

CONTACT LIST

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LAND SURVEYOR
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GAS SERVICE
ATMOS ENERGY
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CODES
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 CONTACT: TOM MARSH

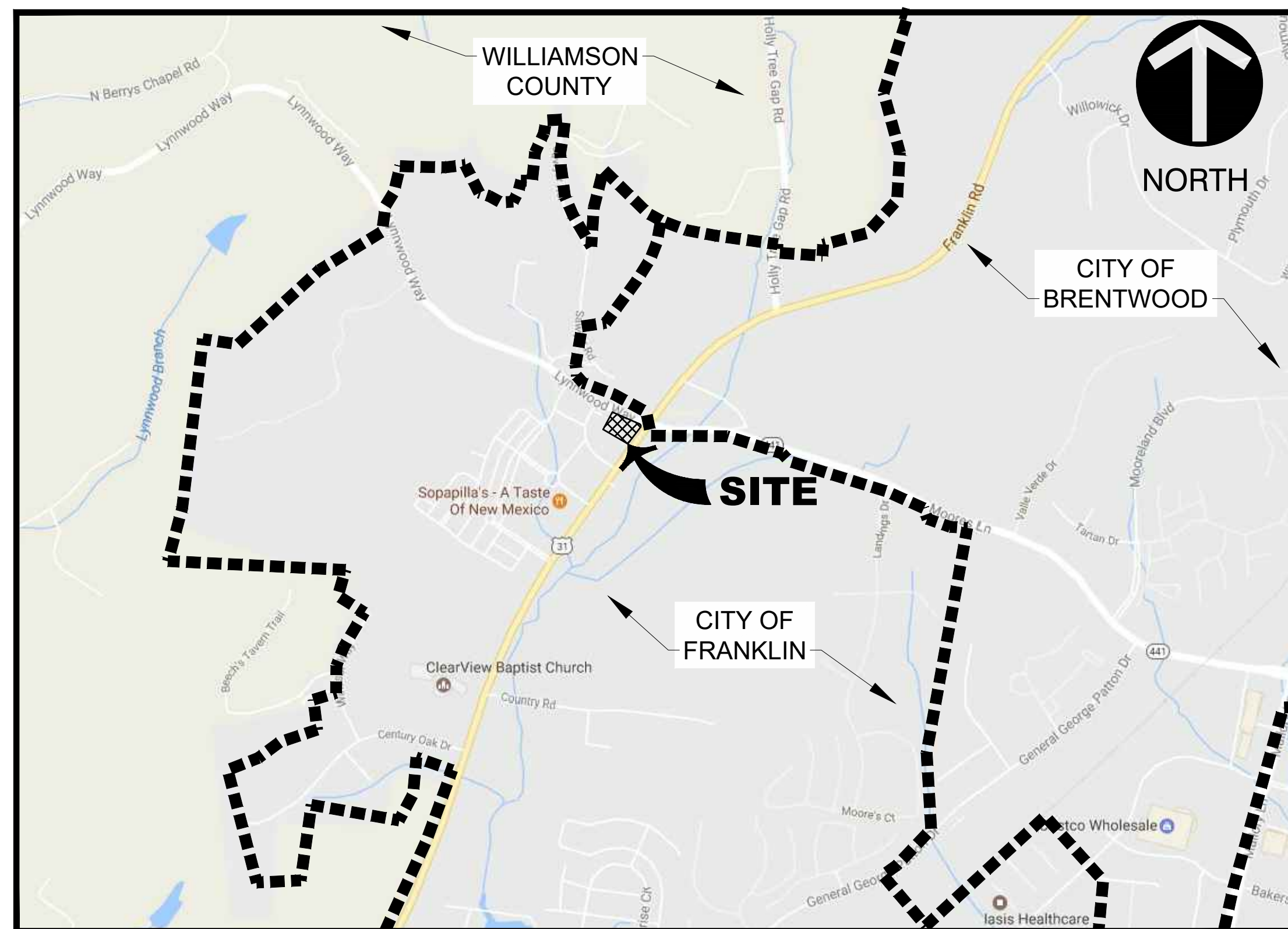
TELEPHONE SERVICE
AT&T
 500 LIBERTY PIKE
 FRANKLIN, TENNESSEE 37064
 PHONE: (615) 595-7816
 CONTACT: DAVID TUTTEROW

GATEWAY VILLAGE OFFICE BUILDING

3020 STANSBERRY LANE FRANKLIN, WILLIAMSON COUNTY, TN TAX MAP 36, PARCEL 51.06 CITY OF FRANKLIN PROJECT #6381 DEVELOPMENT PLANS APRIL 2017

SITE DATA	
PROJECT NAME:	GATEWAY VILLAGE, SECTION THREE OFFICE BUILDING
SUBDIVISION:	GATEWAY VILLAGE SUBDIVISION
LOT NUMBER:	136
ADDRESS:	3020 STANSBERRY LANE
CITY:	FRANKLIN
COUNTY:	WILLIAMSON
STATE:	TENNESSEE
CIVIL DISTRICT:	8TH
MAP:	36
GROUP:	N/A
PARCEL:	51.06
EXISTING ZONING:	SD-X (SPECIFIC DEVELOPMENT - VARIETY DISTRICT)
CHARACTER AREA OVERLAY:	BERRY'S CHAPEL (BCCO-4)
OTHER APPLICABLE OVERLAYS:	N/A
APPLICABLE DEVELOPMENT STANDARD:	TRADITIONAL
ACREAGE OF SITE:	1.16
SQUARE FOOTAGE OF SITE:	50,462
MINIMUM REQUIRED SETBACK LINES:	
YARD FRONTING ON ANY STREET:	3 FEET
SIDE YARD:	10 FEET MINIMUM BETWEEN BUILDINGS
REAR YARD:	10 FEET
MAXIMUM HEIGHT:	3 STORIES
DEVELOPER:	BRENTWOOD BROKERS, LLC 5204 COUNTRY CLUB DRIVE BRENTWOOD, TENNESSEE 37027 PHONE: (615) 300-7150 CONTACT: RON KOCINA E-MAIL: rkocina@comcast.net
APPLICANT:	MORELOCK ENGINEERING, LLC 2097 BELSFORD DRIVE NOLENSVILLE, TENNESSEE 37135 PHONE: (615) 300-6486 CONTACT: JASON MORELOCK, P.E. E-MAIL: jason@morelockeng.com
BUILDING SQUARE FOOTAGE:	15,421 S.F.
BUILDING HEIGHT:	34'-6" (TWO-STORY)
MAXIMUM FLOOR AREA RATIO:	0.60
FLOOR AREA RATIO PROVIDED:	0.31
BUILDING OCCUPANCY TYPE:	GROUP B (BUSINESS)
BUILDING CONSTRUCTION TYPE:	TYPE IIB (SPRINKLERED)
LANDSCAPE SURFACE RATIO:	0.42 (21,110 S.F.)
MINIMUM LANDSCAPE SURFACE RATIO:	0.20
MINIMUM PARKING REQUIREMENT:	2.85 SPACES PER PER 1,000 S.F. (15,281 / 1,000) * 2.85 = 44 SPACES
MAXIMUM PARKING LIMIT:	53 SPACES
PARKING PROVIDED:	49 SPACES
RESIDENTIAL DENSITY:	NOT APPLICABLE
TREE CANOPY:	NOT APPLICABLE
PARKLAND:	NOT APPLICABLE
FORMAL OPEN SPACE:	3% REQUIRED
INCOMPATIBLE USE BUFFER:	NONE REQUIRED
THIS SITE HAS BEEN DESIGNED TO MEET THE CITY OF FRANKLIN DESIGN STANDARDS. CHANGES SHALL NOT BE MADE TO THE APPROVED SITE PLAN UNLESS APPROVED BY THE RELEVANT DEPARTMENT SUPERINTENDENT.	

LIST OF DRAWINGS	
SHEET NO.	SHEET TITLE
C000	COVER SHEET
C100	EXISTING CONDITIONS DEVELOPMENT PLAN
C200	PUD DEVELOPMENT PLAN
C201	SITE LAYOUT DEVELOPMENT PLAN
C202	AUTOTURN FIRE TRUCK PLAN
C300	GRADING & DRAINAGE DEVELOPMENT PLAN
C400	UTILITY DEVELOPMENT PLAN
L1.0	LANDSCAPE PLAN
L1.1	LANDSCAPE PLAN
A1	BUILDING ELEVATIONS
A2	BUILDING ELEVATIONS



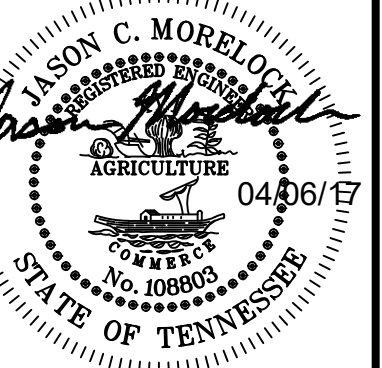
SITE MAP
SCALE: 1"=1000'

PERMIT SET

NOTE TO CONTRACTOR:
 THE CONTRACTOR SHALL REFER TO ALL PLANS WITHIN THIS PLAN SET. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET IN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THIS PROJECT.



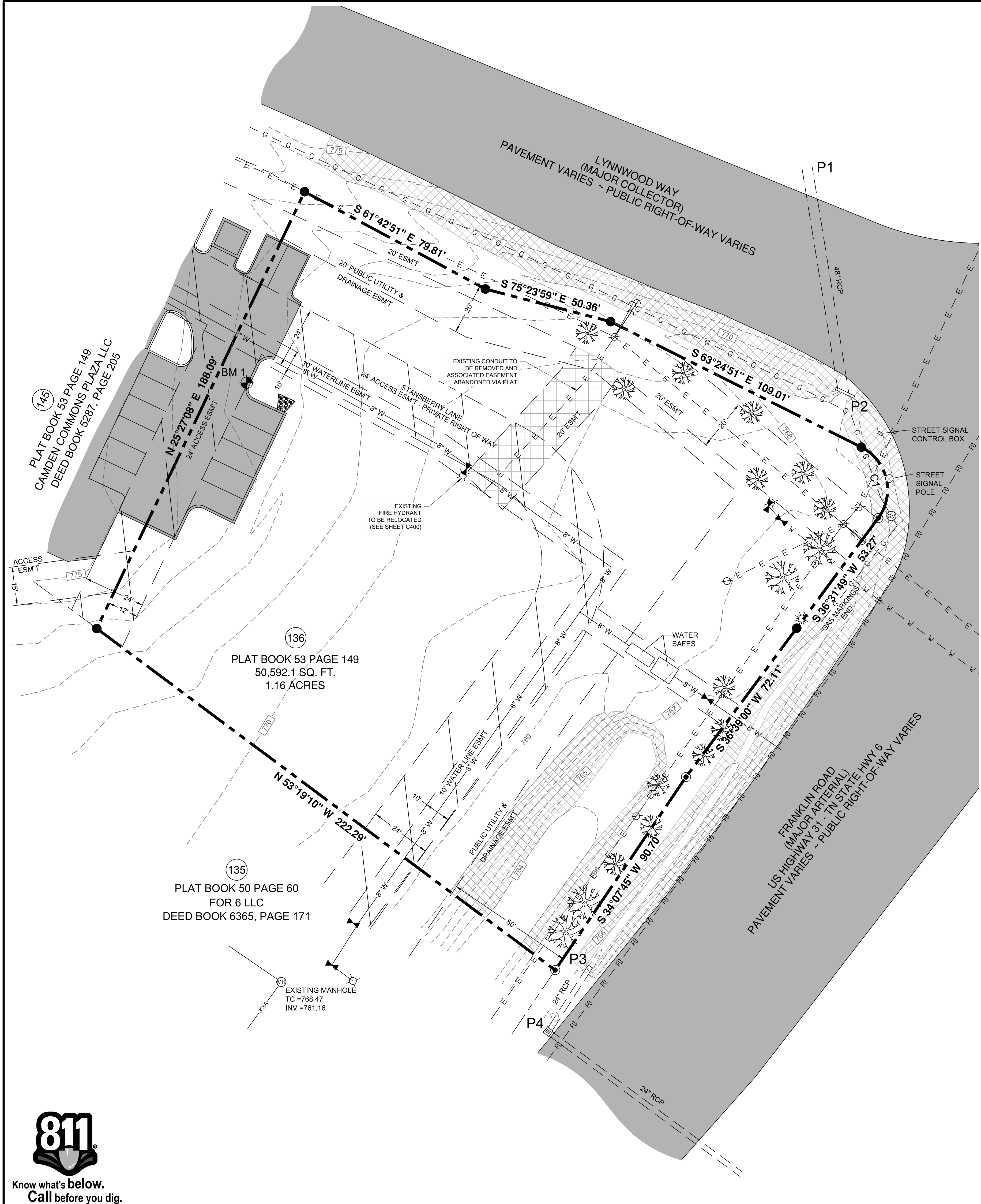
2097 BELSFORD DRIVE
 NOLENSVILLE, TN 37135
 JASON@MORELOCKENG.COM - (615) 300-6486



COVER SHEET
 DEVELOPMENT PLANS FOR:
GATEWAY VILLAGE OFFICE BUILDING
 LOT 136, GATEWAY VILLAGE, SECTION THREE, REVISION 6
 3020 STANSBERRY LANE, FRANKLIN, WILLIAMSON COUNTY, TENNESSEE
 CITY OF FRANKLIN PROJECT NO. 6381

DR.	DATE	DESCRIPTION
JCM	03/13/2017	DEVELOPMENT PLAN SUBMITTAL
JCM	04/06/2017	DEVELOPMENT PLAN RE-SUBMITTAL

C000

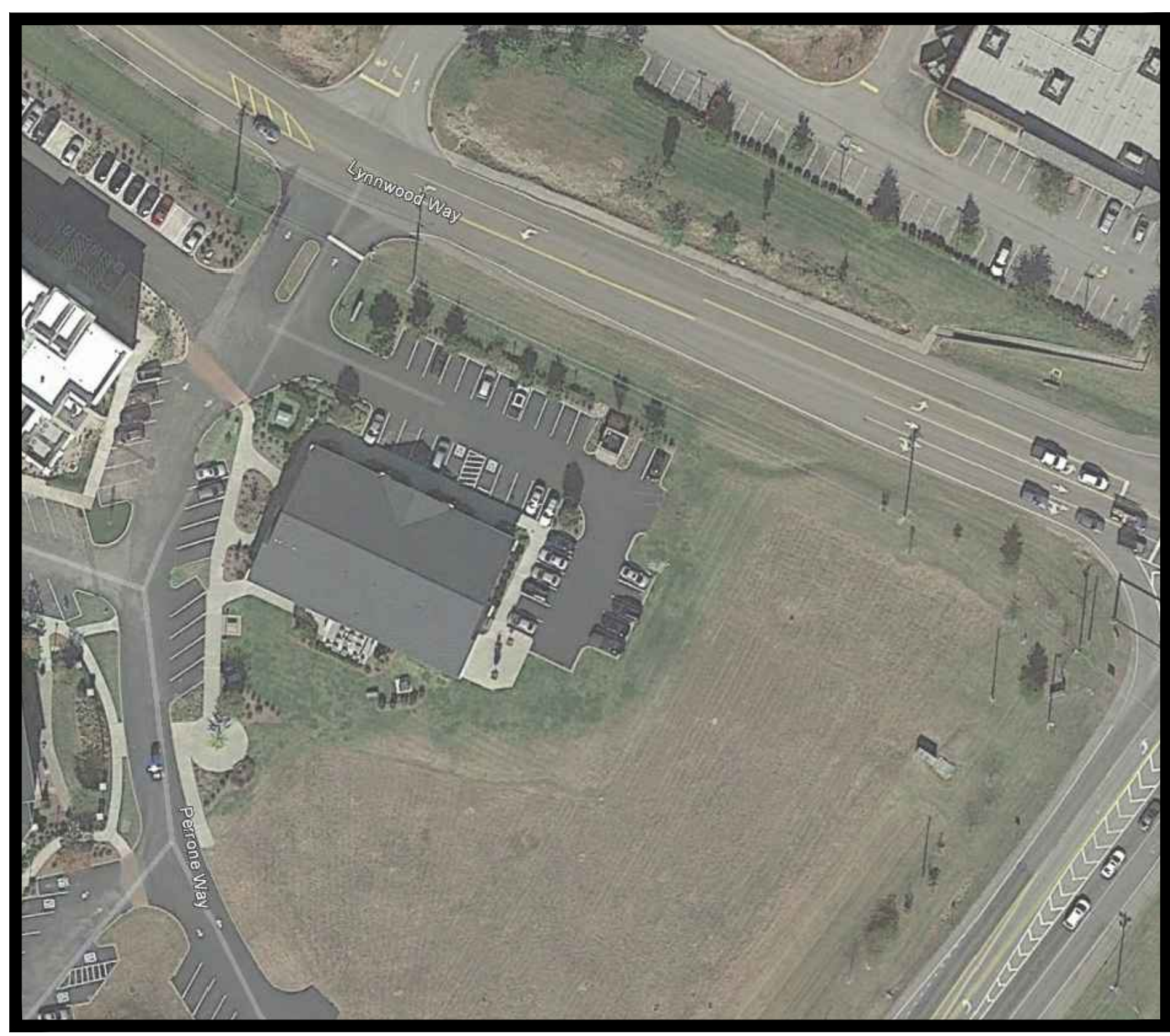


PLAT BOOK 53 PAGE 149
CAMDEN COMMONS PLAZA LLC
DEED BOOK 5287, PAGE 205

PLAT BOOK 53 PAGE 149
50,592.1 SQ. FT.
1.16 ACRES

PLAT BOOK 50 PAGE 60
FOR 6 LLC
DEED BOOK 6365, PAGE 171

EXISTING MANHOLE
TC = 768.47
INV = 761.16



EXISTING TREE CANOPY COVER
NOT TO SCALE

- LEGEND**
- SET IRON PIN (IP)
 - FOUND 1/2" IRON PIN (PLS 1512)
 - ⊠ ELECTRIC TRANSFORMER
 - ☀ LIGHT POLE
 - ⊕ SANITARY MANHOLE
 - ⊕ GAS VALVE
 - ⊕ WATER METER
 - ⊕ BOLLARD
 - ⊕ FIRE HYDRANT
 - ⊕ WATER VALVE
 - ⊕ STORM DRAIN
 - ⊕ TELEPHONE PEDESTAL
 - HW HEADWALL
 - ♿ HANDICAPPED SPACE

- SUBJECT BOUNDARY
- ADJOINING BOUNDARY
- OVERHEAD UTILITIES
- WATER LINE
- GAS LINE
- FIBER OPTIC LINE
- CHAINLINK FENCE
- EXISTING SLOPES (14% OR GREATER)

EXISTING CONDITION PLAN NOTES:

1. SOURCE OF TITLE: DEED BOOK 6234, PAGE 935.
2. ALL BEARINGS ARE BASED ON GEODETIC NORTH BY G.P.S. OBSERVATIONS, DATED 01-16-17.
3. THIS EXISTING CONDITIONS PLAN IS SUBJECT TO ANY AND ALL FACTS THAT MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH.
4. THIS EXISTING CONDITIONS PLAN IS NOT INTENDED IN ANY WAY WHATSOEVER TO INDICATE THE NON-EXISTENCE OF ANY EASEMENTS.
5. ALL SET IRON PINS ARE 5/8" REBAR WITH PLASTIC CAP STAMPED K.CROWE TN1979.
6. ANY EASEMENTS, CONDITIONS, OR RESTRICTIONS, WRITTEN OR UNWRITTEN THAT PREVIOUSLY APPLIES TO THIS PROPERTY SHALL REMAIN IN EFFECT AND APPLY TO THIS PLAT AS WELL.
7. 75% OF THIS PROPERTY WAS SURVEYED BY RTK GPS, TOPCON HYPER II DUAL FREQUENCY.
8. ALL DATA HAS A RELATIVE POSITIONAL ACCURACY OF +/- 0.05' + 100PPM.
9. SUBJECT PROPERTY LIES WITHIN NON-HAZARDOUS FLOOD ZONE 'X' PER F.E.M.A. F.I.R.M. #47187C0205F, EFFECTIVE DATE SEPTEMBER 29, 2006.

REFERENCE:

1. SEE SHEET C001 FOR GENERAL NOTES.
2. BOUNDARY, EASEMENT AND TOPOGRAPHIC INFORMATION SHOWN IS BASED ON A TOPOGRAPHIC & BOUNDARY SURVEY CONDUCTED BY CROWE - WHEELER AND ASSOCIATES, DATED JANUARY 2017.
3. THE PROPERTY SHOWN HEREON IS LOCATED IN ZONE 'X' (AREAS DETERMINED TO BE OUTSIDE OF 500 YEAR FLOOD) ACCORDING TO F.I.R.M. 'WILLIAMSON COUNTY, TENNESSEE AND INCORPORATED AREAS' PANEL 205 OF 485, MAP NUMBER 47187C0205F, MAP REVISED ON SEPTEMBER 29, 2006.

MINERAL RIGHTS NOTE:

THERE ARE NO MINERAL RIGHTS HELD BY PARTIES OTHER THAN THE OWNER OF RECORD.

PIPE INVERT ELEVATIONS

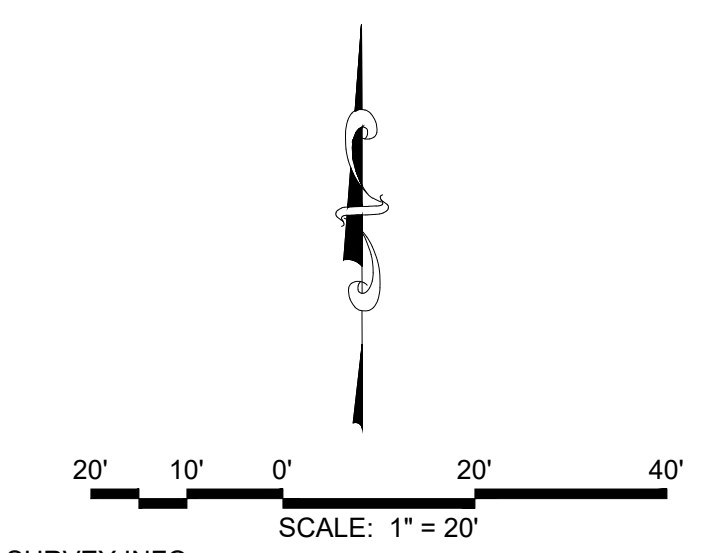
INVERT #	INVERT ELEVATION
P1	773.88
P2	772.32
P3	769.80
P4	767.28

BENCHMARK INFORMATION

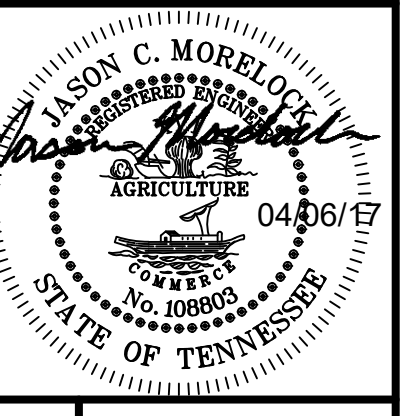
BM	NORTHING	EASTING	ELEVATION	DESCRIPTION
1	598,023.46	1,721,668.21	777.71	PK NAIL

BOUNDARY CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	18.51'	32.31'	28.36'	S 13°25'25" E



MORELOCK ENGINEERING
2097 BELSFORD DRIVE
NOLANSVILLE, TN 37135
JASON@MORELOCKENG.COM - (615) 300-6486



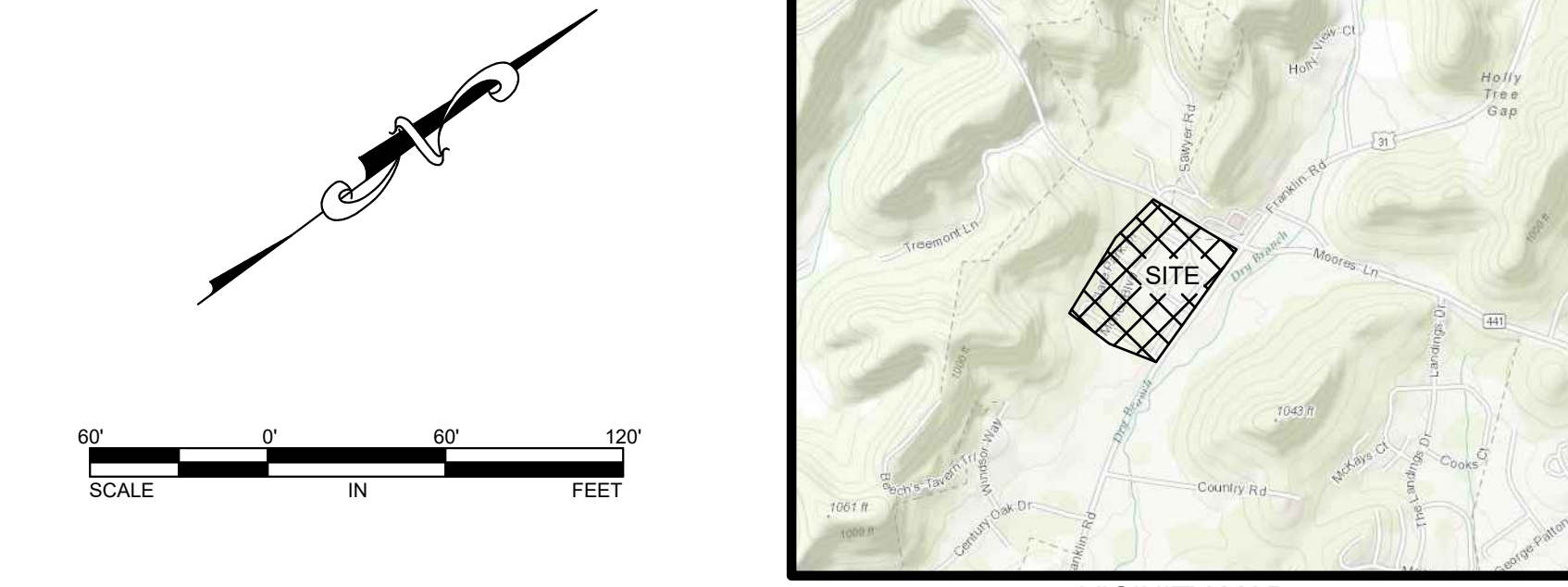
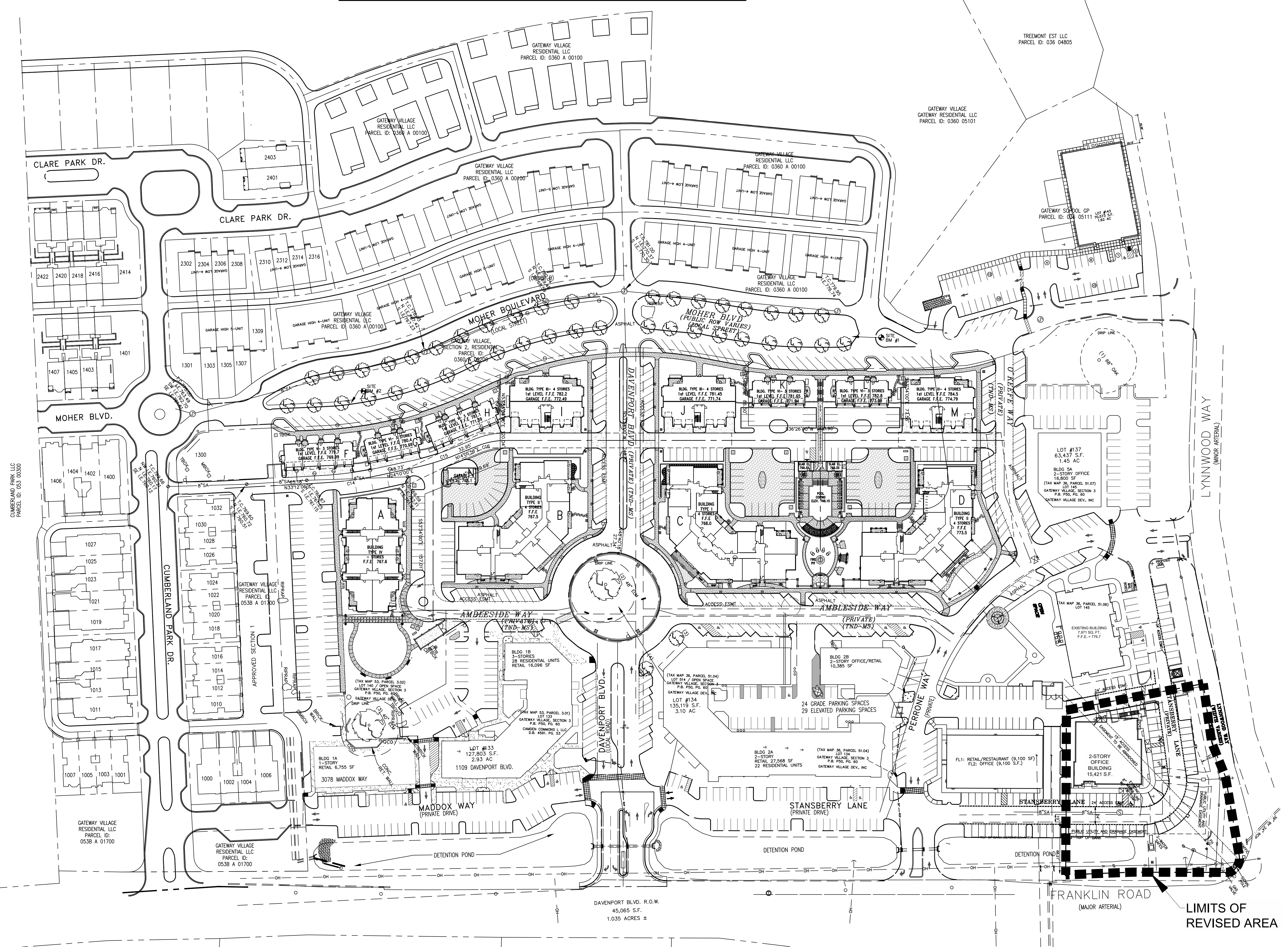
EXISTING CONDITIONS DEVELOPMENT PLAN
DEVELOPMENT PLANS FOR:
GATEWAY VILLAGE OFFICE BUILDING
LOT 136, GATEWAY VILLAGE, SECTION THREE, REVISION 6
3020 STANSBERRY LANE, FRANKLIN, WILLIAMSON COUNTY, TENNESSEE
CITY OF FRANKLIN PROJECT NO. 6381

DATE	DESCRIPTION
03/13/2017 <td>DEVELOPMENT PLAN SUBMITTAL</td>	DEVELOPMENT PLAN SUBMITTAL
04/02/2017 <td>DEVELOPMENT PLAN RE-SUBMITTAL</td>	DEVELOPMENT PLAN RE-SUBMITTAL

C100

811
Know what's below.
Call before you dig.

THIS ENTIRE AREA IS "TRADITIONAL" NEIGHBORHOOD - BCCO-4



LAND USE TABULATIONS:

APPROVED ZONING	PLANNED COMMERCIAL (PC 6.93)
PROPOSED ZONING	PLANNED COMMERCIAL (PC 6.64)
GROSS SITE AREA	± 60.50 ACRES
TOTAL RESIDENTIAL UNITS	402 DWELLING UNITS (SECTION 2)
SINGLE FAMILY LOTS	113 DWELLING UNITS (APPROVED SECTION 2)
TOWNHOUSES	113 DWELLING UNITS (APPROVED SECTION 3 & 4)
CONDOMINIUMS	6 DWELLING UNITS (APPROVED SECTION 4)
CONDOMINIUMS/LOFTS	214 DWELLING UNITS (SECTION 3, REV. 1)
	LOT 135 - 28, LOT 136 - 186
GROSS DENSITY	6.64 D.U./AC.
TOTAL SF OF RETAIL/RESTAURANTS	79,882 SF
TOTAL SF OF OFFICE	78,592 SF
TOTAL RETAIL/OFFICE/RESTAURANT	158,474 SF
PROPOSED FLOOR AREA RATIO	0.059
MAXIMUM FLOOR AREA RATIO	0.60

MINIMUM OPEN SPACE REQUIREMENTS FOR RESIDENTIAL OPEN SPACE:

10% OF DEVELOPABLE AREA REQUIRED FOR FORMAL OPEN SPACE
TOTAL DEVELOPABLE = 41.82 ACRES
5% OF 41.82 = 91,040 SF (2.09 ACRES)

KEY	TYPE	APPROVED AREA OF OPEN SPACE	APPROVED MAXIMUM 25% PAVED AREA	PROPOSED AREA OF OPEN SPACE	PROPOSED MAXIMUM 25% PAVED AREA
AREA F-1	SECTION 1 MEDIUM CIRCLE	9,996 SF	2,499 SF	9,170 SF	2,292 SF
AREA F-2	SECTION 1 MEDIAN/GREEN	6,624 SF	1,656 SF	3,881 SF	995 SF
AREA F-3	SECTION 2 PARK	11,623 SF	2,906 SF	7,150 SF	1,787 SF
AREA F-4	NEIGHBORHOOD PARK	42,111 SF	10,527 SF	42,334 SF	10,583 SF
AREA F-5 (LOT 136)	GATEWAY MONUMENT	14,908 SF	3,727 SF	13,041 SF	3,260 SF
AREA F-6 (LOT 135)	FOCAL POINT	5,059 SF	1,264 SF	5,059 SF	1,264 SF
AREA F-6 (LOT 138)	FOCAL POINT	12,073 SF	3,018 SF	7,491 SF	1,872 SF
AREA F-6 (LOT 145)	FOCAL POINT	5,059 SF	1,264 SF	5,059 SF	1,264 SF
AREA F-7	TRAFFIC CIRCLE	8,659 SF	2,165 SF	11,804 SF	2,951 SF
AREA F-8	PLAZA	19,528 SF	4,882 SF	24,115 SF	6,028 SF
AREA F-9	PARK	16,076 SF	4,019 SF	17,495 SF	4,029 SF
AREA F-10	PARK	7,852 SF	1,963 SF	12,453 SF	3,113 SF
AREA F-11 (LOT 135)	PLAZA	482 SF	120 SF	482 SF	120 SF
AREA F-11 (LOT 136)	PLAZA	12,701 SF	3,175 SF	2,615 SF	100 SF
AREA F-11 (LOT 145)	PLAZA	8,770 SF	2,193 SF	8,770 SF	2,193 SF
TOTAL		162,211 SF (3.77 ACRES)	40,995 SF	167,195 SF (3.86 ACRES)	42,203 SF

* 5% OF DEVELOPABLE AREA REQUIRED FOR FORMAL OPEN SPACE
 * NOTE: PLANNING COMMISSION APPROVED MINIMUM 160,533 SF
 * TOTAL DEVELOPABLE AREA = 41.82 ACRES, 5% OF 41.82 ACRES = 91,040 SF (2.09 ACRES)
 * CONCEPT - STAFF COMMENTS - EXPAND FORMAL OPEN SPACE

INFORMAL OPEN SPACE:

10% OF DEVELOPABLE AREA REQUIRED FOR INFORMAL OPEN SPACE
TOTAL DEVELOPABLE = 41.82 ACRES
10% OF 41.82 = 182,081 SF (4.18 ACRES)

KEY	CLASSIFICATION	TYPE	AREA OF OPEN SPACE	PAVED AREA
AREA I-1	INFORMAL	HILLSIDE	1,017,610 SF	-

DEVELOPMENT	FPMC APPROVAL DATE	PC ZONED ACRES	TOTAL DWELLING UNITS	RETAIL OFFICE SF
CONCEPT PLAN	6/3/03	60.50	419	142,258
"CONCEPT PLAN REV 3"	5/22/08	60.50	402	144,258
SECTION 1	6/8/04	4.83	33	-
SECTION 2	3/24/05	11.42	95	-
SECTION 6	7/27/06	4.44	44	-
SECTION 6 LOT 141 (REV. 6)	8/23/10	0.18	6	-
APPROVED SECTION 3	9/27/07	2.93	28	22,851
LOT 133	11/20/08	1.92	10,276	7,871
LOT 134	11/4/10	-	-	-
LOT 145	9/23/10	7.74	186	N/A (6,500 SF LEASING CTR.)
SECTION 3 LOTS 138, 140, & 144 (REV. 6)	PENDING	1.161	-	15,421 SF (OFFICE)
LOT 136				

*ONLY LOTS 133 & 143 WERE DEVELOPED FROM 9/27/07 APPROVAL. THE SITE PLAN HAS EXPIRED FOR LOTS 134 & 144.

NOTE: LATEST TAKEDOWN CHART INDICATING FPMC APPROVED TAKEDOWN CHART WAS FOUND ON A PLAN PREPARED FOR LOTS 135, 136 AND 145 BY DESIGN AND ENGINEERING, INC. FOR APOLLO BURGER (RESTAURANT) DATED 11/10/14 INCLUSIVE OF REVISION 2, DATED 03/05/15. FOR LATEST TAKEDOWN INFORMATION REGARDING PARKING REQUIREMENTS, NUMBER OF PROVIDED SPACES, RESIDENTIAL UNIT COUNT, AND COMMERCIAL SQUARE FOOTAGES IN SECTION 3, REFERENCE THE ADJUSTED DETAILED PARKING ANALYSIS ON THIS PLAN THAT WAS ORIGINALLY PREPARED FOR COF PROJECT #6166 (LOT 135) PREPARED BY LUMENS ENGINEERING CONSULTANTS, DATED 07/07/16. DIRECTION WAS GIVEN AT PRE-APPROVAL MEETING TO FOLLOW FORMAT USED IN COF PROJECT #6166.

STORMWATER NOTES:

- THIS SITE WILL PROVIDE ADEQUATE ON-SITE DETENTION FOR PRE AND POST DEVELOPMENT RUNOFF.
- NO PORTION OF THIS SITE LIES WITHIN A FLOODWAY (FW) OR FLOODWAY FRINGE (FF) BOUNDARY. MAP# 47187C0205F
- THE STORM WATER DETENTION FACILITIES WILL MINIMIZE IMPACTS OF INCREASED RUNOFF ON DOWNSTREAM PROPERTIES. THE EXISTING DETENTION AREAS WILL BE USED FOR ALL DETENTION AND WATER QUALITY REQUIREMENTS FOR 2-100 YEAR STORMS. WATER QUALITY WILL PROVIDE A MINIMUM OF 80% TSS(TOTAL SUSPENDED SOLIDS) REMOVAL.
- REFER TO PLAN FOR APPROXIMATE LOCATIONS OF BIOTRETMENT. THIS IS SHOWN IN CONCEPT ONLY. FINAL SIZES AND LOCATION TO BE DETERMINED WITH SITE PLAN DEVELOPMENT.
- EXPECTED POLLUTANT REMOVAL EFFICIENCY TAKEN FROM CITY OF FRANKLIN STORMWATER MANAGEMENT PLAN.
- ALL WATER QUALITY DEVICES EAST OF THE WATER QUALITY CELL ON WATER SHALL DRAIN TOWARD THE EXISTING DETENTION FACILITIES.
- STRUCTURAL TREATMENT SHALL BE CITY OF FRANKLIN APPROVED DEVICES.
- RECALCULATIONS OF STORM WATER STUDY NOT REQUIRED/PRE-APPROVAL MEETING.

GENERAL NOTES:

- SECTIONS 1, 2, AND 6 OF GATEWAY VILLAGE DESIGNED BY LANDDESIGN, INC. THE REVISED COMMERCIAL VILLAGE DESIGNED BY KSA/CODA COMPANIES. SECTION 3 AND A PORTION OF SECTION 6 DESIGNED BY LITTLEJOHN ENGINEERING ASSOCIATES.
- THREE EXISTING TREES WITHIN THE COMMERCIAL VILLAGE SHALL BE PRESERVED.
- ALL TREE PROTECTION FENCING SHALL BE IN PLACE PRIOR TO THE ISSUANCE OF A GRADING PERMIT AND SHALL BE MAINTAINED IN GOOD WORKING ORDER UNTIL REQUIRED EROSION CONTROL MEASURES SHALL BE PLACED OUTSIDE OF ANY TREE PROTECTION FENCING.
- THE PLANT MATERIAL PROPOSED FOR THE BIOTRETMENT AREAS SHALL BE SHOWN ON THE PLAN AND INCLUDED IN A PLANT SCHEDULE AT THE SITE PLAN STAGE. MAINTENANCE GUIDELINES FOR THESE AREAS SHALL BE PROVIDED.
- SITE CONCEPT PLAN INCLUDED HAS BEEN PROVIDED BY KYLE SWINNEY ARCHITECTS AND HAS BEEN EDITED BY LANDDESIGN TO INCLUDE THE ADDITION OF SINGLE FAMILY LOTS WITHIN SECTION 1 AND THE REDESIGN OF THE TOWNHOUSES IN SECTION 3 AND THE ASSOCIATED TABULATED CALCULATIONS AS CLOUED ON THIS DATE.
- PROPOSED REVISIONS TO THE PARKING EXHIBIT AND CONCEPT PLAN FOR LOT 136 HAVE BEEN REVISED BY MORELOCK ENGINEERING, LLC AND THE ASSOCIATED TABULATIONS ARE PROVIDED. UPDATES WERE MADE TO THE LATEST KNOWN APPROVED PARKING EXHIBIT AND CONCEPT PLAN, DATED NOVEMBER 10, 2014, INCLUDING LATEST REVISION 5, DATED MARCH 5, 2015.

GATEWAY VILLAGE SECTION III - DETAILED ANALYSIS "TRADITIONAL"

PREVIOUSLY APPROVED BY FPMC JULY 28, 2014.
 APPROVAL REQUESTED FOR FINAL PLAN SECTION III FOR REVISIONS TO LOT 136 PROPOSED REVISION DATE: FEBRUARY 27, 2017
 SHARED PARKING ALLOWS 0.85 MULTIPLIER OF REQUIRED PARKING PER CITY.

LOT #	AREA	DESCRIPTION	# OF UNITS OR SQUARE FOOTAGE	PARKING REQMT FACTOR	REQUIRED PARKING SPACES	SUB-TOTAL	0.85 MULTIPLIER	ACTUAL PARKING SHOWN
133	CAMDEN COMMONS I APARTMENTS	STUDIO ONE BED	2	1	2	2		
		TWO BED	12	2	24	24		
		TWO BED	14	2.5	35	35		
MACK & KATES		RESTAURANT EMPLOYEES	3,077 SF	7.5/1000	23			
WALL STREET PIZZA		RESTAURANT EMPLOYEES	2,612 SF	7.5/1000	20			
SOPAPILLAS		RESTAURANT EMPLOYEES	4,387 SF	7.5/1000	33			
BAXTER & CO.		STATIONS EMPLOYEES	10	1	10			
LUNATIC FRINGE		STATIONS EMPLOYEES	10	1	10			
TRUE+CARE		RETAIL	1,467 SF	2.5/1000	3.67			
RB'S CYCLERY		RETAIL	2,564 SF	2.5/1000	6.41			
XTEND & WHITLEY		RETAIL	2,732 SF	2.5/1000	7			
AMISH EXPERIENCE		RETAIL	1,248 SF	2.5/1000	3			
APPLIED FROM SECTION 1					(37)			
SUB-TOTAL					228.08		193.87	191

LOT #	AREA	DESCRIPTION	# OF UNITS OR SQUARE FOOTAGE	PARKING REQMT FACTOR	REQUIRED PARKING SPACES	SUB-TOTAL	0.85 MULTIPLIER	ACTUAL PARKING SHOWN
134	RESIDENTIAL	STUDIO ONE BED	15	1	15	15		
		TWO BED	25	2	50	50		
COMMERCIAL		RETAIL	15,881	3.33/1000	52.82			
SUB-TOTAL		RESTAURANT	4,138 SF	10/1000	41.38			
SUB-TOTAL					194.18		165.05	188
135	COMMERCIAL	RETAIL	6,700 SF	2.5/1000	16.8			
		RESTAURANT EMPLOYEES	2,400 SF	7.5/1000+ 0.75 EMP	18.45+22.5			
SUB-TOTAL		OFFICE	4,772 SF	2.85/1000	13.6			
SUB-TOTAL					53		45	45
136	OFFICE	OFFICE BUILDING	15,421 SF	2.85/1000	44	44	37	49
		OFFICE BUILDING	21,000 SF	2.85/1000	60	60	51	52
137	TOUCHSTONE IMAGING	OFFICE	21,000 SF	2.85/1000	60	60	51	52
		ONE BED TWO BED	87	2	174	432.5	373.63	487
		TWO BED THREE BED	77	2.5	192.5			
SUB-TOTAL					3			
140	PARK		21	1	21	21	17.85	21
			21	1	21	21	17.85	21
143	GODDARD SCHOOL	DAYCARE EMPLOYEES STACKING	10,278 SF	2/1000	21	21	43.35	46
		ORAL SURGERY	30	1	30	30		
145	CAMDEN COMMONS PLAZA	ORAL SURGERY	7,971 SF	1/250	32	32	28	38
SUB-TOTAL					1,125.76	958.32	1,112	

TREES TO BE SAVED/PROTECTED

ID#	SIZE	TYPE	CONDITION
#1	68" CALIPER	OAK	FAIR
#2	48" CALIPER	ELM	GOOD
#3	40" CALIPER	ELM	GOOD

GATEWAY VILLAGE TAKEDOWN CHART

SITE SPECIMEN TREE REPLACEMENT REQUIRED

TOTAL SITE INCHES TO BE REPLACED	1,341
TOTAL REPLACEMENT CALIPER INCHES FROM SECTION 1	189
TOTAL REPLACEMENT CALIPER INCHES FROM SECTION 2	354
TOTAL REPLACEMENT CALIPER INCHES FROM SECTION 6	17.75
TOTAL REPLACEMENT CALIPER INCHES FROM SECTION 3 LOTS 133 & 134	214.90
TOTAL REPLACEMENT CALIPER INCHES FROM SECTION 3 LOT 143	55.0
TOTAL REPLACEMENT CALIPER INCHES FROM SECTION 3 & 6	198.0
REMAINING SPECIMEN CALIPER INCHES TO BE REPLACED PER FUTURE SECTIONS	510.35

GATEWAY VILLAGE SECTION III - PARKING SUMMARY "TRADITIONAL"

PREVIOUSLY APPROVED BY FPMC MARCH 26, 2015

SECTION III LOT NUMBER	USER OR AREA DESCRIPTION	REQUIRED PARKING SPACES	0.85 MULTIPLIER	ACTUAL PARKING SHOWN
133	CAMDEN COMMONS I	228.08	193.87	191
134	PROPOSED CC II	194.18	165.05	188
135	RETAIL/RESTAURANT/OFFICE	53	45	45
136	OFFICE BUILDING	44	37	49
137	TOUCHSTONE OFFICE	60	51	52
143	GODDARD SCHOOL	51	43.35	46
145	CAMDEN MEDICAL PLAZA	32	27	44
140	FORMAL OPEN SPACE	21	17.85	21
138				
139				
141				
142	BELL APARTMENTS	432.5	367.6	467
TOTALS		1,115.76	948.4	1,103

NOTE: PREVIOUSLY SHOWN ENTITLEMENTS FOR LOT 134 DO NOT NECESSARILY APPLY. ENTITLEMENTS FOR THIS LOT WILL BE DICTATED BY AVAILABLE PARKING AND REMAINING ENTITLEMENTS FOR THE OVERALL GATEWAY VILLAGE PUD SUBDIVISION AT THE TIME OF THE LOT 134 SITE PLAN SUBMITTAL.

NOTE: THIS CONCEPT PLAN INFORMATION SHOWN WAS TAKEN FROM AVAILABLE PUBLIC INFORMATION PROVIDED BY THE CITY OF FRANKLIN. MORELOCK ENGINEERING, LLC ACCEPTS NO LIABILITY OF THE EXACTNESS OF THE DEVELOPMENT OF THE PROPOSED PLAN SHOWN.

MORELOCK ENGINEERING

2097 BELSFORD DRIVE
NOLANSVILLE, TN 37135
JASON@MORELOCKENG.COM - (615) 900-6486

REVISED PARKING EXHIBIT & SITE CONCEPT PLAN

REVISIONS TO LOT #136

GATEWAY VILLAGE PUD SUBDIVISION, DEVELOPMENT PLAN, REV. 6

3020 STANBERRY LANE, FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

CITY OF FRANKLIN PROJECT NO. 6381

DATE: 03/13/2017
 DEVELOPMENT PLAN SUBMITTAL: JOM
 DEVELOPMENT PLAN RE-SUBMITTAL: JOM

C200



SITE LAYOUT DEVELOPMENT PLAN

DEVELOPMENT PLANS FOR:
GATEWAY VILLAGE OFFICE BUILDING
 LOT 136, GATEWAY VILLAGE, SECTION THREE, REVISION 6
 3020 STANSBERRY LANE, FRANKLIN, WILLIAMSON COUNTY, TENNESSEE
 CITY OF FRANKLIN PROJECT NO. 6381

DR.	DATE	DESCRIPTION
JCM	03/13/2017	DEVELOPMENT PLAN SUBMITTAL
JCM	04/06/2017	DEVELOPMENT PLAN RE-SUBMITTAL

C201

GATEWAY VILLAGE OFFICE

LEGEND

- SET IRON PIN (IP)
- FOUND 1/2" IRON PIN (PLS 1512)
- SUBJECT BOUNDARY
- ADJOINING BOUNDARY
- X X X EXISTING CHAINLINK FENCE
- PROPOSED HEAVY DUTY ASPHALT PAVEMENT
- PROPOSED LIGHT DUTY ASPHALT PAVEMENT
- PROPOSED PERVIOUS PAVERS
- PROPOSED CONCRETE PAVEMENT
- PROPOSED CONCRETE SIDEWALK

SITE DATA

PROJECT NAME:	GATEWAY VILLAGE, SECTION THREE OFFICE BUILDING
CITY OF FRANKLIN PROJECT #:	GATEWAY VILLAGE SUBDIVISION
SUBDIVISION:	136
LOT NUMBER:	3020 STANSBERRY LANE
ADDRESS:	FRANKLIN
CITY:	WILLIAMSON
COUNTY:	TENNESSEE
STATE:	8TH
CIVIL DISTRICT:	N/A
MAP:	36
GROUP:	N/A
PARCEL:	51.06

EXISTING ZONING:	SD-X (SPECIFIC DEVELOPMENT - VARIETY DISTRICT)
CHARACTER AREA OVERLAY:	BERRY'S CHAPEL (BCCO-4)
OTHER APPLICABLE OVERLAYS:	N/A
APPLICABLE DEVELOPMENT STANDARD:	TRADITIONAL
ACREAGE OF SITE:	1.16
SQUARE FOOTAGE OF SITE:	50,462
MINIMUM REQUIRED SETBACK LINES:	
YARD FRONTING ON ANY STREET:	3 FEET
SIDE YARD:	10 FEET MINIMUM BETWEEN BUILDINGS
REAR YARD:	10 FEET
MAXIMUM HEIGHT:	3 STORIES

DEVELOPER:	BRENTWOOD BROKERS, LLC
	5204 COUNTRY CLUB DRIVE
	BRENTWOOD, TENNESSEE 37027
	PHONE: (615) 300-7150
	CONTACT: RON KOCCINA
	E-MAIL: rkocina@comcast.net

APPLICANT:	MORELOCK ENGINEERING, LLC
	2097 BELSFORD DRIVE
	NOLANSVILLE, TENNESSEE 37135
	PHONE: 615-300-6486
	CONTACT: JASON MORELOCK, P.E.
	E-MAIL: jason@morelockeng.com

BUILDING SQUARE FOOTAGE:	15,421 S.F.
BUILDING HEIGHT:	34'-6" (TWO-STORY)
MAXIMUM FLOOR AREA RATIO:	0.60
FLOOR AREA RATIO PROVIDED:	0.31
BUILDING OCCUPANCY TYPE:	GROUP B (BUSINESS)
BUILDING CONSTRUCTION TYPE:	TYPE IIB (SPRINKLERED)

LANDSCAPE SURFACE RATIO:	0.42 (21,110 S.F.)
MINIMUM LANDSCAPE SURFACE RATIO:	0.20

MINIMUM PARKING REQUIREMENT:	2.85 SPACES PER PER 1,000 S.F.
	(15,281 / 1,000) * 2.85 = 44 SPACES
MAXIMUM PARKING LIMIT:	53 SPACES
PARKING PROVIDED:	49 SPACES

RESIDENTIAL DENSITY:	NOT APPLICABLE
TREE CANOPY:	NOT APPLICABLE
PARKLAND:	NOT APPLICABLE
FORMAL OPEN SPACE:	3% REQUIRED
INCOMPATIBLE USE BUFFER:	NONE REQUIRED

BENCHMARK INFORMATION

BM	NORTHING	EASTING	ELEVATION	DESCRIPTION
1	598,023.46	1,721,668.21	777.71	PK NAIL

BOUNDARY CURVE TABLE

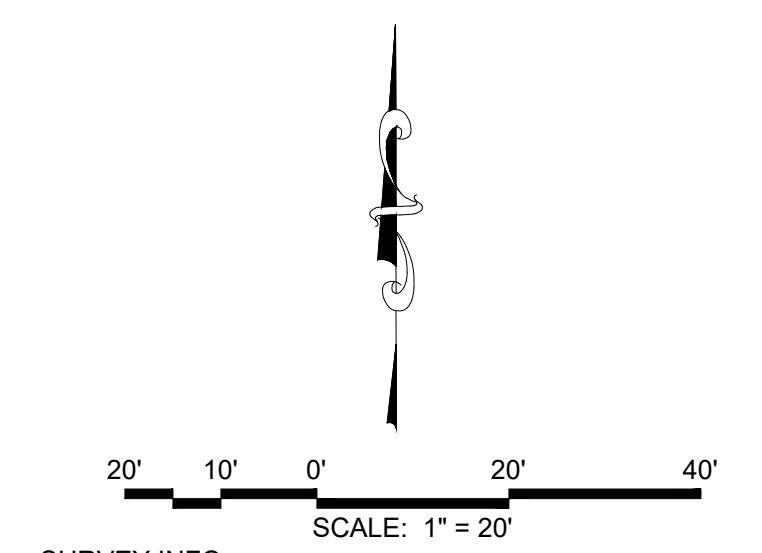
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	18.51'	32.31'	28.36'	S 13°25'25" E

REFERENCE:

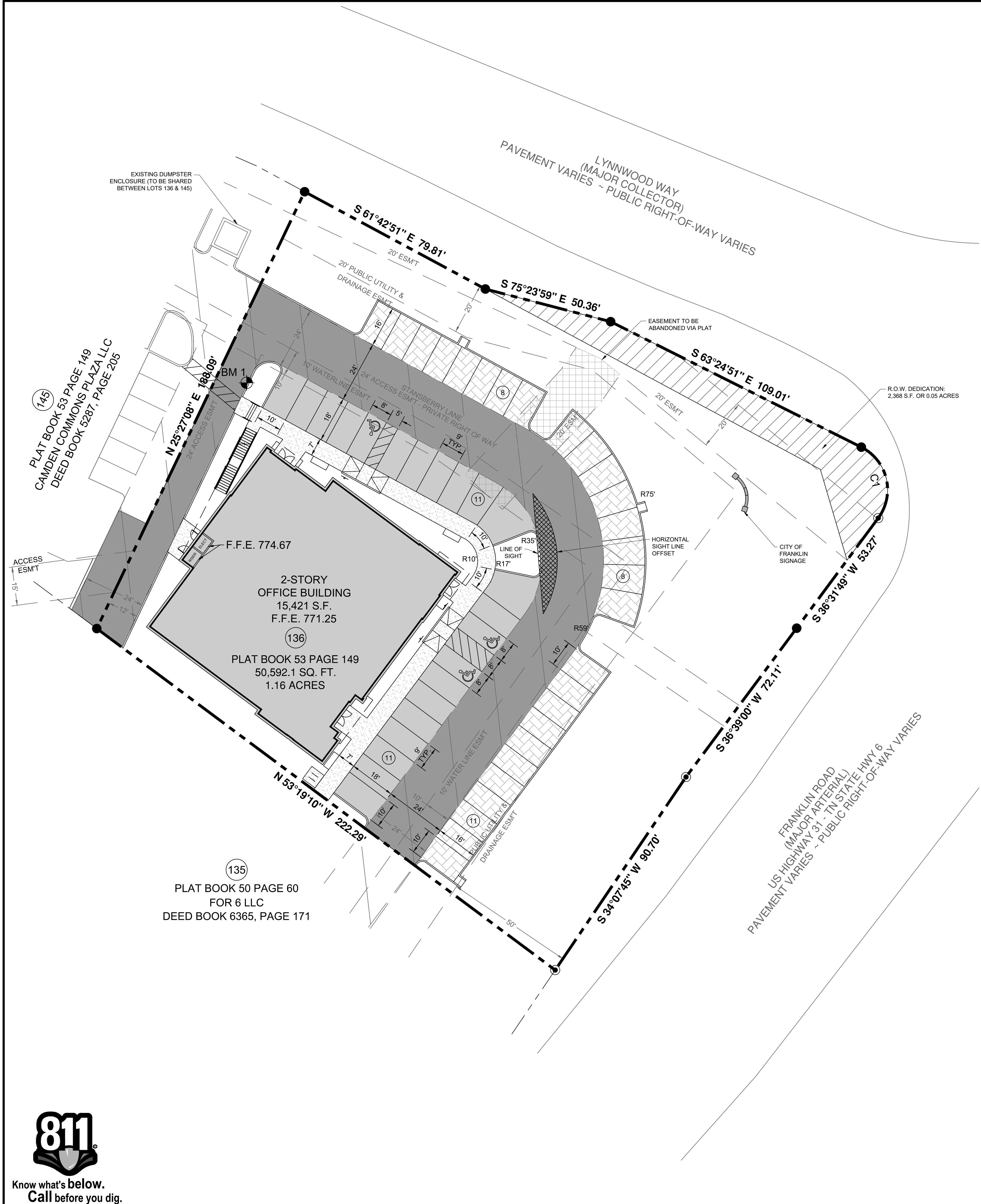
- SEE SHEET C001 FOR GENERAL NOTES AND LAYOUT NOTES.
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- THE PROPERTY SHOWN HEREON IS LOCATED IN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE OF 500 YEAR FLOOD) ACCORDING TO F.I.R.M. "WILLIAMSON COUNTY, TENNESSEE AND INCORPORATED AREAS" PANEL 205 OF 465, MAP NUMBER 47187C0205F. MAP REVISED ON SEPTEMBER 29, 2009.

IMPACT STATEMENT

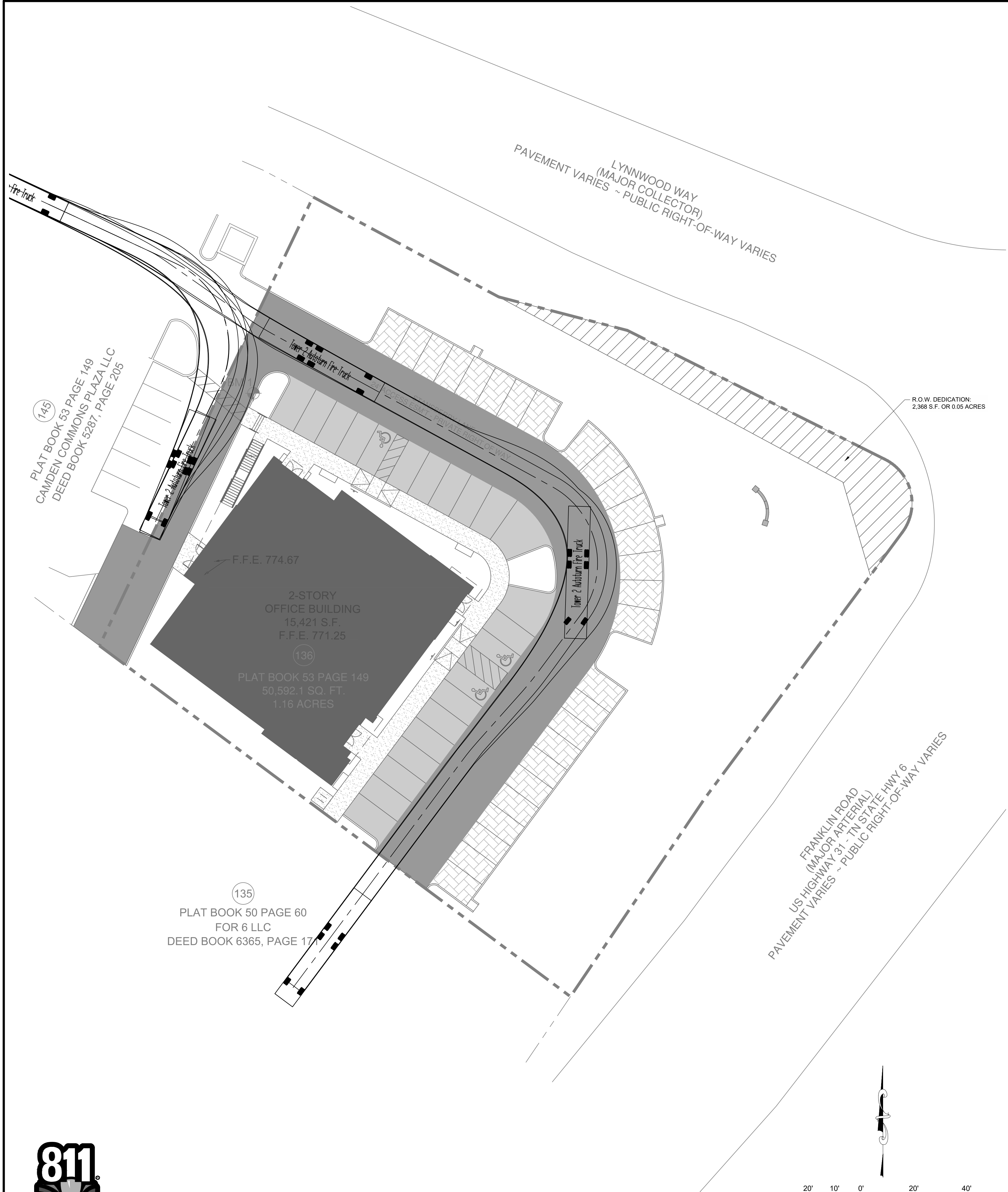
THE PROPOSED DEVELOPMENT WILL CONSIST OF ± 15,421 SQUARE FOOT OFFICE BUILDING. THE PROPOSED OFFICE BUILDING WILL REQUIRE POLICE, FIRE AND SOLID WASTE SERVICES. IMPACT TO SURROUNDING DRAINAGE FACILITIES IS ANTICIPATED TO BE MINIMAL AS THE PROPOSED DEVELOPMENT WILL SATISFY THE CITY REQUIREMENTS FOR STORMWATER QUALITY AND QUANTITY.



SURVEY INFO
 PROVIDED BY: CROWE - WHEELER AND ASSOCIATES
 DATUM: TENNESSEE STATE PLANE (NAD83 & NAVD88)



Know what's below.
 Call before you dig.



Vehicle Tracking v17.00 - Pool

Vehicle Tracking Vehicle Details Ref:

Vehicle Name: Tower 2 Autoturn Fire Truck
Type: Rigid vehicle
Category: (Unspecified)
Classification: (Unspecified)
Source:
Description:
Notes:
Unit 1 Name: Tower 2 Autoturn Fire Truck Tractor

Tower 2 Autoturn Fire Truck
Overall Length 50.042ft
Overall Width 8.3333ft
Overall Body Height 9.3588ft
Min Body Ground Clearance 0.6997ft
Track Width 8.000ft
Lock-to-lock time 6.00s
Wall to Wall Turning Radius 42.000ft

Every Effort Has Been Made To Ensure The Accuracy Of This Information
Please Check Data From Your Own Sources

Vehicle Tracking v17.00 - Pool

Vehicle Tracking Vehicle Details Ref:

Unit Name: Tower 2 Autoturn Fire Truck Tractor
Type: Tractor (with driver controlled steering)
Body style: Fire Truck
Classification: (Unspecified)
Source:
Description:
Notes:
Datum: Front Primary Axle

Front Axle(s): 1 Ackerman (axles fixed, wheels turn)
Primary Front Axle Offset: 0.000ft
Effective Front Axle Offset: 0.000ft (Auto Calculated)
Maximum Wheel Angle: Unlimited
Status: Active Non Self-Steered
Track Width: 8.000ft
Total Wheels: 4 (positioned at the ends of the axle)
Tire Width: 0.800ft (Auto Calculated - proportion of Track Width)
Tire Diameter: 2.800ft (Auto Calculated - proportion of Track Width)

Rear Axle(s): 2 Fixed (All axles identical)
Primary Rear Axle Offset: 21.316ft (Innermost Axle behind Front Primary Axle)
Effective Rear Axle Offset: 23.524ft (Auto Calculated)
Maximum Wheel Angle: Unlimited
Rear Axle Spacing: 4.417ft
Status: Active Non Self-Steered
Track Width: 8.000ft
Total Wheels: 4 (positioned at the ends of the axle)
Tire Width: 0.800ft (Auto Calculated - proportion of Track Width)
Tire Diameter: 2.800ft (Auto Calculated - proportion of Track Width)

Steering: Front Axle(s):
Min. Wall / Wall Turning Radius: 42.000ft (based upon body only)
Calculated Maximum Wheel Angle: 47.000deg
Lock-to-Lock Time (Fwd/Rev): 6.0sec / 6.0sec
Driver / Pilot
Driver Offset Longitudinally: 1.662ft (in front of Front Primary Axle)
Driver / Pilot Offset Laterally: -1.969ft (Right of Centerline)
Driver Height: 6.234ft (Above ground level)
Front Coupling: None

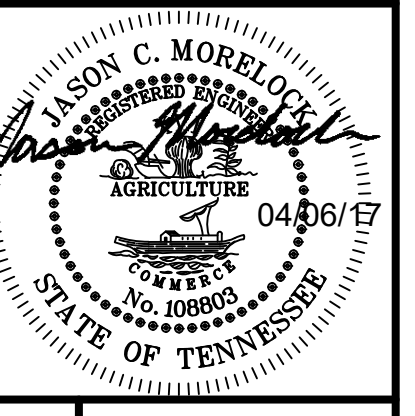
Rear Coupling: Generic
Coupling Offset: 21.316ft (behind Front Primary Axle)
Coupling Height: 2.800ft (Auto Calculated - proportion of Tire Diameter)
Capability: Can Tow or be Towed
Max. Horizontal Articulation Angle: 90.000deg
Max. Vertical Articulation Angle: 10.000deg

Body outline (plan): Rectangle
Outline Type: Rectangle
Offset (X,Y): -6.584ft, 0.000ft
Length / Width: 50.042ft / 8.333ft

Every Effort Has Been Made To Ensure The Accuracy Of This Information
Please Check Data From Your Own Sources

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 JASON@MORELOCKENG.COM - (615) 300-6486



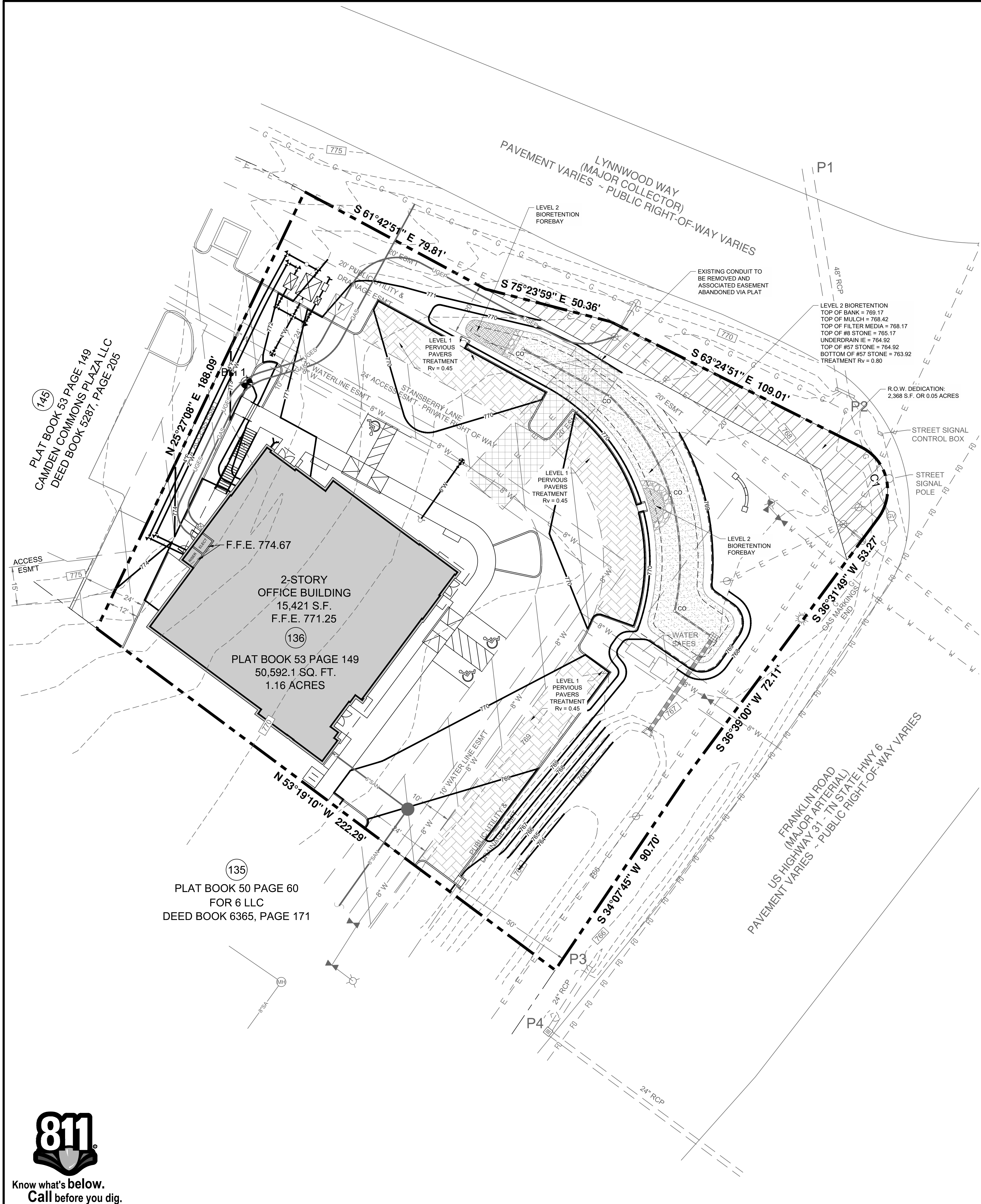
AUTOTURN FIRE TRUCK PLAN

DEVELOPMENT PLANS FOR:
GATEWAY VILLAGE OFFICE BUILDING
 LOT 136, GATEWAY VILLAGE, SECTION THREE, REVISION 6
 3020 STANBERRY LANE, FRANKLIN, WILLIAMSON COUNTY, TENNESSEE
 CITY OF FRANKLIN PROJECT NO. 6381

DR.	DATE	DESCRIPTION
JCM	03/13/2017	DEVELOPMENT PLAN SUBMITTAL
JCM	04/02/2017	DEVELOPMENT PLAN RE-SUBMITTAL

C202

GATEWAY VILLAGE OFFICE



STORMWATER NARRATIVE

STORMWATER QUALITY FOR THE PROJECT WILL BE PROVIDED BY UTILIZING BIORETENTION AND PERVIOUS PAVEMENT. THE AREA ALONG IN THE EASTERN PORTION OF THE PROPERTY CAN PROVIDE APPROXIMATELY 5,000 SF OF BIORETENTION. THE PROPOSED BIORETENTION WILL BE LEVEL 2, WITH AN EQUIVALENT STORAGE DEPTH OF 2.30 FEET. PERVIOUS PAVEMENT WILL BE UTILIZED IN THE PARKING SPACES ALONG THE OUTER PERIMETER OF THE PARKING AREA (ALONG THE NORTH, EAST AND SOUTH SIDES) OF THE PROPERTY. THE PERVIOUS PAVEMENT WILL BE LEVEL 1, WITH AN EQUIVALENT STORAGE DEPTH OF 0.73 FEET. THESE GREEN INFRASTRUCTURE PRACTICES WILL SATISFY THE CITY REQUIREMENTS CONCERNING STORMWATER QUALITY REQUIREMENTS.

ALL STORMWATER WILL BE CONVEYED TO THE EXISTING OUTFALL AT THE SOUTH-WEST CORNER OF THE SITE, WHICH DISCHARGES TO AN EXISTING REGIONAL DETENTION AREA THAT IS SIZED TO SERVICE THE SUBJECT PROPERTY. STORMWATER ULTIMATELY DRAINS TO DRY BRANCH ON THE EAST SIDE OF FRANKLIN ROAD.

CITY OF FRANKLIN STANDARD GRADING & DRAINAGE NOTES

- GRADING PERMIT IS REQUIRED FOR ANY PROJECT DISTURBING MORE THAN 10,000 SF, ADDING MORE THAN 5,000 SF OF IMPERVIOUS SURFACE OR FOR ANY SITE GRADING REQUIRING STOCKPILING OF MATERIAL.
- THE DEVELOPER SHALL PROVIDE THE NECESSARY LABOR AND SUPERVISION REQUIRED TO SUPPORT FIELD TESTING BY THE INDEPENDENT TESTING FIRM AND INSPECTIONS BY CITY OFFICIALS AT NO COST TO THE CITY. TEST REPORTS OF FIELD TESTING IF APPLICABLE SHALL BE SUBMITTED DIRECTLY TO THE STREET DEPARTMENT. DEFECTS DISCLOSED BY TESTS SHALL BE RECTIFIED.
- AN AUTHORIZED REPRESENTATIVE OF THE CITY SHALL MAKE A FINAL INSPECTION OF THE PROJECT AFTER COMPLETION TO DETERMINE ACCEPTABILITY OF THE WORK AND FOR RELEASE OF PERFORMANCE BONDS IF REQUIRED. BEFORE THIS FINAL INSPECTION CAN BE MADE, THE ENGINEER RESPONSIBLE FOR THE PROJECT SHALL CERTIFY IN WRITING TO THE CITY ENGINEER THAT THE WORK HAS BEEN COMPLETED IN ACCORDANCE WITH APPROVED PLANS AND SPECIFICATIONS.
- DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, CULVERTS, DETENTION BASINS AND DITCHES, AS WELL AS THE ROADWAY SUB-GRADE, BASE STONE AND BINDER & SURFACE COARSE SHALL BE INSPECTED, TESTED AND GIVEN APPROVAL AT EACH STAGE OF INSTALLATION PRIOR TO PROCEEDING TO THE NEXT STAGE OF CONSTRUCTION. FINAL CONSTRUCTION INSPECTION FOR APPROVAL AND ACCEPTANCE OF STREETS AND DRAINAGE SYSTEMS WILL NOT BE GRANTED UNTIL ALL WORK HAS BEEN COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS.
- LOCATING AND COORDINATION FOR THE RELOCATION OF EXISTING UTILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR. TENNESSEE'S ONE-CALL AND THE CITY OF FRANKLIN UTILITY LOCATION SERVICE SHALL BE UTILIZED IN ADDITION TO COORDINATION WITH LOCAL UTILITY OWNERS. THE CONTRACTOR SHALL AT ALL TIMES PROTECT EXISTING UTILITIES AND WILL BE RESPONSIBLE FOR COSTS DUE TO DAMAGE CAUSED TO ANY UTILITY LINES.

GRADING & DRAINAGE DATA CHART (EXISTING)

SITE AREA:	1.16 ACRES
IMPERVIOUS AREA:	0.06 ACRES
DISTURBED AREA:	0.00 ACRES
Rv VALUE:	0.22
PEAK FLOW RUNOFF:	
2 YEAR:	2.14 CFS
5 YEAR:	2.47 CFS
10 YEAR:	2.74 CFS
25 YEAR:	3.09 CFS
50 YEAR:	3.35 CFS
100 YEAR:	3.61 CFS

GRADING & DRAINAGE DATA CHART (PROPOSED)

SITE AREA:	1.16 ACRES
IMPERVIOUS AREA:	0.51 ACRES
DISTURBED AREA:	1.16 ACRES
Rv VALUE:	0.19
PEAK FLOW RUNOFF:	
2 YEAR:	4.15 CFS
5 YEAR:	4.80 CFS
10 YEAR:	5.32 CFS
25 YEAR:	5.98 CFS
50 YEAR:	6.50 CFS
100 YEAR:	7.01 CFS

IMPACT STATEMENT

THE PROPOSED DEVELOPMENT WILL CONSIST OF ± 15,421 SQUARE FOOT OFFICE BUILDING. THE PROPOSED OFFICE BUILDING WILL REQUIRE POLICE, FIRE AND SOLID WASTE SERVICES. IMPACT TO SURROUNDING DRAINAGE FACILITIES IS ANTICIPATED TO BE MINIMAL AS THE PROPOSED DEVELOPMENT WILL SATISFY THE CITY REQUIREMENTS FOR STORMWATER QUALITY AND QUANTITY.

BENCHMARK INFORMATION

BM	NORTHING	EASTING	ELEVATION	DESCRIPTION
1	598,023.46	1,721,668.21	777.71	PK NAIL

BOUNDARY CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	18.51'	32.31'	28.36'	S 13°25'25" E

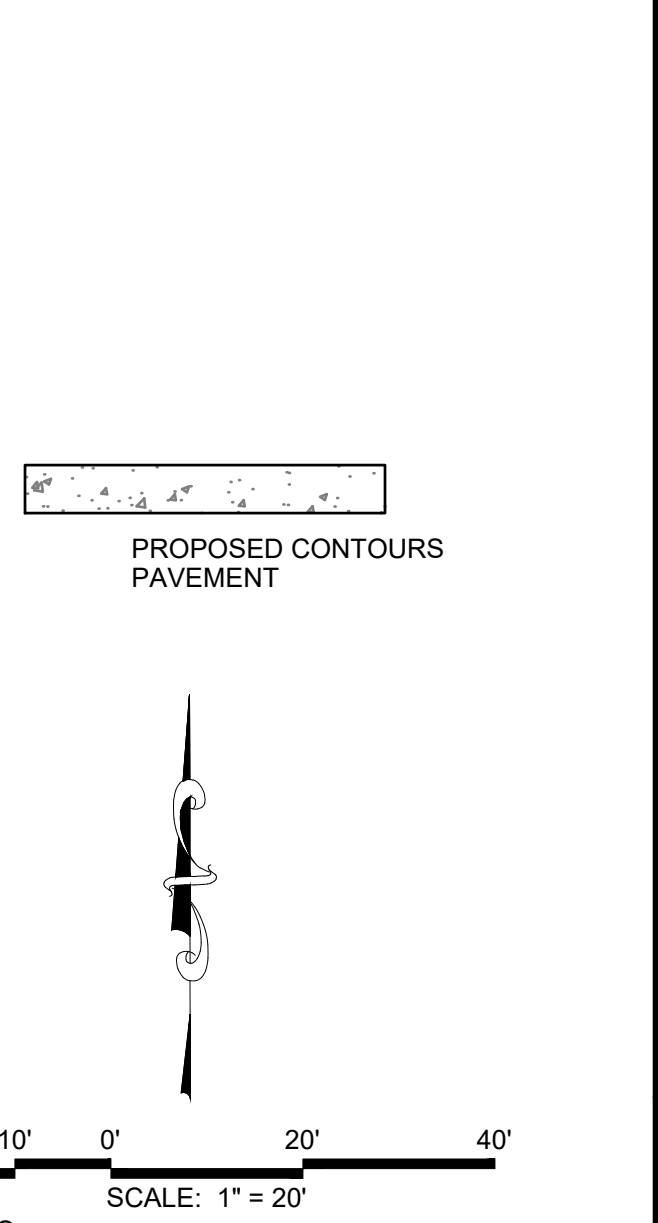
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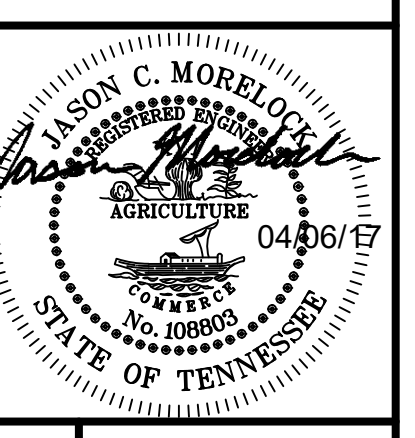
LEGEND

- SET IRON PIN (IP)
- FOUND 1/2" IRON PIN (PLS 1512)
- EXISTING ELECTRIC TRANSFORMER
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING SANITARY MANHOLE
- EXISTING GAS VALVE
- EXISTING WATER METER
- EXISTING BOLLARD
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING STORM DRAIN
- EXISTING TELEPHONE PEDESTAL
- EXISTING HEADWALL
- EXISTING HANDICAPPED SPACE

- SUBJECT BOUNDARY
- ADJOINING BOUNDARY
- EXISTING OVERHEAD UTILITIES
- EXISTING WATER LINE
- EXISTING GAS LINE
- EXISTING FIBER OPTIC LINE
- EXISTING CHAINLINK FENCE
- PROPOSED PERVIOUS PAVERS
- PROPOSED CONTOURS
- PROPOSED STORM
- 96.48(T) TOP OF CURB
- 95.96(B) BOTTOM OF CURB
- PROPOSED SPOT ELEVATION
- 91.65(EX) EXISTING
- PROPOSED AREA DRAIN
- PROPOSED CURB INLET
- PROPOSED STORM MANHOLE
- PROPOSED HEADWALL
- PROPOSED SEWER LINE
- PROPOSED UNDERGROUND PRIMARY ELECTRIC
- PROPOSED UNDERGROUND SECONDARY ELECTRIC
- PROPOSED WATER LINE
- PROPOSED FIRE LINE
- PROPOSED GAS LINE



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GRADING & DRAINAGE DEVELOPMENT PLAN
 DEVELOPMENT PLANS FOR:
GATEWAY VILLAGE OFFICE BUILDING
 LOT 136, GATEWAY VILLAGE, SECTION THREE, REVISION 6
 3020 STANSBERRY LANE, FRANKLIN, WILLIAMSON COUNTY, TENNESSEE
 CITY OF FRANKLIN PROJECT NO. 6381

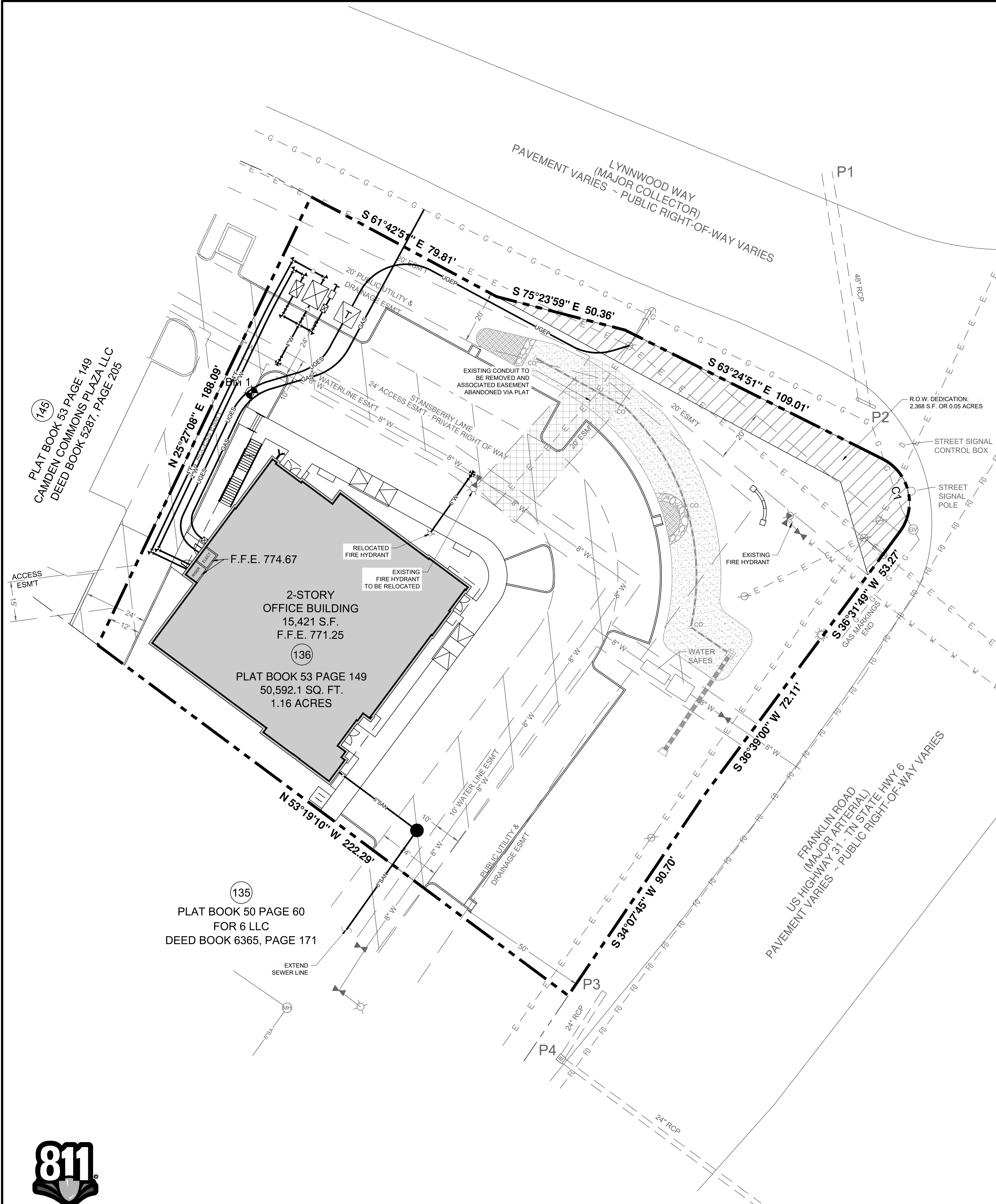
DR.	DATE	DESCRIPTION
JCM	03/13/2017	DEVELOPMENT PLAN SUBMITTAL
JCM	04/02/2017	DEVELOPMENT PLAN RE-SUBMITTAL

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PLAT BOOK 53 PAGE 149
CAMDEN COMMONS PLAZA LLC
DEED BOOK 5287, PAGE 205

2-STORY
OFFICE BUILDING
15,421 S.F.
F.F.E. 771.25
PLAT BOOK 53 PAGE 149
50,592.1 SQ. FT.
1.16 ACRES

PLAT BOOK 50 PAGE 60
FOR 6 LLC
DEED BOOK 6365, PAGE 171

BENCHMARK INFORMATION

BM	NORTHING	EASTING	ELEVATION	DESCRIPTION
1	598,023.46	1,721,668.21	777.71	PK NAIL

BOUNDARY CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	18.51'	32.31'	28.36'	S 13°25'25" E

- REFERENCE:**
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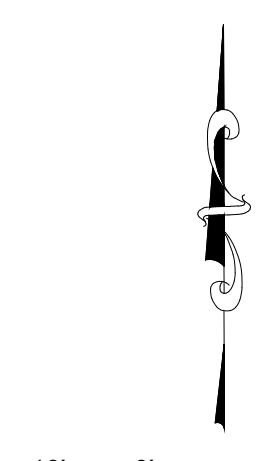
NOTE:

BEGINNING AT THE FIRE METER/PROPERTY PIN, ALL UNDERGROUND PIPING FOR THE FIRE PROTECTION SYSTEM MUST BE DESIGNED AND INSTALLED BY A LICENSED FIRE PROTECTION CONTRACTOR. FIRE PROTECTION PLANS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL. SITE UTILITY IS NOT SPECIFICALLY APPROVED FOR FIRE PROTECTION INSTALLATION.

- LEGEND**
- SET IRON PIN (IP)
 - FOUND 1/2" IRON PIN (PLS 1512)
 - ⊠ EXISTING ELECTRIC TRANSFORMER
 - ⊙ EXISTING UTILITY POLE
 - ⊙ EXISTING LIGHT POLE
 - ⊙ EXISTING SANITARY MANHOLE
 - ⊙ EXISTING GAS VALVE
 - ⊙ EXISTING WATER METER
 - ⊙ EXISTING BOLLARD
 - ⊙ EXISTING FIRE HYDRANT
 - ⊙ EXISTING WATER VALVE
 - ⊙ EXISTING STORM DRAIN
 - ⊙ EXISTING TELEPHONE PEDESTAL
 - HW EXISTING HEADWALL
 - ♿ EXISTING HANDICAPPED SPACE

- SUBJECT BOUNDARY
- ADJOINING BOUNDARY
- EXISTING OVERHEAD UTILITIES
- EXISTING WATER LINE
- EXISTING GAS LINE
- EXISTING FIBER OPTIC LINE
- EXISTING CHAINLINK FENCE
- PROPOSED CONTOURS
- PROPOSED STORM
- PROPOSED AREA DRAIN
- PROPOSED CURB INLET
- PROPOSED STORM MANHOLE
- PROPOSED HEADWALL
- SAN
- PROPOSED SEWER LINE
- UGEP
- PROPOSED UNDERGROUND PRIMARY ELECTRIC
- UGES
- PROPOSED UNDERGROUND SECONDARY ELECTRIC
- W
- PROPOSED WATER LINE
- F
- PROPOSED FIRE LINE
- GAS
- PROPOSED GAS LINE

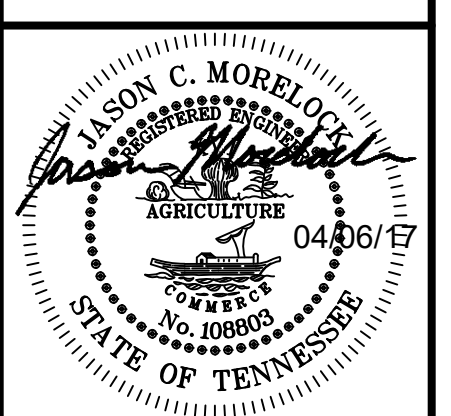
PROPOSED CONTOURS
PAVEMENT



SCALE: 1" = 20'

SURVEY INFO
PROVIDED BY: CROWE - WHEELER AND ASSOCIATES
DATUM: TENNESSEE STATE PLANE (NAD83 & NAVD88)

MORELOCK ENGINEERING
2097 BELSFORD DRIVE
NOLANSVILLE, TN 37135
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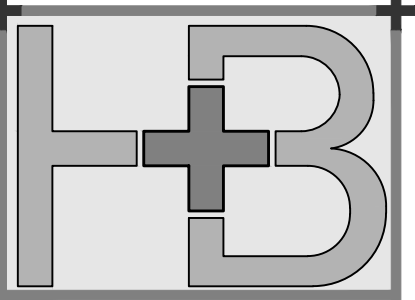
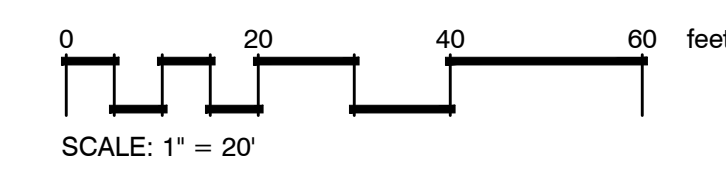
UTILITY DEVELOPMENT PLAN

DEVELOPMENT PLANS FOR:
GATEWAY VILLAGE OFFICE BUILDING
LOT 136, GATEWAY VILLAGE, SECTION THREE, REVISION 6
3020 STANSBERRY LANE, FRANKLIN, WILLIAMSON COUNTY, TENNESSEE
CITY OF FRANKLIN PROJECT NO. 6381

DATE	DESCRIPTION
03/13/2017	DEVELOPMENT PLAN SUBMITTAL
04/06/2017	DEVELOPMENT PLAN RE-SUBMITTAL

C400

GATEWAY VILLAGE OFFICE



Heibert+Ball
LAND DESIGN
 1894 Gen. Geo. Patton Dr.
 Suite 400
 Franklin, TN 37067
 Tel: 615.376.2421
 www.hblanddesign.com

PROPOSED SITE FOR:
GATEWAY VILLAGE LOT 136
 FRANKLIN, WILLIAMSON CO., TENNESSEE

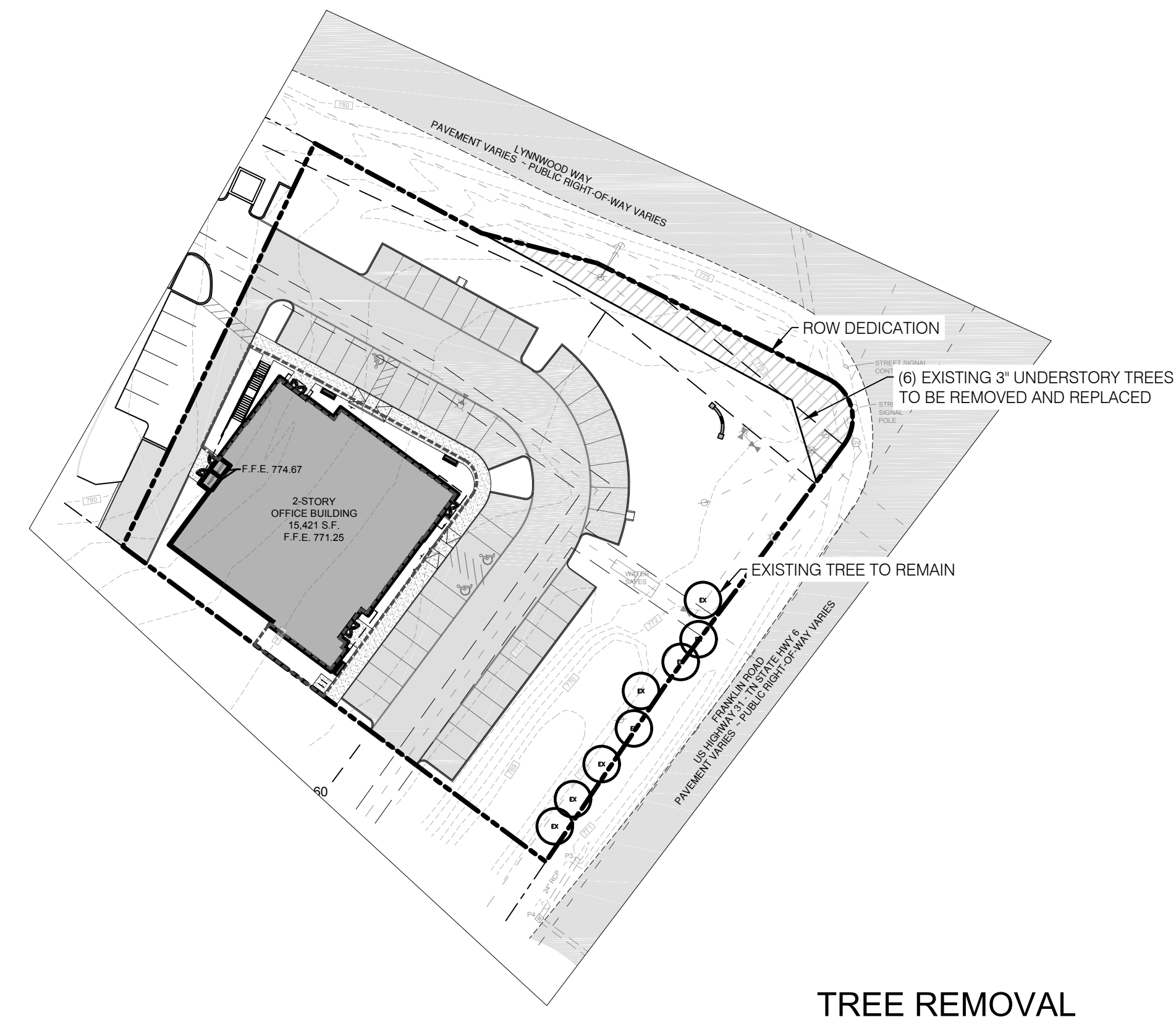


BY: cb

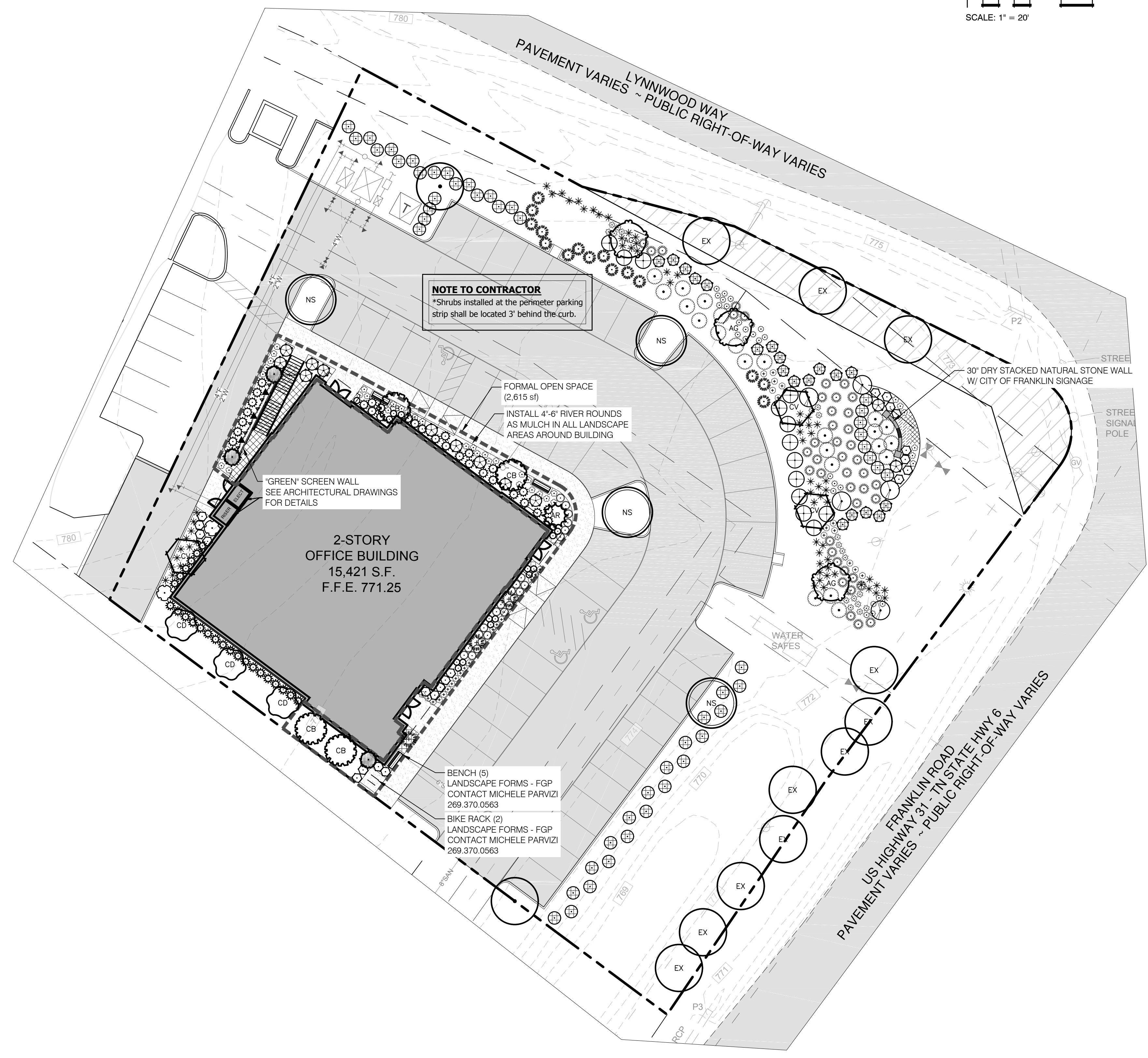
RELEASE DATE: 00/00/00
REV 1:

L1.0

LANDSCAPE PLAN



TREE REMOVAL
1:50



MINIMUM OPEN SPACE REQUIREMENTS FOR RESIDENTIAL FORMAL OPEN SPACE
 5% OF DEVELOPABLE AREA REQUIRED FOR FORMAL OPEN SPACE
 TOTAL DEVELOPABLE = 41.82 ACRES
 5% OF 41.82 ACRES = 91,040 SF (2.09 ACRES)

GATEWAY VILLAGE TREE TAKEDOWN CHART
Site Specimen Tree Replacement Required

TOTAL SITE INCHES REQUIRED TO BE REPLACED	1,341
TOTAL REPLACEMENT CALIPER INCH FROM SEC. 1	189
TOTAL REPLACEMENT CALIPER INCH FROM SEC. 2	354
TOTAL REPLACEMENT CALIPER INCH FROM SEC. 6	17.75
TOTAL REPLACEMENT CALIPER INCHES FOR SEC 3 LOT 133	105.0
TOTAL REPLACEMENT CALIPER INCHES FROM SEC 3 LOT 143	55.0
TOTAL REPLACEMENT CALIPER INCHES FROM LOT 145	9.0
TOTAL REPLACEMENT CALIPER INCHES FOR SECTION 3 & 6 LOTS 138, 139, 140, 141, 142	198.0
PROPOSED REPLACEMENT CALIPER INCHES FROM FOR LOT 136	48
PROPOSED REPLACEMENT CALIPER INCHES FROM FOR LOT 135	60
DEVELOPMENT REPLACEMENT CALIPER INCHES REMAINING:	305.25

MINIMUM OPEN SPACE REQUIREMENTS FOR RESIDENTIAL FORMAL OPEN SPACE

AREA	TYPE	APPROVED AREA OF OPEN SPACE	APPROVED MAXIMUM 25% PAVED AREA	PROPOSED AREA OF OPEN SPACE	PROPOSED MAXIMUM 25% PAVED AREA
F-1	Section 1 Median/Circle	9,996 SF	2,499 SF	9,170 SF	2,292 SF
F-2	Section 2 Median/Green	6,624 SF	1,656 SF	3,981 SF	995 SF
F-3	Section 2 Park	11,623 SF	2,906 SF	7,150 SF	1,787 SF
F-4	Neighborhood Park	42,171 SF	10,527 SF	42,334 SF	10,583 SF
F-5	Gateway Monument	14,908 SF	3,727 SF	13,041 SF	3,260 SF
F-6 (LOT 135)	Focal Point	9,996 SF	2,499 SF	5,059 SF	1,264 SF
F-6 (LOT 138)	Focal Point	12,073 SF	3,018 SF	7,491 SF	1,872 SF
F-6 (LOT 145)	Focal Point	12,073 SF	3,018 SF	12,225 SF	3,056 SF
F-7	Traffic Circle	8,659 SF	2,165 SF	11,804 SF	2,951 SF
F-8	Plaza	19,528 SF	4,882 SF	24,115 SF	6,028 SF
F-9 (Lot 137)	Park	16,076 SF	4,019 SF	17,495 SF	4,029 SF
F-10	Park	7,852 SF	1,963 SF	12,453 SF	3,113 SF
F-11 (LOT 135)	Plaza	482 SF	120 SF	482 SF	120 SF
F-11 (LOT 136)	Plaza	12,701 SF	3,175 SF	2,615 SF	100 SF
F-11 (LOT 145)	Plaza	8,770 SF	2,193 SF	8,770 SF	2,193 SF
		162,211 SF (3.72 Acres)		167,185 SF (3.84 Acres)	

NOTE: PLANNING COMMISSION APPROVED MINIMUM 160,533 SF
 • 5% of Developable Area Required for Formal Open Space
 • Total Developable Area= 41.82 AC, 5% of 41.82 AC =91,040 SF (2.09 AC)
 • Concept Plan - Staff Comments - Expand Formal Open Space

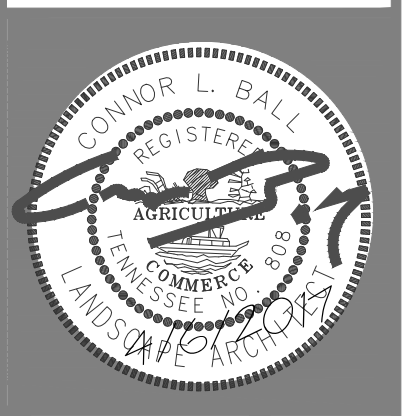
LANDSCAPE DATA CHART - LOT 136

SITE ACREAGE: 1.46 AC
 ROW DEDICATION: 353 AC
 SITE CALCULATIONS: 1.11 W/ CAO - 8000-4
 SITE COVING: (80.0% / 0.35 AC) Traditional Area
 MIN. REQ. LSA: 30.0% (0.35 AC)
 PROVIDED LSA: 32.9% (0.48 AC)
 EXISTING TREE CANOPY: 1,246 sf
 PROPOSED TREE CANOPY: 1,136 sf
 MIN. REQ. FORMAL OPEN SPACE: 0.0% (0.0) (0.0 AC)
 PROVIDED FORMAL OPEN SPACE: 0.3% (1.088)

Landscape Requirements (ACI)

	Quantity Provided		Inches Provided
	Existing Trees	Proposed	
Provided LSA: 0.33			
Credit for 0.03 acres of preserved trees			
LSA = 0.30			
Existing trees >14" (0x1.25):	0	0	0"
Existing trees (See Tree Inventory):	0	0	0"
3" caliper canopy trees:	9	9	27"
Aggregate Canopy Caliper Inches Provided:			27"
Aggregate Canopy Caliper Inches Required (82x0.30):			24.6"
Existing 3" trees:	8	0	24"
1.5" caliper understory trees:	0	0	0"
Aggregate Understory Caliper Inches Provided:			24"
Aggregate Understory Caliper Inches Required (21x0.30):			6.3"
3" Caliper Replacement Caliper Inches Provided:	5		15"
Min. 18" Height Shrubs:		24	
Min. 30" Height Shrubs:		83	
Total Shrubs Provided:		107	
Total Shrubs Required (96x0.30):		29	
3" REPLACEMENT TREES:	6	(18")	
3" DEVELOPMENT REPLACEMENT TREES:	20	(60")	

SEE L1.1 FOR LANDSCAPE NOTES, DETAILS, AND PLANT SCHEDULE



BY: cb

RELEASE DATE: 00/00/00
REV 1:

1.1

TREES	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT	CAL	SIZE
	AR	1	Golden Bark Japanese Maple / Acer palmatum 'Bihou' Specimen Contact Bold Springs Nursery	B & B		8' HT
BIO-RETENTION / REPLACEMENT TREES	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT	CAL	SIZE
	AG	3	'Pink Damsel' Serviceberry / Amelanchier arborea 'Tift County' Clump, 3' Clear Trunk, Evenly Branched, Full Symmetrical Crown. See Tree Specifications. MATCHED Contact Bold Springs Nursery	B & B		10'-12' HT
	CV	3	'Winter King' Hawthorn / Crataegus viridis 'Winter King' 4' Clear Trunk, Evenly Branched, Full Symmetrical Crown. See Tree Specifications. MATCHED	B & B	3'Cal	10'-12' HT
DEVELOPMENT REPLACEMENT TREES	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT	CAL	SIZE
	CB	4	Cornerstone European Hornbeam / Carpinus betulus 'Cornerstone' Full To Base, Single, Straight Central Leader, Symmetrical Crown, Even Branching. See Tree Specifications. MATCHED Contact Bold Springs Nursery	B & B	3'Cal	12'-14' HT
	CD	3	Appalachian Red Eastern Redbud / Cercis canadensis 'Appalachian Red' 4' Clear Single Trunk, Evenly Branched, Full Symmetrical Crown. See Tree Specifications MATCHED Contact Bold Springs Nursery	B & B	3'Cal	10'-12' HT
	JT	3	Taylor Eastern Redcedar / Juniperus virginiana 'Taylor' Full To Base, Full Dense Form. See Tree Specifications MATCHED Contact Bold Springs Nursery	B & B	3'Cal	10'-12' HT
	NS	4	Wildfire Tupelo / Nyssa sylvatica 'Wildfire' 5' Clear Trunk, Evenly Branched, Full Symmetrical Crown. See Tree Specifications. MATCHED Contact Bold Springs Nursery	B & B	3'Cal	12'-14' HT
	UP	2	Princeton Elm / Ulmus americana 'Princeton' 5' Clear Trunk, Evenly Branched, Full Symmetrical Crown. See Tree Specifications. MATCHED Contact Bold Springs Nursery	B & B	3'Cal	12'-14' HT
EXISTING TREES	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT	CAL	SIZE
	EX	17	Existing 3" Understory Tree Existing Understory Tree To Remain	EXISTING	3'Cal	
SHRUBS	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT		
	BS	12	American Boxwood / Buxus x sempervirens Full, Dense Form. Unsheered	30"x30"		
	BC	21	Glencoe Boxwood / Buxus x 'Chicagoland Green' Full, Dense Form. Unsheered	16' HT		
	CL	3	Avalanche Evergreen Clematis / Clematis armandii 'Avalanche' Full Containers	#5 Container		
	DV	30	Vintage Jade Distylium / Distylium x Vintage Jade Full, Dense Form	16' HT		
	HL	2	LimeLight Hydrangea / Hydrangea paniculata 'LimeLight' Full, Dense Form	#5 Cont. 24" HT		
	HT	3	Tardiva Hydrangea / Hydrangea paniculata 'Tardiva' Tree Form. Full, Dense Crown, Specimen	60" HT		
	IS	16	Sky Pencil Japanese Holly / Ilex crenata 'Sky Pencil' Full, Dense Upright Form	42" HT		
	LP	6	Honeysuckle / Lonicera periclymenum 'Peaches & Cream'	#5 Container		
	NW	17	Walkers Low Catmint / Nepeta x faassenii 'Walkers Low' Full, Heavy, Well Rooted	#1 Container		
	SL	38	Limeound Spirea / Spiraea x bumalda 'Limeound' Full, Dense Form	15' HT		
	TE	24	Everlow Yew / Taxus x media 'Everlow' Full, Dense Form	#3 Container		
	TH	50	Hicks Yew / Taxus x media 'Hicksii' Full, Dense Form	30" HT		
	TR	24	Fire Chief Arborvitae / Thuja occidentalis 'Congabe' Full, Dense Form	16"x16"		
BIO-RETENTION SHRUBS	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT		
	AI	20	Milkweed / Asclepias syriaca	1 Pint Container		
	CA	23	Hummingbird Sweet Clethra / Clethra alnifolia 'Hummingbird' Full, Dense Form	30" HT		
	EP	13	Purple Coneflower / Echinacea purpurea Full Container. Install 18" O.C.	#1 Container		
	HA	5	Hardy Rose of Sharron / Hibiscus x 'Fireball Hardy' Full, Dense	24" HT		
	IK	19	Inkberry Holly / Ilex glabra Full, Dense Form	#3 Cont. 18" HT		
	IV	15	Henry's Garnet Sweetspire / Itea virginica 'Henry's Garnet' Full, Dense Form	18" HT		
	JE	44	Soft Rush / Juncus effusus Full, Well Rooted	#1 Container		
	PV	42	Northwind Switch Grass / Panicum virgatum 'Northwind' Full, Heavy, Well Rooted	#1 Container		
	RH	25	Black-eyed Susan / Rudbeckia hirta	#1 Container		
	SH	22	Prairie Dropseed / Sporobolus heterolepis Full, Dense	#1 Container		
	VD	13	Arrowwood Viburnum / Viburnum dentatum 'Arrowwood' Full, Dense Form	36" HT		
GROUND COVERS	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT		
	DF	69	Firewitch Cheddar Pinks / Dianthus gratianopolitanus 'Firewitch' Well Rooted Install in 3 rows 15" O.C.	flat		
	OJ	16	Dwarf Mondo Grass / Ophiopogon japonicus 'Nanus' Planted in Triangular Spacing 15" On Center	1 Quart		
	PS	94	Pachysandra / Pachysandra terminalis 'Green Sheen' Well Rooted Pots Install in triangular pattern 20" O.C.	1 Quart		

SUBSTITUTION NOTE:
1. Requirements shown are as per City Zoning Ordinance. Substitutions are not allowed unless approved by Heibert+Ball Land Design.
2. After installation, the landscape will be maintained by the owner.
3. Additional screening may be required if the inspection for the release of the performance bond reveals that the screening is not effective.

TO AVOID OVERHEAD UTILITY CONFLICTS:
In the event proposed canopy trees are in conflict (within 25') with proposed or existing overhead utility locations, the landscape contractor shall stop work and contact Heibert+Ball Land Design immediately for coordination and field adjustment.

TO AVOID OVERHEAD LIGHT POLE CONFLICTS:
In the event proposed canopy trees are in conflict (within 10') with proposed or existing light pole locations, the landscape contractor shall stop work and contact Heibert+Ball Land Design immediately for coordination and field adjustment.

UTILITY SCREEN
All utility structures, transformers, meters, and/or units shall be screened with plant material tall enough to provide an effective screen. Structures not shown on landscape plans will be required to be screened. If utilities are added to the site, contact Heibert+Ball Land Design for screening recommendations.

PLANT STANDARDS
The standards set forth in "American Standard for Nursery Stock" represent general guideline specifications only and will constitute minimum quality requirements for plant material. All plants must meet minimum size noted at the materials schedule. And meet the characteristics stated on the drawing. All material installed on the site MUST meet or exceed these specifications. Any trees or shrubs not meeting these standards can be rejected at time of inspection.

TREE SPECIFICATIONS: ALL TREES SHALL HAVE THE FOLLOWING CHARACTERISTICS:
1. Deciduous trees shall have one dominant single straight trunk with the tip of the leader on the main trunk left intact and the terminal bud on the central leader is at the highest point on the tree.
2. Trees with forked trunks are acceptable if all the following conditions are met:
a. The fork occurs in the upper 1/3 of the tree.
b. One fork is less than 2/3 the diameter of the dominant fork.
c. The top 1/3 of the smaller fork is removed at the time of planting.
3. No branch is greater than 2/3 the diameter of the trunk directly above the branch.
4. The trunk and/or major branches shall not touch.
5. Several branches are larger in diameter and obviously more dominant.
6. Branching habit is more horizontal than vertical, and no branches are oriented nearly vertical to the trunk.
7. Branches are evenly distributed around the trunk with no more than one major branch located directly above another and the crown is full of foliage evenly distributed around the tree.
8. Crown spread shall look proportional to the tree.
9. NO flush cuts or open trunk wounds or other bark injury.
10. Root ball meets all ANSI standards and is appropriately sized.

DEFICIENCIES NOT ACCEPTED:
1. Tip dieback on 5% of branches
2. Crown thin/sparsely foliated
3. Included bark
4. Major Branches touching
5. Asymmetrical branching

LANDSCAPE SHALL NOT OBSTRUCT VISIBILITY OR ACCESS TO FIRE PROTECTION EQUIPMENT INCLUDING, BUT NOT LIMITED TO, FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTIONS

ATTENTION OWNER/INSTALLER:
This landscape plan has been designed to meet the minimum requirements of the City of Franklin zoning ordinance, the approval of the planning commission, and planning department policy. Relocating, substituting, resizing, reducing, or deleting material may cause the site to no longer conform to the requirements; thus problems may arise with releasing the performance/maintenance surety for the landscape material. **Deviation from the approved landscape plan shall not be made without first consulting the Landscape Architect who designed the project. The designing Landscape Architect shall review proposed substitutions to ensure that all City standards and requirements are met. The City shall be notified in writing upon final approval of any plant substitutions.**



**TENNESSEE ONE CALL
1 (800) 351-1111
CALL BEFORE DIGGING
IN THIS AREA**

LANDSCAPE NOTES

- The landscape contractor shall verify all material quantities on the drawing during bidding and pricing. In the event of a discrepancy, the quantities drawn on the plan will take precedence over the material schedule.
- The landscape contractor shall verify the exact location of all utilities and take necessary precautions to prevent damage to these utilities.
- The landscape contractor shall coordinate all construction with the appropriate utility company and shall be responsible for any damage to utilities.
- Topsoil shall be removed from stockpiles and spread in the areas shown on the plans. The depth of topsoil shall be a minimum of 4 inches in lawn areas and a minimum of 12 inches in landscape planting areas.
- After the topsoil is in place it shall be fine graded removing all roots, sticks, stones and debris greater than 2 inches in any dimension. The topsoil shall be fine graded to the lines and grades shown on the plans. The landscape contractor shall be responsible for the fine grading of all planting areas.
- The topsoil shall have a pH of 5.5 to 7.6 and an organic content of 3 to 20%. The gradation of the topsoil shall be 100% passing 2 inch sieve, 85 to 100% passing the 1 inch sieve, 65 to 100% passing the 1/2 inch sieve and 20 to 80% passing the No. 200 sieve.
- Lime of type recommended for soil conditioning shall be used to treat acidic soils.
- Lawn fertilizer shall be 55% nitrogen, 10% phosphorus and 10% potash where 50% of the nitrogen is derived from ureaform source. A) When placing by hydroseeding application fertilizer shall be placed at 80 pounds per acre, hydromulch at 1,200 pounds per acre, water at 500 gallons per acre and seed at a minimum of 220 pounds per acre. All over spray areas shall be properly cleaned and restored at no expense to the contract. B) If placing by mechanical means, fertilizer shall be placed at 25 pounds per 1,000 square feet, seed at 5 pounds per 1,000 square feet, and straw mulch at 2 tons per acre. Place fertilizer and seed, then lightly rake and the roll with 200 pound roller. Mulch the area and then water. Straw may need to be secured to prevent it blowing away.
- Water lawn areas as needed to promote growth. The contractor will be responsible to water, reseed or work when necessary to insure the growth of the lawn until a complete and uniform stand of grass has grown and been cut at least twice.
- Unless otherwise noted on the drawings, all areas not receiving structures, pavement, rip rap, landscaping or other improvements or future improvements shall be considered lawn areas and receive topsoil and seeding per drawings and above stated requirements.
- The standards set forth in "American Standard for Nursery Stock" represent general guideline specifications only and will constitute minimum quality requirements for plant material. All plants must meet minimum size noted at the materials schedule. Trees shall be No. 1 grade specimen and shrubs shall be heavy well shaped specimens as well.
- Planting beds shall be prepared by loosening the top 1 foot of topsoil. Plants shall be located per the plans. The holes shall be excavated (per the details on the drawings) with the center slightly higher to promote drainage. Use a topsoil backfill mix of 4 parts topsoil, 1 part peat moss, 1/2 part well rotted manure, and 10 pounds 5-10-5 planting fertilizer and properly mixed per cubic yard. Berm around plants to form a bowl shape.
- All landscaping shall be guaranteed for one year after final acceptance. Any plantings in need of replacement will be guaranteed from the time of replacement if after final acceptance.

BIO-RETENTION NOTES:

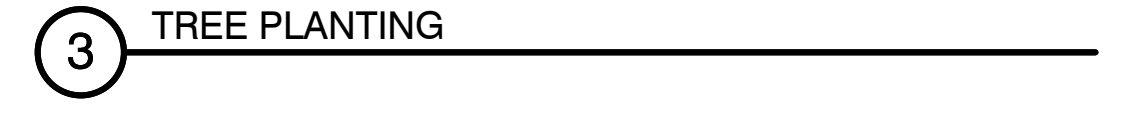
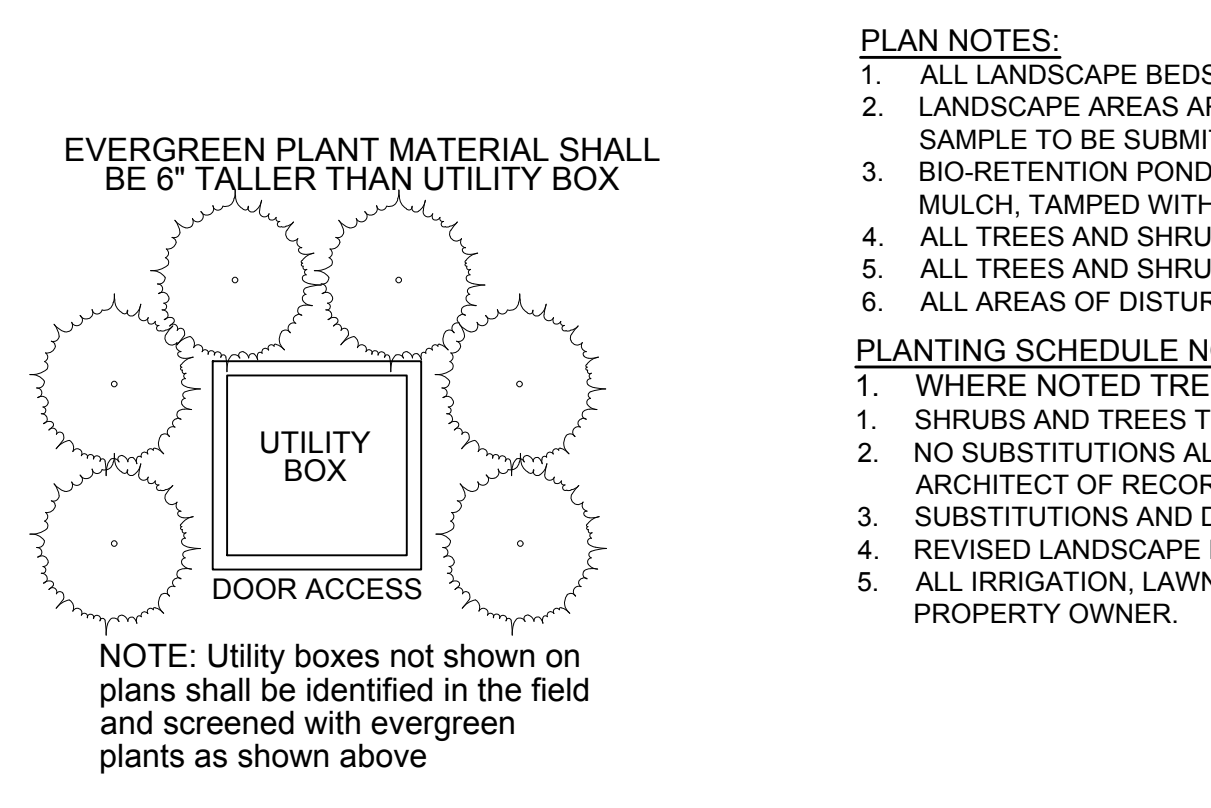
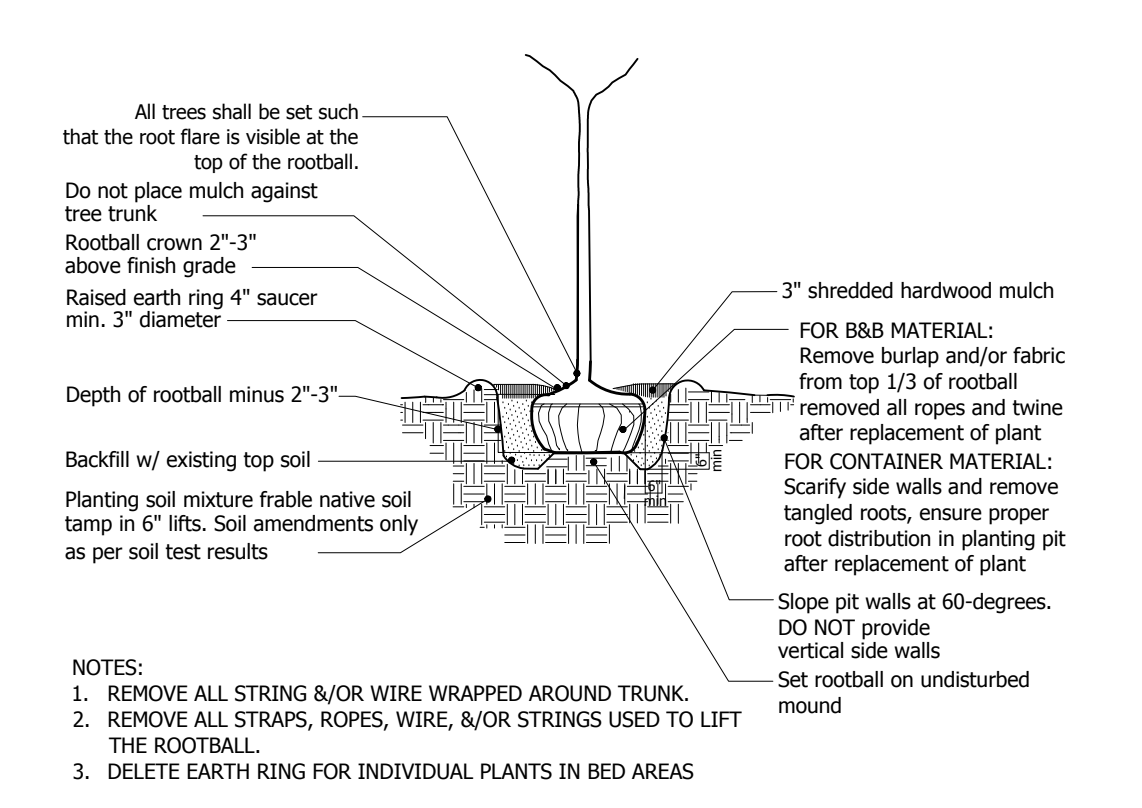
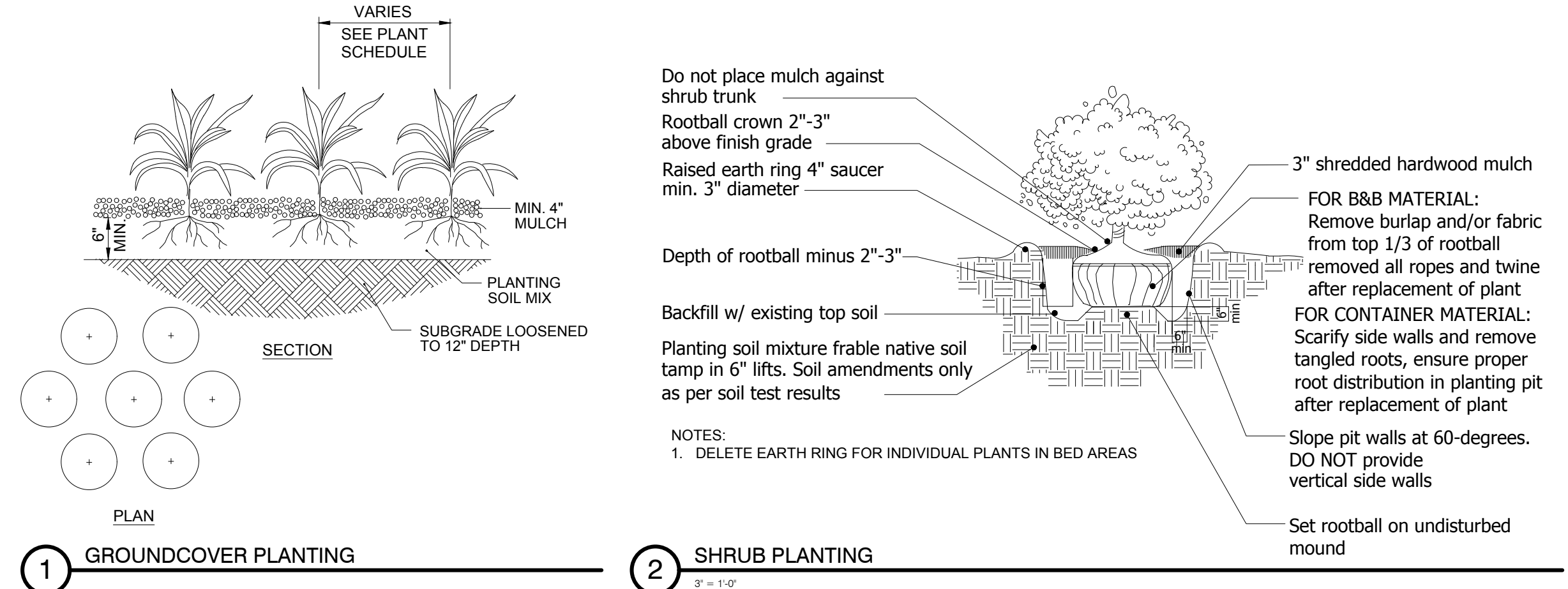
- Verify that the bio retention areas have been constructed in compliance of the requirements of the Construction Documents prior to beginning work.
- Care shall be taken to minimize compaction to soils within the limits of the bio retention area(s).
- No machinery (other than walk behind roto-tillers) shall be used within the limits of the bio retention area(s).
- Dig a test percolation pit 1'x1'x1'deep and fill with water. Monitor to verify that all water has drained from the pit within a 24 hour period. If water remains after 24 hours, cease all work on the bio retention area and contact Civil Engineer for further instructions.
- The work required for construction of the bio-retention area(s) consists of removal of weeds, preparation of planting areas, mulching and clean up.
- Contractor is responsible for keeping Bio-Retention area free from sediment resulting from storm-water runoff.
- The Contractor shall conduct all site preparation activities to not allow 'sediment loss' to the Bio-Retention Areas.
- Provide or verify installation of a silt fence prior to commencement of construction around the circumference of the Bio-Retention areas.
- Begin construction of Bio-Retention basins after adjacent areas have been stabilized with stone or vegetation.
- Comply with the Water Quality Control Act of 1971, including revisions, and other applicable laws, ordinances, and regulations.
- The Contractor shall correct, at his own expense, any work that does not comply with the requirements of the Contract.
- The Contractor shall assume responsibility for protection of public streets, curbs, and utilities from damages from the Contractor's operations. Plan work to avoid ponding, flooding, and sediment loss on site and upon adjacent property.
- Meet the requirements of all rules and regulations governing the respective utilities. Protect active utilities from damage during construction.
- If active utilities are encountered in the course of excavation other than those Indicated on the Survey, protect them from damage and relocate them in accordance with the Engineer's written instruction. Remove inactive utilities if such are encountered.
- The finish surface shall be free from any lumps of earth, rocks, stones, debris, or other improper materials, no trees, trunks, shrubs, stumps, undergrowth, or building rubbish will be permitted in the grading.
- Remove weeds with three applications (at 2 week intervals) of a systemic herbicide such as Roundup during the period that weeds are actively growing and prior to preparing the bio retention area for planting.
- Scarify top 6" of soil by hand or with a walk behind roto-tiller prior to the planting of bio retention area. Tractors or other heavy machinery are not to be utilized at anytime within the limits of the bio retention area.

PLAN NOTES:

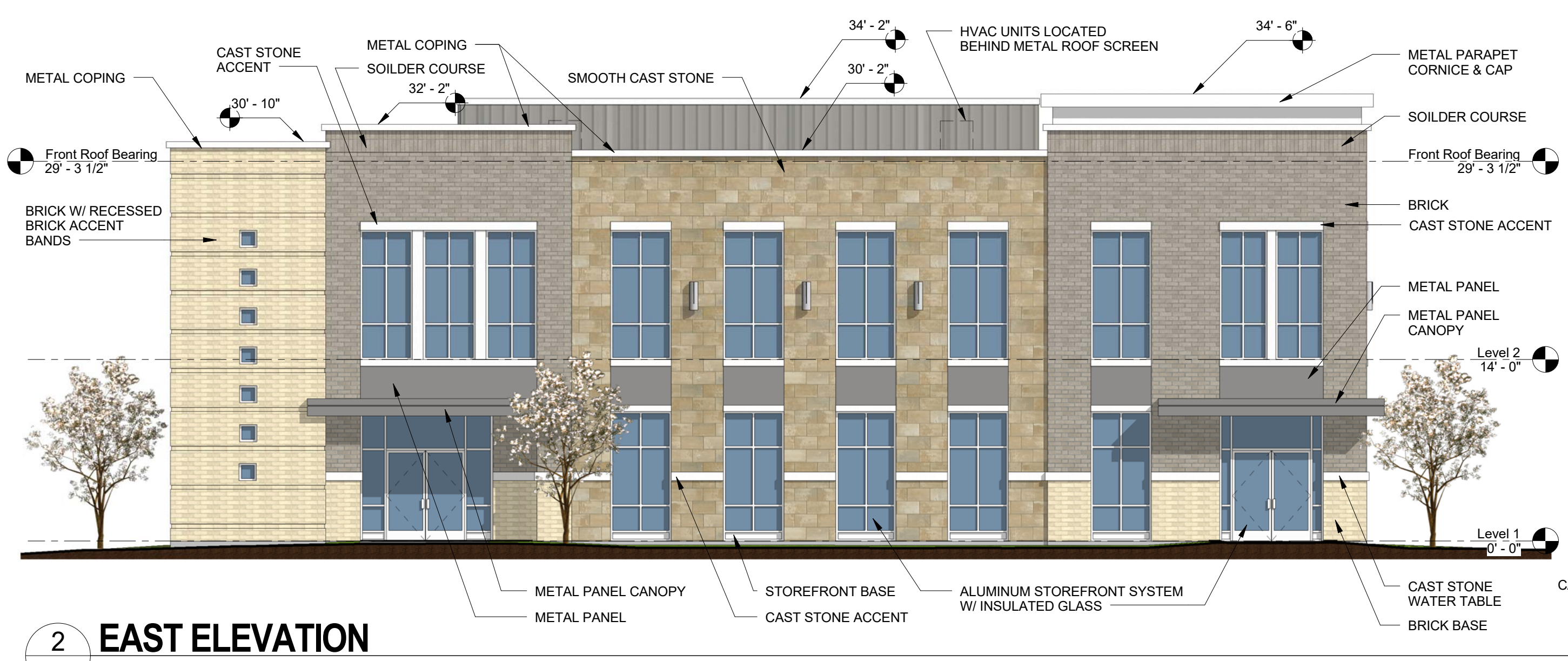
- ALL LANDSCAPE BEDS SHALL BE NEATLY TRENCHED WITH A BED EDGE
- LANDSCAPE AREAS AROUND BUILDING FOUNDATION TO BE MULCHED WITH 4"-6" ROUND RIVER STONES. SAMPLE TO BE SUBMITTED TO THE LANDSCAPE ARCHITECT OF RECORD FOR APPROVAL
- BIO-RETENTION POND AND ALL BEDS ASSOCIATED WITH IT ARE TO BE MULCHED WITH 3" PINE STRAW MULCH, TAMPED WITH RAKE
- ALL TREES AND SHRUBS SHALL BE COORDINATED WITH LIGHTING PLAN PRIOR TO INSTALLATION.
- ALL TREES AND SHRUBS SHALL BE PLANTED 3' BEHIND BACK OF CURB.
- ALL AREAS OF DISTURBANCE OUTSIDE OF LANDSCAPE BEDS TO BE SODDED WITH REBEL III TALL FESCUE

PLANTING SCHEDULE NOTES

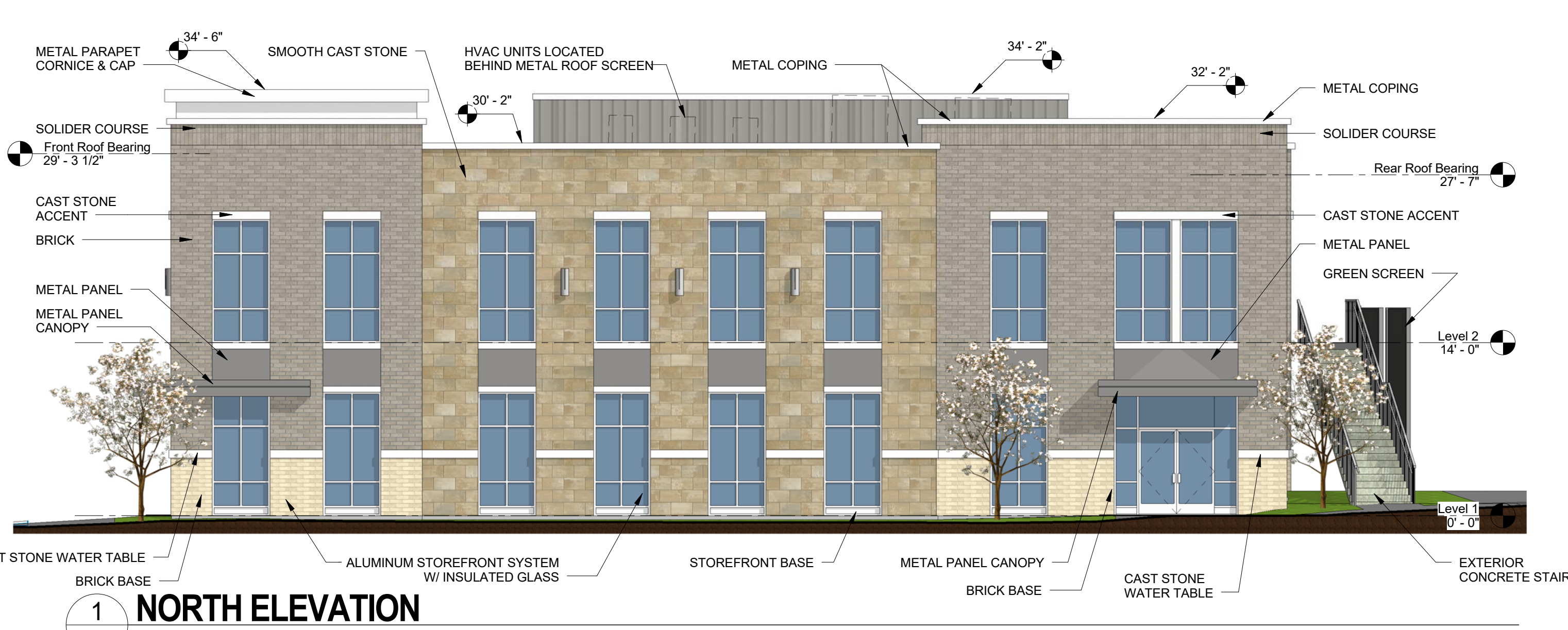
- WHERE NOTED TREES ARE TO BE PURCHASED FROM BOLD SPRINGS NURSERY
- SHRUBS AND TREES TO BE OF THE HIGHEST QUALITY.
- NO SUBSTITUTIONS ALLOWED WITHOUT PRIOR WRITTEN APPROVAL OF THE OWNER AND LANDSCAPE ARCHITECT OF RECORD.
- SUBSTITUTIONS AND DEVIATIONS MAY OR MAY NOT BE APPROVED.
- REVISED LANDSCAPE PLANS MUST BE SUBMITTED AND APPROVED BY THE URBAN FORESTER
- ALL IRRIGATION, LAWN AND PLANT MATERIALS WITHIN THE ROW MUST BE MAINTAINED BY THE PROPERTY OWNER.



5-HB-23



2 EAST ELEVATION
A1 SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION
A1 SCALE: 1/8" = 1'-0"

- NOTES**
1. LOCATION AND NUMBERS OF STOREFRONT DOORS SUBJECT TO CHANGE PER TENANT REQUIREMENTS.
 2. LOCATION AND NUMBERS OF REAR & EGRESS DOORS SUBJECT TO CHANGE PER TENANT REQUIREMENTS.
 3. TENANT SIGNS WILL BE SUBMITTED FOR APPROVAL AS TENANT REQUIREMENTS ARE DETERMINED.
 4. SPECIFIED MATERIALS MAY CHANGE SUBJECT TO AVAILABILITY AT TIME OF CONSTRUCTION AND SUBJECT TO APPROVAL OF BNS DEPARTMENT OR PLANNING COMMISSION.
 5. THESE ELEVATIONS HAVE BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE CITY OF FRANKLIN'S ARCHITECTURAL DESIGN STANDARDS AND THE APPROVAL OF THE PLANNING COMMISSION. CHANGES SHALL NOT BE MADE TO THE APPROVED ELEVATIONS UNLESS APPROVED BY EITHER THE BNS DEPARTMENT OR THE PLANNING COMMISSION.
 6. HVAC UNITS ARE LOCATED ON THE ROOFS OF THE BUILDING AND ARE SCREENED FROM PUBLIC VIEW BY ROOF SCREENING WALLS.
 7. CAVITY WALL CONSTRUCTION SHALL BE USED WHEREVER INTEGRALLY COLORED, UNPAINTED, SPLIT FACE CONCRETE BLOCK IS USED TO PREVENT WATER PENETRATION.

EXTERIOR FINISH LEGEND

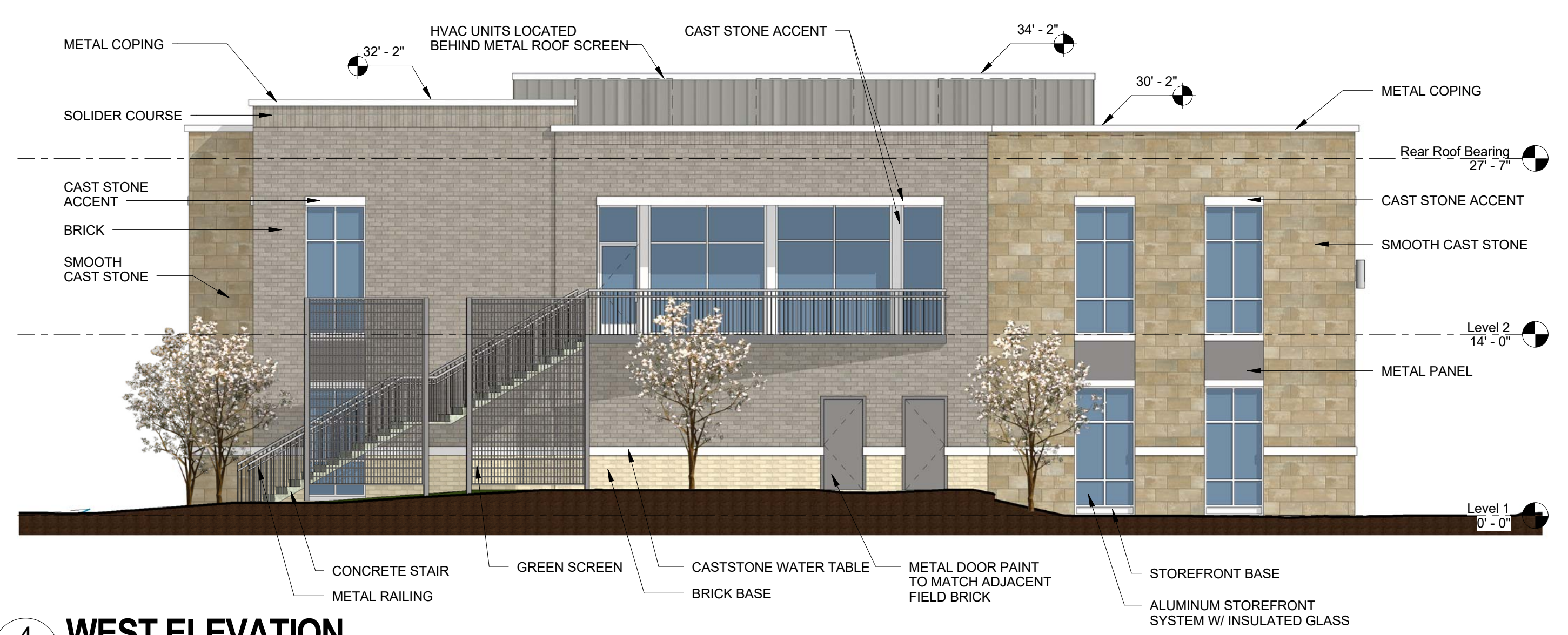
BRICK STYLE/SIZE: COLOR: MANUFACTURER: MORTAR: MORTAR MANUF.:	UTILITY SLATE GRAY ACME SMITH GRAY HOLCIM	STOREFRONT & CURTAIN WALL STYLE/SIZE: COLOR: MANUFACTURER:	ALUMINUM RECTANGULAR ANODIZED ALUMINUM TUBELITE OR EQUAL
BRICK BASE STYLE/SIZE: COLOR: MANUFACTURER: MORTAR: MORTAR MANUF.:	UTILITY RIDGMAR ACME 200N HOLCIM	GLAZING STYLE/SIZE: COLOR: MANUFACTURER:	1" INSULATED LOW-E SOLAR BLUE + SOLARBAN 70XL (3) PPG OR EQUAL
SMOOTH CAST STONE STYLE/SIZE: COLOR: MANUFACTURER: MORTAR: MORTAR MANUF.:	SMOOTH / 12"x24" SAVANNAH (BLENDED) ROCKCAST WHITE HOLCIM	PREFINISHED METAL PARAPET COPING COLOR: MANUFACTURER:	SHASTA WHITE BERRIDGE OR EQUAL
CAST STONE ACCENT STYLE: SIZE: COLOR: MANUFACTURER: MORTAR: MORTAR MANUF.:	SMOOTH 8" (WATER TABLES & 2ND FLOOR WINDOW CAP) 8" (WINDOW SILLS & 1ST FLOOR WINDOW CAP) CRYSTAL WHITE ROCKCAST WHITE HOLCIM	METAL PANEL CANOPY STYLE/SIZE: COLOR: MANUFACTURER:	SMOOTH METAL PANEL MUSKET GRAY PAC-CLAD OR EQUAL
		METAL PANEL / ROOF SCREEN STYLE/SIZE: COLOR: MANUFACTURER:	SMOOTH METAL PANEL MUSKET GRAY PAC-CLAD OR EQUAL
		PAINT COLOR:	TBD

- MATERIAL AREA NOTES**
1. MINOR MATERIALS INCLUDING COPINGS, FLASHINGS, AND TRIM INSTALLED OVER BRICK ARE NOT INCLUDED IN MATERIAL AREA CALCULATIONS.
 2. NET WALL AREA EXCLUDES STOREFRONT, DOORS, LOUVERS AND MINOR TRIM.

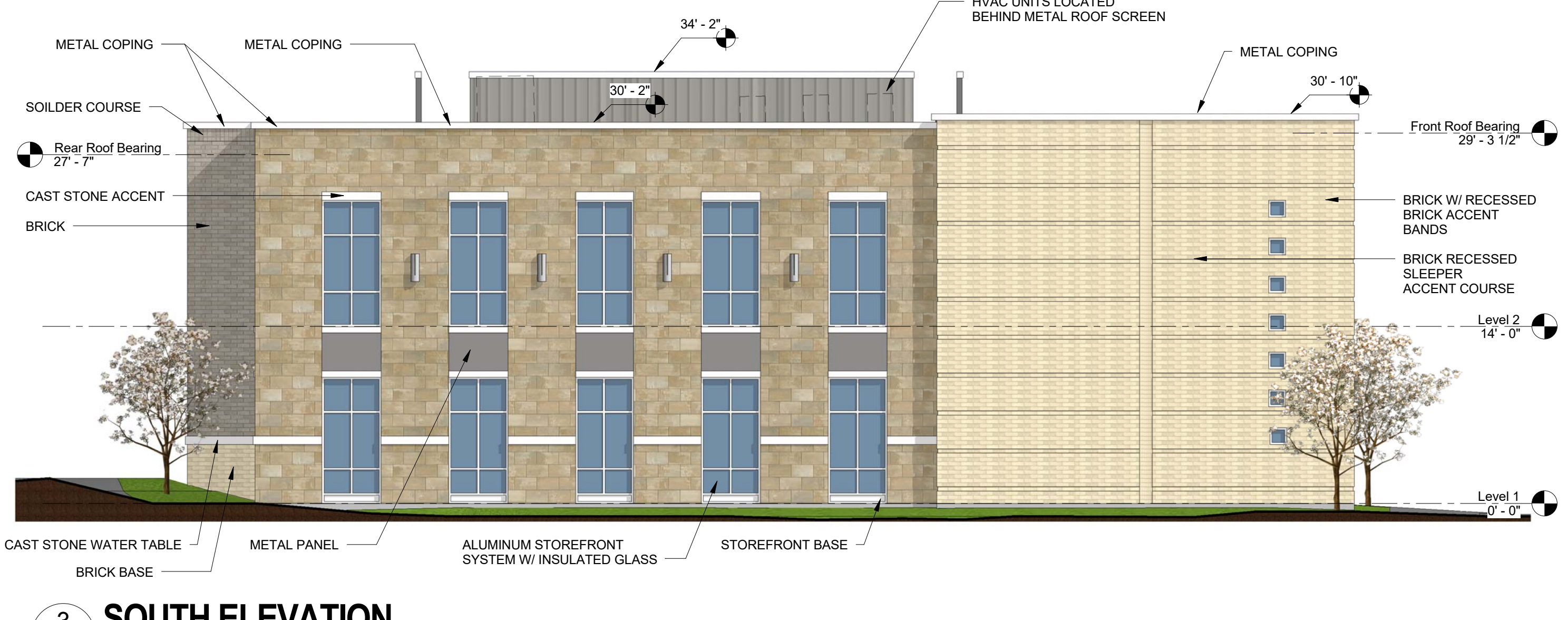
MATERIAL CALCULATIONS

ELEVATION	GROSS WALL AREA	AREA	% OF NET	GROSS WALL AREA	AREA	% OF NET	
EAST ELEVATION	GROSS WALL AREA	3,083 S.F.	NA%	GROSS WALL AREA	3,064 S.F.	NA%	
	NET WALL AREA	1,995 S.F.	100%	NET WALL AREA	1,927 S.F.	100%	
	BRICK AREA	1,085 S.F.	55%	BRICK AREA	915 S.F.	48%	
	CAST STONE AREA	725 S.F.	36%	CAST STONE AREA	851 S.F.	44%	
	METAL PANEL/CANOPY	185 S.F.	9%		METAL PANEL/CANOPY	161 S.F.	8%
WEST ELEVATION	GROSS WALL AREA	2,792 S.F.	NA%	GROSS WALL AREA	3,056 S.F.	NA%	
	NET WALL AREA	1,420 S.F.	100%	NET WALL AREA	2,290 S.F.	100%	
	BRICK AREA	1,151 S.F.	79%	BRICK AREA	1,148 S.F.	50%	
	CAST STONE AREA	241 S.F.	17%	CAST STONE AREA	1,069 S.F.	47%	
	METAL PANEL/CANOPY	48 S.F.	4%		METAL PANEL/CANOPY	73 S.F.	3%
NORTH ELEVATION	GROSS WALL AREA	3,083 S.F.	NA%	GROSS WALL AREA	3,064 S.F.	NA%	
	NET WALL AREA	1,995 S.F.	100%	NET WALL AREA	1,927 S.F.	100%	
	BRICK AREA	1,085 S.F.	55%	BRICK AREA	915 S.F.	48%	
	CAST STONE AREA	725 S.F.	36%	CAST STONE AREA	851 S.F.	44%	
	METAL PANEL/CANOPY	185 S.F.	9%		METAL PANEL/CANOPY	161 S.F.	8%
SOUTH ELEVATION	GROSS WALL AREA	2,792 S.F.	NA%	GROSS WALL AREA	3,056 S.F.	NA%	
	NET WALL AREA	1,420 S.F.	100%	NET WALL AREA	2,290 S.F.	100%	
	BRICK AREA	1,151 S.F.	79%	BRICK AREA	1,148 S.F.	50%	
	CAST STONE AREA	241 S.F.	17%	CAST STONE AREA	1,069 S.F.	47%	
	METAL PANEL/CANOPY	48 S.F.	4%		METAL PANEL/CANOPY	73 S.F.	3%

CONCEPT DESIGN
FINAL DESIGN TO BE
SUBMITTED FOR SITE PLAN
APPROVAL



4 WEST ELEVATION
A1 SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION
A1 SCALE: 1/8" = 1'-0"

Revisions

HMH Job Number
16056

City of Franklin Project Number
6381

Drawn By
JCS

Date
04.06.2017

Drawing
EXTERIOR
ELEVATIONS

A1

Gateway
Village Office
Building

3020 Stansberry Lane
Franklin, TN



2 View from North-East
A2 SCALE:



1 View from North-West
A2 SCALE:



3 View from South-West
A2 SCALE:



4 View from South-East
A2 SCALE:

Revisions

HMH Job Number
16056

City of Franklin Project Number
6381

Drawn By
JCS

Date
04.06.2017

Drawing
PERSPECTIVES

A2