS

- REVISION 1: APPROVED NOVEMBER 2016, COF# 6281**
- REMOVAL OF INCOMPATIBLE USE BUFFER ADJACENT TO FAMILY LEGACY PUD
 - INCREASE OF COMMERCIAL SQUARE FOOTAGE FROM 36,480 SF TO 40,000-44,000 SF
 - NO CHANGES TO RESIDENTIAL LOT

ORIGINAL DEVELOPMENT PLAN: APPROVED APRIL 2016, COF# 4692

RESIDENTIAL LOT 3 LAYOUT CHANGE SUMMARY

- Revised building layout
- Increase from 48 to 54 units
- Age restricted active adult condominium community
- Two 27-unit buildings, 1-2 bedroom condos
- Attached and detached garages (no garage doors visible from front facade)
- New building layout and architecture provide for a more residential feel
- Formal open space plaza with parallel parking along front of buildings instead of parking bays in front of building, architecturally defined front entry doors
- Circulation around residential buildings instead of dead end parking
- Revision to FFO/100 Year Floodplain based on surveyed elevation data, LOMAR to be submitted

PROPOSED DEVELOPMENT PLAN REVISION 2
NOT TO SCALE



NOT TO SCALE



FRONT ELEVATION

VISIBLE FROM FRONT ENTRY:
EXPOSED, OPEN AIR PARKING



BUILDING FRONT



FRONT ELEVATION

VISIBLE FROM ENTRY:
FRONT DOORS, RESIDENTIAL BALCONIES AND OPEN SPACE PLAZA



BUILDING REAR

SINGLE CAR GARAGE DOORS VISIBLE
FROM SIDE AND REAR ONLY



ISSUED: April 10, 2017

Revision Date

△ May 4, 2017

△

△

△

DEVELOPMENT
PLAN REVISION
COMPARISON

SHEET
C2.2

COF # 6410

COF GRADING & DRAINAGE GENERAL NOTES

1. GRADING PERMIT IS REQUIRED FOR ANY PROJECT DISTURBING MORE THAN 10,000 SF, ADDING MORE THAN 5,000 SF OF IMPERVIOUS SURFACE OR FOR ANY SITE GRADING REQUIRING STOCKPILING OF MATERIAL.
2. THE DEVELOPER SHALL PROVIDE THE NECESSARY LABOR AND SUPERVISION REQUIRED TO SUPPORT FIELD TESTING BY THE INDEPENDENT TESTING FIRM AND INSPECTIONS BY CITY OFFICIALS AT NO COST TO THE CITY. TEST REPORTS OF FIELD TESTING IF APPLICABLE SHALL BE SUBMITTED DIRECTLY TO THE STREET DEPARTMENT. DEFECTS DISCLOSED BY TESTS SHALL BE RECTIFIED.
3. AN AUTHORIZED REPRESENTATIVE OF THE CITY SHALL MAKE A FINAL INSPECTION OF THE PROJECT AFTER COMPLETION TO DETERMINE ACCEPTABILITY OF THE WORK AND FOR RELEASE OF PERFORMANCE BONDS IF REQUIRED. BEFORE THIS FINAL INSPECTION CAN BE MADE, THE ENGINEER RESPONSIBLE FOR THE PROJECT SHALL CERTIFY IN WRITING TO THE CITY ENGINEER THAT THE WORK HAS BEEN COMPLETED IN ACCORDANCE WITH APPROVED PLANS AND SPECIFICATIONS.
4. DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, CULVERTS, DETENTION BASINS AND DITCHES, AS WELL AS THE ROADWAY SUB-GRADE, BASE STONE AND BINDER & SURFACE COARSE SHALL BE INSPECTED, TESTED AND GIVEN APPROVAL AT EACH STAGE OF INSTALLATION PRIOR TO PROCEEDING TO THE NEXT STAGE OF CONSTRUCTION. FINAL CONSTRUCTION INSPECTION FOR APPROVAL AND ACCEPTANCE OF STREETS AND DRAINAGE SYSTEMS WILL NOT BE GRANTED UNTIL ALL WORK HAS BEEN COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS.
5. LOCATING AND COORDINATION FOR THE RELOCATION OF EXISTING UTILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR. TENNESSEE'S ONE-CALL AND THE CITY OF FRANKLIN UTILITY LOCATION SERVICE SHALL BE UTILIZED IN ADDITION TO COORDINATION WITH LOCAL UTILITY OWNERS. THE CONTRACTOR SHALL AT ALL TIMES PROTECT EXISTING UTILITIES AND WILL BE RESPONSIBLE FOR COSTS DUE TO DAMAGE CAUSED TO ANY UTILITY LINES.

STORMWATER MANAGEMENT NARRATIVE

ON-SITE STORMWATER WILL BE DIRECTED AWAY FROM PROPOSED BUILDINGS VIA POSITIVE DRAINAGE AND WILL SHEET FLOW SOUTH AND WEST TOWARDS THE BIORETENTION AREA. STORMWATER RUNOFF WILL FLOW OVER A RIBBON CURB INTO PROPOSED BIORETENTION AREAS FOR INFILTRATION AND TREATMENT. OFF-SITE STORMWATER WILL BE DIVERTED AWAY FROM ANY PROPOSED STORMWATER TREATMENT AREAS. THE PROPOSED BIORETENTION AREAS WILL TREAT STORMWATER RUNOFF BEFORE IT EITHER INFILTRATES INTO THE SOIL OR DISCHARGES VIA AN OVERFLOW BERM TO THE PROPOSED DETENTION BASIN.

RUNOFF THAT EXCEEDS THE 1ST INCH OF RAINFALL WILL BE ROUTED VIA OVERFLOW BERM TO THE ADJACENT DETENTION POND SHOWN ON THE PLAN BELOW. AN OUTLET CONTROL STRUCTURE WILL LIMIT THE PEAK DISCHARGE FLOW RATE OF THE POND TO THE PRE-DEVELOPMENT PEAK DISCHARGE FLOW RATE OF THE SITE UP TO THE 100-YEAR DESIGN STORM.

SITE AREA TABLE

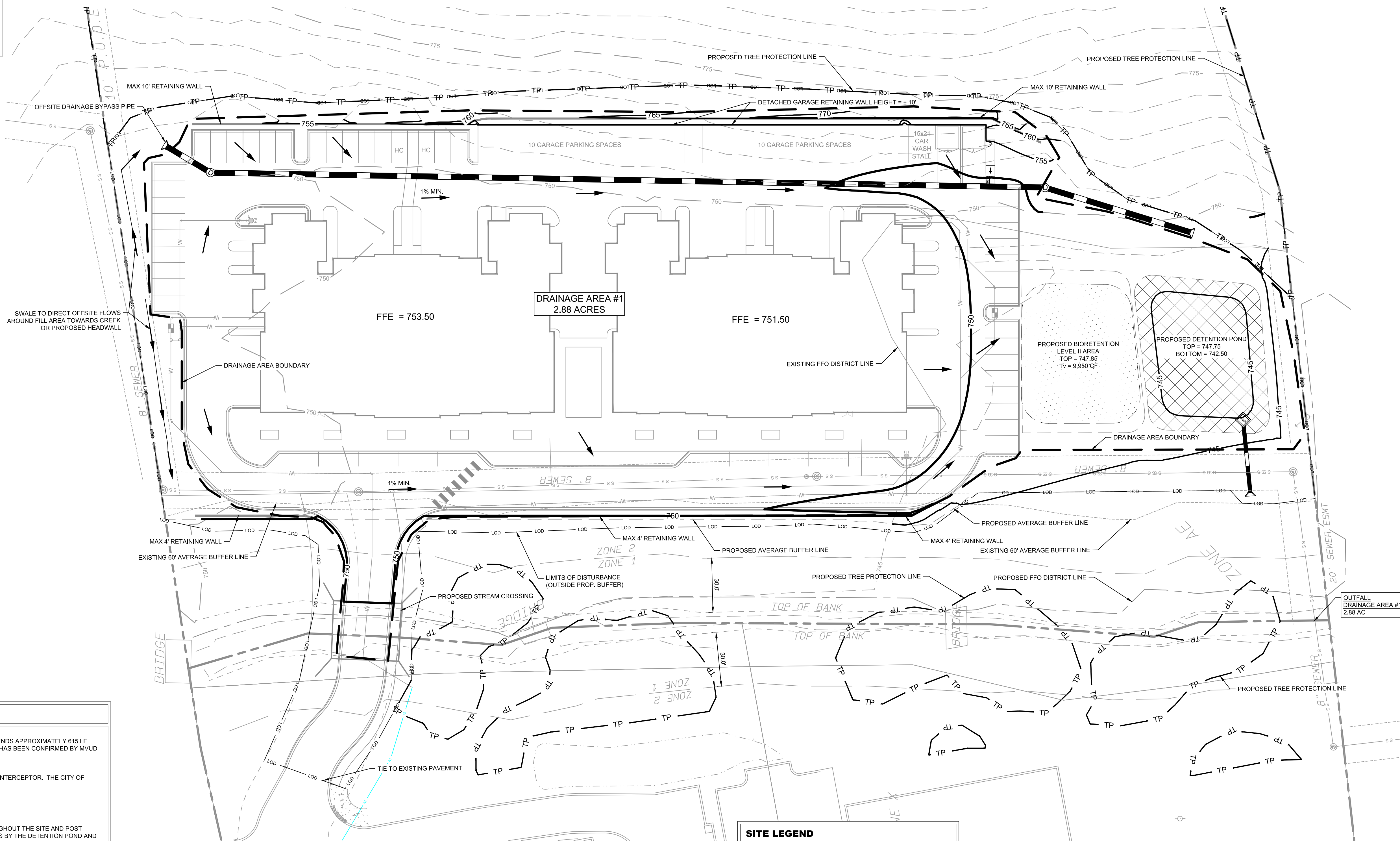
DISTURBED AREA = 3.35 ACRES
IMPERVIOUS AREA = 2.33 ACRES

UTILITY AGENCIES CONTACT LIST

WATER	GAS	TELEPHONE	ENGINEER
MALLORY VALLEY 465 DUKE DRIVE FRANKLIN, TN 37067 PHONE: (615) 628-0237 CONTACT: BOBBY NUTT	ATMOS ENERGY 200 NOAH DRIVE FRANKLIN, TN 37064 PHONE: (615) 794-2596 CONTACT: RON MYATT	AT&T (615) 595-7816 CONTACT: DAVID TUTTEROW	KIMLEY-HORN AND ASSOCIATES, INC. 214 OCEANSIDE DRIVE NASHVILLE, TENNESSEE 37204 PHONE: (615) 564-2877 CONTACT: BRETT CREASMAN, P.E.
ELECTRIC	SANITARY SEWER	CABLE	CITY OF FRANKLIN
MIDDLE TN ELECTRIC 2156 EDWARD CURD LN. FRANKLIN, TN 37067 PHONE: (615) 595-4693 CONTACT: DALE HOOD	CITY OF FRANKLIN 124 LUMBER DRIVE FRANKLIN, TN 37064 PHONE: (615) 550-6855 CONTACT: BEN MCNEIL	COMCAST 2501 McGAVOCK PK, SUITE 1206 NASHVILLE, TN 37214 (615) 440-2920 CONTACT: PAULA BROOKS	109 3rd AVENUE SOUTH, FRANKLIN, TN 37067 PLANNING : BRAD BAUMGARTNER 615-550-6733 ENGINEERING : LANCE FITTRO 615-550-6676

DRAINAGE AREA #1

• OUTFALL AREA:	2.88 AC
• IMPERVIOUS AREA:	2.33 AC
• DISTURBED AREA:	± 3.35 AC
• PEAK FLOW RUNOFF (OUTFALL #1)	
EXISTING	PROPOSED*
• 2 YEAR:	7.64 CFS
• 5 YEAR:	11.33 CFS
• 10 YEAR:	14.44 CFS
• 25 YEAR:	19.06 CFS
• 50 YEAR:	23.05 CFS
• 100 YEAR:	27.29 CFS



EXISTING UTILITIES NOTE

CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES AND/OR CONFLICTS WITH EXISTING OR PROPOSED UTILITIES PRIOR TO PROCEEDING. COF DOES NOT PARTICIPATE IN 811/TN ONE CALL. CONTACT COF WATER/SEWER DEPT. FOR LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.

IMPACT STATEMENT

WATER
WATER IS PROVIDED BY MALLORY VALLEY UTILITY DISTRICT VIA EXISTING 8" WATER LINE THAT EXTENDS APPROXIMATELY 815 LF FROM A 12" WATER LINE ON FRANKLIN ROAD. WATER AVAILABILITY OF APPROXIMATELY 20,400 GPD HAS BEEN CONFIRMED BY MVUD FOR THIS DEVELOPMENT.

SANITARY SEWER
SANITARY SEWER WILL BE PROVIDED BY CITY OF FRANKLIN THROUGH THE SPENCER CREEK BASIN INTERCEPTOR. THE CITY OF FRANKLIN HAS APPROVED THE ADDITION OF 60 SFUE FOR THE DEVELOPMENT.

RECLAIMED WATER LINE
RECLAIMED WATER INFRASTRUCTURE IS NOT PRESENT OR PROPOSED ON THIS SITE.

STORMWATER
STORMWATER FLOWS WILL BE TREATED FOR WATER QUALITY BY GREEN INFRASTRUCTURE THROUGHOUT THE SITE AND POST DEVELOPMENT PEAK FLOW DISCHARGES WILL BE CONTROLLED TO PRE DEVELOPMENT PEAK FLOWS BY THE DETENTION POND AND OUTLET STRUCTURE.

ELECTRICITY
ELECTRIC WILL BE PROVIDED BY MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORP.

GAS
NATURAL GAS WILL BE PROVIDED BY ATMOS GAS VIA EXISTING MAINS ALONG FRANKLIN ROAD.

REFUSE COLLECTION
REFUSE COLLECTION FOR THE DEVELOPMENT SHALL BE PROVIDED BY PRIVATE COLLECTION.

SITE LEGEND

SS	PROPOSED SANITARY SEWER PIPE
W	PROPOSED WATER MAIN
ST	PROPOSED STORM PIPE
SS	EXISTING SANITARY SEWER PIPE
W	EXISTING WATER MAIN
G	EXISTING GAS MAIN
ST	EXISTING STORM PIPE
LOD	LIMITS OF DISTURBANCE
TP	TREE PROTECTION LINE
FD	FIRE HYDRANT
UE	UTILITY EASEMENT
DA	DRAINAGE AREA BOUNDARY



Know what's below.
Call before you dig.

STREAM BUFFER NOTE

THERE SHALL BE NO MOWING, CLEARING, GRADING, CONSTRUCTION, STORAGE, OR DISTURBANCE OF VEGETATION IN RIPARIAN BUFFERS EXCEPT AS PERMITTED BY THE CITY ENGINEER, OR HIS DESIGNEE.

GRAPHIC SCALE IN FEET
0 15 30 60



ROW & ACCESS GENERAL NOTES

1. PRIOR TO BEGINNING ANY CONSTRUCTION, THE DEVELOPER AND/OR CONTRACTOR, SHALL OBTAIN ALL NECESSARY PERMITS AS REQUIRED BY LAW. SUCH PERMITS MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE REQUIRED BY STATE OF TENNESSEE, WILLIAMSON COUNTY AND OTHER CITY OF FRANKLIN AGENCIES.
2. ALL OFF-SITE WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE AN APPROVED TRAFFIC CONTROL PLAN WHICH COMPLIES WITH THE MUTCD. NO OFF-SITE EXCAVATION MAY BE UNDERTAKEN IN ANY STREET, ROAD, ALLEY OR RIGHT-OF-WAY OF ANY UTILITY OR TEMPORARY CONSTRUCTION EASEMENT OF THE CITY OF FRANKLIN BY ANY ENTITY UNLESS 72-HOUR NOTICE HAS BEEN GIVEN TO THE CITY OF FRANKLIN TRAFFIC OPERATIONS CENTER. THE CONTRACTOR SHALL HAVE AN APPROVED TRAFFIC CONTROL PLAN ON-SITE DURING CONSTRUCTION.
3. CONSTRUCTION MATERIALS SHALL BE FULLY TESTED IN ACCORDANCE WITH THE DESIGNATIONS AND REQUIREMENTS WITHIN THE REFERENCED "TDOT STANDARD SPECIFICATIONS" SECTIONS, UNLESS OTHERWISE NOTED WITHIN THE "STANDARD SPECIFICATIONS" SECTION OF THE CITY OF FRANKLIN TRANSPORTATION & STREET TECHNICAL STANDARDS.
4. AN AUTHORIZED REPRESENTATIVE OF THE CITY SHALL MAKE A FINAL INSPECTION OF THE PROJECT AFTER COMPLETION TO DETERMINE ACCEPTABILITY OF THE WORK AND FOR RELEASE OF PERFORMANCE BONDS IF REQUIRED. BEFORE THIS FINAL INSPECTION CAN BE MADE, THE ENGINEER RESPONSIBLE FOR THE PROJECT SHALL CERTIFY IN WRITING TO THE CITY ENGINEER THAT THE WORK HAS BEEN COMPLETED IN ACCORDANCE WITH APPROVED PLANS AND SPECIFICATIONS.
5. LOCATING AND COORDINATING FOR THE RELOCATION OF EXISTING UTILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR. TENNESSEE'S ONE-CALL AND THE CITY OF FRANKLIN UTILITY LOCATION SERVICE SHALL BE UTILIZED IN ADDITION TO COORDINATION WITH LOCAL UTILITY OWNERS. THE CONTRACTOR SHALL AT ALL TIMES PROTECT EXISTING UTILITIES AND WILL BE RESPONSIBLE FOR COSTS DUE TO DAMAGE CAUSED TO ANY UTILITY LINES.
6. ALL TEMPORARY STRIPING SHALL CONFORM TO "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION," PUBLISHED BY TDOT. THE LATEST REVISION EXCEPT AS HEREIN AMENDED. WHEN APPROVED, TEMPORARY STRIPING SHALL BE REQUIRED PRIOR TO THE OPENING OF A STREET FOR TRAVEL WHERE PAVEMENT AND/OR PERMANENT STRIPING CANNOT BE COMPLETED DUE TO WEATHER AND/OR TIME CONSTRAINTS.
7. THERMOPLASTIC PAVEMENT MARKINGS SHOULD BE USED ON ALL PUBLIC AND PRIVATE CITY STREET PROJECTS. THERMOPLASTIC TRAFFIC STRIPING AND PAVEMENT MARKINGS SHALL CONFORM TO SECTION 716.03 "THERMOPLASTIC PAVEMENT MARKINGS", OF THE TENNESSEE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS (TDOT), AND TO THE CITY OF FRANKLIN TRANSPORTATION & STREET TECHNICAL STANDARDS.

FLOW TEST DATA

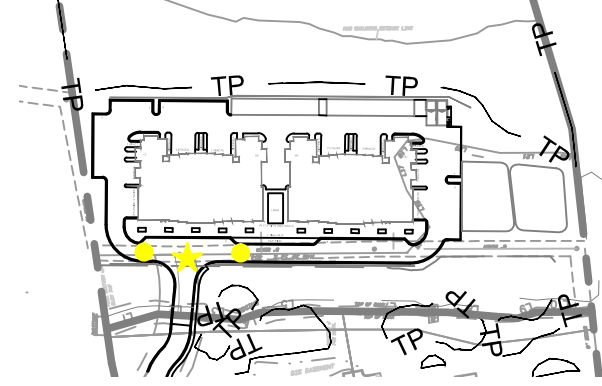
-TEST HYDRANT LOCATION: CORNER OF FRANKLIN ROAD AND DAVENPORT BLVD
-FLOW HYDRANT LOCATION: CORNER OF FRANKLIN ROAD AND CUMBERLAND PARK DRIVE
-STATIC PRESSURE = 84 PSI
-RESIDUAL PRESSURE = 82 PSI
-TOTAL GPM DURING TEST = 958
-DATE: FEBRUARY 24, 2017 @ 1:00 PM
-TEST PERFORMED BY CORY BORUM AND BEN BUTLER OF HETHCOAT AND DAVIS.

UTILITY AGENCIES CONTACT LIST

WATER	GAS	TELEPHONE	ENGINEER
MALLORY VALLEY 465 DUKE DRIVE FRANKLIN, TN 37067 PHONE: (615) 628-0237 CONTACT: BOBBY NUTT	ATMOS ENERGY 200 NOAH DRIVE FRANKLIN, TN 37064 PHONE: (615) 794-2596 CONTACT: RON MYATT	AT&T (615) 595-7816 CONTACT: DAVID TUTTEROW	KIMLEY-HORN AND ASSOCIATES, INC. 214 OCEANSIDE DRIVE NASHVILLE, TENNESSEE 37204 PHONE: (615) 564-2877 CONTACT: BRETT CREASMAN, P.E.
ELECTRIC	SANITARY SEWER	CABLE	CITY OF FRANKLIN
MIDDLE TN ELECTRIC 2156 EDWARD CURD LN. FRANKLIN, TN 37067 PHONE: (615) 595-4693 CONTACT: DALE HOOD	CITY OF FRANKLIN 124 LUMBER DRIVE FRANKLIN, TN 37064 PHONE: (615)550-6855 CONTACT: BEN MCNEIL	COMCAST 2501 McGAVOCK PK, SUITE 1206 NASHVILLE, TN 37214 (615)440-2920 CONTACT: PAULA BROOKS	109 3rd AVENUE SOUTH, FRANKLIN, TN 37067 CONTACT: PLANNING : JOSH KING 615-550-6977 ENGINEERING : LANCE FITTRO 615-550-6676

CONNECTIVITY INDEX

2 LINKS / 1 NODE = 2.00 CONNECTIVITY INDEX



IMPACT STATEMENT

ACCESS TO THE MULTIFAMILY PORTION OF THE BRANCH CREEK DEVELOPMENT WILL BE PROVIDED BY A BRIDGE CROSSING THAT WILL CONNECT INTO THE EXISTING COMMERCIAL PORTION NORTHWEST OF THIS SITE.

PROPOSED SITE PLAN PROVIDED BY GAMBLE DESIGN
COLLECTIVE. EXISTING SURVEY INFORMATION PROVIDED
BY HARRAH & ASSOCIATES, DATED 2/14/17.

GDC

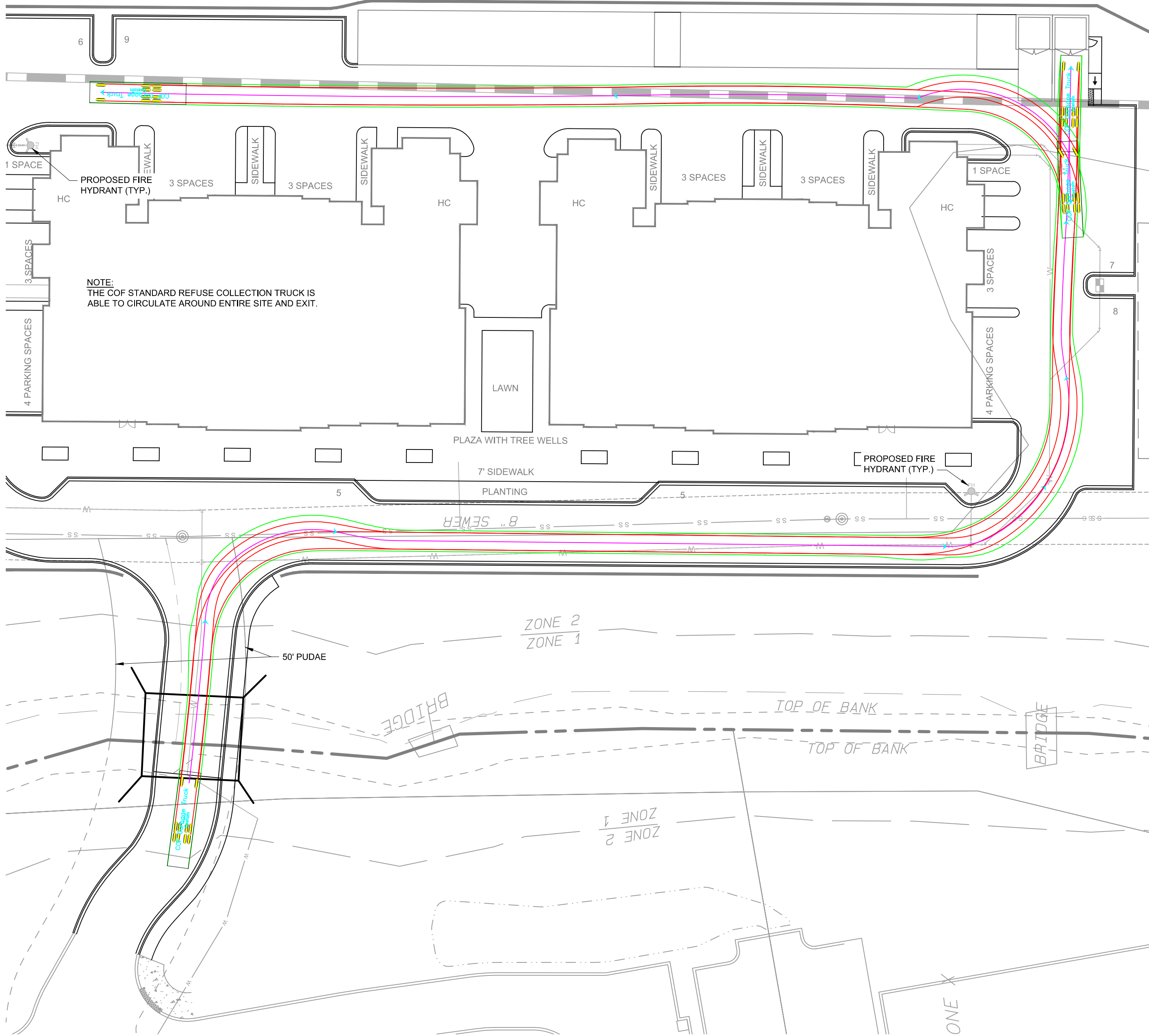
GAMBLE
DESIGN COLLABORATIVE
DEVELOPMENT PLANNING AND
LANDSCAPE ARCHITECTURE

KimleyHorn

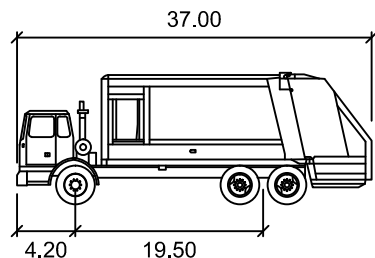
214 Oceanside Drive
Nashville, TN 37204
Main: 615.564.2704
www.kimley-horn.com
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BRANCH CREEK CROSSING
DEVELOPMENT PLAN, REVISION 2

Franklin, Williamson County, Tennessee



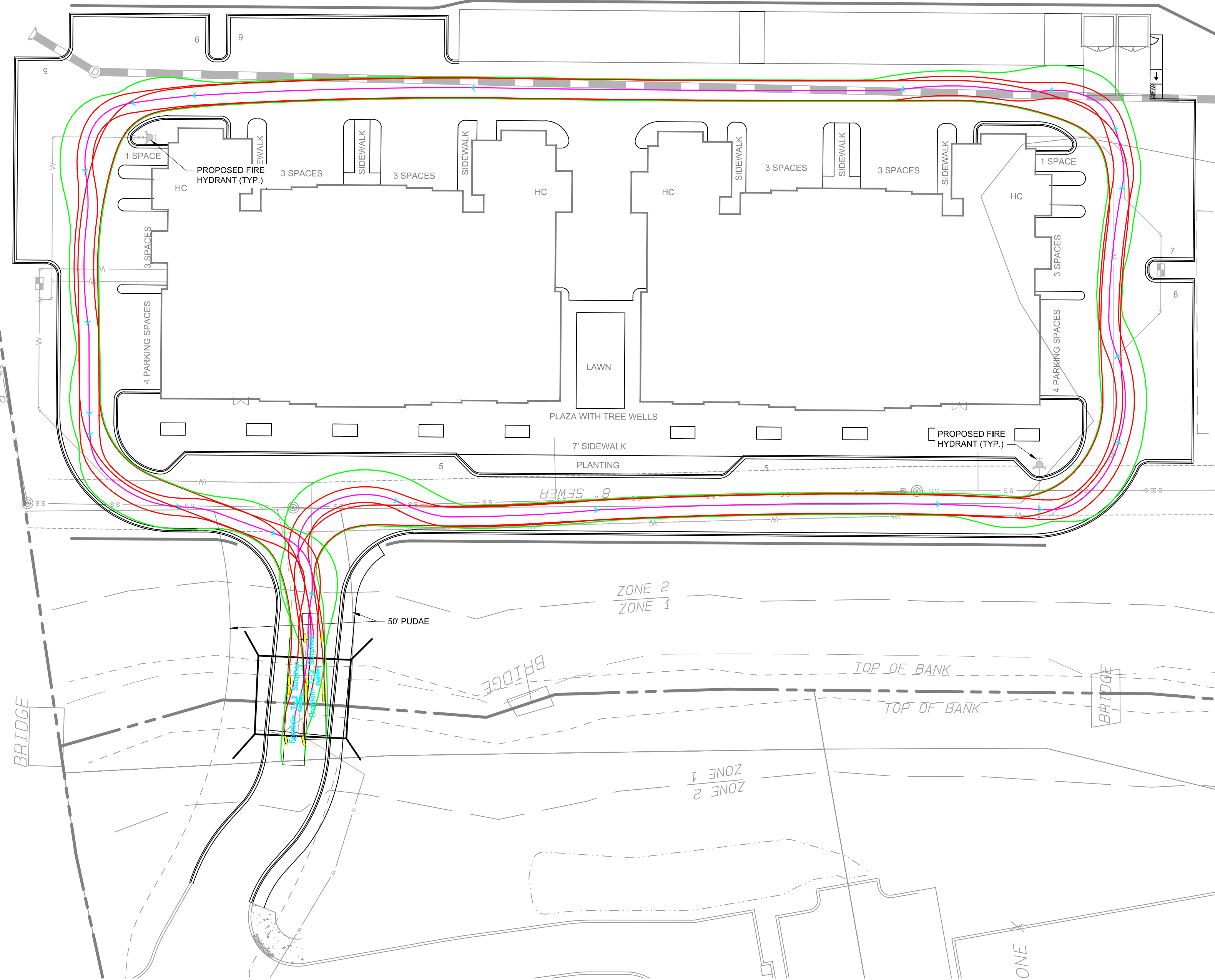
COF STANDARD REFUSE COLLECTION TRUCK TURNING TEMPLATE



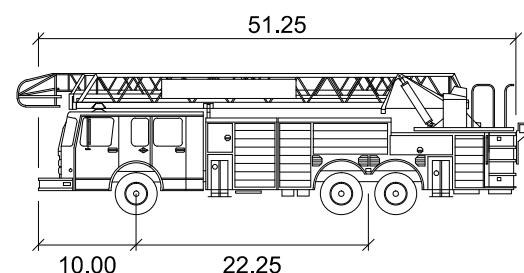
COF Garbage Truck

	feet
Width	: 8.10
Track	: 6.50
Lock to Lock Time	: 6.0
Steering Angle	: 25.1

NOTE: THE GARBAGE TRUCK SPECIFICATIONS SHOWN ABOVE MATCH THE CITY OF FRANKLIN STANDARD COMMERCIAL FRONT LOADER TRUCK DESIGN.



COF STANDARD FIRE APPARATUS TURNING TEMPLATE



Franklin T-2 Sutphen

Width	: 8.66 feet
Track	: 8.00
Lock to Lock Time	: 6.0
Steering Angle	: 42.0

NOTE: MINIMUM 5 MPH DESIGN SPEED

SITE LEGEND

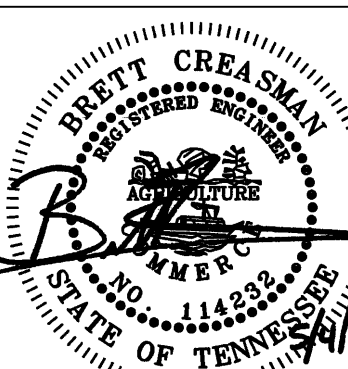
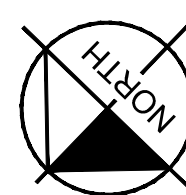
SS	PROPOSED SANITARY SEWER PIPE
W	PROPOSED WATER MAIN
ST	PROPOSED STORM PIPE
SS	EXISTING SANITARY SEWER PIPE
W	EXISTING WATER MAIN
G	EXISTING GAS MAIN
ST	EXISTING STORM PIPE
LOO	LIMITS OF DISTURBANCE
PH	FIRE HYDRANT
---	UTILITY EASEMENT
---	DRAINAGE AREA BOUNDARY



STREAM BUFFER NOTE

THERE SHALL BE NO MOWING, CLEARING, GRADING, CONSTRUCTION, STORAGE, OR DISTURBANCE OF VEGETATION IN RIPARIAN BUFFERS EXCEPT AS PERMITTED BY THE CITY ENGINEER, OR HIS DESIGNEE.

GRAPHIC SCALE IN FEET
0 15 30 60



ISSUED: APRIL 10, 2017

Revision Date

△	
△	
△	
△	

ROW & ACCESS
PLAN

SHEET

C4.0

COF # 6410

COF GRADING & DRAINAGE GENERAL NOTES

1. GRADING PERMIT IS REQUIRED FOR ANY PROJECT DISTURBING MORE THAN 10,000 SF, ADDING MORE THAN 5,000 SF OF IMPERVIOUS SURFACE OR FOR ANY SITE GRADING REQUIRING STOCKPILING OF MATERIAL.
2. THE DEVELOPER SHALL PROVIDE THE NECESSARY LABOR AND SUPERVISION REQUIRED TO SUPPORT FIELD TESTING BY THE INDEPENDENT TESTING FIRM AND INSPECTIONS BY CITY OFFICIALS AT NO COST TO THE CITY. TEST REPORTS OF FIELD TESTING IF APPLICABLE SHALL BE SUBMITTED DIRECTLY TO THE STREET DEPARTMENT. DEFECTS DISCLOSED BY TESTS SHALL BE RECTIFIED.
3. AN AUTHORIZED REPRESENTATIVE OF THE CITY SHALL MAKE A FINAL INSPECTION OF THE PROJECT AFTER COMPLETION TO DETERMINE ACCEPTABILITY OF THE WORK AND FOR RELEASE OF PERFORMANCE BONDS IF REQUIRED. BEFORE THIS FINAL INSPECTION CAN BE MADE, THE ENGINEER RESPONSIBLE FOR THE PROJECT SHALL CERTIFY IN WRITING TO THE CITY ENGINEER THAT THE WORK HAS BEEN COMPLETED IN ACCORDANCE WITH APPROVED PLANS AND SPECIFICATIONS.
4. DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, CULVERTS, DETENTION BASINS AND DITCHES, AS WELL AS THE ROADWAY SUB-GRADE, BASE STONE AND BINDER & SURFACE COARSE SHALL BE INSPECTED, TESTED AND GIVEN APPROVAL AT EACH STAGE OF INSTALLATION PRIOR TO PROCEEDING TO THE NEXT STAGE OF CONSTRUCTION. FINAL CONSTRUCTION INSPECTION FOR APPROVAL AND ACCEPTANCE OF STREETS AND DRAINAGE SYSTEMS WILL NOT BE GRANTED UNTIL ALL WORK HAS BEEN COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS.
5. LOCATING AND COORDINATION FOR THE RELOCATION OF EXISTING UTILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR. TENNESSEE'S ONE-CALL AND THE CITY OF FRANKLIN UTILITY LOCATION SERVICE SHALL BE UTILIZED IN ADDITION TO COORDINATION WITH LOCAL UTILITY OWNERS. THE CONTRACTOR SHALL AT ALL TIMES PROTECT EXISTING UTILITIES AND WILL BE RESPONSIBLE FOR COSTS DUE TO DAMAGE CAUSED TO ANY UTILITY LINES.

UTILITY NOTES

1. ALL PERSONS WHO UNDERTAKE THE CONSTRUCTION OF WATER, SEWER AND/OR RECLAIMED WATER LINES LOCATED IN, OR AFFECTING SERVICES PROVIDED BY THE CITY OF FRANKLIN SHALL COMPLY WITH THE REQUIREMENTS AND REGULATIONS SET FORTH IN THE "GENERAL REQUIREMENTS & TECHNICAL SPECIFICATIONS, WATER MANAGEMENT DEPARTMENT, CITY OF FRANKLIN, TENNESSEE" LATEST EDITION, ALONG WITH ANY AMENDMENTS, ADDITIONS, OR ALTERATION THAT MAY THEREAFTER BE ADOPTED BY THE BOARD OF MAYOR AND ALDERMEN BY RESOLUTION.
2. CONTRACTOR SHALL OBTAIN WATER & SEWER INFRASTRUCTURE INSTALLATION PERMIT PRIOR TO SCHEDULING REQUIRED PRE-CONSTRUCTION SITE MEETING. CONTRACTOR SHALL COMPLETE THE PRECONSTRUCTION SITE MEETING PRIOR TO COMMENCING WITH CONSTRUCTION.
3. CONTRACTOR SHALL OBTAIN AND KEEP ALL OF THE FOLLOWING ITEMS ON THE JOBSITE AT ALL TIMES DURING CONSTRUCTION:
 - a. APPROVED, STAMPED AND SIGNED WATER AND/OR SEWER PLANS
 - b. WATER & SEWER INFRASTRUCTURE INSTALLATION PERMIT, WITH ALL STEPS COMPLETED AND SIGNED BY APPROPRIATE CITY EMPLOYEES.
 - c. COPY OF APPROVED AVAILABILITY REQUEST RESPONSE LETTER.
 - d. A COPY OF ALL APPROVED CUT SHEETS.
4. ACCEPTANCE OF CITY OF FRANKLIN SANITARY SEWER INFRASTRUCTURE AND/OR RECLAIMED WATER INFRASTRUCTURE SHALL BECOME THE RESPONSIBILITY OF THE CITY OF FRANKLIN, TN FOLLOWING APPROVAL FROM THE CITY OF FRANKLIN INSPECTORS AND ACCEPTANCE BY THE FRANKLIN MUNICIPAL PLANNING COMMISSION. THE ACCEPTANCE DATE SHALL BE BASED ON THE DAY MAINTENANCE SURETIES ARE ESTABLISHED BY THE FRANKLIN MUNICIPAL PLANNING COMMISSION. WATER INFRASTRUCTURE TO BE RESPONSIBILITY OF MALLORY VALLEY UTILITY DISTRICT.
5. PRIOR TO THE ACCEPTANCE OF CITY OF FRANKLIN PUBLIC WATER INFRASTRUCTURE, SANITARY SEWER INFRASTRUCTURE AND/OR RECLAIMED WATER INFRASTRUCTURE THE CONTRACTOR SHALL BE REQUIRED TO SUBMIT AS-BUILT DRAWINGS TO THE PLANNING AND SUSTAINABILITY DEPARTMENT.
6. ALL OFF-SITE WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE AN APPROVED TRAFFIC CONTROL PLAN WHICH COMPLIES WITH THE MUTCD. NO OFF-SITE EXCAVATION MAY BE UNDERTAKEN IN ANY STREET, ROAD, ALLEY OR RIGHT-OF-WAY OF ANY UTILITY OR TEMPORARY CONSTRUCTION EASEMENT OF THE CITY OF FRANKLIN BY ANY ENTITY UNLESS 72-HOUR NOTICE HAS BEEN GIVEN TO THE CITY OF FRANKLIN TRAFFIC OPERATIONS CENTER. THE CONTRACTOR SHALL HAVE AN APPROVED TRAFFIC CONTROL PLAN ONSITE DURING CONSTRUCTION.
7. ANY DAMAGES CAUSED TO EXISTING UTILITIES DURING CONSTRUCTION SHALL, AT HIS OWN EXPENSE, BE REPLACED OR REPAIRED TO ORIGINAL CONDITION AND QUALITY, AS APPROVED BY THE OWNER AND REPRESENTATIVE OF THE APPROPRIATE UTILITY COMPANY, BY THE CONTRACTOR.

UTILITY LAYOUT NOTE

-DETAILS AND LAYOUT OF UTILITIES SHOWN GRAPHICALLY ON THIS PLAN ARE SUBJECT TO CHANGE BETWEEN DEVELOPMENT PLAN AND SITE PLAN SUBMITTALS.

-APPLICANT WILL WORK WITH CITY STAFF ON ALIGNMENT AND DESIGN OF ALL UTILITIES SHOWN ON THIS PLAN TO REACH AN AGREED-UPON SOLUTION FOR SERVING THE SITE.

-BASED UPON PRELIMINARY DESIGN, ALL PROPOSED SANITARY SEWER IS ANTICIPATED TO BE INSTALLED AT A DEPTH OF LESS THAN 12'. THEREFORE NO SANITARY SEWER EASEMENTS GREATER THAN 20' ARE ANTICIPATED.

UTILITY NARRATIVE

WATER AND SEWER SERVICES WILL BE INSTALLED AT TIME OF CONSTRUCTION. PAVEMENT CUTS MAY BE NECESSARY FOR PROPOSED WATER AND SEWER SERVICE CONNECTIONS TO BE MADE.

EXISTING UTILITIES NOTE

CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES AND/OR CONFLICTS WITH EXISTING OR PROPOSED UTILITIES PRIOR TO PROCEEDING. COF DOES NOT PARTICIPATE IN 11/17/17 ONE CALL. CONTACT COF WATER/SEWER DEPT. FOR LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.

UTILITY NOTES

1. CONTRACTOR RESPONSIBLE FOR VERIFYING EXISTING ELEVATIONS COMPARED TO THOSE SHOWN ON PLAN PRIOR TO GRADING. NOTIFY OWNER'S REPRESENTATIVE IF DISCREPANCIES ARE FOUND.
2. AREAS FOR CONSTRUCTION THAT REQUIRE DE-WATERING FOR EXCAVATION WILL BE DONE AT NO ADDITIONAL COST TO THE OWNER.
3. ALL WATER AND SEWER MATERIALS AND CONSTRUCTION SHALL BE IN COMPLIANCE WITH CITY OF FRANKLIN OR MALLORY VALLEY'S STANDARD SPECIFICATIONS.
4. MAINTAIN MINIMUM 10 FEET HORIZONTAL SEPARATION BETWEEN WATER & SANITARY SEWER OR 18" VERTICAL SEPARATION AT CROSSING LOCATIONS.
5. REFER TO CITY OF FRANKLIN SEWER & MALLORY VALLEY UTILITY DISTRICT WATER STANDARD SPECIFICATIONS FOR PIPE BEDDING REQUIREMENTS.
6. ALL WATER VALVES TO BE LOCATED OUTSIDE OF PAVED AREAS WHERE POSSIBLE.
7. THE CONTRACTOR SHALL PROVIDE A COMPLETE SET OF AS-BUILT DRAWINGS OF WATER & SANITARY SEWER CONSTRUCTION PRIOR TO THE ACCEPTANCE OF THE PUBLIC UTILITIES.

IMPACT STATEMENT

WATER
WATER IS PROVIDED BY MALLORY VALLEY UTILITY DISTRICT VIA EXISTING 8" WATER LINE THAT EXTENDS APPROXIMATELY 615 LF FROM A 12" WATER LINE ON FRANKLIN ROAD. WATER AVAILABILITY OF APPROXIMATELY 20,400 GPD HAS BEEN CONFIRMED BY MVUD FOR THIS DEVELOPMENT.

SANITARY SEWER
SANITARY SEWER WILL BE PROVIDED BY CITY OF FRANKLIN THROUGH THE SPENCER CREEK BASIN INTERCEPTOR. THE CITY OF FRANKLIN HAS APPROVED THE ADDITION OF 60 SFUE FOR THE DEVELOPMENT.

RECLAIMED WATER LINE
RECLAIMED WATER INFRASTRUCTURE IS NOT PRESENT OR PROPOSED ON THIS SITE.

STORMWATER
STORMWATER FLOWS WILL BE TREATED FOR WATER QUALITY BY GREEN INFRASTRUCTURE THROUGHOUT THE SITE AND POST DEVELOPMENT PEAK FLOW DISCHARGES WILL BE CONTROLLED TO PRE DEVELOPMENT PEAK FLOWS BY THE DETENTION POND AND OUTLET STRUCTURE.

ELECTRICITY
ELECTRIC WILL BE PROVIDED BY MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORP.

GAS
NATURAL GAS WILL BE PROVIDED BY ATMOS GAS VIA EXISTING MAINS ALONG FRANKLIN ROAD.

REFUSE COLLECTION
REFUSE COLLECTION FOR THE DEVELOPMENT SHALL BE PROVIDED BY PRIVATE COLLECTION.

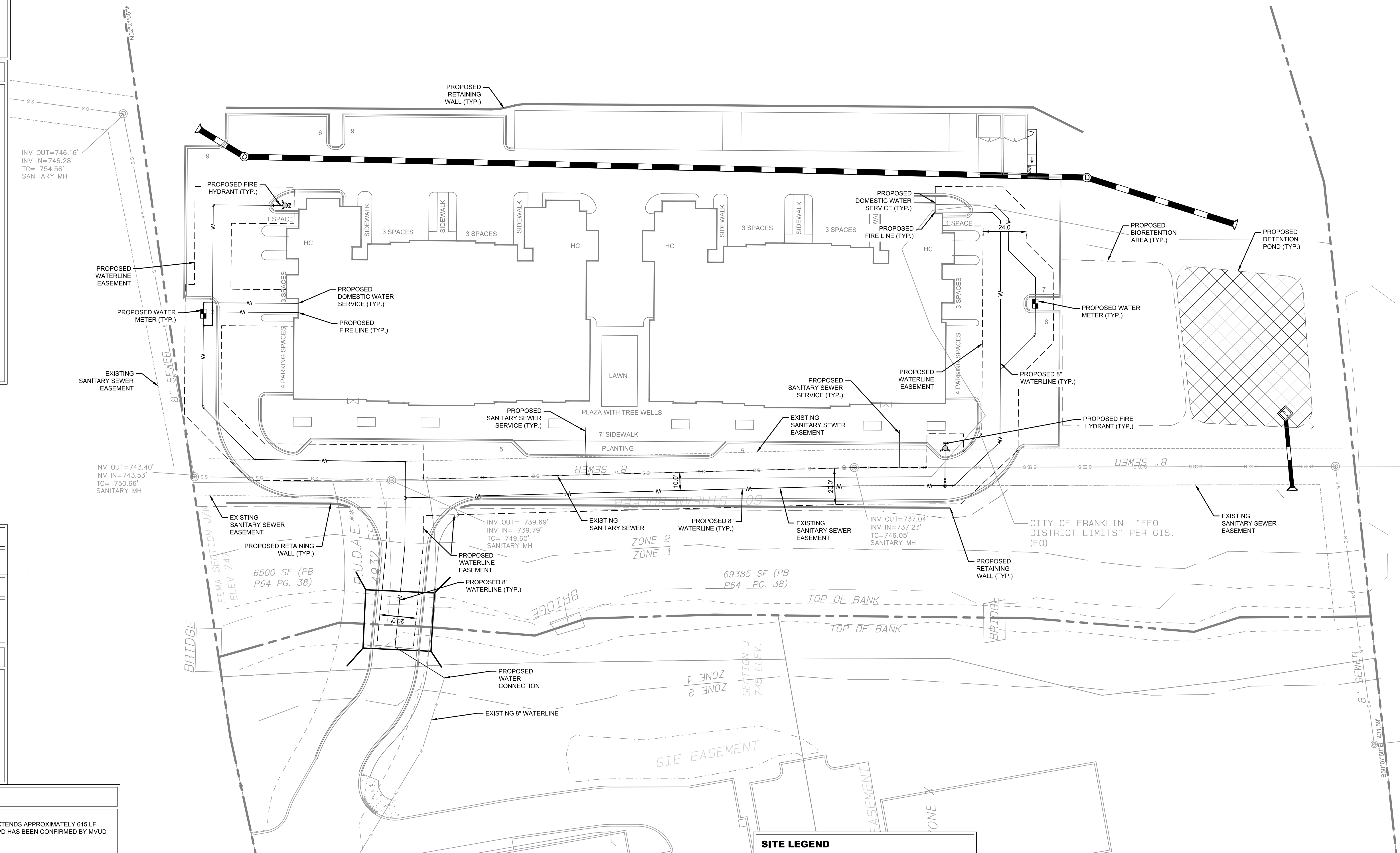
UTILITY AGENCIES CONTACT LIST

WATER	GAS	TELEPHONE	ENGINEER
MALLORY VALLEY 465 DUKE DRIVE FRANKLIN, TN 37067 PHONE: (615) 628-0237 CONTACT: BOBBY NUTT	ATMOS ENERGY 200 NOAH DRIVE FRANKLIN, TN 37064 PHONE: (615) 794-2596 CONTACT: RON MYATT	AT&T (615) 595-7816 CONTACT: DAVID TUTTEROW	KIMLEY-HORN AND ASSOCIATES, INC. 214 OCEANSIDE DRIVE NASHVILLE, TENNESSEE 37204 PHONE: (615) 564-2877 CONTACT: BRETT CREASMAN, P.E.
ELECTRIC	SANITARY SEWER	CABLE	CITY OF FRANKLIN
MIDDLE TN ELECTRIC 2156 EDWARD CURD LN. FRANKLIN, TN 37067 PHONE: (615) 595-4693 CONTACT: DALE HOOD	CITY OF FRANKLIN 124 LUMBER DRIVE FRANKLIN, TN 37064 PHONE: (615)550-6855 CONTACT: BEN MCNEIL	COMCAST 2501 McGAVOCK PK, SUITE 1206 NASHVILLE, TN 37214 (615)440-2920 CONTACT: PAULA BROOKS	109 3rd AVENUE SOUTH, FRANKLIN, TN 37067 CONTACT: PLANNING : JOSH KING 615-550-6977 ENGINEERING : LANCE FITTRO 615-550-6676

PROPOSED SITE PLAN PROVIDED BY GAMBLE DESIGN
COLLECTIVE. EXISTING SURVEY INFORMATION PROVIDED
BY HARRAH & ASSOCIATES, DATED 2/14/17.

UTILITY PLAN DATA CHART

• FACILITY TYPE:	RESIDENTIAL - MULTIFAMILY
• UNIT FLOW IN GPD:	300 GPD/2BR, 350 GPD/3BR
• NUMBER OF UNITS:	(42 2BR, 12 3BR) 54 TOTAL
• TOTAL FLOW IN GPD:	8,400
*ESTIMATED FLOWS PER COF STANDARDS	



FLOW TEST DATA

-TEST HYDRANT LOCATION: CORNER OF FRANKLIN ROAD AND DAVENPORT BLVD
-FLOW HYDRANT LOCATION: CORNER OF FRANKLIN ROAD AND CUMBERLAND PARK DRIVE
-STATIC PRESSURE = 84 PSI
-RESIDUAL PRESSURE = 82 PSI
-TOTAL GPM DURING TEST = 956
-DATE: FEBRUARY 24, 2017 @ 1:00 PM
-TEST PERFORMED BY CORY BORUM AND BEN BUTLER OF HETHCOAT AND DAVIS.

WATER INFRASTRUCTURE NOTE

WATER LAYOUT SHOWN ON THIS PLAN IS CONCEPTUAL. REFER TO FINAL DRAWINGS PROVIDED BY MALLORY VALLEY UTILITY DISTRICT FOR CONSTRUCTION.

SITE LEGEND

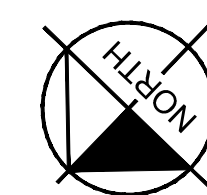
SS	PROPOSED SANITARY SEWER PIPE
W	PROPOSED WATER MAIN
SS	PROPOSED STORM PIPE
W	EXISTING SANITARY SEWER PIPE
G	EXISTING WATER MAIN
ST	EXISTING GAS MAIN
LOO	EXISTING STORM PIPE
PH	LIMITS OF DISTURBANCE
PH	FIRE HYDRANT
PH	UTILITY EASEMENT
PH	DRAINAGE AREA BOUNDARY



STREAM BUFFER NOTE

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GRAPHIC SCALE IN FEET
0 15 30 60



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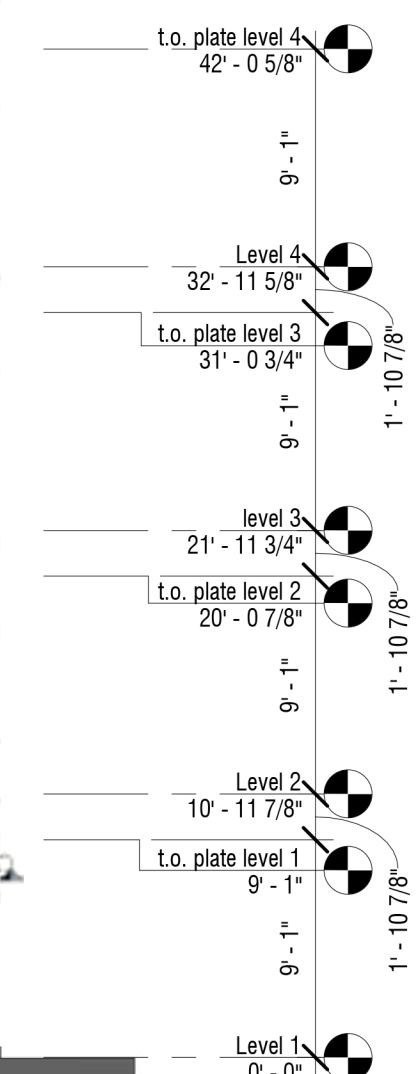
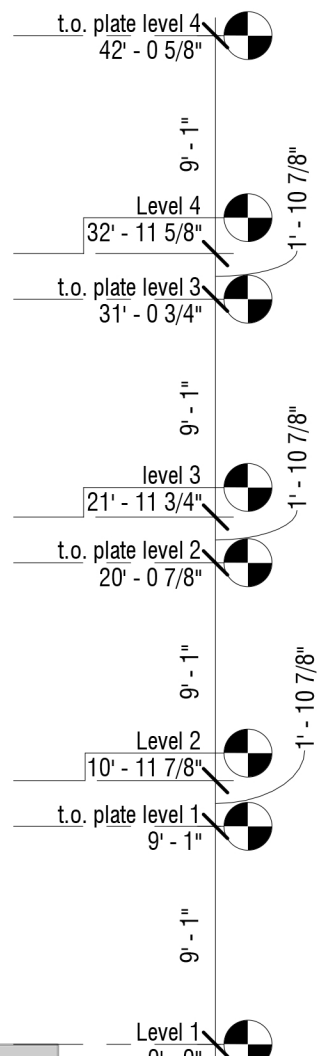
www.b3studio.com



branch creek condominiums

27 unit condo building || two buildings
590 franklin road | franklin, tn 37064

a400


$$1/8'' = 1'-0''$$

$$\frac{1}{8}'' = 1'-0'$$

BELDEN BRICK | UTILITY BRICK
COLOR: BELDEN DUTCH GRAY VELOUR

BELDEN BRICK | UTILITY BRICK
COLOR: BELDEN 8521

BELDEN BRICK | UTILITY BRICK
COLOR: BELDEN 8523

BELDEN BRICK | UTILITY BRICK
COLOR: BELDEN 671 VELOUR

BELDEN BRICK | UTILITY BRICK
COLOR: 8621

READING ROCK | ROCKCAST SMOOTH
COLOR: ARTIC WHITE

PER SECTION 5.3.5 IN THE ZONING ORDINANCE, ALL SIDES OF AN ATTACHED RESIDENTIAL BUILDING VISIBLE FROM LANDS OCCUPIED OR DESIGNATED FOR DETACHED RESIDENTIAL USES, AN EXISTING PUBLIC STREET RIGHT OF WAY, OR OTHER PUBLIC LANDS SHALL DISPLAY A SIMILAR LEVEL OF QUALITY AND ARCHITECTURAL DETAILING.

THESE ELEVATIONS HAVE BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE CITY OF FRANKLIN'S ARCHITECTURAL DESIGN STANDARDS AND THE APPROVAL OF THE PLANNING COMMISSION/CITY OF FRANKLIN. CHANGES SHALL NOT BE MADE TO THE APPROVED ELEVATIONS UNLESS APPROVED BY THE CODES DIRECTOR OR THE PLANNING COMMISSION.
COF NO.: **a16054.00**

ALL HVAC EQUIPMENT WILL BE PLACED ON THE ROOF AND ADEQUATELY SCREENED BY THE CONTINUOUS PARAPET.

brick	4074 sf (77%)
cast stone	63 sf (1%)
hardie board	705 sf (13%)
hardie panel	463 sf (9%)

total facade | 5305 sq ft



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1104 west main street || franklin, tn 37064 || www.b3studio.com



branch creek condominiums
27 unit condo building || two buildings
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first floor
plan
perspective

a402



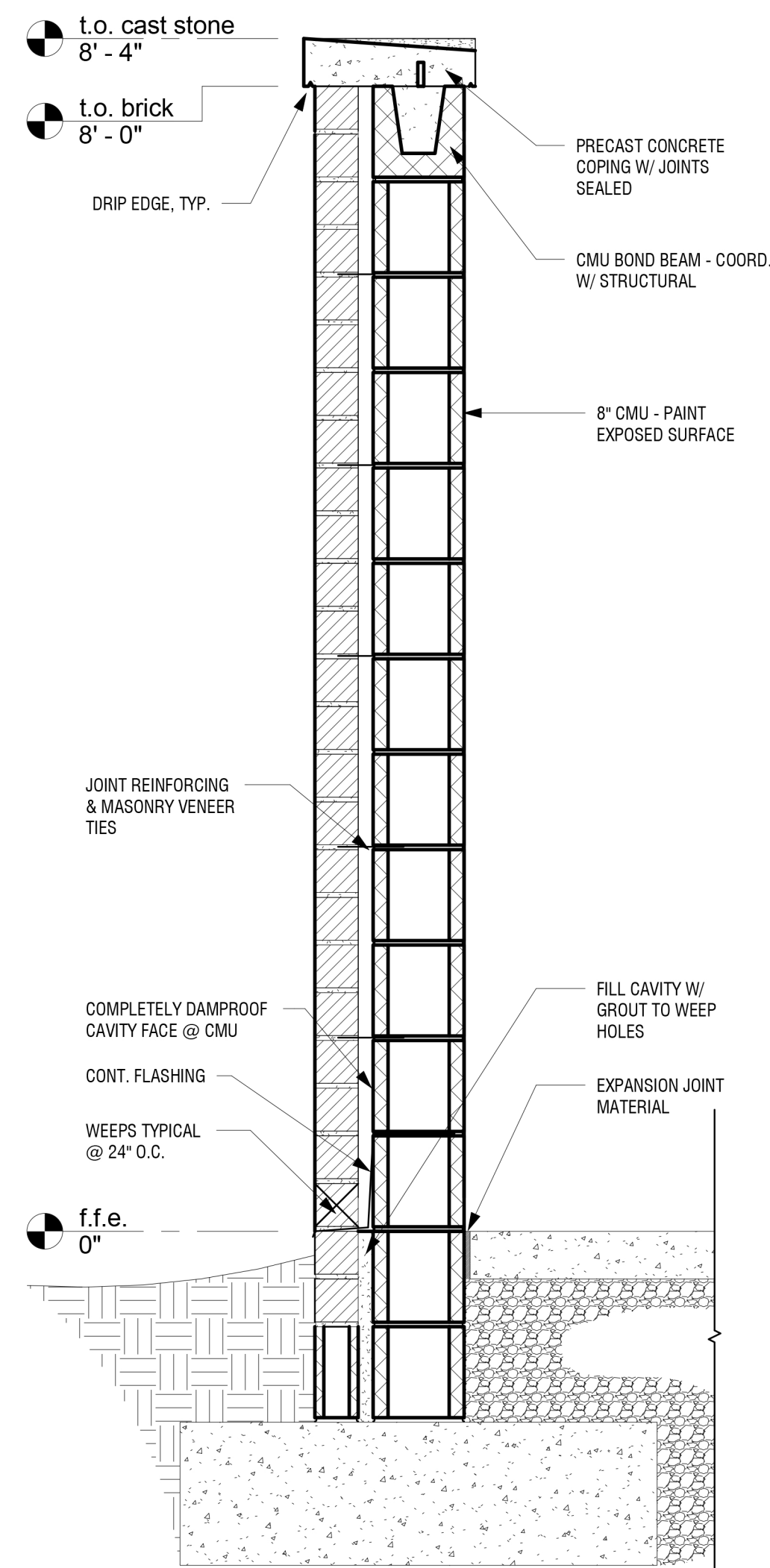
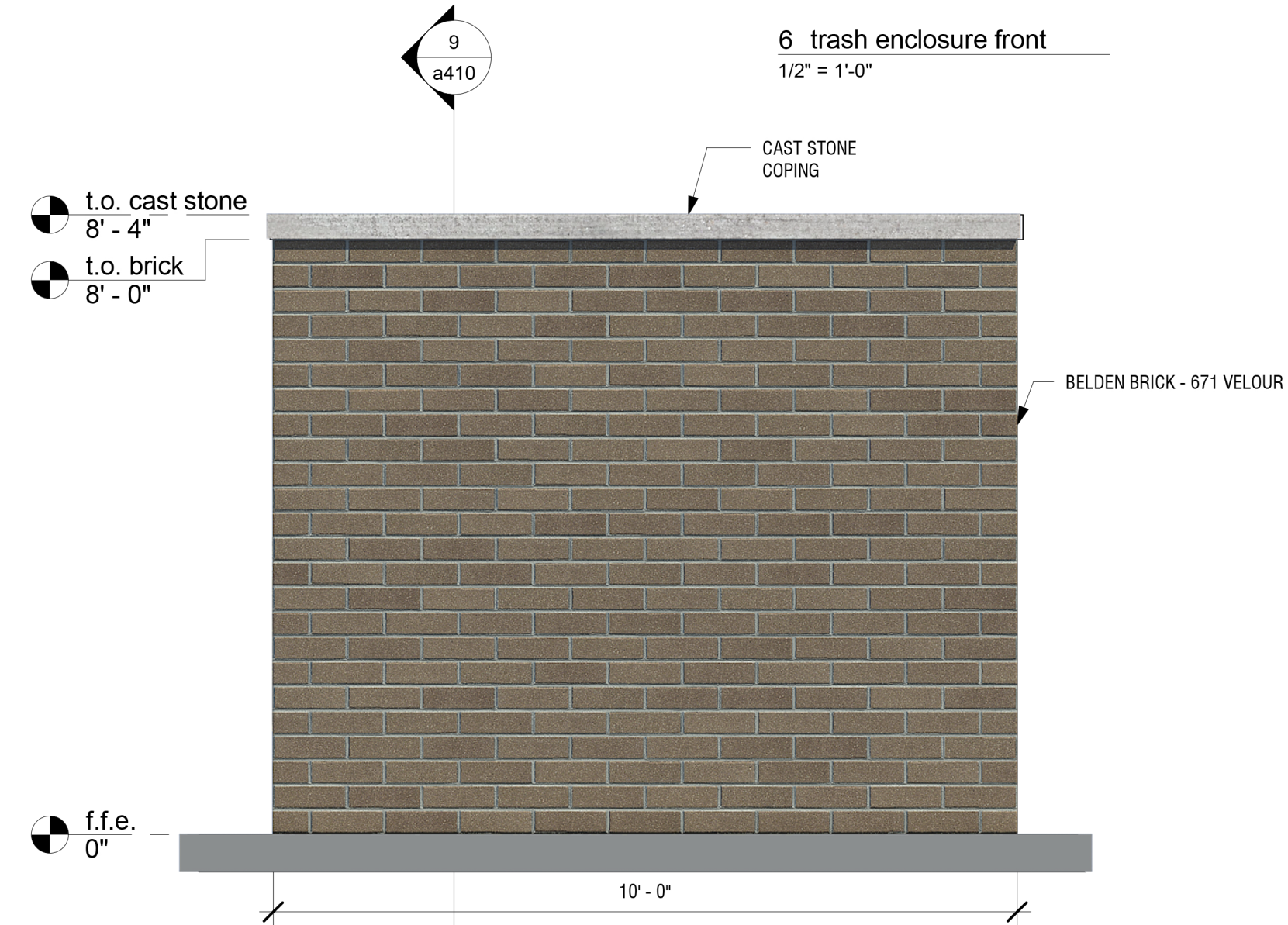
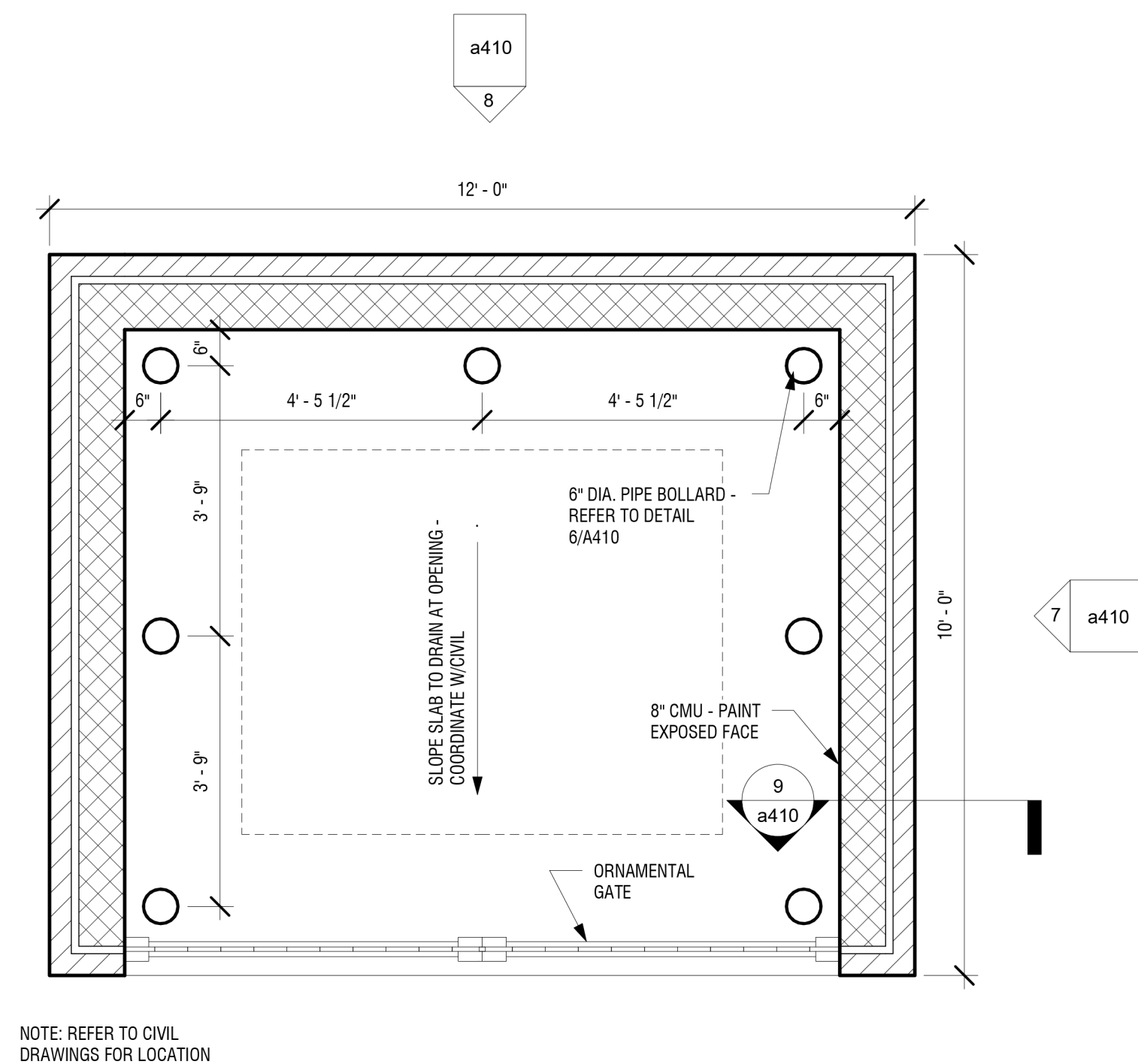
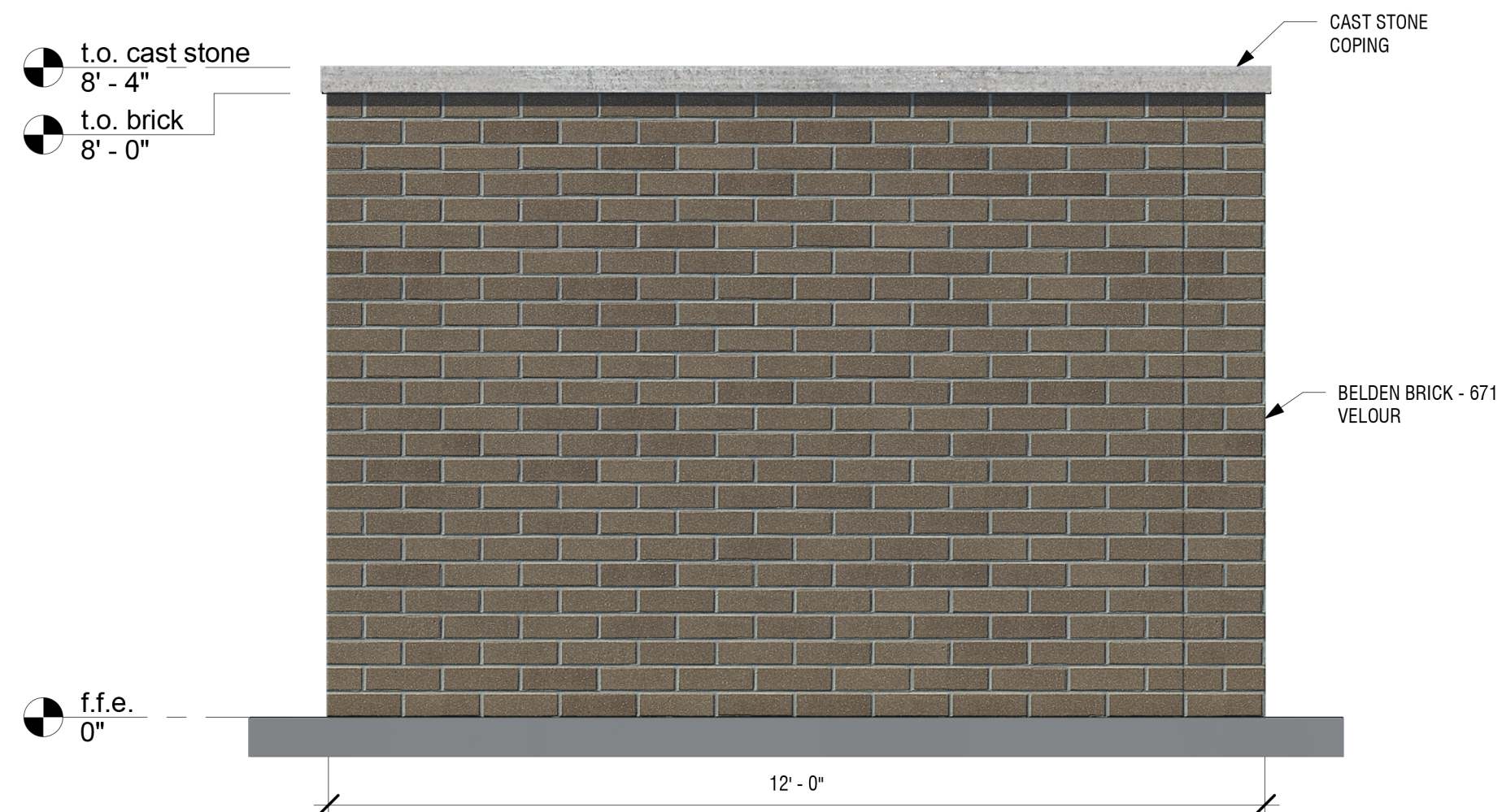
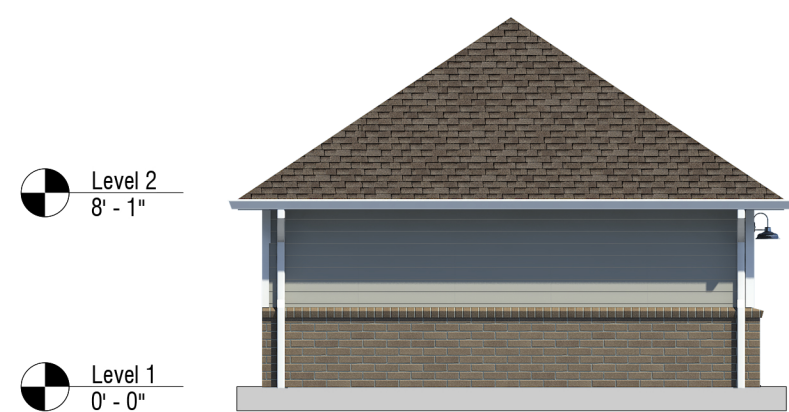
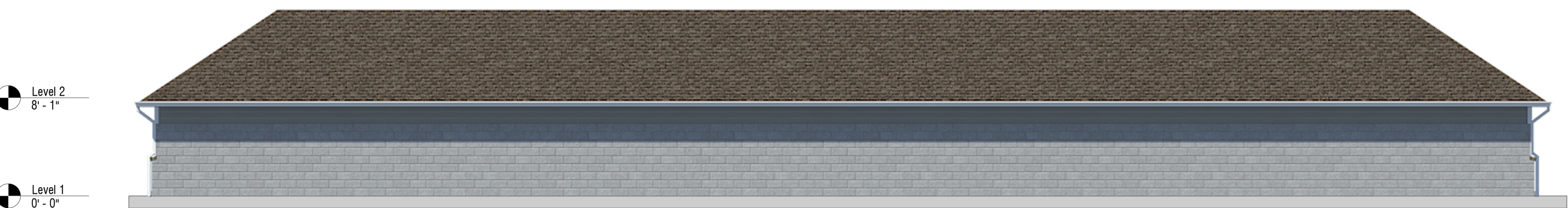
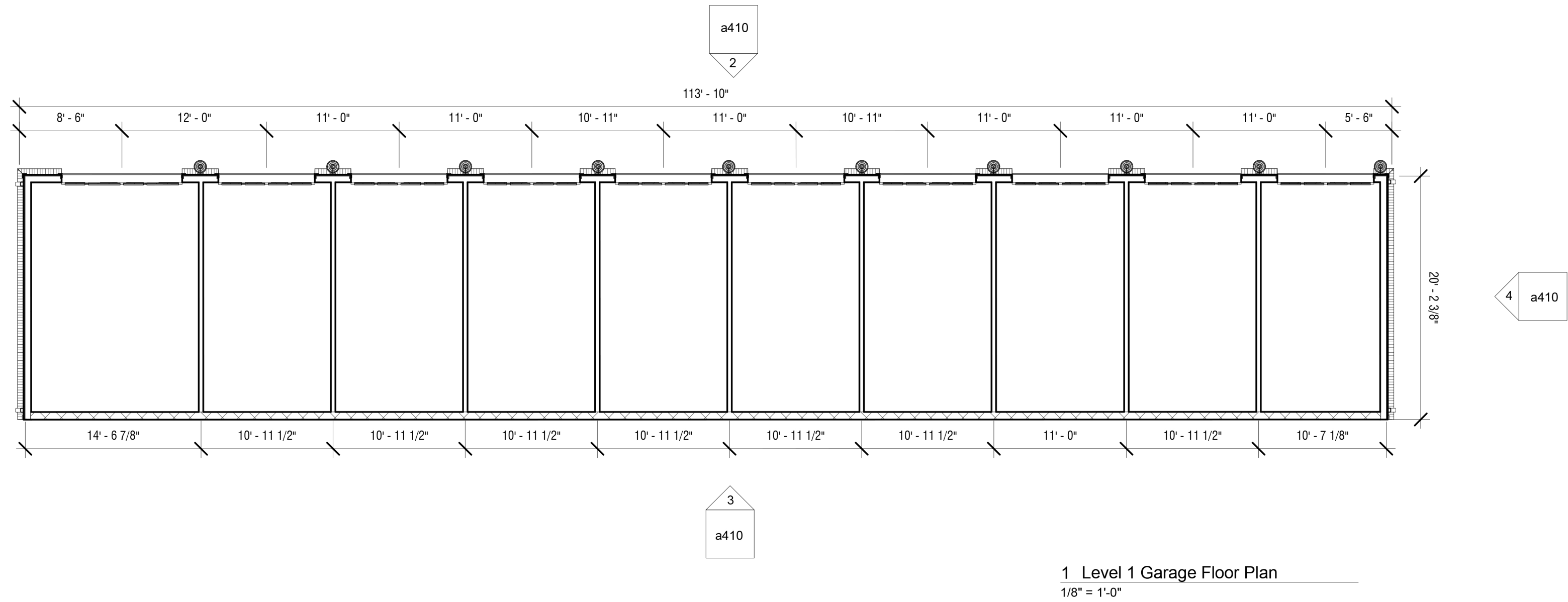
— MAIN ENTRY | NORTH ELEVATION

STAIR #2 EGRESS POINT AND
SECONDARY ENTRY

1 first floor perspective

MAIN ENTRY | SOUTH ELEVATION





listen • think • create

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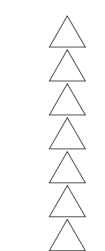
client:

Beazer Homes

project:

branch creek condominiums
27 unit condo building || two buildings
590 franklin road | franklin, tn 37064

revisions



date: 02 march 2017
project no.: a16054.00

garage and
trash
enclosure

a410