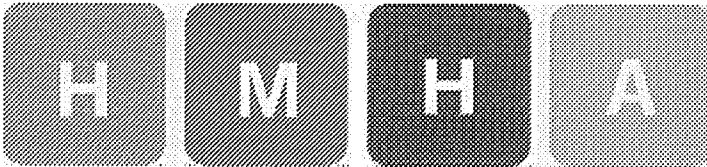
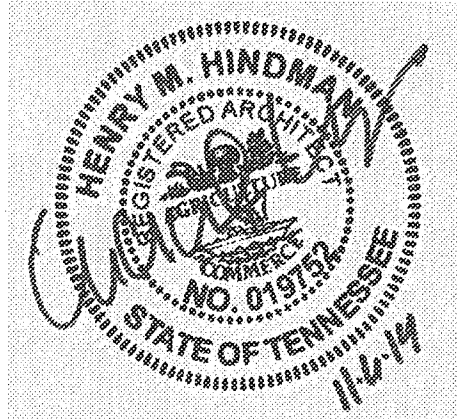


GATEWAY VILLAGE PUD SUBDIVISION  
DEVELOPMENT PLAN, SECTION 4

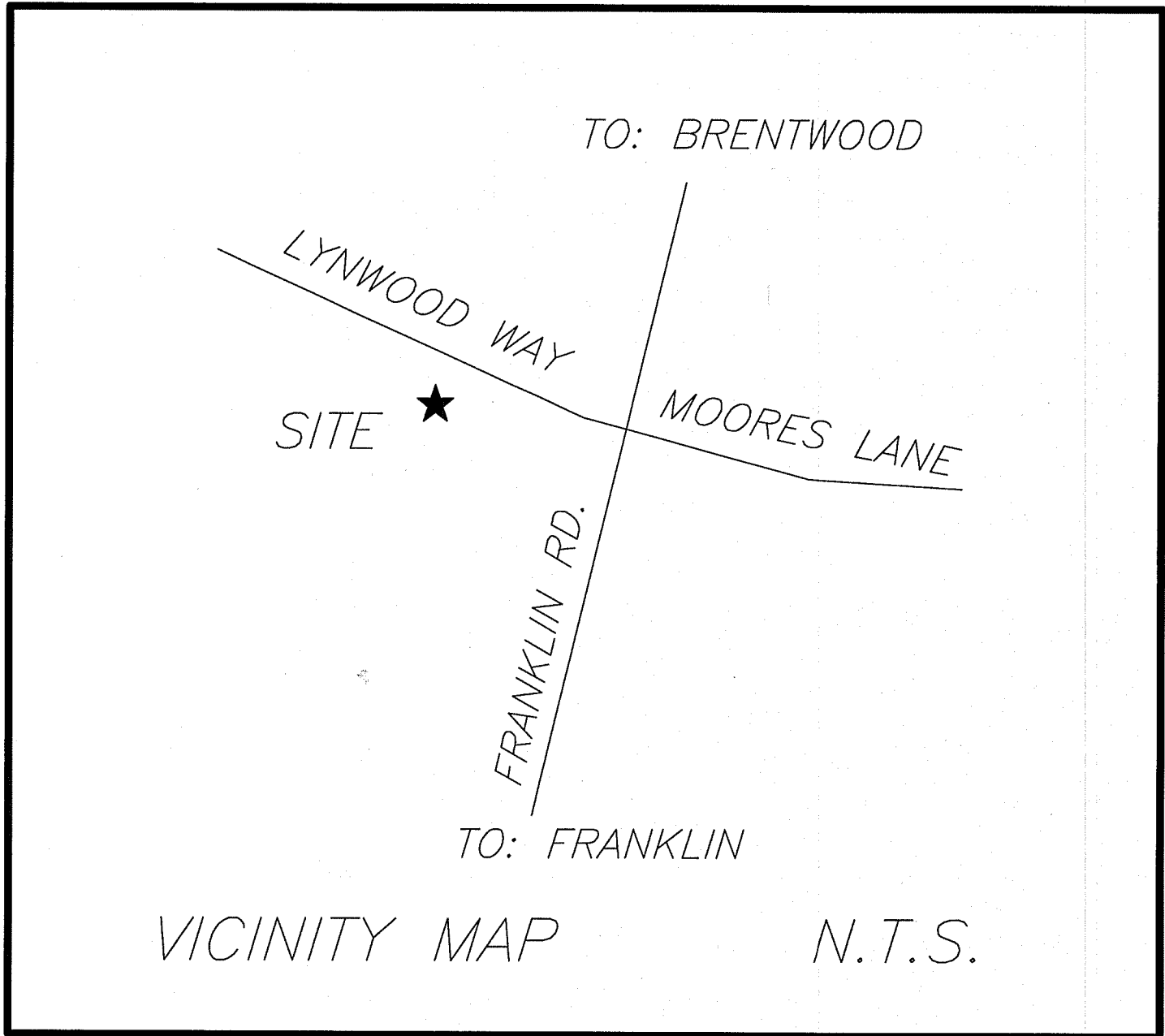
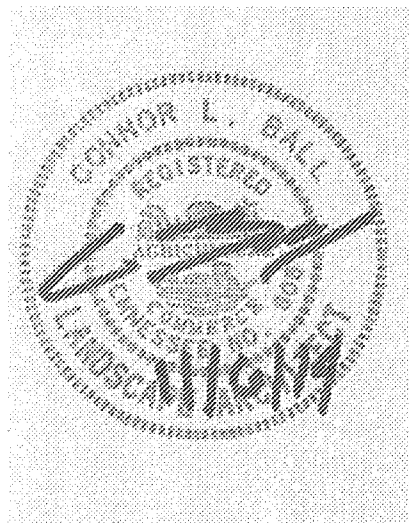


H. Michael Hindman  
Architects, P.C.

1607 Westgate Circle - Suite 100  
Brentwood, Tennessee 37027  
615.370.3252  
www.hmarchitects.com



CIVIL DESIGN CONSULTANTS, LLC  
CIVIL ENGINEERS • LAND PLANNERS  
CIVIL-DESIGN-CONSULTANTS, LLC  
870 COLEY DAVIS RD., NASHVILLE, TN 37221  
PHONE: (615) 516-2734 EMAIL: CIVILCONSULTANTS@BELL-SOUTH.NET



1360 MOHER BLVD

CITY OF FRANKLIN PROJECT NUMBER 4693  
CITY OF FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

PLAN SHEET INDEX

| SHEET | DESCRIPTION                       |
|-------|-----------------------------------|
| CS    | COVER SHEET                       |
| ECP   | EXISTING CONCEPT PLAN             |
| PCP   | PROPOSED CONCEPT PLAN AS APPROVED |
| PCP   | PROPOSED CONCEPT PLAN AS BUILT    |
| C0.0  | EXISTING CONDITIONS PLAN          |
| C1.0  | PROPOSED LAYOUT PLAN              |
| C2.0  | PROPOSED GRADING DRAINAGE PLAN    |
| C3.0  | STORMWATER PLAN                   |
| L1.0  | LANDSCAPE PLAN                    |
| L1.1  | LANDSCAPE PLAN                    |
| A1    | ARCHITECTURE PLAN                 |
| A2    | ARCHITECTURE PLAN                 |
| A3    | ARCHITECTURE PLAN                 |
| A4    | ARCHITECTURE PLAN                 |

SITE DATA:

|                          |   |
|--------------------------|---|
| SUBDIVISION/DEVELOPMENT: | RSC GENERAL PARTNERSHIP                               |
| ADDRESS:                 | 1360 MOHER BLVD.                                      |
| CITY:                    | FRANKLIN  |
| COUNTY:                  | WILLIAMSON  |
| STATE:                   | TENNESSEE   |
| PARCEL/MAP:              | PARCEL 49 MAP 064B GROUP B                            |
| ACREAGE OF SITE:         | 1.45± ACRES   |
| SQUARE FOOTAGE OF SITE:  | 63,245± S.F.  |
| DISTURBED ACREAGE:       | 1.20± ACRES   |
| CIVIL DISTRICT:          | 8   |
| CHARACTER AREA           | BCCO BARRYS CHAPEL CHARACTER DEVELOPMENT AREA OVERLAY |
| DEVELOPMENT STANDARD     | TRADITIONAL   |
| EXISTING USE             | VACANT  |
| PROPOSED USE             | OFFICE  |
| ZONING DISTRICT          | GENERAL COMMERCIAL                                    |

|            |   |
|------------|---|
| APPLICANT: | ARCHITECT<br>MR. MICHAEL HINDMAN, A.I.A.<br>H. MICHAEL HINDMAN ARCHITECTS, P.C.<br>1607 WESTGATE CIRCLE, SUITE 100<br>BRENTWOOD, TN 37027<br>(615) 370-3252 |
| ENGINEER   | LANDSCAPE ARCHITECT<br>MR. JARED R. GRAY, P.E.<br>CIVIL DESIGN CONSULTANTS, LLC.<br>8170 COLEY DAVIS RD.<br>NASHVILLE, TN 37221<br>(615) 638-8207           |
|            | MR. CONNOR BALL, RLA<br>HEIBERT + BALL LAND DESIGN<br>1894 GENERAL GEORGE PATTON DR.<br>FRANKLIN, TN 37067<br>(615) 376-2421                                |

|                          |                              |
|--------------------------|------------------------------|
| BUILDING SQUARE FOOTAGE: | 21,000 S.F. (MEDICAL OFFICE) |
| PARKING REQUIRED:        | 1 SPACE/250 S.F. = 84 SPACES |
| PARKING PROVIDED:        | 86 SPACES                    |

ALL 90' PARKING SHALL BE 9'X18' UNLESS OTHERWISE NOTED

COF #4693



H. Michael Hindman  
Architects, P.C.

1607 Westgate Circle - Suite 100  
Brentwood, Tennessee 37027  
615.370.3252  
www.hmarchitects.com

OFFICE BUILDING FOR

Touchstone  
Medical  
Imaging

LYNWOOD WAY  
LOT 137 GATEWAY  
VILLAGE SECTION 3  
FRANKLIN, TENNESSEE

Revisions

HMH Job Number  
14035

Drawn By  
HMH

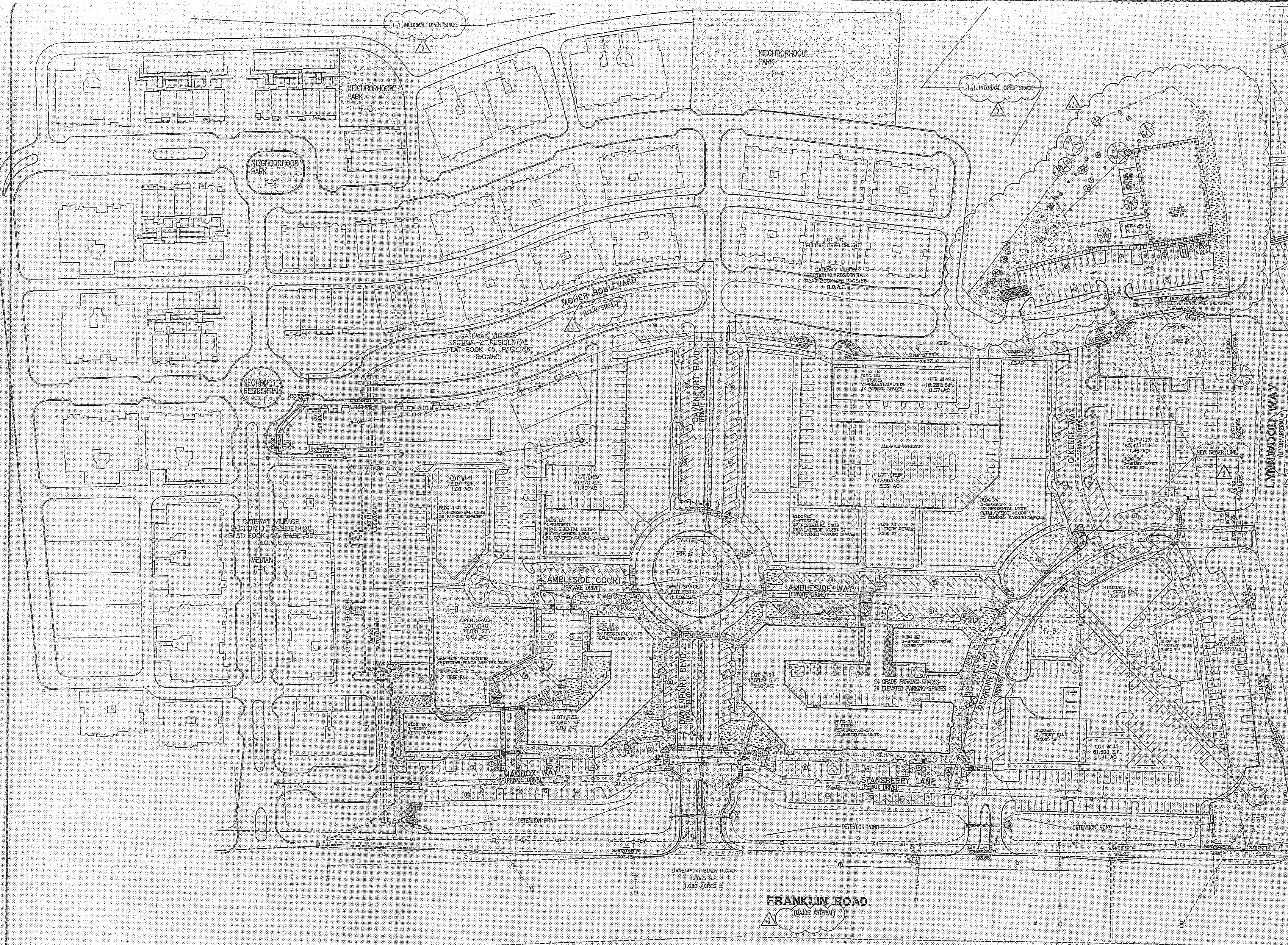
Date  
07.28.14

Drawing

COVER SHEET

CS





VICINITY MAP

NEW LAND USE REGULATIONS

|                                |  |
|--------------------------------|--|
| APPROVED ZONING                | PLANNED COMMERCIAL (PC 6.83)                 |
| DESIGNATED ZONING              | PLANNED COMMERCIAL (PC 6.84)                 |
| GROSS SITE AREA                | 11.82 AC                                     |
| TOTAL RESIDENTIAL UNITS        | 402 DWELLING UNITS                           |
| TOWNHOUSES                     | 120 DWELLING UNITS (APPROVED SECTIONS 1 & 4) |
| CONDOMINIUMS                   | 30 DWELLING UNITS (APPROVED SECTION 4)       |
| CONDOMINIUMS/LOFTS             | 252  |
| GROSS DENSITY                  | 6.84 DUA                                     |
| TOTAL SF OF RETAIL/RESTAURANT  | 85,082 SF                                    |
| TOTAL SF OF OFFICE             | 61,176 SF                                    |
| TOTAL RETAIL/OFFICE/RESTAURANT | 146,258 SF                                   |
| PROPOSED FLOOR AREA RATIO      | 0.000  |
| MAX. ALLOWED FLOOR AREA RATIO  | 0.000  |

MINIMUM OPEN SPACE REQUIREMENTS FOR RESIDENTIAL

FORMAL OPEN SPACE

5% of Developable Area Required for Formal Open Space

Total Developable Area = 41.82 AC, 25% of 41.82 AC = 10,455 SF (0.24 AC)

Project Plan - Street Closures - General Information

| AREA        | TYPE                    | APPROVED AREA OF OPEN SPACE | APPROVED MINIMUM AREA  | PROPOSED MAXIMUM OF OPEN SPACE | 25% FORMAL AREA        |
|-------------|-------------------------|-----------------------------|------------------------|--------------------------------|------------------------|
| Area 1 - 1  | Section 1 Median/Circle | 6,088 SF                    | 2,435 SF               | 6,088 SF                       | 2,435 SF               |
| Area 1 - 2  | Section 2 Median/Circle | 6,844 SF                    | 1,636 SF               | 6,844 SF                       | 1,636 SF               |
| Area 1 - 3  | Section 3 Circle        | 11,823 SF                   | 2,956 SF               | 11,823 SF                      | 2,956 SF               |
| Area 1 - 4  | Neighborhood Park       | 42,171 SF                   | 10,543 SF              | 42,171 SF                      | 10,543 SF              |
| Area 1 - 5  | Gateway Mountaintop     | 14,929 SF                   | 3,727 SF               | 14,929 SF                      | 3,727 SF               |
| Area 1 - 6  | Front Point             | 12,013 SF                   | 3,003 SF               | 12,013 SF                      | 3,003 SF               |
| Area 1 - 7  | Terrace Circle          | 8,846 SF                    | 2,212 SF               | 8,846 SF                       | 2,212 SF               |
| Area 1 - 8  | Park                    | 18,528 SF                   | 4,632 SF               | 18,528 SF                      | 4,632 SF               |
| Area 1 - 9  | Park                    | 18,078 SF                   | 4,519 SF               | 18,078 SF                      | 4,519 SF               |
| Area 1 - 10 | Park                    | 7,853 SF                    | 1,963 SF               | 7,853 SF                       | 1,963 SF               |
| Area 1 - 11 | Park                    | 12,701 SF                   | 3,175 SF               | 12,701 SF                      | 3,175 SF               |
|             |                         | 182,211 SF (5.72 Acres)     | 45,554 SF (1.04 Acres) | 182,211 SF (5.72 Acres)        | 45,554 SF (1.04 Acres) |

INFORMAL OPEN SPACE

10% Developable Area Required for Informal Open Space

Total Developable Area = 41.82 AC, 10% of 41.82 AC = 4,182 SF (0.09 AC)

| KEY        | CLASSIFICATION | TYPE     | AREA OF OPEN SPACE | PAVED AREA |
|------------|----------------|----------|--------------------|------------|
| Area 1 - 1 | INFORMAL       | HILLSIDE | 1,017,610          |            |

CURRENTLY APPROVED GATEWAY VILLAGE LAND USE DATA

| Development        | FIPIC Approved | PD Zoned Acres | Total Dwelling Units | RETAIL OFFICE | MIXED USE     |
|--------------------|----------------|----------------|----------------------|---------------|---------------|
| Current Plan       | 5/25/03        | 60.00          | 1619                 | 133,958       | 185 multiplex |
| Section 1          | 6/6/04         | 4.83           | 33                   |               |               |
| Section 2          | 3/24/05        | 11.42          | 97                   |               |               |
| Section 3          | 7/27/08        | 1.12           | 38                   |               |               |
| Approved Section 3 | 3/28/09        | 0.07           | 30                   | 57,235        | 340           |

GATEWAY VILLAGE IMPROVEMENTS

PROPOSED CONCEPT PLAN FOR SECTION 3, LOT 133 & 134 CHANGE

| SECTION 3 LOT NUMBER | LAND ALLOCATIONS BY PARCEL | CONDO/LOFTS | RETAIL/OFFICE AND BANKS | RESTAURANT | ACREAGE | SQUARE FOOTAGE | PARKING SHOWN | PARKING/CODE WITH 85 MULTIPLE |
|----------------------|----------------------------|-------------|-------------------------|------------|---------|----------------|---------------|-------------------------------|
| 133                  | A, B                       | 22          | 22,861                  |            | 22.861  | 122,802        | 154           | 154                           |
| 134                  | A, B                       | 22          | 22,861                  |            | 22.861  | 122,802        | 154           | 154                           |
| 135                  | A                          |             | 10,100                  |            | 1.41    | 61,300         | 92            | 28                            |
| 136                  | A, B                       |             | 12,500                  |            | 2.25    | 92,540         | 91            | 15                            |
| 137                  | A                          |             | 10,800                  |            | 1.25    | 63,620         | 92            | 18                            |
| 138                  | A                          |             | 10,300                  |            | 1.25    | 70,320         | 46            | 39                            |
| 139                  | A, B, C                    | 87          | 20,544                  |            | 3.30    | 147,063        | 273           | 222                           |
| 140                  |                            | 46          | 4,500                   |            | 0.67    | 29,071         | 71            | 12                            |
| 141                  | Formal Open Sp             |             |                         |            | 0.27    | 11,834         | 0             | 0                             |
| 142                  | A                          | 30          |                         |            | 1.58    | 73,071         | 76            | 57                            |
| 143                  | A                          | 21          |                         |            | 0.97    | 10,321         | 21            | 40                            |
| Totals               |                            | 224         | 151,788                 | 12,200     | 28.54   | 883,168        | 1,254         | 1,885                         |

Notes: Shared parking allows 85 multiple of required parking per City.  
Full section 34 down minimum area to provide 10 spaces per 1,000 SF, plus 1 per employee at maximum shift.  
Study units shall require only 1 space per unit.

STORMWATER NOTES

1. This site will provide adequate on-site detention for one and a half development runoff.  
2. No portion of site shall flow within a roadway (RW) or roadway fringe (RF) boundary. Map #17127020202.  
3. The storm water detention facilities will minimize the potential of increased runoff on construction properties. The existing detention areas will be used for all of the detention & water quality requirements for 2-100 year storms. Water quality will provide a minimum of 60% TSS (total suspended solids) removal.  
4. Refer to Plan for approximate locations for detention. This is shown for conceptual only. Final size and location to be determined with site plan development.  
5. Expected Pollutant Removal Efficiency taken from City of Franklin Stormwater Management Plan.  
6. All Water Quality Devices east of the Water Quality Cell on meter shall drain toward the Existing Detention facilities.  
7. Structural treatment shall be City of Franklin approved devices.  
8. Resuspension of storm water study not required per pre-application meeting.

GENERAL NOTES

1. SECTIONS 1, 2 & 3 OF GATEWAY VILLAGE DESIGNED BY LANDSCAPE INC. THE REVISED COMMERCIAL VILLAGE DESIGNED BY KSK/ODGA COMPANIES.  
2. THREE EXISTING TREES WITHIN THE COMMERCIAL VILLAGE SHALL BE PRESERVED.  
3. ALL TREE-PROTECTION FENCING SHALL BE IN PLACE PRIOR TO THE ISSUANCE OF A CONSTRUCTION PERMIT AND SHALL BE MAINTAINED IN GOOD WORKING ORDER UNTIL ALL CONSTRUCTION ACTIVITY IS COMPLETED. ANY REQUIRED PROTECTIVE MEASURES SHALL BE PLACED BEFORE ANY TREE PROTECTION FENCING.  
4. THE PLANT MATERIAL PROPOSED FOR THE DETENTION AREAS SHALL BE SHOWN ON THE PLAN AND INCLUDED IN A PLANT SCHEDULE AT THE SITE PLAN STAGE. MAINTENANCE GUIDELINES FOR THESE AREAS SHALL BE PROVIDED.

TREES TO BE SAVED/PROTECTED

| ID# | SIZE     | TYPE | CONDITION |
|-----|----------|------|-----------|
| #1  | 60" CAL. | CAK  | FAIR      |
| #2  | 48" CAL. | ELM  | GOOD      |
| #3  | 40" CAL. | ELM  | GOOD      |

GATEWAY VILLAGE TREE TAKE DOWN CHART

| SITE SPECIMEN TREE REPLACEMENT REQUIRED                              |        |
|--|--------|
| TOTAL SITE INCHES REQUIRED TO BE REPLACED                            | 1,341  |
| TOTAL REPLACEMENT CALIPER INCH FROM SEC. 1                           | 189    |
| TOTAL REPLACEMENT CALIPER INCH FROM SEC. 2                           | 354    |
| TOTAL REPLACEMENT CALIPER INCH FROM SEC. 3                           | 17,725 |
| TOTAL REPLACEMENT CALIPER INCH FROM SECTION 3, LOT 133 & 134         | 214.9  |
| REMAINING SPECIMEN CALIPER INCHES TO BE REPLACED PER FUTURE SECTIONS | 565.25 |

OWNER/DEVELOPER VILLAGE CENTER, CODA COMPANIES & GATEWAY VILLAGE DEVELOPMENT, INC.  
ADDRESS: 5042 THOROUGHSHIRE LANE SUITE 200  
BRENTWOOD, TN 37027  
PHONE NO. (615) 832-5427  
E-MAIL: LYNNELLSWORTH@GMAIL.COM  
CONTACT NAME: LYNN ELLSWORTH

OWNER/DEVELOPER SECTION 1, 2 & 3: GATEWAY VILLAGE DEVELOPMENT, INC.  
ADDRESS: 3628 TROUSDALE DRIVE, SUITE E NASHVILLE, TN 37204  
PHONE NO. (615) 832-0777  
FAX NO. (615) 832-0779  
E-MAIL: DYL@GATEWAYVILLAGE.COM  
CONTACT NAME: DAVID A. FLOW

APPLICANT:  
KLINE SWINNEY ASSOCIATES  
22 MIDDLETON STREET  
NASHVILLE, TN 37203  
PHONE NO. 615.255.1854  
E-MAIL: DKLINE@KSWINNEY.COM  
CONTACT: DAVID KLINE

CIVIL ENGINEER:  
CIVIL ENGINEERING SERVICES  
PO BOX 186  
FAIRVIEW, TN 37062  
PHONE NO. 615.333.0401  
E-MAIL: RAY@CIVILENGINEERINGSERVICES.NET  
CONTACT: RAY FLAKE

22 Middleton Street Nashville, Tennessee 37203

KLINE SWINNEY ASSOCIATES  
architecture • interior design • planning

REVISIONS

| NO. | DATE      | DESCRIPTION |
|-----|-----------|-------------|
| 1   | 31 MAR 08 |             |
| 2   | 29 APR 08 |             |
| 3   | 19 AUG 08 |             |

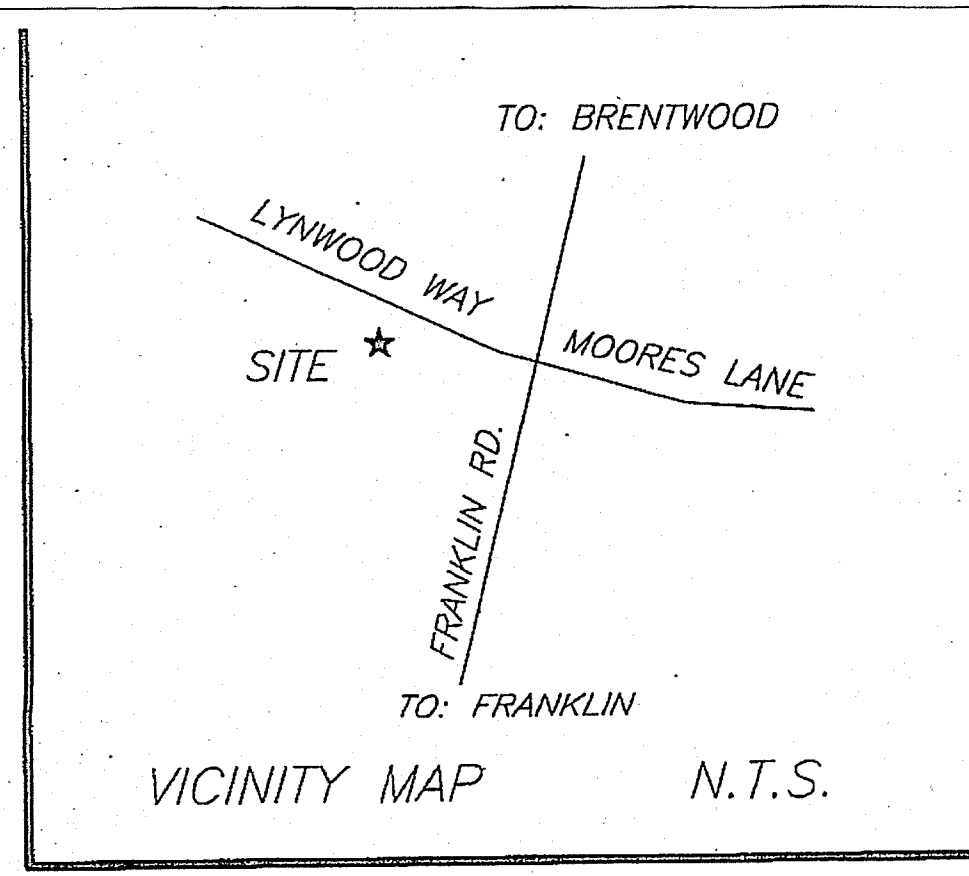
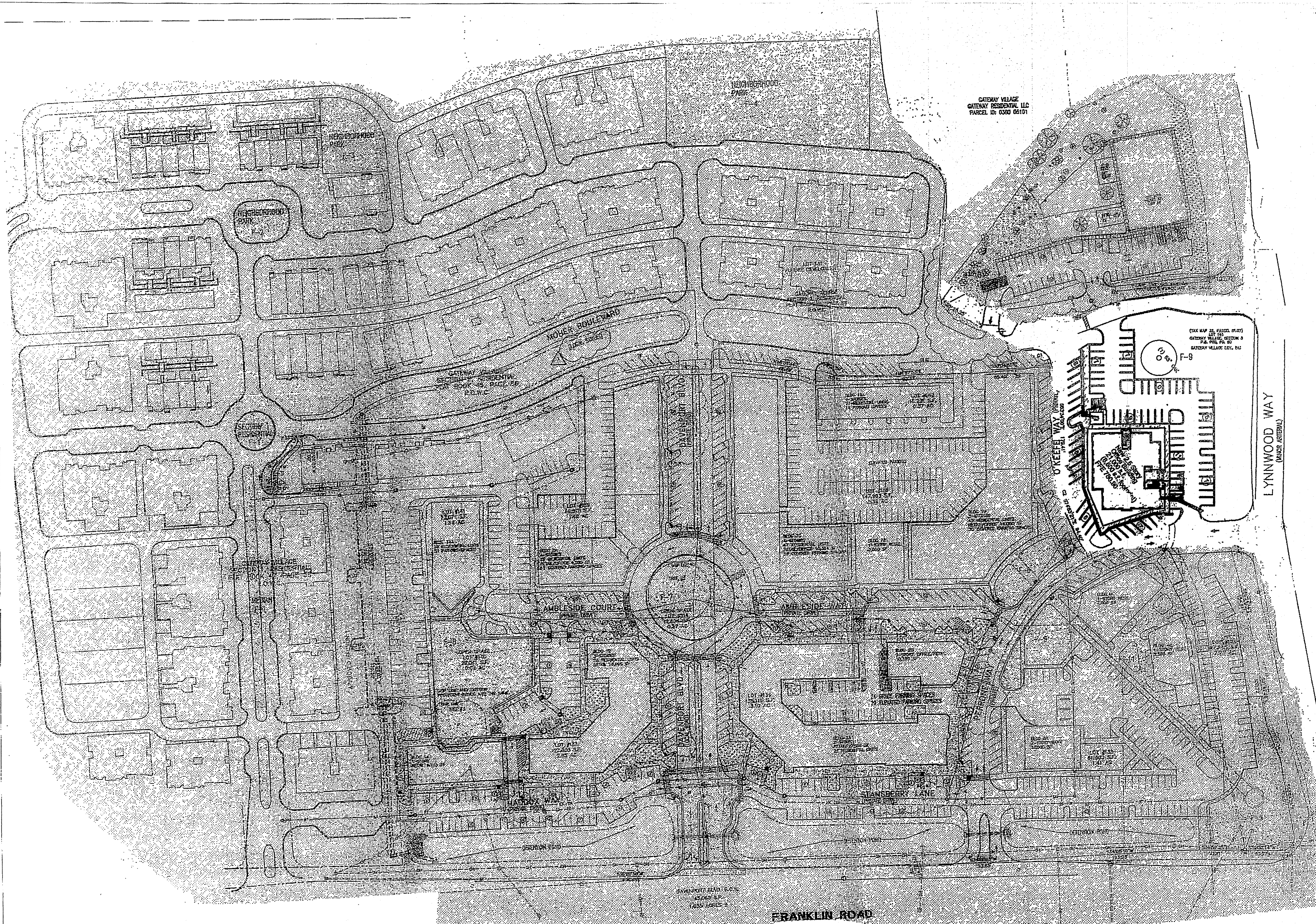
PROJECT NO. 1661  
SECTION 3 LOT 133 & 134 REVISIONS  
GATEWAY VILLAGE  
FRANKLIN ROAD AND LYNNWOOD WAY  
FRANKLIN, TENNESSEE

PROJECT NO. 0806.01  
DATE 07 MAR 08  
SHEET NO. G1.01

POST 07/11/2008  
NOV 06 2008

RECD AUG 29 2008





**SPECIAL NOTE:**  
THIS CONCEPT PLAN INFORMATION SHOWN WAS TAKEN FROM AVAILABLE PUBLIC INFORMATION PROVIDED BY THE CITY OF FRANKLIN. CDC LLC AND THIS ENGINEER ACCEPT NO LIABILITY AS THE EXACTNESS OF THE DEVELOPMENT OUTSIDE OF THE PROPOSED PLAN SHOWN.

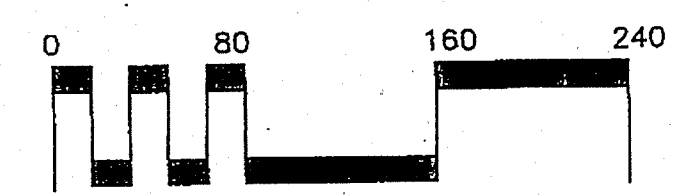
TREES TO BE SAVED #1 68" OAK FAIR CONDITION, #2 48" ELM GOOD CONDITION, #3 40" ELM GOOD CONDITION

| GATEWAY VILLAGE TREE TAKEDOWN CHART                                  |       |
|--|-------|
| SITE SPECIMEN TREE REPLACEMENT REQUIRED                              |       |
| TOTAL SITE INCHES REQUIRED TO BE REPLACED                            | 1,341 |
| TOTAL REPLACEMENT CALIPER INCH SECTION 1                             | 189   |
| TOTAL REPLACEMENT CALIPER INCH SECTION 2                             | 354   |
| TOTAL REPLACEMENT CALIPER INCH SECTION 6                             | 17.8  |
| TOTAL REPLACEMENT CALIPER INCHES                                     |       |
| SECTION 3 LOTS 133 AND 134   | 215   |
| TOTAL REPLACEMENT CALIPER INCHES                                     |       |
| SECTION 3 LOT 143  | 35    |
| TOTAL REPLACEMENT CALIPER INCHES SECTION                             |       |
| 3 & 6 LOTS 138, 139, 140, 141 & 142                                  | 198   |
| REMAINING SPECIMEN CALIPER INCHES TO BE REPLACED FOR FUTURE SECTIONS | 510   |

LAND USE TABULATIONS  
APPROVED ZONING

GROSS DENSITY  
TOTAL S.F. OF RETAIL RESTAURANT  
TOTAL S.F. OF OFFICE  
TOTAL RETAIL/OFFICE/RESTAURANT  
PROPOSED FLOOR AREA RATIO  
MAX. ALLOWED FLOOR AREA RATIO

MIXED USE LOCAL (ML)  
MIXED USE LOCAL (ML)  
+/- 60.50 ACRE  
402 DWELLING UNITS  
15 DWELLING UNITS  
113 DWELLING UNITS  
6 DWELLING UNITS  
214 DWELLING UNITS  
(LOT 133-28, LOT 138, 186)



IF YOU DIG TENNESSEE...  
CALL US FIRST!  
1-800-351-1111  
1-615-366-1987  
TENNESSEE ONE CALL  
IT'S THE LAW

Gateway Village Section III Detailed Analysis  
October 7, 2014

|                             | # of Units     | <u>"Traditional"</u>             |       | <u>Required</u><br>Spaces | 0.85   | <u>Actual</u> |
|-----------------------------|----------------|----------------------------------|-------|---------------------------|--------|---------------|
|                             |                | <u>spaces</u><br><u>Required</u> |       |                           |        |               |
| <b>Lot 133</b>              |                |                                  |       |                           |        |               |
| Camden Commons I Apartments |                |                                  |       |                           |        |               |
| Studio                      | 2              | 1                                | 2     |                           |        |               |
| one bed                     | 12             | 2                                | 24    |                           |        |               |
| two bed                     | 14             | 2.5                              | 35    |                           |        |               |
|                             | <u>sq. ft.</u> |                                  |       |                           |        |               |
| <b>Restaurants</b>          |                |                                  |       |                           |        |               |
| Mack and Kates              | 3,077          | 7.5/1000                         | 23    |                           |        |               |
| Employees                   | 9              |                                  | 7     |                           |        |               |
| Wall Street Pizza           | 2,612          | 7.5/1000                         | 20    |                           |        |               |
| Employees                   | 6              |                                  | 5     |                           |        |               |
| Sopapillas                  | 4,387          | 7.5/1000                         | 33    |                           |        |               |
| Employees                   | 25             |                                  | 19    |                           |        |               |
| Baxter & Co.                |                |                                  |       |                           |        |               |
| Employees                   | 10             |                                  | 10    |                           |        |               |
| Stations                    | 10             |                                  | 10    |                           |        |               |
| Lunatic Fring               |                |                                  |       |                           |        |               |
| Employees                   | 10             |                                  | 10    |                           |        |               |
| Stations                    | 10             |                                  | 10    |                           |        |               |
| True-i-Care                 | 1,467          | 2.5/1000                         | 3.67  |                           |        |               |
| RB's Cyclery                | 2,564          | 2.5/1000                         | 6.41  |                           |        |               |
| Xtend & Whitley             | 2,732          | 2.5/1000                         | 7     |                           |        |               |
| Amish excellence            | 1,248          | 2.5/1000                         | 3     |                           |        |               |
| Applied from sec. I         | (37)           |                                  |       |                           |        |               |
| sub total                   |                |                                  |       | 228.08                    | 193.87 | 191           |
| <b>Lot 134</b>              |                |                                  |       |                           |        |               |
| Residential                 |                |                                  |       |                           |        |               |
| Studio                      | 15             | 1                                | 15    |                           |        |               |
| 1 bed                       | 25             | 2                                | 50    |                           |        |               |
| 2 Bed                       | 14             | 2.5                              | 35    |                           |        |               |
| sub total                   |                |                                  |       |                           |        |               |
| <b>Commercial</b>           |                |                                  |       |                           |        |               |
| Retail                      | 15,861         | 3.33                             | 52.82 |                           |        |               |
| Restaurant                  | 4,136          | 10                               | 41.36 |                           |        |               |
| sub total                   |                |                                  |       | 194.18                    | 165.05 | 188           |
| <b>Lot 135 (Bank)</b>       |                |                                  |       |                           |        |               |
| sq. ft.                     | 5,000          | 5/1000                           | 25    |                           |        |               |
| Stacking                    |                |                                  | 5     | 30                        | 25.50  | 45            |

|                                     | # of Units | "Traditional"      |          | Required Spaces | 0.85   | Actual  |
|-------------------------------------|------------|--------------------|----------|-----------------|--------|---------|
|                                     |            | spaces<br>Required | Required |                 |        |         |
| Lot 136                             |            |                    |          |                 |        |         |
| Apollo Burger                       |            |                    |          |                 |        |         |
| sq. ft.                             | 3894       |                    |          |                 |        |         |
| employees                           | 11         |                    | 0        |                 |        |         |
| Seats                               | 80         | 0.67               | 53.6     |                 |        |         |
| sub total                           |            |                    |          | 53.6            | 45.56  | 43      |
| Lot 137                             |            |                    |          |                 |        |         |
| Touchstone Imaging (office)         |            |                    |          |                 |        |         |
| sq. ft.                             | 21,000     | 2.85/1000          | 60       | 60              | 51.00  | 52      |
| lots 138, 139, 141, 142             |            |                    |          |                 |        |         |
| Bell Apartments                     |            |                    |          |                 |        |         |
| one bed                             | 87         | 2                  | 174      |                 |        |         |
| two bed                             | 77         | 2.5                | 192.5    |                 |        |         |
| three bed                           | 22         | 3                  | 66       |                 |        |         |
| sub total                           |            |                    |          | 432.5           | 367.63 | 467     |
| Small Park                          |            |                    |          |                 |        |         |
| Lot 140                             |            |                    |          |                 | 21.00  | 21      |
| Lot 148                             |            |                    |          |                 |        |         |
| Goddard School (daycare)            |            |                    |          |                 |        |         |
| Employees                           | 30         | 1                  | 30       |                 |        |         |
| sq. ft.                             | 10,278     | 2/1000             | 21       |                 |        |         |
| Stacking                            |            | 5                  |          |                 |        |         |
| sub total                           |            |                    |          | 51              | 43.35  | 46      |
| Lot 145                             |            |                    |          |                 |        |         |
| Camden Commons Plaza (Oral Surgery) |            |                    |          |                 |        |         |
| sq. ft.                             | 7885       |                    |          |                 |        |         |
| Employees                           | 12         |                    |          |                 |        |         |
|                                     |            |                    |          | Actual          | 36.00  | 36      |
| Total                               |            |                    |          | 1049.36         | 891.96 | 1089.00 |

MINIMUM OPEN SPACE REQUIREMENTS FOR RESIDENTIAL FORMAL OPEN SPACE  
5% OF DEVELOPABLE AREA REQUIRED FOR FORMAL OPEN SPACE  
TOTAL DEVELOPABLE AREA=41.82 ACRE, 5% OF 41.82 ACRE=209 ACRES OR 95,040 S.F.  
CONCEPT PLAN-STAFF COMMENTS: EXPAND FORMAL OPEN SPACE

| KEY                   | TYPE                    | APPROVED AREA OF OPEN SPACE SF | APPROVED MAXIMUM PAVED AREA SF | PROPOSED OPEN SPACE AREA | PROPOSED MAXIMUM PAVED AREA S.F. |
|-----------------------|-------------------------|--------------------------------|--------------------------------|--------------------------|----------------------------------|
| AREA F-1              | SECTION 1 MEDIAN CIRCLE | 9,396                          | 2409                           | 9396                     | 2409                             |
| AREA F-2              | SECTION 2 MEDIAN/DRIVE  | 6,624                          | 1656                           | 6624                     | 1656                             |
| AREA F-3              | SECTION 2 PARK          | 11,023                         | 1058                           | 11023                    | 1058                             |
| AREA F-4              | NEIGHBORHOOD PARK       | 42,171                         | 10527                          | 42171                    | 10542                            |
| AREA F-5              | GATEWAY MONUMENT        | 14,908                         | 3727                           | 14716                    | 3679                             |
| AREA F-6 LOT 135, 136 | FOCAL POINT             | 12,079                         | 8038                           | 8838                     | 1709                             |
| AREA F-6, LOT 138     | FOCAL POINT             |                                |                                | 8839                     | 2205                             |
| AREA F-7              | TRAFFIC CIRCLE          | 8,659                          | 2165                           | 11424                    | 2858                             |
| AREA F-8              | PARK                    | 19,528                         | 4882                           | 19528                    | 4882                             |
| AREA F-9              | PARK                    | 16,076                         | 4019                           | 16026                    | 4019                             |
| AREA F-10             | PARK                    |                                | 1593                           | 9452                     | 2363                             |
| AREA F-11             | PLAZA                   | 12,701                         | 3175                           | 11807                    | 2951                             |
|                       |                         | 162,211                        | 1,722 ACRES                    | 169,074 S.F.             | 3.87 ACRES                       |

NOTE: PLANNING COMMISSION APPROVED MIN 160,513 S.F.

| Lots   |                         | Required per |         | 85% | Actual |
|--------|-------------------------|--------------|---------|-----|--------|
|        |                         | Traditional  | Spaces  |     |        |
| 133    | Camden Commons I        | 228.08       | 193.868 |     | 191    |
| 134    | Proposed CC II          | 194.18       | 165.053 |     | 188    |
| 135    | Bank                    | 30           | 25.5    |     | 45     |
| 136    | Apollo Burger           | 53.6         | 45.56   |     | 43     |
| 137    | Touchstone office Bldg. | 60           | 51      |     | 52     |
| 143    | Goddard School          | 51           | 43.35   |     | 46     |
| 145    | Camden Medical Plaza    | 36           | 30.6    |     | 36     |
| 140    | formal open space       | 21           | 17.85   |     | 21     |
| 139,   |                         |              |         |     |        |
| 141,   |                         |              |         |     |        |
| 142    | Bell Apartments         | 432          | 367.2   |     | 467    |
| Totals |                         | 1105.86      | 939.981 |     | 1089   |

INFORMAL OPEN SPACE  
10% DEVELOPABLE AREA REQUIRED FOR INFORMAL OPEN SPACE  
TOTAL DEVELOPABLE AREA= 41.82 ACRE, 10% OF 41.82 ACRE=4.182 ACRES  
KEY CLASSIFICATION TYPE AREA OF OPEN SPACE PAVED AREA

| KEY      | CLASSIFICATION | TYPE     | AREA OF OPEN SPACE | PAVED AREA |
|----------|----------------|----------|--------------------|------------|
| AREA I-1 | INFORMAL       | HILLSIDE | 1,017,610          | ---        |

| CURRENTLY APPROVED GATEWAY VILLAGE LAND USE DATA |                    |               |                      |                          |                   |
|--|--------------------|---------------|----------------------|--------------------------|-------------------|
| DEVELOPMENT                                      | FMPC APPROVAL DATE | PC ZONED ACRE | TOTAL DWELLING UNITS | RETAIL OFFICE S.F.       | MIXED USE PARKING |
| CONCEPT PLAN                                     | 6/3/2003           | 60.5          | 419                  | 142,258                  | .85 MULTIPLIER    |
| CONCEPT PLAN REV. 3                              | 5/22/2008          | 60.5          | 402                  | 144,258                  | .85 MULTIPLIER    |
| SECTION 1  | 8/8/2004           | 4.83          | 33                   |                          |                   |
| SECTION 2  | 3/24/2005          | 11.42         | 95                   |                          |                   |
| SECTION 6  | 7/27/2006          | 1.12          | 39                   |                          |                   |
| SECTION 6 LOT 141 (REV 6)                        | 5/23/2010          | 0.18          | 6                    |                          |                   |
| APPROVED SECTION 3                               | 9/27/2007          | 2.93          | 28                   | 22,851                   | 154               |
| LOT 143  | 11/20/2008         | 1.92          | ---                  | 10,276                   | 46                |
| SECTION 3 LOTS 138, 140, 144                     | 9/23/2010          | 7.74          | 186                  | N/A (6,500 S.F. LEASING) | 368               |
| TOTAL  |                    |               | 348                  | 83,127                   | 575               |

NOTE ONLY LOTS 133 AND 143 WERE DEVELOPED FROM 9/27/2007 APPROVAL THE SITE PLAN HAS EXPIRED FOR LOTS 134 AND 514

**CD**  
CIVIL DESIGN CONSULTANTS, LLC  
CIVIL ENGINEERING & LAND PLANNING  
CIVIL DESIGN CONSULTANTS, LLC  
8170 COLONY DRIVE SE., NASHVILLE, TN 37221  
PHONE: (615) 319-0700 FAX: (615) 319-0701

**H M H**  
H. Michael Hindman  
Architects, P.C.

1607 Westgate Circle - Suite 100  
Brentwood, Tennessee 37027  
615.370.2252  
www.hmharchitects.com

OFFICE BUILDING FOR  
**Touchstone Medical Imaging**

LYNWOOD WAY  
LOT 137 GATEWAY  
VILLAGE SECTION 3  
FRANKLIN, TENNESSEE



Revisions

HMH Job Number  
14035

Drawn By  
HMH

Date  
07.28.14

Drawing

PROP. CONCEPT  
AND PARKING PLAN

**PCP**

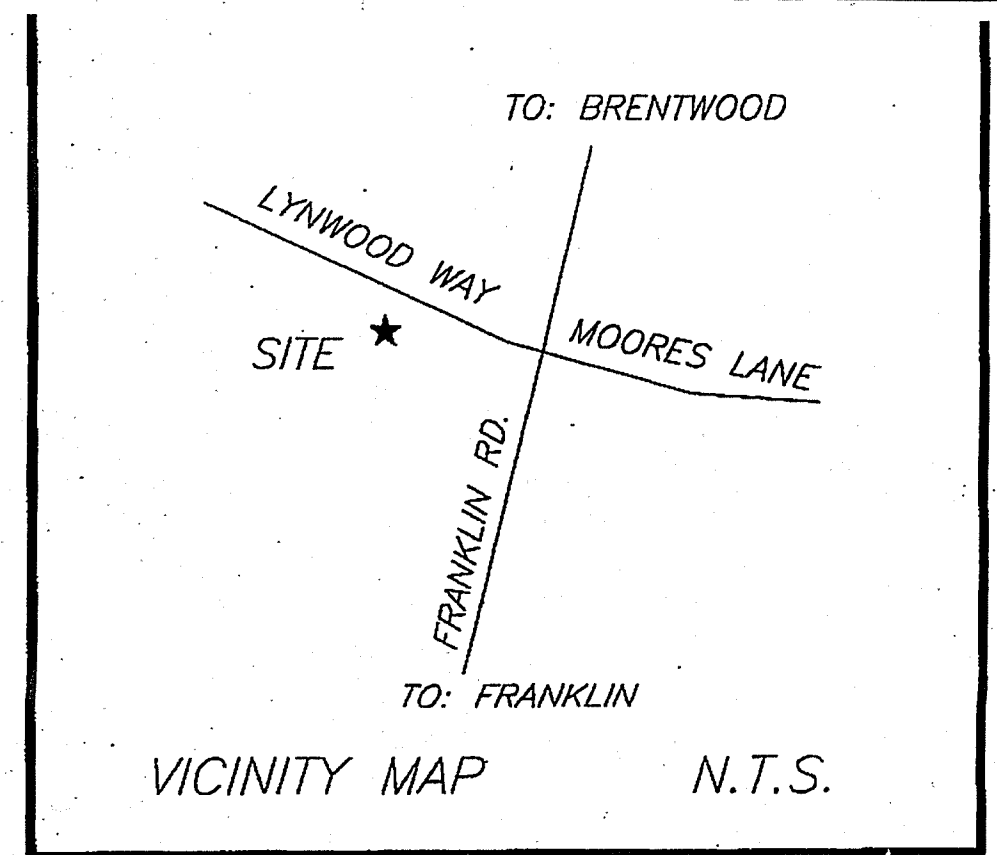




OFFICE BUILDING FOR

**Touchstone  
Medical  
Imaging**

LYNWOOD WAY  
LOT 137 GATEWAY  
VILLAGE SECTION 3  
NKLIN, TENNESSEE

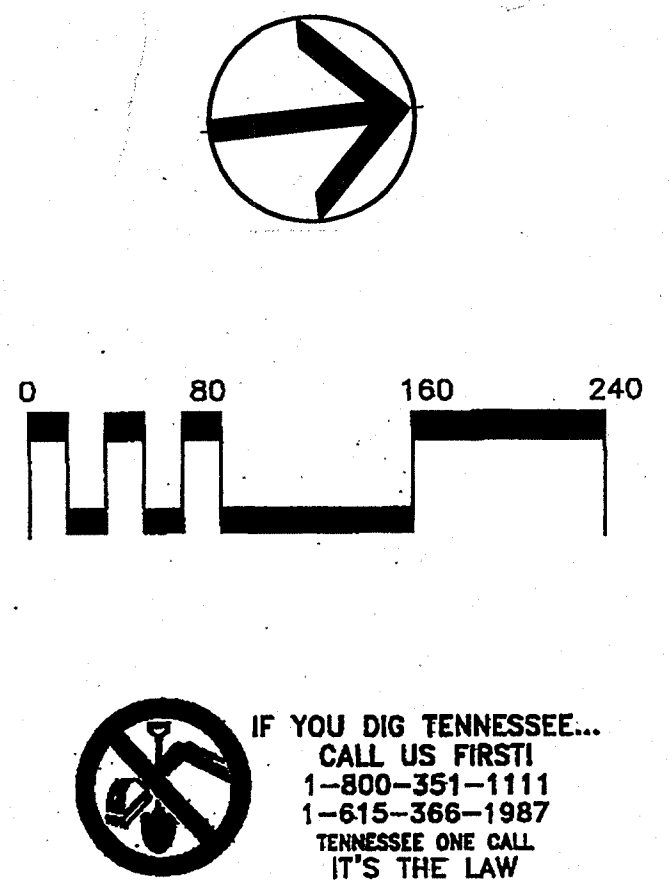


THIS CONCEPT PLAN INFORMATION SHOWN WAS TAKEN FROM AVAILABLE PUBLIC INFORMATION PROVIDED BY THE CITY OF FRANKLIN. CDC LLC AND THIS ENGINEER ACCEPT NO LIABILITY AS THE EXACTNESS OF THE DEVELOPMENT OUTSIDE OF THE PROPOSED PLAN SHOWN.

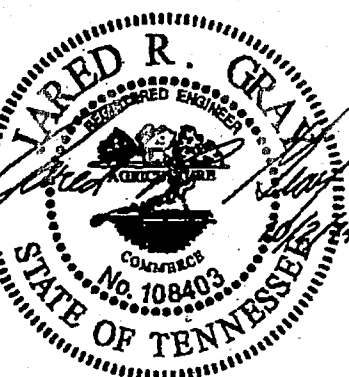
|  |       |
|--|-------|
| GATEWAY VILLAGE TREE TAKEDOWN CHART  |       |
| SITE SPECIMEN TREE REPLACEMENT REQUIRED                                      |       |
| TOTAL SITE INCHES REQUIRED TO BE REPLACED                                    | 1,341 |
| TOTAL REPLACEMENT CALIPER INCH SECTION 1                                     | 189   |
| TOTAL REPLACEMENT CALIPER INCH SECTION 2                                     | 354   |
| TOTAL REPLACEMENT CALIPER INCH SECTION 6                                     | 17.8  |
| TOTAL REPLACEMENT CALIPER INCHES   |       |
| SECTION 3 LOTS 133 AND 134   | 215   |
| TOTAL REPLACEMENT CALIPER INCHES   |       |
| SECTION 3 LOT 143  | 55    |
| TOTAL REPLACEMENT CALIPER INCHES SECTION 3 & 6 LOTS 133, 139, 140, 141 & 142 | 198   |
| REMAINING SPECIMEN CALIPER INCHES TO BE REPLACED FOR FUTURE SECTIONS         | 510   |

MIXED USE LOCAL (ML)  
MIXED USE LOCAL (ML)  
+/- 60.50 ACRE  
402 DWELLING UNITS  
15 DWELLING UNITS  
113 DWELLING UNITS  
6 DWELLING UNITS  
214 DWELLING UNITS  
(LOT 133-28, LOT 138, 186)

6.64 DUA  
83,082 S.F.  
61,176 S.F.  
144,258 S.F.  
0,055  
0.6



**IF YOU DIG TENNESSEE...  
CALL US FIRST!  
1-800-351-1111  
1-615-366-1987  
TENNESSEE ONE CALL  
IT'S THE LAW**



## Revisions

MH Job Number  
14035

awn By  
HMH

Date  
28.14

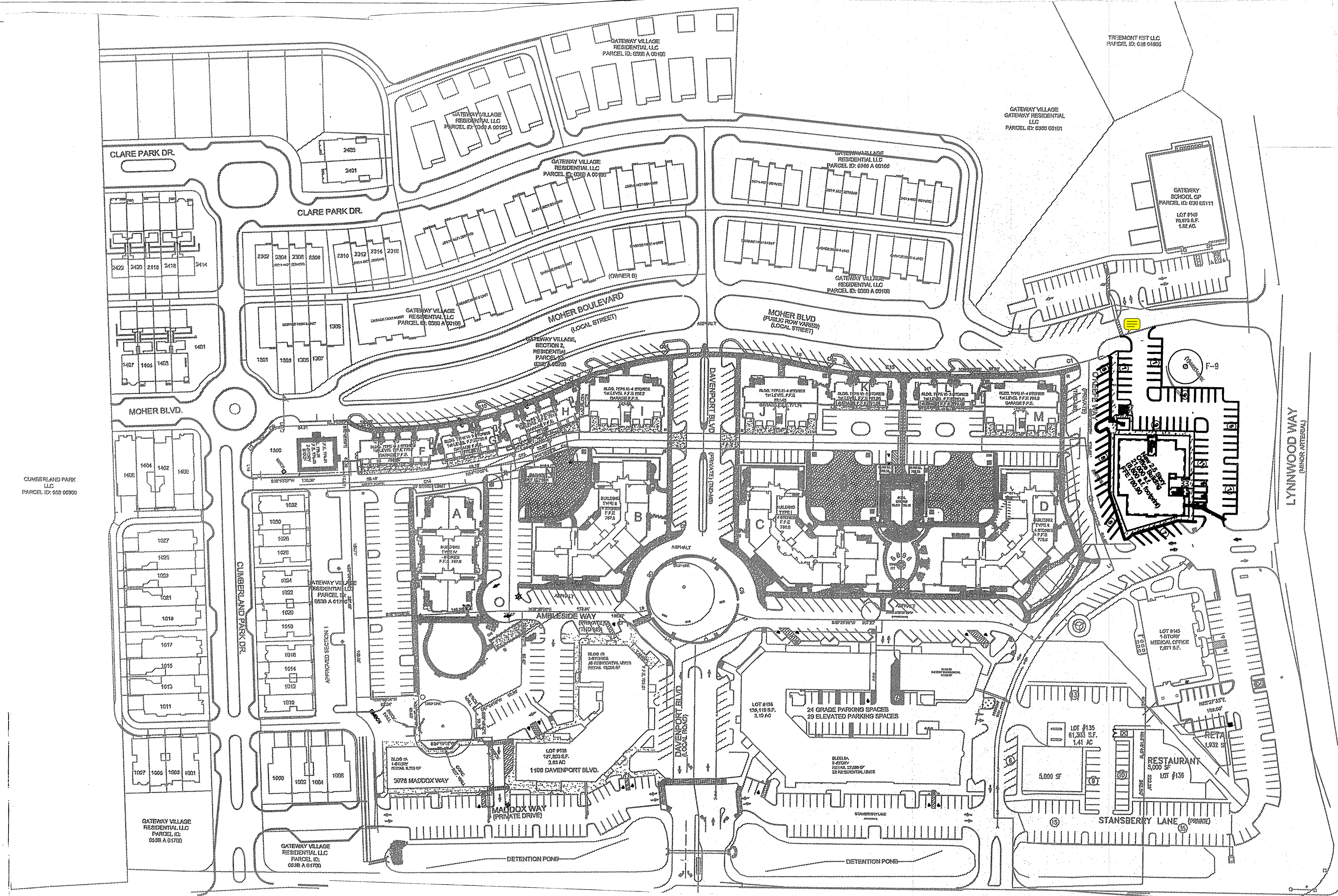
### Drawing

PROP. CONCEPT  
AND PARKING PLAN

# PCP



**CIVIL DESIGN CONSULTANTS, LLC**  
CIVIL ENGINEERS • LAND PLANNERS  
**CIVIL-DESIGN-CONSULTANTS, LLC**  
8170 COLLEY DAVIS RD., NASHVILLE, TN 37221  
PHONE: (615) 318-2734/MAIL: CIVILCONSULTANTS@BELLSOUTH.NET



|                         | "Traditional"  |          | Required<br>Spaces | 0.85   | Actual |
|-------------------------|----------------|----------|--------------------|--------|--------|
|                         | # of Units     | Required |                    |        |        |
| <b>Lot 133</b>          |                |          |                    |        |        |
| <b>Camden Commons I</b> |                |          |                    |        |        |
| <b>Apartments</b>       |                |          |                    |        |        |
| Studio                  | 2              | 1        | 2                  |        |        |
| one bed                 | 12             | 2        | 24                 |        |        |
| two bed                 | 14             | 2.5      | 35                 |        |        |
|                         | <u>sq. ft.</u> |          |                    |        |        |
| <b>Restaurants</b>      |                |          |                    |        |        |
| Mack and Kates          | 3,077          | 7.5/1000 | 23                 |        |        |
| Employees               | 9              |          | 7                  |        |        |
| Wall Street Pizza       | 2,612          | 7.5/1000 | 20                 |        |        |
| Employees               | 6              |          | 5                  |        |        |
| Sopapillas              | 4,387          | 7.5/1000 | 33                 |        |        |
| Employees               | 25             |          | 19                 |        |        |
| <b>Baxter &amp; Co.</b> |                |          |                    |        |        |
| Employees               | 10             |          | 10                 |        |        |
| Stations                | 10             |          | 10                 |        |        |
| <b>Lumatic Fring</b>    |                |          |                    |        |        |
| Employees               | 10             |          | 10                 |        |        |
| Stations                | 10             |          | 10                 |        |        |
| True-i-Care             | 1,467          | 2.5/1000 | 3.67               |        |        |
| RF's Cycles             | 2,564          | 3.5/1000 | 6.44               |        |        |
| Xtend & Whitley         | 2,732          | 2.5/1000 | 7                  |        |        |
| Amish excellence        | 1,248          | 2.5/1000 | 3                  |        |        |
| Applied from sec. I     | (37)           |          |                    |        |        |
| sub total               |                |          |                    | 228.08 | 193.87 |
| <b>Lot 134</b>          |                |          |                    |        |        |
| <b>Residential</b>      |                |          |                    |        |        |
| Studio                  | 15             | 1        | 15                 |        |        |
| 1 bed                   | 25             | 2        | 50                 |        |        |
| 2 bed                   | 14             | 2.5      | 35                 |        |        |
| sub total               |                |          |                    |        |        |
| <b>Commercial</b>       |                |          |                    |        |        |
| Retail                  | 15,861         | 3.33     | 57.82              |        |        |
| Restaurant              | 4,136          | 10       | 41.36              |        |        |
| sub total               |                |          |                    | 194.18 | 165.05 |
| <b>Lot 135 (Bank)</b>   |                |          |                    |        |        |
| sq. ft.                 | 5,000          | 5/1000   | 25                 |        |        |
| Stacking                |                |          | 5                  | 30     | 25.50  |
|                         |                |          |                    |        | 45     |

|                                     | # of Units | "Traditional" spaces |          | Required Spaces | 0.85          | Actual         |
|-------------------------------------|------------|----------------------|----------|-----------------|---------------|----------------|
|                                     |            | Required             | Required |                 |               |                |
| <b>Lot 136</b>                      |            |                      |          |                 |               |                |
| Apollo Burger                       |            |                      |          |                 |               |                |
| sq. ft.                             | 3894       |                      |          |                 |               |                |
| employees                           | 11         |                      | 0        |                 |               |                |
| Seats                               | 80         | 0.67                 | 53.6     |                 |               |                |
| sub total                           |            |                      |          | 53.6            | 45.56         | 43             |
| <b>Lot 137</b>                      |            |                      |          |                 |               |                |
| Toshtone imaging (office)           |            |                      |          |                 |               |                |
| sq. ft.                             | 21,000     | 2.85/1000            | 60       | 60              | \$1.00        | 52             |
| <b>lots 138, 139, 141, 142</b>      |            |                      |          |                 |               |                |
| <b>Bed Apartments</b>               |            |                      |          |                 |               |                |
| one bed                             | 87         | 2                    | 174      |                 |               |                |
| two bed                             | 77         | 2.5                  | 192.5    |                 |               |                |
| three bed                           | 22         | 3                    | 66       |                 |               |                |
| sub total                           |            |                      |          | 432.5           | 367.63        | 467            |
| <b>Small Park</b>                   |            |                      |          |                 |               |                |
| Lot 140                             |            |                      |          |                 | 21.00         | 21             |
| <b>Lot 143</b>                      |            |                      |          |                 |               |                |
| Goddard School ( daycare)           |            |                      |          |                 |               |                |
| Employees                           | 30         | 1                    | 30       |                 |               |                |
| sq. ft.                             | 10,278     | 27/1000              | 21       |                 |               |                |
| Stacking                            |            | 5                    |          |                 |               |                |
| sub total                           |            |                      |          | 51              | 43.35         | 46             |
| <b>Lot 145</b>                      |            |                      |          |                 |               |                |
| Camden Commons Plaza (Oral Surgery) |            |                      |          |                 |               |                |
| sq. ft.                             | 7885       |                      |          |                 |               |                |
| Employees                           | 12         |                      |          |                 |               |                |
|                                     |            |                      | Actual   |                 |               |                |
| <b>Total</b>                        |            |                      |          | <b>1049.36</b>  | <b>891.96</b> | <b>1089.00</b> |

MINIMUM OPEN SPACE REQUIREMENTS FOR RESIDENTIAL FORMAL OPEN SPACE  
5% OF DEVELOPABLE AREA REQUIRED FOR FORMAL OPEN SPACE  
TOTAL DEVELOPABLE AREA=41.82 ACRE, 5% OF 41.82 ACRE=209 ACRE OR 91,040 S.F.  
CONCEPT PLAN-STAFF COMMENTS- EXPAND FORMAL OPEN SPACE

| KEY                   | TYPE                    | APPROVED AREA OF OPEN SPACE SF | APPROVED MAXIMUM PAVED AREA SF | PROPOSED OPEN SPACE AREA | PROPOSED MAXIMUM PAVED AREA S.F. |
|-----------------------|-------------------------|--------------------------------|--------------------------------|--------------------------|----------------------------------|
| AREA-F-3              | SECTION 1 MEDIAN CIRCLE | 9,996                          | 2499                           | 9996                     | 2499                             |
| AREA F-2              | SECTION 2 MEDIAN/GREEN  | 6,624                          | 1656                           | 6524                     | 1656                             |
| AREA F-3              | SECTION 2 PARK          | 11,623                         | 2906                           | 11623                    | 2906                             |
| AREA F-4              | NEIGHBORHOOD PARK       | 42,171                         | 10527                          | 41717                    | 10542                            |
| AREA F-5              | GATEWAY MONUMENT        | 14,908                         | 3727                           | 14716                    | 3679                             |
| AREA F-6 LOT 135, 136 | FOCAL POINT             | 12,073                         | 3018                           | 6838                     | 1709                             |
| AREA F-6, LOT 138     | FOCAL POINT             |                                |                                | 8919                     | 2205                             |
| AREA F-7              | TRAFFIC CIRCLE          | 8,659                          | 2165                           | 14124                    | 2656                             |
| AREA F-8              | PARK                    | 13,528                         | 4882                           | 19528                    | 4882                             |
| AREA F-9              | PARK                    | 16,076                         | 4019                           | 16076                    | 4019                             |
| AREA F-10             | PARK                    | 7,852                          | 1963                           | 9452                     | 2163                             |
| AREA F-11             | PLAZA                   | 12,701                         | 3175                           | 11807                    | 2951                             |

**NOTE: PLANNING COMMISSION APPROVED MIN 160,533 S.F.**

| <u>Lots</u> | <u>Required per</u><br><u>"Traditional"</u> | <u>85%</u> | <u>Actual</u> |      |
|-------------|---|------------|---------------|------|
| 133         | Camden Commons I                            | 228.08     | 193.868       | 191  |
| 134         | Proposed CC II                              | 194.18     | 165.053       | 188  |
| 135         | Bank  | 30         | 25.5          | 45   |
| 136         | Apollo Burger                               | 53.6       | 45.56         | 43   |
| 137         | Touchstone office Bldg.                     | 60         | 51            | 52   |
| 143         | Goddard School                              | 51         | 43.35         | 35   |
| 145         | Camden Medical Plaza                        | 36         | 30.6          | 36   |
| 140         | formal open space                           | 21         | 17.85         | 21   |
| 138,        |   |            |               |      |
| 139,        |   |            |               |      |
| 141,        |   |            |               |      |
| 142         | Bell Apartments                             | 432        | 367.2         | 467  |
|             | Totals                                      | 1105.86    | 939.981       | 1089 |

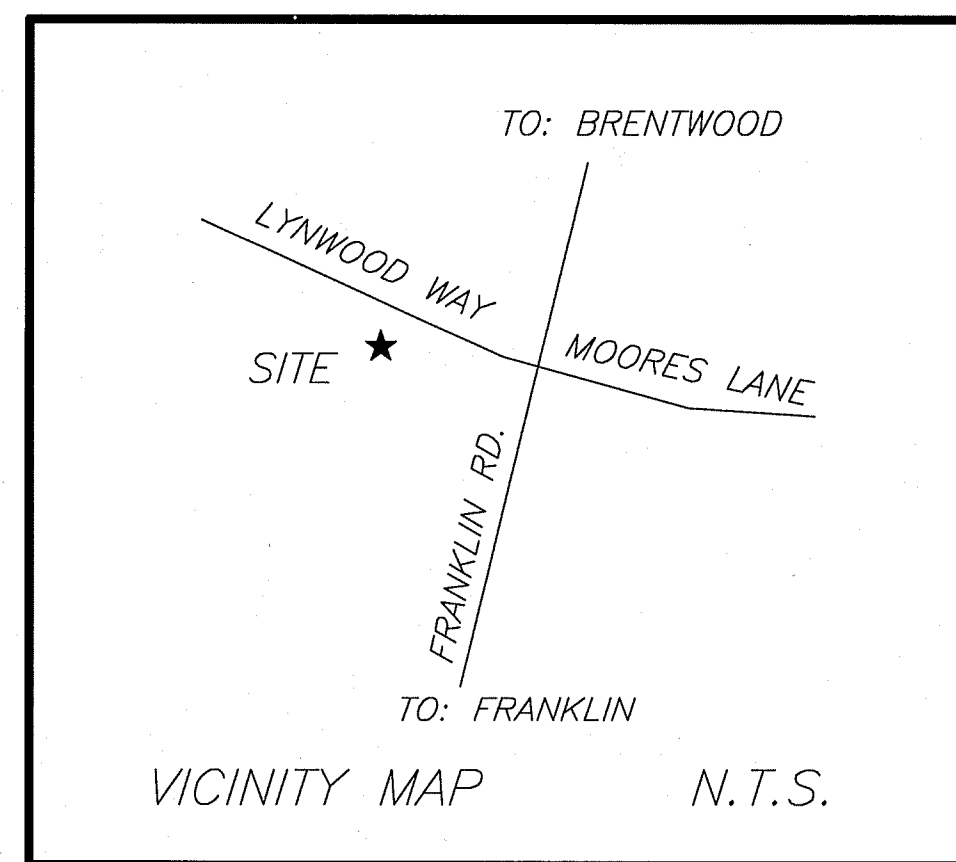
INFORMAL OPEN SPACE  
10% DEVELOPABLE AREA REQUIRED FOR INFORMAL OPEN SPACE  
TOTAL DEVELOPABLE AREA= 41.82 ACRE, 10% OF 41.82 ACRE=182,081 S.F.

| KEY      | CLASSIFICATION | TYPE     | AREA OF OPEN SPACE | PAVED AREA |
|----------|----------------|----------|--------------------|------------|
| AREA I-1 | INFORMAL       | HILLSIDE | 1,017,610          | ---        |

| CURRENTLY APPROVED GATEWAY VILLAGE LAND USE DATA |                    |               |                      |                          |                   |
|--|--------------------|---------------|----------------------|--------------------------|-------------------|
| DEVELOPMENT                                      | FMPC APPROVAL DATE | PC ZONED ACRE | TOTAL DWELLING UNITS | RETAIL OFFICE S.F.       | MIXED USE PARKING |
| CONCEPT PLAN                                     | 6/5/2003           | 60.5          | 439                  | 142,238                  | 85 MULTIPLIER     |
| CONCEPT PLAN REV. 3                              | 5/23/2008          | 60.5          | 403                  | 144,258                  | 85 MULTIPLIER     |
| SECTION 1  | 8/8/2004           | 4.83          | 33                   |                          |                   |
| SECTION 2  | 3/24/2005          | 11.42         | 95                   |                          |                   |
| SECTION 6  | 7/27/2006          | 1.12          | 39                   |                          |                   |
| SECTION 6 LOT 143 (REV 6)                        | 9/24/2010          | 0.18          | 6                    |                          | 7                 |
| APPROVED SECTION 3                               |                    |               |                      |                          |                   |
| LOT 133  | 9/27/2007          | 2.93          | 28                   | 22,851                   | 154               |
| LOT143   | 11/20/2008         | 1.92          | 18                   | 10,276                   | 46                |
| SECTION 3 LOTS 138, 140, 144                     | 5/25/2010          | 7.24          | 186                  | N/A (6,500 S.F. LEASING) | 368               |
| TOTAL  |                    |               | 348                  | 33,127                   | 575               |

NOTE ONLY LOTS 133 AND 143 WERE DEVELOPED FROM 9/27/2007 APPROVAL THE SITE PLAN HAS EXPIRED FOR LOTS 134 AND 514



**EXISTING TREE SURVEY:**

| TREE | SIZE | HEALTH |
|------|------|--------|
| OAK  | 60"  | GOOD   |

TREE HEALTH VERIFIED BY HEIBERT, BALL &amp; ASSOCIATES

**LEGEND**

|        |                                |
|--------|--------------------------------|
| ○      | PROPERTY CORNER FOUND          |
| ●      | IRON PIN SET                   |
| ●      | UNMONUMENTED POINT             |
| ---    | PROPERTY LINE                  |
| ---    | BUILDING SETBACK LINE          |
| N.T.S. | NOT TO SCALE                   |
| ---    | OVERHEAD UTILITY LINE          |
| ---    | SANITARY SEWER LINE GRAVITY    |
| ---    | APPROXIMATE GAS LINE AS MARKED |
| ⊙      | SANITARY SEWER MANHOLE         |
| ⊙      | UTILITY POLE                   |
| ⊙      | GAS VALVE                      |
| ⊙      | WATER METER                    |
| ⊙      | WATER VALVE                    |
| ⊙      | FIRE HYDRANT                   |
| 1      | LOT NUMBER                     |

**NOTES:**

- BEARINGS SHOWN HEREON ARE BASED ON TSPC.
- PARCEL NUMBERS PERTAIN TO WILLIAMSON COUNTY TAX MAPS.
- PROPERTY IS ZONED "PC 6.93 SUBURBAN". (PER SURVEY BY SCOTT CHERRY DATED 2/20/2008.)
- NO ABSTRACT OF TITLE PROVIDED TO SURVEYOR. THERE MAY EXIST OTHER EASEMENTS (WRITTEN OR UNWRITTEN) OR DOCUMENTS OF RECORD THAT COULD EFFECT THIS PROPERTY.
- ALL ELEVATIONS SHOWN ARE BASED ON NAVD83.
- UNDERGROUND UTILITY LOCATIONS WERE TAKEN FROM FIELD LOCATIONS AND/OR APPROPRIATE GOVERNING AGENCIES AND ARE APPROXIMATE ONLY. BROWN LAND SURVEYING, LLC, DOES NOT CERTIFY THE EXACT LOCATION OF UTILITIES OR THAT ALL THE UTILITIES PRESENT ARE SHOWN ON THE SURVEY. PRECISE LOCATION OF UNDERGROUND UTILITIES IS RECOMMENDED PRIOR TO ANY CONSTRUCTION ON THIS PROPERTY. CALL TN-ONE CALL.
- THIS IS TO CERTIFY THAT I HAVE EXAMINED THE FLOOD INSURANCE RATE MAP AND FOUND THE HEREON DESCRIBED PROPERTY APPEARS TO BE LOCATED IN A SPECIAL FLOOD HAZARD AREA PER FEMA MAP NO. 47187C0205F FOR WILLIAMSON COUNTY TENNESSEE UNINC. & INC. AREAS. DATED 9/29/2006.
- PROPERTY IS SUBJECT TO EASEMENTS SHOWN ON RECORDED PLAT AND SURVEY PREPARED BY SCOTT CHERRY DATED 2/20/2008.

**EXISTING CONDITIONS NOTE:**

EXISTING CONDITIONS SHOWN ON THIS PLAN TAKEN FROM FIELD RUN SURVEY DATA COMPLETED BY BROWN LAND SURVEYING, INC. CIVIL DESIGN CONSULTANTS LLC, AND THIS ENGINEER, ASSUME NO LIABILITY AS TO THE COMPLETENESS OR ACCURACY OF WHAT IS SHOWN TO BE EXISTING. CONTRACTOR SHALL VERIFY IF NECESSARY ALL EXISTING CONDITIONS AND NOTIFY CIVIL ENGINEER IN THE EVENT THAT DISCREPANCIES EXIST.

**PURPOSE NOTE:**

THE PURPOSE OF THIS PLAN IS TO ALLOW FOR CONSTRUCTION OF A COMMERCIAL MEDICAL OFFICE DEVELOPMENT.

| LINE | BEARING       | DISTANCE |
|------|---------------|----------|
| L1   | S 58°43'02" E | 31.03'   |
| L2   | S 33°03'13" W | 34.63'   |
| L3   | N 17°00'51" E | 31.08'   |
| L4   | N 05°40'40" W | 33.96'   |
| L5   | N 50°41'39" E | 34.12'   |

| CURVE | RADIUS  | ARC LENGTH | CHORD LENGTH | CHORD BEARING |
|-------|---------|------------|--------------|---------------|
| C1    | 262.01' | 67.72'     | 67.53'       | S 13°57'36" W |
| C2    | 31.02'  | 11.54'     | 11.47'       | N 64°14'32" W |
| C3    | 524.50' | 19.86'     | 19.86'       | N 18°01'06" E |
| C4    | 480.00' | 71.24'     | 71.17'       | N 25°41'41" E |
| C5    | 469.00' | 32.33'     | 32.32'       | N 35°49'17" E |
| C6    | 5.00'   | 7.47'      | 6.79'        | N 80°40'23" E |

Revisions

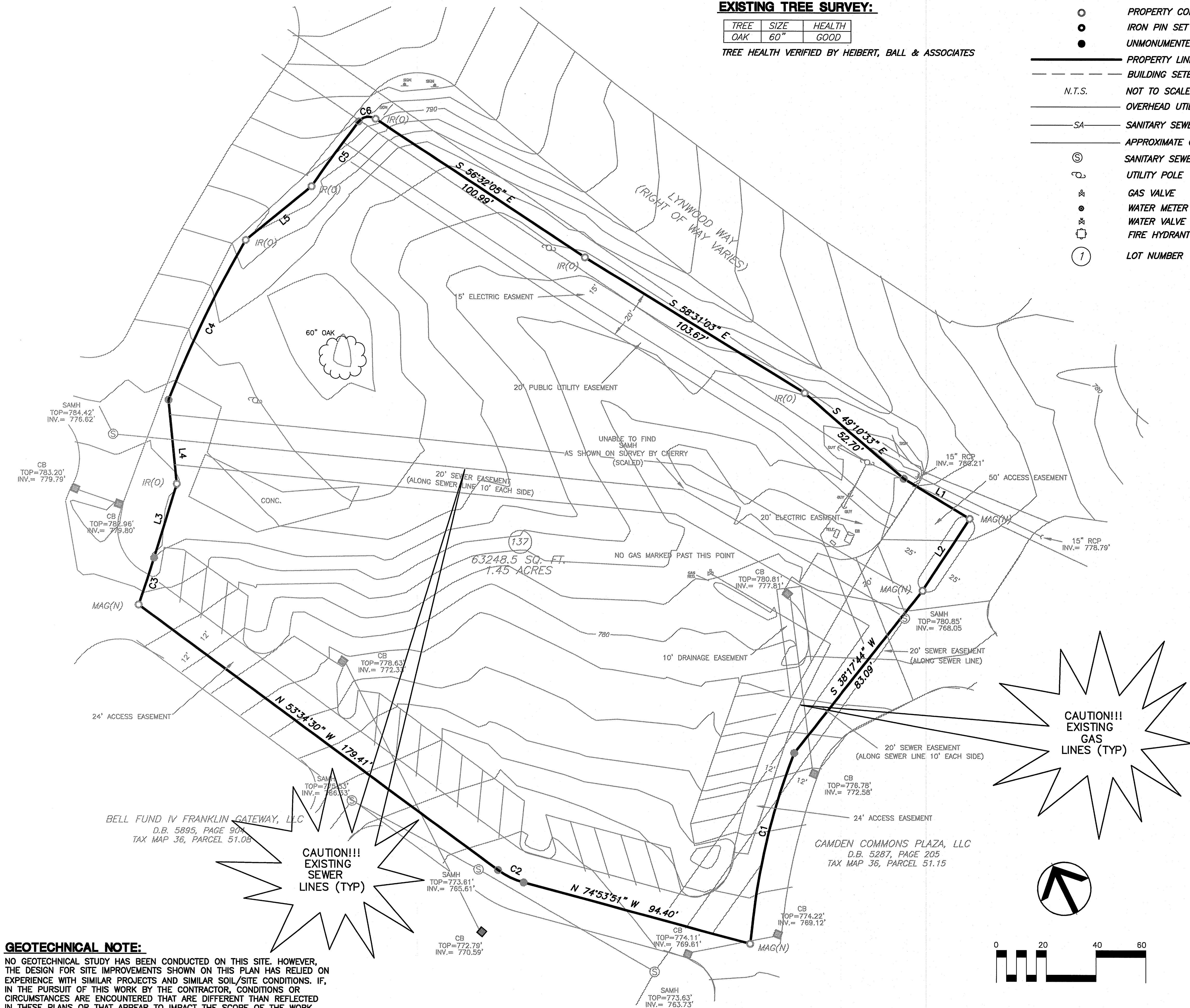
HMH Job Number  
14035Drawn By  
HMHDate  
07.28.14

Drawing

EXISTING COND.

C0.0

COF #4693

**GEOTECHNICAL NOTE:**

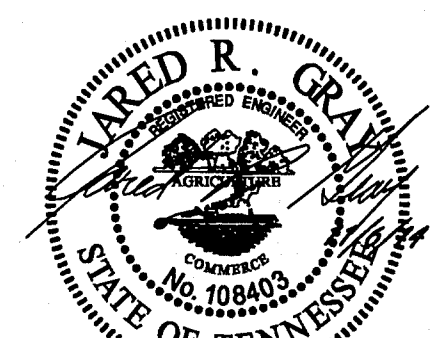
NO GEOTECHNICAL STUDY HAS BEEN CONDUCTED ON THIS SITE. HOWEVER, THE DESIGN FOR SITE IMPROVEMENTS SHOWN ON THIS PLAN HAS RELIED ON EXPERIENCE WITH SIMILAR PROJECTS AND SIMILAR SOIL/SITE CONDITIONS. IF, IN THE PURSUIT OF THIS WORK BY THE CONTRACTOR, CONDITIONS OR CIRCUMSTANCES ARE ENCOUNTERED THAT ARE DIFFERENT THAN REFLECTED IN THESE PLANS OR THAT APPEAR TO IMPACT THE SCOPE OF THE WORK, THE CONTRACTOR WILL IMMEDIATELY NOTIFY CIVIL DESIGN CONSULTANTS, LLC AND THE OWNER/DEVELOPER BEFORE ANY REMEDIAL COURSE OF ACTION OR DESIGN CHANGE IS INITIATED. ALL PARTIES (OWNER, CIVIL ENGINEER, PROPER GOVERNMENTAL AGENCIES, AND CONTRACTOR) MUST BE IN AGREEMENT AND THE MAGNITUDE OF THE COST/TIME REQUIRED FOR THE MEASURES ESTABLISHED.



IF YOU DIG TENNESSEE...  
CALL US FIRST!  
1-800-351-1111  
1-615-366-1987  
TENNESSEE ONE CALL  
IT'S THE LAW



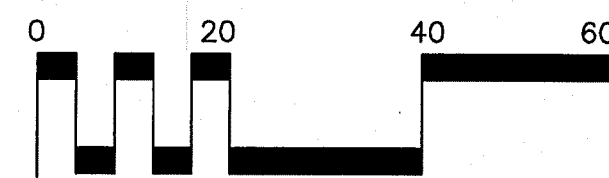
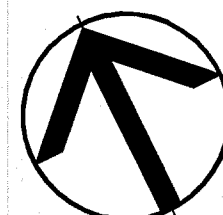
CIVIL DESIGN CONSULTANTS, LLC  
CIVIL ENGINEERS & LAND PLANNERS  
CIVIL-DESIGN-CONSULTANTS, LLC  
8700 COLONY DRIVE, SUITE 100, NASHVILLE, TN 37221  
PHONE: (615) 319-2744 FAX: (615) 319-2745







IF YOU DIG TENNESSEE...  
CALL US FIRST!  
1-800-351-1111  
1-615-366-1987  
TENNESSEE ONE CALL  
IT'S THE LAW



### LAYOUT NOTES

1. THE CONTRACTOR SHALL CHECK ALL FINISHED GRADES AND DIMENSIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE OR ENGINEER PRIOR TO BEGINNING WORK.
2. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR CONTRACTOR CAUSED DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
3. THE CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES AND OBTAIN ALL PERMITS PRIOR TO BEGINNING WORK.
4. PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY. INSTALL ALL UTILITIES PRIOR TO INSTALLATION OF PAVEMENT.
5. ALL DAMAGE TO EXISTING ASPHALT PAVEMENT TO REMAIN, WHICH RESULTS FROM NEW CONSTRUCTION, SHALL BE REPLACED WITH LIKE MATERIALS AT CONTRACTOR'S EXPENSE.
6. DIMENSIONS ARE TO THE EDGE OF ASPHALT UNLESS OTHERWISE NOTED.
7. CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND OVERHEAD ELECTRICAL WIRES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK, THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF THE ABOVE NOTED WIRES, THE ELECTRICAL COMPANY SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN.
8. IN EASEMENTS AND RIGHTS-OF-WAY, CONTRACTOR SHALL PROTECT AND RESTORE SAID PROPERTY TO A CONDITION SIMILAR OR EQUAL TO THAT EXISTING AT THE COMMENCEMENT OF CONSTRUCTION EXCEPT AS NOTED.
9. THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE "MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION" ISSUED BY AOC OF AMERICA, INC. AND THE "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION" ISSUED BY THE U.S. DEPARTMENT OF LABOR.

### SITE DATA:

|                          |  |
|--------------------------|--|
| SUBDIVISION/DEVELOPMENT: | RSC GENERAL PARTNERSHIP                                |
| ADDRESS:                 | 1360 MOHER BLVD.                                       |
| CITY:                    | FRANKLIN   |
| COUNTY:                  | WILLIAMSON   |
| STATE:                   | TENNESSEE  |
| PARCEL\MAP:              | PARCEL 49 MAP 0648 GROUP B                             |
| ACREAGE OF SITE:         | 1.45± ACRES  |
| SQUARE FOOTAGE OF SITE:  | 63,245± S.F.   |
| DISTURBED ACREAGE:       | 1.20± ACRES  |
| CIVIL DISTRICT:          | 3 RD   |
| CHARACTER AREA:          | BCCO BARRY'S CHAPEL CHARACTER DEVELOPMENT AREA OVERLAY |
| DEVELOPMENT STANDARD:    | TRADITIONAL  |
| EXISTING USE:            | VACANT   |
| PROPOSED USE:            | OFFICE   |

APPLICANT: ARCHITECT  
MR. MICHAEL HINDMAN, AIA  
H. MICHAEL HINDMAN ARCHITECTS, PC.  
1807 WESTGATE CIRCLE, SUITE 100  
BRENTWOOD, TN 37027  
(615) 370-3252

ENGINEER  
MR. JARED R. GRAY, P.E.  
CIVIL DESIGN CONSULTANTS, LLC.  
8170 COLEY DAVIS RD.  
NASHVILLE, TN 37221  
(615) 636-8207

LANDSCAPE ARCHITECT  
MR. CONNOR BALL, RLA  
HEBERT + BALL LAND DESIGN  
1894 GENERAL GEORGE PATTON DR.  
FRANKLIN, TN 37067  
(615) 376-2421

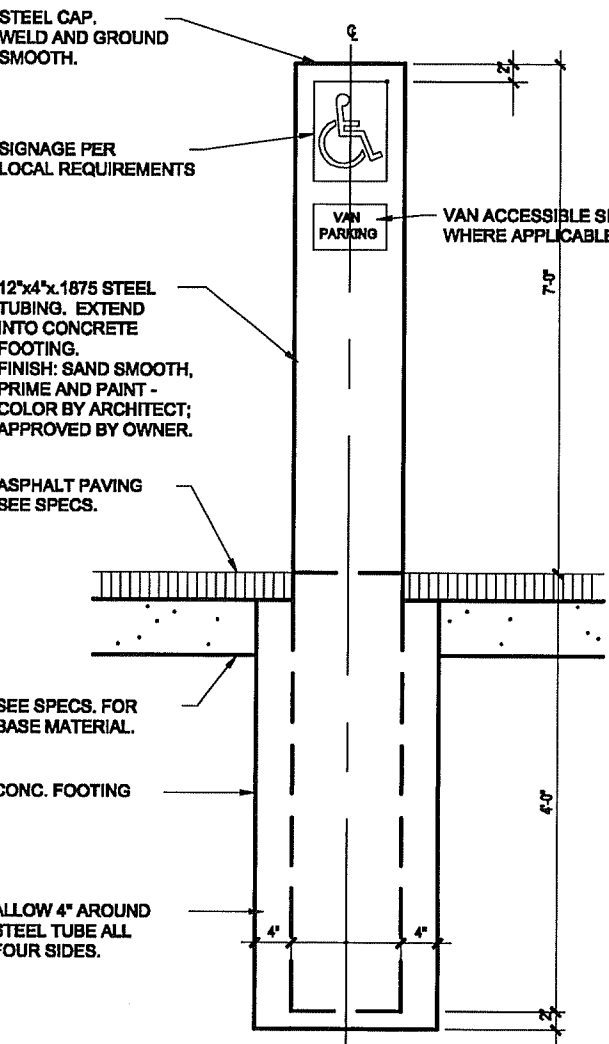
|                          |                              |
|--------------------------|------------------------------|
| BUILDING SQUARE FOOTAGE: | 21,000 S.F. (MEDICAL OFFICE) |
| PARKING REQUIRED:        | 1 SPACE/250 S.F. = 84 SPACES |
| PARKING PROVIDED:        | 86 SPACES                    |

ALL 90° PARKING SHALL BE 9'X18' UNLESS OTHERWISE NOTED

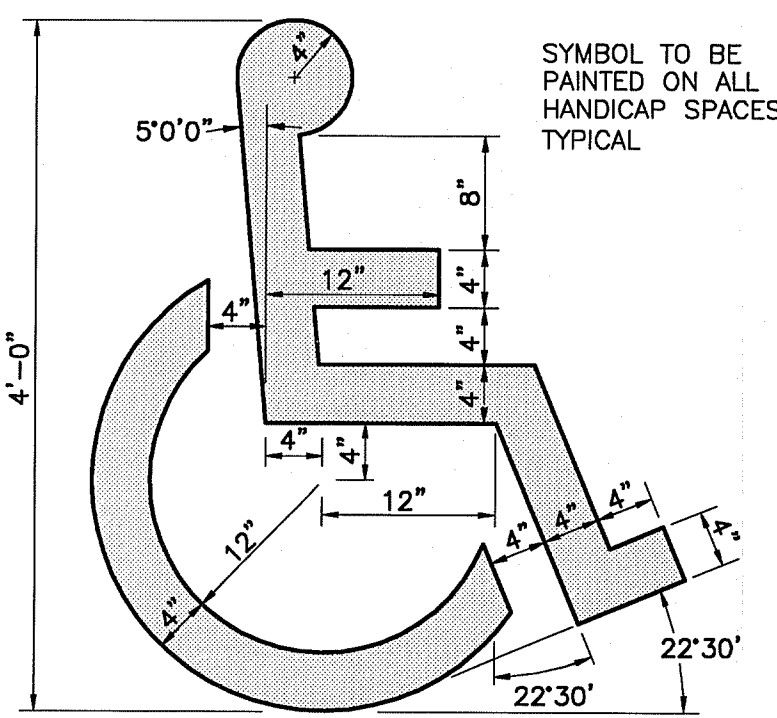
### PAVEMENT LEGEND

|  |                             |
|--|-----------------------------|
|  | HEAVY DUTY ASPHALT PAVEMENT |
|  | LIGHT DUTY ASPHALT PAVEMENT |
|  | CONCRETE PAVEMENT           |
|  | CONCRETE WALK               |

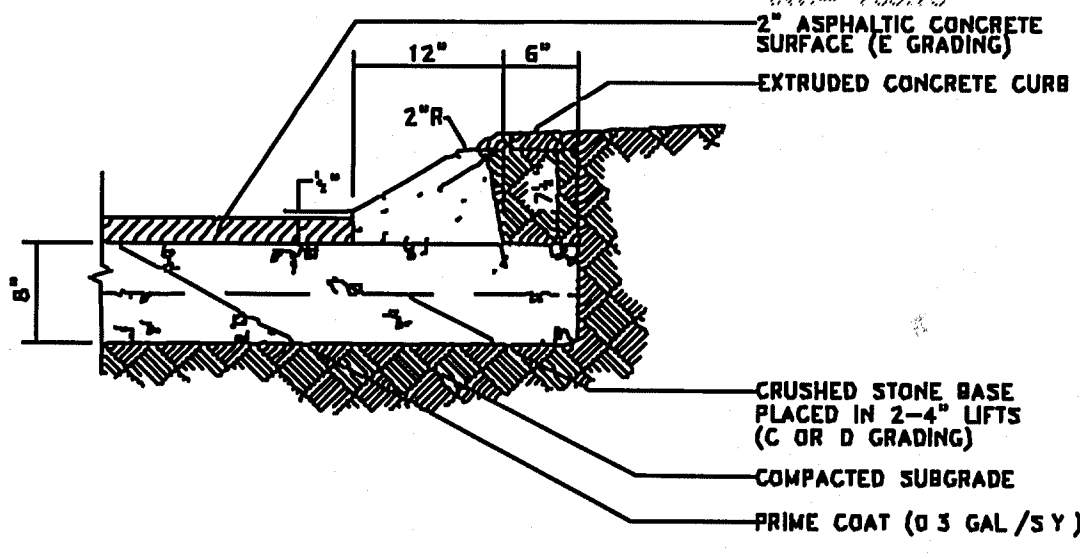
X PARKING COUNT



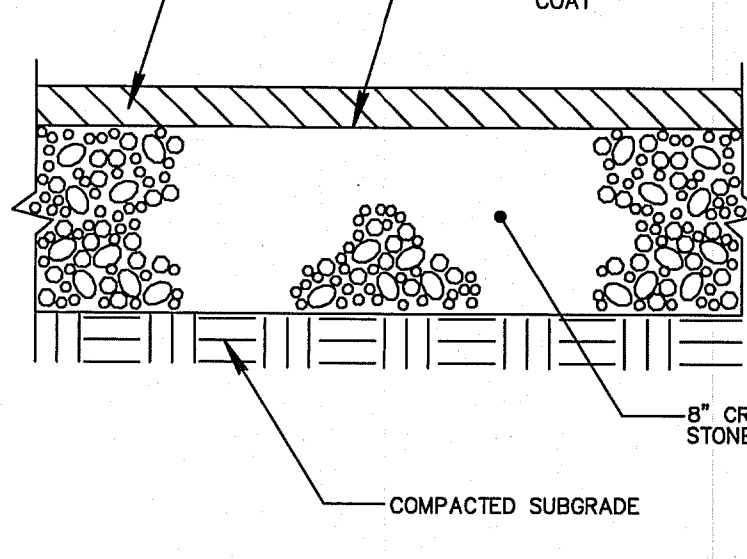
EXTERIOR HANDICAP SIGN  
NOT TO SCALE



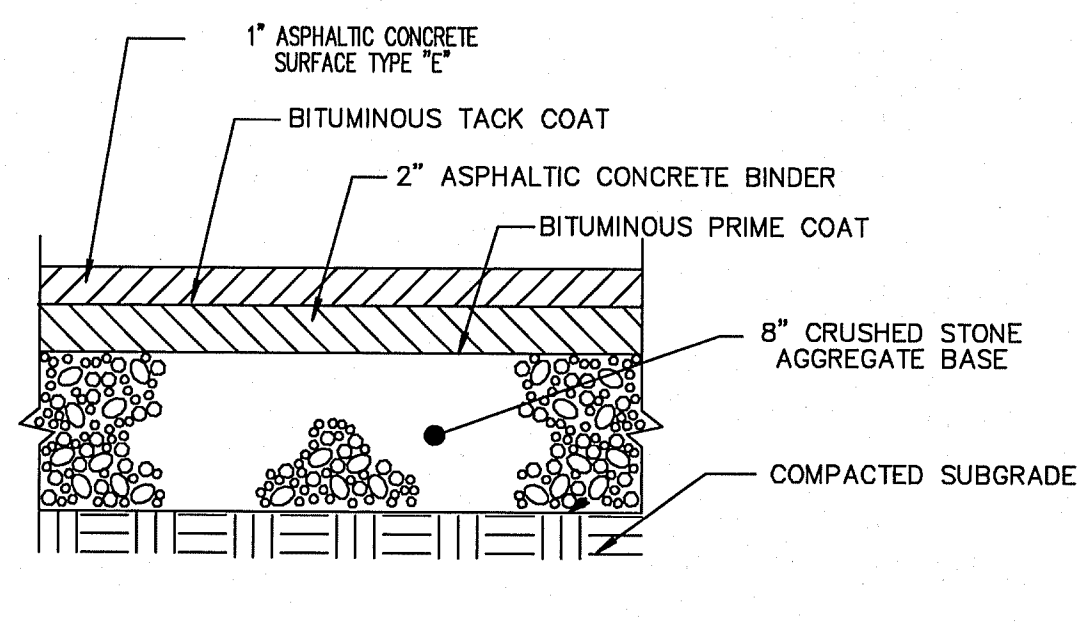
PAINTED HANDICAP SYMBOL  
NOT TO SCALE



EXTRUDED CURB DETAIL  
NOT TO SCALE



LIGHT DUTY ASPHALT DETAIL  
NOT TO SCALE



HEAVY DUTY ASPHALT DETAIL  
NOT TO SCALE



CIVIL DESIGN CONSULTANTS, LLC  
CIVIL ENGINEERS & LAND PLANNERS  
CIVIL DESIGN CONSULTANTS, LLC  
8170 COLEY DAVIS RD., NASHVILLE, TN 37221  
PHONE: (615) 318-3740 FAX: (615) 318-3741



COF #4693



H. Michael Hindman  
Architects, P.C.

1807 Westgate Circle - Suite 100  
Brentwood, Tennessee 37027  
615.370.3252  
www.hmhaarchitects.com

OFFICE BUILDING FOR  
**Touchstone Medical Imaging**

LYNWOOD WAY  
LOT 137 GATEWAY  
VILLAGE SECTION 3  
FRANKLIN, TENNESSEE

Revisions

HMH Job Number  
14035

Drawn By  
HMH

Date  
07.28.14

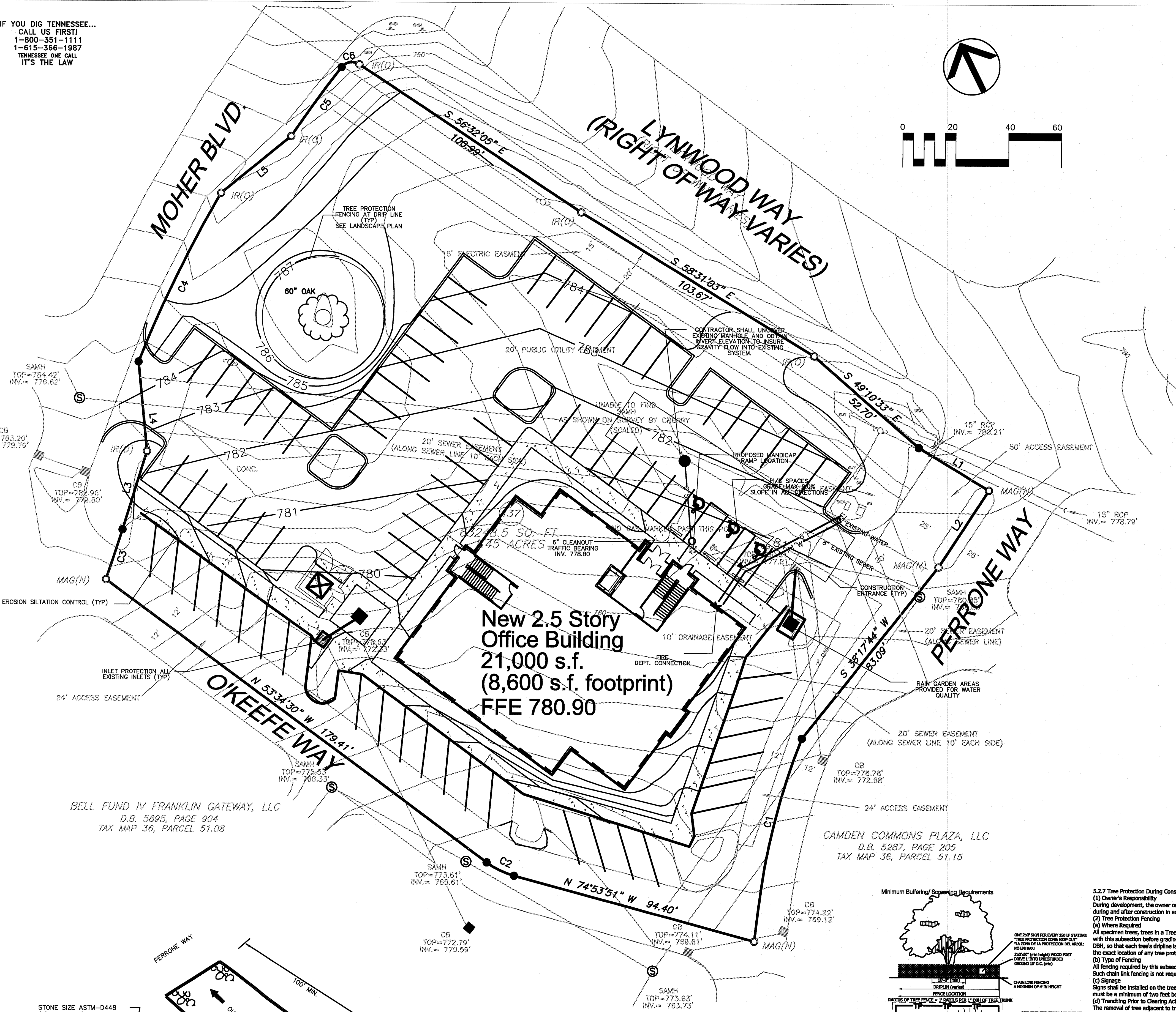
Drawing  
LAYOUT PLAN

C1.0



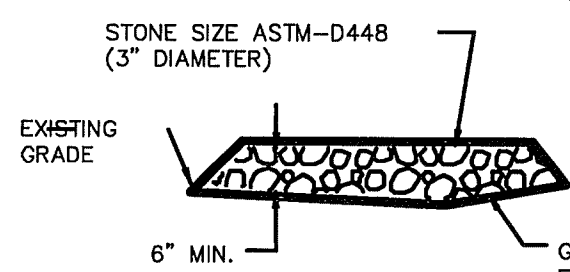


IF YOU DIG TENNESSEE...  
CALL US FIRST!  
1-800-351-1111  
1-615-366-1987  
TENNESSEE ONE CALL  
IT'S THE LAW



BELL FUND IV FRANKLIN GATEWAY, LLC  
D.B. 5895, PAGE 904  
TAX MAP 36, PARCEL 51.08

CAMDEN COMMONS PLAZA, LLC  
D.B. 5287, PAGE 205  
TAX MAP 36, PARCEL 51.15

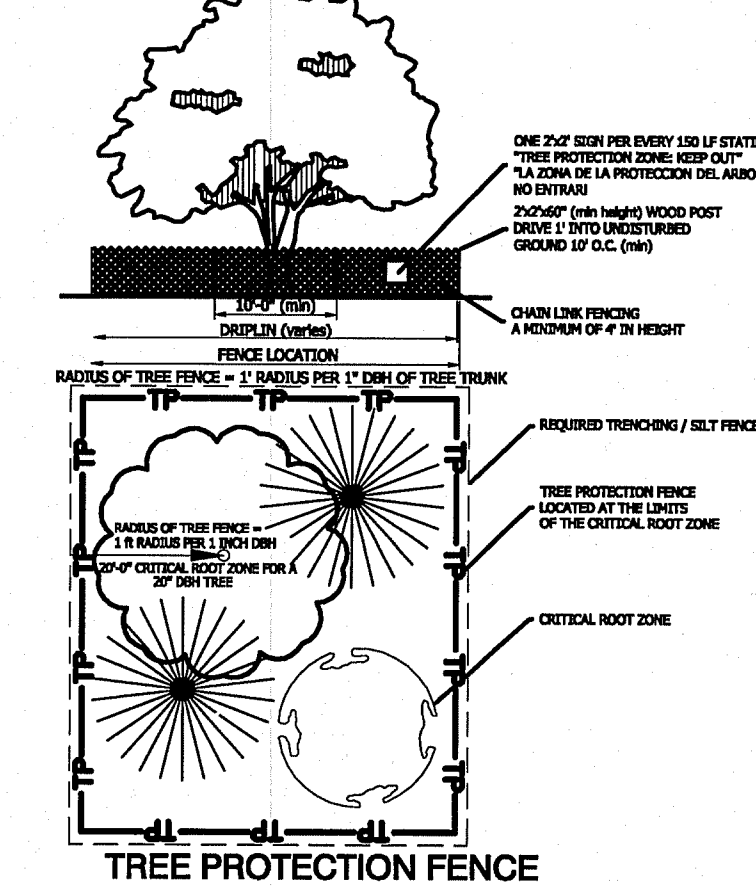


NOTES:  
WIDTH AS REQUIRED TO ACCOMMODATE TRAFFIC (12' MIN)  
STONE IS TO BE MAINTAINED TO PREVENT MUD TRACKING  
FROM TIRES BY CONSTRUCTION TRAFFIC.

TEMPORARY CONSTRUCTION ENTRANCE DETAIL

NOT TO SCALE

#### Minimum Buffering/Screening Requirements



TREE PROTECTION FENCE

1\"/>

DETAIL FILE

#### GENERAL, GRADING AND DRAINAGE NOTES:

- ALL GRADING AND DRAINAGE WORK AS SHOWN ON THIS PLAN WILL BE DONE IN STRICT ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE FRANKLIN ENGINEERING DEPARTMENT.
- THE NECESSARY PERMITS FOR THE WORK SHOWN ON THESE SITE DEVELOPMENT PLANS WILL BE OBTAINED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK ON THIS PROJECT. THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES AND OBTAIN ALL PERMITS AND PAY ALL FEES INVOLVED IN SECURING SAID PERMITS. HE SHALL ALSO COMPLY WITH ALL CITY AND STATE BUILDING LAWS, ORDINANCES AND REGULATIONS RELATING TO THE CONSTRUCTION OF THE PROJECT.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO AVOID DAMAGE TO ALL EXISTING UTILITIES TO REMAIN DURING CONSTRUCTION. IF DAMAGE DOES OCCUR TO ANY SUCH EXISTING INSTALLATIONS, FULL REPAIR WILL BE THE COST OF THE CONTRACTOR AND BE ACCOMPLISHED AS PER THE CURRENT SPECIFICATIONS FOR SUCH WORK FOR THE RESPONSIBLE AGENCY.
- THE LOCATION OF EXISTING PIPING AND UNDERGROUND UTILITIES, SUCH AS WATER AND GAS LINES, ELECTRICAL AND TELEPHONE CONDUITS, ETC. AS SHOWN ON THIS PORTION OF THE PLANS HAVE BEEN DETERMINED FROM THE BEST INFORMATION PROVIDED, OR TAKEN FROM THE RECORDS AND DRAWINGS OF THE EXISTING UTILITIES; HOWEVER THE CIVIL ENGINEER DOES NOT ASSUME RESPONSIBILITY THAT, DURING CONSTRUCTION, THE POSSIBILITY OF UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED OR THAT ACTUAL LOCATION OF THOSE SHOWN MAY VARY SOMEWHAT FROM THE LOCATIONS DESIGNATED ON THIS PORTION OF THE PLANS, IN AREAS WHERE IT IS NECESSARY THAT EXACT LOCATIONS OF UNDERGROUND LINES BE KNOWN, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, FURNISH ALL LABOR AND TOOLS TO EITHER VERIFY AND SUBstantiate OR DEFINITELY ESTABLISH THE LOCATION OF THE LINES.
- THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND ELECTRICAL/TELEPHONE WIRES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK, THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF THE ABOVE-NOTED WIRES, THE ELECTRIC OR TELEPHONE COMPANIES SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN. A THOROUGH EXAMINATION OF THE OVERHEAD WIRES IN THE PROJECT AREA SHOULD BE MADE BY THE CONTRACTOR PRIOR TO THE INITIATION OF CONSTRUCTION.
- ALL DELETERIOUS MATERIAL SHALL BE REMOVED AND DISPOSED OF OFF-SITE BY CONTRACTOR AS PER THE INSPECTION AND FINAL APPROVAL OF THE ENGINEER AND OWNER. ALL FILL MATERIAL TO BE USED FOR SITE GRADING WILL BE AN INORGANIC SOIL, FREE OF DEBRIS AND APPROVED BY THE ENGINEER AND OWNER.
- THE PLACING AND SPREADING OF ANY FILL MATERIAL IS TO BE STARTED AT THE LOWEST POINT AND BROUGHT UP IN HORIZONTAL LAYERS OF 8-INCH THICKNESS. SAID FILL MATERIAL IS TO BE SOIL AND ROCK ONLY, FREE OF SOD, ROOTS, FROZEN SOILS, OR ANY OTHER DECOMPOSABLE MATERIALS. THE RELATIVE COMPACTION OF EACH LAYER SHALL NOT BE LESS THAN 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D-698) IN ALL AREAS OF FILL, AND COMPACTION OF 95% OF SAME SPECIFICATION FOR MATERIALS USED IN THE UPPER 12 INCHES BENEATH PAVEMENT AND GRADE SLABS.
- THE CONTRACTOR IS TO CHECK AND VERIFY ALL MEASUREMENTS, LEVELS, ETC., BEFORE ORDERING MATERIALS AND PROCEEDING WITH THE WORK, AND IS TO BE RESPONSIBLE FOR THE SAME.
- SPOT ELEVATIONS SHOWN ARE TO TOP OF PAVEMENT OR FINISHED GRADE.
- ALL UNPAVED AREAS SHALL HAVE A MAXIMUM SLOPE OF 3:1 UNLESS OTHERWISE SPECIFIED OR REQUIRED IN SITE SPECIFIC AREAS. ALL SLOPES 3:1 OR GREATER SHALL HAVE REINFORCEMENT MATTING TO PROTECT AGAINST EROSION.

H M H A

H. Michael Hindman  
Architects, P.C.

1907 Westgate Circle - Suite 100  
Brentwood, Tennessee 37027  
615.370.3252  
www.hmharchitects.com

OFFICE BUILDING FOR

Touchstone  
Medical  
Imaging

LYNWOOD WAY  
LOT 137 GATEWAY  
VILLAGE SECTION 3  
FRANKLIN, TENNESSEE

Revisions

HMH Job Number  
14035

Drawn By  
HMH

Date  
07.28.14

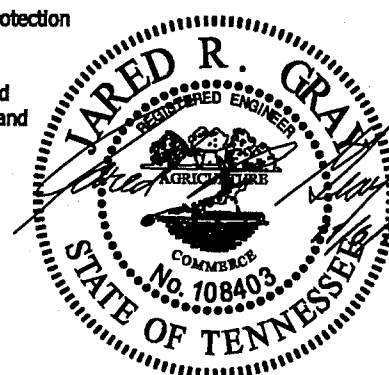
Drawing

GRADING/DRAINAGE

C2.0



CIVIL DESIGN CONSULTANTS, LLC  
CIVIL ENGINEERS • LAND PLANNERS  
CIVIL-DESIGNER-CONSULTANTS, LLC  
8170 GOLF COUNTRY BLVD., SUITE 100  
PHOENIX, ARIZONA 85024

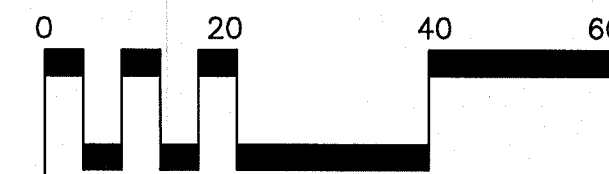
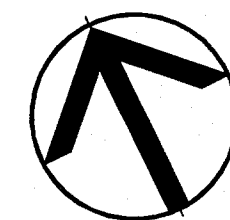


COF #4693






IF YOU DIG TENNESSEE...  
CALL US FIRST!  
1-800-351-1111  
1-615-366-1987  
TENNESSEE ONE CALL  
IT'S THE LAW



### EROSION/SILTATION CONTROL NOTES

1. AREAS AND TIME OF EXPOSURE OF UNPROTECTED SOILS SHALL BE KEPT TO A MAXIMUM OF 15 DAYS.
2. KEEP DUST WITHIN TOLERABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE MEANS.
3. USE TEMPORARY VEGETATION AND/OR MULCH TO PROTECT BARE AREAS FROM EROSION DURING CONSTRUCTION.
4. NO OTHER WORK WILL BE INITIATED ON THE PROJECT UNTIL THE EROSION/SILTATION MEASURES SHOWN ON THE PLANS AND DETAILS ARE PROPERLY IN PLACE.
5. SILT FENCING SHOWN THUS  ARE TO BE USED AS TEMPORARY SEDIMENT BARRIERS. PER THE ATTACHED DETAILS.
6. IF, AT ANY TIME DURING THE CONSTRUCTION PHASE OF THIS PROJECT, THE EROSION/SILTATION MEASURES INSTALLED FAIL TO FUNCTION PROPERLY, NEED MAINTENANCE OR REPAIR, OR NEED NEW REPLACEMENT IN KIND, THE CONTRACTOR WILL EFFECT SUCH ACTIONS AS ARE NEEDED TO CORRECT THE SITUATION AT NO ADDITIONAL COST TO THE OWNER.
7. DISTURBED AREAS ARE TO BE GRADED TO DRAIN AS INDICATED ON PLAN TO SEDIMENT BARRIERS DURING AND UPON COMPLETION OF CONSTRUCTION.
8. ALL CUT/FILL AREAS TO HAVE A MINIMUM OF 6-INCH DEPTH TOPSOIL COVER. AREAS DRESSED WITH TOPSOIL WILL RECEIVE 12 POUNDS PER 1000 SQUARE FEET OF 6-12-12 FERTILIZER, 5 POUNDS OR MORE OF KENTUCKY 31 FESCUE SEED PER 1000 SQUARE FEET AND A STRAW MULCH OF 70%-80% COVERAGE (APPROXIMATELY 125 POUNDS PER 1000 SQUARE FEET) EXCEPT AS OTHERWISE DETERMINED BY PLAN.
9. UPON STABILIZATION OF THE PROJECT SITE WITH A GOOD (ACCEPTABLE) STAND OF GRASS AND/OR GROUND COVER, THE EROSION/SILTATION INSTALLATIONS WILL BE REMOVED AND THE AREA DISTURBED WILL BE SEEDED AND MULCHED WITH THE SAME TREATMENT AS OTHER NEW GRASSSED AREAS OF THE PROJECT.
10. A STONE ACCESS ENTRANCE IS TO BE CONSTRUCTED AT THE SITE ENTRANCE WITH A MINIMUM WIDTH OF 20 FEET AND MINIMUM LENGTH OF 100 FEET. ENTRANCE IS TO BE BASED WITH 8 INCHES OF ASTM D 448, SIZE NO. 1 STONE, AND MAINTAINED THROUGHOUT CONSTRUCTION. ENTRANCE SHALL BE GEOTEXTILE REINFORCED.
11. PRIOR TO THE ISSUANCE OF A GRADING PERMIT, ALL EROSION/SILTATION CONTROL MEASUREMENTS INDICATED ON THE PLANS SHALL BE INSTALLED.

### POST CONSTRUCTION BMP/WATER QUALITY NOTE:

TO MEET THE FRANKLIN STORMWATER QUALITY REGULATIONS, A STORM DRAINAGE TREATMENT SYSTEM SHALL BE INSTALLED. DUE TO HAVING AVAILABLE SITE AREA FOR NATURAL DRAINAGE, ON-SITE STORM DRAINAGE SHALL BE DIRECTED TO A RAIN GARDEN AREA FOR STORMWATER TREATMENT. THESE STRUCTURES ARE DESIGNED TO SEPARATE CONTAMINATED EFFLUENT FROM THE STORMWATER DRAINAGE THROUGH PHYDROREMEDIATION AND ABSORPTION OF THE CONTAMINATED EFFLUENT INTO THE ROOT SYSTEM OF VEGETATION. THIS SYSTEM WILL CONTROL THE POLLUTANT LEVELS AND CONTROL DISCHARGE VELOCITIES FROM STORMWATER RUNOFF. THE SITE OWNER SHALL BE RESPONSIBLE FOR MAINTAINING ALL STORMWATER QUALITY AND DETENTION SURFACES ON THIS SITE PER THE FRANKLIN STORMWATER REGULATIONS.

### EROSION CONTROL SCHEDULE:

- STAGE #1: SILT FENCE SHALL BE INSTALLED PRIOR TO ANY GRADING OPERATIONS. STRAW CHECK DAMS AND INLET PROTECTION AROUND ALL EXISTING DRAINAGE STRUCTURES SHALL BE INSTALLED PRIOR TO ANY GRADING OPERATIONS. TREE PROTECTION, IF REQUIRED BY LANDSCAPE PLAN, IS TO BE INSTALLED AT THIS TIME. A GRADING PERMIT CAN BE OBTAINED FROM BRENTWOOD CODES AND ENGINEERING DEPARTMENT AFTER STAGE #1 HAS PASSED THEIR INSPECTION.
- STAGE #2: CONSTRUCT SITE IMPROVEMENTS PROVIDING INLET PROTECTION AND ALL OTHER EROSION CONTROL MEASURES AS THE DRAINAGE SYSTEM IS CONSTRUCTED.
- STAGE #3: REMOVE EROSION CONTROL DEVICES ONLY AFTER A PROPER STAND OF GRASS IS OBTAINED AND ONLY UPON APPROVAL FROM THE FRANKLIN STORMWATER DEPARTMENT AND ENGINEER.

### BUILDING DRAINAGE NOTE:

ALL DOWNSPOUTS SHALL BE DIRECTED TO THE RAIN GARDEN AREAS.



H. Michael Hindman  
Architects, P.C.

1607 Westgate Circle - Suite 100  
Brentwood, Tennessee 37027  
615.370.3252  
www.hmharchitects.com

OFFICE BUILDING FOR

**Touchstone  
Medical  
Imaging**

LYNWOOD WAY  
LOT 137 GATEWAY  
VILLAGE SECTION 3  
FRANKLIN, TENNESSEE

Revisions

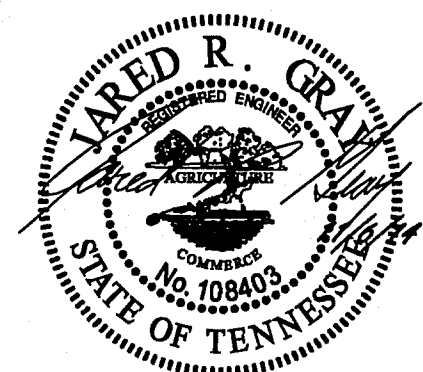
HMM Job Number  
14035

Drawn By  
HMM

Date  
07.28.14

Drawing  
STORMWATER

C3.0



CIVIL DESIGN CONSULTANTS, LLC  
CIVIL ENGINEERS • LAND PLANNERS  
CIVIL DESIGN CONSULTANTS, LLC  
6170 DOLLY ROAD, SUITE 200, MEMPHIS, TN 38121  
PHONE: (901) 318-2754 FAX: (901) 318-2755

COF #4693

BELL FUND IV FRANKLIN GATEWAY, LLC  
D.B. 5895, PAGE 904  
TAX MAP 36, PARCEL 51.08

CAMDEN COMMONS PLAZA, LLC  
D.B. 5287, PAGE 205  
TAX MAP 36, PARCEL 51.15

New 2.5 Story  
Office Building  
21,000 s.f.  
(8,600 s.f. footprint)  
FFE 780.90



SUBSTITUTION NOTE:

- Requirements shown are as per City Zoning Ordinance.
- Substitutions are not allowed unless approved by Heibert+Ball, Land Design.
- After installation, the landscape will be maintained by the owner.
- Additional screening may be required if the inspection for the release of the performance bond reveals that the screening is not effective.

TO AVOID OVERHEAD UTILITY CONFLICTS:

In the event proposed canopy trees are in conflict (within 25') with proposed or existing overhead utility locations, the landscape contractor shall stop work and contact Heibert+Ball, Land Design immediately for coordination and field adjustment.

TO AVOID OVERHEAD LIGHT POLE CONFLICTS:

In the event proposed canopy trees are in conflict (within 10') with proposed or existing light pole locations, the landscape contractor shall stop work and contact Heibert+Ball, Land Design immediately for coordination and field adjustment.

UTILITY SCREEN

All utility structures, transformers, meters, and/or units shall be screened with plant material tall enough to provide an effective screen. Structures not shown on landscape plans will be required to be screened. If utilities are added to the site, contact Heibert+Ball, Land Design for screening recommendations.

PLANT STANDARDS

The standards set forth in "American Standard for Nursery Stock" represent general guideline specifications only and will constitute minimum quality requirements for plant material. All plants must meet minimum size noted at the materials schedule. And meet the characteristics stated on this drawing. All material installed on the site MUST meet or exceed these specifications. Any trees or shrubs not meeting these standards can be rejected at time of inspection.

TREE SPECIFICATIONS: ALL TREES SHALL HAVE THE FOLLOWING CHARACTERISTICS:


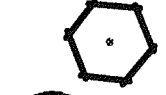







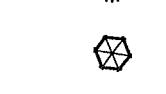






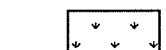
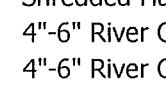
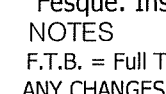

- Deciduous trees shall have one dominant single straight trunk with the top of the leader on the main trunk left intact and the terminal bud on the central leader is at the highest point on the tree.
- Trees with forked trunks are acceptable if all the following conditions are met:
  - The fork occurs in the upper 1/3 of the tree.
  - One fork is less than 2/3 the diameter of the dominant fork.
  - The top 1/3 of the smaller fork is removed at the time of planting.
- No branch is greater than 2/3 the diameter of the trunk directly above the branch.
- The trunk and/or major branches shall not touch.
- Several branches are larger in diameter and obviously more dominant.
- Branching habit is more horizontal than vertical, and no branches are oriented nearly vertical to the trunk.
- Branches are evenly distributed around the trunk with no more than one major branch located directly above another and the crown is full of foliage evenly distributed around the tree.
- Crown spread shall look proportional to the tree.
- NO flush cuts or open trunk wounds or other bark injury.
- Root ball meets all ANSI standards and is appropriately sized.

DEFICIENCIES NOT ACCEPTED:

- Tip dieback on 5% of branches
- Crown thin/sparsely foliated
- Included bark
- Major Branches touching
- Asymmetrical branching

LANDSCAPE SHALL NOT OBSTRUCT  
VISIBILITY OR ACCESS TO FIRE  
PROTECTION EQUIPMENT INCLUDING,  
BUT NOT LIMITED TO, FIRE HYDRANTS  
AND FIRE DEPARTMENT CONNECTIONS

PLANT SCHEDULE

| 1.5' UNDERSTORY TREES  | CODE | QTY | COMMON NAME / BOTANICAL NAME   | CONT             | CAL      | SIZE       |
|--|------|-----|--|------------------|----------|------------|
|    | TO   | 6   | Emerald Green Upright Arborvitae / Thuja occidentalis 'Emerald Green'<br>Full, Dense Upright Form  | B & B            | 1.8" Cal | 8' HT      |
| 2" REPLACEMENT TREES   | CODE | QTY | COMMON NAME / BOTANICAL NAME   | CONT             | CAL      | SIZE       |
|    | BN   | 4   | Duraheat River Birch / Betula nigra 'Duraheat'<br>Single Trunk, 4" Clear Trunk, Single, Straight Central Leader, Evenly<br>Branched, Full Symmetrical Crown. See Tree Specifications.  | B & B            | 2" Cal   | 10'-12' HT |
|    | LA   | 3   | Arnold Tulip Poplar / Liriodendron tulipifera 'Arnold'<br>5" Clear Trunk, Single, Straight Central Leader, Full Upright<br>Branching, Even Branching. See Tree Specifications, Matched | B & B            | 2" Cal   | 12'-14' HT |
|  | MG   | 1   | Mig Tig Magnolia / Magnolia grandiflora 'Mig Tig'<br>Full, Dense Upright Form  | B & B            | 2" Cal   | 10' HT     |
|  | SJ   | 11  | Japanese Pink Snowbell Dwarf / Styax japonicus 'Pink Chimes'<br>Perfect Form, Perfect Match, 5" Clear Trunk, Evenly Branched, Full<br>Symmetrical Crown. See Tree Specifications.      | B & B            | 2" Cal   | 12' HT     |
| REPLACEMENT TREE - ROOFTOP   | CODE | QTY | COMMON NAME / BOTANICAL NAME   | CONT             | CAL      | SIZE       |
|  | ZS2  | 5   | Musashino Zelkova / Zelkova serrata 'Musashino'<br>Upright Form, 5" Clear Trunk, Evenly Branched, Full Symmetrical<br>Crown. See Tree Specifications                                   | 24" box          | 2" Cal   | 12'-14' HT |
| STREET TREES   | CODE | QTY | COMMON NAME / BOTANICAL NAME   | CONT             | CAL      | SIZE       |
|  | CA   | 4   | Oklahoma Redbud / Cercis canadensis 'Oklahoma'<br>5" Clear Single Trunk, Full Symmetrical Crown. See Tree Specifications   | B & B            | 2" Cal   | 10'-12' HT |
|  | ZS   | 7   | Green Vase Zelkova / Zelkova serrata 'Green Vase'<br>5" Clear Trunk, Evenly Branched, Full Symmetrical Crown. See Tree<br>Specifications.  | B & B            | 2" Cal   | 12'-14' HT |
| SHRUBS   | CODE | QTY | COMMON NAME / BOTANICAL NAME   | CONT             |          |            |
|  | AG   | 28  | Rose Creek Abelia / Abelia x grandiflora 'Rose Creek'<br>Full, Dense   | 15"x15"          |          |            |
|  | BG   | 42  | Littleleaf Boxwood / Buxus microphylla 'Glencoe'<br>Full, Dense  | 16"x16"          |          |            |
|  | CL   | 23  | Summersweet / Clethra alnifolia 'Hummingbird'<br>Full, Dense Form  | 18" HT           |          |            |
|  | HM   | 6   | Nikko Blue Hydrangea / Hydrangea macrophylla 'Nikko Blue'<br>Full, Dense Form  | #5 Container     |          |            |
|  | IN   | 51  | Neddepoint Holly / Ilex cornuta 'Needlepoint'<br>Full 30" HT, Heavy  | 30" HT Min.      |          |            |
|  | IS   | 6   | Sky Pencil Japanese Holly / Ilex crenata 'Sky Pencil'<br>Full, Dense Upright   | 48" HT           |          |            |
|  | IG   | 12  | Inkberry Holly / Ilex glabra<br>Full, Dense Form   | 18" HT / 15" SP  |          |            |
|  | IV   | 20  | Virginia Sweetpire / Itea virginica 'Little Henry' TM<br>Full, Dense Form  | 30" HT           |          |            |
|  | MF   | 6   | Bee Balm / Monarda fistulosa 'Pink Supreme'  | 1 Pint Container |          |            |
|  | PE   | 20  | Little Bunny Fountain Grass / Pennisetum alopecuroides 'Little Bunny'<br>Full, Dense Form  | #1 Container     |          |            |
|  | PL   | 17  | Schickla Laurel / Prunus laurocerasus 'Schicklaensis'<br>Full, Dense Form  | 42" HT           |          |            |
|  | SS   | 46  | The Blues Little Bluestem / Schizachyrium scoparium 'The Blues'<br>Full, Dense   | #3 Container     |          |            |
|  | SB   | 26  | Neon Flash Spiraea / Spiraea x bumalda 'Neon Flash'<br>Full, Heavy, Well Branched  | #1 Container     |          |            |
|  | TM   | 35  | Dense Yew / Taxus x media 'Densiformis'<br>Full, Heavy, Well Branched, Not Sheeted   | 30" HT Min.      |          |            |
| GROUND COVERS  | CODE | QTY | COMMON NAME / BOTANICAL NAME   | CONT             |          |            |
|  | EP   | 37  | Purple Coneflower / Echinacea purpurea   | 1 Pint           |          |            |
|  | OJ   | 218 | Black Mondo Grass / Ophiopogon japonicus 'Nigra'   | 1 Pint           |          |            |
|  | PA   | 55  | Little Spire Russian Sage / Perovskia atriplicifolia 'Little Spire' TM<br>Full.  | 1 Quart          |          |            |
|  | SC   | 54  | Selection of Perennial, Annuals, and Grasses / Seasonal Color  | 4" pot           |          |            |

MISCELLANEOUS

- Shredded Hardwood Bark Mulch
- 4"-6" River Cobbles
- 4"-6" River Cobbles
- TURF

Resque. Install in all disturbed areas

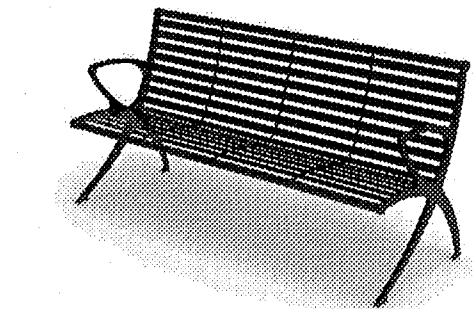
NOTES

F.T.B. = Full To Base  
ANY CHANGES TO THE PLANT MATERIAL WITHOUT THE APPROVAL OF HEIBERT AND ASSOCIATES MAY BE DENIED  
AT THE TIME OF INSPECTION. PLEASE CONTACT H&B FOR ANY SUBSTITUTION REQUESTS.

REFERENCE NOTES SCHEDULE

SYMBOL DESCRIPTION

- 4" of 4"-6" Brown River Cobbles in landscape beds around building and in rain gardens
- 4" depth of hardwood bark mulch in landscape beds not around the building
- Tree Protection Fence (see detail)
- Existing Oak Tree.  
Contractor to:  
Prune canopy to at least 8' HT above grade  
Remove ALL turf under the drip line  
Install shredded hardwood bark mulch under the drip line  
Install
- Site Furniture: Bench (4)  
Manufacturer: Landscape Forms  
Product: 72" Parc Vue  
Color: Silver  
Contact: Michele Batchik 269.370.0563
- Site Furniture: Table (2)  
Manufacturer: Landscape Forms  
Product: Gretchen - Polysite  
Color: Natural  
Contact: Michele Batchik 269.370.0563
- Formal Open Space 1  
Park: 14,990  
Landscape & Tables
- Formal Open Space 2  
Park: 2,605 sf  
Landscape & Benches



TREE TABLE

| NO. | SIZE | TYPE |
|-----|------|------|
| 1   | 60"  | OAK  |

Total Healthy Trees to Remain >14": 1

Total ACI of Trees >14" to Remain: 60

Total Healthy Trees to be Removed >24": 0

Total Caliper Inch of Replacement: 0

EXISTING TREE CANOPY: 0.03 AC. (2% of Site)

PROPOSED TREE CANOPY RETENTION: 0.03 AC. (100% OF EXISTING COVER)

ATTENTION OWNER/INSTALLER:

This landscape plan has been designed to meet the minimum requirements of the City of Franklin zoning ordinance, the approval of the planning commission, and planning department policy. Relocating, substituting, resizing, reducing, or deleting material may cause the site to no longer conform to the requirements; thus problems may arise with releasing the performance/maintenance surety for the landscape material.

Deviation from the approved landscape plan shall not be made

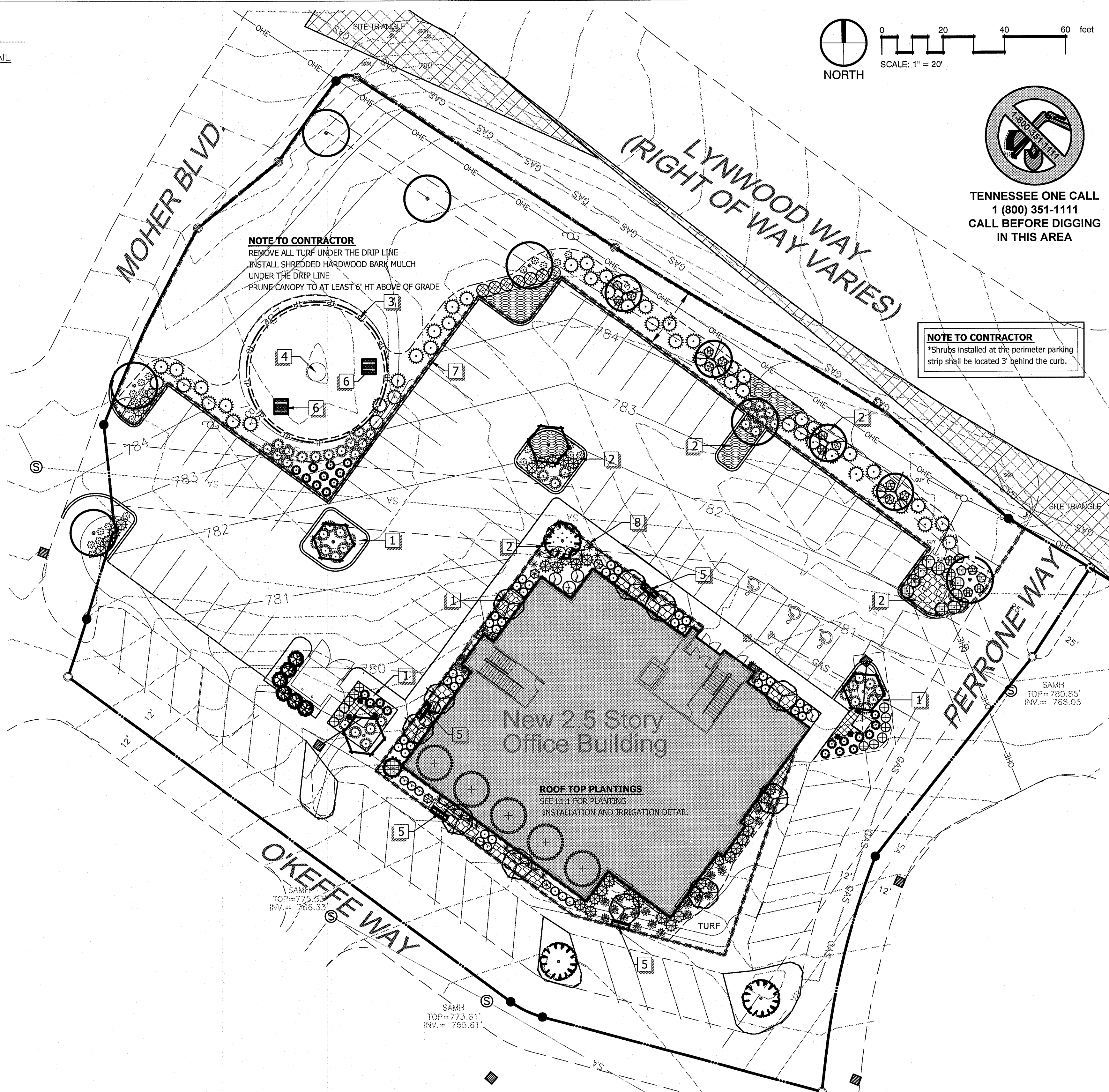
without first consulting the Landscape Architect who designed

the project. The designing Landscape Architect shall review

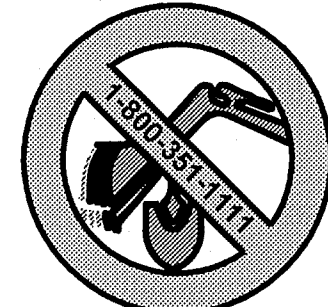
proposed substitutions to ensure that all City standards and

requirements are met. The City shall be notified in writing upon

final approval of any plant substitutions.



0 20 40 60 feet  
SCALE: 1" = 20'



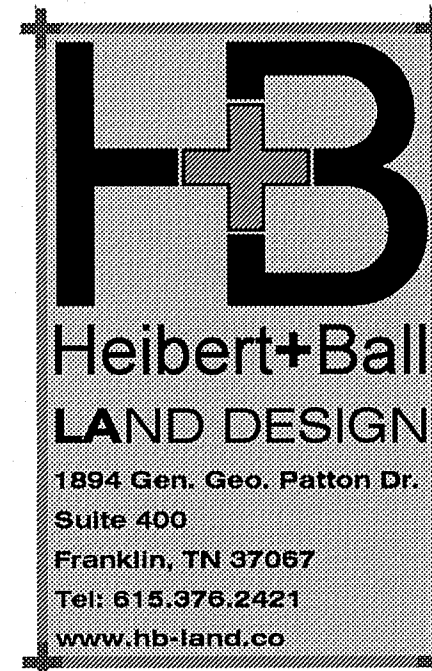
TENNESSEE ONE CALL  
1 (800) 351-1111  
CALL BEFORE DIGGING  
IN THIS AREA

NOTE TO CONTRACTOR  
\*Shrubs installed at the perimeter parking  
strip shall be located 3' behind the curb.

LANDSCAPE DATA CHART - LOT 137

SITE ACREAGE: 1.45 AC.  
SITE ZONING: (ML) W/ CAO - BCCO-4  
Traditional Area  
MIN. REQ. LSA: 30.0% (0.435 AC.)  
PROVIDED LSA: 31.4% (0.455 AC.)  
EXISTING TREE CANOPY: 1.520sf AC.  
PROPOSED TREE CANOPY: 1.520sf AC.  
MIN. REQ. FORMAL OPEN SPACE: 0.0% (0sf) (0.0AC)  
PROVIDED FORMAL OPEN SPACE: 0.28% (17,495sf) (0.4AC)

| Landscape Requirements: (Act)   |                   |                |                      |
|---|-------------------|----------------|----------------------|
| Provided LSA: 0.455<br>Credit for 0.03 acres of preserved trees<br>LSA = 0.43 | Quantity Provided |                | Inches Provided      |
|   | Existing Trees    | Total Proposed | Total Caliper Inches |
| Existing trees >14" (0x1.25):   | 75                |                | 75"                  |
| Existing trees (See Tree Inventory):  | 0                 | 0              | 0"                   |
| 2" caliper canopy trees:  | 0                 | 0              | 0"                   |
| Aggregate Canopy Caliper Inches Provided:                                     |                   |                | 75.0"                |
| Aggregate Canopy Caliper Inches Required (82x0.43):                           |                   |                | 35.3"                |
| 1.5" caliper understory trees:  | 0                 | 6              | 9"                   |
| Aggregate Understory Caliper Inches Provided:                                 |                   |                | 9"                   |
| Aggregate Understory Caliper Inches Required (21x0.43):                       |                   |                | 9"                   |
| 2" Caliper Replacement Caliper Inches Provided:                               | 24                |                | 48"                  |
| Min. 18" Height Shrubs:   | 81                |                |                      |
| Min. 30" Height Shrubs:   | 129               |                |                      |
| Total Shrubs Provided:  | 210               |                |                      |
| Total Shrubs Required (96x0.43):  | 42                |                |                      |



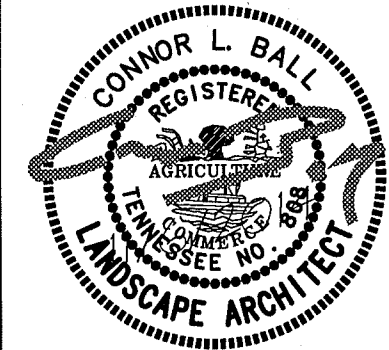
H. Michael Hindman  
Architects, P.C.

1607 Westgate Circle - Suite 100  
Brentwood, Tennessee 37027  
615.370.3552  
www.hmharchitects.com

OFFICE BUILDING FOR

Touchstone  
Medical  
Imaging

LYNWOOD WAY  
LOT 137 GATEWAY  
VILLAGE SECTION 3  
FRANKLIN, TENNESSEE



COF# TBD

Revisions

HMH Job Number  
14035

Drawn By

Date  
08.01.14

Drawing

LANDSCAPE PLAN

L1.0

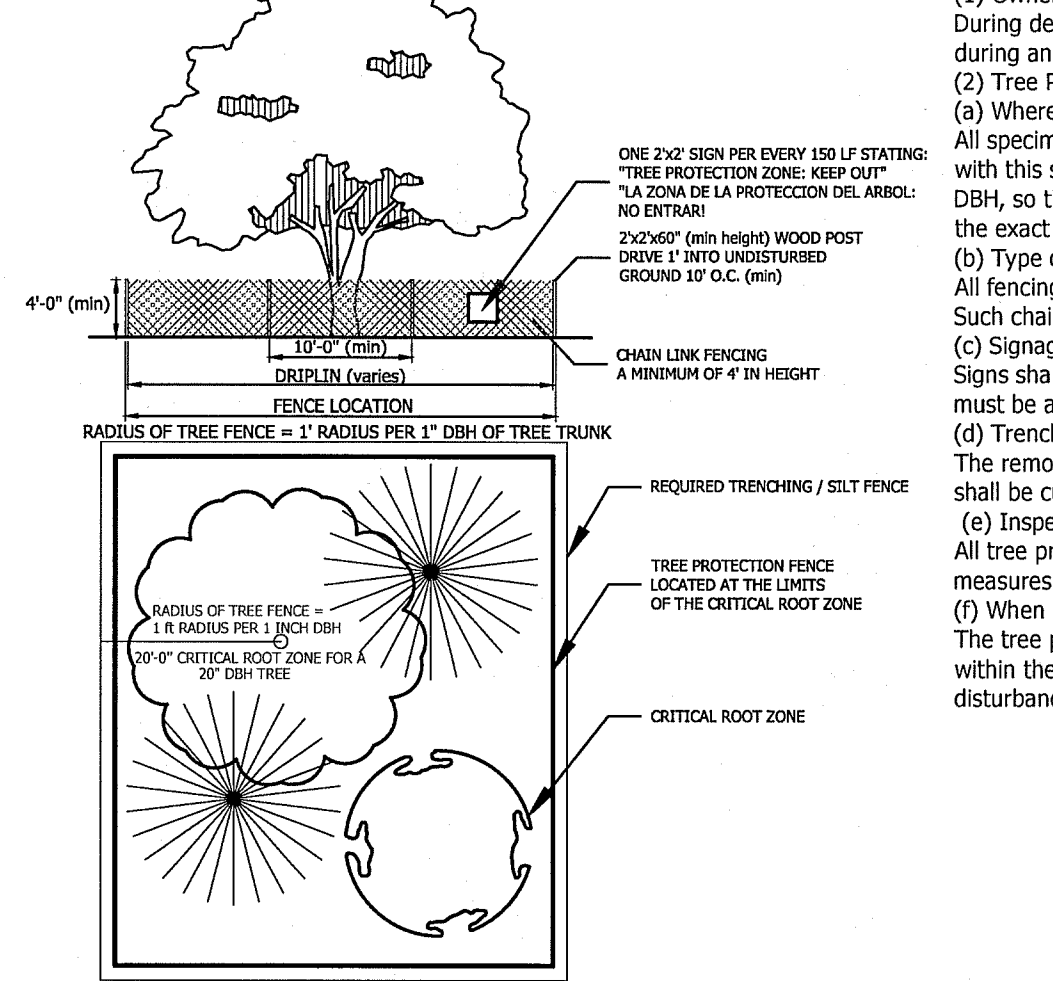
SEE L1.1 FOR NOTES AND DETAILS



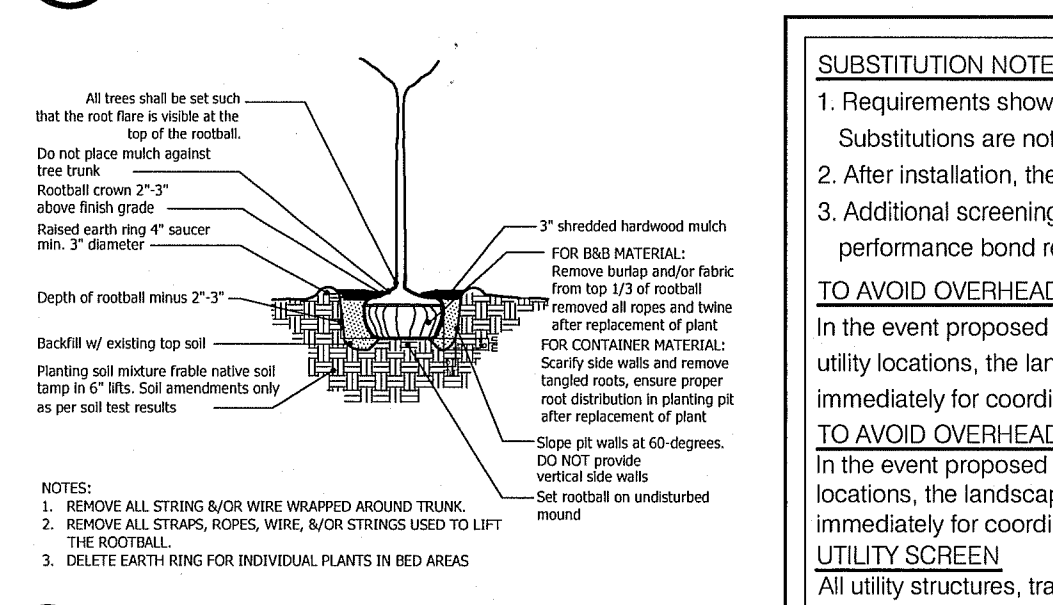
| GATEWAY VILLAGE TREE TAKEDOWN CHART  |        |
|--|--------|
| Site Specimen Tree Replacement Required  |        |
| TOTAL SITE INCHES REQUIRED TO BE REPLACED  | 1,341  |
| TOTAL REPLACEMENT CALIPER INCH FROM SEC. 1   | 189    |
| TOTAL REPLACEMENT CALIPER INCH FROM SEC. 2   | 354    |
| TOTAL REPLACEMENT CALIPER INCH FROM SEC. 6   | 17.75  |
| TOTAL REPLACEMENT CALIPER INCHES FOR SEC 3 LOT 133                                 | 105.0  |
| TOTAL REPLACEMENT CALIPER INCHES FROM SEC 3 LOT 143                                | 55.0   |
| TOTAL REPLACEMENT CALIPER INCHES FROM LOT 145                                      | 9.0    |
| TOTAL REPLACEMENT CALIPER INCHES FOR SECTION 3 & 6<br>LOTS 138, 139, 140, 141, 142 | 198.0  |
| PROPOSED REPLACEMENT CALIPER INCHES FROM FOR LOT 137                               | 48     |
| DEVELOPMENT REPLACEMENT CALIPER INCHES REMAINING:                                  | 365.25 |

| MINIMUM OPEN SPACE REQUIREMENTS FOR RESIDENTIAL FORMAL OPEN SPACE |                         |                                |                                       |                                |                                    |
|---|-------------------------|--------------------------------|---------------------------------------|--------------------------------|------------------------------------|
| AREA  | TYPE                    | APPROVED AREA<br>OF OPEN SPACE | APPROVED<br>MAXIMUM 25%<br>PAVED AREA | PROPOSED AREA<br>OF OPEN SPACE | PROPOSED MAXIMUM<br>25% PAVED AREA |
| F-1   | Section 1 Median/Circle | 9,996 SF                       | 2,499 SF                              | 9,170 SF                       | 2,292 SF                           |
| F-2   | Section 2 Median/Green  | 6,624 SF                       | 1,656 SF                              | 3,981 SF                       | 995 SF                             |
| F-3   | Section 2 Park          | 11,623 SF                      | 2,906 SF                              | 7,150 SF                       | 1,787 SF                           |
| F-4   | Neighborhood Park       | 42,171 SF                      | 10,527 SF                             | 42,334 SF                      | 10,583 SF                          |
| F-5   | Gateway Monument        | 14,908 SF                      | 3,727 SF                              | 13,041 SF                      | 3,260 SF                           |
| F-6 (LOT 135)   | Focal Point             |                                |                                       | 5,059 SF                       | 1,264 SF                           |
| F-6 (LOT 138)   | Focal Point             | 12,073 SF                      | 3,018 SF                              | 7,491 SF                       | 1,872 SF                           |
| F-6 (LOT 145)   | Focal Point             |                                |                                       | 7,225 SF                       | 305 SF                             |
| F-7   | Traffic Circle          | 8,659 SF                       | 2,165 SF                              | 11,804 SF                      | 2,951 SF                           |
| F-8   | Plaza                   | 19,528 SF                      | 4,882 SF                              | 24,115 SF                      | 6,028 SF                           |
| F-9 (Lot 137)   | Park                    | 16,076 SF                      | 4,019 SF                              | 17,495 SF                      | 4,029 SF                           |
| F-10  | Park                    | 7,852 SF                       | 1,963 SF                              | 12,453 SF                      | 3,113 SF                           |
| F-11 (LOT 135)  | Plaza                   |                                |                                       | 482 SF                         | 120 SF                             |
| F-11 (LOT 136)  | Plaza                   | 12,701 SF                      | 3,175 SF                              | 2,837 SF                       | 709 SF                             |
| F-11 (LOT 145)  | Plaza                   |                                |                                       | 12,640 SF                      | 3,160 SF                           |
|   |                         | 162,211 SF (3.72 Acres)        |                                       | 171,277 SF (3.93 Acres)        |                                    |

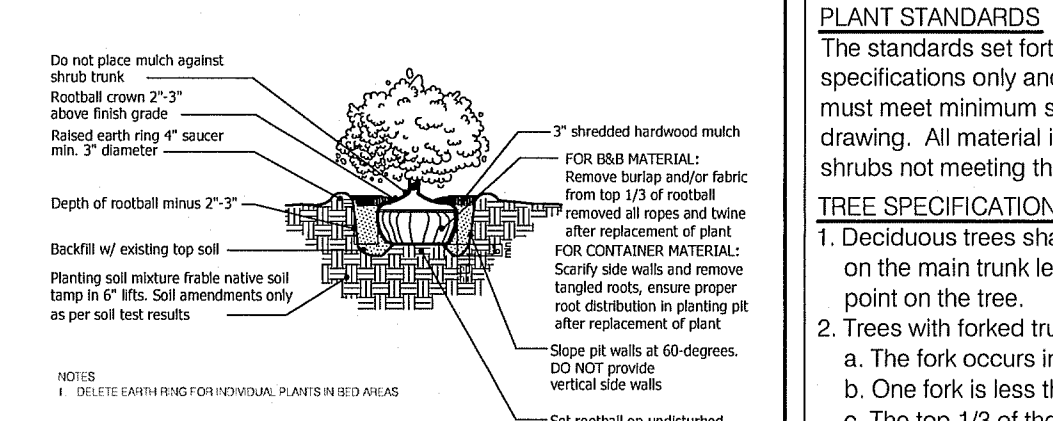
• 5% of Developable Area Required for Formal Open Space  
• Total Developable Area= 41.82 AC, 5% of 41.82 AC =91,040 SF (2.09 AC)  
• Concept Plan - Staff Comments - Expand Formal Open Space



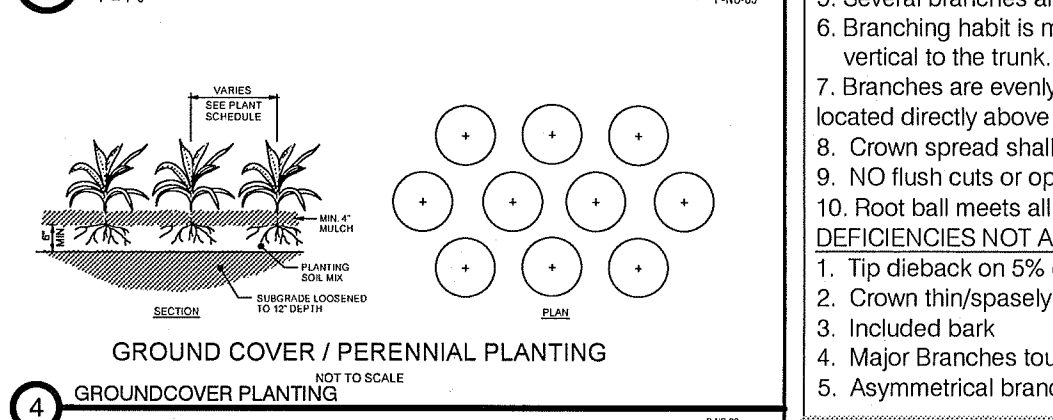
1 TREE PROTECTION FENCE  
1" = 1'-0"



2 TREE PLANTING  
1" = 1'-0"



3 SHRUB PLANTING  
1" = 1'-0"



4 GROUND COVER / PERENNIAL PLANTING  
NOT TO SCALE

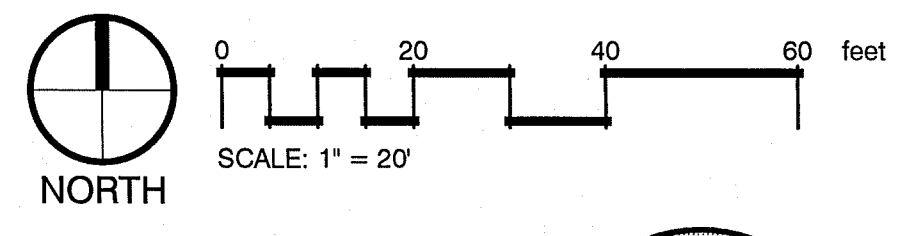
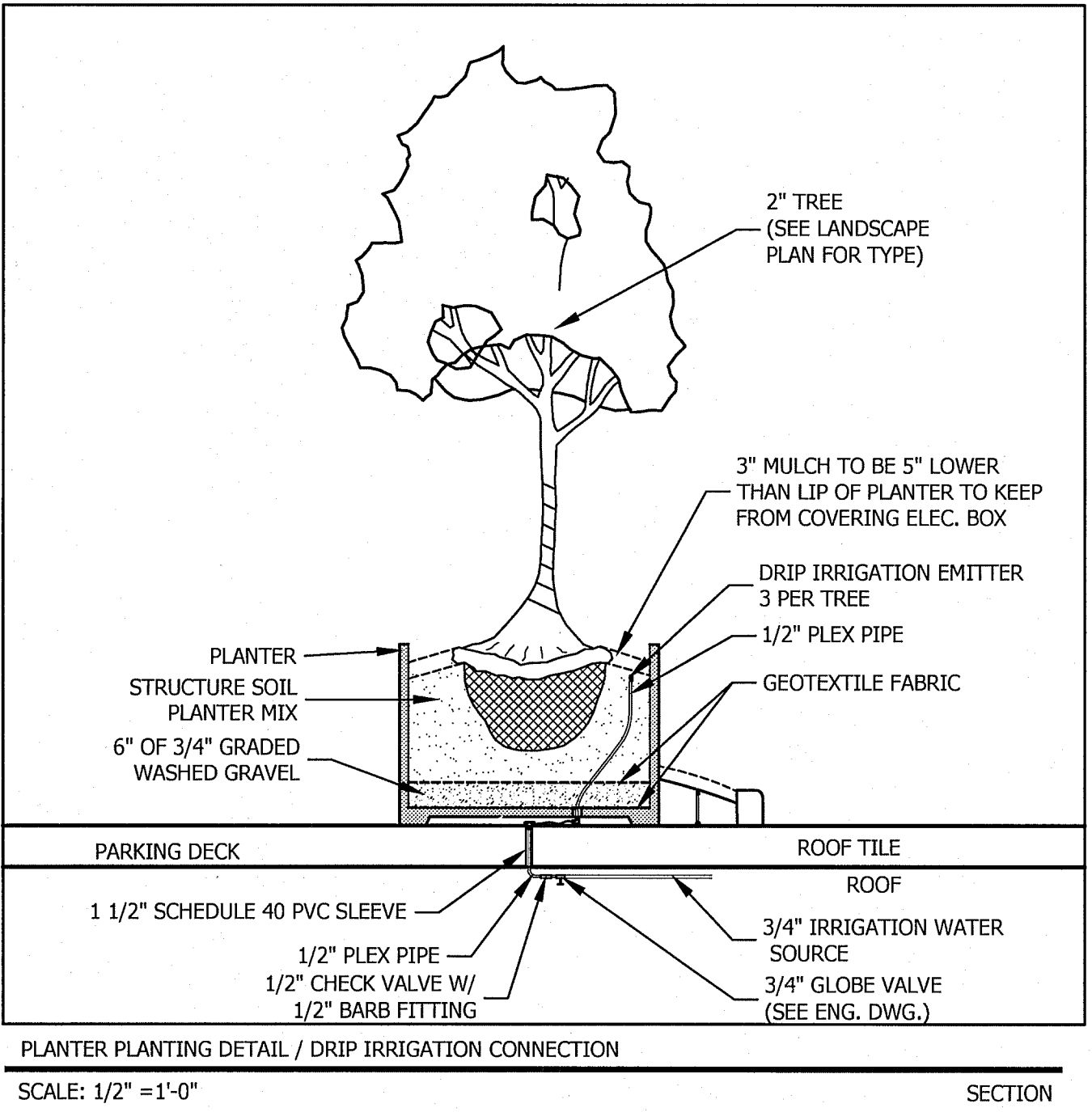
5.2.7 Tree Protection During Construction  
(1) Owner's Responsibility  
During development, the owner or developer shall be responsible for the erection of all barriers necessary to protect any existing or installed trees from damage both during and after construction in accordance with the standards of this subsection.  
(2) Tree Protection Fencing  
(a) Where Required  
All specimen trees, trees in a Tree Protection Zone, and trees intended for use as credit towards the landscaping standards of this chapter shall be fenced in accordance with this subsection before grading or other land disturbing activity begins. Fencing shall extend at least one foot in distance from the edge of the tree for each inch of DBH, so that each tree's dripline is protected, but no less than ten feet from the trunk. The Codes Department shall consider existing site conditions in determining the exact location of any tree protection fencing.  
(b) Type of Fencing  
All fencing required by this subsection shall be chain link fencing at least four feet in height and secured using appropriate posts spaced not more than ten feet apart. Such chain link fencing is not required to be coated.  
(c) Signage  
Signs shall be installed on the tree protection fence visible on all sides of the fenced-in area at a rate of at least one sign for every 150 linear feet. The size of each sign must be a minimum of two feet by two feet tall and shall contain the following language in English and Spanish: "TREE PROTECTION ZONE: KEEP OUT."  
(d) Trenching Prior to Clearing Activities  
The removal of tree adjacent to tree save areas can cause inadvertent damage to the protected trees. Prior to clearing activities, trenches with a minimum depth of 12 inches shall be cut along the limits of the disturbance, so as to cut, rather than tear tree roots.  
(e) Inspection  
All tree protection measures shall be inspected and approved by the Codes Department prior to the start of any land disturbing activities. Failure to have tree protection measures prior to the commencement of construction is a violation of this ordinance.  
(f) When Required  
The tree protection fencing shall be clearly shown on the Site Plan. No construction, grading, equipment or material storage of any other activity shall be allowed within the fenced area except in accordance with the standards in Subsection 5.2.7 (3). Encroachments Into Root Zones. Fencing shall be maintained until the land disturbance activities are complete.

323101-01

**SUBSTITUTION NOTE:**  
1. Requirements shown are as per City Zoning Ordinance.  
Substitutions are not allowed unless approved by Heibert+Ball, Land Design.  
2. After installation, the landscape will be maintained by the owner.  
3. Additional screening may be required if the inspection for the release of the performance bond reveals that the screening is not effective.  
**TO AVOID OVERHEAD UTILITY CONFLICTS:**  
In the event proposed canopy trees are in conflict (within 25') with proposed or existing overhead utility locations, the landscape contractor shall stop work and contact Heibert+Ball, Land Design immediately for coordination and field adjustment.  
**TO AVOID OVERHEAD LIGHT POLE CONFLICTS:**  
In the event proposed canopy trees are in conflict (within 10') with proposed or existing light pole locations, the landscape contractor shall stop work and contact Heibert+Ball, Land Design immediately for coordination and field adjustment.  
**UTILITY SCREEN**  
All utility structures, transformers, meters, and/or units shall be screened with plant material tall enough to provide an effective screen. Structures not shown on landscape plans will be required to be screened. If utilities are added to the site, contact Heibert+Ball, Land Design for screening recommendations.  
**PLANT STANDARDS**  
The standards set forth in "American Standard for Nursery Stock" represent general guideline specifications only and will constitute minimum quality requirements for plant material. All plants must meet minimum size noted at the materials schedule. And meet the characteristics stated on this drawing. All material installed on the site MUST meet or exceed these specifications. Any trees or shrubs not meeting these standards can be rejected at time of inspection.  
**TREE SPECIFICATIONS: ALL TREES SHALL HAVE THE FOLLOWING CHARACTERISTICS:**  
1. Deciduous trees shall have one dominant single straight trunk with the tip of the leader on the main trunk left intact and the terminal bud on the central leader is at the highest point on the tree.  
2. Trees with forked trunks are acceptable if all the following conditions are met:  
a. The fork occurs in the upper 1/3 of the tree.  
b. One fork is less than 2/3 the diameter of the dominant fork.  
c. The top 1/3 of the smaller fork is removed at the time of planting.  
3. No branch is greater than 2/3 the diameter of the trunk directly above the branch.  
4. The trunk and/or major branches shall not touch.  
5. Several branches are larger in diameter and obviously more dominant.  
6. Branching habit is more horizontal than vertical, and no branches are oriented nearly vertical to the trunk.  
7. Branches are evenly distributed around the trunk with no more than one major branch located directly above another and the crown is full of foliage evenly distributed around the tree.  
8. Crown spread shall look proportional to the tree.  
9. NO flush cuts or open trunk wounds or other bark injury.  
10. Root ball meets all ANSI standards and is appropriately sized.  
**DEFICIENCIES NOT ACCEPTED:**  
1. Tip dieback on 5% of branches  
2. Crown thin/sparsely foliated  
3. Included bark  
4. Major Branches touching  
5. Asymmetrical branching

LANDSCAPE SHALL NOT OBSTRUCT VISIBILITY OR ACCESS TO FIRE PROTECTION EQUIPMENT INCLUDING, BUT NOT LIMITED TO, FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTIONS

Hvac units, cooling and/or mechanical equipment are mounted on the:  
■ Rooftop  
□ Ground  
□ Not Applicable  
THIS DEVELOPMENT IS REQUIRED TO HAVE THE FOLLOWING LANDSCAPE IMPROVEMENTS  
Buffer/ Screening Type: Purpose:  
□ Not Applicable Buffering/ Screening not required  
■ Foundation planting Along primary facade  
■ Perimeter Planting Strip Screen VUAs and to create "modules"  
■ Interior VUA Planting Create VUA "modules"  
■ Utility Box Screen Screen from view  
■ HVAC Screen Screen HVAC from view  
■ Dumpster Screen Screen Dumpster from view  
□ Loading/service Area Buffer the street or residential property  
□ Incompatible Use Buffer Buffer the adjacent less intensive use  
□ 30-foot Front Yard Buffer Buffer the adjacent Hatcher Bypass  
□ 40-foot Front Yard Buffer Buffer the adjacent Interstate 65  
■ Street Trees Spatial Definition/Environmental Mitigation  
□ Other:  
LANDSCAPE ARCHITECT: Heibert+Ball Land Design  
Connor Ball, PLA  
615.376.2421  
FRANKLIN PLANNING DEPARTMENT: 615.791.3212 phone  
615.791.3257 fax



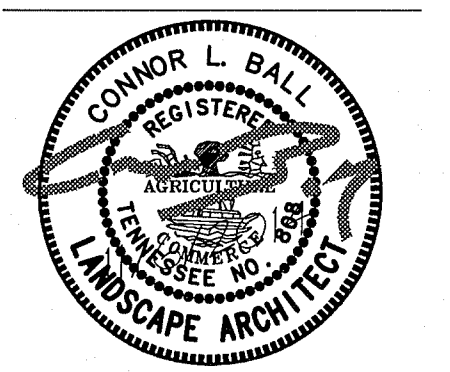
TENNESSEE ONE CALL  
1 (800) 351-1111  
CALL BEFORE DIGGING  
IN THIS AREA



1607 Westgate Circle - Suite 100  
Brentwood, Tennessee 37027  
615.370.3252  
www.hmarchitects.com

OFFICE BUILDING FOR  
Touchstone  
Medical  
Imaging

LYNWOOD WAY  
LOT 137 GATEWAY  
VILLAGE SECTION 3  
FRANKLIN, TENNESSEE



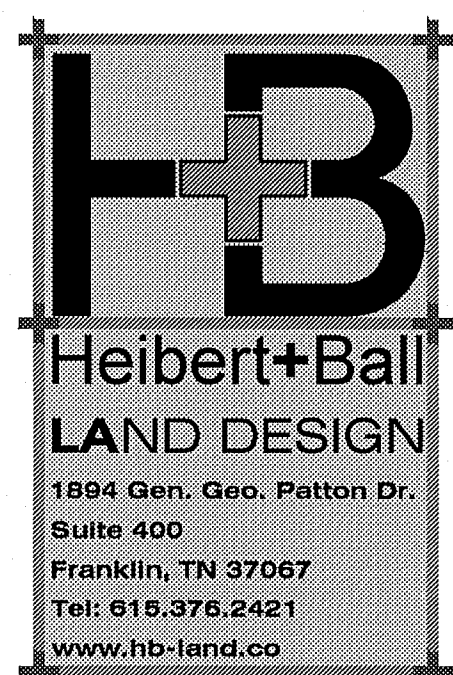
COF# TBD  
Revisions

HMH Job Number  
14035  
Drawn By

Date  
08.01.14

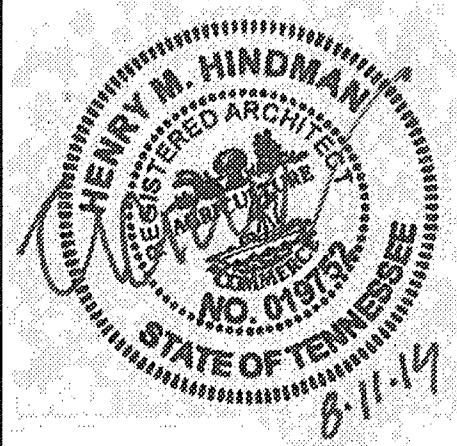
Drawing  
LANDSCAPE PLAN  
NOTES & DETAILS

L1.1



1894 Gen. Geo. Patton Dr.  
Suite 400  
Franklin, TN 37067  
Tel: 615.376.2421  
www.hb-land.co





NOTES

1. LOCATON AND NUMBERS OF STOREFRONT DOORS SUBJECT TO CHANGE PER TENANT REQUIREMENTS.
2. LOCATION AND NUMBERS OF REAR & EGRESS DOORS SUBJECT TO CHANGE PER TENANT REQUIREMENTS.
3. TENANT SIGNS WILL BE SUBMITTED FOR APPROVAL AS TENANT REQUIREMENTS ARE DETERMINED.
4. SPECIFIED MATERIALS MAY CHANGE SUBJECT TO AVAILABILITY AT TIME OF CONSTRUCTION AND SUBJECT TO APPROVAL OF BNS DEPARTMENT OR PLANNING COMMISSION.
5. THESE ELEVATIONS HAVE BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE CITY OF FRANKLIN'S ARCHITECTURAL DESIGN STANDARDS AND THE APPROVAL OF THE PLANNING COMMISSION. CHANGES SHALL NOT BE MADE TO THE APPROVED ELEVATIONS UNLESS APPROVED BY EITHER THE BNS DEPARTMENT OR THE PLANNING COMMISSION.
6. HVAC UNITS ARE LOCATED ON THE ROOFS OF THE BUILDING AND ARE SCREENED FROM PUBLIC VIEW BY PARAPET WALLS.
7. CAVITY WALL CONSTRUCTION SHALL BE USED WHEREVER INTEGRALLY COLORED, UNPAINTED, SPLIT FACE CONCRETE BLOCK IS USED TO PREVENT WATER PENETRATION.

EXTERIOR FINISH LEGEND

BRICK  
STYLE/SIZE: UTILITY  
COLOR: RED/BROWN  
MANUFACTURER: TBD  
MORTAR: TBD  
MORTAR MANUF.: TBD

MONUMENTAL CAST STONE  
STYLE/SIZE: TRENDSSTONE PLUS MONUMENTAL SERIES  
COLOR: MW WHITE  
MANUFACTURER: TRENWYTH  
MORTAR: TBD  
MORTAR MANUF.: TBD  
ALTERNATE: BRICK OF SIMILAR COLOR

CAST STONE LINTEL & ACCENT BAND  
STYLE/SIZE: SMOOTH  
COLOR: BUFFSTONE, GP-A  
MANUFACTURER: ROCK CAST  
MORTAR: SAME AS ADJACENT MASONRY

CAST STONE BASE  
STYLE/SIZE: SPLIST/STPS-304 (3.625"x23.625")  
COLOR: SUNSET  
MANUFACTURER: PRAIRIE STONE  
MORTAR: TBD  
MORTAR MANUF.: TBD

STOREFRONT & CURTAIN WALL  
STYLE/SIZE: ALUMINUM RECTANGULAR  
COLOR: KYNAR CHARCOAL GRAY OR ANODIZED DARK BRONZE  
MANUFACTURER: TUBELITE OR EQUAL

GLAZING  
STYLE/SIZE: 1" INSULATED LOW-E  
COLOR: SOLAR BLUE + SOLARBAN 70XL (9)  
MANUFACTURER: PPG OR EQUAL

PREFINISHED METAL PARAPET COPING  
COLOR: SIERRA TAN & SLATE GRAY  
MANUFACTURER: BERRIDGE OR EQUAL

METAL PANEL CANOPY  
STYLE/SIZE: SMOOTH METAL PANEL, 18"  
COLOR: PEWTER/TITANIUM  
MANUFACTURER: CENTRIA/ALUCOBOND OR EQUAL

METAL PANEL/SCREEN ACCENT  
STYLE/SIZE: PROFILE SERIES, CS-660  
COLOR: ORANGE VERMILLION  
MANUFACTURER: CENTRIA

PAINT  
COLOR: TBD

MATERIAL AREA NOTES

1. MINOR MATERIALS INCLUDING COPINGS, FLASHINGS, AND TRIM INSTALLED OVER BRICK ARE NOT INCLUDED IN MATERIAL AREA CALCULATIONS.
2. NET WALL AREA EXCLUDES STOREFRONT, DOORS, LOUVERS AND MINOR TRIM.

MATERIAL CALCULATIONS

NORTH ELEVATION

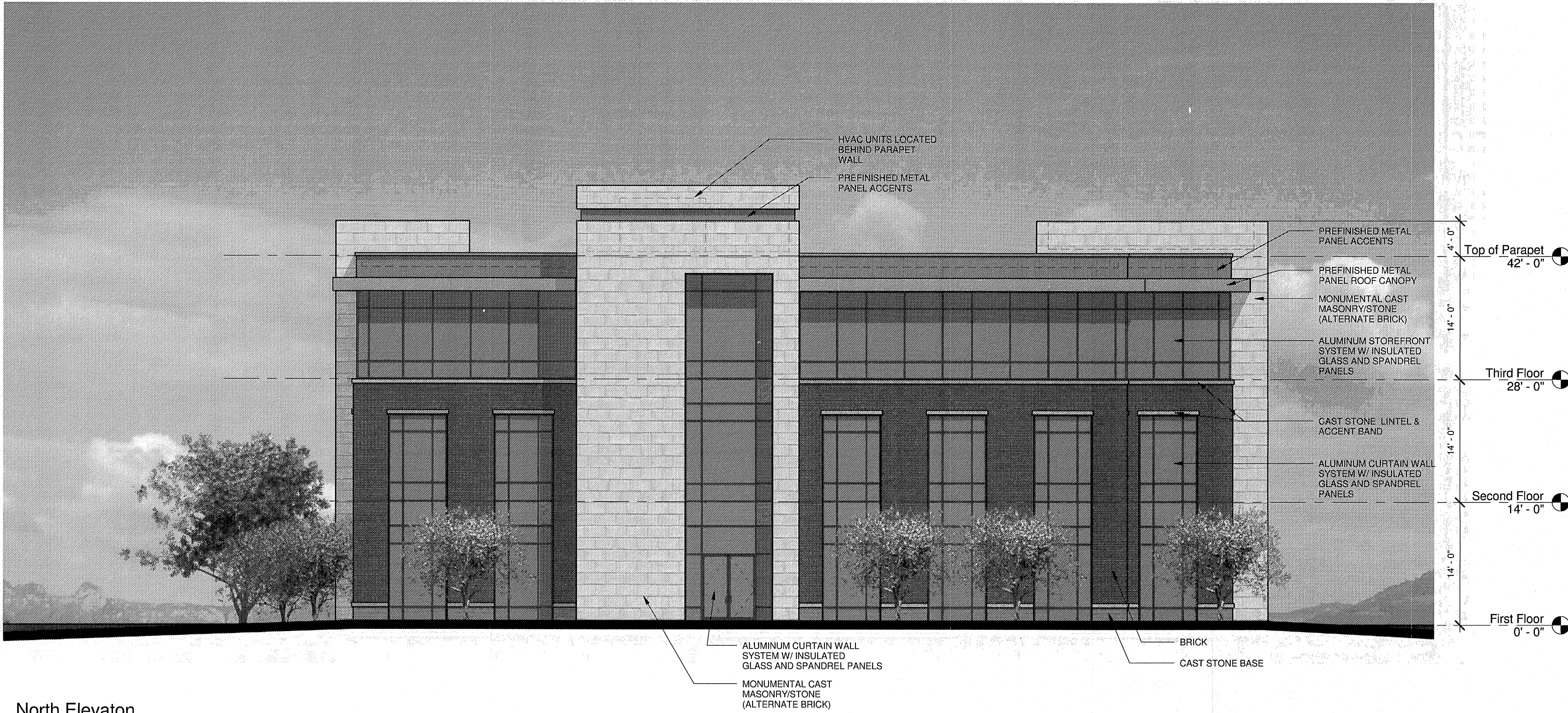
|                    | AREA      | % OF NET |
|--------------------|-----------|----------|
| GROSS WALL AREA    | 4427S.F.  | NA%      |
| NET WALL AREA      | 2320S.F.  | 100%     |
| BRICK AREA         | 1007 S.F. | 44%      |
| CAST STONE AREA    | 952 S.F.  | 41%      |
| METAL PANEL/CANOPY | 361 S.F.  | 15%      |

WEST ELEVATION

|                    | AREA      | % OF NET |
|--------------------|-----------|----------|
| GROSS WALL AREA    | 3352 S.F. | NA%      |
| NET WALL AREA      | 1697 S.F. | 100%     |
| BRICK AREA         | 1055 S.F. | 56%      |
| CAST STONE AREA    | 657 S.F.  | 35%      |
| METAL PANEL/CANOPY | 185 S.F.  | 9%       |

CONCEPT DESIGN

FINAL DESIGN TO BE SUBMITTED  
FOR SITE PLAN APPROVAL



1  
A1 North Elevation  
1/8" = 1'-0"



2  
A1 West Elevation  
1/8" = 1'-0"

Revisions

HMH Job Number  
14035

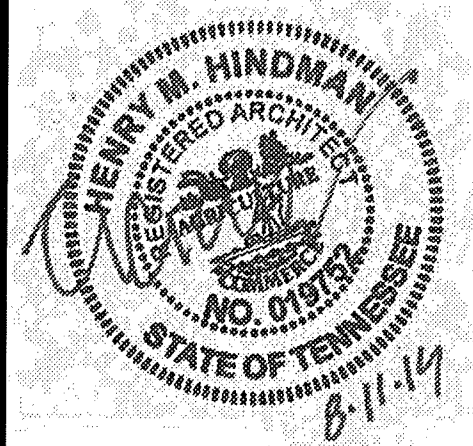
Drawn By  
TT

Date  
08.11.14

Drawing  
Elevations

A1





## NOTES

1. LOCATION AND NUMBERS OF STOREFRONT DOORS SUBJECT TO CHANGE PER TENANT REQUIREMENTS.
2. LOCATION AND NUMBERS OF REAR & EGRESS DOORS SUBJECT TO CHANGE PER TENANT REQUIREMENTS.
3. TENANT SIGNS WILL BE SUBMITTED FOR APPROVAL AS TENANT REQUIREMENTS ARE DETERMINED.
4. SPECIFIED MATERIALS MAY CHANGE SUBJECT TO AVAILABILITY AT TIME OF CONSTRUCTION AND SUBJECT TO APPROVAL OF BNS DEPARTMENT OR PLANNING COMMISSION.
5. THESE ELEVATIONS HAVE BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE CITY OF FRANKLIN'S ARCHITECTURAL DESIGN STANDARDS AND THE APPROVAL OF THE PLANNING COMMISSION. CHANGES SHALL NOT BE MADE TO THE APPROVED ELEVATIONS UNLESS APPROVED BY EITHER THE BNS DEPARTMENT OR THE PLANNING COMMISSION.
6. HVAC UNITS ARE LOCATED ON THE ROOFS OF THE BUILDING AND ARE SCREENED FROM PUBLIC VIEW BY PARAPET WALLS.
7. CAVITY WALL CONSTRUCTION SHALL BE USED WHEREVER INTEGRALLY COLORED, UNPAINTED, SPLIT FACE CONCRETE BLOCK IS USED TO PREVENT WATER PENETRATION.

## EXTERIOR FINISH LEGEND

**BRICK**  
STYLE/SIZE: UTILITY  
COLOR: RED/BROWN  
MANUFACTURER: TBD  
MORTAR: TBD  
MORTAR MANUF.: TBD

**MONUMENTAL CAST STONE**  
STYLE/SIZE: TRENDSTONE PLUS MONUMENTAL SERIES  
COLOR: MW WHITE  
MANUFACTURER: TRENNWYTH  
MORTAR: TBD  
MORTAR MANUF.: TBD  
ALTERNATE: BRICK OF SIMILAR COLOR

**CAST STONE LINTEL & ACCENT BAND**  
STYLE/SIZE: SMOOTH  
COLOR: BUFFSTONE, GP-A  
MANUFACTURER: ROCK CAST  
MORTAR: SAME AS ADJACENT MASONRY

**CAST STONE BASE**  
STYLE/SIZE: SPLIST/STPS-304 (3.625"x23.625")  
COLOR: SUNSET  
MANUFACTURER: P LAIRIE STONE  
MORTAR: TBD  
MORTAR MANUF.: TBD

**STOREFRONT & CURTAIN WALL**  
STYLE/SIZE: ALUMINUM RECTANGULAR  
COLOR: KYMAR CHARCOAL GRAY OR ANODIZED DARK BRONZE  
MANUFACTURER: TUBELITE OR EQUAL

**GLAZING**  
STYLE/SIZE: 1" INSULATED LOW-E  
COLOR: SOLAR BLUE + SOLARBAN 70XL (3)  
MANUFACTURER: PPG OR EQUAL

**PREFINISHED METAL PARAPET COPING**  
COLOR: SIERRA TAN & SLATE GRAY  
MANUFACTURER: BERRIDGE OR EQUAL

**METAL PANEL CANOPY**  
STYLE/SIZE: SMOOTH METAL PANEL, 18"  
COLOR: PEWTER/TITANIUM  
MANUFACTURER: CENTRIA/ALUCOBOND OR EQUAL

**METAL PANEL/SCREEN ACCENT**  
STYLE/SIZE: PROFILE SERIES, CS-660  
COLOR: CHANCE VERMILLION  
MANUFACTURER: CENTRIA

**PAINT**  
COLOR: TBD

## MATERIAL AREA NOTES

1. MINOR MATERIALS INCLUDING COPINGS, FLASHINGS, AND TRIM INSTALLED OVER BRICK ARE NOT INCLUDED IN MATERIAL AREA CALCULATIONS.
2. NET WALL AREA EXCLUDES STOREFRONT, DOORS, LOUVERS AND MINOR TRIM.

## MATERIAL CALCULATIONS

### EAST ELEVATION

|                    | AREA      | % OF NET |
|--------------------|-----------|----------|
| GROSS WALL AREA    | 3631 S.F. | NA%      |
| NET WALL AREA      | 2208 S.F. | 100%     |
| BRICK AREA         | 1193 S.F. | 54%      |
| CAST STONE AREA    | 846 S.F.  | 38%      |
| METAL PANEL/CANOPY | 169 S.F.  | 8%       |

### SOUTH ELEVATION

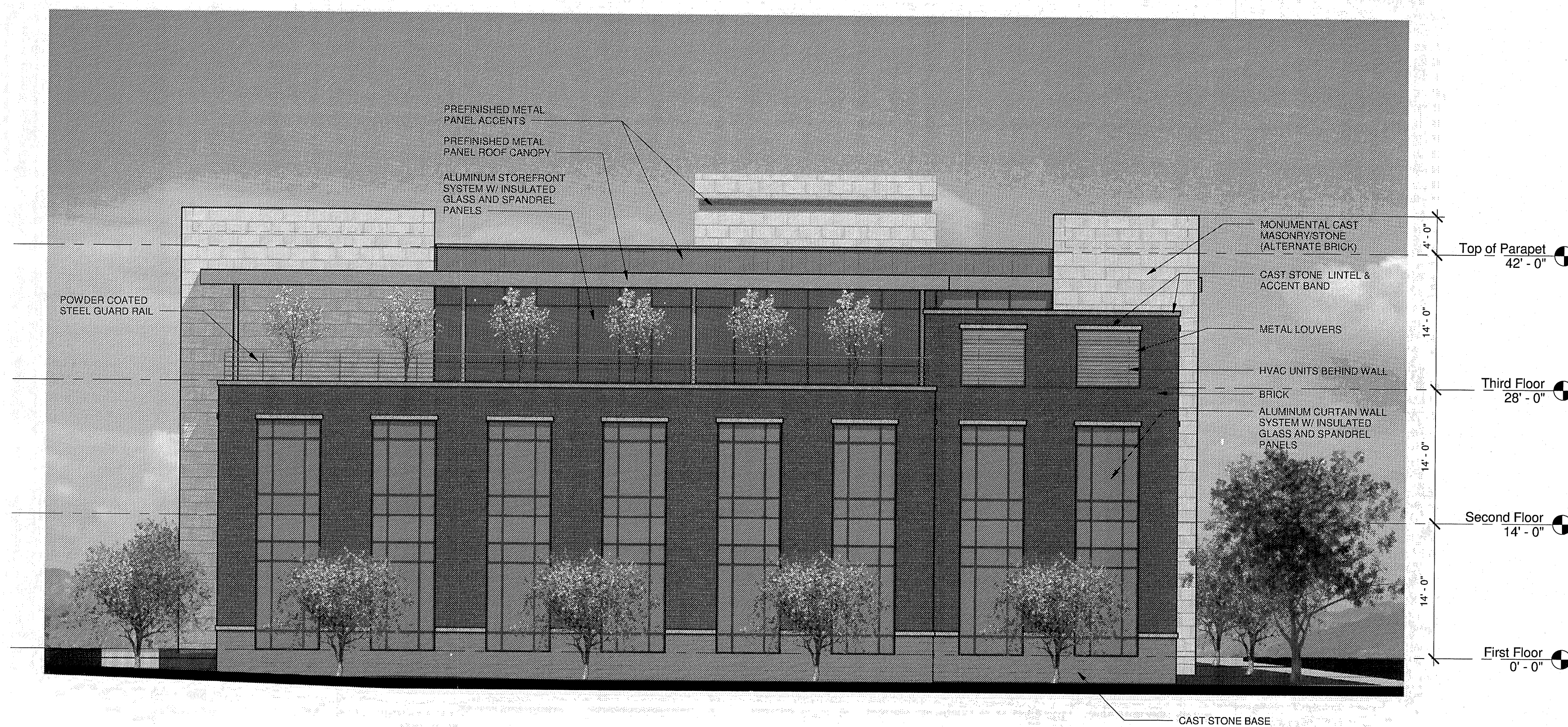
|                    | AREA      | % OF NET |
|--------------------|-----------|----------|
| GROSS WALL AREA    | 4954 S.F. | NA%      |
| NET WALL AREA      | 3091 S.F. | 100%     |
| BRICK AREA         | 1522 S.F. | 49%      |
| CAST STONE AREA    | 1253 S.F. | 41%      |
| METAL PANEL/CANOPY | 316 S.F.  | 10%      |

## CONCEPT DESIGN

FINAL DESIGN TO BE SUBMITTED  
FOR SITE PLAN APPROVAL



1 East Elevation  
A2 1/8" = 1'-0"



2 South Elevation  
A2 1/8" = 1'-0"

Revisions

HMH Job Number  
14035

Drawn By  
TT

Date  
08.11.14

Drawing  
Elevations

A2





1  
A3 View from North



2  
A3 View from East



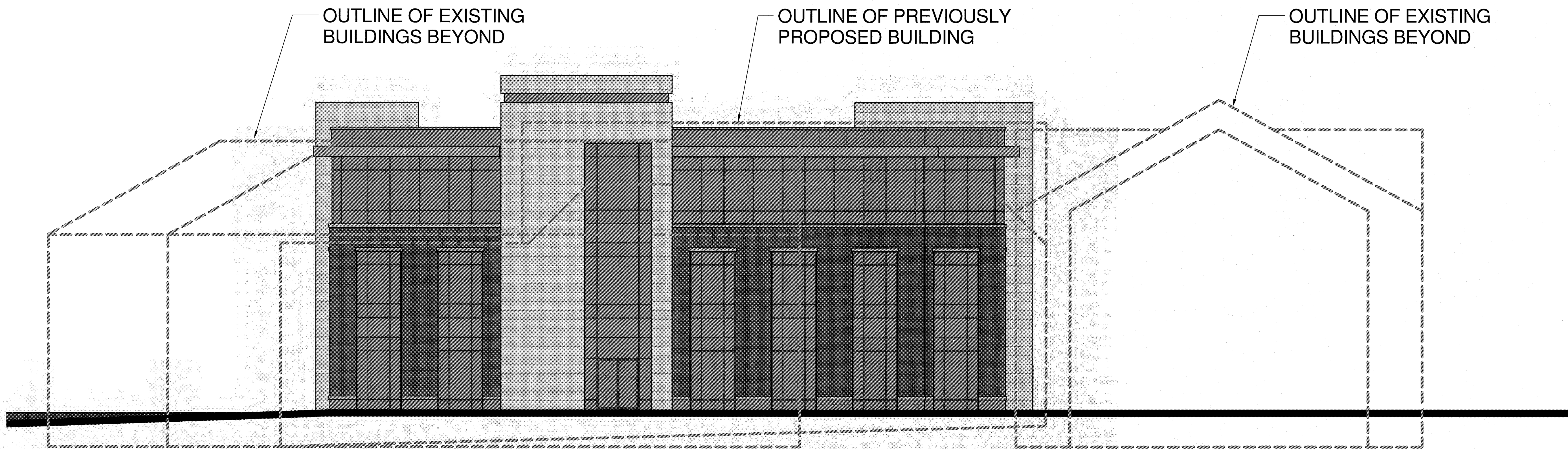
3  
A3 View from South



4  
A3 View from West

**CONCEPT DESIGN**  
FINAL DESIGN TO BE SUBMITTED  
FOR SITE PLAN APPROVAL





1 North Elevation Diagram  
A4 1/8" = 1'-0"

**CONCEPT DESIGN**

FINAL DESIGN TO BE SUBMITTED  
FOR SITE PLAN APPROVAL

Revisions

HMH Job Number  
14035

Drawn By  
TT

Date  
08.11.14

Drawing  
Elevation Diagram

**A4**