

GATEWAY VILLAGE PUD SUBDIVISION DEVELOPMENT PLAN, SECTION 4



H. Michael Hindman
Architects, P.C.

1607 Westgate Circle - Suite 100
Brentwood, Tennessee 37027
615.370.3252
www.hmarchitects.com

OFFICE BUILDING FOR

**Touchstone
Medical
Imaging**

LYNWOOD WAY
LOT 137 GATEWAY
VILLAGE SECTION 3
FRANKLIN, TENNESSEE



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PLAN SHEET INDEX

SHEET	DESCRIPTION
CS	COVER SHEET
ECP	EXISTING CONCEPT PLAN
PCP	PROPOSED CONCEPT PLAN AS APPROVED
PCP	PROPOSED CONCEPT PLAN AS BUILT
C0.0	EXISTING CONDITIONS PLAN
C1.0	PROPOSED LAYOUT PLAN
C2.0	PROPOSED GRADING DRAINAGE PLAN
C3.0	STORMWATER PLAN
L1.0	LANDSCAPE PLAN
L1.1	LANDSCAPE PLAN
A1	ARCHITECTURE PLAN
A2	ARCHITECTURE PLAN
A3	ARCHITECTURE PLAN
A4	ARCHITECTURE PLAN

SITE DATA:

SUBDIVISION/DEVELOPMENT:	RSC GENERAL PARTNERSHIP
ADDRESS:	1360 MOHER BLVD.
CITY:	FRANKLIN
COUNTY:	WILLIAMSON
STATE:	TENNESSEE
PARCEL/MAP:	PARCEL 49 MAP 064B GROUP B
ACREAGE OF SITE:	1.45± ACRES
SQUARE FOOTAGE OF SITE:	63,245± S.F.
DISTURBED ACREAGE:	1.20± ACRES
CIVIL DISTRICT:	8
CHARACTER AREA	BCCO BARRYS CHAPEL CHARACTER DEVELOPMENT AREA OVERLAY
DEVELOPMENT STANDARD	TRADITIONAL
EXISTING USE	VACANT
PROPOSED USE	OFFICE
ZONING DISTRICT	GENERAL COMMERCIAL

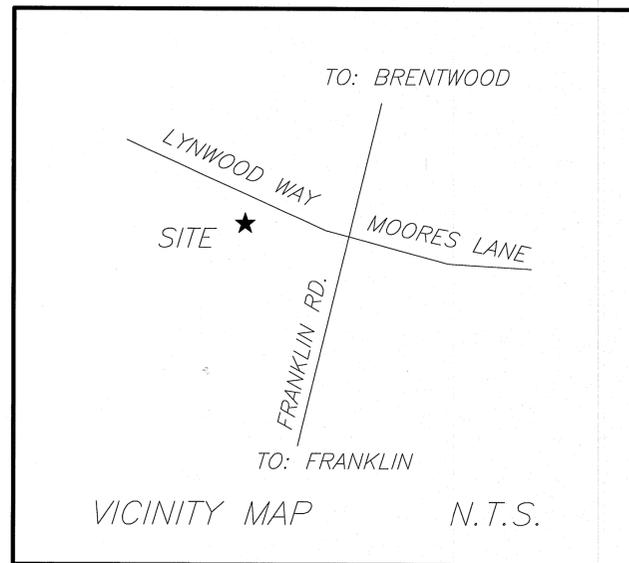
APPLICANT: ARCHITECT
MR. MICHAEL HINDMAN, A.I.A.
H. MICHAEL HINDMAN ARCHITECTS, P.C.
1607 WESTGATE CIRCLE, SUITE 100
BRENTWOOD, TN 37027
(615) 370-3252

ENGINEER
MR. JARED R. GRAY, P.E.
CIVIL DESIGN CONSULTANTS, LLC.
8170 COLEY DAVIS RD.
NASHVILLE, TN 37221
(615) 638-8207

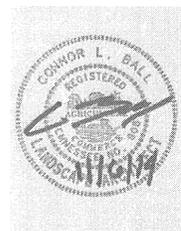
LANDSCAPE ARCHITECT
MR. CONNOR BALL, PLA
HEIBERT + BALL LAND DESIGN
1894 GENERAL GEORGE PATTON DR.
FRANKLIN, TN 37067
(615) 376-2421

BUILDING SQUARE FOOTAGE: 21,000 S.F. (MEDICAL OFFICE)
PARKING REQUIRED: 1 SPACE/250 S.F.= 84 SPACES
PARKING PROVIDED: 86 SPACES

ALL 90' PARKING SHALL BE 9'X18' UNLESS OTHERWISE NOTED



CIVIL DESIGN CONSULTANTS, LLC
CIVIL ENGINEERS - LAND PLANNERS
CIVIL-DESIGN-CONSULTANTS, LLC
8170 COLEY DAVIS RD., NASHVILLE, TN 37221
PHONE: (615) 516-2734 EMAIL: CIVILCONSULTANTS@BELLBOOTH.NET



1360 MOHER BLVD
CITY OF FRANKLIN PROJECT NUMBER 4693
CITY OF FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

COF #4693

Revisions

HMH Job Number
14035

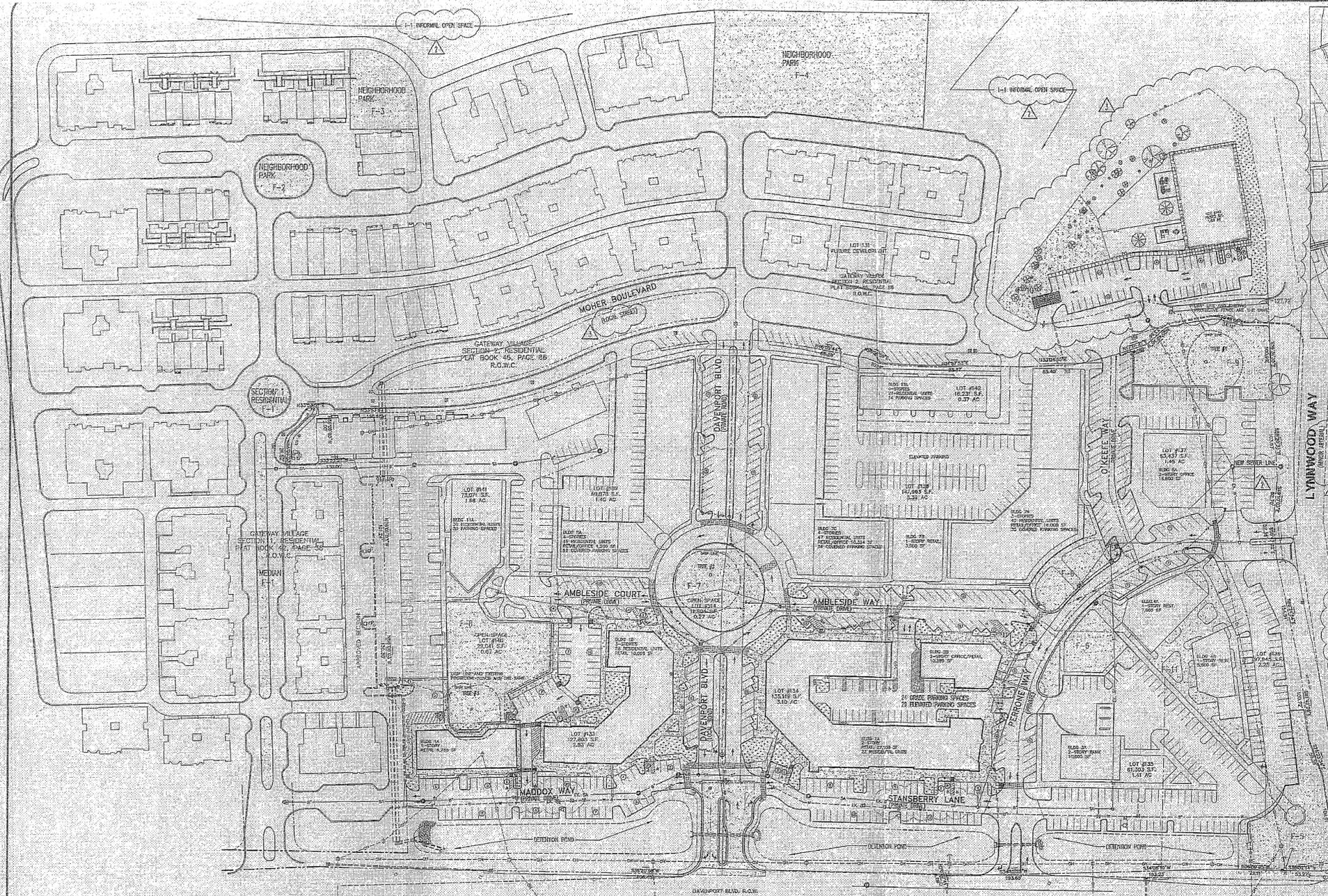
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HMH

Date
07.28.14

Drawing

COVER SHEET

CS



VICINITY MAP

NOT TO SCALE

NEW LAND USE REGULATIONS

APPROVED ZONING	PLANNED COMMERCIAL (PC 6.83)
DESIGNED ZONING	PLANNED COMMERCIAL (PC 6.84)
GROSS SITE AREA	77.80 AC
TOTAL RESIDENTIAL UNITS	402 DWELLING UNITS
TOWNHOUSES	130 DWELLING UNITS (APPROVED SECTIONS 1 & 4)
CONDOMINIUMS	32 DWELLING UNITS (APPROVED SECTION 6)
CONDOMINIUMS/LOFTS	233
GROSS DENSITY	6.94 DUA
TOTAL SF OF RETAIL/RESTAURANT	65,082 SF
TOTAL SF OF OFFICE	67,176 SF
TOTAL RETAIL/OFFICE/RESTAURANT	144,258 SF
PROPOSED FLOOR AREA RATIO	0.050
MAX. ALLOWED FLOOR AREA RATIO	0.050

MINIMUM OPEN SPACE REQUIREMENTS FOR RESIDENTIAL FORMAL OPEN SPACE:

5% of Developable Area Required for Formal Open Space
 Total Developable Area = 41.82 AC, 5% of 41.82 AC = 91,040 SF (2.04 AC)
 Proposed Plan = 182,201 SF (4.18 AC)

AREA	TYPE	APPROVED AREA OF OPEN SPACE	PROPOSED AREA OF OPEN SPACE	PROPOSED MAXIMUM OF OPEN SPACE
Area F-1	Section 1 Median/Circle	6,956 SF	2,492 SF	6,956 SF
Area F-2	Section 2 Median/Circle	6,844 SF	1,636 SF	6,844 SF
Area F-3	Section 3 Circle	11,923 SF	2,846 SF	11,923 SF
Area F-4	Neighborhood Park	42,171 SF	10,527 SF	42,171 SF
Area F-5	Overseas Monument	14,909 SF	3,727 SF	14,909 SF
Area F-6	Front Point	12,073 SF	3,018 SF	12,073 SF
Area F-7	Trailer Circle	8,346 SF	2,085 SF	8,346 SF
Area F-8	PARK	19,528 SF	4,882 SF	19,528 SF
Area F-9	Front	7,853 SF	1,963 SF	7,853 SF
Area F-10	Front	18,079 SF	4,519 SF	18,079 SF
Area F-11	Front	12,701 SF	3,175 SF	12,701 SF
		182,201 SF (3.72 Acres)	164,074 SF (3.87 Acres)	

INFORMAL OPEN SPACE
 10% Developable Area Required for Informal Open Space
 Total Developable Area = 41.82 AC, 10% of 41.82 AC = 182,201 SF (4.18 AC)

KEY	CLASSIFICATION	TYPE	AREA OF OPEN SPACE	PAVED AREA
AREA F-1	INFORMAL	HILLSIDE	1,017.61 D	

CURRENTLY APPROVED GATEWAY VILLAGE LAND USE DATA:

Development	FUPC Approved	PC Zoned Acres	Total Dwelling Units	RETAIL OFFICE SF	MIXED USE PARKING
Concept Plan	5/25/03	60.00	419	133,958	185 multiplier
Section 1	6/6/04	4.83	33		
Section 2	3/24/05	11.42	97		
Section 3	7/27/09	1.12	38		
Approved Section 3, Lots 133 and 134	3/28/09	2.07	50	97,235	540

OWNER/DEVELOPER: VILLAGE CENTER, CODA COMPANIES & GATEWAY VILLAGE DEVELOPMENT, INC.
 ADDRESS: 3042 THOROUGHSHED LANE SUITE 200 BRENTWOOD, TN 37027
 PHONE NO. (615) 832-5477
 E-MAIL: LYNNELLSWORTH@MSN.COM
 CONTACT NAME: LYNN ELLSWORTH

OWNER/DEVELOPER SECTION 1,2,6: GATEWAY VILLAGE DEVELOPMENT, INC.
 ADDRESS: 3628 TROUSDALE DRIVE, SUITE F NASHVILLE, TN 37204
 PHONE NO. (615) 832-0707
 FAX NO. (615) 832-0779
 E-MAIL: DYLW@LOWCONSTRUCTION.COM
 CONTACT NAME: DAVID A. FLOW

APPLICANT:
 KLINE SWINNEY ASSOCIATES
 22 MIDDLETON STREET NASHVILLE, TN 37210
 PHONE NO. 615.256.1854
 E-MAIL: DKLINE@KSWINNEYARCHITECTS.COM
 CONTACT: DAVID KLINE

CIVIL ENGINEER:
 CIVIL ENGINEERING SERVICES
 PO BOX 186 FARRISBURG, TN 37062
 PHONE NO. 615.333.0031
 E-MAIL: RAY@CIVILENGINEERINGSERVICES.NET
 CONTACT: RAY FLAKE

REVISED SITE CONCEPT PLAN

SCALE: 1" = 60'

GATEWAY VILLAGE IMPROVEMENT PROPOSAL CONCEPT PLAN FOR SECTION 3, LOT 133 & 134 CHANGE

SECTION 3 LOT NUMBER	LAND ALLOCATIONS BY PARCEL	CONDOS/LOFTS	RESTAURANT AND BANQUET	RESTAURANT	ACREAGE	SQUARE FOOT OF LAND	PARKING SHOWN	PARKING/CODE WITH 35 MULTIPLIER
133	A, B	26	22,861			127,824	154	154
134	A, B	22	24,963			135,419	197	197
135	A		10,420			61,309	92	28
136	A, B			12,500		97,945	91	115
137	A		16,800			83,637	67	68
138	A		10,300			70,520	46	39
139	A, B, C	87	27,254			147,993	223	292
140	Formal Open Sp	46	4,500			30,676	148	102
141	Formal Open Sp					1,057	0	0
142	A	91				73,071	76	57
		2				1,021	2	40
Total		224	131,768	12,500		882,168	1,354	1,886

STORMWATER NOTES

- This site will provide adequate on-site detention for one and post development runoff.
- No portion of site shall flow within a roadway (RW) or roadway fringe (RF) boundary. Detention facilities will minimize impacts of increased runoff on downstream properties. The existing detention system will be used for all of the detention & water quality requirements for 2-100 year storms. Water quality will provide a minimum of 60% TSS (total suspended solids) removal.
- Refer to plan for approximate locations for detention. This is shown in general only. Final sizes and location to be determined with site plan development.
- Expected Pollutant Removal Efficiency taken from City of Franklin Stormwater Management Plan.
- All Water Quality Devices east of the Water Quality Cell on motor shall drain toward the Existing Detention facilities.
- Structural treatment shall be City of Franklin approved.
- Restoration of storm water study not required/ per pre-application meeting.

GENERAL NOTES

- SECTIONS 1, 2 & 3 OF GATEWAY VILLAGE DESIGNED BY LANDSCAPE INC. THE REVISED COMMERCIAL VILLAGE DESIGNED BY KSA/ODGA COMPANIES.
- THREE EXISTING TREES WITHIN THE COMMERCIAL VILLAGE SHALL BE PRESERVED.
- ALL TREE-PROTECTION FENCING SHALL BE IN PLACE PRIOR TO THE ISSUANCE OF A GRADING PERMIT AND SHALL BE MAINTAINED IN GOOD WORKING ORDER UNTIL ALL CONSTRUCTION ACTIVITY IS COMPLETED. ANY REQUIRED EROSION CONTROL MEASURES SHALL BE PLACED OUTSIDE OF ANY TREE PROTECTION FENCING.
- THE PLANT MATERIAL PROPOSED FOR THE IMPROVEMENT AREAS SHALL BE SWORN ON THE PLAN AND INCLUDED IN A PLANT SCHEDULE AT THE SITE PLAN STAGE. MAINTENANCE GUIDELINES FOR THESE AREAS SHALL BE PROVIDED.

TREES TO BE SAVED/PROTECTED

ID#	SIZE	TYPE	CONDITION
#1	60" CAL.	CAK	FAIR
#2	48" CAL.	ELM	GOOD
#3	40" CAL.	ELM	GOOD

GATEWAY VILLAGE TREE TAKE DOWN CHART

SITE SPECIMEN TREE REPLACEMENT REQUIRED	REPLACEMENT CALIPER INCH FROM SEC. 1	REPLACEMENT CALIPER INCH FROM SEC. 2	REPLACEMENT CALIPER INCH FROM SEC. 3	REPLACEMENT CALIPER INCH FROM SECTION 3, LOT 133 & 134	REPLACEMENT CALIPER INCH TO BE REPLACED PER FUTURE SECTIONS
TOTAL SITE INCHES REQUIRED TO BE REPLACED	1341	189	354	1725	2149
TOTAL REPLACEMENT CALIPER INCH FROM SEC. 1					565.25
TOTAL REPLACEMENT CALIPER INCH FROM SEC. 2					
TOTAL REPLACEMENT CALIPER INCH FROM SEC. 3					
TOTAL REPLACEMENT CALIPER INCH FROM SECTION 3, LOT 133 & 134					
REMAINING SPECIMEN CALIPER INCHES TO BE REPLACED PER FUTURE SECTIONS					565.25

22 Middleton Street Nashville, Tennessee 37203

SWINNEY ASSOCIATES
 architecture • interior design • planning

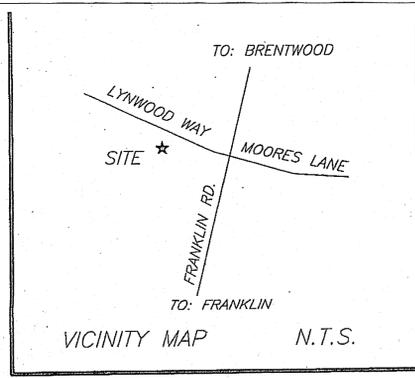
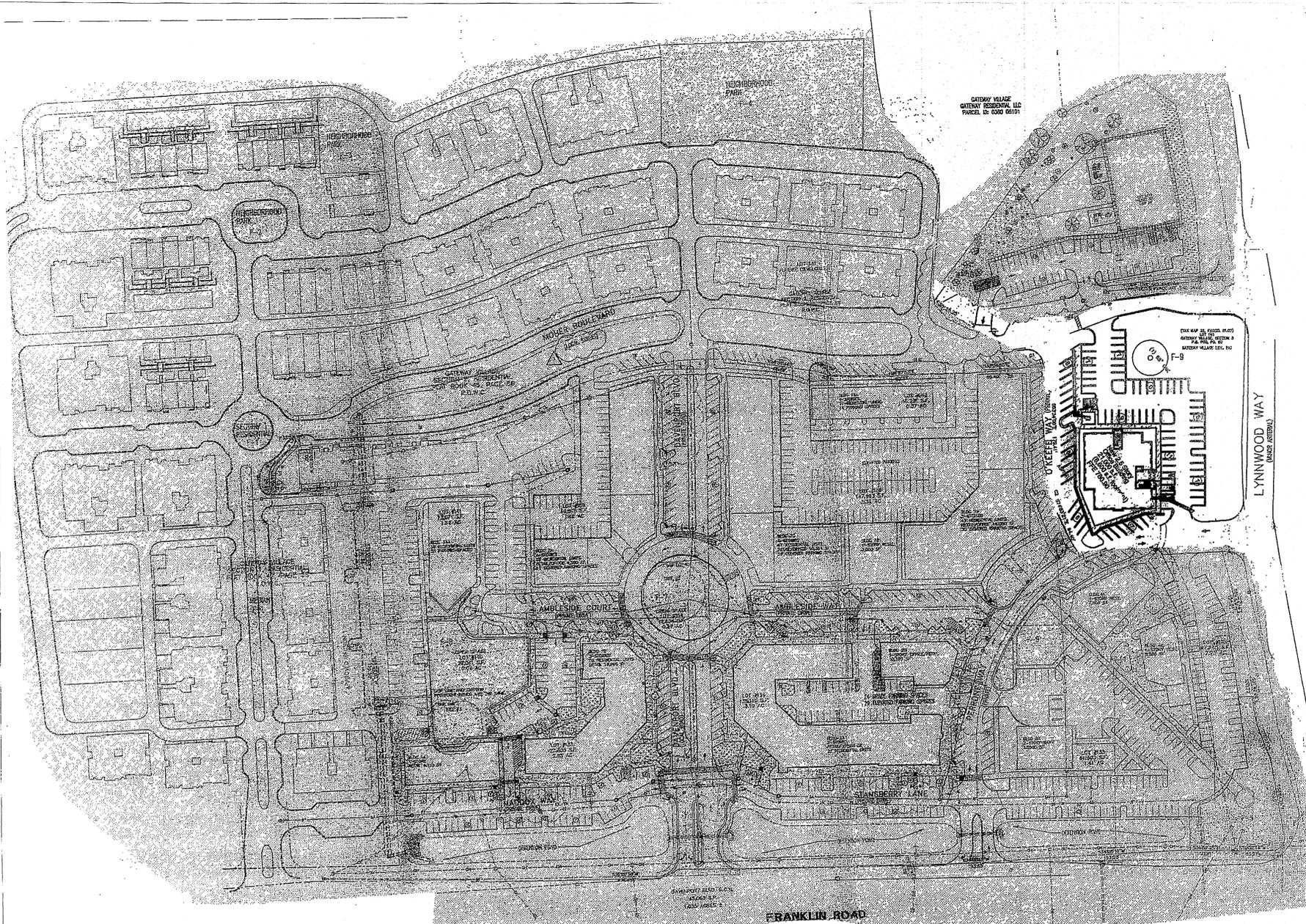
PROJECT NO. 1661
 SECTION 3 LOT 133 REVISIONS
 GATEWAY VILLAGE
 FRANKLIN ROAD AND LYNNWOOD WAY
 FRANKLIN, TENNESSEE

REVISIONS:

1	01 MAR 08
2	29 APR 08
3	19 AUG 08

PROJECT NO. 0906.01
 DATE 07 MAR 08
 SHEET NO. G1.01

POST PC 9/11/08 RECD AUG 29 2008



SPECIAL NOTE:
 THIS CONCEPT PLAN INFORMATION SHOWN WAS TAKEN FROM AVAILABLE PUBLIC INFORMATION PROVIDED BY THE CITY OF FRANKLIN. CDC LLC AND THIS ENGINEER ACCEPT NO LIABILITY AS THE EXACTNESS OF THE DEVELOPMENT OUTSIDE OF THE PROPOSED PLAN SHOWN.

TREES TO BE SAVED #1 68" OAK FAIR CONDITION, #2 48" ELM GOOD CONDITION, #3 40" ELM GOOD CONDITION

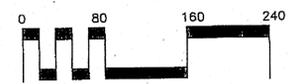
GATEWAY VILLAGE TREE TAKEDOWN CHART	
SITE SPECIMEN TREE REPLACEMENT REQUIRED	1,341
TOTAL SITE INCHES REQUIRED TO BE REPLACED	189
TOTAL REPLACEMENT CALIPER INCH SECTION 1	354
TOTAL REPLACEMENT CALIPER INCH SECTION 2	17.8
TOTAL REPLACEMENT CALIPER INCH SECTION 6	215
TOTAL REPLACEMENT CALIPER INCHES SECTION 3 LOTS 133 AND 134	35
TOTAL REPLACEMENT CALIPER INCHES SECTION 3 LOT 143	198
TOTAL REPLACEMENT CALIPER INCHES SECTION 3 & 6 LOTS 138, 139, 140, 141 & 142	510
REMAINING SPECIMEN CALIPER INCHES TO BE REPLACED FOR FUTURE SECTIONS	

LAND USE TABULATIONS APPROVED ZONING

MIXED USE LOCAL (ML)
 MIXED USE LOCAL (ML)
 +/- 60.50 ACRE
 402 DWELLING UNITS
 15 DWELLING UNITS
 113 DWELLING UNITS
 6 DWELLING UNITS
 214 DWELLING UNITS
 (LOT 133-28, LOT 138, 186)

GROSS DENSITY
 TOTAL S.F. OF RETAIL RESTAURANT
 TOTAL S.F. OF OFFICE
 TOTAL RETAIL/OFFICE/RESTAURANT
 PROPOSED FLOOR AREA RATIO
 MAX. ALLOWED FLOOR AREA RATIO

6.64 DU/A
 83,082 S.F.
 61,176 S.F.
 144,258 S.F.
 0.055
 0.6



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Gateway Village Section III Detailed Analysis
 October 7, 2014

Lot	Use	"Traditional" spaces		Required Spaces	0.85	Actual
		# of Units	sq. ft.			
Lot 133	Camden Commons I Apartments	2	1	2		
	Studio	12	2	24		
	one bed	14	2.5	35		
	two bed					
	Restaurants					
	Mack and Kates	3,077	7.5/1000	23		
	Employees	9		7		
	Wall Street Pizza	2,612	7.5/1000	20		
	Soppalillas	6		5		
	Employees	4,387	7.5/1000	33		
	Banker & Co.	25		19		
	Employees	10		10		
	Stations	10		10		
	Lunatic Fring	10		10		
	Employees	10		10		
	Stations	10		10		
	True-Care	1,467	2.5/1000	3.67		
	RB's Cyclery	2,564	2.5/1000	6.41		
	Xtend & Whitley	2,732	2.5/1000	7		
	Amish excellence	1,248	2.5/1000	3		
	Applied from sec. 1	(37)				
	sub total				228.08	193.87
Lot 134	Residential					
	Studio	15	1	15		
	1 bed	25	2	50		
	2 Bed	14	2.5	35		
	sub total					
Commercial						
	Retail	15,861	3.33	52.82		
	Restaurant	4,136	10	41.36		
	sub total				194.18	165.05
Lot 135 (Bank)						
	sq. ft.	5,000	5/1000	25		
	Stacking			5	30	25.50
	45					

Lot	Use	"Traditional" spaces		Required Spaces	0.85	Actual
		# of Units	sq. ft.			
Lot 136	Apollo Burger					
	sq. ft.	3894		0		
	employees	11		53.6		
	Seats	80	0.67	53.6		
	sub total				53.6	45.56
Lot 137	Touchstone Imaging (office)					
	sq. ft.	21,000	2.85/1000	60	60	51.00
lots 138, 139, 141, 142	Bell Apartments					
	one bed	87	2	174		
	two bed	77	2.5	192.5		
	three bed	22	3	66		
	sub total				432.5	367.63
Small Park						
						21.00
Lot 140						
Lot 148	Goddard School (daycare)					
	Employees	30		30		
	sq. ft.	10,278	2/1000	21		
	Stacking			5		
	sub total				51	43.35
Lot 145	Camden Commons Plaza (Oral Surgery)					
	sq. ft.	7885				
	Employees	12				
	Actual				36.00	36
	1049.36				891.96	1089.00

MINIMUM OPEN SPACE REQUIREMENTS FOR RESIDENTIAL FORMAL OPEN SPACE
 5% OF DEVELOPABLE AREA REQUIRED FOR FORMAL OPEN SPACE
 TOTAL DEVELOPABLE AREA=41.82 ACRE, 5% OF 41.82 ACRES=2.0941 ACRE OR 91,040 S.F.
 CONCEPT PLAN STAFF COMMENTS: DEDICATE FORMAL OPEN SPACE

KEY	TYPE	APPROVED AREA OF OPEN SPACE SF	APPROVED MAXIMUM PAVED AREA SF	PROPOSED OPEN SPACE AREA	PROPOSED MAXIMUM PAVED AREA S.F.
AREA F-1	SECTION 1 MEDIAN CIRCLE	9,996	2499	9996	2499
AREA F-2	SECTION 2 MEDIAN/DRIVE	6,624	1656	6624	1656
AREA F-3	SECTION 2 PARK	13,023	3256	13023	3256
AREA F-4	NEIGHBORHOOD PARK	42,171	10543	42171	10543
AREA F-5	GATEWAY MONUMENT	14,908	3727	14908	3727
AREA F-6 LOT 135, 138	FOCAL POINT	12,073	3018	12073	3018
AREA F-6, LOT 138	FOCAL POINT			889	2205
AREA F-7	TRAFFIC CIRCLE	8,659	2165	11424	2858
AREA F-8	PARK	15,528	3882	15528	3882
AREA F-9	PARK	16,076	4019	16076	4019
AREA F-10	PARK	7,852	1963	9452	2363
AREA F-11	PLAZA	12,701	3175	11807	2951
		162,211	40,245	168,074 S.F.	41,877 ACRES

NOTE: PLANNING COMMISSION APPROVED MIN 160,513 S.F.

Lot	Use	Required per "Traditional"	85%	Actual
133	Camden Commons I	228.08	193.868	191
134	Proposed CC II	194.18	165.053	188
135	Bank	30	25.5	45
136	Apollo Burger	53.6	45.56	43
137	Touchstone office Bldg.	60	51	52
143	Goddard School	51	43.35	46
145	Camden Medical Plaza	36	30.6	36
140	formal open space	21	17.85	21
138,				
139,				
141,				
142	Bell Apartments	432	367.2	467
Totals		1105.86	939.981	1089

INFORMAL OPEN SPACE
 10% DEVELOPABLE AREA REQUIRED FOR INFORMAL OPEN SPACE
 TOTAL DEVELOPABLE AREA=41.82 ACRE, 10% OF 41.82 ACRES=4.182 ACRES OR 182,081 S.F.

KEY	CLASSIFICATION	TYPE	AREA OF OPEN SPACE	PAVED AREA
AREA I-1	INFORMAL	HILLSIDE	1,017,610	

CURRENTLY APPROVED GATEWAY VILLAGE LAND USE DATA					
DEVELOPMENT	FMPC APPROVAL DATE	PC ZONED ACRE	TOTAL DWELLING UNITS	RETAIL OFFICE S.F.	MIXED USE PARKING
CONCEPT PLAN	6/9/2003	60.5	419	142,258	.85 MULTIPLIER
CONCEPT PLAN REV. 3	5/22/2008	60.5	402	144,258	.85 MULTIPLIER
SECTION 1	8/8/2004	4.83	33		
SECTION 2	3/24/2005	11.42	95		
SECTION 6	7/27/2006	1.12	39		
SECTION 6 LOT 141 (REV 6)	9/23/2010	0.18	6		
APPROVED SECTION 3	9/27/2007	2.93	28	22,851	154
LOT 133	11/20/2008	1.92		10,276	46
SECTION 3 LOTS 138, 140, 144	9/23/2010	7.74	186	N/A (6,500 S.F. LEASING)	368
TOTAL			348	35,127	575

NOTE ONLY LOTS 133 AND 143 WERE DEVELOPED FROM 9/27/2007 APPROVAL THE SITE PLAN HAS EXPIRED FOR LOTS 134 AND 514



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OFFICE BUILDING FOR
Touchstone Medical Imaging
 LYNNWOOD WAY
 LOT 137 GATEWAY VILLAGE SECTION 3
 FRANKLIN, TENNESSEE



Revisions

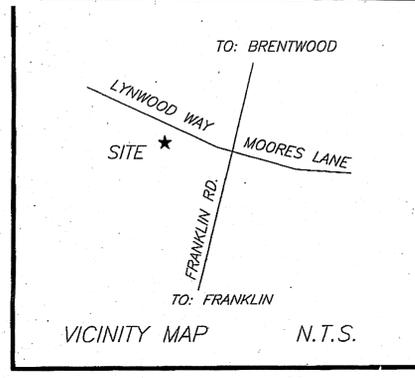
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Drawn By
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Date
 07.28.14

Drawing

PROP. CONCEPT
 AND PARKING PLAN
PCP



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OFFICE BUILDING FOR
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SPECIAL NOTE:
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TREES TO BE SAVED #1 68" OAK FAIR CONDITION, #2,48" ELM GOOD CONDITION, #3 40" ELM GOOD CONDITION

GATEWAY VILLAGE TREE TAKEDOWN CHART	
SITE SPECIMEN TREE REPLACEMENT REQUIRED	1,341
TOTAL SITE INCHES REQUIRED TO BE REPLACED	1,341
TOTAL REPLACEMENT CALIPER INCH SECTION 1	189
TOTAL REPLACEMENT CALIPER INCH SECTION 2	354
TOTAL REPLACEMENT CALIPER INCH SECTION 6	17.8
TOTAL REPLACEMENT CALIPER INCHES	
SECTION 3 LOTS 133 AND 134	215
TOTAL REPLACEMENT CALIPER INCHES	
SECTION 3 LOT 143	55
TOTAL REPLACEMENT CALIPER INCHES SECTION 3 & 6 LOTS 133, 139, 140, 141 & 142	198
REMAINING SPECIMEN CALIPER INCHES TO BE REPLACED FOR FUTURE SECTIONS	510



LAND USE TABULATIONS
 APPROVED ZONING

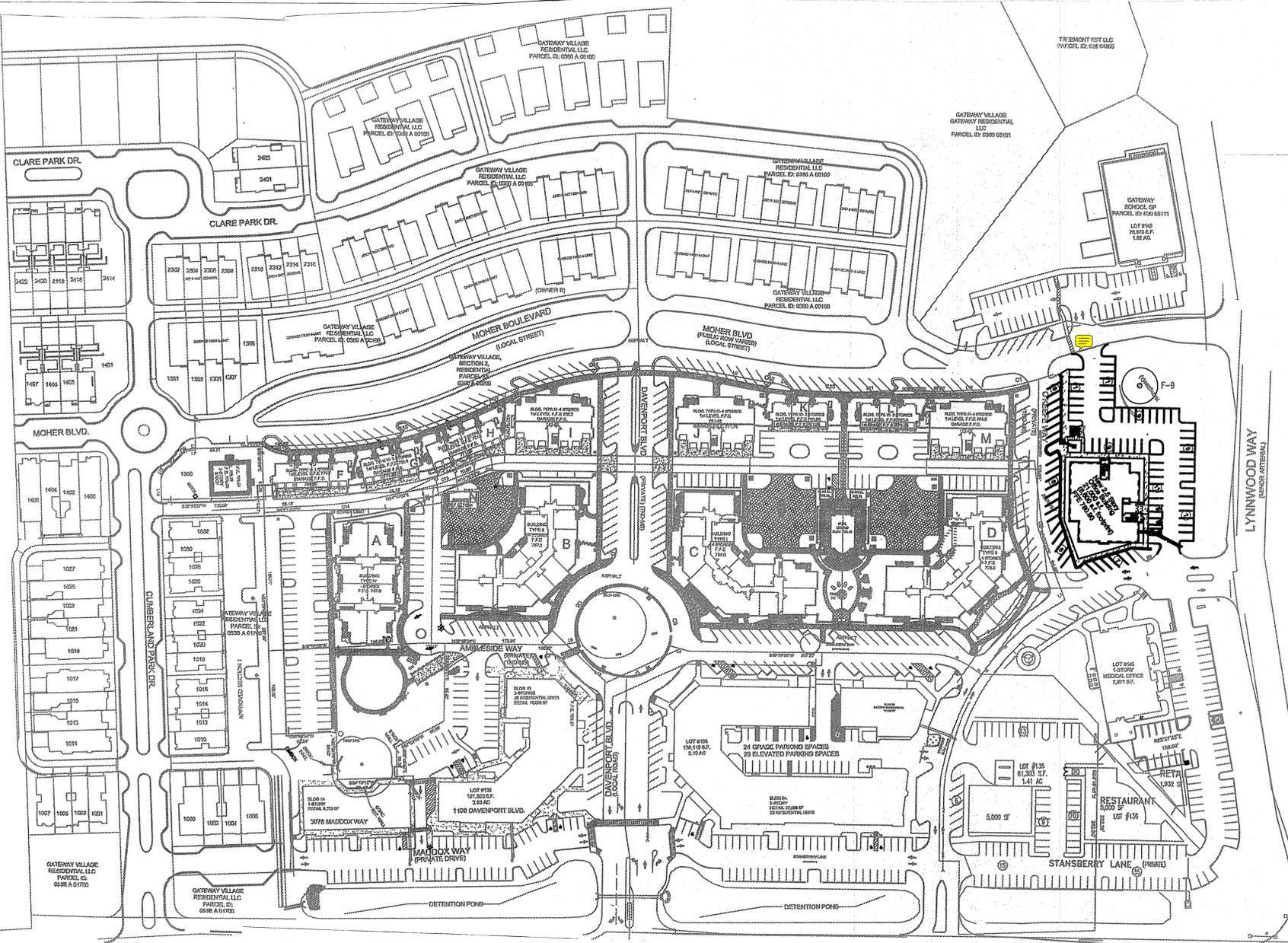
MIXED USE LOCAL (ML)
 MIXED USE LOCAL (ML)
 +/- 60.50 ACRE
 402 DWELLING UNITS
 15 DWELLING UNITS
 113 DWELLING UNITS
 6 DWELLING UNITS
 214 DWELLING UNITS
 (LOT 133-28, LOT 138, 186)



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GROSS DENSITY
 TOTAL S.F. OF RETAIL RESTAURANT
 TOTAL S.F. OF OFFICE
 TOTAL RETAIL/OFFICE/RESTAURANT
 PROPOSED FLOOR AREA RATIO
 MAX. ALLOWED FLOOR AREA RATIO

6.64 DUA
 83,082 S.F.
 61,176 S.F.
 144,258 S.F.
 0.055
 0.6



FRANKLIN ROAD
 (MAJOR ARTERIAL)

MINIMUM OPEN SPACE REQUIREMENTS FOR RESIDENTIAL FORMAL OPEN SPACE
 5% OF DEVELOPABLE AREA REQUIRED FOR FORMAL OPEN SPACE
 TOTAL DEVELOPABLE AREA=41.82 ACRE, 5% OF 41.82 ACRE=209 ACRES OR 91,040 S.F.
 CONCEPT PLAN STAFF COMMENTS: EXPAND FORMAL OPEN SPACE

KEY	TYPE	APPROVED AREA OF OPEN SPACE SF	APPROVED MAXIMUM PAVED AREA SF	PROPOSED OPEN SPACE AREA	PROPOSED MAXIMUM PAVED AREA S.F.
AREA F-1	SECTION 1 MEDIUM CIRCLE	9,096	2,493	9,096	2,493
AREA F-2	SECTION 2 MEDIUM CIRCLE	6,624	1,616	6,624	1,616
AREA F-3	SECTION 2 PARK	11,629	2,900	11,629	2,900
AREA F-4	NEIGHBORHOOD PARK	42,171	10,527	42,171	10,527
AREA F-5	GATEWAY MONUMENT	14,908	3,727	14,908	3,727
AREA F-6 LOT 135, 136	FOCAL POINT	12,073	3,018	12,073	3,018
AREA F-6 LOT 138	FOCAL POINT			8,839	2,205
AREA F-7	TRAFFIC CIRCLE	8,659	2,165	14,424	3,606
AREA F-8	PARK	15,528	3,882	15,528	3,882
AREA F-9	PARK	16,076	4,019	16,076	4,019
AREA F-10	PARK	7,852	1,963	9,652	2,413
AREA F-11	PLAZA	12,201	3,051	11,907	2,975
		102,211	17,245	109,274 S.F.	18,7 ACRES

NOTE: PLANNING COMMISSION APPROVED MIN 160,333 S.F.

INFORMAL OPEN SPACE
 10% DEVELOPABLE AREA REQUIRED FOR INFORMAL OPEN SPACE
 TOTAL DEVELOPABLE AREA= 41.82 ACRE, 10% OF 41.82 ACRE=182,081 S.F.

KEY	CLASSIFICATION	TYPE	AREA OF OPEN SPACE	PAVED AREA
AREA I-1	INFORMAL	HILLSIDE	1,017,610	

CURRENTLY APPROVED GATEWAY VILLAGE LAND USE DATA					
DEVELOPMENT	FMPIC APPROVAL DATE	PC ZONED ACRE	TOTAL DWELLING UNITS	RETAIL OFFICE S.F.	MIXED USE PARKING
CONCEPT PLAN	6/23/2003	60.5	419	142,258	.85 MULTIPLIER
CONCEPT PLAN REV. 3	5/23/2008	60.5	402	144,258	.85 MULTIPLIER
SECTION 1	8/8/2004	4.83	33		
SECTION 2	3/24/2005	11.42	95		
SECTION 6	7/27/2005	1.12	39		
SECTION 6 LOT 141 (REV 6)	9/23/2010	0.18	6		7
APPROVED SECTION 3					
LOT 133	9/27/2007	2.93	28	22,851	154
LOT 149	11/20/2008	1.92		10,276	46
SECTION 3 LOTS 138, 140, 144	9/23/2010	7.74	186	N/A (6,900 S.F. LEASING)	368
TOTAL			348	93,127	575

NOTE ONLY LOTS 133 AND 143 WERE DEVELOPED FROM 9/27/2007 APPROVAL THE SITE PLAN HAS EXPIRED FOR LOTS 134 AND 514

Gateway Village Section III Detailed Analysis
 October 7, 2014

Lot	# of Units	"Traditional" Spaces		Required Spaces	0.85	Actual
		Required	Actual			
Lot 133						
Camden Commons I						
Studio	2	1	2			
one bed	12	2	24			
two bed	34	2.5	35			
Restaurants						
Mack and Kates	3,077	7.5/1000	23			
Employees	9		7			
Wall Street Pizza	2,612	7.5/1000	20			
Employees	6		5			
Sopapillas	4,387	7.5/1000	33			
Employees	25		19			
Baxter & Co.						
Employees	10		10			
Stations	10		10			
True-I-Care	1,467	2.5/1000	3.67			
RH's Cycles	2,564	2.5/1000	6.41			
Hend & Whitley	2,732	2.5/1000	7			
Amish excellence	1,248	2.5/1000	3			
Applied from sec. 1	(37)					
sub total				228.08	193.87	191
Lot 134						
Residential						
Studio	15	1	15			
1 bed	25	2	50			
2 bed	14	2.5	35			
sub total						
Commercial						
Retail	15,861	3.33	52.82			
Restaurant	4,136	10	41.36			
sub total				194.18	165.05	188
Lot 135 (Bank)						
sq. ft.	5,000	5/1000	25			
Stacking			30	25.50	45	

Lot	# of Units	"Traditional" Spaces		Required Spaces	0.85	Actual
		Required	Actual			
Lot 136						
Apollo Burger						
sq. ft.	3894					
employees	11		0			
Seats	80	0.67	53.6			
sub total				53.6	45.56	43
Lot 137						
Touchstone Imaging (office)						
sq. ft.	21,000	2.85/1000	60	60	51.00	52
one bed	87	2	174			
two bed	77	2.5	192.5			
three bed	22	3	66			
sub total				432.5	367.63	467
Small Park						
Lot 140						
Lot 143						
Goddard School (daycare)						
sq. ft.	30	1	30			
Stacking	10,278	2/1000	21			
5						
sub total				51	43.35	46
Lot 145						
Camden Commons Plaza (Oral Surgery)						
sq. ft.	7885					
Employees	12					
Actual				1049.36	891.96	1089.00

Lots	Required per "Traditional"	85%	Actual
133 Camden Commons I	228.08	193.868	191
134 Proposed CC II	194.18	165.053	188
135 Bank	30	25.5	45
136 Apollo Burger	53.6	45.56	43
137 Touchstone office Bldg.	60	51	52
143 Goddard School	51	43.35	46
145 Camden Medical Plaza	36	30.6	36
140 formal open space	21	17.85	21
138,			
139,			
141,			
142 Bell Apartments	432	367.2	467
Totals	1105.86	939.981	1089



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 CIVIL DESIGN CONSULTANTS, LLC
 9115 OLEY ROAD, SUITE 200, NASHVILLE, TN 37221
 PHONE: (615) 318-2700 FAX: (615) 318-2701



Revisions
 HMH Job Number
14035
 Drawn By
HMH
 Date
07.28.14
 Drawing
 PROP. CONCEPT
 AND PARKING PLAN
PCP

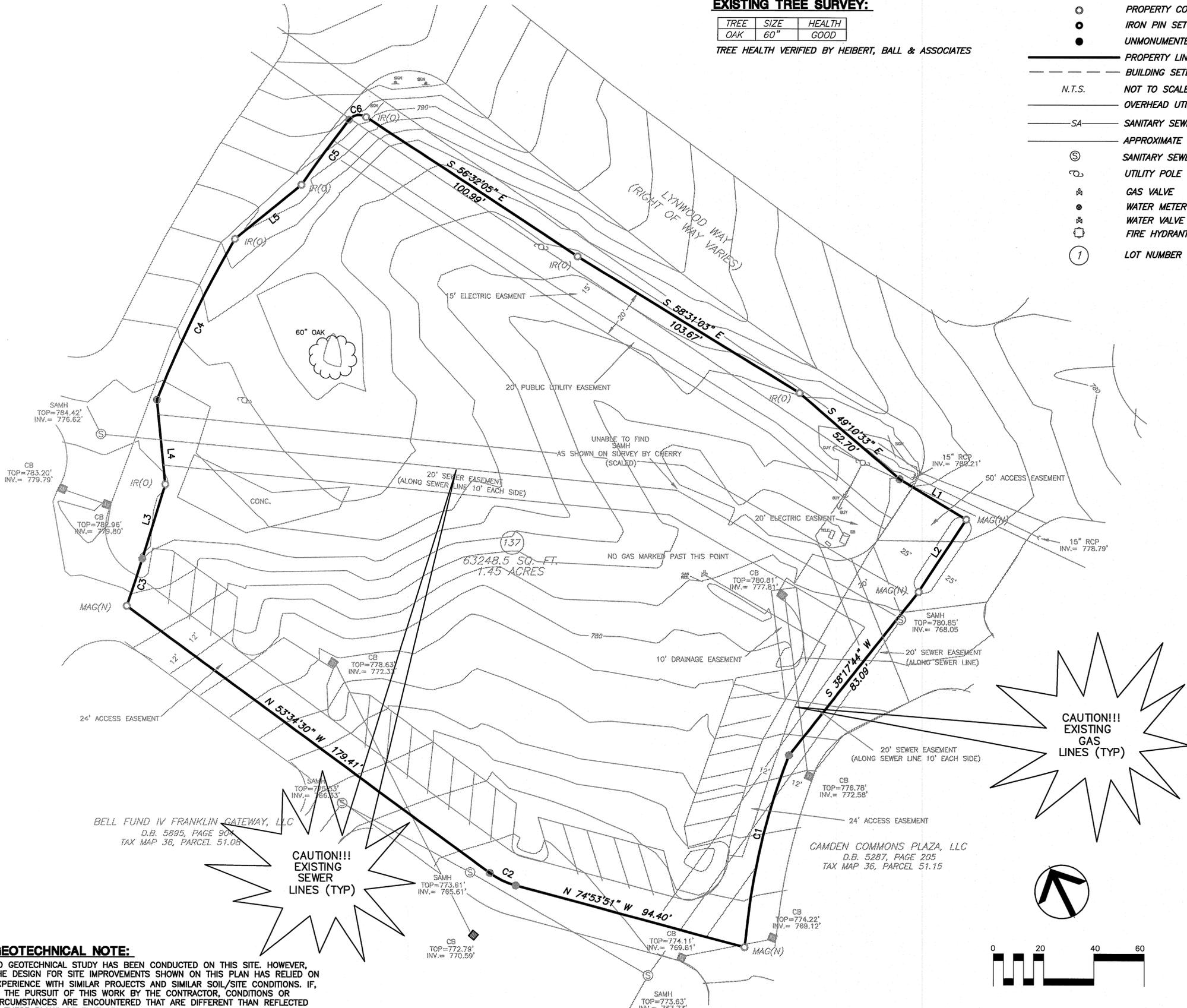
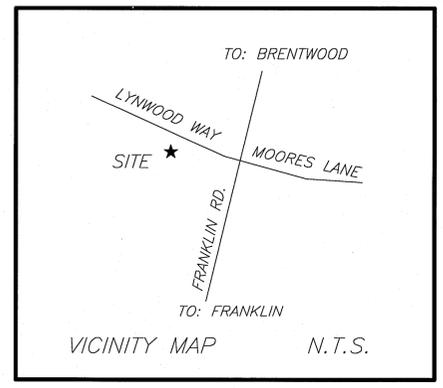
EXISTING TREE SURVEY:

TREE	SIZE	HEALTH
OAK	60"	GOOD

TREE HEALTH VERIFIED BY HEIBERT, BALL & ASSOCIATES

LEGEND

- PROPERTY CORNER FOUND
- IRON PIN SET
- UNMONUMENTED POINT
- PROPERTY LINE
- - - BUILDING SETBACK LINE
- N.T.S. NOT TO SCALE
- OVERHEAD UTILITY LINE
- SA — SANITARY SEWER LINE GRAVITY
- APPROXIMATE GAS LINE AS MARKED
- ⊙ SANITARY SEWER MANHOLE
- ⊕ UTILITY POLE
- ⊗ GAS VALVE
- ⊘ WATER METER
- ⊙ WATER VALVE
- ⊕ FIRE HYDRANT
- ① LOT NUMBER



NOTES:

- BEARINGS SHOWN HEREON ARE BASED ON TSPC.
- PARCEL NUMBERS PERTAIN TO WILLIAMSON COUNTY TAX MAPS.
- PROPERTY IS ZONED "PC 6.93 SUBURBAN". (PER SURVEY BY SCOTT CHERRY DATED 2/20/2008).
- NO ABSTRACT OF TITLE PROVIDED TO SURVEYOR. THERE MAY EXIST OTHER EASEMENTS (WRITTEN OR UNWRITTEN) OR DOCUMENTS OF RECORD THAT COULD AFFECT THIS PROPERTY.
- ALL ELEVATIONS SHOWN ARE BASED ON NAVD83.
- UNDERGROUND UTILITY LOCATIONS WERE TAKEN FROM FIELD LOCATIONS AND/OR APPROPRIATE GOVERNING AGENCIES AND ARE APPROXIMATE ONLY. BROWN LAND SURVEYING, LLC, DOES NOT CERTIFY THE EXACT LOCATION OF UTILITIES OR THAT ALL THE UTILITIES PRESENT ARE SHOWN ON THE SURVEY. PRECISE LOCATION OF UNDERGROUND UTILITIES IS RECOMMENDED PRIOR TO ANY CONSTRUCTION ON THIS PROPERTY. CALL TN-ONE CALL.
- THIS IS TO CERTIFY THAT I HAVE EXAMINED THE FLOOD INSURANCE RATE MAP AND FOUND THE HEREON DESCRIBED PROPERTY APPEARS TO BE LOCATED IN A SPECIAL FLOOD HAZARD AREA PER FEMA MAP NO. 47187C0205F FOR WILLIAMSON COUNTY TENNESSEE UNINC. & INC. AREAS. DATED 9/29/2006.
- PROPERTY IS SUBJECT TO EASEMENTS SHOWN ON RECORDED PLAT AND SURVEY PREPARED BY SCOTT CHERRY DATED 2/20/2008.

EXISTING CONDITIONS NOTE:

EXISTING CONDITIONS SHOWN ON THIS PLAN TAKEN FROM FIELD RUN SURVEY DATA COMPLETED BY BROWN LAND SURVEYING, INC. CIVIL DESIGN CONSULTANTS LLC, AND THIS ENGINEER, ASSUME NO LIABILITY AS TO THE COMPLETENESS OR ACCURACY OF WHAT IS SHOWN TO BE EXISTING. CONTRACTOR SHALL VERIFY IF NECESSARY ALL EXISTING CONDITIONS AND NOTIFY CIVIL ENGINEER IN THE EVENT THAT DISCREPANCIES EXIST.

PURPOSE NOTE:

THE PURPOSE OF THIS PLAN IS TO ALLOW FOR CONSTRUCTION OF A COMMERCIAL MEDICAL OFFICE DEVELOPMENT.

**CAUTION!!!
EXISTING
GAS
LINES (TYP)**

**CAUTION!!!
EXISTING
SEWER
LINES (TYP)**

LINE	BEARING	DISTANCE
L1	S 58°43'02" E	31.03'
L2	S 33°03'13" W	34.63'
L3	N 17°00'51" E	31.08'
L4	N 05°40'40" W	33.96'
L5	N 50°41'39" E	34.12'

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	262.01'	67.72'	67.53'	S 13°57'36" W
C2	31.02'	11.54'	11.47'	N 64°14'32" W
C3	524.50'	19.86'	19.86'	N 18°01'06" E
C4	480.00'	71.24'	71.17'	N 25°41'41" E
C5	469.00'	32.33'	32.32'	N 35°49'17" E
C6	5.00'	7.47'	6.79'	N 80°40'23" E

GEOTECHNICAL NOTE:

NO GEOTECHNICAL STUDY HAS BEEN CONDUCTED ON THIS SITE. HOWEVER, THE DESIGN FOR SITE IMPROVEMENTS SHOWN ON THIS PLAN HAS RELIED ON EXPERIENCE WITH SIMILAR PROJECTS AND SIMILAR SOIL/SITE CONDITIONS. IF, IN THE PURSUIT OF THIS WORK BY THE CONTRACTOR, CONDITIONS OR CIRCUMSTANCES ARE ENCOUNTERED THAT ARE DIFFERENT THAN REFLECTED IN THESE PLANS OR THAT APPEAR TO IMPACT THE SCOPE OF THE WORK, THE CONTRACTOR WILL IMMEDIATELY NOTIFY CIVIL DESIGN CONSULTANTS, LLC AND THE OWNER/DEVELOPER BEFORE ANY REMEDIAL COURSE OF ACTION OR DESIGN CHANGE IS INITIATED. ALL PARTIES (OWNER, CIVIL ENGINEER, PROPER GOVERNMENTAL AGENCIES, AND CONTRACTOR) MUST BE IN AGREEMENT AND THE MAGNITUDE OF THE COST/TIME REQUIRED FOR THE MEASURES ESTABLISHED.



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CIVIL ENGINEERS - LAND PLANNERS
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COF #4693

Revisions

HMH Job Number
14035

Drawn By
HMH

Date
07.28.14

Drawing

EXISTING COND.

C0.0



LAYOUT NOTES

1. THE CONTRACTOR SHALL CHECK ALL FINISHED GRADES AND DIMENSIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE OR ENGINEER PRIOR TO BEGINNING WORK.
2. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR CONTRACTOR CAUSED DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
3. THE CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES AND OBTAIN ALL PERMITS PRIOR TO BEGINNING WORK.
4. PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY. INSTALL ALL UTILITIES PRIOR TO INSTALLATION OF PAVEMENT.
5. ALL DAMAGE TO EXISTING ASPHALT PAVEMENT TO REMAIN, WHICH RESULTS FROM NEW CONSTRUCTION, SHALL BE REPLACED WITH LIKE MATERIALS AT CONTRACTOR'S EXPENSE.
6. DIMENSIONS ARE TO THE EDGE OF ASPHALT UNLESS OTHERWISE NOTED.
7. CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND OVERHEAD ELECTRICAL WIRES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK, THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF THE ABOVE NOTED WIRES, THE ELECTRICAL COMPANY SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN.
8. IN EASEMENTS AND RIGHTS-OF-WAY, CONTRACTOR SHALL PROTECT AND RESTORE SAID PROPERTY TO A CONDITION SIMILAR OR EQUAL TO THAT EXISTING AT THE COMMENCEMENT OF CONSTRUCTION EXCEPT AS NOTED.
9. THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE "MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION" ISSUED BY ACC OF AMERICA, INC. AND THE "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION" ISSUED BY THE U.S. DEPARTMENT OF LABOR.

SITE DATA:

SUBMISSION/DEVELOPMENT:	RSC GENERAL PARTNERSHIP
ADDRESS:	1360 MOHER BLVD.
CITY:	FRANKLIN
COUNTY:	WILLIAMSON
STATE:	TENNESSEE
PARCEL/MAP:	PARCEL 49 MAP 0648 GROUP B
ACREAGE OF SITE:	1.45± ACRES
SQUARE FOOTAGE OF SITE:	63,245± S.F.
DISTURBED ACREAGE:	1.20± ACRES
CIVIL DISTRICT:	3 RD
CHARACTER AREA:	BCCO BARRYS CHAPEL CHARACTER DEVELOPMENT AREA OVERLAY
DEVELOPMENT STANDARD:	TRADITIONAL
EXISTING USE:	VACANT
PROPOSED USE:	OFFICE

APPLICANT: ARCHITECT
 MR. MICHAEL HINDMAN, A.I.A.
 H. MICHAEL HINDMAN ARCHITECTS, P.C.
 1607 WESTGATE CIRCLE, SUITE 100
 BRENTWOOD, TN 37027
 (615) 370-3252

ENGINEER
 MR. JARED R. GRAY, P.E.
 CIVIL DESIGN CONSULTANTS, LLC.
 8170 COLEY DAVIS RD.
 NASHVILLE, TN 37221
 (615) 638-9207

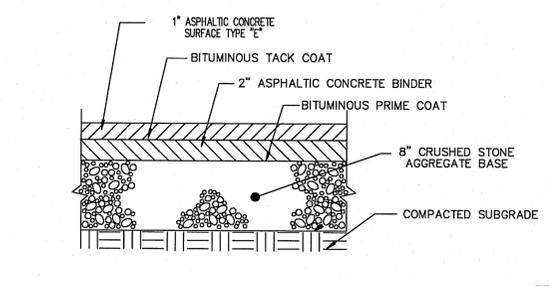
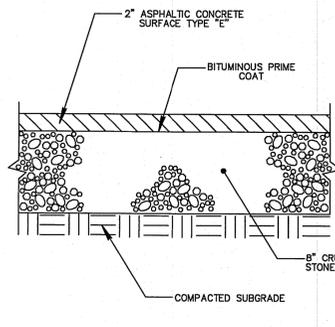
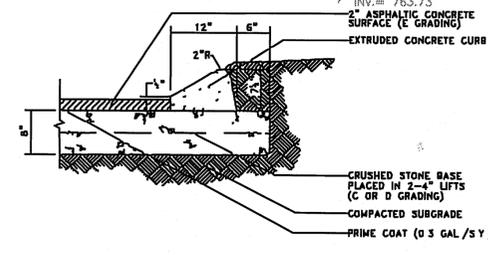
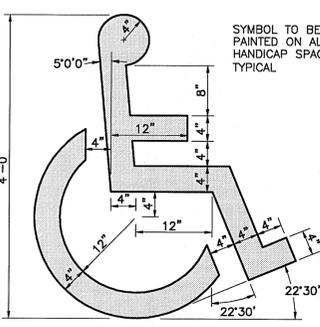
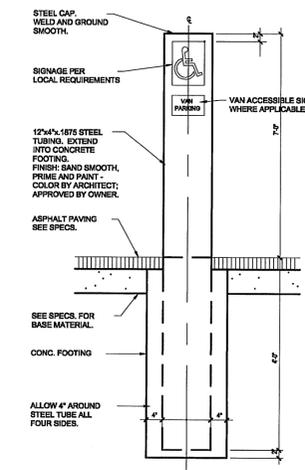
LANDSCAPE ARCHITECT
 MR. CONNOR BALL, PLA
 HEBERT + BALL LAND DESIGN
 1894 GENERAL GEORGE PATTON DR.
 FRANKLIN, TN 37067
 (615) 376-2421

BUILDING SQUARE FOOTAGE:	21,000 S.F. (MEDICAL OFFICE)
PARKING REQUIRED:	1 SPACE/250 S.F. = 84 SPACES
PARKING PROVIDED:	86 SPACES

ALL 90' PARKING SHALL BE 9'X18' UNLESS OTHERWISE NOTED

PAVEMENT LEGEND

	HEAVY DUTY ASPHALT PAVEMENT
	LIGHT DUTY ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	CONCRETE WALK
	PARKING COUNT



COF #4693

H M H A
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 Architects, P.C.

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 Brentwood, Tennessee 37027
 615.370.3252
 www.hmhaarchitects.com

OFFICE BUILDING FOR
Touchstone Medical Imaging

LYNWOOD WAY
 LOT 137 GATEWAY
 VILLAGE SECTION 3
 FRANKLIN, TENNESSEE

Revisions

HMH Job Number
14035
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BMH
 Date
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 Drawing
LAYOUT PLAN
C1.0



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GENERAL, GRADING AND DRAINAGE NOTES:

- ALL GRADING AND DRAINAGE WORK AS SHOWN ON THIS PLAN WILL BE DONE IN STRICT ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE FRANKLIN ENGINEERING DEPARTMENT.
- THE NECESSARY PERMITS FOR THE WORK SHOWN ON THESE SITE DEVELOPMENT PLANS WILL BE OBTAINED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK ON THIS PROJECT. THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES AND OBTAIN ALL PERMITS AND PAY ALL FEES INVOLVED IN SECURING SAID PERMITS. HE SHALL ALSO COMPLY WITH ALL CITY AND STATE BUILDING LAWS, ORDINANCES AND REGULATIONS RELATING TO THE CONSTRUCTION OF THE PROJECT.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO AVOID DAMAGE TO ALL EXISTING UTILITIES TO REMAIN DURING CONSTRUCTION. IF DAMAGE DOES OCCUR TO ANY SUCH EXISTING INSTALLATIONS, FULL REPAIR WILL BE THE COST OF THE CONTRACTOR AND BE ACCOMPLISHED AS PER THE CURRENT SPECIFICATIONS FOR SUCH WORK FOR THE RESPONSIBLE AGENCY.
- THE LOCATION OF EXISTING PIPING AND UNDERGROUND UTILITIES, SUCH AS WATER AND GAS LINES, ELECTRICAL AND TELEPHONE CONDUITS, ETC. AS SHOWN ON THIS PORTION OF THE PLANS HAVE BEEN DETERMINED FROM THE BEST INFORMATION PROVIDED, OR TAKEN FROM THE RECORDS AND DRAWINGS OF THE EXISTING UTILITIES; HOWEVER THE CIVIL ENGINEER DOES NOT ASSUME RESPONSIBILITY THAT, DURING CONSTRUCTION, THE POSSIBILITY OF UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED OR THAT ACTUAL LOCATION OF THOSE SHOWN MAY VARY SOMEWHAT FROM THE LOCATIONS DESIGNATED ON THIS PORTION OF THE PLANS. IN AREAS WHERE IT IS NECESSARY THAT EXACT LOCATIONS OF UNDERGROUND LINES BE KNOWN, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, FURNISH ALL LABOR AND TOOLS TO EITHER VERIFY AND SUBSTANTIATE OR DEFINITELY ESTABLISH THE LOCATION OF THE LINES.
- THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND ELECTRICAL/TELEPHONE WIRES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK, THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF THE ABOVE-NOTED WIRES, THE ELECTRIC OR TELEPHONE COMPANIES SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN. A THOROUGH EXAMINATION OF THE OVERHEAD WIRES IN THE PROJECT AREA SHOULD BE MADE BY THE CONTRACTOR PRIOR TO THE INITIATION OF CONSTRUCTION.
- ALL DELETERIOUS MATERIAL SHALL BE REMOVED AND DISPOSED OF OFF-SITE BY CONTRACTOR AS PER THE INSPECTION AND FINAL APPROVAL OF THE ENGINEER AND OWNER. ALL FILL MATERIAL TO BE USED FOR SITE GRADING WILL BE AN INORGANIC SOIL, FREE OF DEBRIS AND APPROVED BY THE ENGINEER AND OWNER.
- THE PLACING AND SPREADING OF ANY FILL MATERIAL IS TO BE STARTED AT THE LOWEST POINT AND BROUGHT UP IN HORIZONTAL LAYERS OF 8-INCH THICKNESS. SAID FILL MATERIAL IS TO BE SOIL AND ROCK ONLY, FREE OF SOD, ROOTS, FROZEN SOILS, OR ANY OTHER DECOMPOSABLE MATERIALS. THE RELATIVE COMPACTION OF EACH LAYER SHALL NOT BE LESS THAN 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D-698) IN ALL AREAS OF FILL, AND COMPACTION OF 95% OF SAME SPECIFICATION FOR MATERIALS USED IN THE UPPER 12 INCHES BENEATH PAVEMENT AND GRADE SLABS.
- THE CONTRACTOR IS TO CHECK AND VERIFY ALL MEASUREMENTS, LEVELS, ETC., BEFORE ORDERING MATERIALS AND PROCEEDING WITH THE WORK, AND IS TO BE RESPONSIBLE FOR THE SAME.
- SPOT ELEVATIONS SHOWN ARE TO TOP OF PAVEMENT OR FINISHED GRADE.
- ALL UNPAVED AREAS SHALL HAVE A MAXIMUM SLOPE OF 3:1 UNLESS OTHERWISE SPECIFIED OR REQUIRED IN SITE SPECIFIC AREAS. ALL SLOPES 3:1 OR GREATER SHALL HAVE REINFORCEMENT MATTING TO PROTECT AGAINST EROSION.

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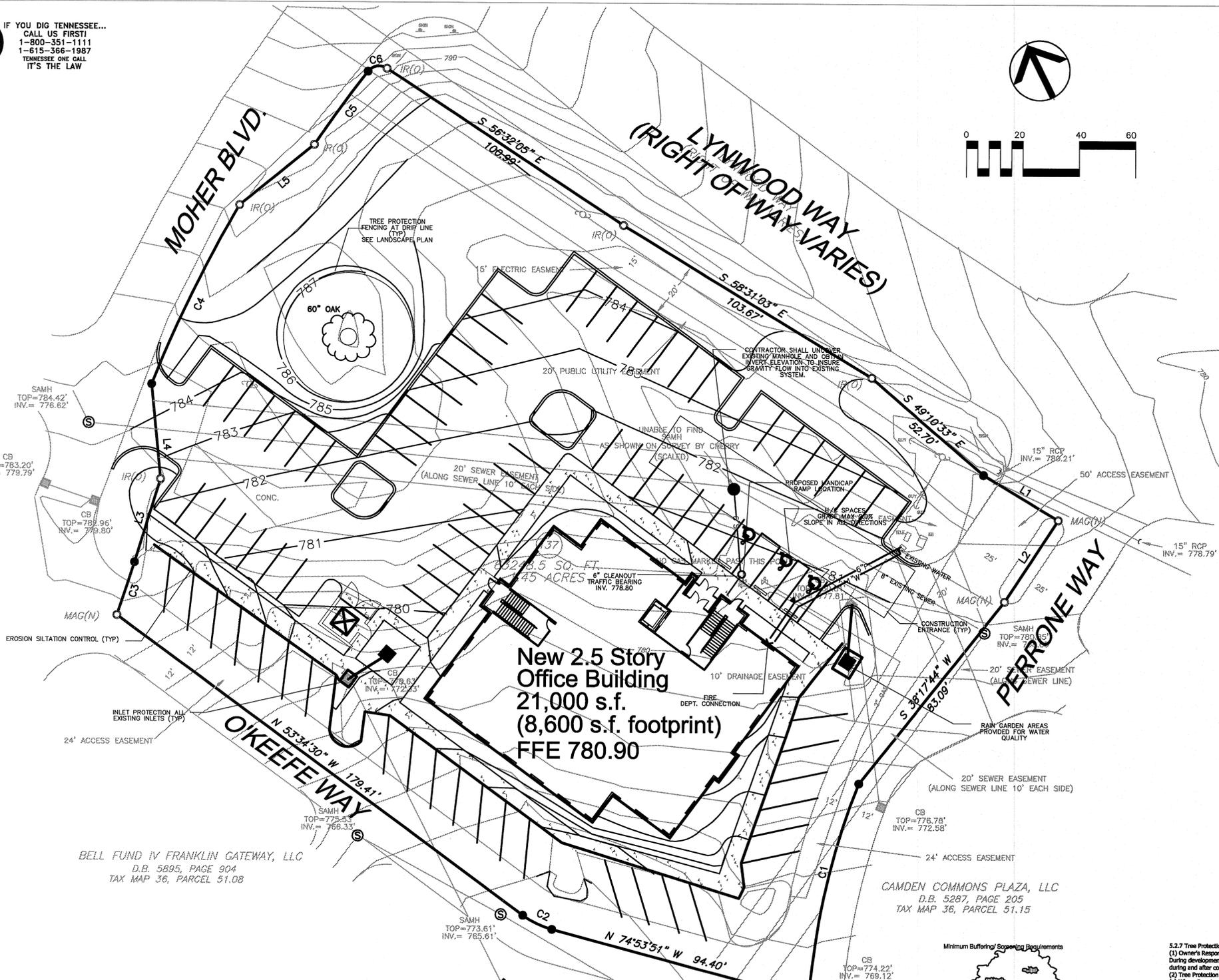
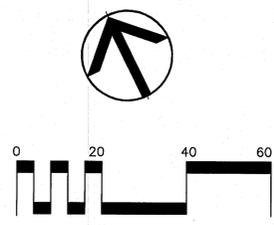
H. Michael Hindman
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www.hmhaarchitects.com

OFFICE BUILDING FOR

**Touchstone
Medical
Imaging**

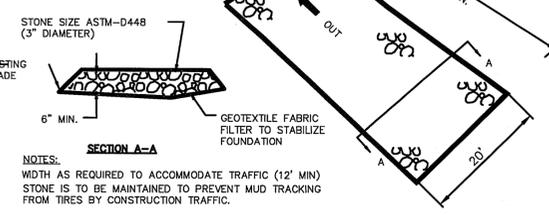
LYNWOOD WAY
LOT 137 GATEWAY
VILLAGE SECTION 3
FRANKLIN, TENNESSEE



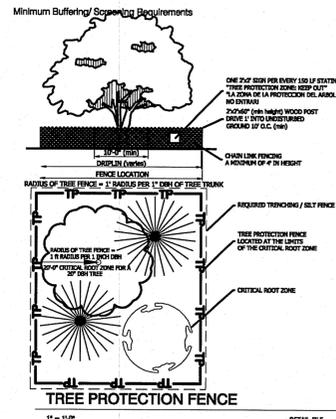
**New 2.5 Story
Office Building
21,000 s.f.
(8,600 s.f. footprint)
FFE 780.90**

BELL FUND IV FRANKLIN GATEWAY, LLC
D.B. 5895, PAGE 904
TAX MAP 36, PARCEL 51.08

CAMDEN COMMONS PLAZA, LLC
D.B. 5287, PAGE 205
TAX MAP 36, PARCEL 51.15



TEMPORARY CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE



5.2.7 Tree Protection During Construction
(1) Owner's Responsibility
During development, the owner or developer shall be responsible for the erection of all barriers necessary to protect any existing or installed trees from damage both during and after construction in accordance with the standards of this subsection.
(2) Tree Protection Fencing
(a) Where Required
All specimen trees, trees in a Tree Protection Zone, and trees intended for use as credit towards the landscaping standards of this chapter shall be fenced in accordance with this subsection before grading or other land disturbing activity begins. Fencing shall extend at least one foot in distance from the edge of the tree for each inch of DBH, so that each tree's drip-line is protected, but no less than ten feet from the trunk. The Codes Department shall consider existing site conditions in determining the exact location of any tree protection fencing.
(b) Type of Fencing
All fencing required by this subsection shall be chain link fencing at least four feet in height and secured using appropriate posts spaced not more than ten feet apart. Such chain link fencing is not required to be coated.
(c) Signage
Signage shall be installed on the tree protection fence visible on all sides of the fenced-in area at a rate of at least one sign for every 150 linear feet. The size of each sign must be a minimum of two feet by two feet tall and shall contain the following language in English and Spanish: "TREE PROTECTION ZONE: KEEP OUT."
(d) Tree Protection Fencing
The removal of tree adjacent to tree save areas can cause inadvertent damage to the protected trees. Prior to clearing activities, trenches with a minimum depth of 12 inches shall be cut along the limits of the disturbance, so as to cut, rather than tear tree roots.
(e) Inspection
All tree protection measures shall be inspected and approved by the Codes Department prior to the start of any land disturbing activities. Failure to have tree protection measures prior to the commencement of construction is a violation of this ordinance.
(f) When Required
The tree protection fencing shall be clearly shown on the Site Plan. No construction, grading, equipment or material storage of any other activity shall be allowed within the fenced area except in accordance with the standards in Subsection 5.2.7 (3), Encroachments into Root Zones. Fencing shall be maintained until the land disturbance activities are complete.

Revisions

HMH Job Number
14035

Drawn By
HMH

Date
07.28.14

Drawing
GRADING/DRAINAGE



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8750 OULBY DRIVE, SUITE 100, BILLSBORO, NC 27221
PHONE: (813) 318-2540 FAX: (813) 318-2541

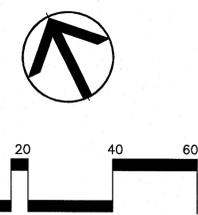
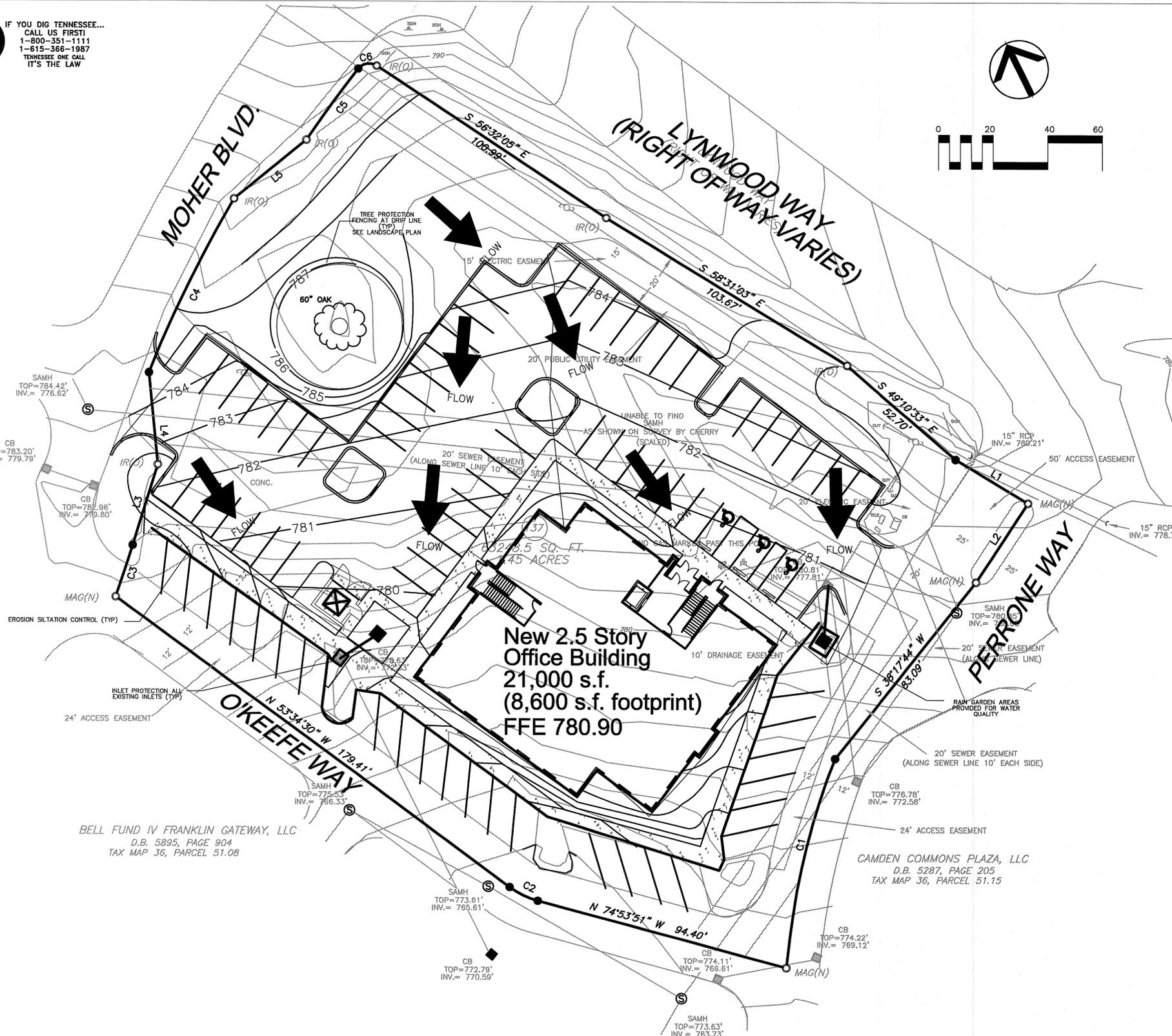


COF #4693

C2.0



IF YOU DIG TENNESSEE...
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1-800-351-1111
1-615-366-1987
TENNESSEE ONE CALL
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EROSION/SILTATION CONTROL NOTES

1. AREAS AND TIME OF EXPOSURE OF UNPROTECTED SOILS SHALL BE KEPT TO A MAXIMUM OF 15 DAYS.
2. KEEP DUST WITHIN TOLERABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE MEANS.
3. USE TEMPORARY VEGETATION AND/OR MULCH TO PROTECT BARE AREAS FROM EROSION DURING CONSTRUCTION.
4. NO OTHER WORK WILL BE INITIATED ON THE PROJECT UNTIL THE EROSION/SILTATION MEASURES SHOWN ON THE PLANS AND DETAILS ARE PROPERLY IN PLACE.
5. SILT FENCING SHOWN THUS ARE TO BE USED AS TEMPORARY SEDIMENT BARRIERS. PER THE ATTACHED DETAILS.
6. IF, AT ANY TIME DURING THE CONSTRUCTION PHASE OF THIS PROJECT, THE EROSION/SILTATION MEASURES INSTALLED FAIL TO FUNCTION PROPERLY, NEED MAINTENANCE OR REPAIR, OR NEED NEW REPLACEMENT IN KIND, THE CONTRACTOR WILL EFFECT SUCH ACTIONS AS ARE NEEDED TO CORRECT THE SITUATION AT NO ADDITIONAL COST TO THE OWNER.
7. DISTURBED AREAS ARE TO BE GRADED TO DRAIN AS INDICATED ON PLAN TO SEDIMENT BARRIERS DURING AND UPON COMPLETION OF CONSTRUCTION.
8. ALL CUT/FILL AREAS TO HAVE A MINIMUM OF 6-INCH DEPTH TOPSOIL COVER. AREAS DRESSED WITH TOPSOIL WILL RECEIVE 12 POUNDS PER 1000 SQUARE FEET OF 6-12-12 FERTILIZER, 5 POUNDS OR MORE OF KENTUCKY 31 FESCUE SEED PER 1000 SQUARE FEET AND A STRAW MULCH OF 70%-80% COVERAGE (APPROXIMATELY 125 POUNDS PER 1000 SQUARE FEET) EXCEPT AS OTHERWISE DETERMINED BY PLAN.
9. UPON STABILIZATION OF THE PROJECT SITE WITH A GOOD (ACCEPTABLE) STAND OF GRASS AND/OR GROUND COVER, THE EROSION/SILTATION INSTALLATIONS WILL BE REMOVED AND THE AREA DISTURBED WILL BE SEEDED AND MULCHED WITH THE SAME TREATMENT AS OTHER NEW GRASSSED AREAS OF THE PROJECT.
10. A STONE ACCESS ENTRANCE IS TO BE CONSTRUCTED AT THE SITE ENTRANCE WITH A MINIMUM WIDTH OF 20 FEET AND MINIMUM LENGTH OF 100 FEET. ENTRANCE IS TO BE BASED WITH 8 INCHES OF ASTM D 448, SIZE NO. 1 STONE, AND MAINTAINED THROUGHOUT CONSTRUCTION. ENTRANCE SHALL BE GEOTEXTILE REINFORCED.
11. PRIOR TO THE ISSUANCE OF A GRADING PERMIT, ALL EROSION/SILTATION CONTROL MEASUREMENTS INDICATED ON THE PLANS SHALL BE INSTALLED.

POST CONSTRUCTION BMP/WATER QUALITY NOTE:

TO MEET THE FRANKLIN STORMWATER QUALITY REGULATIONS, A STORM DRAINAGE TREATMENT SYSTEM SHALL BE INSTALLED. DUE TO HAVING AVAILABLE SITE AREA FOR NATURAL DRAINAGE, ON-SITE STORM DRAINAGE SHALL BE DIRECTED TO A RAIN GARDEN AREA FOR STORMWATER TREATMENT. THESE STRUCTURES ARE DESIGNED TO SEPARATE CONTAMINATED EFFLUENT FROM THE STORMWATER DRAINAGE THROUGH PHYDROREMEDIATION AND ABSORPTION OF THE CONTAMINATED EFFLUENT INTO THE ROOT SYSTEM OF VEGETATION. THIS SYSTEM WILL CONTROL THE POLLUTANT LEVELS AND CONTROL DISCHARGE VELOCITIES FROM STORMWATER RUNOFF. THE SITE OWNER SHALL BE RESPONSIBLE FOR MAINTAINING ALL STORMWATER QUALITY AND DETENTION SURFACES ON THIS SITE PER THE FRANKLIN STORMWATER REGULATIONS.

EROSION CONTROL SCHEDULE:

- STAGE #1: SILT FENCE SHALL BE INSTALLED PRIOR TO ANY GRADING OPERATIONS. STRAW CHECK DAMS AND INLET PROTECTION AROUND ALL EXISTING DRAINAGE STRUCTURES SHALL BE INSTALLED PRIOR TO ANY GRADING OPERATIONS. TREE PROTECTION, IF REQUIRED BY LANDSCAPE PLAN, IS TO BE INSTALLED AT THIS TIME. A GRADING PERMIT CAN BE OBTAINED FROM BRENTWOOD CODES AND ENGINEERING DEPARTMENT AFTER STAGE #1 HAS PASSED THEIR INSPECTION.
- STAGE #2: CONSTRUCT SITE IMPROVEMENTS PROVIDING INLET PROTECTION AND ALL OTHER EROSION CONTROL MEASURES AS THE DRAINAGE SYSTEM IS CONSTRUCTED.
- STAGE #3: REMOVE EROSION CONTROL DEVICES ONLY AFTER A PROPER STAND OF GRASS IS OBTAINED AND ONLY UPON APPROVAL FROM THE FRANKLIN STORMWATER DEPARTMENT AND ENGINEER.

BUILDING DRAINAGE NOTE:

ALL DOWNSPOUTS SHALL BE DIRECTED TO THE RAIN GARDEN AREAS.



H. Michael Hindman
Architects, P.C.

1607 Westgate Circle - Suite 100
Brentwood, Tennessee 37027
615.370.3222
www.hmharchitects.com

OFFICE BUILDING FOR

**Touchstone
Medical
Imaging**

LYNWOOD WAY
LOT 137 GATEWAY
VILLAGE SECTION 3
FRANKLIN, TENNESSEE

BELL FUND IV FRANKLIN GATEWAY, LLC
D.B. 5895, PAGE 904
TAX MAP 36, PARCEL 11.08

CAMDEN COMMONS PLAZA, LLC
D.B. 5287, PAGE 205
TAX MAP 36, PARCEL 51.15



CIVIL DESIGN CONSULTANTS, LLC
CIVIL ENGINEERS • LAND PLANNERS
CIVIL DESIGN CONSULTANTS, LLC
6170 OLDFIELD ROAD, MEMPHIS, TN 38221
PHONE: (901) 319-2754/EXT. 010/CONSULTANTS@CIVILDESIGNCONSULTANTS.COM



COF #4693

Revisions

HMH Job Number
14035

Drawn By
HMH

Date
07.28.14

Drawing
STORMWATER

C3.0

SUBSTITUTION NOTE:
 1. Requirements shown are as per City Zoning Ordinance.
 2. Substitutions are not allowed unless approved by Heibert+Ball, Land Design.
 3. After installation, the landscape will be maintained by the owner.
 4. Additional screening may be required if the inspection for the release of the performance bond reveals that the screening is not effective.

TO AVOID OVERHEAD UTILITY CONFLICTS:
 In the event proposed canopy trees are in conflict (within 25') with proposed or existing overhead utility locations, the landscape contractor shall stop work and contact Heibert+Ball, Land Design immediately for coordination and field adjustment.

TO AVOID OVERHEAD LIGHT POLE CONFLICTS:
 In the event proposed canopy trees are in conflict (within 10') with proposed or existing light pole locations, the landscape contractor shall stop work and contact Heibert+Ball, Land Design immediately for coordination and field adjustment.

UTILITY SCREENING:
 All utility structures, transformers, meters, and/or units shall be screened with plant material tall enough to provide an effective screen. Structures not shown on landscape plans will be required to be screened. If utilities are added to the site, contact Heibert+Ball, Land Design for screening recommendations.

PLANT STANDARDS:
 The standards set forth in 'American Standard for Nursery Stock' represent general guideline specifications only and will constitute minimum quality requirements for plant material. All plants must meet minimum size noted at the materials schedule. And meet the characteristics stated on this drawing. All material installed on the site MUST meet or exceed these specifications. Any trees or shrubs not meeting these standards can be rejected at time of inspection.

TREE SPECIFICATIONS: ALL TREES SHALL HAVE THE FOLLOWING CHARACTERISTICS:
 1. Deciduous trees shall have one dominant single straight trunk with the tip of the leader on the main trunk left intact and the terminal bud on the central leader is at the highest point on the tree.
 2. Trees with forked trunks are acceptable if all the following conditions are met:
 a. The fork occurs in the upper 1/3 of the tree.
 b. One fork is less than 2/3 the diameter of the dominant fork.
 c. The top 1/3 of the smaller fork is removed at the time of planting.
 3. No branch is greater than 2/3 the diameter of the trunk directly above the branch.
 4. The trunk and/or major branches shall not touch.
 5. Several branches are larger in diameter and obviously more dominant.
 6. Branching habit is more horizontal than vertical, and no branches are oriented nearly vertical to the trunk.
 7. Branches are evenly distributed around the trunk with no more than one major branch located directly above another and the crown is full of foliage evenly distributed around the tree.
 8. Crown spread shall look proportional to the tree.
 9. NO flush cuts or open trunk wounds or other bark injury.
 10. Root ball meets all ANSI standards and is appropriately sized.

DEFICIENCIES NOT ACCEPTED:
 1. Tip dieback on 5% of branches
 2. Crown thin/sparsely foliated
 3. Included bark
 4. Major Branches touching
 5. Asymmetrical branching

LANDSCAPE SHALL NOT OBSTRUCT VISIBILITY OR ACCESS TO FIRE PROTECTION EQUIPMENT INCLUDING, BUT NOT LIMITED TO, FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTIONS

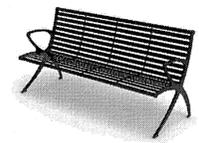
PLANT SCHEDULE

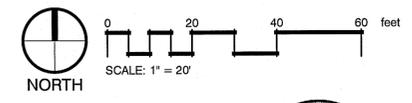
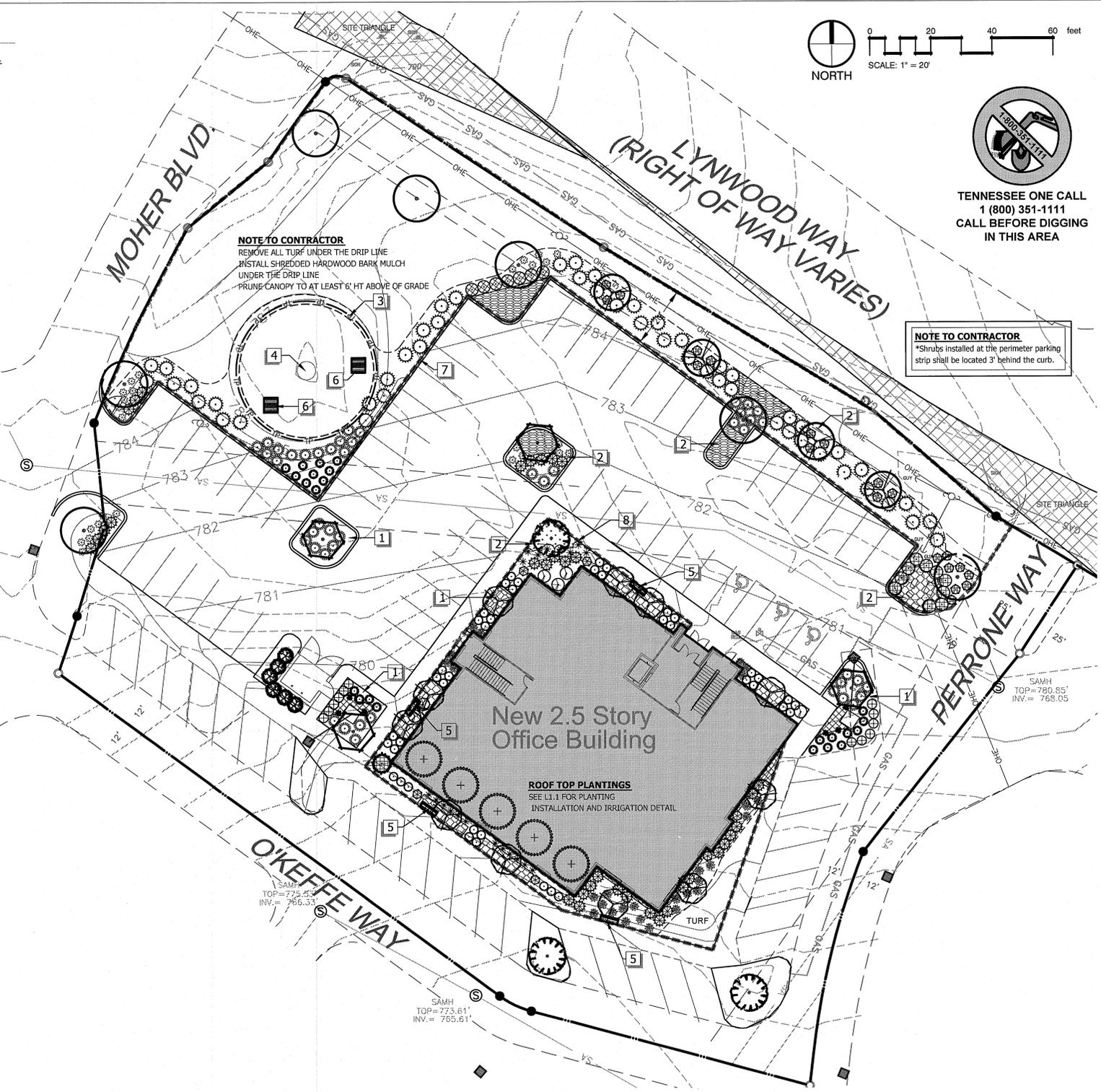
1. UNDERSTORY TREES	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT	CAL	SIZE
TO	6	Emerald Green Upright Arborvitae / Thuja occidentalis 'Emerald Green'	Full, Dense Upright Form	B & B	1.8" Cal	8' HT
2. REPLACEMENT TREES	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT	CAL	SIZE
BN	4	Duraheat River Birch / Betula nigra 'Duraheat'	Single Trunk, 4" Clear Trunk, Single, Straight Central Leader, Evenly Branched, Full Symmetrical Crown. See Tree Specifications.	B & B	2" Cal	10'-12' HT
LA	3	Arnold Tulip Poplar / Liriodendron tulipifera 'Arnold'	5" Clear Trunk, Single, Straight Central Leader, Full Upright Branching, Even Branching. See Tree Specifications. Matched	B & B	2" Cal	12'-14' HT
MG	1	Mig Tig Magnolia / Magnolia grandiflora 'Mig Tig'	Full, Dense Upright Form	B & B	2" Cal	10' HT
SJ	11	Japanese Pink Snowbell Dwarf / Styax japonicus 'Pink Chimes'	Perfect Form, Perfect Match, 5" Clear Trunk, Evenly Branched, Full Symmetrical Crown. See Tree Specifications.	B & B	2" Cal	12' HT
REPLACEMENT TREE - ROOFTOP	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT	CAL	SIZE
ZS2	5	Musashino Zelkova / Zelkova serrata 'Musashino'	Upright Form, 5" Clear Trunk, Evenly Branched, Full Symmetrical Crown. See Tree Specifications	24" box	2" Cal	12'-14' HT
STREET TREES	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT	CAL	SIZE
CA	4	Oklahoma Redbud / Cercis canadensis 'Oklahoma'	5" Clear Single Trunk, Full Symmetrical Crown. See Tree Specifications	B & B	2" Cal	10'-12' HT
ZS	7	Green Vase Zelkova / Zelkova serrata 'Green Vase'	5" Clear Trunk, Evenly Branched, Full Symmetrical Crown. See Tree Specifications.	B & B	2" Cal	12'-14' HT
SHRUBS	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT	CAL	SIZE
AG	28	Rose Creek Abelia / Abelia x grandiflora 'Rose Creek'	Full, Dense	15"x15"		
BG	42	Littleleaf Boxwood / Buxus microphylla 'Glencoe'	Full, Dense	16"x16"		
CL	23	Summersweet / Clethra alnifolia 'Hummingbird'	Full, Dense Form	18" HT		
HM	6	Nikko Blue Hydrangea / Hydrangea macrophylla 'Nikko Blue'	Full, Dense Form	#5 Container		
IN	51	Needlepoint Holly / Ilex cornuta 'Needlepoint'	Full 30" HT, Heavy	30" HT Min.		
IS	6	Sky Pencil Japanese Holly / Ilex crenata 'Sky Pencil'	Full, Dense Upright	48" HT		
IG	12	Inkberry Holly / Ilex glabra	Full, Dense Form	18" HT / 15" SP		
IV	20	Virginia Sweetpire / Itea virginica 'Little Henry' TM	Full, Dense Form	30" HT		
MF	6	Bee Balm / Monarda fistulosa 'Pink Supreme'		1 Pint Container		
PE	20	Little Bunny Fountain Grass / Pennisetum alopecuroides 'Little Bunny'	Full, Dense Form	#1 Container		
PL	17	Schlipka Laurel / Prunus laurocerasus 'Schlipkaensis'	Full, Dense Form	42" HT		
SB	46	The Blues Little Bluestem / Schizachyrium scoparium 'The Blues'	Full, Dense	#3 Container		
SB	26	Neon Flash Spirea / Spiraea x bumalda 'Neon Flash'	Full, Heavy, Well Branched	#1 Container		
TM	35	Dense Yew / Taxus x media 'Densiformis'	Full, Heavy, Well Branched, Not Sheeted	30" HT Min.		
GROUND COVERS	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT	CAL	SIZE
EP	37	Purple Coneflower / Echinacea purpurea		1 Pint		
OJ	218	Black Mondo Grass / Ophiopogon japonicus 'Nigra'		1 Pint		
PA	55	Little Spire Russian Sage / Perovskia atriplicifolia 'Little Spire' TM	Full	1 Quart		
SC	54	Selection of Perennial, Annuals, and Grasses / Seasonal Color		4" pot		

MISCELLANEOUS
 Shredded Hardwood Bark Mulch
 4"-6" River Cobbles
 4"-6" River Cobbles
 TURF
 Fesque. Install in all disturbed areas

NOTES
 ANY CHANGES TO THE PLANT MATERIAL WITHOUT THE APPROVAL OF HEIBERT AND ASSOCIATES MAY BE DENIED AT THE TIME OF INSPECTION. PLEASE CONTACT H&B FOR ANY SUBSTITUTION REQUESTS.

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	QTY	DETAIL
1	4" of 4"-6" Brown River Cobbles in landscape beds around building and in rain gardens		
2	4" depth of hardwood bark mulch in landscape beds not around the building		
3	Tree Protection Fence (see detail)		
4	Existing Oak Tree. Contractor to: Prune canopy to at least 8' HT above grade Remove ALL turf under the drip line Install shredded hardwood bark mulch under the drip line Install		
5	Site Furniture: Bench (4) Manufacturer: Landscape Forms Product: 72" Parc Vue Color: Silver Contact: Michele Batchik 269.370.0563		
6	Site Furniture: Table (2) Manufacturer: Landscape Forms Product: Gretchen - Polysite Color: Natural Contact: Michele Batchik 269.370.0563		
7	Formal Open Space 1 Park: 14,890 Landscape & Tables		
8	Formal Open Space 2 Park: 2,605 sf Landscape & Benches		



NOTE TO CONTRACTOR
 *Shrubs installed at the perimeter parking strip shall be located 3' behind the curb.

NOTE TO CONTRACTOR
 REMOVE ALL TURF UNDER THE DRIP LINE
 INSTALL SHREDDED HARDWOOD BARK MULCH UNDER THE DRIP LINE
 PRUNE CANOPY TO AT LEAST 8' HT ABOVE OF GRADE

ROOF TOP PLANTINGS
 SEE L1.1 FOR PLANTING INSTALLATION AND IRRIGATION DETAIL

TREE TABLE

NO.	SIZE	TYPE
1	60"	OAK

Total Healthy Trees to Remain >14: 1
 Total ACI of Trees >14" to Remain: 60
 Total Healthy Trees to be Removed >24": 0
 Total Caliper Inch of Replacement: 0
 EXISTING TREE CANOPY: 0.03 AC. (2% of Site)
 PROPOSED TREE CANOPY RETENTION: 0.03 AC. (100% OF EXISTING COVER)

ATTENTION OWNER/INSTALLER:
 This landscape plan has been designed to meet the minimum requirements of the City of Franklin zoning ordinance, the approval of the planning commission, and planning department policy. Relocating, substituting, resizing, reducing, or deleting material may cause the site to no longer conform to the requirements; thus problems may arise with releasing the performance/maintenance surety for the landscape material.
Deviation from the approved landscape plan shall not be made without first consulting the Landscape Architect who designed the project. The Designing Landscape Architect shall review proposed substitutions to ensure that all City standards and requirements are met. The City shall be notified in writing upon final approval of any plant substitutions.

LANDSCAPE DATA CHART - LOT 137
 1.43 AC.
 SITE ZONING: (ML) W/ CAO - BCCO-4 Traditional Area
 MIN. REQ. LSA: 30.0% (0.435 AC.)
 PROVIDED LSA: 31.4% (0.456 AC.)
 EXISTING TREE CANOPY: 1,520sf AC.
 PROPOSED TREE CANOPY: 1,520sf AC.
 MIN. REQ. FORMAL OPEN SPACE: 0.0% (0sf) (0AC)
 PROVIDED FORMAL OPEN SPACE: 0.28% (17,495sf) (0.4AC)

Landscape Requirements: (ACT)	Quantity Provided		Inches Provided
	Existing Trees	Total Proposed	
Credit for 0.03 acres of preserved trees LSA = 0.43			
Existing trees >14" (0x1.25):	75	75	75"
Existing trees (See Tree Inventory):	0	0	0"
2" caliper canopy trees:	0	0	0"
Aggregate Canopy Caliper Inches Provided:			75.0"
Aggregate Canopy Caliper Inches Required (82x0.43):			35.3"
1.5" caliper understorey trees:	0	6	9"
Aggregate Understorey Caliper Inches Provided:			9"
Aggregate Understorey Caliper Inches Required (21x0.43):			9"
2" Caliper Replacement Caliper Inches Provided:	24		48"
Min. 18" Height Shrubs:	81		
Min. 30" Height Shrubs:	129		
Total Shrubs Provided:	210		
Total Shrubs Required (96x0.43):	42		

H M H A
 H. Michael Hindman Architects, P.C.
 1607 Westgate Circle - Suite 100 Brentwood, Tennessee 37027 615.370.3522 www.hmarchitects.com

OFFICE BUILDING FOR
Touchstone Medical Imaging
 LYNWOOD WAY LOT 137 GATEWAY VILLAGE SECTION 3 FRANKLIN, TENNESSEE



COF# TBD
 Revisions

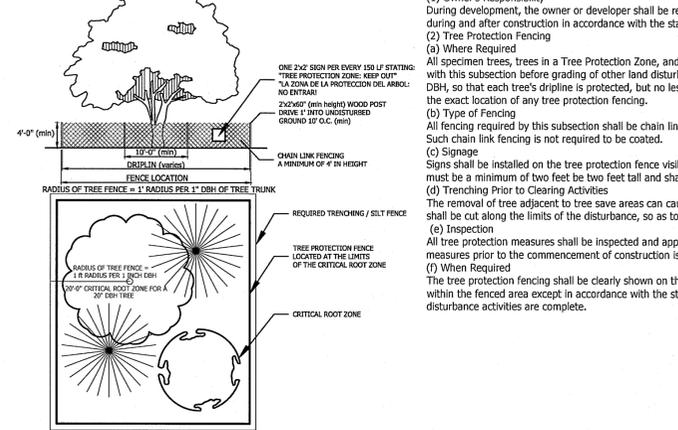
HMH Job Number
14035
 Drawn By
 Date
08.01.14
 Drawing
LANDSCAPE PLAN
L1.0

SEE L1.1 FOR NOTES AND DETAILS

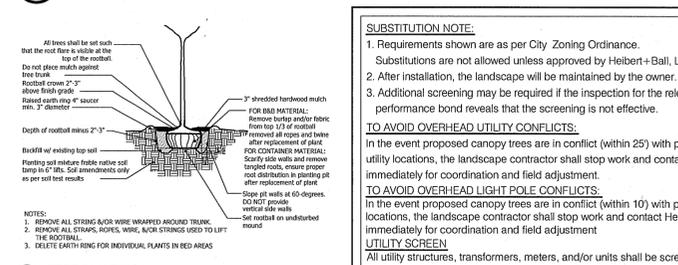
GATEWAY VILLAGE TREE TAKEDOWN CHART	
Site Specimen Tree Replacement Required	
TOTAL SITE INCHES REQUIRED TO BE REPLACED	1,341
TOTAL REPLACEMENT CALIPER INCH FROM SEC. 1	189
TOTAL REPLACEMENT CALIPER INCH FROM SEC. 2	354
TOTAL REPLACEMENT CALIPER INCH FROM SEC. 6	17.75
TOTAL REPLACEMENT CALIPER INCHES FOR SEC 3 LOT 133	105.0
TOTAL REPLACEMENT CALIPER INCHES FROM SEC 3 LOT 143	55.0
TOTAL REPLACEMENT CALIPER INCHES FROM LOT 145	9.0
TOTAL REPLACEMENT CALIPER INCHES FOR SECTION 3 & 6 LOTS 138, 139, 140, 141, 142	198.0
PROPOSED REPLACEMENT CALIPER INCHES FROM FOR LOT 137	48
DEVELOPMENT REPLACEMENT CALIPER INCHES REMAINING: 365.25	

MINIMUM OPEN SPACE REQUIREMENTS FOR RESIDENTIAL FORMAL OPEN SPACE					
AREA	TYPE	APPROVED AREA OF OPEN SPACE	APPROVED MAXIMUM 25% PAVED AREA	PROPOSED AREA OF OPEN SPACE	PROPOSED MAXIMUM 25% PAVED AREA
F-1	Section 1 Median/Circle	9,996 SF	2,499 SF	9,170 SF	2,292 SF
F-2	Section 2 Median/Green	6,624 SF	1,656 SF	3,981 SF	995 SF
F-3	Section 2 Park	11,623 SF	2,906 SF	7,150 SF	1,787 SF
F-4	Neighborhood Park	42,171 SF	10,527 SF	42,334 SF	10,583 SF
F-5	Gateway Monument	14,908 SF	3,727 SF	13,041 SF	3,260 SF
F-6 (LOT 135)	Focal Point			9,059 SF	1,264 SF
F-6 (LOT 138)	Focal Point	12,073 SF	3,018 SF	7,491 SF	1,872 SF
F-6 (LOT 145)	Focal Point			1,225 SF	305 SF
F-7	Traffic Circle	8,659 SF	2,165 SF	11,804 SF	2,951 SF
F-8	Plaza	19,528 SF	4,882 SF	24,115 SF	6,028 SF
F-9 (Lot 137)	Park	16,076 SF	4,019 SF	17,495 SF	4,029 SF
F-10	Park	7,852 SF	1,963 SF	12,453 SF	3,113 SF
F-11 (LOT 135)	Plaza			482 SF	120 SF
F-11 (LOT 136)	Plaza	12,701 SF	3,175 SF	2,837 SF	709 SF
F-11 (LOT 145)	Plaza			12,640 SF	3,160 SF
		162,211 SF (3.72 Acres)		171,277 SF (3.93 Acres)	

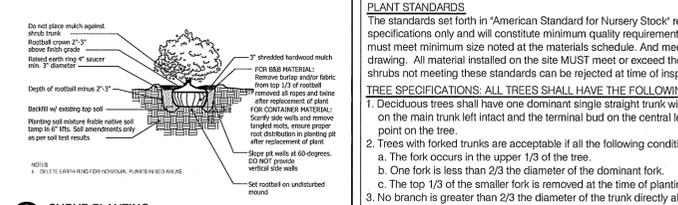
• 5% of Developable Area Required for Formal Open Space
 • Total Developable Area = 41.82 AC, 5% of 41.82 AC = 91,040 SF (2.09 AC)
 • Concept Plan - Staff Comments - Expand Formal Open Space



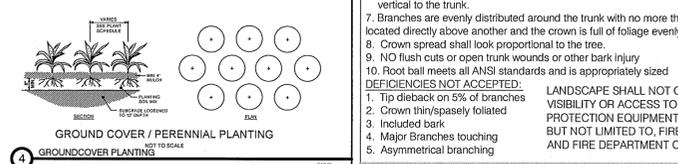
1 TREE PROTECTION FENCE
 1" = 1'-0"



2 TREE PLANTING

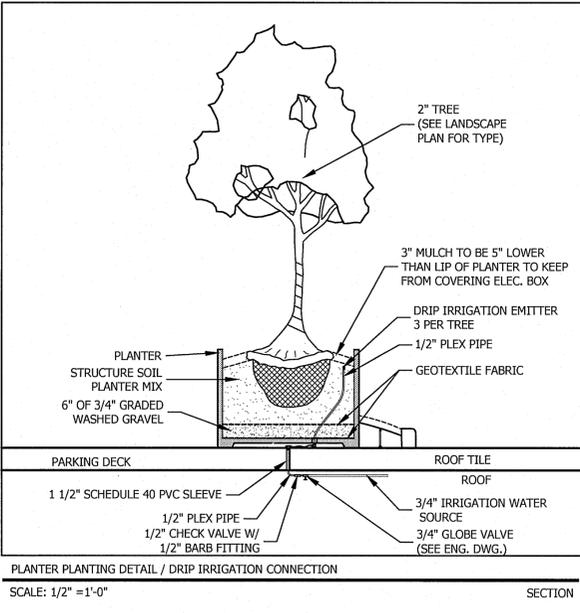


3 SHRUB PLANTING



4 GROUND COVER / PERENNIAL PLANTING

Hvac units, cooling and/or mechanical equipment are mounted on the:
 Rooftop
 Ground
 Not Applicable
 THIS DEVELOPMENT IS REQUIRED TO HAVE THE FOLLOWING LANDSCAPE IMPROVEMENTS
 Buffer/ Screening Type: Purpose:
 Not Applicable Buffering/ Screening not required
 Foundation planting Along primary facade
 Perimeter Planting Strip Screen VUAs and to create "modules"
 Interior VUA Planting Create VUA "modules"
 Utility Box Screen Screen from view
 HVAC Screen Screen HVAC from view
 Dumpster Screen Screen Dumpster from view
 Loading/service Area Buffer the street or residential property
 Incompatible Use Buffer Buffer the adjacent less intensive use
 30-foot Front Yard Buffer Buffer the adjacent Hatcher Bypass
 40-foot Front Yard Buffer Buffer the adjacent Interstate 65
 Street Trees Spatial Definition/Environmental Mitigation
 Other:
 LANDSCAPE ARCHITECT: Heibert+Ball Land Design
 Connor Ball, PLA
 615.376.2421
 FRANKLIN PLANNING DEPARTMENT: 615.791.3212 phone
 615.791.3257 fax



SCALE: 1/2" = 1'-0" SECTION

City Landscape Notes
 1. The Owner shall submit a Certificate of Landscape Compliance to the Building and Codes Department upon completion of the landscape installation.
 2. Upon submittal of a Certificate of Landscape Compliance contact Building and Codes to schedule a Landscape Inspection.
 3. No Certificate of Occupancy shall be issued until all landscape materials are in place in substantial compliance with the approved landscape plan.
 4. All trees and shrubs shall be tagged according to species. Tags shall not be removed until after the Site Inspection for the issuance of a Certificate of Occupancy.
 5. Any plant material that dies, turns brown or defoliates shall be replaced within one year or by the next growing season, whichever comes first. Other defective landscape material shall be replaced within three months.
 6. All trees shall be straight trunked, full headed and meet all requirements specified. All trees and shrubs must be container grown or balled and burlapped with sizes indicated on the plant schedule on the approved plans. All plants shall be healthy, vigorous material, free of pest and disease. All rootballs, containers and height to width ratios shall conform to the size standards set forth in the American Standards for Nursery Stock, current edition.
 7. All required deciduous trees shall be a minimum of 2" (two inches) in caliper at planting.
 8. All required evergreen trees shall be a minimum of 6' (six feet) in height at planting.
 9. All required shrubs shall be a minimum of 18" in height at planting.
 10. Any site or landscape changes (including but not limited to a change in design, a reduction in size or number of plant material, or the relocation of overhead or underground utilities) will require a revised landscape plan to be submitted and approved prior to the landscape installation.
 11. The Owner acknowledges that landscaping in a dedicated easement does not waive or modify the City rights as the easement holder. The Owner understands that the City, its authorized contractor or applicable private utility may at any time and for any reason perform work within the dedicated easement. The City, its authorized contractor or applicable private utility shall have no liability to the Owner for any damage to the landscaping in the easement when said damage is due to work within the easement. The Owner may be held responsible for the removal of the landscaping to enable work to be done. The Owner shall be solely responsible for any costs incurred in repairing and/or replacing the required landscaping.
 12. ATTENTION OWNER/INSTALLER:
 This landscape plan has been designed to meet the minimum requirements of the City Zoning ordinance, the approval of the planning commission, and planning department policy. Relocating, substituting, resizing, reducing or deleting material may cause the site to no longer conform to the requirements. Thus problems may arise with releasing the performance/maintenance bond for landscaping.
Deviation from the approved landscape plan shall not be made without first consulting Heibert+Ball, Land Design and then obtaining approval from either the planning commission or the planning department.

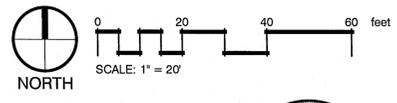
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PLANT STANDARDS
 The standards set forth in "American Standard for Nursery Stock" represent general guideline specifications only and will constitute minimum quality requirements for plant material. All plants must meet minimum size noted at the materials schedule. And meet the characteristics stated on this drawing. All material installed on the site MUST meet or exceed these specifications. Any trees or shrubs not meeting these standards can be rejected at time of inspection.

TREE SPECIFICATIONS: ALL TREES SHALL HAVE THE FOLLOWING CHARACTERISTICS:
 1. Deciduous trees shall have one dominant single straight trunk with the tip of the leader on the main trunk left intact and the terminal bud on the central leader is at the highest point on the tree.
 2. Trees with forked trunks are acceptable if all the following conditions are met:
 a. The fork occurs in the upper 1/3 of the tree.
 b. One fork is less than 2/3 the diameter of the dominant fork.
 c. The top 1/3 of the smaller fork is removed at the time of planting.
 3. No branch is greater than 2/3 the diameter of the trunk directly above the branch.
 4. The trunk and/or major branches shall not touch
 5. Several branches are larger in diameter and obviously more dominant.
 6. Branching habit is more horizontal than vertical, and no branches are oriented nearly vertical to the trunk.
 7. Branches are evenly distributed around the trunk with no more than one major branch located directly above another and the crown is full of foliage evenly distributed around the tree
 8. Crown spread shall look proportional to the tree.
 9. NO flush cuts or open trunk wounds or other bark injury
 10. Root ball meets all ANSI standards and is appropriately sized

DEFICIENCIES NOT ACCEPTED:
 1. Tip dieback on 5% of branches
 2. Crown thin/sparsely foliated
 3. Included bark
 4. Major Branches touching
 5. Asymmetrical branching

LANDSCAPE SHALL NOT OBSTRUCT VISIBILITY OR ACCESS TO FIRE PROTECTION EQUIPMENT INCLUDING, BUT NOT LIMITED TO, FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTIONS



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LYNWOOD WAY
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 VILLAGE SECTION 3
 FRANKLIN, TENNESSEE



COF # TBD

Revisions

HMH Job Number
 14035

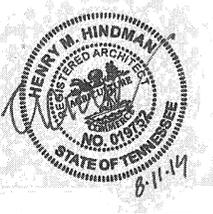
Drawn By

Date
 08.01.14

Drawing
 LANDSCAPE PLAN
 NOTES & DETAILS

L1.1





NOTES

1. LOCATION AND NUMBERS OF STOREFRONT DOORS SUBJECT TO CHANGE PER TENANT REQUIREMENTS.
2. LOCATION AND NUMBERS OF REAR & EGRESS DOORS SUBJECT TO CHANGE PER TENANT REQUIREMENTS.
3. TENANT SIGNS WILL BE DETERMINED FOR APPROVAL AS TENANT REQUIREMENTS ARE DETERMINED.
4. SPECIFIED MATERIALS MAY CHANGE SUBJECT TO AVAILABILITY AT TIME OF CONSTRUCTION AND SUBJECT TO APPROVAL OF BNS DEPARTMENT OR PLANNING COMMISSION.
5. THESE ELEVATIONS HAVE BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE CITY OF FRANKLIN'S ARCHITECTURAL DESIGN STANDARDS AND THE APPROVAL OF THE PLANNING COMMISSION. CHANGES SHALL NOT BE MADE TO THE APPROVED ELEVATIONS UNLESS APPROVED BY EITHER THE BNS DEPARTMENT OR THE PLANNING COMMISSION.
6. HVAC UNITS ARE LOCATED ON THE ROOFS OF THE BUILDING AND ARE SCREENED FROM PUBLIC VIEW BY PARAPET WALLS.
7. CAVITY WALL CONSTRUCTION SHALL BE USED WHEREVER INTEGRALLY COLORED, UNPAINTED, SPLIT FACE CONCRETE BLOCK IS USED TO PREVENT WATER PENETRATION.

EXTERIOR FINISH LEGEND

- BRICK**
STYLE/SIZE: UTILITY
COLOR: RED/BROWN
MANUFACTURER: TBD
MORTAR: TBD
MORTAR MANUF.: TBD
- MONUMENTAL CAST STONE**
STYLE/SIZE: TRENDSSTONE PLUS MONUMENTAL SERIES
COLOR: MW WHITE
MANUFACTURER: TRENWYTH
MORTAR: TBD
MORTAR MANUF.: TBD
ALTERNATE: BRICK OF SIMILAR COLOR
- CAST STONE LINTEL & ACCENT BAND**
STYLE/SIZE: SMOOTH
COLOR: BUFFSTONE, GP-A
MANUFACTURER: ROCK CAST
MORTAR: SAME AS ADJACENT MASONRY
- CAST STONE BASE**
STYLE/SIZE: SPLIST/STPS-304 (3.625"x23.625")
COLOR: SUNSET
MANUFACTURER: PRAIRIE STONE
MORTAR: TBD
MORTAR MANUF.: TBD
- STOREFRONT & CURTAIN WALL**
STYLE/SIZE: ALUMINUM RECTANGULAR
COLOR: KYNAR CHARCOAL GRAY OR ANODIZED DARK BRONZE
MANUFACTURER: TUBELITE OR EQUAL
- GLAZING**
STYLE/SIZE: 1" INSULATED LOW-E
COLOR: SOLAR BLUE + SOLARBAN 70XL (8)
MANUFACTURER: PPG OR EQUAL
- PREFINISHED METAL PARAPET COPING**
COLOR: SIERRA TAN & SLATE GRAY
MANUFACTURER: BERRIDGE OR EQUAL
- METAL PANEL CANOPY**
STYLE/SIZE: SMOOTH METAL PANEL, 18"
COLOR: PEWTER/TITANIUM
MANUFACTURER: CENTRIA/ALUCOBOND OR EQUAL
- METAL PANEL/SCREEN ACCENT**
STYLE/SIZE: PROFILE SERIES, CS-660
COLOR: ORANGE VERMILLION
MANUFACTURER: CENTRIA
- PAINT**
COLOR: TBD

MATERIAL AREA NOTES

1. MINOR MATERIALS INCLUDING COPINGS, FLASHINGS, AND TRIM INSTALLED OVER BRICK ARE NOT INCLUDED IN MATERIAL AREA CALCULATIONS.
2. NET WALL AREA EXCLUDES STOREFRONT, DOORS, LOUVERS AND MINOR TRIM.

MATERIAL CALCULATIONS

NORTH ELEVATION

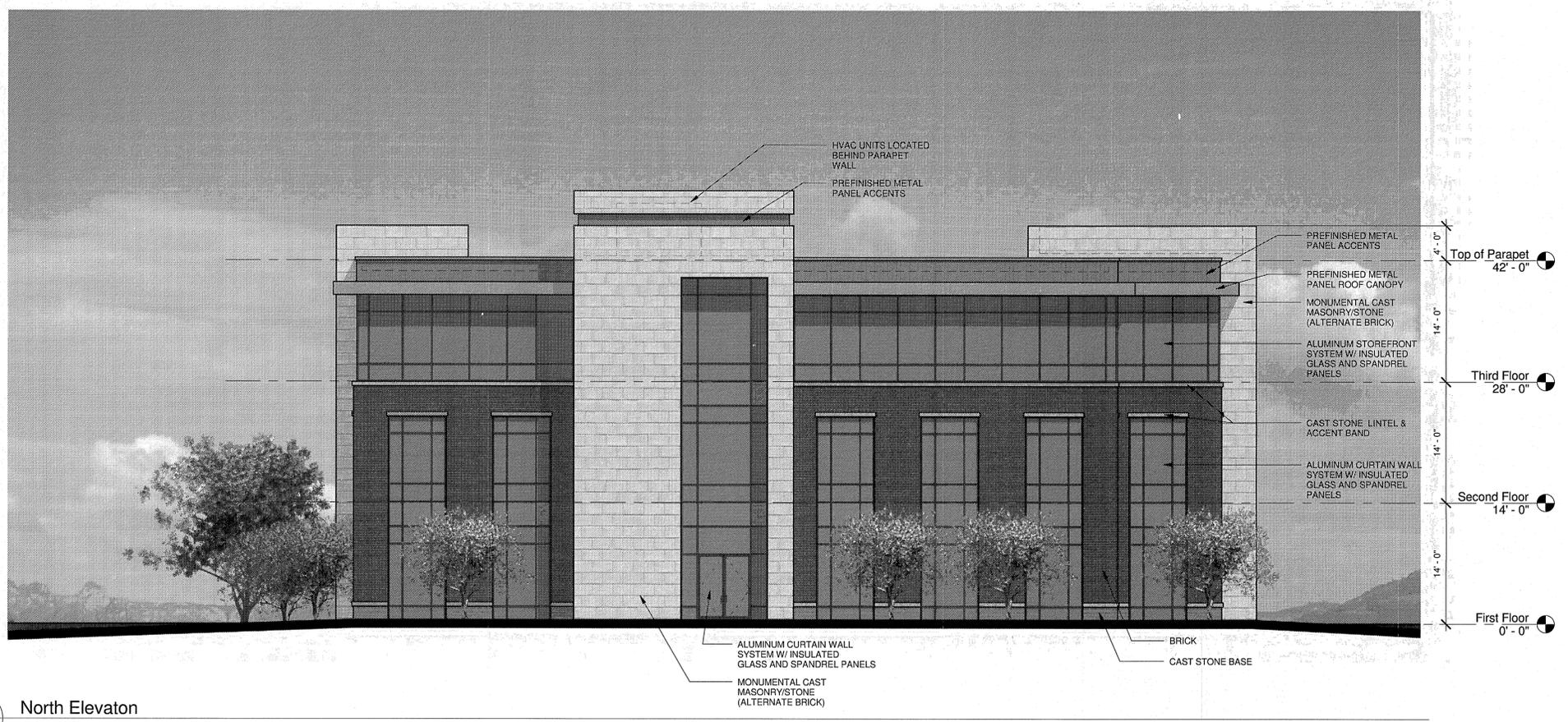
	AREA	% OF NET
GROSS WALL AREA	4427 S.F.	NA%
NET WALL AREA	2320 S.F.	100%
BRICK AREA	1007 S.F.	44%
CAST STONE AREA	652 S.F.	41%
METAL PANEL/CANOPY	361 S.F.	15%

WEST ELEVATION

	AREA	% OF NET
GROSS WALL AREA	3352 S.F.	NA%
NET WALL AREA	1897 S.F.	100%
BRICK AREA	1055 S.F.	56%
CAST STONE AREA	657 S.F.	35%
METAL PANEL/CANOPY	185 S.F.	9%

CONCEPT DESIGN

FINAL DESIGN TO BE SUBMITTED FOR SITE PLAN APPROVAL



1 North Elevation
A1 1/8" = 1'-0"



2 West Elevation
A1 1/8" = 1'-0"

Revisions

HMH Job Number
14035

Drawn By
TT

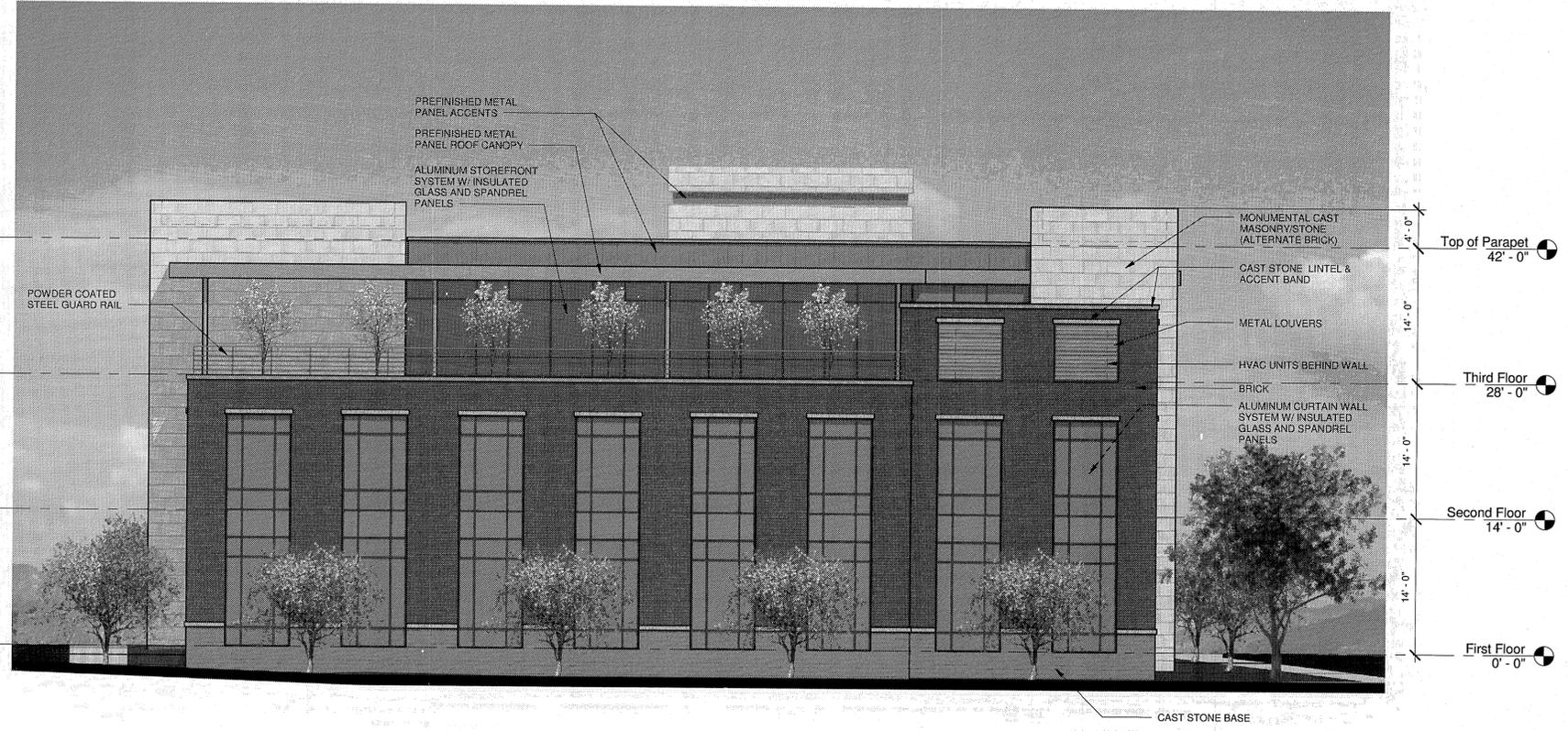
Date
08.11.14

Drawing
Elevations

A1



1 East Elevation
A2 1/8" = 1'-0"



2 South Elevation
A2 1/8" = 1'-0"

NOTES

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EXTERIOR FINISH LEGEND

BRICK	UTILITY
STYLE/SIZE:	RED/BROWN
COLOR:	TBD
MANUFACTURER:	TBD
MORTAR:	TBD
MORTAR MANUF.:	TBD
MONUMENTAL CAST STONE	
STYLE/SIZE:	TRENDSTONE PLUS MONUMENTAL SERIES
COLOR:	MW WHITE
MANUFACTURER:	TRENWYTH
MORTAR:	TBD
MORTAR MANUF.:	TBD
ALTERNATE:	BRICK OF SIMILAR COLOR
CAST STONE LINTEL & ACCENT BAND	
STYLE/SIZE:	SMOOTH
COLOR:	BUFFSTONE, GP-A
MANUFACTURER:	ROCK CAST
MORTAR:	SAME AS ADJACENT MASONRY
CAST STONE BASE	
STYLE/SIZE:	SPLIT/STPS-304 (3.625"x23.625")
COLOR:	SUNSET
MANUFACTURER:	P'LAIRIE STONE
MORTAR:	TBD
MORTAR MANUF.:	TBD
STOREFRONT & CURTAIN WALL	
STYLE/SIZE:	ALUMINUM RECTANGULAR
COLOR:	KYNAR CHARCOAL GRAY OR ANODIZED DARK BRONZE
MANUFACTURER:	TUBELITE OR EQUAL
GLAZING	
STYLE/SIZE:	1" INSULATED LOW-E
COLOR:	SOLAR BLUE + SOLARBAN 70XL (3)
MANUFACTURER:	PPG OR EQUAL
PREFINISHED METAL PARAPET COPING	
COLOR:	SIERRA TAN & SLATE GRAY
MANUFACTURER:	BERRIDGE OR EQUAL
METAL PANEL CANOPY	
STYLE/SIZE:	SMOOTH METAL PANEL, 18"
COLOR:	PEWTER/TITANIUM
MANUFACTURER:	CENTRIA/ALUCOBOND OR EQUAL
METAL PANEL/SCREEN ACCENT	
STYLE/SIZE:	PROFILE SERIES, CS-660
COLOR:	ORANGE VERMILLION
MANUFACTURER:	CENTRIA
PAINT	
COLOR:	TBD

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MATERIAL CALCULATIONS

EAST ELEVATION

	AREA	% OF NET
GROSS WALL AREA	3631 S.F.	NA%
NET WALL AREA	2208 S.F.	100%
BRICK AREA	1193 S.F.	54%
CAST STONE AREA	846 S.F.	38%
METAL PANEL/CANOPY	169 S.F.	8%

SOUTH ELEVATION

	AREA	% OF NET
GROSS WALL AREA	4954 S.F.	NA%
NET WALL AREA	3091 S.F.	100%
BRICK AREA	1522 S.F.	49%
CAST STONE AREA	1293 S.F.	41%
METAL PANEL/CANOPY	316 S.F.	10%

CONCEPT DESIGN
FINAL DESIGN TO BE SUBMITTED FOR SITE PLAN APPROVAL

Revisions

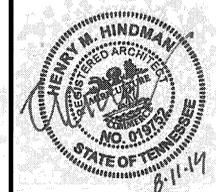
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Drawing
Elevations

A2



1
A3 View from North



2
A3 View from East



3
A3 View from South



4
A3 View from West

CONCEPT DESIGN
FINAL DESIGN TO BE SUBMITTED
FOR SITE PLAN APPROVAL

Revisions

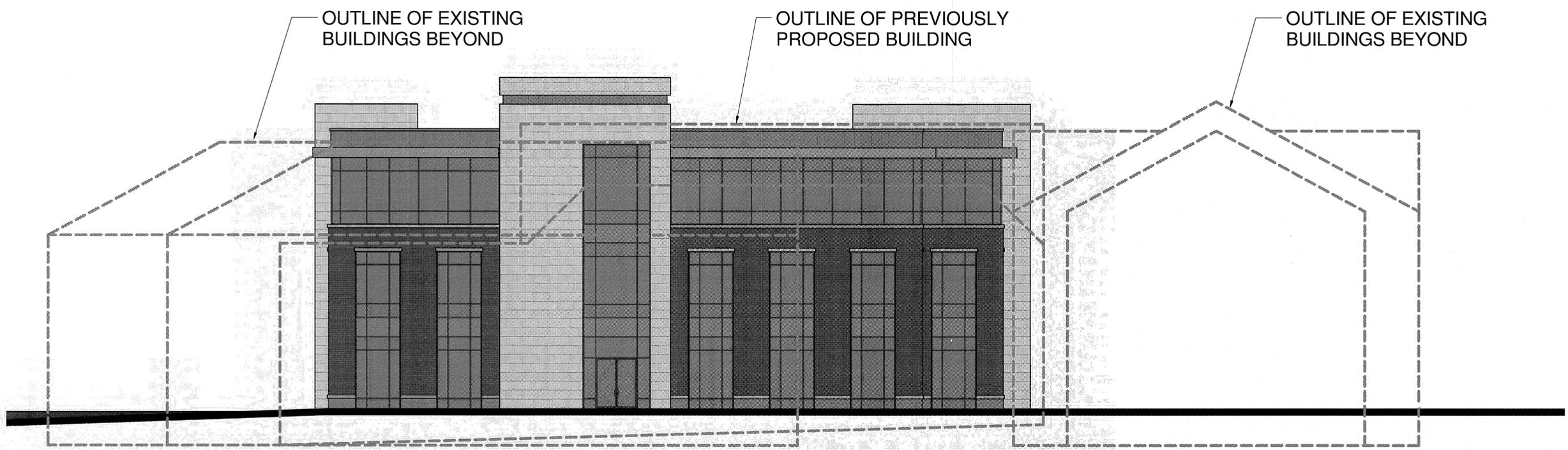
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Date
08.11.14

Drawing
Perspectives

A3



1 North Elevation Diagram
A4 1/8" = 1'-0"

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FOR SITE PLAN APPROVAL

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Drawing
Elevation Diagram