

SHADOW GREEN PUD SUBDIVISION DEVELOPMENT PLAN

TAX MAP 090, PARCEL 02800

OWNER

BARBARA HOLT
208 ASHEBORO PLACE
FRANKLIN, TN 37064

DEVELOPER

CLAYTON PROPERITES GROUP, INC.
DBA GOODALL HOMES
393 MAPLE STREET, SUITE 100
GALLATIN, TN 37066
CONTACT: MAVERICK GREEN
EMAIL: mgreen@goodallhomes.com

APPLICANT/ LANDSCAPE ARCHITECT

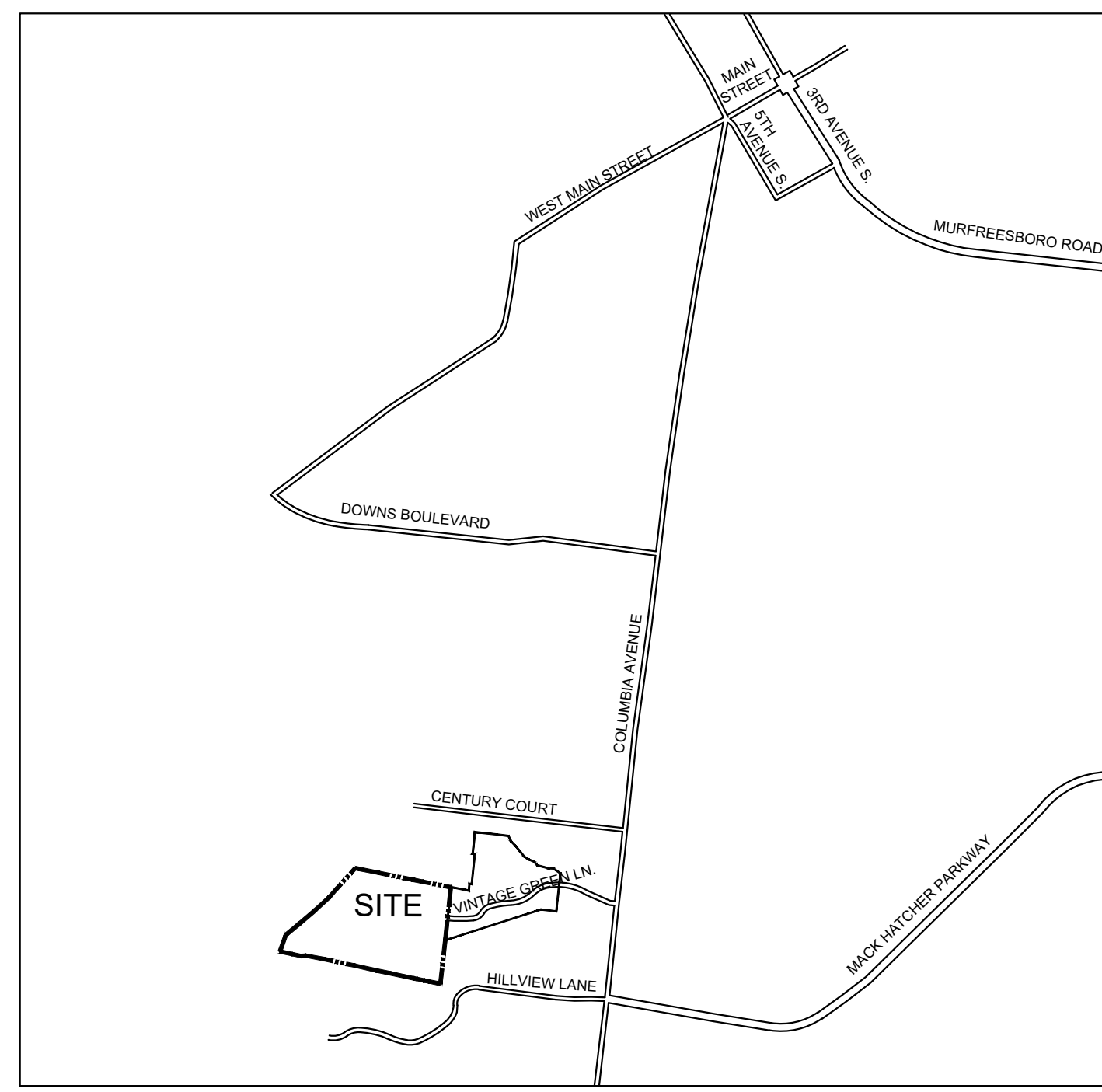
GAMBLE DESIGN COLLABORATIVE, LLC
144 SOUTHEAST PARKWAY, SUITE 200
FRANKLIN TN 37064
CONTACT: GREG GAMBLE, RLA
EMAIL: greggamble209@gmail.com
PHONE: 615.975.5765

CIVIL ENGINEER

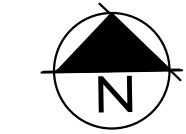
RAGAN-SMITH
315 WOODLAND STREET
NASHVILLE, TN 37206
CONTACT: JACOB VINCENT, P.E.
EMAIL: jvincent@ragansmith.com
PHONE: 615.244.8159

SURVEYOR

BYRD SURVEYING, INC.
230 WEST DUNBAR CAVE ROAD
P.O. BOX 31392
CLARKSVILLE, TN 37040
CONTACT: MIKE PAYNE, RLS
EMAIL: mpayne@byrdsurveying.com
PHONE: 615.733.3131



VICINITY MAP

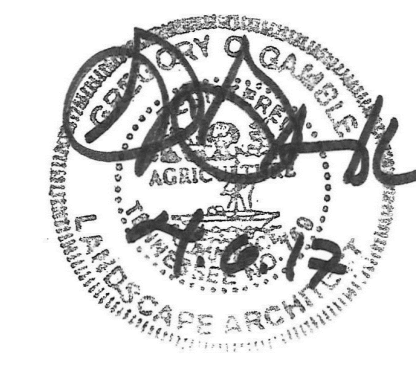


SCALE 1" = 2000'

5TH CIVIL DISTRICT OF WILLIAMSON COUNTY
CITY OF FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

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COF# 6389

MARCH 13, 2017

Revisions

1. April 6, 2017



GAMBLE
DESIGN COLLABORATIVE
DEVELOPMENT PLANNING AND
LANDSCAPE ARCHITECTURE
greggamble209@gmail.com



SITE DATA:

PROJECT NAME:	SHADOW GREEN DEVELOPMENT PLAN
PROJECT NUMBER:	6389
SUBDIVISION:	SHADOW GREEN PUD
LOT NUMBER:	N/A
ADDRESS:	1152 HILLVIEW LANE
CITY:	FRANKLIN
COUNTY:	WILLIAMSON
STATE:	TENNESSEE
CIVIL DISTRICT:	5TH CIVIL DISTRICT
EXISTING ZONING:	LI
PROPOSED ZONING:	SD-R (5.0), ER
CHARACTER AREA OVERLAY:	SOCD07
OTHER APPLICABLE OVERLAYS:	HHO / HHO 500' BUFFER
APPLICABLE DEVELOPMENT STANDARD:	CONVENTIONAL
ACREAGE OF SITE:	52.54 AC TOTAL 36.71 AC TRACT 1 15.83 AC TRACT 2
MINIMUM REQUIRED SETBACK LINES:	FRONT: 10' SIDE: 0'-6" REAR: 0'-20'
OWNER:	BARBARA HOLT
ADDRESS:	208 ASHEBORO PLACE FRANKLIN, TN 37064
APPLICANT:	GAMBLE DESIGN COLLABORATIVE
ADDRESS:	144 SOUTHEAST PARKWAY SUITE 200 FRANKLIN, TN 37064
CONTACT:	GREG GAMBLE
PHONE:	615.975.5765
EMAIL ADDRESS:	greggambledesign@gmail.com
BUILDING SQUARE FOOTAGE:	N/A
BUILDING HEIGHT:	3 STORIES
LANDSCAPE SURFACE RATIO:	.53 / 14.52 AC PROVIDED
MINIMUM LANDSCAPE SURFACE RATIO:	.20 / 5.48 AC REQUIRED
MINIMUM PARKING REQUIREMENT:	408 SPACES 1 BEDROOM = 1.5 SPACES 2 BEDROOM = 2.5 SPACES 3 BEDROOM = 3 SPACES SEE PARKING CHART C2.0
MAXIMUM PARKING LIMIT:	SEE PARKING CHART C2.0
PARKING PROVIDED:	5.0 DUA
RESIDENTIAL DENSITY:	12.25 AC (33% OF TOTAL SITE)
TREE CANOPY:	FEES IN LIEU
PARKLAND (IF APPLICABLE):	(35x1200 SF) + (147 x 600 SF) = 130,200 SF
OPEN SPACE:	OPEN SPACE ACREAGE REQUIRED: 15% (4.11 AC) FORMAL OPEN SPACE REQUIRED: 34% (1.40 AC) INFORMAL OPEN SPACE REQUIRED: 66% (2.71 AC)
OVERALL DENSITY:	5.0 DUA 6.64 DUA
NET DENSITY (MINUS ROW):	12.10 UNITS/AC
NET DENSITY (MINUS ROW AND OVERLAY):	22 TOWN HOMES
NUMBER OF RESIDENTIAL UNITS BY USE TYPE:	10 BIG HOUSE BUILDINGS (16 CONDOS EACH) 6 1-BEDROOM CONDOS PER BIG HOUSE 10 2-BEDROOM CONDOS PER BIG HOUSE
NONRESIDENTIAL SQUARE FOOTAGE:	N/A
TOTAL ACREAGE BY USE, ENTIRE SITE:	15.55 AC OPEN SPACE 9.42 AC ROW 11.74 AC RESIDENTIAL LOTS

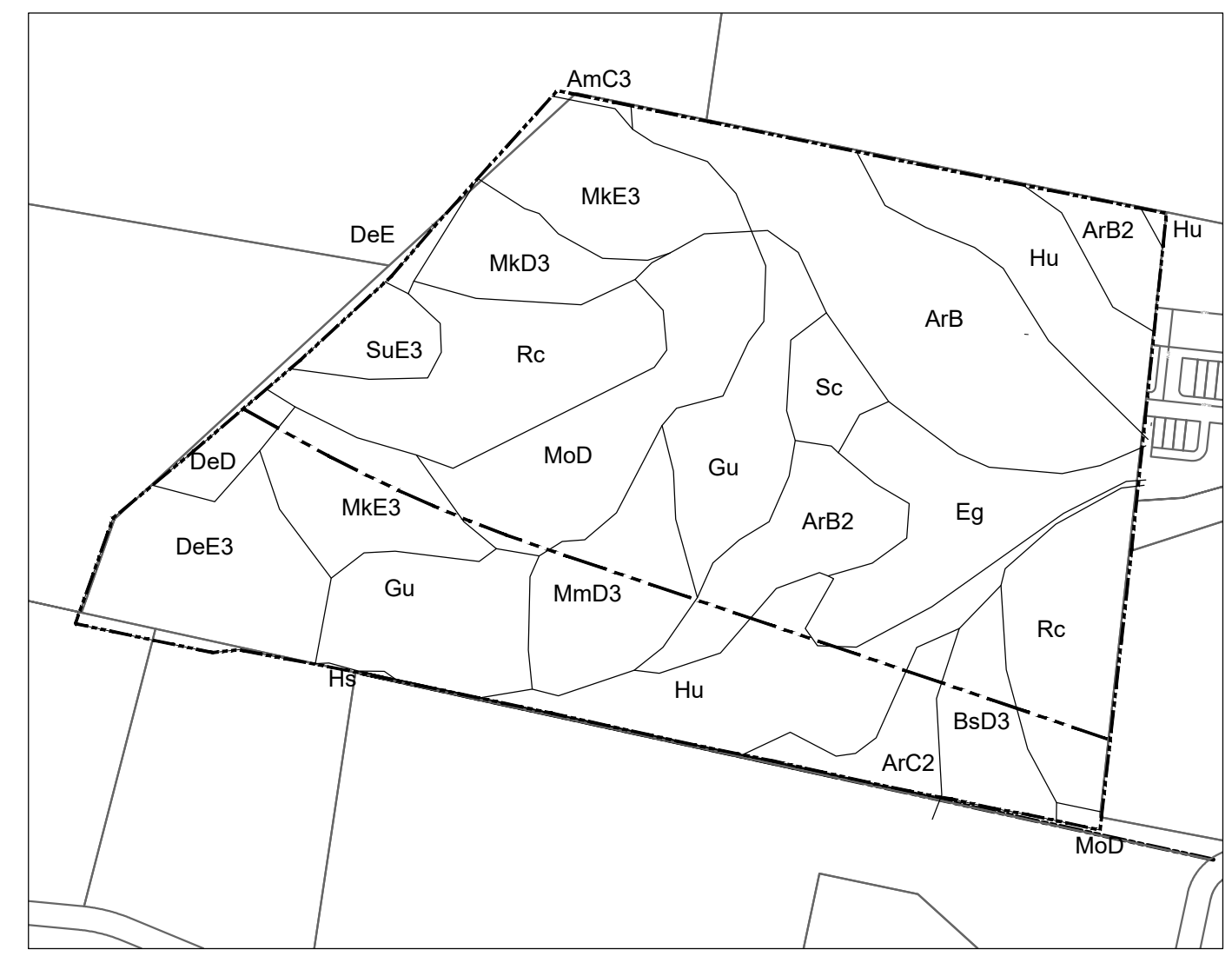
EXISTING TREE CANOPY

TRACT 1 OVERALL AREA = 1,642,647 SF, 37.71 AC			
TREE AREA	EXISTING	REMOVED	RETAINED
TREE A	507,014 SF	124,030 SF	382,984 SF
TREE B	26,377 SF	1,364 SF	25,013 SF
TOTAL SF	533,391 SF	125,394 SF	407,997 SF
TOTAL ACRES	12.25 AC	2.88 AC	9.37 AC
TREE CANOPY DATA:			
TOTAL EXISTING TREE CANOPY: 533,391 (33% OF TRACT 1)			
REQUIRED CANOPY PRESERVATION: 24%			
24% X 12.25 AC TOTAL CANOPY = 128,066 SF, 2.94 AC			
PROVIDED TREE CANOPY PRESERVATION: 407,997 SF, 9.37 AC (76% OF EXISTING CANOPY)			

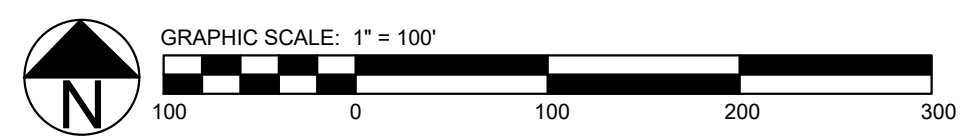
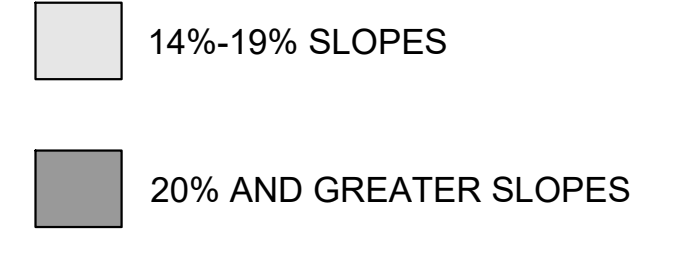
SPECIMEN TREES

Point	Description	Status	Point	Description	Status
1	30' HACKBERRY	TRACT 2	61	24' WALNUT	ROW
2	30' WHITE OAK	TRACT 2	62	26' WALNUT	ROW
3	24' HICKORY	TRACT 2	63	26' LOCUST	ROW
4	24' WHITE OAK	TRACT 2	64	24' BOX ELDER	REMOVED
5	30' WHITE OAK	TRACT 2	65	28' HACKBERRY	REMOVED
6	28' WHITE OAK	TRACT 2	66	28' ELM	TRACT 2
7	24' BEECH	TRACT 2	67	29' WHITE OAK	ROW
8	30' WHITE OAK	TRACT 2	68	29' WHITE OAK	ROW
9	28' WHITE OAK	TRACT 2	69	31' WHITE OAK	ROW
10	27' WHITE OAK	TRACT 2	70	40' ASH	ROW
11	28' BEECH	TRACT 2	71	27' WHITE OAK	ROW
12	26' HICKORY	TRACT 2	72	25' WHITE OAK	ROW
13	26' HICKORY	TRACT 2	73	25' RED OAK	ROW
14	23' WHITE OAK	ROW	74	26' WHITE OAK	ROW
15	23' WHITE OAK	ROW	75	24' WHITE OAK	ROW
16	30' WHITE OAK	ROW	76	25' RED OAK	ROW
17	42' RED OAK	TRACT 2	77	24' WHITE OAK	ROW
18	48' RED OAK	TRACT 2	78	24' WHITE OAK	ROW
19	29' RED OAK	TRACT 2	79	25' WHITE OAK	ROW
20	29' RED OAK	TRACT 2	80	28' WHITE OAK	ROW
21	24' WHITE OAK	TRACT 2	81	40' TWIN WHITE OAK	ROW
22	46' RED OAK	TRACT 2	82	24' WHITE OAK	ROW
23	40' POPLAR	TRACT 2	83	24' WHITE OAK	ROW
24	26' HACKBERRY	TRACT 2	84	28' WHITE OAK	ROW
25	28' HACKBERRY	TRACT 2	85	25' WHITE OAK	ROW
26	24' WALNUT	TRACT 2	86	24' WHITE OAK	ROW
27	24' BEECH	TRACT 2	87	26' WHITE OAK	ROW
28	30' CRAB APPLE	TRACT 2	88	36' WHITE OAK	ROW
29	25' BEECH	TRACT 2	89	26' ASH	ROW
30	30' HACKBERRY	TRACT 2	90	42' WHITE OAK	ROW
31	25' HACKBERRY	ROW	91	25' WHITE OAK	ROW
32	35' WALNUT	ROW	92	35' WHITE OAK	ROW
33	26' BEECH	TRACT 2	93	45' WHITE OAK	ROW
34	28' HACKBERRY	TRACT 2	94	27' WHITE OAK	ROW
35	25' HACKBERRY	TRACT 2	95	24' ASH	ROW
36	24' LOCUST	REMOVED	96	30' WHITE OAK	ROW
37	57' DOUBLE ASH	REMOVED	97	27' ASH	ROW
38	30' WALNUT	TRACT 2	98	25' WHITE OAK	ROW
39	25' WHITE OAK	TRACT 2	99	26' WHITE OAK	ROW
40	36' HACKBERRY	TRACT 2	100	24' WALNUT	ROW
41	32' HACKBERRY	TRACT 2	101	24' WHITE OAK	REMOVED
42	28' HACKBERRY	TRACT 2	102	26' ASH	REMOVED
43	24' WALNUT	TRACT 2	103	30' WHITE OAK	REMOVED
44	26' HACKBERRY	TRACT 2	104	25' WHITE OAK	ROW
45	32' HACKBERRY	TRACT 2	105	26' WHITE OAK	REMOVED
46	40' LOCUST	TRACT 2	106	24' HICKORY	REMOVED
47	24' WALNUT	TRACT 2	107	25' WHITE OAK	REMOVED
48	25' WALNUT	TRACT 2	108	30' WHITE OAK	ROW
49	25' HACKBERRY	TRACT 2	109	28' SUGAR MAPLE	REMOVED
50	25' LOCUST	TRACT 2	110	26' WHITE OAK	REMOVED
51	26' LOCUST	TRACT 2	111	24' CEDAR	ROW
52	32' LOCUST	TRACT 2	112	25' CEDAR	ROW
53	30' HACKBERRY	TRACT 2	113	26' CEDAR	ROW
54	24' LOCUST	TRACT 2	114	30' HACKBERRY	ROW
55	25' WALNUT	TRACT 2			
56	27' WALNUT	TRACT 2			
57	25' HACKBERRY	TRACT 2			

*ROW DENOTES TREES LOCATED IN FUTURE ROWS OF MACK HATCHER AND THE CONNECTOR ROAD

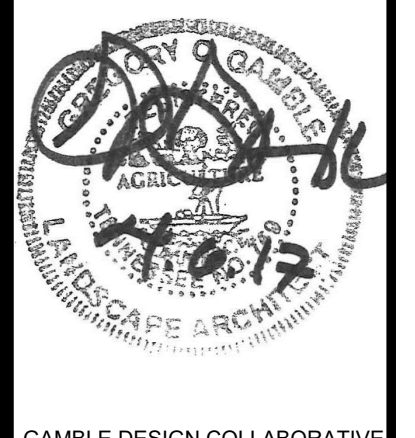


SLOPE ANALYSIS KEY:



BOUNDARY AND TOPOGRAPHY SURVEY PROVIDED BY:
 BYRD SURVEYING, INC.
 MIKE PAYNE, RLS
 615.733.3131
 230 WEST DUNBAR CAVE ROAD
 P.O. BOX 31392
 CLARKSVILLE, TN 37040

SHADOW GREEN PUD SUBDIVISION
 DEVELOPMENT PLAN
 TAX MAP 90, PARCEL 28
 FRANKLIN, TENNESSEE



GAMBLE DESIGN COLLABORATIVE
 144 SOUTHEAST PARKWAY
 SUITE 200
 FRANKLIN, TENNESSEE 37064
 GREG GAMBLE
 greggambledesign@gmail.com
 615.975.5765

ISSUED: MARCH 13, 2017

Revision Date:

04.06.2017

SITE DATA:

PROJECT NAME: SHADOW GREEN DEVELOPMENT PLAN
 PROJECT NUMBER: 6389
 SUBDIVISION: SHADOW GREEN PUD
 LOT NUMBER: N/A
 ADDRESS: 1152 HILLVIEW LANE
 CITY: FRANKLIN
 COUNTY: WILLIAMSON
 STATE: TENNESSEE
 CIVIL DISTRICT: 5TH CIVIL DISTRICT

EXISTING ZONING: LI
 PROPOSED ZONING: SD-R (5.0), ER
 SOCCO7
 CHARACTER AREA OVERLAY: HHO, HHO 500' BUFFER
 OTHER APPLICABLE OVERLAYS:
 APPLICABLE DEVELOPMENT STANDARD: CONVENTIONAL
 ACREAGE OF SITE: 52.54 AC TOTAL
 36.71 AC TRACT 1
 15.83 AC TRACT 2

MINIMUM REQUIRED SETBACK LINES:
 FRONT: 10'
 SIDE: 0-6'
 REAR: 0-20'

OWNER: BARBARA HOLT
 ADDRESS: 208 ASHEBORO PLACE
 FRANKLIN, TN 37064

APPLICANT: GREG GAMBLE
 ADDRESS: 144 SOUTHEAST PARKWAY
 SUITE 200
 FRANKLIN, TN 37064
 CONTACT: GREG GAMBLE
 PHONE: 615.975.5765
 EMAIL ADDRESS: greggamble209@gmail.com

BUILDING SQUARE FOOTAGE: N/A
 BUILDING HEIGHT: 3 STORIES
 LANDSCAPE SURFACE RATIO: 53 / 14.52 AC PROVIDED
 MINIMUM LANDSCAPE SURFACE RATIO: 20 / 5.48 AC REQUIRED
 MINIMUM PARKING REQUIREMENT: 406 SPACES
 1 BEDROOM = 1.5 SPACES
 2 BEDROOM = 2.5 SPACES
 3 BEDROOM = 3 SPACES
 SEE PARKING CHART C2.0
 SEE PARKING CHART C2.0
 RESIDENTIAL DENSITY: 5.0 DUA
 TREE CANOPY: 12.25 AC (33% OF TRACT 1)
 PARKLAND (IF APPLICABLE): FEES IN LIEU
 (35x1200 SF) + (147 x 600 SF) = 130,200 SF

OPEN SPACE:
 OPEN SPACE ACREAGE REQUIRED: 15% (4.11 AC)
 FORMAL OPEN SPACE REQUIRED: 34% (1.40 AC)
 INFORMAL OPEN SPACE REQUIRED: 66% (2.71 AC)

OVERALL DENSITY: 5.0 DUA
 NET DENSITY (MINUS ROW): 6.64 DUA
 NET DENSITY (MINUS ROW AND OVERLAY): 12.10 UNITS/AC
 NUMBER OF RESIDENTIAL UNITS BY USE TYPE:
 22 TOWN HOMES
 10 BIG HOUSE BUILDINGS (16 CONDOS EACH)
 6 1-BEDROOM CONDOS PER BIG HOUSE
 10 2-BEDROOM CONDOS PER BIG HOUSE

NONRESIDENTIAL SQUARE FOOTAGE: N/A
 TOTAL ACREAGE BY USE, ENTIRE SITE:
 15.55 AC OPEN SPACE
 9.42 AC ROW
 11.74 AC RESIDENTIAL LOTS

STATEMENT OF IMPACTS

WATER FACILITIES
 WATER SERVICE WILL BE PROVIDED BY THE CITY OF FRANKLIN WATER SERVICES. THE WATER MAIN IS LOCATED ALONG THE EASTERN PROPERTY BOUNDARY.
 182 UNITS * 350 GPD = 63,700 GPD

SEWER FACILITIES
 SEWER SERVICE WILL BE PROVIDED BY THE CITY OF FRANKLIN. SEWER MAIN WILL CONNECT ALONG THE EASTERN PROPERTY BOUNDARY.
 NOT AVAILABLE TO THIS SITE.

REPURIFIED (REUSE) WATER FACILITIES
 NOT AVAILABLE TO THIS SITE.

STREET NETWORK
 THE PROPOSED EXTENSION OF MACK HATCHER PARKWAY IS SHOWN TRaversing THIS PROPERTY, AND THIS ALIGNMENT PLAYED A LARGE ROLE IN THE DEVELOPMENT OF THE MASTER PLAN DESIGN. AS A PART THIS PUD, GOODALL HOMES INITIATED A STUDY OF THE MACK HATCHER ALIGNMENT BY CDM SMITH, WHICH AS BEEN ACCEPTED BY TDDT. THIS FUNCTIONAL ALIGNMENT SERVES AS THE EDGE OF TEH PUD BOUNDARY AND DIVISION LINE BETWEEN TRACTS 1 AND 2. THE LOCAL ROAD NETWORK FROM THROUGH THE GREEN (VINTAGE GREEN LANE AND SHADOW GREEN DRIVE) EXTEND THROUGH THIS PROPERTY AND EVENTUALLY PROVIDE A CONNECTION TO FUTURE MACK HATCHER PARKWAY, AS DIRECTED BY THE CONNECT FRANKLIN PLAN. THE CDM SMITH STUDY ALSO ESTABLISHED THE LOCATION WHERE THE LOCAL ROAD NETWORK PROPOSED IN TEH SHADOW GREEN PUD COULD CONNECT TO MACK HATCHER, AS A PART OF THE CONSTRUCTION OF THIS PUD, GOODALL HOMES SHALL BE GRADING THIS FUTURE CONNECTION ROAD.

DRAINAGE FACILITIES
 A STORM SEWER NETWORK SHALL COLLECT STORMWATER RUNOFF FROM THE STREETS AND OTHER IMPERVIOUS SURFACES. THE WATER SHALL BE TREATED BY USE OF A GREEN INFRASTRUCTURE PRACTICE PRIOR TO DISCHARGE TO A DETENTION FACILITY FOR ATTENUATION. THE SITE SHALL DISCHARGE NEAR THE SOUTHEASTERN CORNER OF THE PROPERTY. POST DEVELOPED PEAK FLOWS SHALL BE REDUCED TO THAT OF PRE-DEVELOPED PEAK FLOWS.

POLICE, FIRE, AND RECREATIONAL FACILITIES
 NEAREST POLICE STATION: 2.3 MI (900 COLUMBIA AVE.)
 NEAREST FIRE STATION: 1.2 MI (STATION NO. 5, 215 NOAH DR.)
 NEAREST RECREATIONAL FACILITY: 0.6 MI (WINSTEAD HILL PARK, 4023 COLUMBIA AVE.)

PROJECTED STUDENT POPULATION
 182 * 0.23 = 42 STUDENTS

REFUSE STORAGE AND SANITATION COLLECTION FACILITIES
 TOWNHOMES TO BE ROLL OUT TRASH CAN. REFUSE COLLECTION SERVICE WILL BE PROVIDED BY THE CITY OF FRANKLIN SOLID WASTE. A DUMPSTER WILL ALSO BE PROVIDED TO SERVE THE BIG HOUSE CONDO UNITS.

RESTRICTIVE COVENANTS
 THE SHADOW GREEN PUD WILL JOIN THE EXISTING SHADOW GREEN HOMEOWNERS ASSOCIATION. THE HOA WILL REGULATE ARCHITECTURAL STANDARDS AND MAINTENANCE OF THE COMMUNITY AS WELL AS MAINTAIN ALL COMMON OPEN SPACE, RECREATIONAL AREAS, AND TOWNHOME YARDS.

LAND USE PLAN COMPLIANCE:
 CHARACTER AREA OVERLAY: SOCCO7
 ENVISION FRANKLIN: MIXED RESIDENTIAL / CONSERVATION

THE CURRENT BASE ZONE OF LIGHT INDUSTRIAL IS NOT CONSISTENT WITH THE LAND USE PLAN OR ENVISION FRANKLIN. THE CHARACTER OF THIS AREA SUPPORTS A RESIDENTIAL USE. THE HILLSIDE HHO ZONE AND ROW OF FUTURE MACK HATCHER HAVE CREATED FIRM DEVELOPMENT BOUNDARIES FOR THE RESIDENTIAL DEVELOPMENT.

THE SHADOW GREEN PUD WAS DESIGNED AS AN EXTENSION OF THE SHADOW GREEN TOWNHOME COMMUNITY IN THE THROUGH THE GREEN PUD. THE SAME ARCHITECTURALLY DIVERSE TOWNHOMES CONTINUE INTO THE SHADOW GREEN PUD AND WRAP AROUND THE COMMUNITY'S AMENITY AREA, WHICH WILL INCLUDE A POOL AND CABANA. EXTENDING OUT FROM THIS RING OF TOWNHOMES IS A SERIES OF BIG HOUSE RESIDENTIAL BUILDINGS. DESIGNED TO APPEAR MORE LIKE A LARGE ESTATE HOME. EACH ARCHITECTURALLY DIFFERENT BIG HOUSE BUILDING CONTAINS 1 AND 2 BEDROOM CONDO UNITS. PEDESTRIAN CONNECTIVITY THROUGH THIS DEVELOPMENT AND BACK TO THE ESTABLISHED PEDESTRIAN NETWORK IN THROUGH THE GREEN WAS ALSO A KEY DESIGN ELEMENT.

WHILE THE APPLICANT WAS WORKING THROUGH THIS MASTER PLAN, THE ENVISION FRANKLIN WAS ADOPTED. LABELED AS MIXED RESIDENTIAL, THE DESIGN ELEMENTS REMAIN LARGELY CONSISTENT AND FURTHER ENFORCE THE CONCEPTS OF BEING COMPATIBLE WITH THE EXISTING DEVELOPMENT CHARACTER OF EXISTING STREETS AND NEIGHBORHOODS, SUCH AS THE THROUGH THE GREEN NEIGHBORHOOD. BIG HOUSES ARE PUSHED TO THE EDGE OF THE DEVELOPMENT ADJACENT TO MACK HATCHER, WHICH SERVES AS THE PHYSICAL BOUNDARY FOR MIXED RESIDENTIAL. KEY ELEMENTS SUCH AS ARCHITECTURAL VARIETY, PEDESTRIAN CONNECTIVITY AND HOUSING CHOICE ARE HIGHLIGHTED BY MIXED RESIDENTIAL AND FEATURED IN THIS DEVELOPMENT.

TRACT 2 IS PROPOSED TO BE ZONED ESTATE RESIDENTIAL, WHICH IS TO BE CONSISTENT WITH THE ER PROPERTIES ADJACENT TO IT.

**SHADOW GREEN PUD SUBDIVISION
 DEVELOPMENT PLAN**
 TAX MAP 90, PARCEL 28
 FRANKLIN, TENNESSEE



GAMBLE DESIGN COLLABORATIVE
 144 SOUTHEAST PARKWAY
 SUITE 200
 FRANKLIN, TENNESSEE 37064
 GREG GAMBLE
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ISSUED: MARCH 13, 2017

Revision Date: 04.06.2017

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PHASING
 6 PHASES ARE PROPOSED:
 PHASE 1: 22 TOWN HOMES
 1 BIG HOUSE BUILDING
 AMENITY / POOL
 PHASE 2: 1 BIG HOUSE BUILDING
 PHASE 3: 1 BIG HOUSE BUILDING
 PHASE 4: 2 BIG HOUSE BUILDINGS
 PHASE 5: 2 BIG HOUSE BUILDINGS
 PHASE 6: 3 BIG HOUSE BUILDINGS

OPEN SPACE REQUIREMENT CHART

MINIMUM OPEN SPACE REQUIREMENT: 15%
 15% * 27.42 AC (TOTAL AREA MINUS RESERVED R.O.W.s) = 4.11 AC / 179,032 SF
 NOTE: 34% OF OPEN SPACE IS FORMAL = 1.40 AC / 60,984 SF
 66% OF OPEN SPACE IS INFORMAL = 2.71 AC / 118,048 SF

KEY	CLASSIFICATION	TYPE	AREA (SF)
100	FORMAL	POOL / AMENITY	45,155
101	FORMAL	PARK	19,242
102	INFORMAL	PRESERVATION	318,195
103	INFORMAL	PARK	297,459

TREE CANOPY RETENTION

TRACT 1
 OVERALL AREA = 1,642,647 SF, 37.71 AC

TREE AREA	EXISTING	REMOVED	RETAINED
TREE A	907,014 SF	124,030 SF	382,984 SF
TREE B	26,377 SF	1,364 SF	25,013 SF

TOTAL SF: 533,391 SF / 12.25 AC
 TOTAL ACRES: 12.25 AC

TOTAL EXISTING TREE CANOPY: 533,391 (33% OF TRACT 1)
 REQUIRED CANOPY PRESERVATION: 24%
 24% X 12.25 AC TOTAL CANOPY = 128,066 SF, 2.94 AC
 PROVIDED TREE CANOPY PRESERVATION: 407,997 SF, 9.37 AC
 (76% OF EXISTING CANOPY)

PROVIDED PARKING

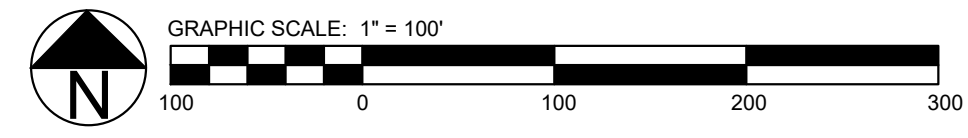
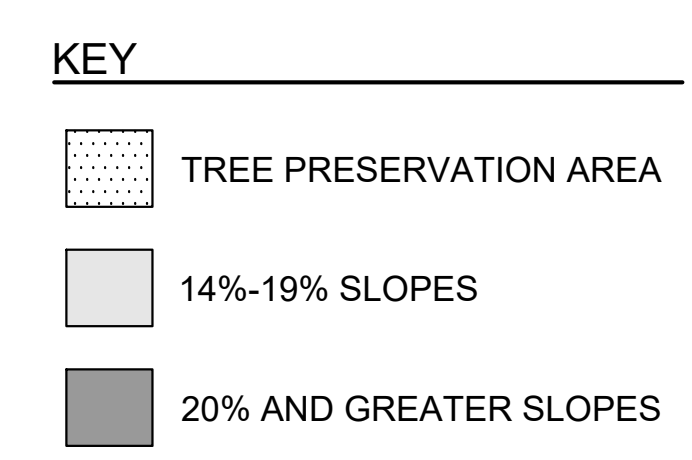
REQUIRED:
 1 BEDROOM = 1.5 SPACES
 2 BEDROOM = 2.5 SPACES
 3 BEDROOM = 3 SPACES

REQUIRED PARKING BREAKDOWN
 TOWN HOME:
 TOTAL UNITS: 22
 REQUIRED SPACES PER UNIT: 3
 TOTAL REQUIRED SPACES: 66

BIG HOUSE:
 TOTAL BUILDINGS: 10
 TOTAL UNITS: 16 UNITS PER BUILDING
 6 1-BEDROOM CONDOS, 10 2-BEDROOM CONDOS
 REQUIRED SPACES PER BUILDING: 34 SPACES
 1.5 SPACES X 6 = 9
 2.5 SPACES X 10 = 25
 TOTAL REQUIRED SPACES: 340

TOTAL REQUIRED PARKING: 406 SPACES
 TOTAL PROVIDED PARKING: 431 SPACES
 TOWN HOME GARAGE: 22
 TOWN HOME TANDEM SPACES: 33 (20' MINIMUM LENGTH)
 BIG HOUSE GARAGE: 60
 BIG HOUSE TANDEM SPACES: 60 (20' MINIMUM LENGTH)
 OFF-STREET PARKING: 179
 ON-STREET PARKING: 77
 TOTAL MAXIMUM PARKING LIMIT: 447 (10% OF REQUIRED)

*NOTE: SIDEWALKS ADJACENT TO ON-STREET PARKING ARE 7' WIDTH



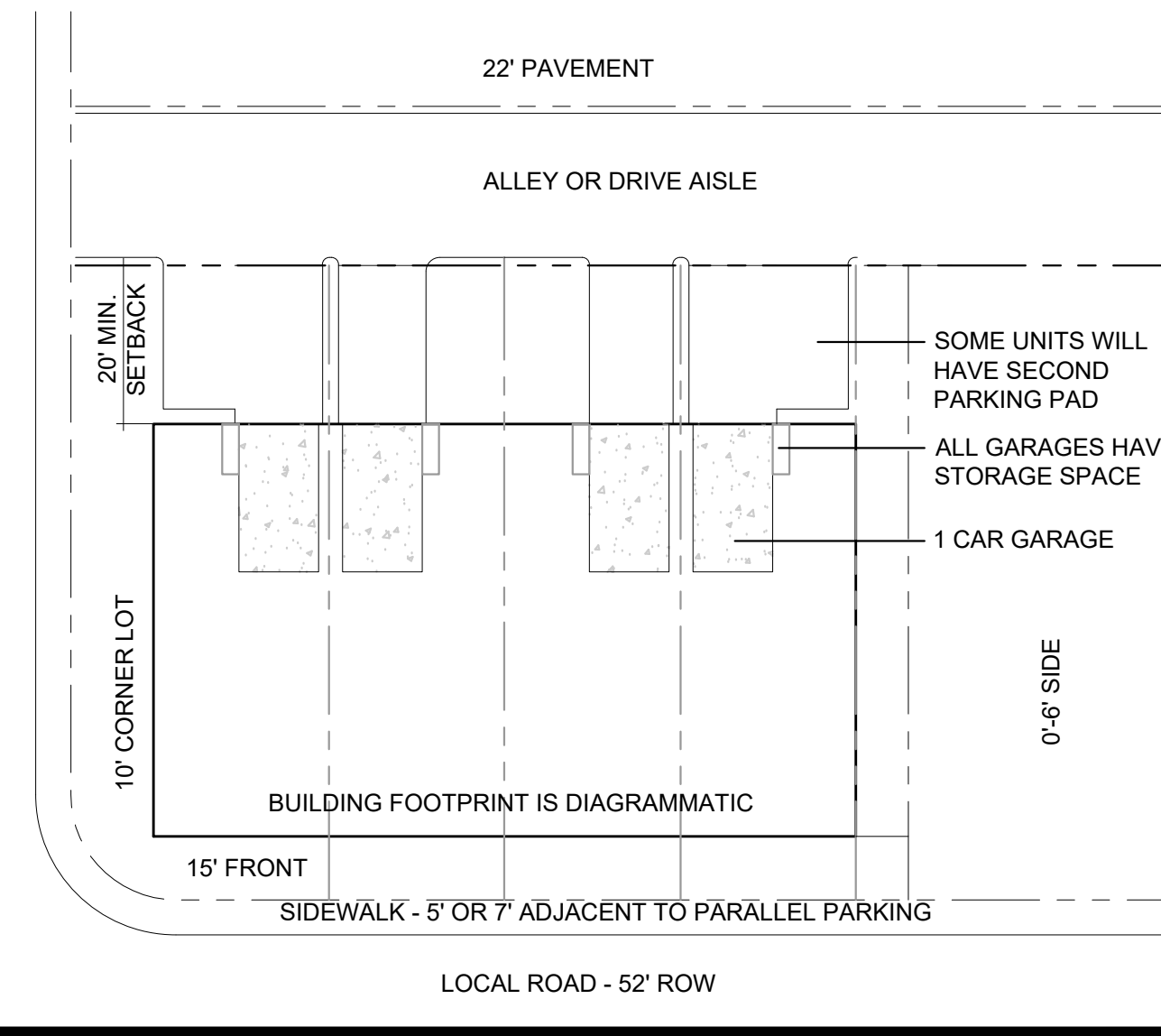
LOCAL COMPATIBILITY
 THE DEVELOPMENT AREA IS A COMPACT SECTION OF THE PROPERTY BOUND BY FUTURE MACK HATCHER PARKWAY AND HHO OVERLAYS WHICH CREATES A NATURAL BUFFER TO ADJACENT PROPERTIES. THIS DEVELOPMENT UTILIZES THE SAME TOWN HOME DEVELOPMENT PATTERN AS THE NEIGHBORS TO THE EAST.

DESIGN CONCEPT
 DESIGNED AS AN EXTENSION OF THE EXISTING SHADOW GREEN TOWN HOME COMMUNITY, THIS DEVELOPMENT PLAN INCLUDES THE ADDITION OF A "BIG HOUSE" STYLE RESIDENTIAL BUILDING AND AN AMENITY CENTER POOL FOR USE BY THE RESIDENTS OF THIS DEVELOPMENT AND THE EXISTING SHADOW GREEN COMMUNITY. WALKING TRAILS AND SIDEWALKS WILL CONNECT BACK INTO THROUGH THE GREEN WHICH PROMOTES RESIDENTIAL CONNECTIVITY.

ALL ATTACHED DWELLINGS ARE IN THE FORM OF TOWN HOMES AND "BIG HOUSE" BUILDINGS WHERE MULTIPLE DWELLING UNITS RESEMBLE DETACHED RESIDENTIAL. MACK HATCHER PARKWAY IS THE LIMIT OF THE PROPOSED DEVELOPMENT AREA.



TOWN HOME TYPICAL ARCHITECTURE - IMAGE OF TOWN HOMES IN EXISTING SHADOW GREEN NEIGHBORHOOD



TOWN HOME TYPICAL LOT DIAGRAM

TOWN HOME LOT STANDARDS

TYPICAL SETBACKS:

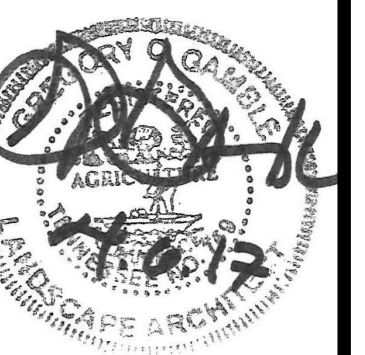
- FRONT: 15'
- SIDE: 0'-6', 12' MIN. BETWEEN BUILDINGS
- REAR: 20'

PROVIDED PARKING:

- 1 GARAGE PARKING SPACE PER UNIT
- 1 DRIVEWAY PARKING SPACE PER UNIT

SHADOW GREEN PUD SUBDIVISION
DEVELOPMENT PLAN

TAX MAP 90, PARCEL 28
FRANKLIN, TENNESSEE



GAMBLE DESIGN COLLABORATIVE
144 SOUTHEAST PARKWAY
SUITE 200
FRANKLIN, TENNESSEE 37064
GREG GAMBLE
greggamble209@gmail.com
615.975.5765

ISSUED: MARCH 13, 2017

Revision	Date
△	04.06.2017
△	
△	
△	
△	

SHEET
C2.1
TYPICAL
TOWN HOME
ARCHITECTURE



FRONT ELEVATION - OPTION 1
 SCALE: 1/8" = 1'0"

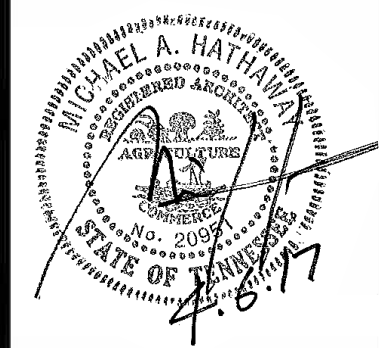


FRONT ELEVATION - OPTION 2
 SCALE: 1/8" = 1'0"



FRONT ELEVATION - OPTION 3
 SCALE: 1/8" = 1'0"

SHADOW GREEN PUD SUBDIVISION
 DEVELOPMENT PLAN
 TAX MAP 90, PARCEL 28
 FRANKLIN, TENNESSEE



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 144 SOUTHEAST PARKWAY
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 615.975.5765

ISSUED: MARCH 13, 2017

Revision Date:
△ APRIL 6, 2017
△
△
△
△

GRADING & DRAINAGE GENERAL NOTES

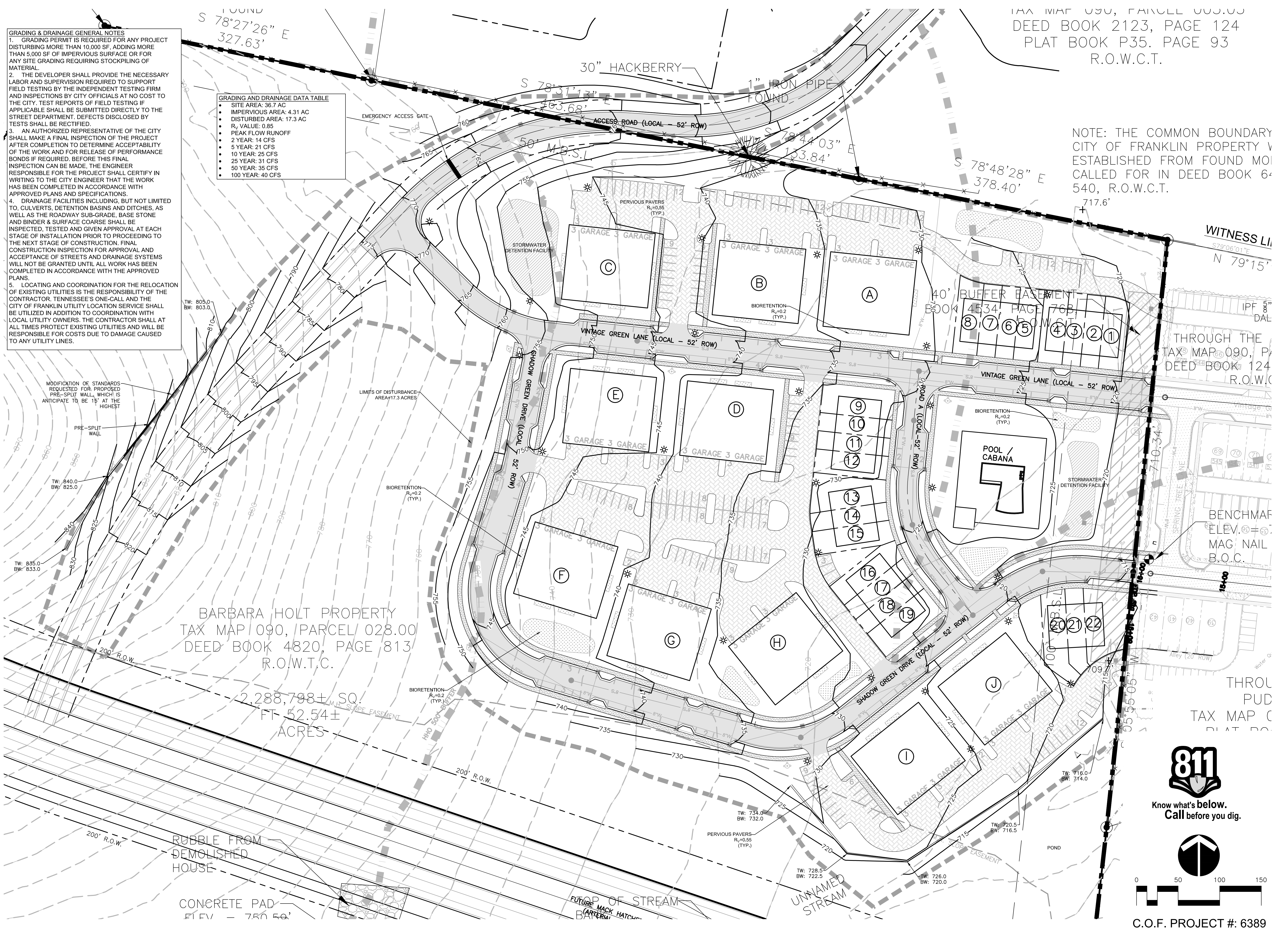
1. GRADING PERMIT IS REQUIRED FOR ANY PROJECT DISTURBING MORE THAN 10,000 SF, ADDING MORE THAN 5,000 SF OF IMPERVIOUS SURFACE OR FOR ANY SITE GRADING REQUIRING STOCKPILING OF MATERIAL.
2. THE DEVELOPER SHALL PROVIDE THE NECESSARY LABOR AND SUPERVISION REQUIRED TO SUPPORT FIELD TESTING BY THE INDEPENDENT TESTING FIRM AND INSPECTIONS BY CITY OFFICIALS AT NO COST TO THE CITY. TEST REPORTS OF FIELD TESTING IF APPLICABLE SHALL BE SUBMITTED DIRECTLY TO THE STREET DEPARTMENT. DEFECTS DISCLOSED BY TESTS SHALL BE RECTIFIED.
3. AN AUTHORIZED REPRESENTATIVE OF THE CITY SHALL MAKE A FINAL INSPECTION OF THE PROJECT AFTER COMPLETION TO DETERMINE ACCEPTABILITY OF THE WORK AND FOR RELEASE OF PERFORMANCE BONDS IF REQUIRED. BEFORE THIS FINAL INSPECTION CAN BE MADE, THE ENGINEER RESPONSIBLE FOR THE PROJECT SHALL CERTIFY IN WRITING TO THE CITY ENGINEER THAT THE WORK HAS BEEN COMPLETED IN ACCORDANCE WITH APPROVED PLANS AND SPECIFICATIONS.
4. DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, CULVERTS, DETENTION BASINS AND DITCHES, AS WELL AS THE ROADWAY SUB-GRADE, BASE, STONE AND BINDER & SURFACE COARSE SHALL BE INSPECTED, TESTED AND GIVEN APPROVAL AT EACH STAGE OF INSTALLATION PRIOR TO PROCEEDING TO THE NEXT STAGE OF CONSTRUCTION. FINAL CONSTRUCTION INSPECTION FOR APPROVAL AND ACCEPTANCE OF STREETS AND DRAINAGE SYSTEMS WILL NOT BE GRANTED UNTIL ALL WORK HAS BEEN COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS.
5. LOCATING AND COORDINATION FOR THE RELOCATION OF EXISTING UTILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR. TENNESSEE'S ONE-CALL AND THE CITY OF FRANKLIN UTILITY LOCATION SERVICE SHALL BE UTILIZED IN ADDITION TO COORDINATION WITH LOCAL UTILITY OWNERS. THE CONTRACTOR SHALL AT ALL TIMES PROTECT EXISTING UTILITIES AND WILL BE RESPONSIBLE FOR COSTS DUE TO DAMAGE CAUSED TO ANY UTILITY LINES.

GRADING AND DRAINAGE DATA TABLE

- SITE AREA: 36.7 AC
- IMPERVIOUS AREA: 4.31 AC
- DISTURBED AREA: 17.3 AC
- R_v VALUE: 0.85
- PEAK FLOW RUNOFF
- 2 YEAR: 14 CFS
- 5 YEAR: 21 CFS
- 10 YEAR: 25 CFS
- 25 YEAR: 31 CFS
- 50 YEAR: 35 CFS
- 100 YEAR: 40 CFS

1/4" MAP 090, PARCEL 003.00
DEED BOOK 2123, PAGE 124
PLAT BOOK P35. PAGE 93
R.O.W.C.T.

NOTE: THE COMMON BOUNDARY CITY OF FRANKLIN PROPERTY V ESTABLISHED FROM FOUND MO CALLED FOR IN DEED BOOK 6- 540, R.O.W.C.T.

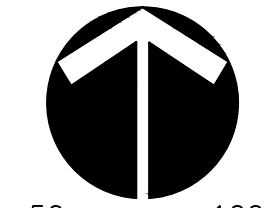


BARBARA HOLT PROPERTY
TAX MAP 090, PARCEL 028.00
DEED BOOK 4820, PAGE 813
R.O.W.C.T.

2,288,798± SQ.
FT. 52.54±
ACRES



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C.O.F. PROJECT #: 6389

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LAND PLANNERS • CIVIL ENGINEERS
LANDSCAPE ARCHITECTS • SURVEYORS

CHATTANOOGA
1500 MARKET STREET
CHATTANOOGA, TN 37402
PH: 423-244-5561
WWW.RAGANSMITH.COM



SHADOW GREEN
FOR
GOODALL HOMES

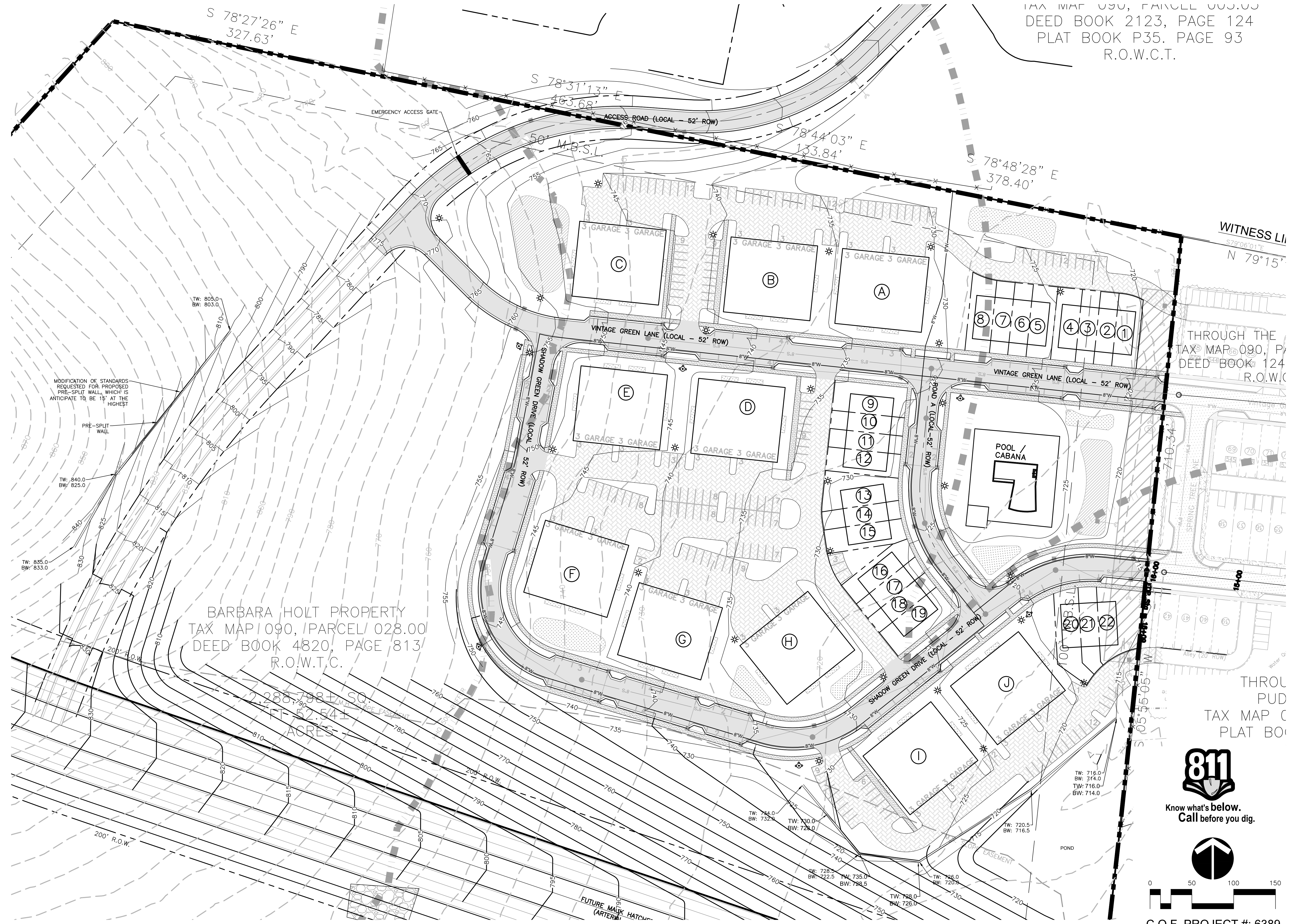
CITY OF FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

WK. ORDER	0722	DESIGNED:	MHN	SCALE:	1"=50'
JOB NO.	16155	DRAWN:	NLF	DATE:	MARCH 13, 2017
24/25/26/27 REVISIONS PER CITY COMMENTS					
REVISIONS					
GRADING AND DRAINAGE PLAN					
C3.0					

DATE PLOTTED: 03/13/2017 10:00 AM. PLOT BY: J. H. HARRIS. LAST UPDATED: 03/13/2017 10:00 AM.

1A8 MAP 090, PARCEL 003.00
 DEED BOOK 2123, PAGE 124
 PLAT BOOK P35, PAGE 93
 R.O.W.C.T.

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 NASHVILLE, TENNESSEE
 1100 BIRCHWOOD DRIVE, SUITE 300
 CHATTANOOGA, TENNESSEE 37405
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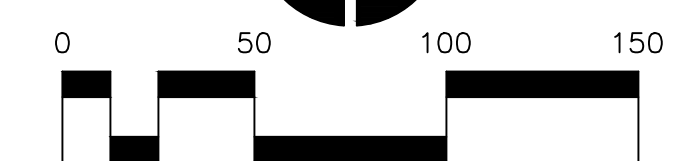
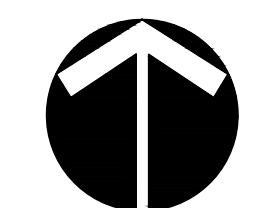


BARBARA HOLT PROPERTY
 TAX MAP 1090, PARCEL 028.00
 DEED BOOK 4820, PAGE 813
 R.O.W.C.T.

2.2887984 SQ.
 FF 52.541
 ACRES



Know what's below.
 Call before you dig.



C.O.F. PROJECT #: 6389

THROUGH THE
 PUD
 TAX MAP C
 PLAT BO

SHADOW GREEN
 FOR
GOODALL HOMES

CITY OF FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

WK. ORDER	0722
DESIGNED:	JFV
DRAWN:	MHN
SCALE:	1"=50'
DATE:	MARCH 13, 2017

MACK HATCHER
 EXHIBIT

C3.1

DATE PLOTTED: 03/13/2017 10:52:00 AM
 PLOTTED BY: TAYLOR HODGSON
 LAST UPDATED BY: JFV
 LAST UPDATED DATE: 03/13/2017 10:52:00 AM

R.O.W. & Access General Notes

1. Prior to beginning any construction, the Developer and/or Contractor, shall obtain all necessary permits as required by law. Such permits may include, but are not limited to, those required by State of Tennessee, Williamson County and other City of Franklin agencies.

2. All off-site work within the public right-of-way shall require an approved traffic control plan which complies with the MUTCD. No off-site excavation may be undertaken in any street, road, alley or right-of-way of any utility or temporary construction easement of the City of Franklin by any entity unless 72-hour notice has been given to the City of Franklin Traffic Operations Center. The contractor shall have an approved traffic control plan onsite during construction.

3. Construction materials shall be fully tested in accordance with the designations and requirements within the referenced "DOT Standard Specifications" sections, unless otherwise noted within the "Standard Specifications" section of the City of Franklin Transportation & Street Technical Standards.

4. An authorized representative of the City shall make a final inspection of the project after completion to determine acceptability of the work and for release of performance bonds if required. Before this final inspection can be made, the Engineer responsible for the project shall certify in writing to the City Engineer that the work has been completed in accordance with approved plans and specifications.

5. Locating and coordination for the relocation of existing utilities is the responsibility of the contractor. Tennessee's One-Call and the City of Franklin utility location service shall be utilized in addition to coordination with local utility owners. The contractor shall at all times protect existing utilities and will be responsible for costs due to damage caused to any utility lines.

6. All temporary striping shall conform to "Standard Specifications for Road and Bridge Construction," published by TDOT, the latest revision except as herein amended. When approved, temporary striping shall be required prior to the opening of a street for travel where pavement and/or permanent striping cannot be completed due to weather and/or time constraints.

7. Thermoplastic pavement markings should be used on all public and private City street projects. Thermoplastic traffic striping and pavement markings shall conform to Section 716.03 "Thermoplastic Pavement Markings", of the Tennessee Department of Transportation Specifications (TDOT), and to the City of Franklin Transportation & Street Technical Standards.

Shadow Green R.O.W. & Access Data Chart

Daily Trip Generation: 1,058 veh per day
Peak Hour Trip Generation: 66 veh per hour
Traffic Impact Study Required: **yes** or no
Circulation Plan Required: **yes** or no

[Street Name] Design Parameters
Franklin Transportation Street Technical Standards Edition: 2014
Design Vehicle:
Design Speed / Posted Speed: 30 mph / 25 mph
Stopping Sight Distance: 200ft
Intersection/Driveway Sight Distance: 200 ft

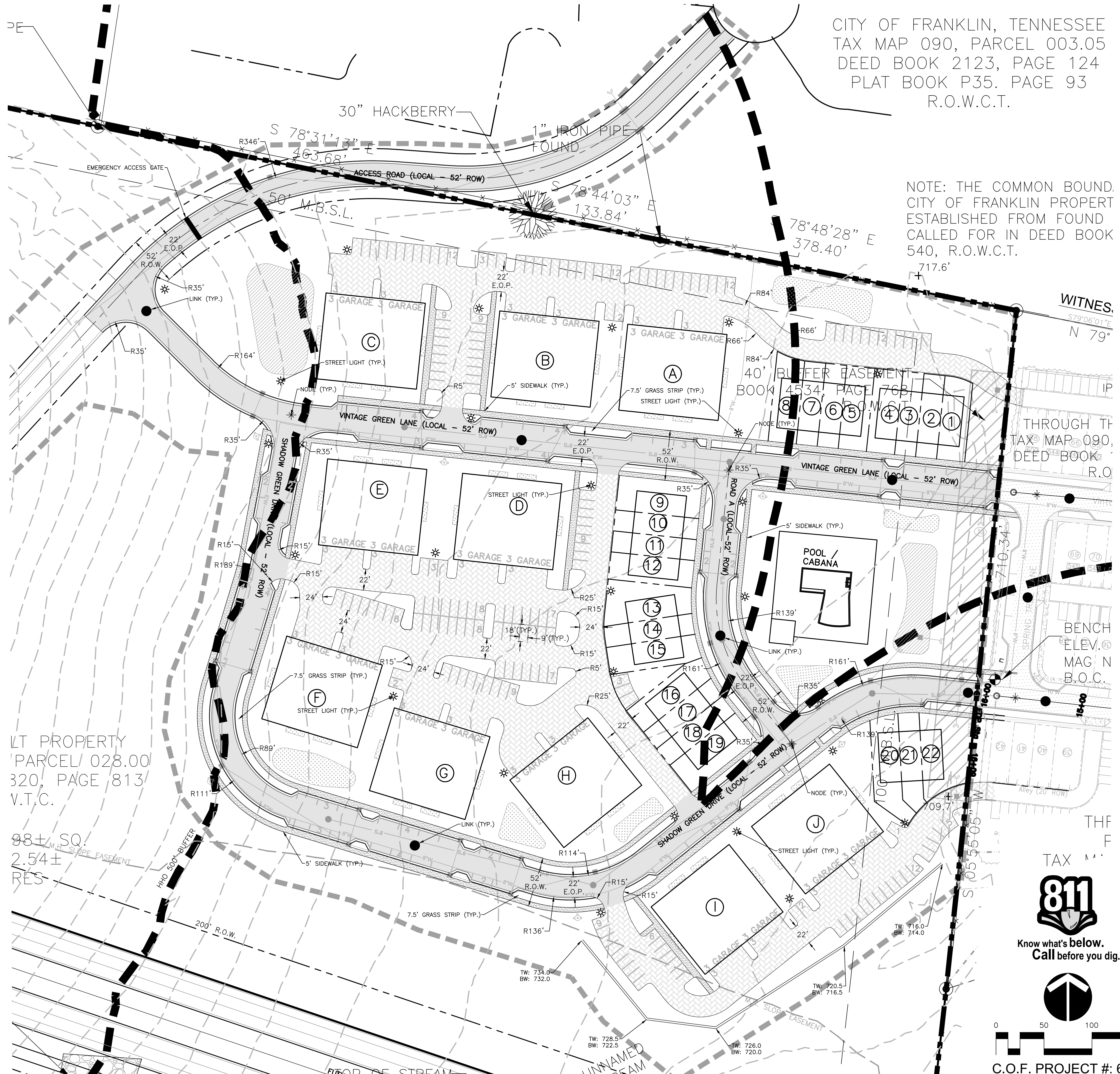
Horizontal Alignment
Min. Centerline Radius: 100 ft
Min. Tangent Between Curves/Intersections: 73 ft
Min. Centerline Arc Length: 158 ft

Vertical Alignment
Min. / Max. Centerline Grade: 1% / 10%
Max. Approach Centerline Grade: 4% for 8 ft
Min. Crest / Sag Curve K-Value: 19 / 37

Access Management
Min. Distance Between Intersection: 318 ft
Min. Distance Between high volume/alleys & Intersections: 130 ft
Min. Distance Between driveway & Intersections: N/A
Driveway Width (two-way): N/A
Driveway Approach Street Configuration: N/A

CONNECTIVITY INDEX

* NODES: 5
● LINKS: 9
9 LINKS / 5 NODES = 1.8
CONNECTIVITY INDEX = 1.8



CITY OF FRANKLIN, TENNESSEE
TAX MAP 090, PARCEL 003.05
DEED BOOK 2123, PAGE 124
PLAT BOOK P35. PAGE 93
R.O.W.C.T.

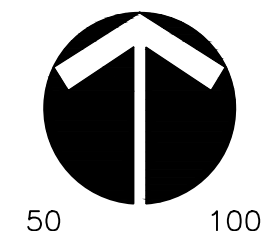
NOTE: THE COMMON BOUND.
CITY OF FRANKLIN PROPERT
ESTABLISHED FROM FOUND
CALLED FOR IN DEED BOOK
540, R.O.W.C.T.
717.6'

LT PROPERTY
PARCEL 028.00
320, PAGE 813/
V.T.C.

98± SQ.
2.54±
RES

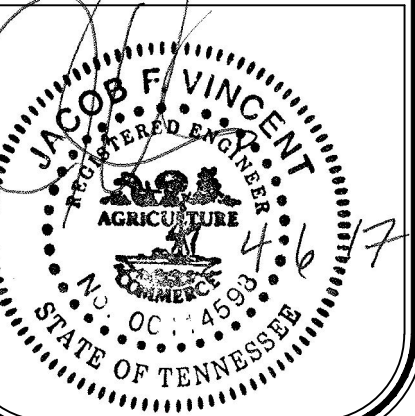


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C.O.F. PROJECT #: 6389

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NASHVILLE, TENNESSEE 37203
(615) 244-8561
www.ragan-smith.com



SHADOW GREEN
FOR
GOODALL HOMES
CITY OF FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

WK. ORDER	0722
JOB NO.	16155
DESIGNED:	JFV
DRAWN:	MHN
SCALE:	1"=50'
DATE:	MARCH 13, 2017

OVERALL ROW AND ACCESS PLAN

C4.0

DATE PLOTTED: 03/08/17 10:58 AM. PLOTTED BY: JFV. PROJECT: SHADOW GREEN. PLANNING AND DESIGN: RAGAN SMITH. SURVEYING: JACOB VINCENT. LANDSCAPE ARCHITECTURE: RAGAN SMITH. CIVIL ENGINEERING: RAGAN SMITH. CONSULTING ENGINEERING: RAGAN SMITH. CITY COMMENTS: NONE. REVISIONS: NONE.

Water & Sewer General Notes

1. All persons who undertake the construction of water, sewer and/or reclaimed water lines located in, or affecting services provided by the City of Franklin shall comply with the requirements and regulations set forth in the "General Requirements & Technical Specifications, Water Management Department, City of Franklin, Tennessee" latest edition, along with any amendments, additions, or alteration that may thereafter be adopted by the board of mayor and aldermen by resolution.
2. Contractor shall obtain Water & Sewer Infrastructure Installation Permit prior to scheduling required Pre-Construction Site Meeting. Contractor shall complete the PreConstruction Site Meeting prior to commencing with construction.
3. Contractor shall obtain and keep all of the following items on the jobsite at all times during construction:
 - a. Approved, Stamped and Signed Water and/or Sewer Plans
 - b. Water & Sewer Infrastructure Installation Permit, with all steps completed and signed by appropriate City employees.
 - c. Copy of approved availability request response letter.
 - d. A copy of all approved Cut Sheets.
4. Acceptance of City of Franklin public water infrastructure, sanitary sewer infrastructure and/or reclaimed water infrastructure shall become the responsibility of the City of Franklin, TN following approval from the City of Franklin Inspectors and acceptance by the Franklin Municipal Planning Commission. The Acceptance date shall be based on the day maintenance sureties are established by the Franklin Municipal Planning Commission.
5. Prior to the acceptance of City of Franklin public water infrastructure, sanitary sewer infrastructure and/or reclaimed water infrastructure the contractor shall be required to submit as-built drawings to the Planning and Sustainability Department.
6. All off-site work within the public right-of-way shall require an approved traffic control plan which complies with the MUTCD. No off-site excavation may be undertaken in any street, road, alley or right-of-way of any utility or temporary construction easement of the City of Franklin by any entity unless 72-hour notice has been given to the City of Franklin Traffic Operations Center. The contractor shall have an approved traffic control plan onsite during construction.
7. Any damages caused to existing utilities during construction shall, at his own expense, be replaced or repaired to original condition and quality, as approved by the owner and representative of the appropriate utility company, by the Contractor.

Water & Sewer Data Chart

Facility Type: WATER/SEWER
 Unit Flow in GPD: 350 GPD per [unit]
 Number of Units: 182
 Total Flow in GPD: 63,700 GPD

Utility Providers & Contact Information

Water/Sanitary Sewer
 Name: City of Franklin
 Address: 124 Lumber Drive
 Franklin, Tennessee 37064
 Phone: (615) 794-4554

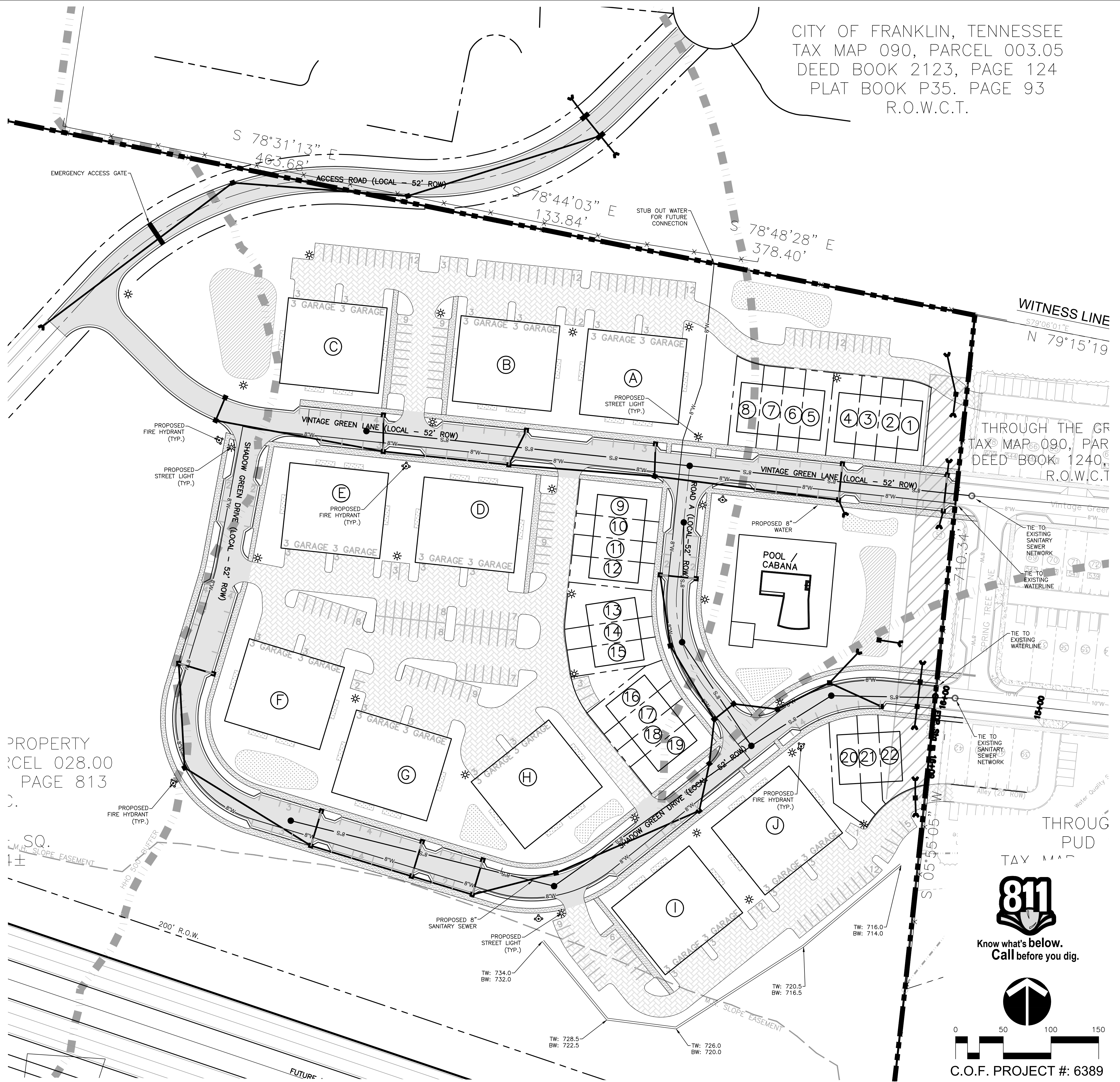
Electric
 Name: Middle Tennessee Electric Membership Corporation (MTEMC)
 Address: 2156 Edward Curd Lane
 Franklin, TN 37067
 Phone: (877) 777-9020

Gas
 Name: Atmos Energy Corporation
 Address: Attn: Customer Care
 P.O. Box 650205
 Dallas, Texas 75265
 Phone: (866) 322-8667 (Natural Gas Emergency)
 (888) 286-6700 (Customer Service)

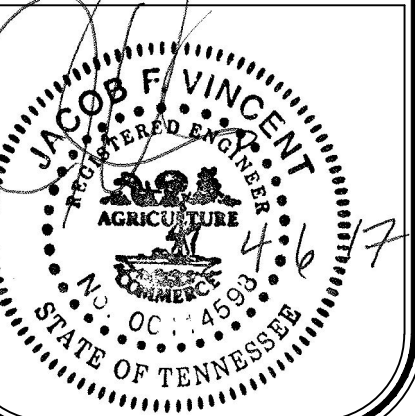
SEWER FACILITIES IMPACT STATEMENT:

WITH 182 PROPOSED RESIDENTIAL UNITS AT 350 GPD, THIS PRODUCES A PEAK FLOW OF 63,700 GPD. OFFSITE SANITARY SEWER UPGRADES MAY BE NEEDED, BUT THE EXTENT OF THE UPGRADES ARE NOT KNOWN AT THIS TIME. THE CITY OF FRANKLIN IS INSPECTING THE EXISTING SANITARY SEWER SYSTEM AND WILL NOTIFY THE DEVELOPER OF THE EXTENT OF THE OFFSITE SANITARY SEWER UPGRADES.

CITY OF FRANKLIN, TENNESSEE
 TAX MAP 090, PARCEL 003.05
 DEED BOOK 2123, PAGE 124
 PLAT BOOK P35, PAGE 93
 R.O.W.C.T.



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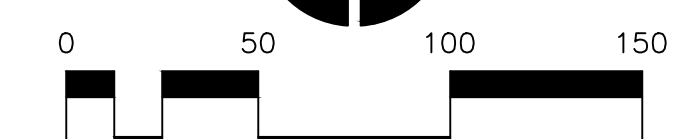
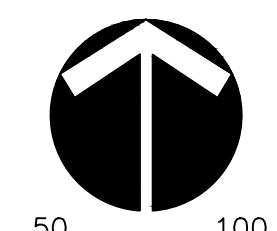


SHADOW GREEN
 FOR
GOODALL HOMES
 CITY OF FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

WK. ORDER	0722
JOB NO.	16155
DESIGNED:	MHN
DRAWN:	NLF
SCALE:	1"=50'
DATE:	MARCH 13, 2017

34/08/2017 REVISIONS PER CITY COMMENTS

OVERALL UTILITY PLAN
C5.0



C.O.F. PROJECT #: 6389

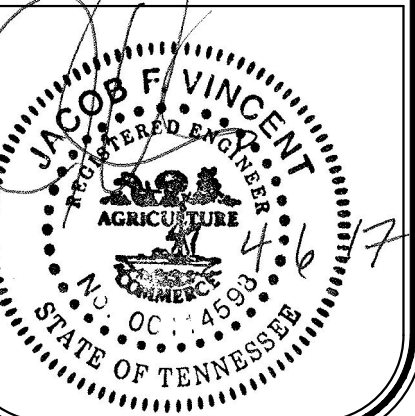
DATE PLOTTED: 03/13/2017 10:45:00 AM. PLOTTER: HP DesignJet T1100. PLOTTED BY: TAYLOR WOODRUM. OK. 4/20/17 10:22 AM. LAST UPDATED BY: JF. 4/20/17 10:11 AM.

CITY OF FRANKLIN, TENNESSEE
 TAX MAP 090, PARCEL 003.05
 DEED BOOK 2123, PAGE 124
 PLAT BOOK P35. PAGE 93
 R.O.W.C.T.

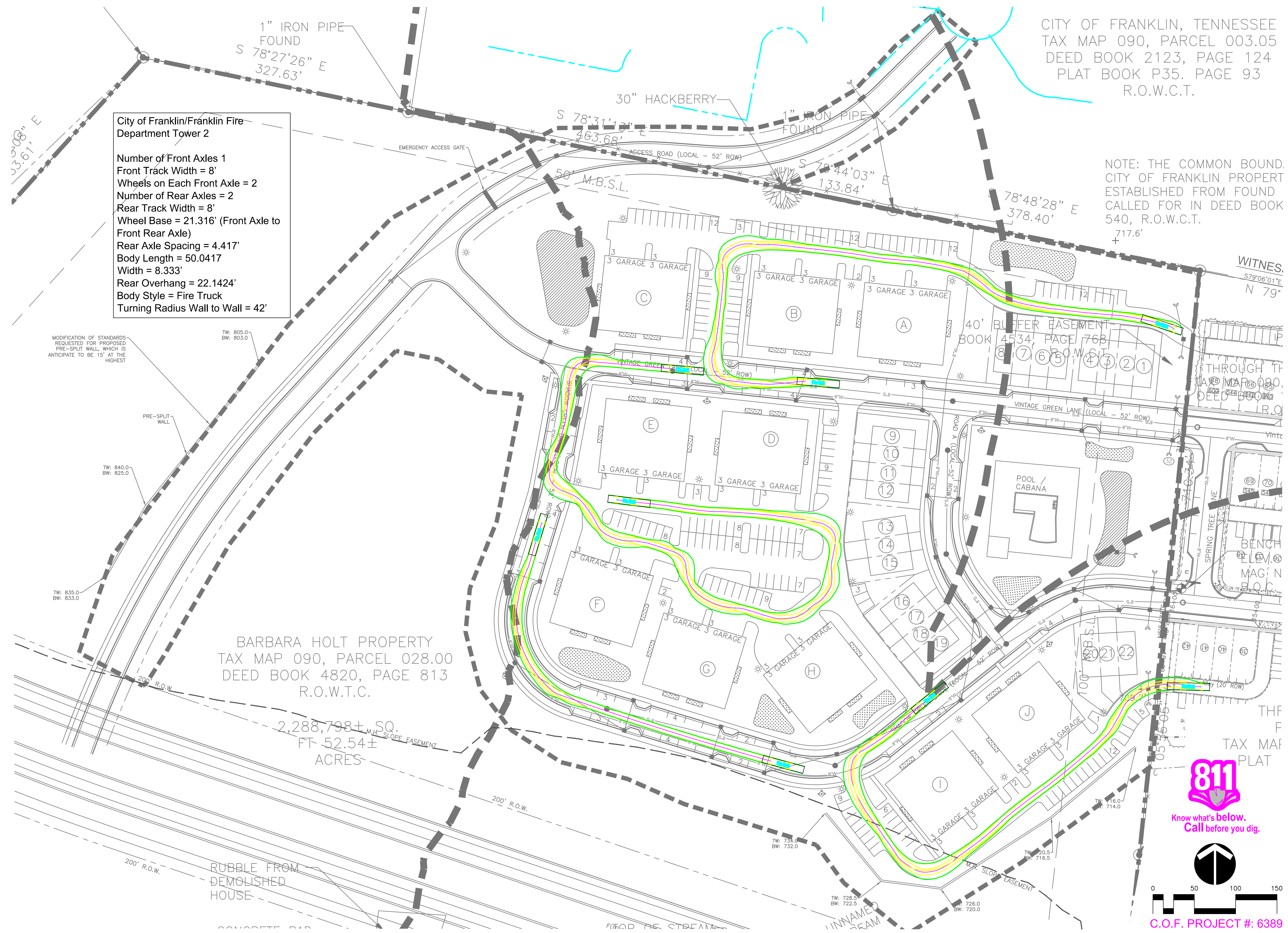
City of Franklin/Franklin Fire Department Tower 2
 Number of Front Axles 1
 Front Track Width = 8'
 Wheels on Each Front Axle = 2
 Number of Rear Axles = 2
 Rear Track Width = 8'
 Wheel Base = 21.316' (Front Axle to Front Rear Axle)
 Rear Axle Spacing = 4.417'
 Body Length = 50.0417'
 Width = 8.333'
 Rear Overhang = 22.1424'
 Body Style = Fire Truck
 Turning Radius Wall to Wall = 42'

NOTE: THE COMMON BOUND. CITY OF FRANKLIN PROPERTY ESTABLISHED FROM FOUND CALLED FOR IN DEED BOOK 540, R.O.W.C.T. 717.6'

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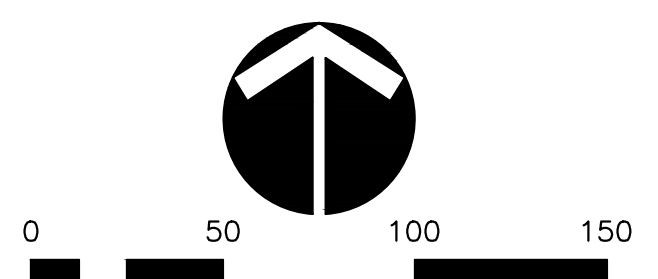
SHADOW GREEN
 FOR
GOODALL HOMES
 CITY OF FRANKLIN, WILLIAMSON COUNTY, TENNESSEE



MODIFICATION OF STANDARDS REQUESTED FOR PROPOSED PRE-SPLIT WALL, WHICH IS ANTICIPATE TO BE 15' AT THE HIGHEST

BARBARA HOLT PROPERTY
 TAX MAP 090, PARCEL 028.00
 DEED BOOK 4820, PAGE 813
 R.O.W.C.T.

2,288,798 ± SQ. FT.
 52.54 ± ACRES



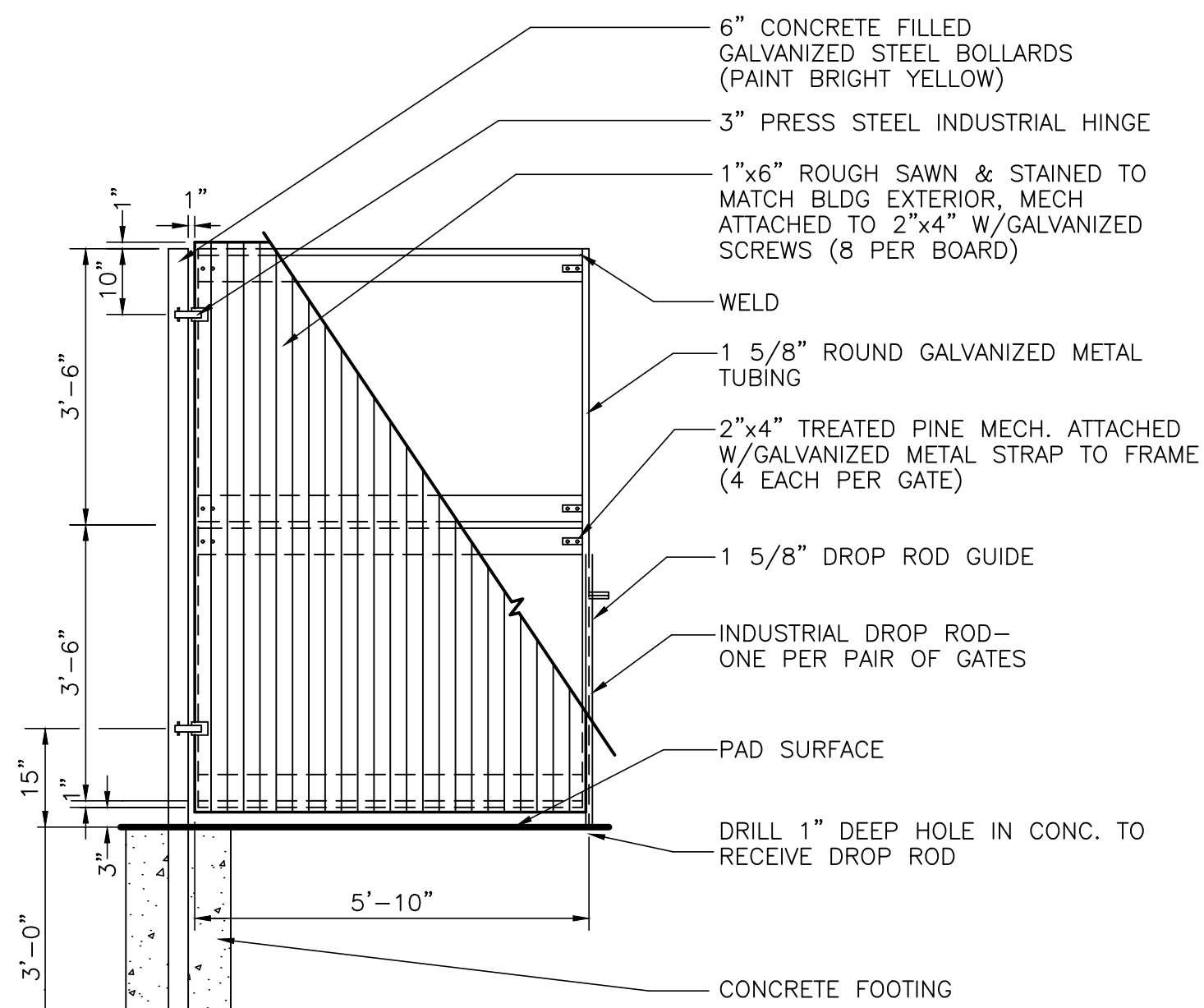
C.O.F. PROJECT #: 6389

WK. ORDER	0722
DESIGNED:	JFV
DRAWN:	MHN
SCALE:	1"=50'
DATE:	MARCH 13, 2017

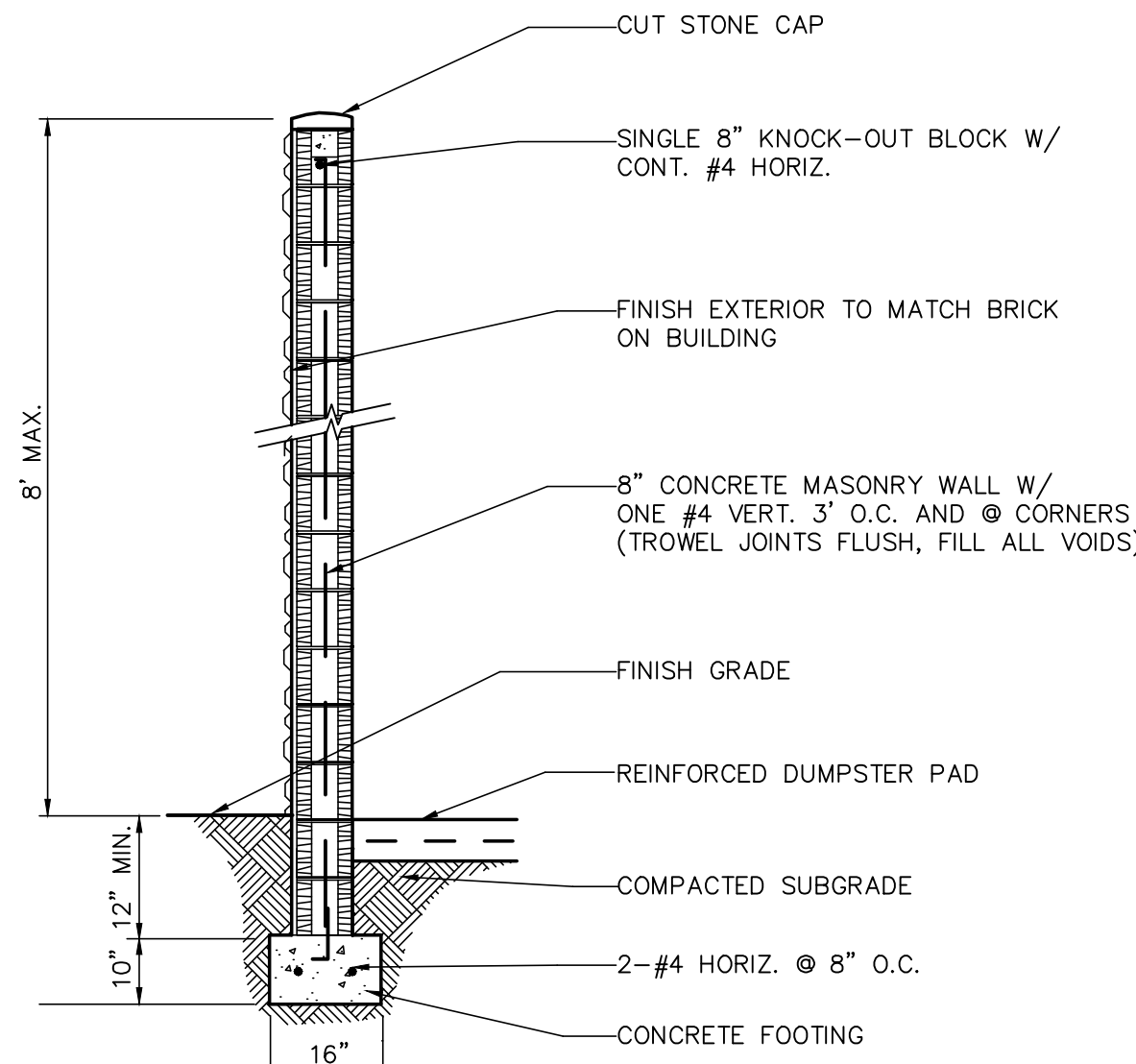
AUTOTURN PLAN

C6.0

CLARIFIED: CHATTANOOGA COUNTY RECORDS DEPARTMENT PLANNING AND ZONING DIVISION. PLOTTED BY: P. W. HARRIS, P.E. 03/13/17. LAST UPDATED BY: P. W. HARRIS, P.E. 03/13/17.

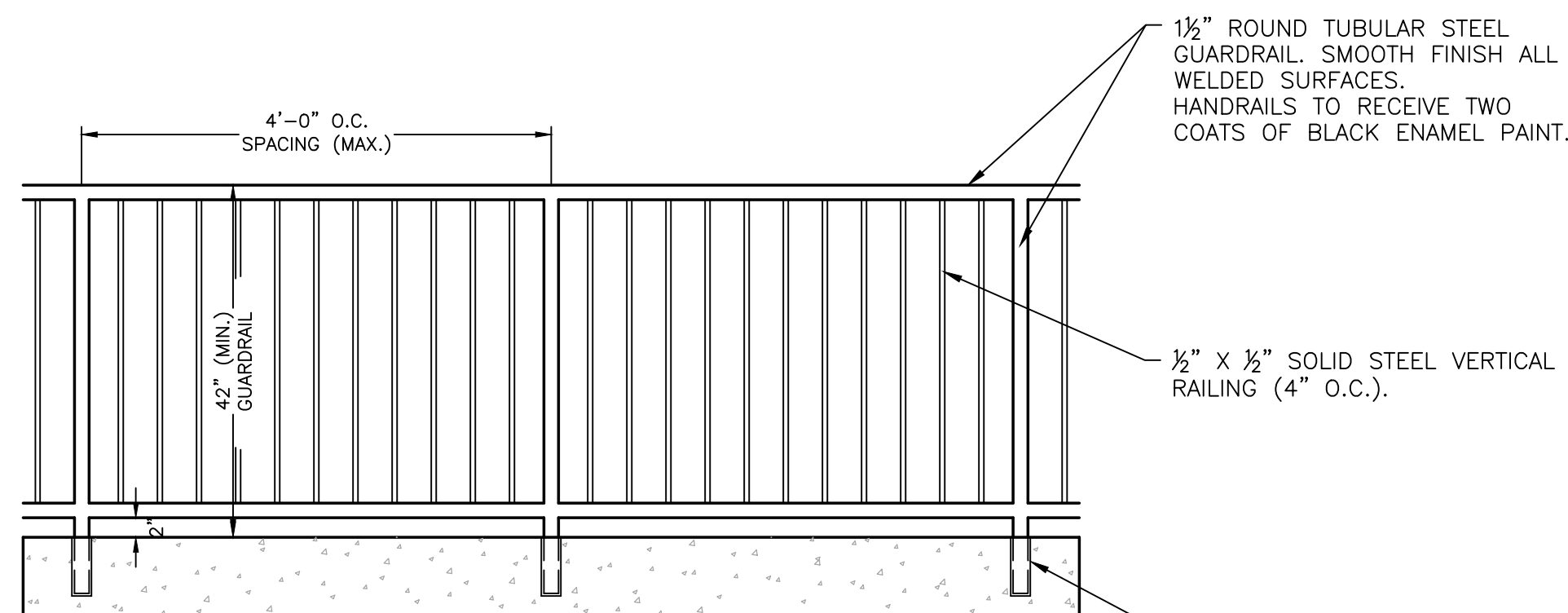


TRASH ENCLOSURE GATE DETAIL
NOT TO SCALE

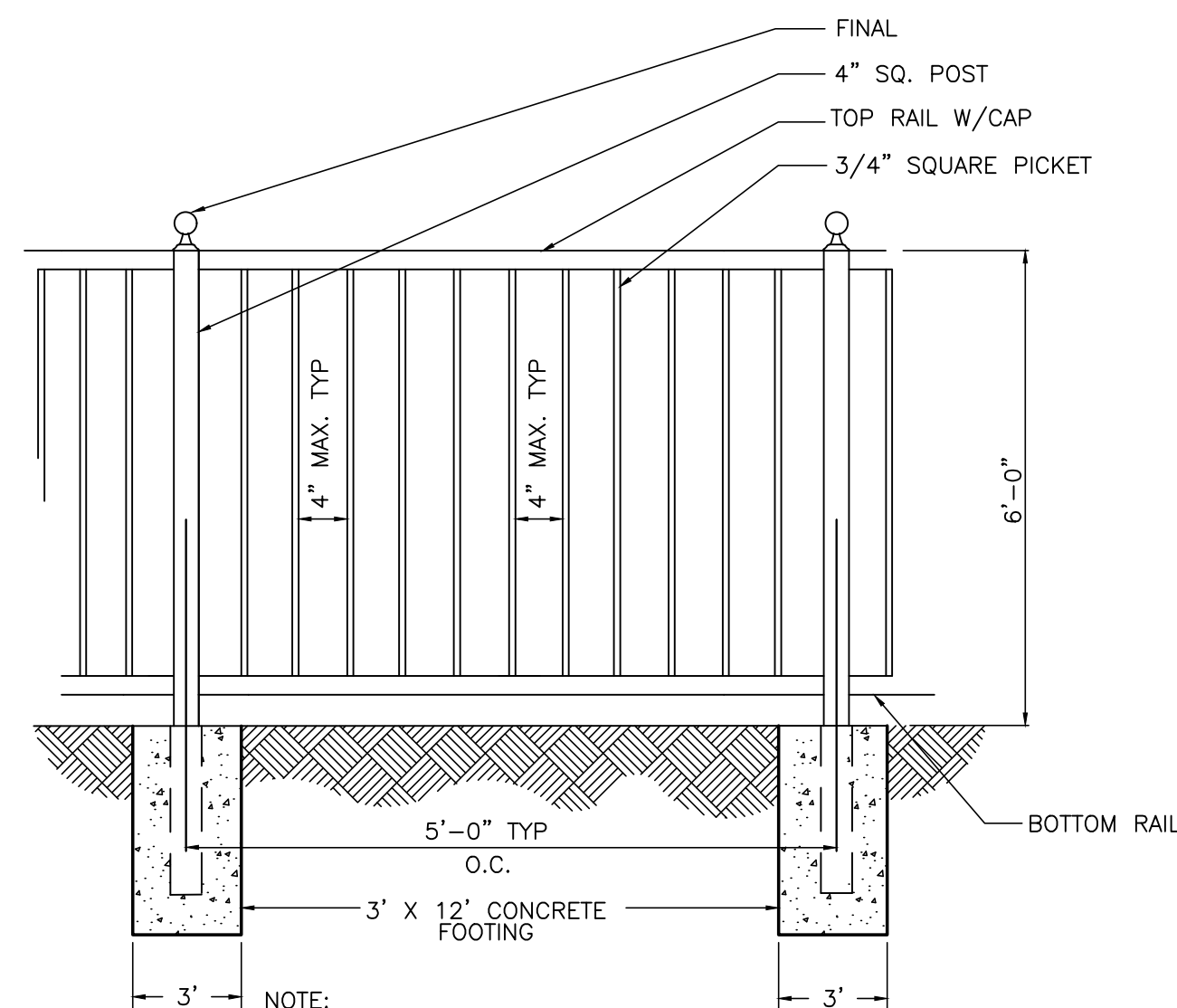
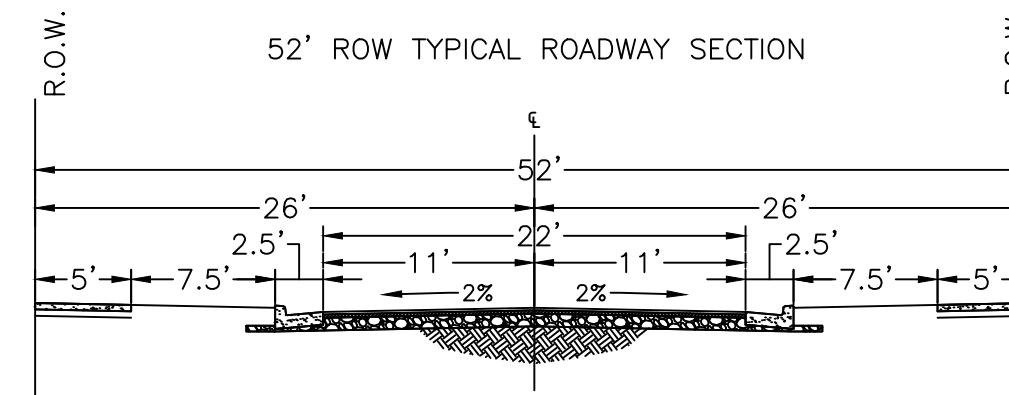


NOTE:
MINIMUM HEIGHT OF ENCLOSURE IS 2' ABOVE DUMPSTER

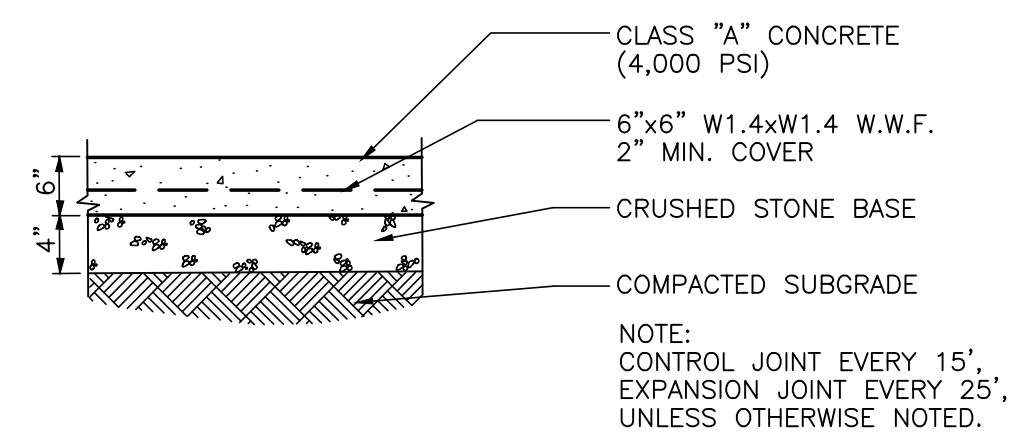
DUMPSTER WALL SECTION
NOT TO SCALE



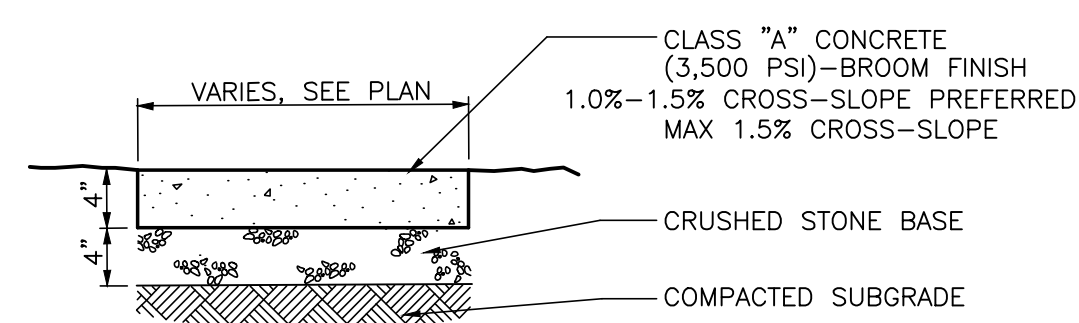
GUARDRAIL DETAIL
NOT TO SCALE



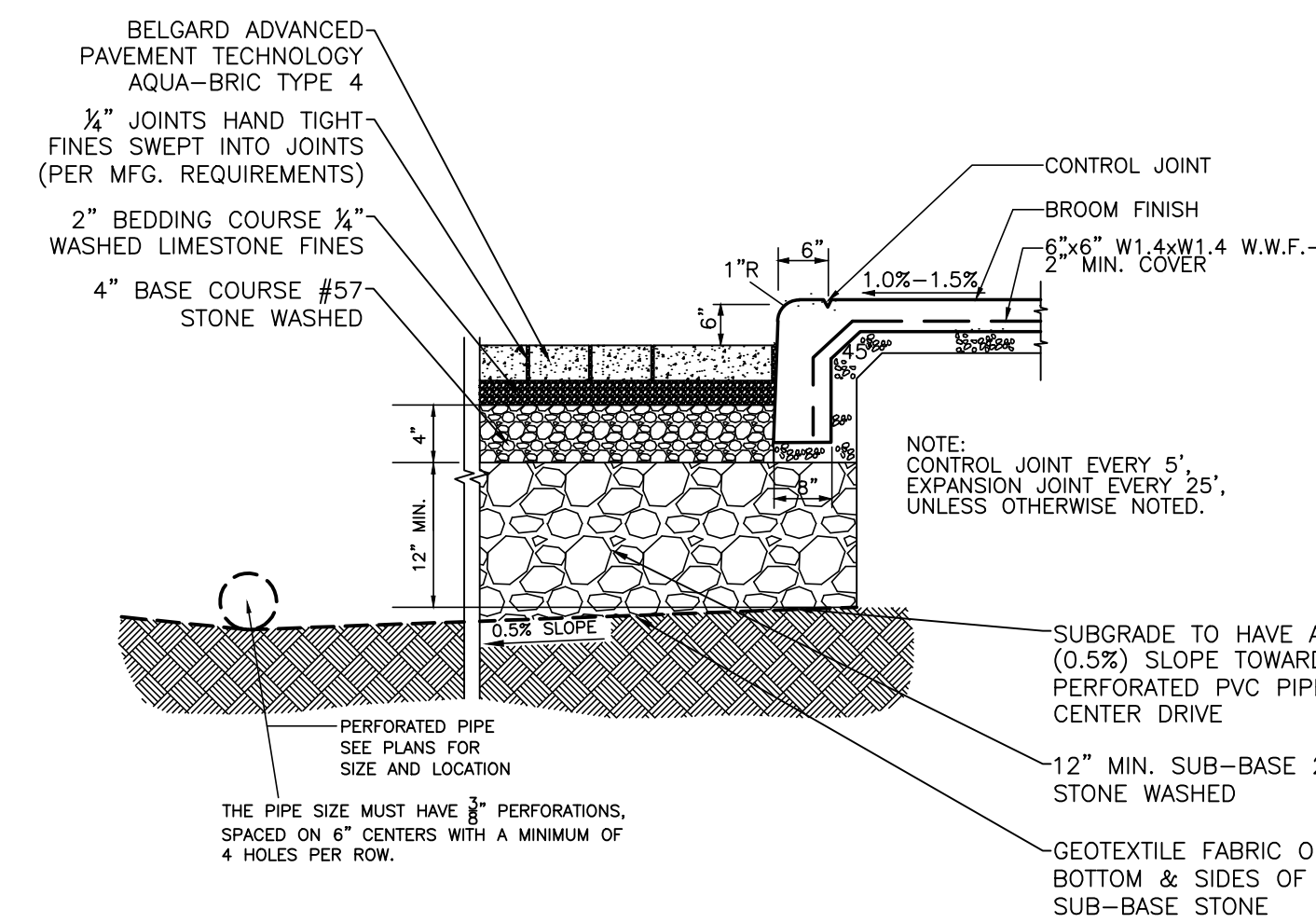
ALUMINUM FENCE DETAIL
NOT TO SCALE



CONCRETE PAVEMENT
NOT TO SCALE



CONCRETE WALK
NOT TO SCALE



- NOTES:
1. NO "CRUSH AND RUN" STONE TO BE USED IN THE INSTALLATION OF THESE PAVERS.
 2. NO SAND TO BE USED IN THE INSTALLATION OF THESE PAVERS.
 3. THIS DETAIL MUST BE VERIFIED WITH THE PROJECT GEOTECHNICAL ENGINEER FOR CONFORMITY WITH THE GEOTECH REPORT PRIOR TO INSTALLATION.
 4. THE PERMEABLE PAVER INSTALLER SHALL BE AN INTERLOCKING CONCRETE PAVEMENT INSTITUTE (ICPI) CERTIFIED INSTALLER OR SHALL PROVIDE APPROVED EQUAL CERTIFICATION.

CONCRETE WALK & TURNDOWN CURB WITH PERMEABLE PAVERS
NOT TO SCALE



FEATURES & SPECIFICATIONS

INTENDED USE — Ideal for parking lots, walkways and entrances.

CONSTRUCTION — Rugged, heavy-gauge, lightweight aluminum housing. Rectilinear shape, continuously seam-welded for weather-tight integrity. Naturally anodized, extruded, aluminum doorframe with mitered corners is retained with (two) .188" diameter hinge pins and secured with (one) quarter turn, quick release fastener. Weather-proof seal between housing and door frame is accomplished with an integrally designed, extruded, silicone gasket that snaps into door frame.

Less than .125" thick, impact-resistant, tempered glass with thermally-applied, silk screened power door shade.

Finish: Standard finish is dark bronze (DBB), polyester powder with optional architectural colors available.

OPTICS — High reflectance, white reflector,IES cutoff distribution.

ELECTRICAL — High reactance autotransformer is 100% factory tested. Double contact bayonet socket.

INSTALLATION — Extruded, 4" aluminum arm for pole or wall mounting.

LISTINGS — UL listed for wet locations. Listed and labeled to comply with Canadian Standards (see Options).

Note: Specifications subject to change without notice.

Catalog Number	
Notes	
Type	



Specification	
EPR: 2.3 Ft (2.1m) (includes arm)	(10.2)
Length: 29-3/4 (75.6)	15-3/4 (40.0)
Width: 15-3/4 (40.0)	8-1/4 (21.0)
Depth: 8-1/4 (21.0)	29-3/4 (75.6)
Arm length: 4 (10.2)	
*Weight: 42 lbs (19 kg)	

All dimensions are inches (centimeters) unless otherwise specified.
*Weight is configured in example below.

ORDERING INFORMATION For shortest lead times, configure product using **bolded options**.

Example: KT1 2/90L 120 SP04 LPI

Series	Wattage	Voltage	Ballast	Mounting ¹	Options	Finish ²	Lamp ³
KT1	90L	120	(blank)	Magnetic	Shipped separately ^{4,5}	(blank)	LPI Lamp included
	208 ⁶	240 ⁶		SP04 4" square pole arm	Shipped installed in fixture	DBB Dark bronze	LPI Lamp included
	277	347		RP04 4" round pole arm	SF Single fuse (120, 277, 347V)	DWH White	L/LP Less lamp
	400 ⁷			WW04 4" wood pole or wall arm	DF Double fuse (208, 240, 480V)	DBL Black	
				WS04 4" wall bracket arm	PER NEMA twist-lock photoelectric receptacle ⁶	DMB Medium bronze	
				SP06 6" square pole arm	EC Emergency circuit ⁶	DNA Natural aluminum	
				RP06 6" round pole arm	CSA Listed and labeled to comply with Canadian Standards	CR Corrosion resistant finish	
				WW06 6" wood pole or wall arm	Shipped separately		
				WS06 6" wall bracket arm	PE1 NEMA twist-lock photocontrol (120, 208, 240V)		
				DA12P Degree arm (pole)	PE3 NEMA twist-lock photocontrol (347V)		
				DA12W Degree arm (wall)	PE4 NEMA twist-lock photocontrol (480V)		
				RMA Mast arm adapter	PE7 NEMA twist-lock photocontrol (177V)		
				KTMB Twin mounting bar	SC Shorting cap for PER option		

Accessories: Tenon Mounting Slipfitter						
Order as separate catalog number.						
Tenon O.D.	One	Two@180°	Two@90°	Three@120°	Three@90°	Four@90°
2-3/8"	T20-190	T20-200	T20-200	T20-210	T20-200	T20-490
2-1/2"	T25-190	T25-200	T25-200	T25-210	T25-200	T25-490
4"	T35-190	T35-200	T35-200	T35-210	T35-200	T35-490

- NOTES:
1. Consult factory for availability in Canada.
 2. Reactor ballast.
 3. The SP04, RP04 or WW06 must be used when two or more luminaires are oriented as a 90° drilling pattern.
 4. May be ordered as necessary.
 5. Must specify finish when ordered as an accessory.
 6. Maximum allowable wattage lamp included.
 7. See www.lithonia.com/catalog for additional color options.

OUTDOOR

KT1-L

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SHADOW GREEN
FOR
GOODALL HOMES
CITY OF FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

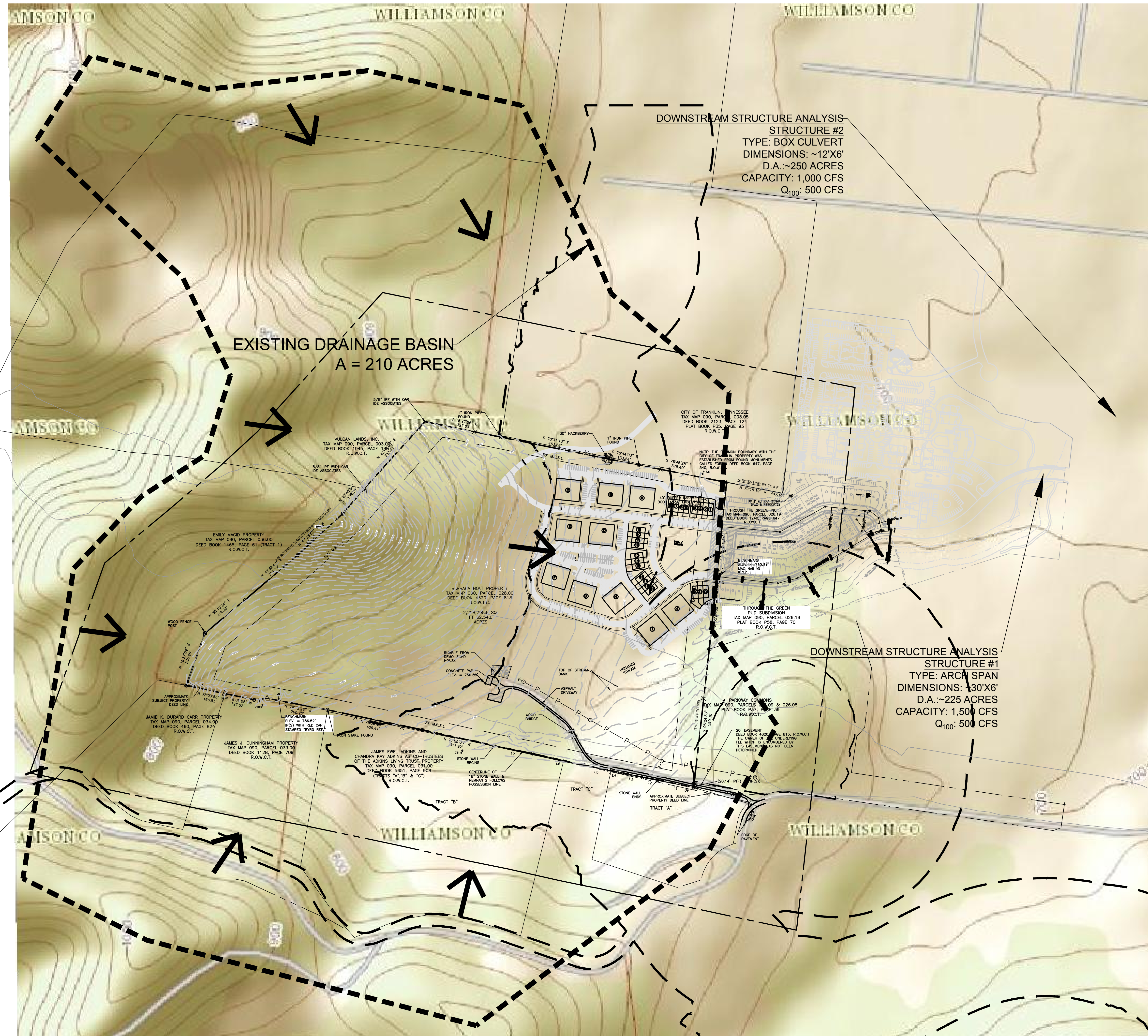
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JOB NO.	16155	34/08/08/17 REVISIONS PER CITY COMMENTS							

DETAILS

C7.0

C.O.F. PROJECT #: 6389

C:\PROJECTS\C7.0\CONCRETE WALK AND TURNDOWN CURB WITH PERMEABLE PAVERS.dwg
 PLOTTED BY TAYLOR HENDRY ON MONDAY, MARCH 13, 2017 10:22 AM. LAST UPDATED BY TAYLOR HENDRY ON MONDAY, MARCH 13, 2017 10:22 AM.

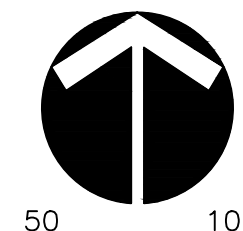


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REFERENCE- USGS TOPO



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WK. ORDER	0722	DESIGNED:	JFV	DRAWN:	MHN	SCALE:	1"=50'	DATE:	MARCH 13, 2017
JOB NO.	16155	REVISIONS PER CITY COMMENTS							

EXISTING DRAINAGE MAP

C8.0

FOUND
S 78°27'26" E
327.63'

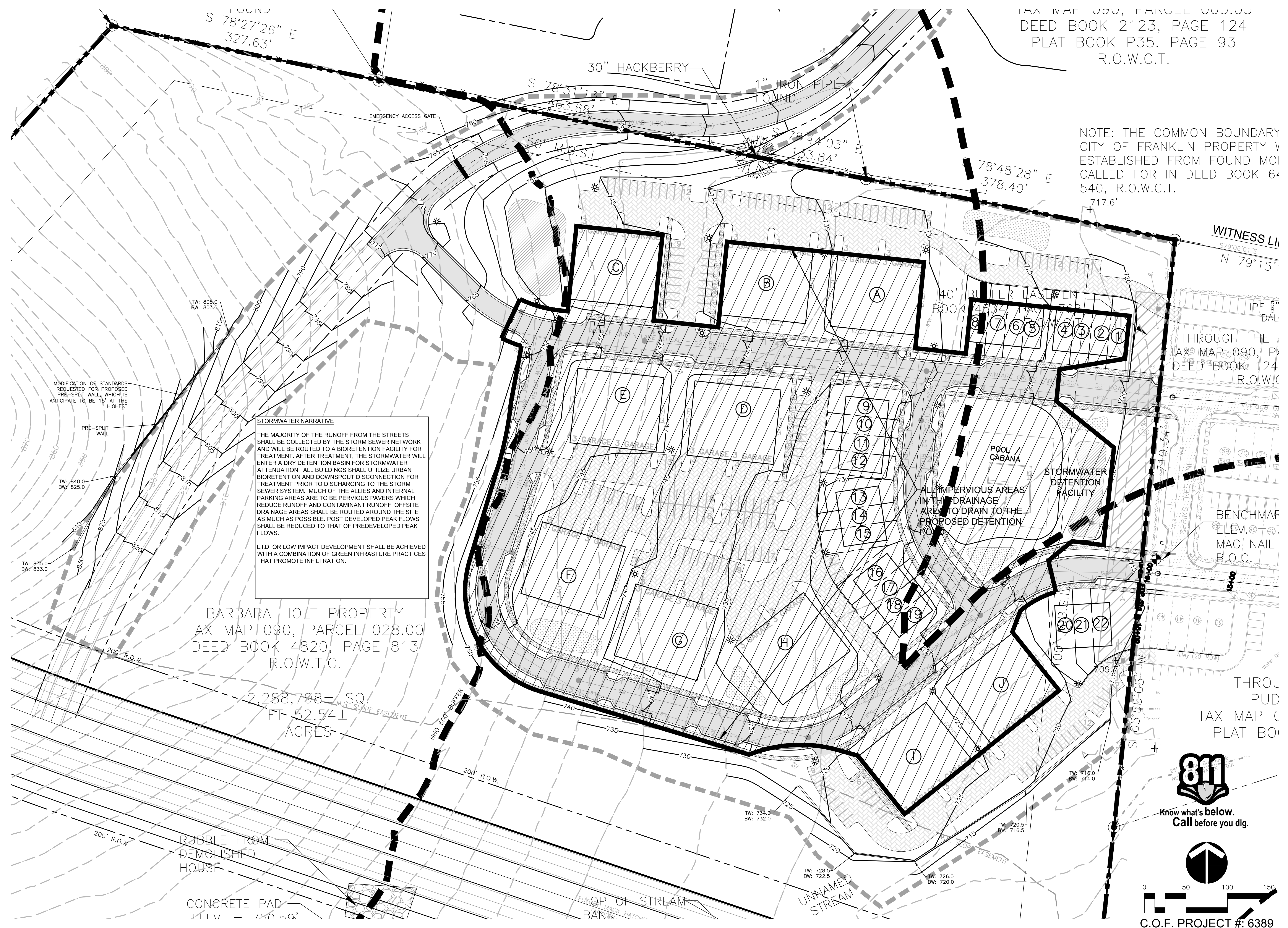
1A8 MAP 090, PARCEL 003.00
DEED BOOK 2123, PAGE 124
PLAT BOOK P35. PAGE 93
R.O.W.C.T.

NOTE: THE COMMON BOUNDARY
CITY OF FRANKLIN PROPERTY V
ESTABLISHED FROM FOUND MOI
CALLED FOR IN DEED BOOK 6-
540, R.O.W.C.T.

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SHADOW GREEN
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GOODALL HOMES
CITY OF FRANKLIN, WILLIAMSON COUNTY, TENNESSEE



STORMWATER NARRATIVE
THE MAJORITY OF THE RUNOFF FROM THE STREETS SHALL BE COLLECTED BY THE STORM SEWER NETWORK AND WILL BE ROUTED TO A BIOTRETION FACILITY FOR TREATMENT. AFTER TREATMENT, THE STORMWATER WILL ENTER A DRY DETENTION BASIN FOR STORMWATER ATTENUATION. ALL BUILDINGS SHALL UTILIZE URBAN BIOTRETION AND DOWNSPOUT DISCONNECTION FOR TREATMENT PRIOR TO DISCHARGING TO THE STORM SEWER SYSTEM. MUCH OF THE ALLIES AND INTERNAL PARKING AREAS ARE TO BE PERVIOUS PAVERS WHICH REDUCE RUNOFF AND CONTAMINANT RUNOFF. OFFSITE DRAINAGE AREAS SHALL BE ROUTED AROUND THE SITE AS MUCH AS POSSIBLE. POST DEVELOPED PEAK FLOWS SHALL BE REDUCED TO THAT OF PREDEVELOPED PEAK FLOWS.
L.I.D. OR LOW IMPACT DEVELOPMENT SHALL BE ACHIEVED WITH A COMBINATION OF GREEN INFRASTRUCTURE PRACTICES THAT PROMOTE INFILTRATION.

BARBARA HOLT PROPERTY
TAX MAP 090, PARCEL 028.00
DEED BOOK 4820, PAGE 813
R.O.W.T.C.

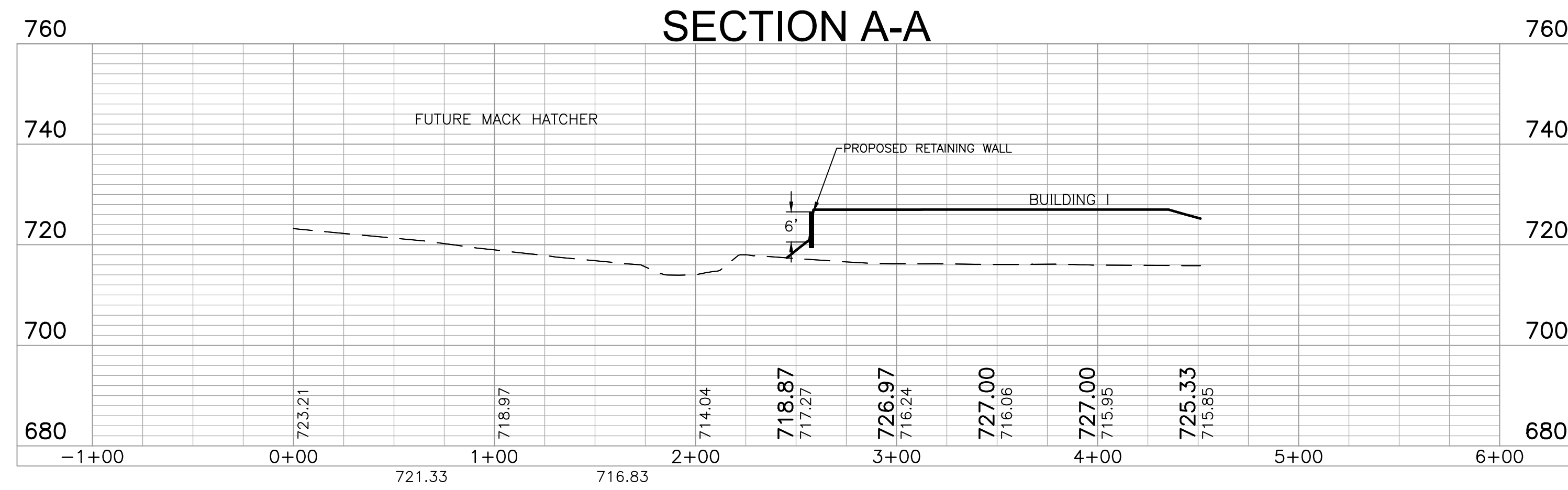
2,288,798± SQ.
FT. 52.54±
ACRES


811
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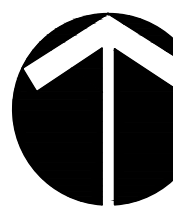

WK. ORDER	0722	DESIGNED:	JFV	DRAWN:	MHN	SCALE:	1"=50'	DATE:	MARCH 13, 2017
JOB NO.	16155	24/09/2017 REVISIONS PER CITY COMMENTS							
PROPOSED DRAINAGE MAP									
C9.0									

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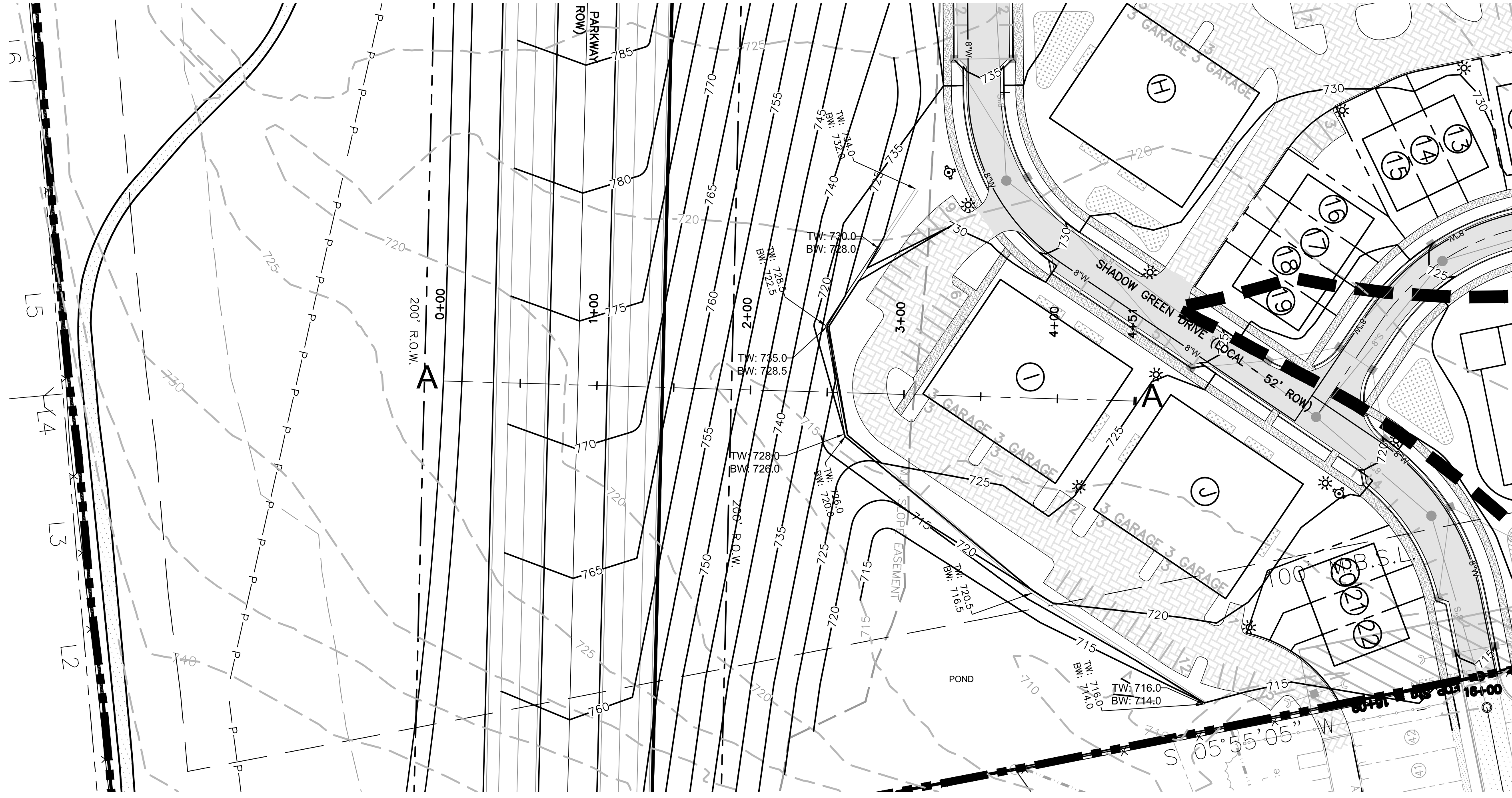


SHADOW GREEN
 FOR
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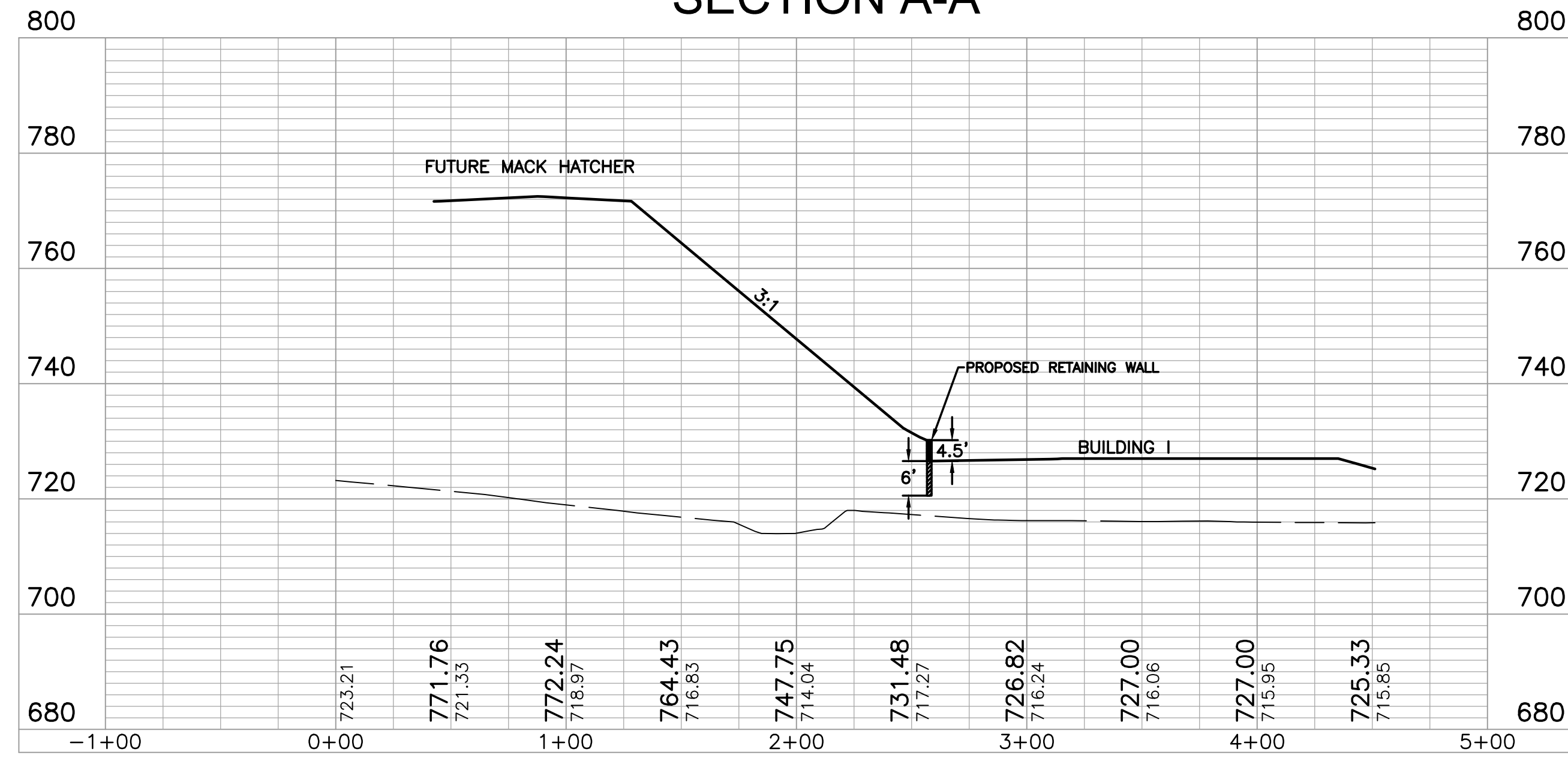
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JOB NO.	16155
DESIGNED:	JFV
DRAWN:	MHN
SCALE:	1"=50'
DATE:	MARCH 13, 2017
REVISIONS	04/08/2017 REVISIONS PER CITY COMMENTS

CROSS SECTION WITH WALL
C10.0

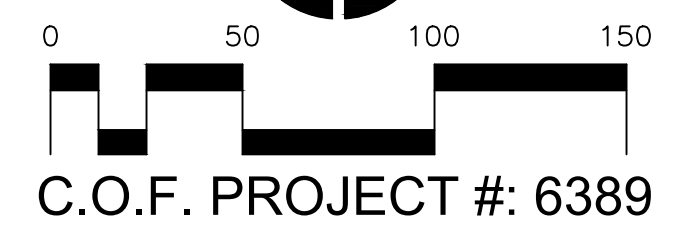
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 PLOTTED BY TAYLOR WINDMAYER ON 03/07/2017 10:28 AM. LAST UPDATED BY TAYLOR WINDMAYER ON 03/07/2017 10:28 AM



SECTION A-A

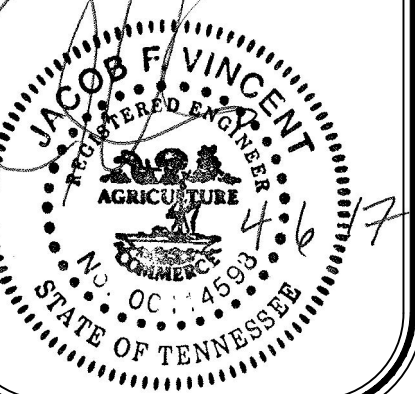


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DRAWN:	MHN
SCALE:	1"=50'
DATE:	MARCH 13, 2017
REVISIONS	
04/08/2017	REVISIONS PER CITY COMMENTS

CROSS SECTION WITH WALL & MACK HATCHER

C11.0

04/08/2017 09:51 AM: NASHVILLE PROJECT: SHADOW GREEN - CROSS SECTION WITH WALL & MACK HATCHER
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