

SITE PLANS
FOR
FORREST CROSSING, SITE PLAN - YMCA PARKING ADDITION
YMCA OF MIDDLE TENNESSEE

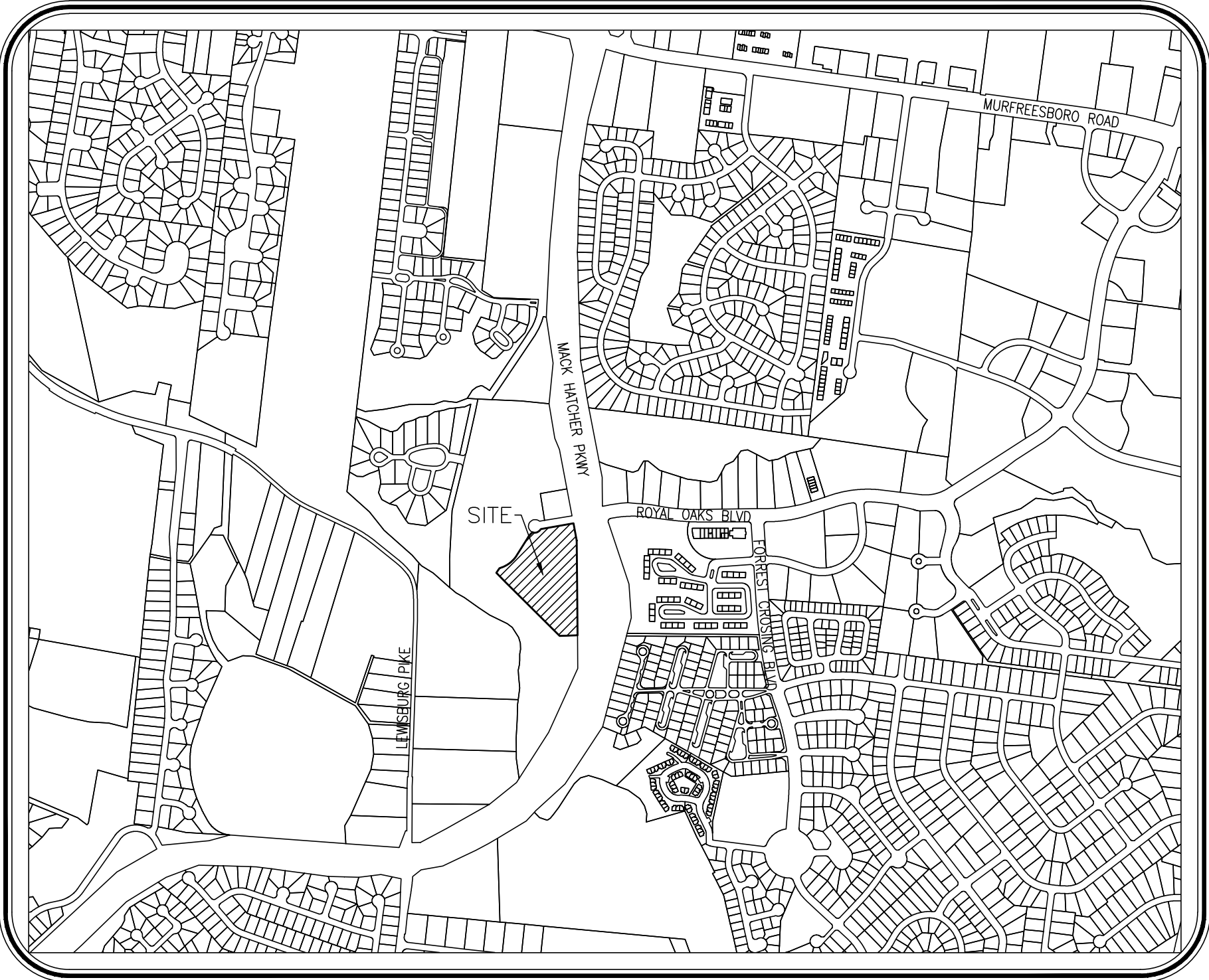
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LOCATION MAP
1"=1000'

9th CIVIL DISTRICT
CITY OF FRANKLIN, WILLIAMSON COUNTY,
TENNESSEE

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COF PROJECT #4658

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FORREST CROSSING, SITE PLAN - YMCA
PARKING ADDITION
FOR
YMCA OF MIDDLE TENNESSEE
CITY OF FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

JOB NO.	14019	DESIGNED:	B. SLAYDEN	DRAWN:	T. GARDNER	SCALE:	AS SHOWN	DATE:	SEPTEMBER 8, 2014
WK. ORDER	9879	REVISIONS							
10-02-14, T. GARDNER PER CITY COMMENTS									

COVER SHEET

CVR

SITE GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES IN THE PROXIMITY OF THE CONSTRUCTION AREA AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.
2. THE CONTRACTOR SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL CODES AND OBTAIN ALL PERMITS PRIOR TO BEGINNING WORK.
3. THE CONTRACTOR SHALL CHECK ALL FINISHED GRADES AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.
4. DIMENSIONS ARE TO THE FACE OF CURB, EDGE OF CONCRETE AND FACE OF BUILDING UNLESS NOTED OTHERWISE.
5. PROPOSED BUILDING FOOTPRINT IS FOR GRAPHIC PURPOSES ONLY. CONTRACTOR SHALL USE THE CURRENT ARCHITECTURAL DRAWINGS FOR BUILDING STAKEOUT AND VERIFY THAT THERE ARE NO DISCREPANCIES WITH THESE PLANS.
6. ALL TRAFFIC MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICE (MUTCD). ALL PAVEMENT MARKING SHALL BE THERMOPLASTIC UNLESS DIRECTED OTHERWISE BY THE OWNER'S REPRESENTATIVE.
7. ALL HANDICAP RAMPS, PARKING SPACES AND ACCESSIBLE ROUTES SHALL COMPLY WITH THE CURRENT ADA REQUIREMENTS.
8. EXTERIOR DOOR LANDINGS SHALL BE PROVIDED PER THE LOCAL BUILDING CODE. CONTRACTOR SHALL COORDINATE DOOR LOCATIONS AND ADJACENT SIDEWALK/LANDING GRADES WITH THESE PLANS AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE.

SITE CONSTRUCTION NOTES

1. THE NECESSARY PERMITS FOR THE WORK SHOWN ON THESE SITE DEVELOPMENT PLANS WILL BE OBTAINED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK ON THIS PROJECT. THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES AND OBTAIN ALL PERMITS AND PAY ALL FEES INVOLVED IN SECURING SAID PERMITS. HE SHALL ALSO COMPLY WITH ALL CITY, COUNTY AND STATE BUILDING LAWS, ORDINANCES OR REGULATIONS RELATING TO THE CONSTRUCTION OF THE PROJECT.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL BEAR ALL EXPENSES OF FIELD STAKING NECESSARY FOR SITE AND BUILDING LAYOUT. ALL LAYOUT SHALL BE PERFORMED IN ACCORDANCE WITH THE SITE LAYOUT PLAN.
3. THE LOCATION OF EXISTING PIPING AND UNDERGROUND UTILITIES, SUCH AS WATER AND GAS LINES, ELECTRICAL AND TELEPHONE CONDUITS, ETC., AS SHOWN ON THIS PORTION OF THE PLANS HAVE BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION BY ACTUAL SURVEYS, OR TAKEN FROM THE RECORDS AND DRAWINGS OF THE EXISTING UTILITIES. HOWEVER, THE CIVIL ENGINEER DOES NOT ASSUME RESPONSIBILITY THAT, DURING CONSTRUCTION, THE POSSIBILITY OF UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED OR THAT ACTUAL LOCATION OF THOSE SHOWN MAY VARY SOMEWHAT FROM THE LOCATION DESIGNATED ON THIS PORTION OF THE PLANS. IN AREAS WHERE IT IS NECESSARY THAT THE EXACT LOCATIONS OF UNDERGROUND LINES BE KNOWN, THE CONTRACTOR SHALL, AT THIS OWN EXPENSE, FURNISH ALL LABOR AND TOOLS TO EITHER VERIFY AND SUBSTANTIATE OR DEFINITELY ESTABLISH THE LOCATION OF THE LINES.
4. THE CONTRACTOR MUST UNDERSTAND THAT THE WORK IS ENTIRELY AT HIS RISK UNTIL SAME IS ACCEPTED AND HE WILL BE HELD RESPONSIBLE FOR ITS SAFETY BY THE OWNER. THEREFORE, THE CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY TEMPORARY WORKS FOR THE PROTECTION OF THE WORK, INCLUDING BARRICADES, WARNING SIGNS, AND LIGHTS.
5. THE SITE DEVELOPMENT PORTION OF THIS PROJECT WILL BE SUBJECT TO THE INSPECTION AND FINAL APPROVAL OF THE LOCAL PLANNING, CODES, WATER AND SEWER DEPARTMENTS (AND/OR UTILITY DISTRICTS), ENGINEERING/PUBLIC WORKS DEPARTMENTS AND FIRE MARSHAL'S OFFICE.
6. IF, DURING THE CONSTRUCTION OF THE SITE DEVELOPMENT PORTION OF THIS PROJECT, A QUESTION OF INTENT OR CLARITY ARISES FROM EITHER THE PLANS OR SPECIFICATIONS, THE CONTRACTOR WILL IMMEDIATELY BRING THE MATTER TO THE ATTENTION OF THE CIVIL ENGINEER OR OWNER'S REPRESENTATIVE FOR RESOLUTION BEFORE THE AFFECTED WORK ITEMS ARE INITIATED OR PURSUED FURTHER.
7. THE CONTRACTOR WILL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND OVERHEAD AND/OR UNDERGROUND POWER LINES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF THE ABOVE-NOTED LINES, THE ELECTRIC AND/OR TELEPHONE COMPANIES SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN. THE CONTRACTOR SHOULD MAKE A THOROUGH EXAMINATION OF THE OVERHEAD LINES IN THE PROJECT AREA PRIOR TO THE INITIATION OF CONSTRUCTION.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO THE PREMISES OR ADJACENT PREMISES, OR INJURIES TO THE PUBLIC DURING THE CONSTRUCTION OF THE WORK, CAUSED BY HIMSELF, HIS SUBCONTRACTORS, OR THE CARELESSNESS OF ANY OF HIS EMPLOYEES.

DEMOLITION NOTES

1. THE CONTRACTOR WILL BE REQUIRED TO REMOVE ALL EXCAVATED MATERIALS AND SUCH ITEMS SHALL BECOME THE PROPERTY OF THE CONTRACTOR. ALL ITEMS SHALL BE PROPERLY DISPOSED OF AT AN OFF-SITE LOCATION. THE CONTRACTOR SHALL OUTLINE ANY AND ALL POSSIBLE HAUL ROUTES AND SHALL BE PREPARED TO SUBMIT SUCH TO THE LOCAL JURISDICTION PUBLIC WORKS DEPARTMENT, THE CIVIL ENGINEER AND OTHER AUTHORITIES FOR APPROVAL.
2. IF, AT ANY TIME, PRIOR TO OR DURING THE DEMOLITION WORK, HAZARDOUS MATERIAL IS ENCOUNTERED, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE AND APPROPRIATE GOVERNMENTAL AGENCY.
3. THE CONTRACTOR SHALL NOTIFY ADJACENT OWNERS OF WORK THAT MAY AFFECT THEIR PROPERTY, POTENTIAL NOISE, UTILITY OUTAGE OR DISRUPTION. SUCH OPERATIONS SHALL BE CONDUCTED BY THE CONTRACTOR WITH MINIMUM INTERFERENCE TO ADJACENT OWNERS. ADJACENT FORESS AND ACCESS SHALL BE PROPERLY MAINTAINED AT ALL TIMES. DO NOT CLOSE OR OBSTRUCT ANY ROADWAYS, PARKING OR SIDEWALKS WITHOUT PERMISSION FROM THE ADJACENT OWNERS OR THE LOCAL JURISDICTION PUBLIC WORKS DEPARTMENT.
4. PRIOR TO THE COMMENCEMENT OF DEMOLITION/GRADING OPERATIONS, ALL OVERHEAD AND UNDERGROUND UTILITIES SHALL BE LOCATED. ALL REMOVAL AND/OR RELOCATION OF UTILITIES SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY COMPANIES.
5. THE CONTRACTOR WILL PROVIDE ALL NECESSARY PROTECTIVE MEASURES TO SAFEGUARD EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION OF THIS PROJECT. IN THE EVENT THAT SPECIAL EQUIPMENT IS REQUIRED TO WORK OVER OR AROUND THE UTILITIES, THE CONTRACTOR WILL BE REQUIRED TO FURNISH SUCH EQUIPMENT AT NO ADDITIONAL COST TO OWNER.
6. THE CONTRACTOR WILL BE SOLELY RESPONSIBLE FOR CONTACTING ALL AFFECTED UTILITIES PRIOR TO SUBMITTING HIS BID TO DETERMINE THE EXTENT TO WHICH UTILITY DISCONNECTIONS AND/OR ADJUSTMENTS WILL HAVE UPON THE SCHEDULE OF THE WORK FOR THE PROJECT. SOME UTILITY FACILITIES MAY NEED TO BE ADJUSTED CONCURRENTLY WITH THE CONTRACTOR'S OPERATIONS, WHILE SOME WORK MAY BE REQUIRED 'AROUND' UTILITY FACILITIES THAT WILL REMAIN IN PLACE. IT IS UNDERSTOOD AND AGREED THAT THE CONTRACTOR WILL RECEIVE NO ADDITIONAL COMPENSATION FOR DELAYS OR INCONVENIENCE CAUSED BY THE UTILITY ADJUSTMENT.

EROSION PREVENTION AND SEDIMENT CONTROLS

DESIGN, INSPECTION, AND MAINTENANCE OF BMPS DESCRIBED AND SHOWN ON THESE PLANS SHALL BE CONSISTENT OR EXCEED RECOMMENDATIONS CONTAINED IN THE CURRENT EDITION OF TDEC'S TENNESSEE EROSION CONTROL HANDBOOK.

1. ALL CONTROL MEASURES MUST BE PROPERLY INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS, TDEC AND LOCAL STANDARDS.
2. BMP CAPACITY [SEDIMENT TRAPS, SILT FENCES, SEDIMENTATION PONDS, AND OTHER SEDIMENT CONTROL] SHALL NOT BE REDUCED BY MORE THAN 50% AT ANY GIVEN TIME. IF PERIODIC INSPECTIONS OR OTHER INFORMATION INDICATES A CONTROL HAS BEEN USED INAPPROPRIATELY OR INCORRECTLY, THE CONTRACTOR MUST REPLACE OR MODIFY THE CONTROL FOR RELEVANT SITE SITUATIONS.
3. WHERE PERMANENT OR TEMPORARY VEGETATION COVER IS USED AS A CONTROL MEASURE, THE TIMING OF THE PLANTING IS CRITICAL. PLANNING FOR PLANTING OF VEGETATION COVER DURING WINTER OR DRY MONTHS SHOULD BE AVOIDED.
4. IF SEDIMENT ESCAPES THE PERMITTED AREA, OFF-SITE ACCUMULATIONS OF SEDIMENT THAT HAVE NOT REACHED A STREAM MUST BE REMOVED AT A FREQUENCY SUFFICIENT TO MINIMIZE OFFSITE IMPACTS. THE CONTRACTOR SHALL NOT INITIATE REMEDIATION/RESTORATION OF A STREAM WITHOUT CONSULTING THE DIVISION FIRST. THE NOI GENERAL PERMIT DOES NOT AUTHORIZE ACCESS TO PRIVATE PROPERTY. ARRANGEMENTS CONCERNING REMOVAL OF SEDIMENT ON ADJOINING PROPERTY MUST BE SETTLED BY THE CONTRACTOR AND ADJOINING LANDOWNER.
5. LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS EXPOSED TO STORM WATER SHALL BE PICKED UP PRIOR TO ANTICIPATED STORM EVENTS OR BEFORE BEING CARRIED OFF OF THE SITE BY WIND OR OTHERWISE PREVENTED FROM BECOMING A POLLUTANT SOURCE FOR STORM WATER DISCHARGES. AFTER USE, MATERIALS USED FOR EPSC SHOULD BE REMOVED OR OTHERWISE PREVENTED FROM BECOMING A POLLUTANT SOURCE FOR STORM WATER DISCHARGE.
6. ERODIBLE MATERIAL STORAGE AREAS (INCLUDING OVERBURDEN AND STOCKPILES OF SOIL) AND BORROW PITS ARE CONSIDERED PART OF THE SITE AND SHOULD BE ADDRESSED WITH APPROPRIATE BMP'S ACCORDINGLY.
7. PRE-CONSTRUCTION VEGETATIVE GROUND COVER SHALL NOT BE DESTROYED, REMOVED, OR DISTURBED MORE THAN 15 DAYS PRIOR TO GRADING OR EARTH MOVING UNLESS THE AREA IS STABILIZED. CONTRACTOR SHALL SEQUENCE EVENTS TO MINIMIZE THE EXPOSURE TIME OF GRADED OR DENUDED AREAS. CLEARING AND GRUBBING SHALL BE HELD TO THE MINIMUM NECESSARY FOR GRADING AND EQUIPMENT OPERATION. EXISTING VEGETATION AT THE SITE SHOULD BE PRESERVED TO THE MAXIMUM EXTENT PRACTICABLE.
8. EPSC MEASURES MUST BE IN PLACE AND FUNCTIONAL BEFORE MOVING OPERATIONS BEGIN AND MUST BE CONSTRUCTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. TEMPORARY MEASURES MAY BE REMOVED AT THE BEGINNING OF THE WORKADAY, BUT MUST BE REPLACED AT THE END OF THE WORKDAY.
9. THE FOLLOWING RECORDS SHALL BE MAINTAINED ON OR NEAR SITE: THE DATES WHEN MAJOR GRADING ACTIVITIES OCCUR; THE DATES WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE; OR A PORTION OF THE SITE; THE DATES WHEN STABILIZATION MEASURES ARE INITIATED; INSPECTION RECORDS AND RAINFALL RECORDS. CONTRACTOR SHALL MAINTAIN A RAIN GAUGE AND DAILY RAINFALL RECORDS AT THE SITE, OR USE A REFERENCE SITE FOR A RECORD OF DAILY AMOUNT OF PRECIPITATION.
10. A COPY OF THE SWPPP SHALL BE RETAINED ON-SITE AND SHOULD BE ACCESSIBLE TO THE DIRECTOR AND THE PUBLIC. ONCE SITE IS INACTIVE OR DOES NOT HAVE AN ONSITE LOCATION ADEQUATE TO STORE THE SWPPP, THE LOCATION OF THE SWPPP, ALONG WITH A CONTACT PHONE NUMBER, SHALL BE POSTED ON-SITE. IF THE SWPPP IS LOCATED OFF-SITE, REASONABLE LOCAL ACCESS TO THE PLAN, DURING NORMAL WORKING HOURS, MUST BE PROVIDED.
11. OFF-SITE VEHICLE TRACKING OF SEDIMENTS AND THE GENERATION OF DUST SHALL BE MINIMIZED. A STABILIZED CONSTRUCTION ACCESS (A POINT OF ENTRANCE/EXIT TO A CONSTRUCTION SITE) SHALL BE CONSTRUCTED AS NEEDED TO REDUCE THE TRACKING OF MUD AND DIRT ONTO PUBLIC ROADS BY CONSTRUCTION VEHICLES.
12. INSPECTIONS MUST BE PERFORMED AT LEAST TWICE EVERY CALENDAR WEEK. INSPECTIONS SHALL BE PERFORMED AT LEAST 72 HOURS APART. WHERE SITES OR PORTIONS OF CONSTRUCTION SITES HAVE BEEN TEMPORARILY STABILIZED, OR RUNOFF IS UNLIKELY DUE TO WINTER CONDITIONS OR DUE TO EXTREME DROUGHT, SUCH INSPECTION HAS TO BE CONDUCTED ONCE PER MONTH UNTIL THAWING OR PRECIPITATION RESULTS IN RUNOFF OR CONSTRUCTION ACTIVITIES RESUMES. INSPECTION REQUIREMENT DO NOT APPLY TO DEFINABLE AREAS THAT HAVE BEEN FINALLY STABILIZED, AS DESIGNED BY THE ENGINEER. WRITTEN NOTIFICATION OF THE INTENT TO CHANGE THE INSPECTION FREQUENCY AND THE JUSTIFICATION FOR SUCH REQUEST MUST BE SUBMITTED TO THE LOCAL ENVIRONMENTAL FIELD OFFICE, OR THE DIVISION'S NASHVILLE CENTRAL OFFICE FOR PROJECTS OF TDOT OR TVA. SHOULD THE DIVISION DISCOVER THAT MONTHLY INSPECTION OF THE DIVISION DISCOVER THAT MONTHLY INSPECTIONS OF THE SITE ARE NOT APPROPRIATE DUE TO INSUFFICIENT STABILIZATION MEASURES, OR OTHERWISE, TWICE WEEKLY INSPECTIONS SHALL RESUME. THE DIVISION MAY INSPECT THE SITE TO CONFIRM OR DENY THE NOTIFICATION TO CONDUCT MONTHLY INSPECTIONS.
13. INSPECTORS PERFORMING THE REQUIRED TWICE WEEKLY INSPECTIONS MUST HAVE AN ACTIVE CERTIFICATION AND A RECORD OF CERTIFICATION MUST BE KEPT ON SITE. BASED ON THE RESULTS OF THE INSPECTION, ANY INADEQUATE CONTROL MEASURES OR CONTROL MEASURES IN DESPAIR SHALL BE REPLACED OR MODIFIED, OR REPAIRED AS NECESSARY, BEFORE THE NEXT RAIN EVENT, BUT IN NO CASE MORE THAN 7 DAYS AFTER THE NEED IDENTIFIED.
14. OUTFALL POINTS SHALL BE INSPECTED TO DETERMINE WHETHER EPSC MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATERS. WHERE DISCHARGE LOCATIONS ARE INACCESSIBLE, NEARBY DOWNSTREAM LOCATIONS SHALL BE INSPECTED, LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE SHALL BE INSPECTED FOR EVIDENCE OF OFFSITE SEDIMENT TRACKING.

TREE PROTECTION NOTES

1. ANY REQUIRED EXCAVATION IN OR AROUND THE PROTECTION ZONE TO ACCOMMODATE UNDERGROUND SERVICES, FOOTINGS, ETC., SHALL BE INDICATED ON THE PLAN, AND SHALL BE EXCAVATED BY HAND. IN ADDITION, RELATED ROOT PRUNING SHALL BE ACCOMPLISHED BY A CERTIFIED ARBORIST VIA ANSI A-300-95 STANDARD SO AS TO MINIMIZE IMPACT OF THE GENERAL ROOT SYSTEM.
2. THE STORAGE OF BUILDING MATERIALS OR STOCKPIILING SHALL NOT BE PERMITTED WITHIN THE LIMITS OF OR AGAINST THE PROTECTION BARRIERS.
3. TREES WITHIN THE PROTECTION BARRIERS MUST BE ADEQUATELY CARED FOR THROUGHOUT THE CONSTRUCTION PROCESS (I.E., THEY MUST BE WATERED SUFFICIENTLY, PARTICULARLY IF THE TREE'S ROOT SYSTEM HAS BEEN DISTURBED BY EXCAVATION). FILL SHALL NOT BE PLACED UPON THE ROOT SYSTEM IN SUCH A MANNER AS TO ENDANGER THE HEALTH OR LIFE OF THE AFFECTED TREE.
4. TREE PROTECTION BARRIER SHALL BE CONSTRUCTED PRIOR TO THE ISSUANCE OF ANY PERMITS AND SHALL REMAIN INTACT THROUGHOUT THE ENTIRE PERIOD OF CONSTRUCTION.

SITE GRADING & STORM DRAINAGE NOTES

EROSION CONTROL SEDIMENT BARRIERS AND TREE PROTECTION BARRIER SHALL BE INSTALLED PRIOR BEGINNING SITE WORK.

1. NO HEAVY EQUIPMENT SHALL CROSS OR BE STORED OUTSIDE THE LIMITS OF CONSTRUCTION, WITHIN TREE PROTECTIONS ZONES, OR UNDER THE DRIP LINE OF EXISTING TREES TO REMAIN.
2. TOPSOIL STRIPPED FROM AREAS TO BE GRADED SHALL BE STOCKPILED ON SITE IN A LOCATION APPROVED BY THE OWNER'S REPRESENTATIVE. DRAINAGE SHALL BE ROUTED AROUND STOCKPILE LOCATIONS FOR THE DURATION OF GRADING OPERATIONS. EROSION CONTROL MEASURES SHALL BE INSTALLED TO PREVENT LOSS OF TOPSOIL MATERIAL.
3. PRIOR TO BEGINNING CONSTRUCTION, CONTRACTOR SHALL REVIEW GEOTECHNICAL REPORT.
4. ALL CUT AND FILL SHALL BE PERFORMED UNDER THE DIRECTION/OBSERVATION OF THE GEOTECHNICAL ENGINEER.
5. THE SUITABILITY OF SOILS FOR FILL MATERIAL SHALL BE DETERMINED BY THE GEOTECHNICAL ENGINEER.
6. UNLESS DIRECTED OTHERWISE BY GEOTECHNICAL ENGINEER, ALL FILL AREAS SHALL BE RAISED IN LIFTS NOT EXCEEDING 8" IN THICKNESS. THE RELATIVE COMPACTION OF EACH LAYER SHALL NOT BE LESS THAN 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D-698) IN ALL AREAS OF FILL WITHIN OPEN AREAS AND 98% OF SAME SPECIFICATION FOR AREAS UNDER ROADS, PARKING, SIDEWALKS, BUILDING SLABS, AND FOUNDATIONS.
7. ALL GRADING SHALL BE COMPLETED TO THE GRADES INDICATED WITHIN THESE PLANS. FINAL GRADES SHALL PROVIDE PROPER DRAINAGE AND PREVENT STANDING WATER.
8. ALL STORM DRAINAGE CASTINGS TO BE JOHN BOUCHARD & SONS CO. OR APPROVED EQUAL, UNLESS OTHERWISE NOTED.
9. ALL STORM DRAINAGE PIPES TO BE RCP, CLASS III, UNLESS OTHERWISE NOTED.
10. INSTALLATION OF PIPE MATERIAL SHALL BE PLACED WITH A SCREEN STONE ENVELOPE AND WHEN UNDER PAVEMENT ENTIRE TRENCH TO BE BACKFILLED WITH SCREEN STONE TO SUBGRADE. SIZE OF STONE, ENVELOPES, AND TRENCHES TO BE SPECIFIED BY MUNICIPALITIES FOR PUBLIC LINES AND PRIVATE LINES TO ADHERE TO COMMON PRACTICES FOR INSTALLATION REQUIREMENTS.

SITE UTILITY NOTES

1. ALL MATERIALS AND WORKMANSHIP FOR UTILITY LINES AND APPURTENANCES SHALL BE IN STRICT COMPLIANCE WITH THE GOVERNING UTILITY COMPANY AND LOCAL CODES. PRIOR TO CONSTRUCTION CONTRACTOR SHALL NOTIFY UTILITY COMPANY. (SEE UTILITY CONTACT INFORMATION)
2. CONTRACTOR SHALL COORDINATE SITE ELECTRICAL, GAS, TELEPHONE, AND CABLE WITH THE RESPECTIVE UTILITY COMPANY FOR SERVICE LAYOUT AND DESIGN INFORMATION. ANY PROPOSED LAYOUT OF THESE UTILITIES DEPICTED ON THESE DRAWINGS IS GRAPHICAL ONLY AND NOT INTENDED TO REPRESENT DESIGN OF THESE UTILITIES.
3. PRIOR TO COMMENCEMENT OF CONSTRUCTION, CONTRACTOR SHALL OBTAIN ALL PERMITS AND PAY ANY REQUIRED TAP AND CONNECTION FEES.
4. ALL TRENCHING, PIPE LAYING AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
5. SITE CONTRACTOR SHALL CONSTRUCT ALL UTILITY SERVICES TO WITHIN 5' OF BUILDING.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SEQUENCING OF CONSTRUCTION FOR ALL UTILITY LINES TO AVOID CONFLICTS.
7. CONTRACTOR SHALL COORDINATE SIZE AND LOCATION OF WATER, SEWER AND STORMWATER CONNECTIONS TO THE BUILDING AS DEPICTED ON THE BUILDING MECHANICAL PLANS AND THE SITE UTILITY PLAN AND NOTIFY THE ENGINEER OR OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES.
8. WATER SERVICES LINES 1/2" - 3" SHALL BE TYPE-K COPPER AND 4" OR LARGER SHALL BE DUCTILE IRON PIPE - CLASS 52 UNLESS OTHERWISE REQUIRED BY UTILITY COMPANY.
9. FIRE LINE INSTALLATION AND THRUST BLOCKING LOCATION AND SIZING SHALL BE PER N.F.P.A. AND LOCAL FIRE DEPARTMENT REQUIREMENTS.
10. WATER METER MANUFACTURER/MODEL NUMBER AND VAULT SPECIFICATIONS SHALL BE PER THE WATER UTILITY COMPANY.
11. BACKFLOW DEVICE (RPBP/DDCVA) MANUFACTURER/MODEL NUMBER SHALL BE PER THE WATER UTILITY COMPANY.
12. CONTRACTOR SHALL INSTALL HOT BOX ENCLOSURE (PRE-FINISHED DARK GREEN) ON ALL EXTERIOR ABOVE-GROUND BACKFLOW DEVICES. DOMESTIC AND FIRE BACKFLOW DEVICES SHALL BE HEATED. CONTRACTOR SHALL COORDINATE PROVIDING APPROPRIATE ELECTRICAL SERVICE TO BACKFLOW DEVICE.
13. CONTRACTOR SHALL COORDINATE LOCATION OF BACKFLOW DEVICE WITH THE BUILDING MECHANICAL DRAWINGS.
14. SANITARY SEWER SERVICE LINES SHALL BE SDR 35 PVC UNLESS SPECIFIED OTHERWISE.
15. MAINTAIN A 10' HORIZONTAL AND 18" VERTICAL SEPARATION BETWEEN SANITARY SEWER AND WATER LINES.
16. ALL FIRE LINE MAINS TO BE INSTALLED BY LICENSED FIRE PROTECTION CONTRACTOR.
17. INSTALLATION OF PIPE MATERIAL SHALL BE PLACED WITH A SCREEN STONE ENVELOPE AND WHEN UNDER PAVEMENT ENTIRE TRENCH TO BE BACKFILLED WITH SCREEN STONE TO SUBGRADE. SIZE OF STONE, ENVELOPES, AND TRENCHES TO BE SPECIFIED BY MUNICIPALITIES FOR PUBLIC LINES AND PRIVATE LINES TO ADHERE TO COMMON PRACTICES FOR INSTALLATION REQUIREMENTS.

GEOTECHNICAL NOTE

1. NO GEOTECHNICAL STUDY HAS BEEN CONDUCTED ON THIS SITE. HOWEVER, THE DESIGN FOR THE SITE IMPROVEMENTS SHOWN ON THIS PLAN HAS RELIED ON EXPERIENCE WITH SIMILAR PROJECTS AND SIMILAR SOIL/SITE CONDITIONS. IF, IN THE PURSUIT OF THIS WORK BY THE CONTRACTOR, CONDITIONS OR CIRCUMSTANCES ARE ENCOUNTERED THAT ARE DIFFERENT THAN REFLECTED IN THESE PLANS OR THAT APPEAR TO IMPACT THE SCOPE OF THE WORK, THE CONTRACTOR WILL IMMEDIATELY NOTIFY THE CIVIL ENGINEER, AND THE OWNER/DEVELOPER BEFORE ANY REMEDIAL COURSE OF ACTION OR DESIGN CHANGE IS INITIATED. ALL PARTIES (OWNER, CIVIL ENGINEER, PROPER GOVERNMENTAL AGENCIES, AND CONTRACTOR) MUST BE IN AGREEMENT AND THE MAGNITUDE OF THE COST/TIME REQUIRED FOR THE MEASURES ESTABLISHED.

BEST MANAGEMENT PRACTICES (BMP)

LAND CLEARING SHALL TAKE PLACE ONLY IN AREAS WHERE ACTIVE CONSTRUCTION WILL BEGIN WITHIN A REASONABLE AMOUNT OF TIME. LAND CLEARING DURING THE RAINY SEASON SHALL BE AVOIDED IN SENSITIVE AREAS SUCH AS STEEP SLOPES AND BUFFERS, IF POSSIBLE.

ANY NATURAL WATERCOURSE ON SITE SHALL NOT BE DISTURBED UNLESS ABSOLUTELY NECESSARY.

DENUDED AREAS, SOIL STOCKPILES, DIKES, DAMS, CHANNELS, ETC., ARE TO BE SEEDED AND MULCHED. AREAS AND TIME OF EXPOSURE OF UNPROTECTED SOILS SHALL BE KEPT TO A MAXIMUM OF 15 DAYS. SUCH AREAS ARE TO IMMEDIATELY RECEIVE SEED AND MULCH STABILIZATION FOLLOWING THIS TIME PERIOD. ON STEEP SLOPES AND CHANNELS, SOD SHALL BE FASTENED TO THE GROUND WITH WIRE STAPLES OR WOOD PEGS. WHERE SURFACE WATER CANNOT BE DIVERTED FROM FLOWING OVER THE FACE OF SLOPES, INSTALL A STRIP OF HEAVY JUTE OR PLASTIC NETTING AND FASTEN TIGHT ALONG THE CROWN OR TOP OF THE SLOPE FOR EXTRA PROTECTION AGAINST LIFTING AND UNDERCUTTING OF SOD.

SUITABLE BARRICADES AND GAURDS SHALL BE ERECTED TO PREVENT EQUIPMENT OR MATERIAL FROM BEING PLACED ON ANY PLANTED AREA.

PLASTIC LINING SHALL BE USED ON ALL DITCHES AND EXPOSED SURFACES WHEN TIME DOES NOT PERMIT THE CONTRACTOR TO USE SEED AND MULCH FOR STABILIZATION.

SLOPE AND DITCHES THAT ARE CONSTRUCTED TO FINAL SUB-GRADE OR A PORTION OF ANY SLOPE OR DITCH THAT IS CONSTRUCTED TO SUB-GRADE SHALL IMMEDIATELY RECEIVE TOPSOIL AND FINAL STABILIZATION. ALL SLOPES ARE TO RECEIVE SEED AND MULCH. ALL DITCHES SHALL RECEIVE STABILIZATION AS INDICATED ON THE CONSTRUCTION PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING SEEDED AREAS TO PREVENT THE SOIL FROM DRYING OUT UNTIL APPROVED AND ACCEPTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RE-SEEDING BARE SPOTS FOR A PERIOD OF ONE YEAR AFTER INSTALLATION OR ACCEPTANCE OF THIS PROJECT.

STEEP AND UNSTABLE SLOPES SHALL NOT BE DISTURBED IF THEY ARE OUTSIDE OF THE APPROVED GRADING PLAN AREA. RUNOFF SHALL BE CONVEYED FROM THE TOP OF THE SLOPE IN A SAFE MANNER ENSURING THAT THE SLOPE IS STABILIZED AS SOON AS POSSIBLE. ALL RUNOFF EXITING THE CONSTRUCTION SITE SHALL BE FREE OF EXCESSIVE SEDIMENT, AND OTHER POLLUTANTS.

EROSION CONTROL BARRIERS (SILT FENCE) SHALL BE PLACED WHERE INDICATED PRIOR TO CLEARING, GRUBBING, GRADING. EROSION CONTROL BARRIERS (SILT FENCE) SHALL BE ADJUSTED AND PLACED ALONG THE NEWLY ESTABLISHED CONTOURS UNTIL THE DEVELOPMENT IS STABILIZED (SEE EROSION/SILTATION CONTROL NOTES)

STREET AND/OR CURB INLET PROTECTION DEVICES SHALL BE PLACED AROUND ALL INLETS UPON THE CONSTRUCTION OF THE STORM WATER SEWER SYSTEM. GRATE INLET SKIMMER BOXES WILL BE PLACED AT ALL INLETS. ALL CATCH BASINS AND CONNECTIONS HAVE BEEN DESIGNED TO CONVEY AT LEAST THE 10-YEAR DESIGN-STORM EVENT. STORM WATER DRAINAGE SHALL BE CONVEYED TO THE DETENTION POND AS SHOWN.

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FOR
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CITY OF FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

RAGAN • SMITH

LANDSCAPE ARCHITECTS • CIVIL ENGINEERS
LAND PLANNERS • SURVEYORS

CHATTANOOGA
100 BOULDER STREET
NASHVILLE, TN 37203
(615) 244-5591

www.ragan-smith.com



JOB NO.	WK. ORDER	DESIGNED:	DRAWN:	SCALE:	DATE:
14019	9879	B. SLAYDEN	T. GARDNER	N.T.S.	SEPTEMBER 8, 2014
10-02-14, T. GARDNER PER CITY COMMENTS					
REVISONS					

CIVIL NOTES

C0.1

SITE DATA:

PROPERTY INFORMATION:

SUBDIVISION: FORREST CROSSING, SECTION 10, REVISION 1
LOT: 1001
STREET ADDRESS: 501 ROYAL OAKS COURT
CIVIL DISTRICT: NINTH
TAX MAP: 79
PARCEL: 96.05
LOT SIZE: 8.00 AC. (348,482 S.F.)

ZONING INFORMATION:

ZONING CLASSIFICATION: SD-R
ZONING OVERLAY: NONE
CHARACTER AREA: CFCO-4
DEVELOPMENT STANDARDS (500' FROM SITE): CONVENTIONAL
PROPOSED DEVELOPMENT STANDARDS: CONVENTIONAL
EXISTING LAND USE: CIVIC/INSTITUTIONAL
INCOMPATIBLE USE BUFFER: MACK HATCHER PARKWAY STREET BUFFER
BUILDING SETBACKS:
FRONT: 30'
SIDE: 50'
REAR: 30'

OWNER/DEVELOPER:

YMCA OF NASHVILLE AND MIDDLE TN
1000 CHURCH STREET
NASHVILLE, TN 37203
(615) 254-0631

PROJECT ENGINEER:

BRAD SLAYDEN, P.E.
RAGAN-SMITH & ASSOCIATES, INC.
315 WOODLAND STREET
NASHVILLE, TN 37206
(615) 244-8591
bslayden@ragansmith.com

SURVEY INFORMATION:

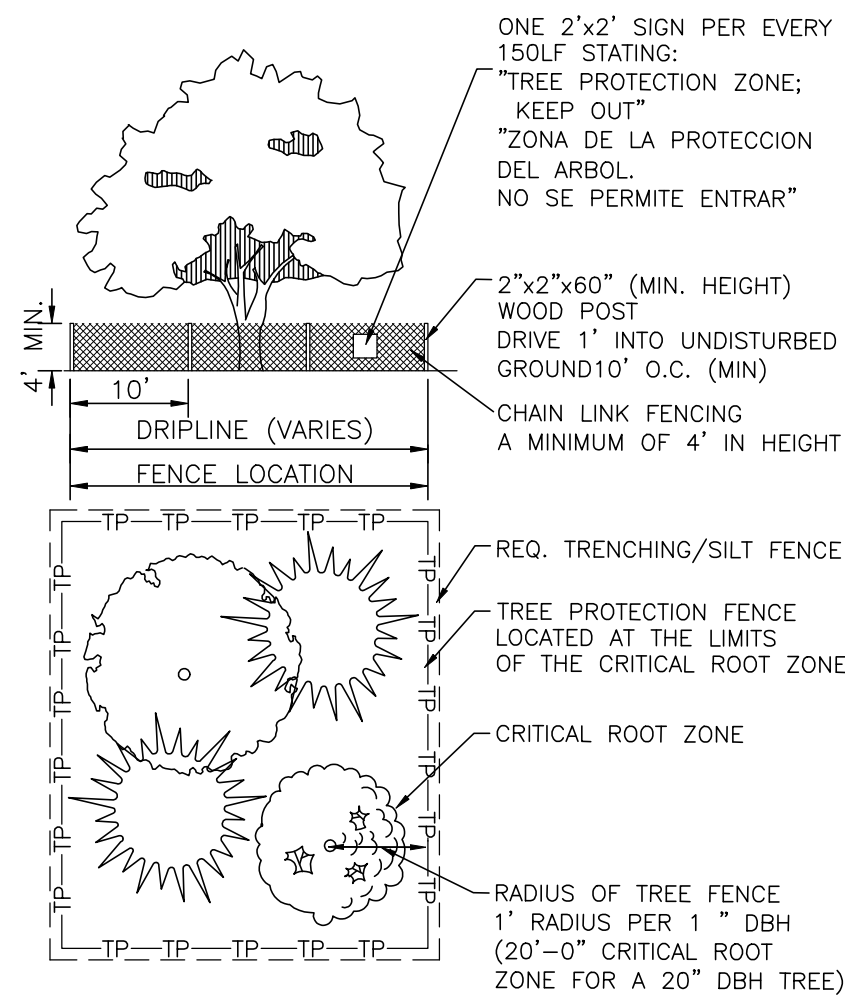
BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A SURVEY BY RAGAN SMITH ASSOCIATES, INC. OFFSITE TOPO TAKEN FROM AERIAL SOURCES. PHOSPHATE AND/OR PHOSPHATIC MATERIAL RIGHTS HAVE BEEN TRANSFERRED TO MONSANTO CHEMICAL COMPANY.

FLOOD INFORMATION:

FEMA MAP #s: 47187C0211F AND 47187C0213F
EFFECTIVE DATE: SEPTEMBER 29, 2006
THE SURVEY SHOWS "BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY". THIS PROPERTY LIES WITHIN "ZONE X", AS DESIGNATED ON CURRENT FEDERAL EMERGENCY MANAGEMENT AGENCY MAP NOS. 47187C0211F AND 47187C0213F, WITH AN EFFECTIVE DATE OF SEPTEMBER 29, 2006 WHICH MAKES UP A PART OF THE NATIONAL FLOOD INSURANCE ADMINISTRATION REPORT; COMMUNITY NO. 470206 PANEL NO. 0211, SUFFIX F, AND COMMUNITY NO. 470206 PANEL NO. 0213, SUFFIX F, AND COMMUNITY NO. 470204 PANEL NO. 0213 SUFFIX F WHICH IS THE CURRENT FLOOD INSURANCE RATE MAPS FOR THE COMMUNITY IN WHICH SAID PREMISES IS SITUATED. SAID MAPS DEFINES "ZONE X" AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

LANDSCAPING DATA

SITE ACREAGE: 8.000 AC.
DISTURBED AREA: 1,748 AC.
DEVELOPMENT STANDARDS: CONVENTIONAL
MINIMUM REQUIRED LANDSCAPE SURFACE AREA (RATIO AND ACREAGE): 0.10 (0.800 AC.)
PROVIDED LANDSCAPE SURFACE AREA (RATIO AND ACREAGE): 0.44 (3,509 AC.)
PERCENT AND ACREAGE OF ORIGINAL CANOPY COVER: 15.00% (1,200 AC.)
PERCENT AND ACREAGE TREE COVER REQUIRED: 8.10% (0.648 AC.) [54% x 15.00%]
PERCENT AND ACREAGE OF PRESERVED CANOPY COVER PROVIDED: 14.00% (1,120 AC.)
NUMBER AND DBH OF SPECIMEN TREES REMOVED: 0
BUILDING HEIGHT: EXISTING



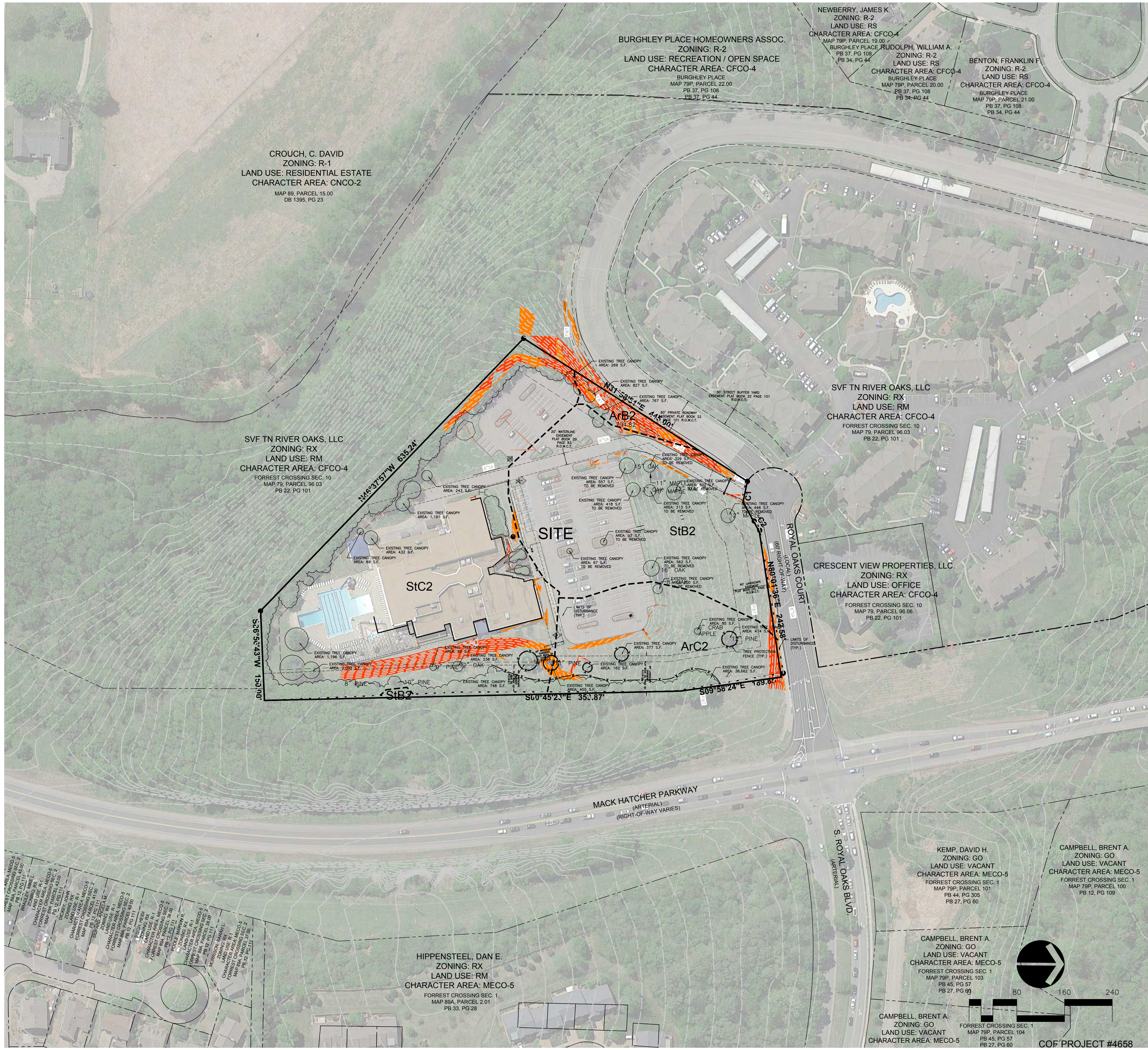
TREE PROTECTION
NOT TO SCALE

NOTE:

ALL TREE PROTECTION FENCING SHALL BE IN PLACE PRIOR TO THE ISSUANCE OF A GRADING OR LAND DISTURBANCE PERMIT AND SHALL BE MAINTAINED IN GOOD WORKING ORDER UNTIL ALL CONSTRUCTION ACTIVITY IS COMPLETED. NO DISTURBANCE IS PERMITTED IN A TREE PRESERVATION AREA. ANY REQUIRED EROSION CONTROL MEASURES SHALL BE PLACED OUTSIDE OF ANY TREE PROTECTION FENCING.

20% > SLOPES
14-19.9% SLOPES

Williamson County, Tennessee (TN187)			
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
AB2	Armour oil loam, 2 to 5 percent slopes, eroded	0.2	1.3%
AC2	Armour oil loam, 5 to 12 percent slopes, eroded	3.0	17.3%
Hu	Huntington oil loam, phosphatic	0.3	1.9%
HE3	Irman silt clay loam, 20 to 30 percent slopes, severely eroded	0.0	0.0%
R0	Rockland	1.4	7.9%
SB2	Stoverville oil loam, 2 to 5 percent slopes, eroded	3.6	20.2%
SB2	Stoverville oil loam, 5 to 12 percent slopes, eroded	8.8	51.2%
SB2	Stoverville oil loam, 12 to 20 percent slopes, eroded	0.1	0.4%
Totals for Area of Interest		17.3	100.0%



TENNESSEE STATE PLANE COORDINATE SYSTEM, ZONE 5301, FIPSZONE 4100; NAD 83 DATUM

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1000 CHURCH STREET
NASHVILLE, TN 37203
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FORREST CROSSING, SITE PLAN - YMCA

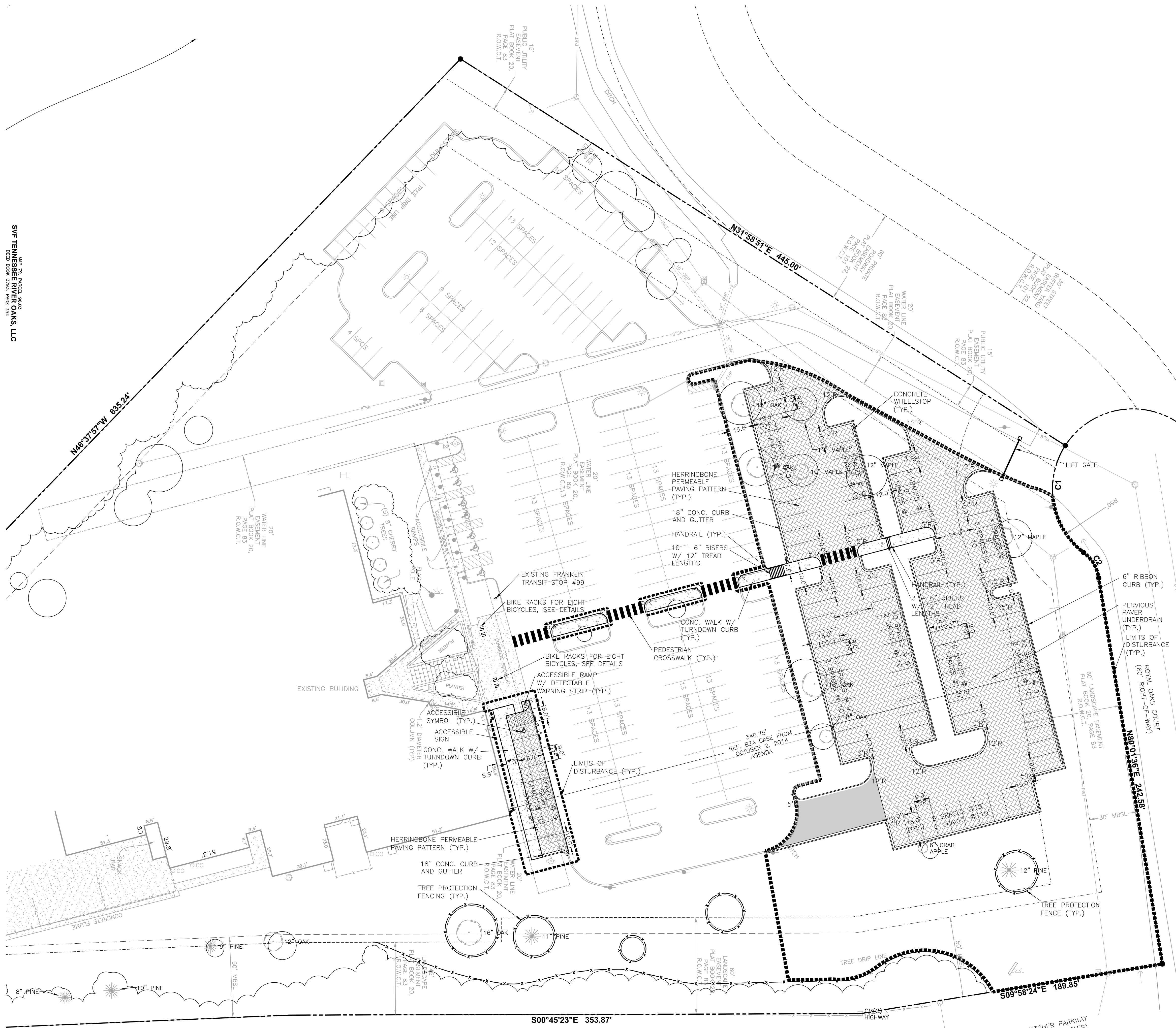
PARKING ADDITION

FOR
YMCA OF MIDDLE TENNESSEE

CITY OF FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

JOB NO.	WK. ORDER	DESIGNED:	DRAWN:	SCALE:	DATE:
14019	9879	B. SLAYDEN	T. GARDNER	1"=80'	SEPTEMBER 8, 2014
EXISTING CONDITIONS & TREE PRESERVATION PLAN					
C1.1					

SVF TENNESSEE RIVER OAKS, LLC
MAP 79, PARCEL 96.03
JULY 2009, 3/11, 3/12, 3/13, 3/14



SITE DATA:

PROPERTY INFORMATION:

SUBDIVISION: 1001
STREET ADDRESS: 501 ROYAL OAKS COURT
CIVIL DISTRICT: NINTH
TAX MAP: 79
PARCEL: 96.05
LOT SIZE: 8.00 AC. (348,480 S.F.)

ZONING INFORMATION:

ZONING CLASSIFICATION: SD-R
ZONING OVERLAY: NONE
CHARACTER AREA: CFCO-4
DEVELOPMENT STANDARDS (500' FROM SITE): CONVENTIONAL
PROPOSED DEVELOPMENT STANDARDS: CONVENTIONAL
EXISTING LAND USE: CIVIC/INSTITUTIONAL
INCOMPATIBLE USE BUFFER: MACK HATCHER PARKWAY STREET BUFFER
BUILDING SETBACKS:
FRONT: 30'
SIDE: 50'
REAR: 30'

OWNER/DEVELOPER:

YMCA OF NASHVILLE AND MIDDLE TN
1000 CHURCH STREET
NASHVILLE, TN 37203
(615) 254-0631

PROJECT ENGINEER:

BRAD SLAYDEN, P.E.
RAGAN-SMITH & ASSOCIATES, INC.
315 WOODLAND STREET
NASHVILLE, TN 37206
(615) 244-8591
bslayden@ragansmith.com

PROJECT INFORMATION:

CITY OF FRANKLIN PROJ. # 4658
BUILDING HEIGHT PROVIDED: EXISTING
BUILDING AREA: 36,000 +/- S.F.

PARKING SUMMARY:

REQUIRED:
SIZE: 9'x18' (TYP.), 9'x16' W/2' GREEN STRIP OR 7' WALK, & 10'x16' NEXT TO ISLANDS
CODE: 142 SPACES (INCLUDING 5 ACC.) (3,331,000 S.F.)
MAX. PARKING LIMIT: 170 SPACES (120% OF REQUIREMENT)

PROVIDED:

EXISTING (IMPERVIOUS): 202 (195 STANDARD, 7 ACC.)
PROPOSED (PERVIOUS): + 98 (97 STANDARD, 1 ACC.)
TOTAL PROVIDED: 300

BICYCLE PARKING REQUIRED: 15 (@ 1/20 PARKING SPACES)
BICYCLE PARKING PROVIDED: 16 SPACES

LANDSCAPE SUMMARY:
MIN. REQUIRED LANDSCAPE SURFACE AREA (RATIO AND ACREAGE): 0.10 (0.800 AC.)
PROVIDED LANDSCAPE SURFACE AREA (RATIO AND ACREAGE): 0.44 (3.509 AC.)
FORMAL OPEN SPACE REQUIRED (5% OF DEV. AREA): 17,424 S.F.
FORMAL OPEN SPACE PROVIDED: 17,490 S.F.
ALLOWABLE PERCENT OF FORMAL OPEN SPACE TO BE PAVED: 80% (13,939 S.F.)
PERCENT OF FORMAL OPEN SPACE PAVED: T.B.D.
PERCENT AND ACREAGE OF ORIGINAL CANOPY COVER: 15.00% (1,200 AC.)
PERCENT AND ACREAGE TREE COVER REQUIRED: 8.10% (0.648 AC.)
PERCENT AND ACREAGE OF PRESERVED CANOPY COVER PROVIDED: 14.00% (1,120 AC.)
NUMBER AND DBH OF SPECIMEN TREES REMOVED: 0
PARKLAND: N/A
MACK HATCHER PARKWAY STREET BUFFER 30' WIDTH (24 AC/100 L.F.)

SURVEY INFORMATION:

BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A SURVEY BY RAGAN SMITH ASSOCIATES, INC. PHOSPHATE AND/OR PHOSPHATIC MATERIAL RIGHTS HAVE BEEN TRANSFERRED TO MONSANTO CHEMICAL COMPANY.

FLOOD INFORMATION:

FEMA MAP # 47187C0204F
EFFECTIVE DATE: SEPT. 29, 2006
THE SURVEY SHOWS "BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY", THIS PROPERTY LIES WITHIN FLOOD ZONE "X", AS DESIGNATED ON CURRENT FEDERAL EMERGENCY MANAGEMENT AGENCY MAP NO. 47187C0204F, WITH AN EFFECTIVE DATE OF SEPT. 29, 2006 WHICH MAKES UP A PART OF THE NATIONAL FLOOD INSURANCE ADMINISTRATION REPORT; COMMUNITY NO. 470206 PANEL NO. 204; SUFFIX F, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAPS FOR THE COMMUNITY IN WHICH SAID PREMISES IS SITUATED. SAID MAP DEFINES ZONE "X" AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

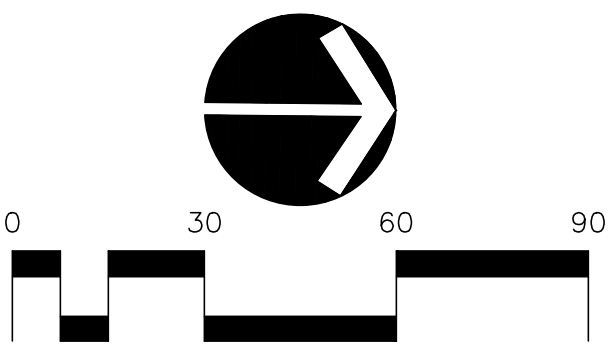
TRIP GENERATION SUMMARY									
Trip Generation Manual, 9th Edition, Institute of Transportation Engineers									
Project:	Land Use	# of Units	Daily	A.M. Peak Hour			P.M. Peak Hour		
LUC				Enter	Exit	Total	Enter	Exit	Total
495	Recreational Community Center	0 GSF	0	0	0	0	0	0	0
TOTAL:			0	0	0	0	0	0	0

PAVEMENT LEGEND

	PERMEABLE PAVERS
	ASPHALT PAVEMENT
	CONCRETE SIDEWALK



Know what's below.
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COF PROJECT #4658

FORREST CROSSING, SITE PLAN - YMCA PARKING ADDITION FOR YMCA OF MIDDLE TENNESSEE CITY OF FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

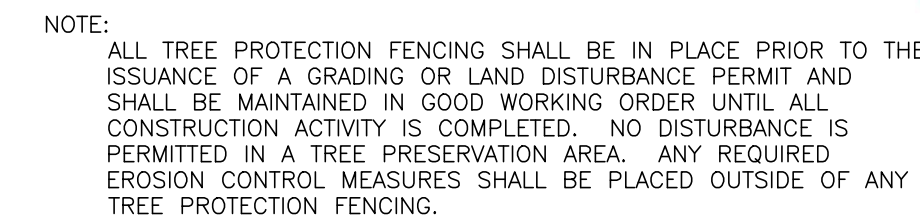
RAGAN-SMITH
LAND PLANNERS • CIVIL ENGINEERS
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NASHVILLE
P.O. BOX 60070
CHATTANOOGA, TN 37406
(615) 244-8591
www.ragansmith.com



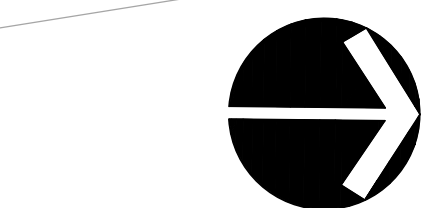
JOB NO.	WK. ORDER	DESIGNED:	DRAWN:	SCALE:	DATE:
14019	9879	B. SLAYDEN	T. GARDNER	1"=30'	SEPTEMBER 8, 2014

SITE LAYOUT PLAN

C2.1

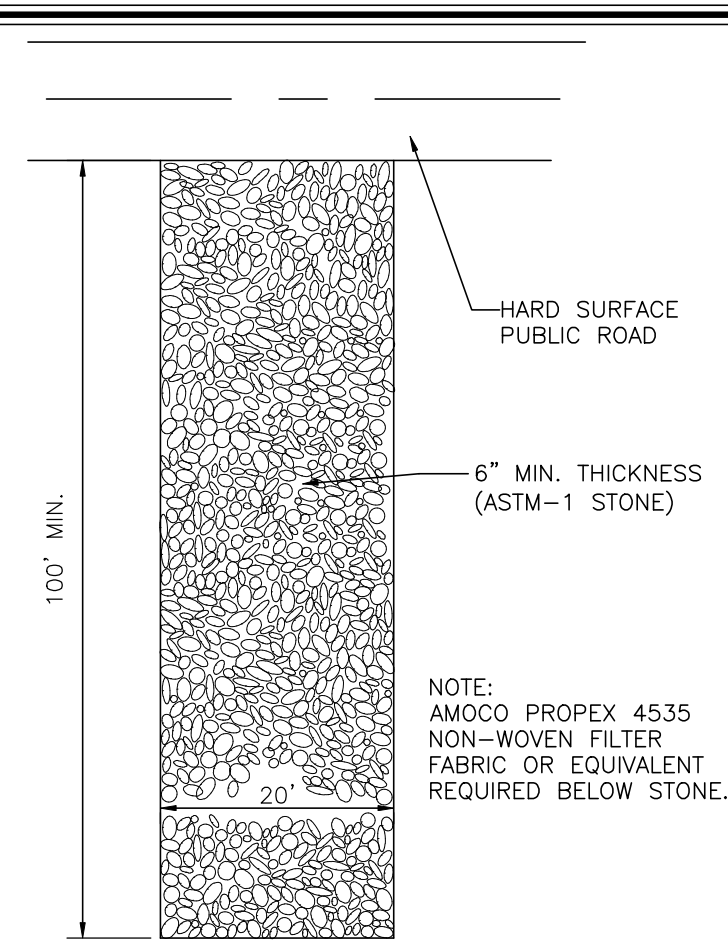
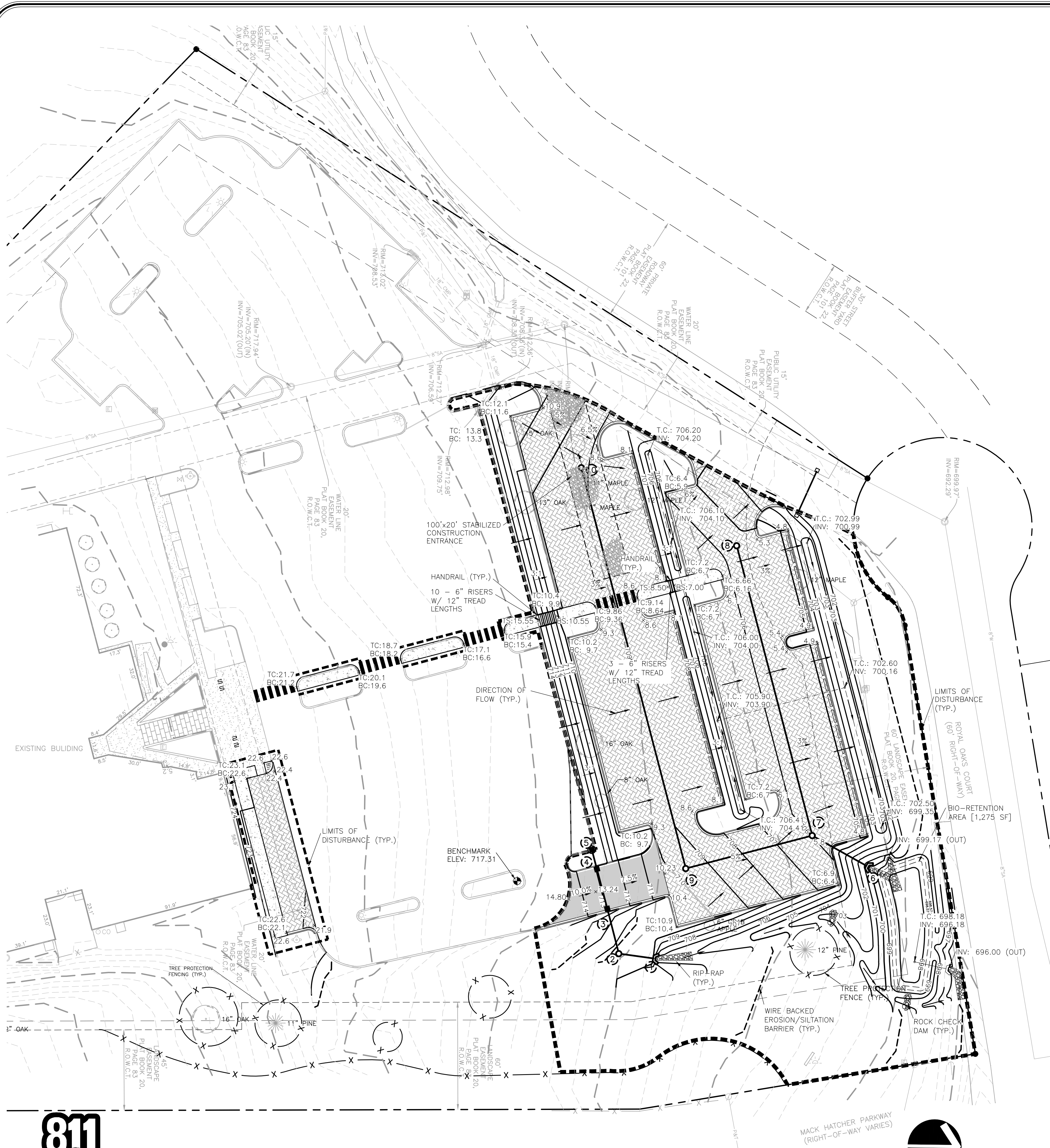


Know what's **below**.
— **Call** before you dig.

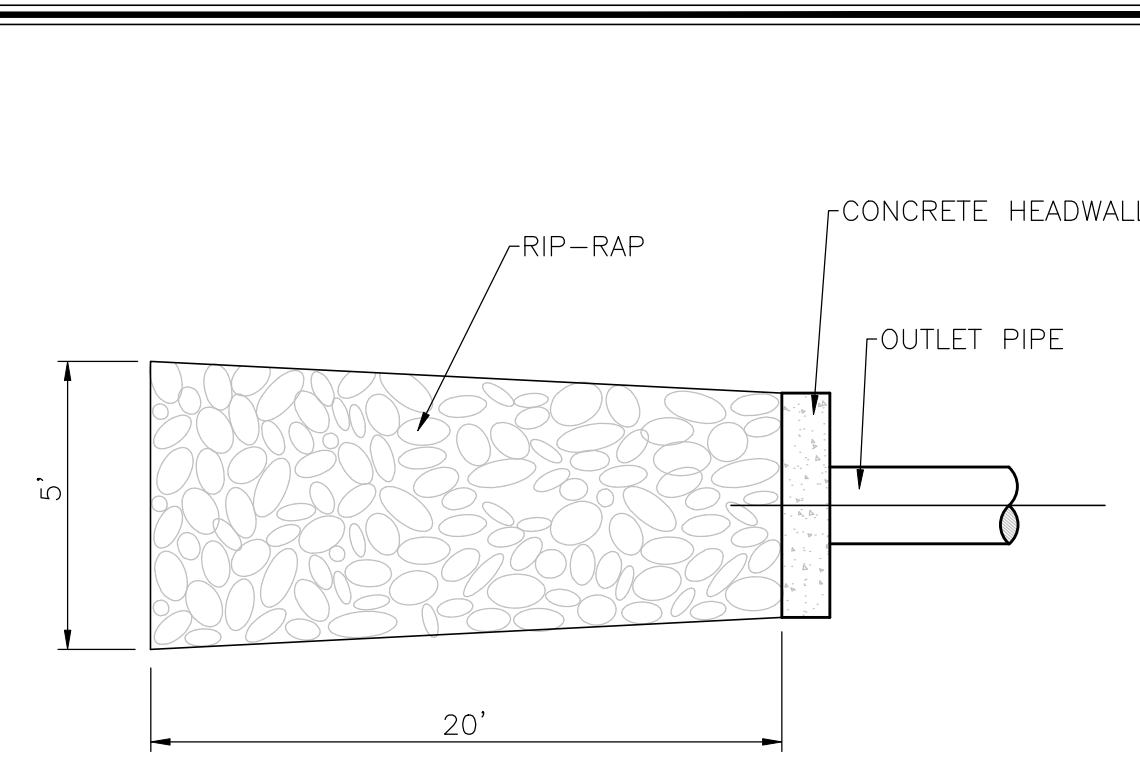


COF PROJECT #4658

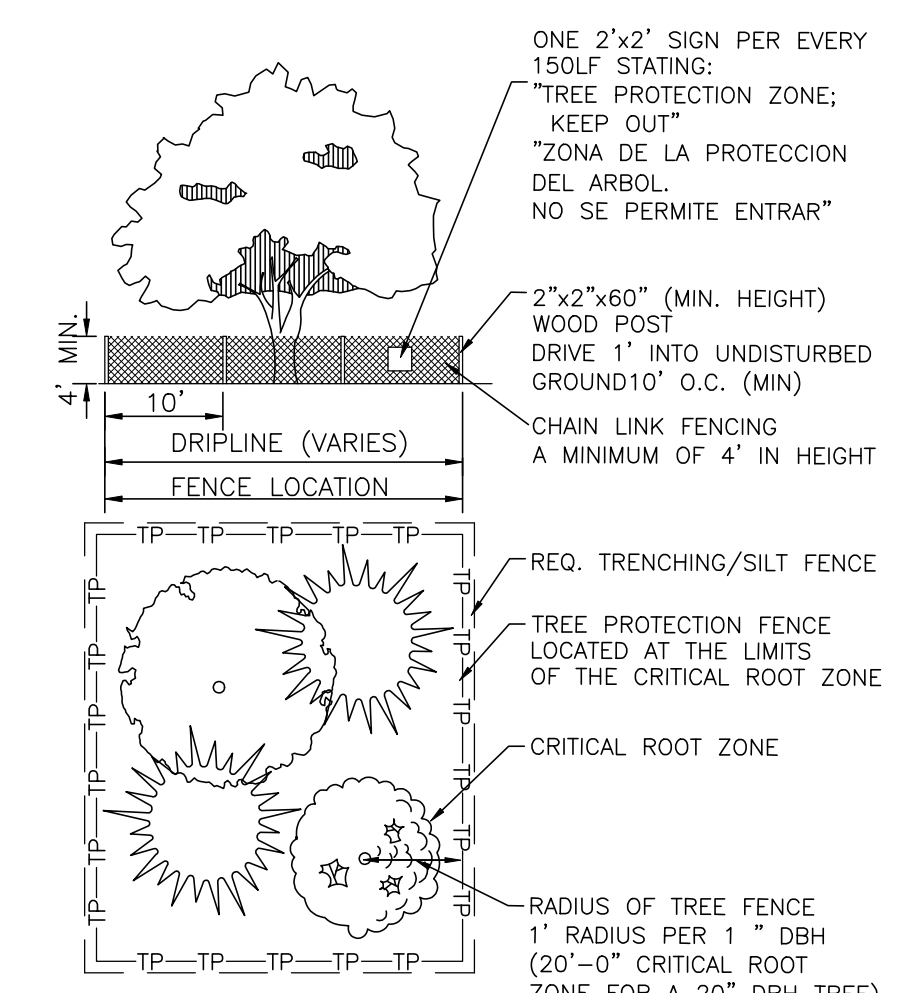
TENNESSEE STATE PLANE COORDINATE SYSTEM, ZONE 5301, FIPSZONE 4100; NAD 83 DATUM



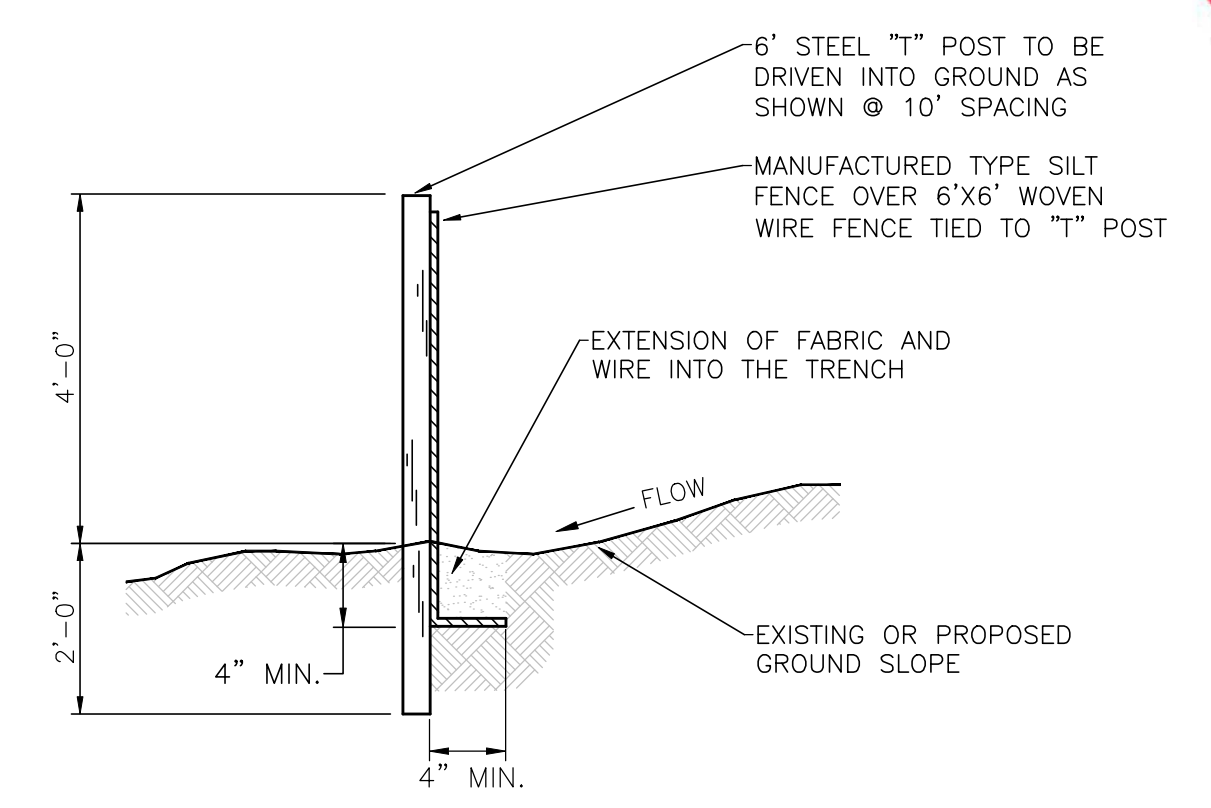
GRAVEL CONSTRUCTION ENTRANCE
NOT TO SCALE



RIP-RAP DETAIL
NOT TO SCALE



TREE PROTECTION
NOT TO SCALE



EROSION/SILTATION FENCE
NOT TO SCALE

SITE AREAS:

LOT SIZE:	8.00 AC. (348,482 S.F.)
DISTURBED AREA:	1.75 AC. (76,164 S.F.)
EXISTING IMPERVIOUS AREA:	3.72 AC. (162,057 S.F.)
PROPOSED IMPERVIOUS AREA:	0.77 AC. (33,540 S.F.)
TOTAL IMPERVIOUS AREA:	4.49 AC. (195,597 S.F.)

TREE CUT NOTE:
A TREE CUT PERMIT SHALL BE OBTAINED PRIOR TO REMOVAL OF SITE TREES.

TREE PROTECTION NOTE:
ALL TREE-PROTECTION FENCING SHALL BE IN PLACE PRIOR TO THE ISSUANCE OF A GRADING PERMIT AND SHALL BE MAINTAINED IN GOOD WORKING ORDER UNTIL ALL CONSTRUCTION ACTIVITY IS COMPLETED. ANY REQUIRED EROSION CONTROL MEASURES SHALL BE PLACED OUTSIDE OF ANY TREE PROTECTION FENCING.

LOCATION AND PROTECTION OF EXISTING UTILITIES:
CONTRACTOR SHALL LOCATE, PROTECT AND BE RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING UTILITIES.

PIPE TABLE

LINE	SIZE/TYPE	LENGTH	SLOPE
2-1	15" RCP	20'	1.00%
3-2	15" RCP	26'	4.76%
4-3	15" RCP	23'	5.28%
5-4	15" RCP	11'	4.55%
6-7	8" HDPE	35'	0.50%
7-8	8" HDPE	167'	1.95%
7-9	8" HDPE	73'	6.46%
9-10	8" HDPE	231'	1.00%

DRAINAGE STRUCTURE SCHEDULE

NO.	TYPE*	CASTING	RIM	INVERTS
1	HEADWALL	---	---	706.60 (2)
2	JUNCTION BOX	1110	710.50	706.80 (1) 707.00 (3)
3	SINGLE CURB INLET	3300	712.28	708.23 (2) 708.23 (4)
4	SINGLE CURB INLET	3300	713.09	709.44 (3) 709.44 (5)
5	SINGLE CURB INLET	3300	713.45	709.95 (4)
6	HEADWALL	---	701.21	700.00 (7)
7	CLEAN OUT	---	705.98	700.18 (8) 700.18 (6) 700.18 (9)
8	CLEAN OUT	---	704.47	703.44 (7)
9	CLEAN OUT	---	709.79	704.89 (10) 704.89 (7)
10	CLEAN OUT	---	709.35	707.21 (9)



TENNESSEE STATE PLANE COORDINATE SYSTEM, ZONE 5301, FIPSZONE 4100; NAD 83 DATUM

RAGAN-SMITH
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P.O. BOX 6000
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www.ragan-smith.com

FORREST CROSSING, SITE PLAN - YMCA
PARKING ADDITION
FOR
YMCA OF MIDDLE TENNESSEE
CITY OF FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

GRADING, DRAINAGE & EROSION CONTROL PLAN

C4.1

10-02-14 T. GARDNER
PER CITY COMMENTS

REVISIONS

NO.	DATE	DESCRIPTION
1	SEPTEMBER 8, 2014	

WK. ORDER
14019

DESIGNED:
B. SLAYDEN

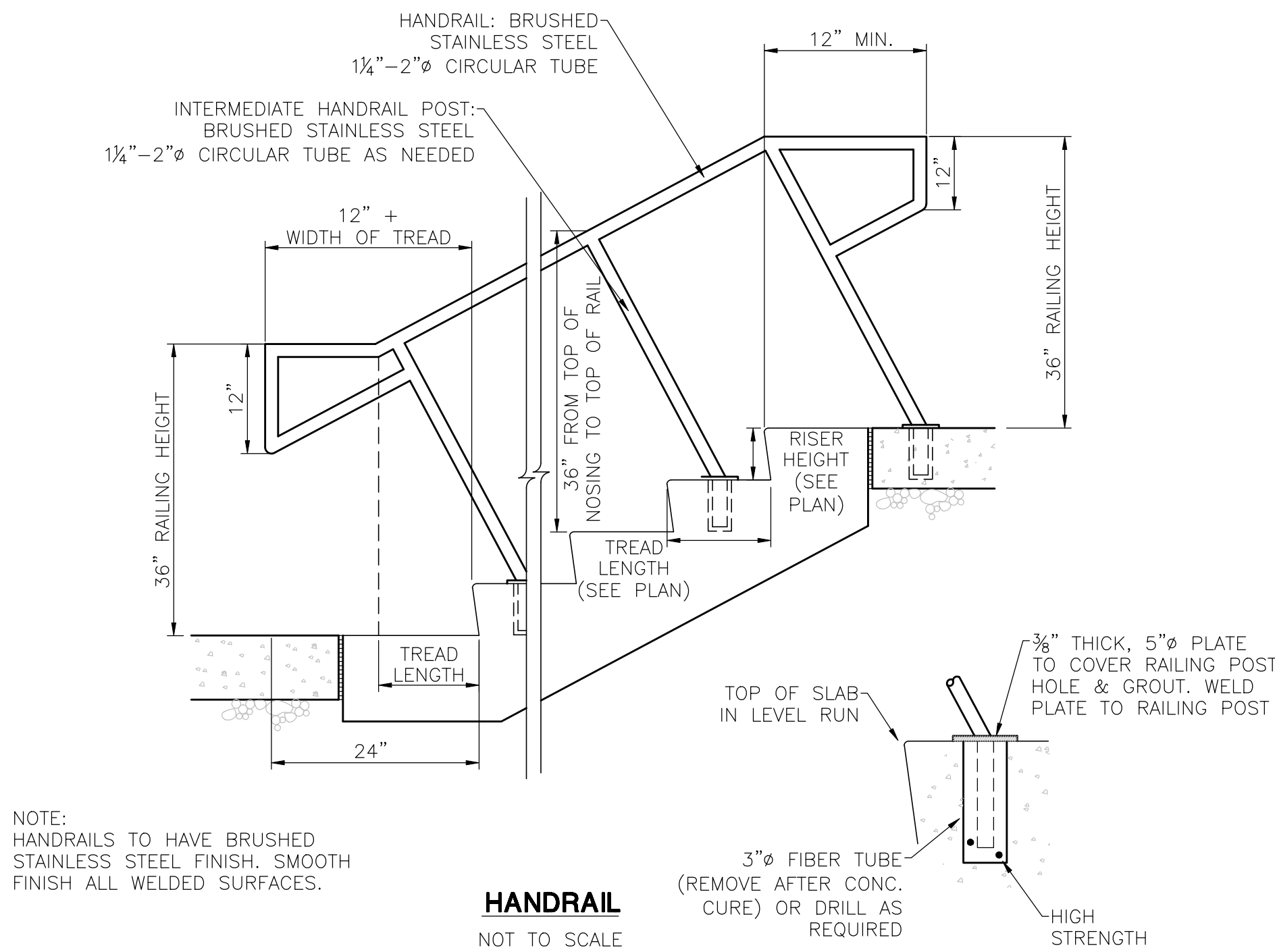
DRAWN:
T. GARDNER

SCALE:
1"=30'

DATE:
SEPTEMBER 8, 2014

811
Know what's below.
Call before you dig.

COF PROJECT #4658

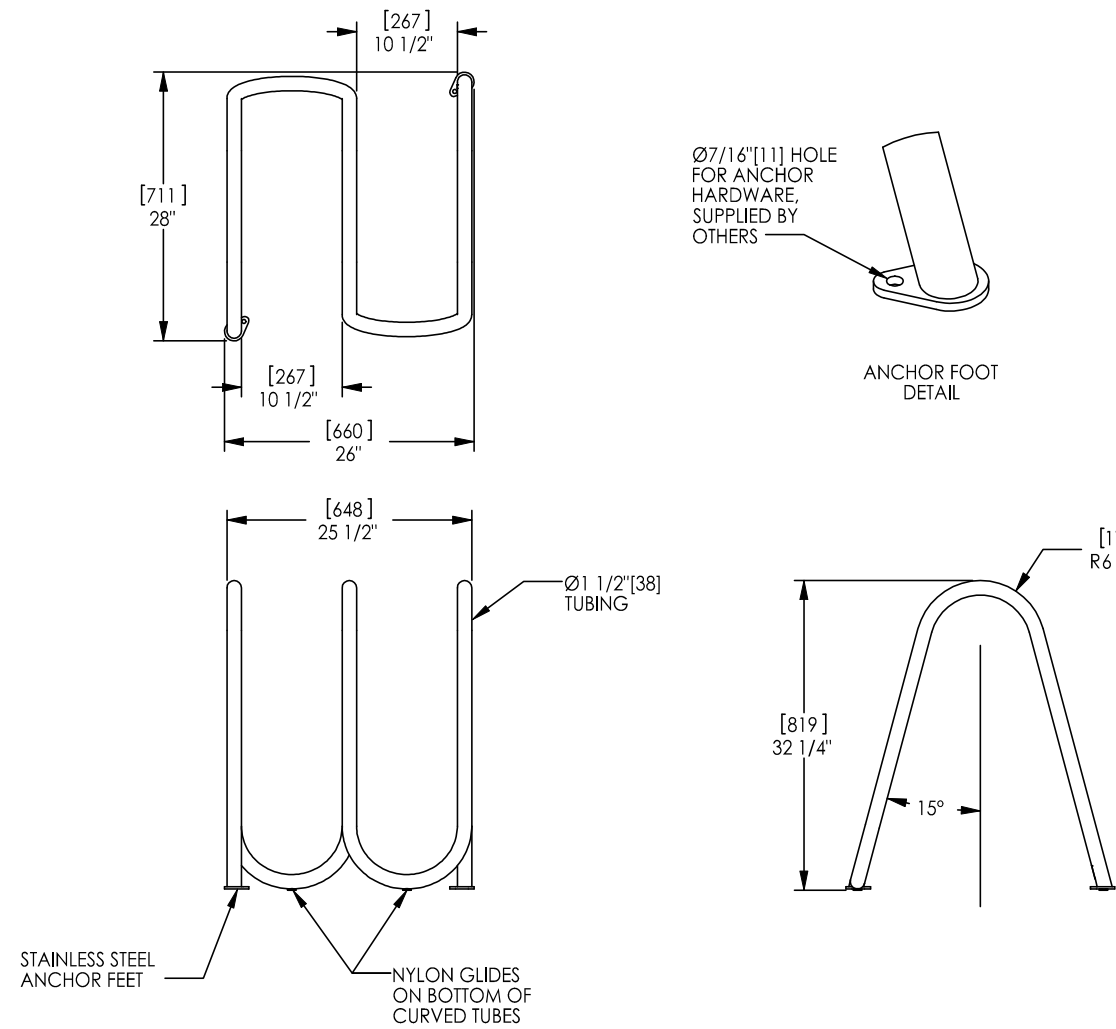


HANDRAIL
NOT TO SCALE

Flo

Like Rack, Surface Mount

landscapeforms
www.landscapeforms.com Ph: 800.521.2546

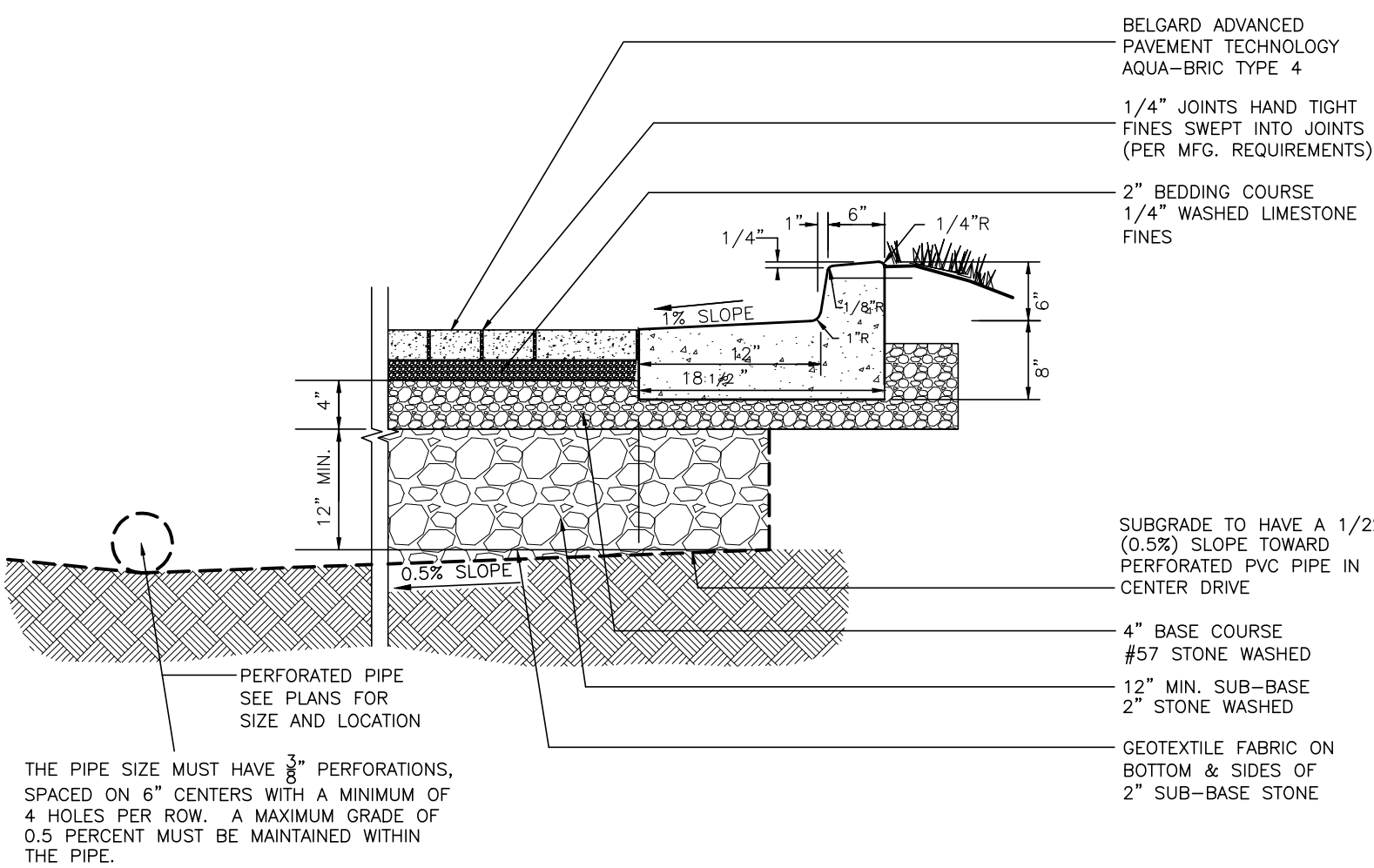


BICYCLE RACK

NOT TO SCALE
OR APPROVED EQUIVALENT

Drawing: FL662-02
Date: 5/26/2010
Dimensions are in inches (mm)
U.S. Patent No.: D529,433

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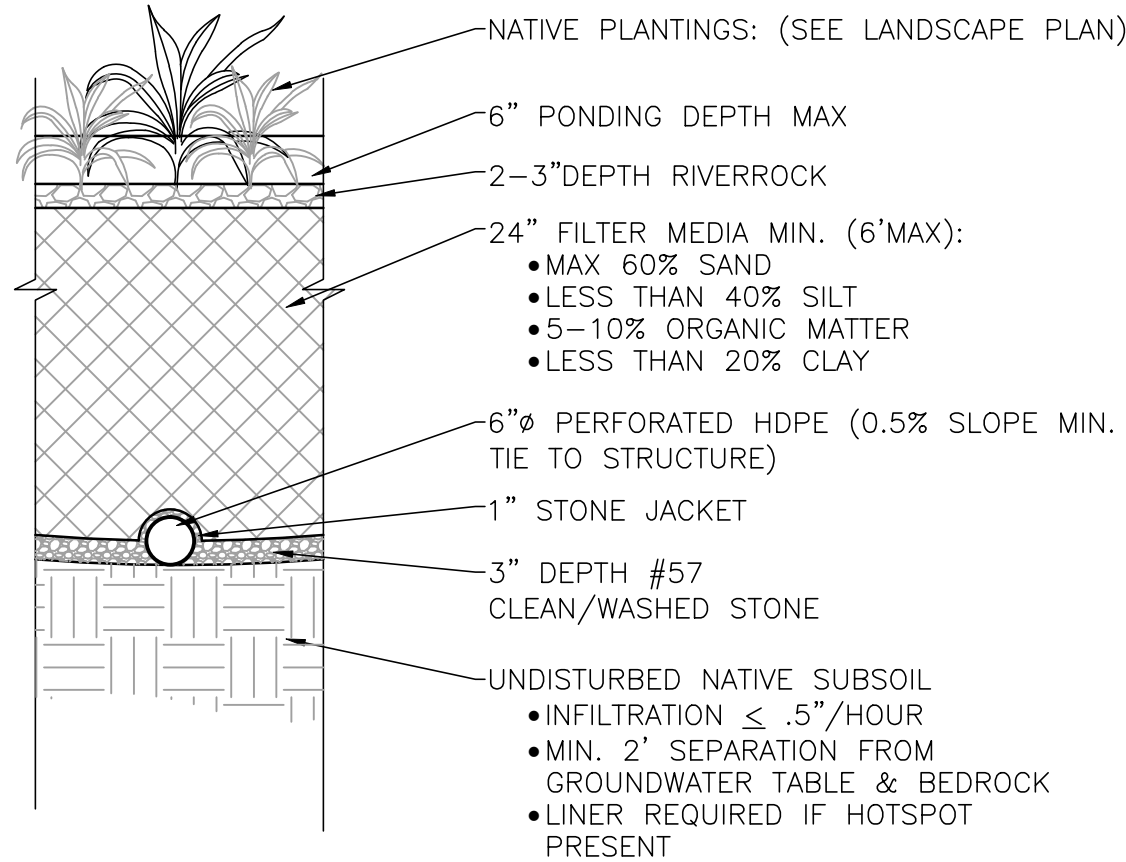


CURB AND GUTTER WITH PERMEABLE PAVERS (12" SECTION)

NOT TO SCALE

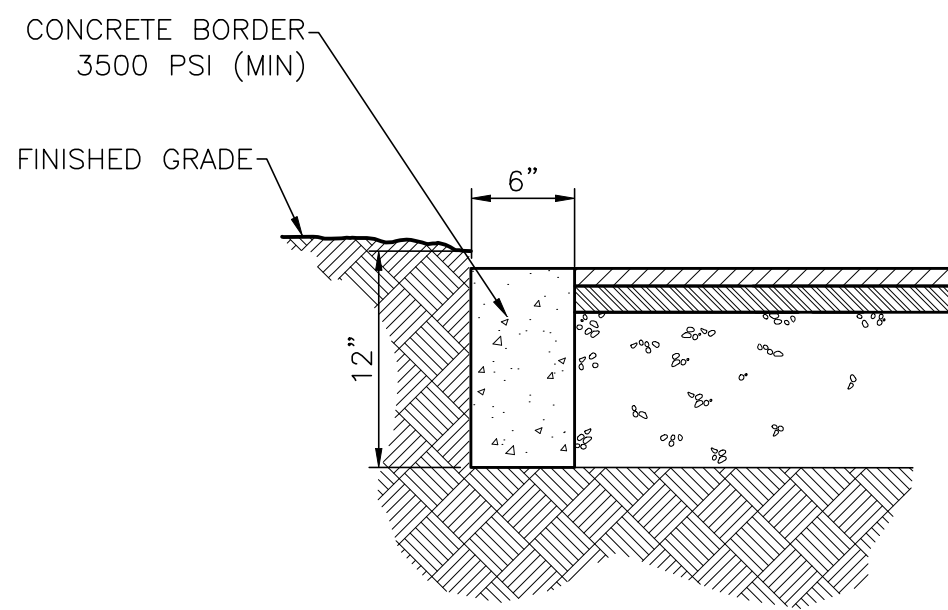
BIORETENTION AREA NOTES:

1. THE PLANTING SOIL BED MUST BE AT LEAST 3 FEET DEEP.
2. THE MAXIMUM PONDING DEPTH IN THE BIORETENTION IS 6 INCHES.
3. THE RIVER ROCK LAYER MUST CONSIST OF 2-3 INCHES OF COMMERCIALY AVAILABLE FINE SHREDDED HARDWOOD MULCH OR SHREDDED HARDWOOD CHIPS.
4. THE UNDERDRAIN COLLECTION SYSTEM MUST BE EQUIPPED WITH A 6-INCH PERFORATED PIPE IN AN 12-INCH GRAVEL LAYER. THE PIPE MUST HAVE 3/8-INCH PERFORATIONS, SPACED ON 6-INCH CENTERS WITH A MINIMUM OF 4 HOLES PER ROW. THE PIPE IS SPACED A MAXIMUM OF 10 FEET ON CENTER, AND A MINIMUM GRADE OF 0.5 PERCENT MUST BE MAINTAINED. A PERMEABLE FILTER FABRIC SHALL BE PLACED BETWEEN THE GRAVEL LAYER AND THE PLANTING SOIL BED.
5. THE AREA THAT WILL HOUSE BIORETENTION MUST NOT BE USED AS SEDIMENT CONTROL MEASURE DURING ACTIVE CONSTRUCTION.



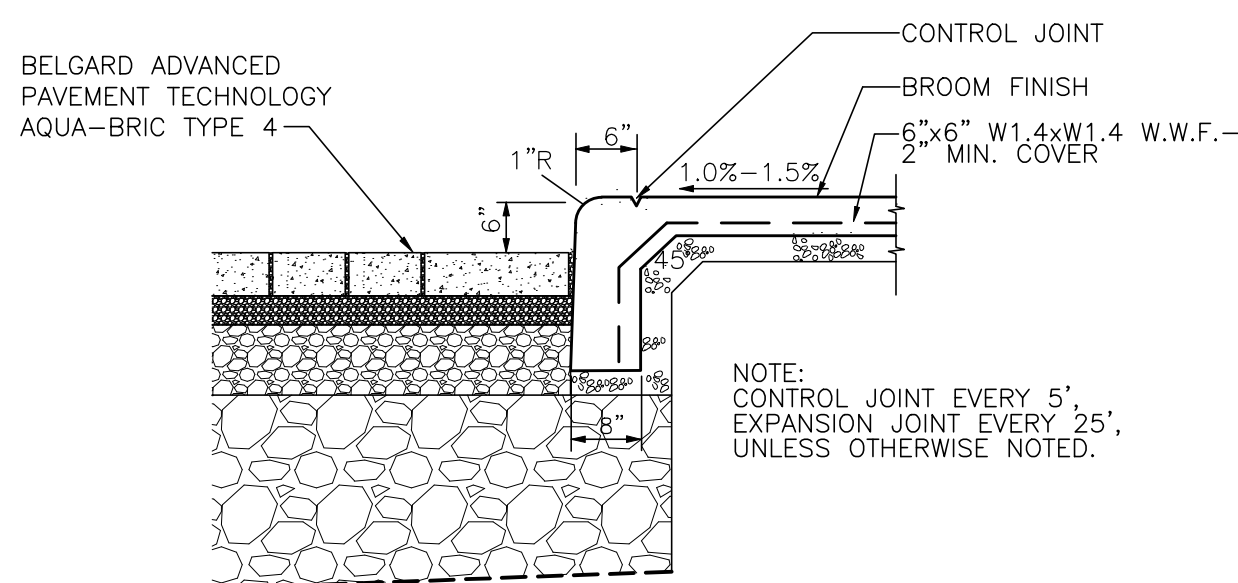
LEVEL 1 (RR:60) BIORETENTION W/ UNDERDRAIN

NOT TO SCALE



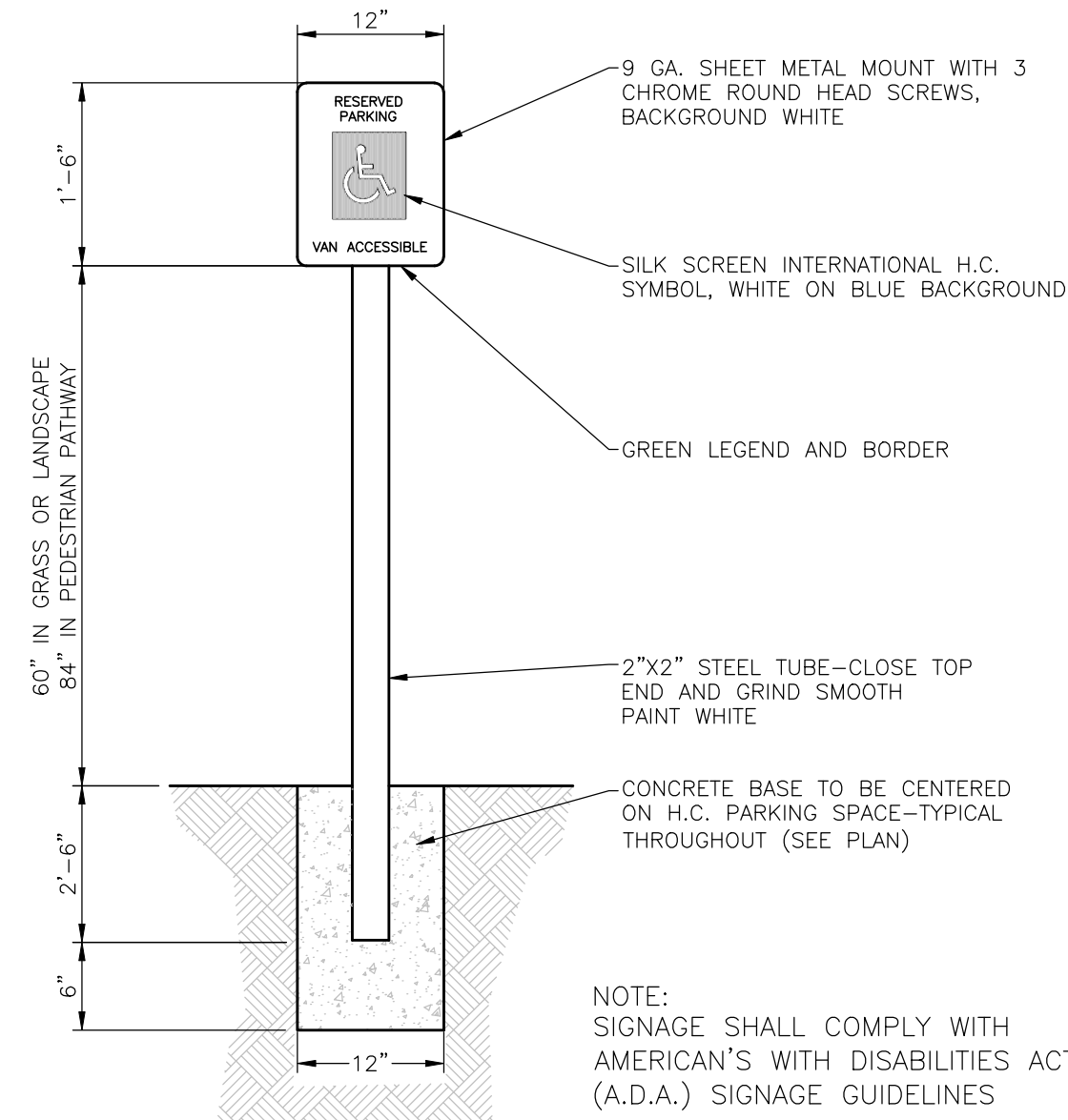
CONCRETE RIBBON CURB

NOT TO SCALE



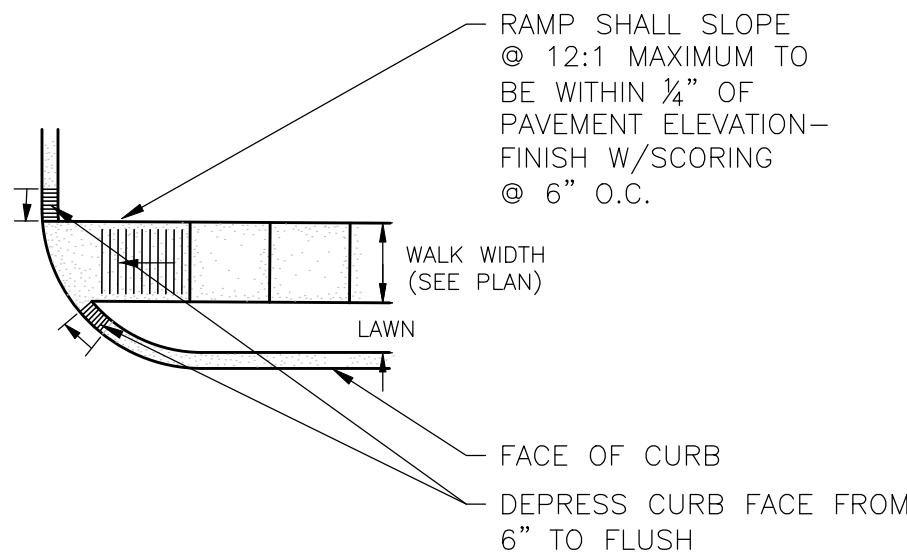
CONCRETE WALK & TURNDOWN CURB WITH PERMEABLE PAVERS

NOT TO SCALE



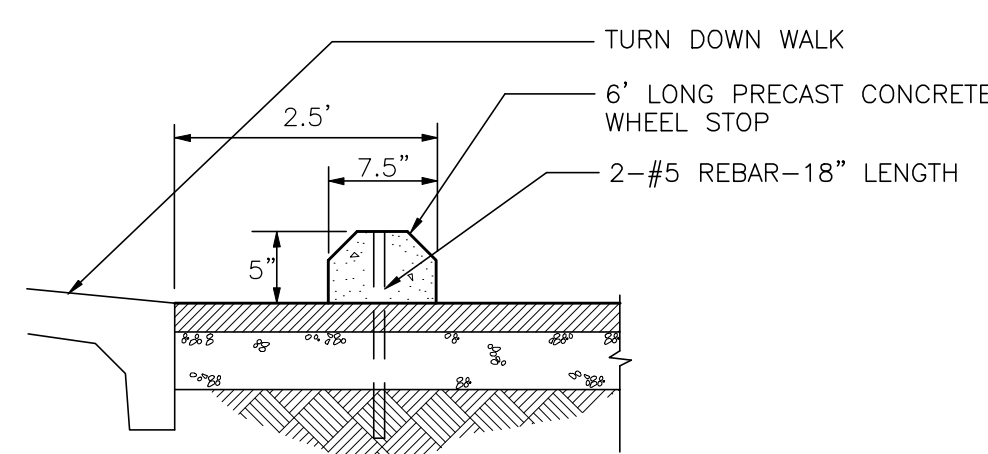
EXTERIOR ACCESSIBLE SIGN

NOT TO SCALE



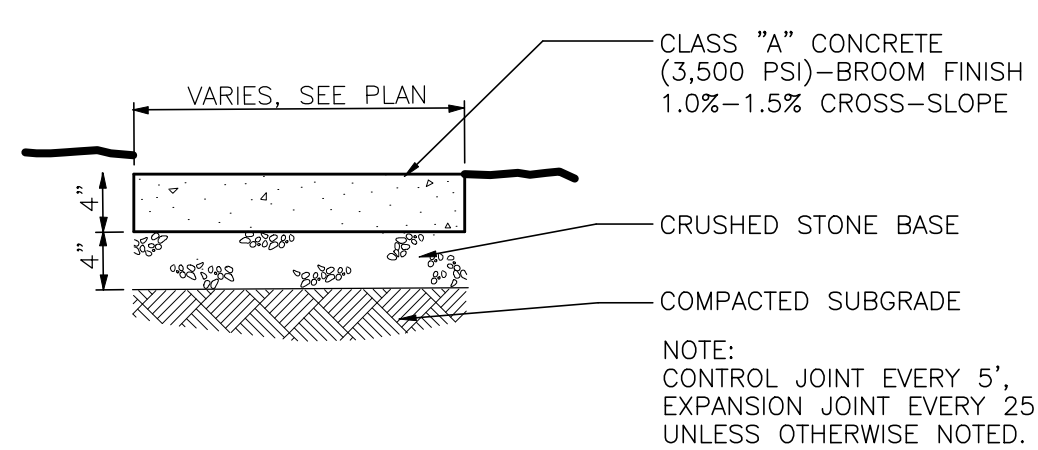
ACCESSIBLE RAMP

NOT TO SCALE



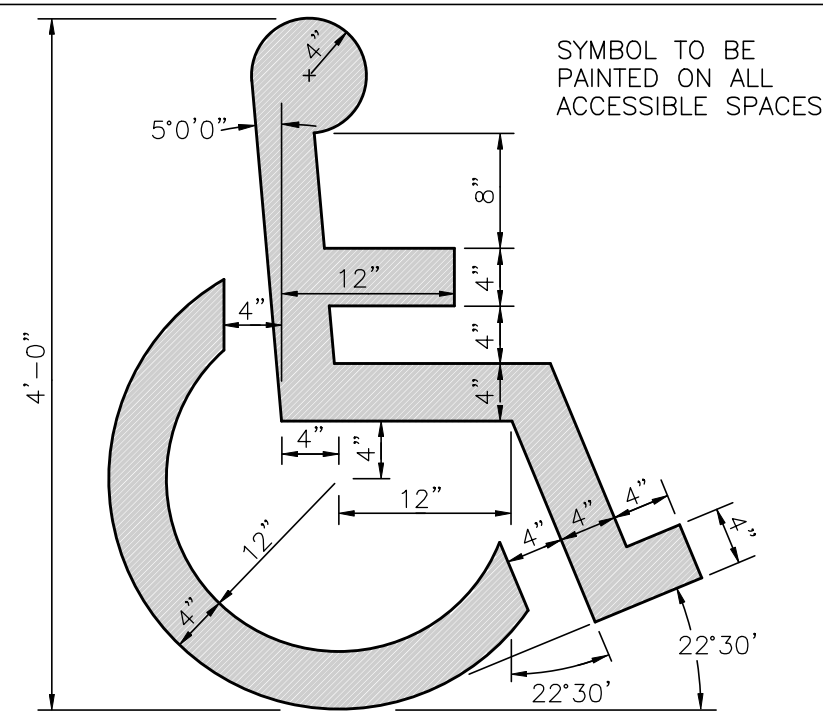
PRECAST CONCRETE WHEEL STOP

NOT TO SCALE



CONCRETE WALK

NOT TO SCALE



PAINTED ACCESSIBLE SYMBOL

NOT TO SCALE

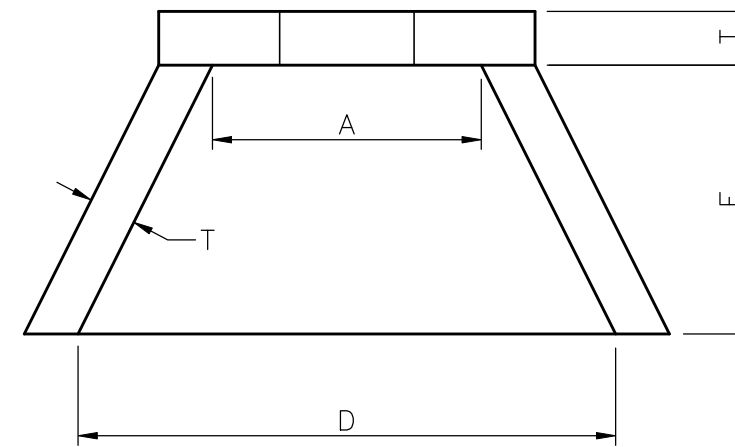
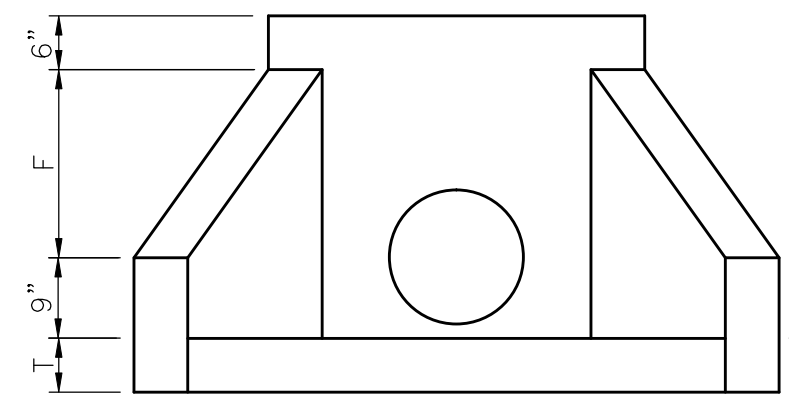


TABLE OF DIMENSIONS

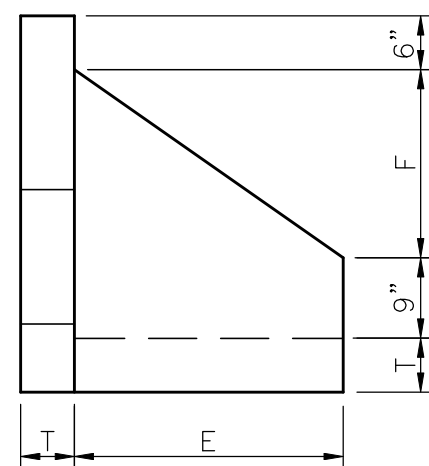
PIPE SIZES	A	D	E	F	T (MIN.)
15"	2'-6"	5'-0"	2'-6"	1'-9"	6"
18"	2'-6"	5'-0"	2'-6"	1'-9"	6"
21"	2'-6"	5'-0"	2'-6"	1'-9"	6"
24"	4'-0"	6'-6"	3'-0"	3'-3"	6"
30"	4'-0"	6'-6"	3'-0"	3'-3"	6"
36"	5'-6"	8'-0"	3'-6"	4'-5"	6"
42"	5'-6"	8'-0"	3'-6"	4'-5"	6"
48"	5'-6"	8'-0"	3'-6"	4'-5"	6"
54"	7'-0"	9'-5"	4'-6"	5'-9"	6"
60"	7'-0"	9'-5"	4'-6"	5'-9"	6"
66"	8'-6"	11'-0"	5'-6"	6'-11"	6"
72"	8'-6"	11'-0"	5'-6"	6'-11"	6"

CONCRETE: 4000 PSI AT 28 DAYS
REINFORCED WITH NO. 4 BARS 10"C.C.
EACH WAY WITH WINGS AND TOE SLAB
DOGWELLED TO HEADWALL WITH NO.5 BARS.

3/4" CHAMFER ON ALL EXPOSED EDGES



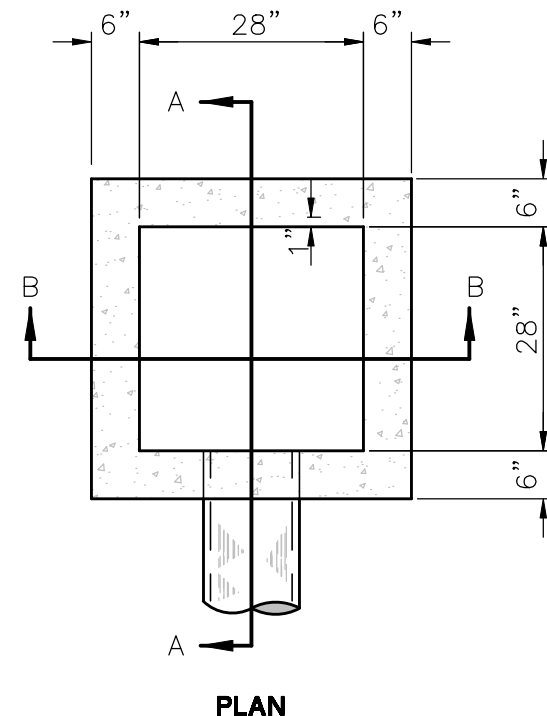
FRONT VIEW



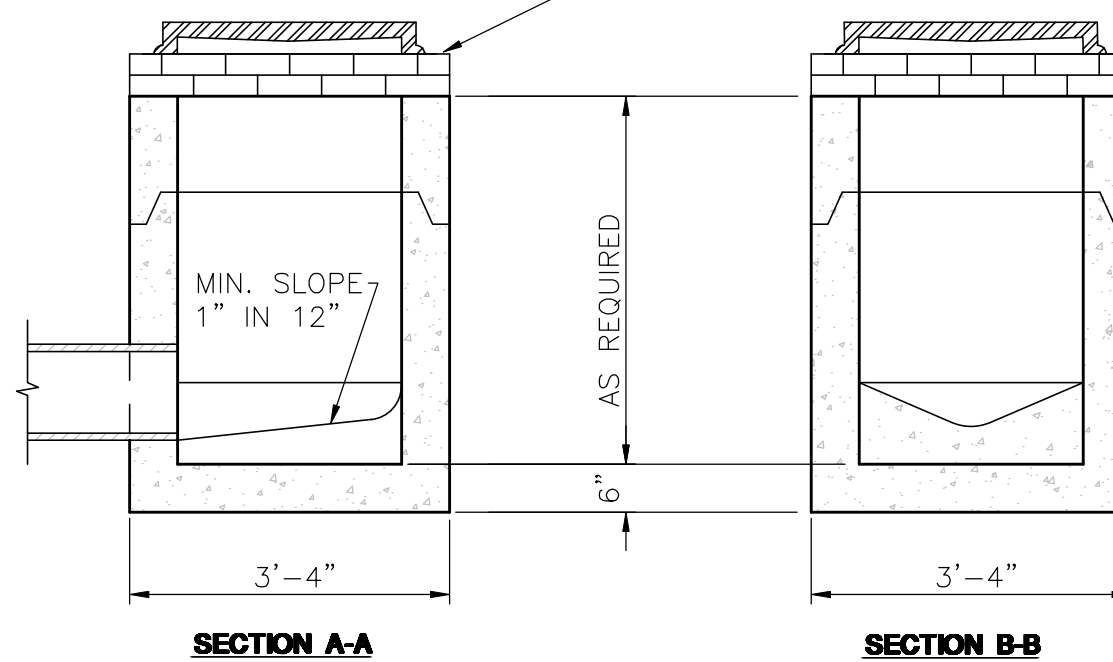
SIDE VIEW

CONCRETE HEADWALL

NOT TO SCALE



PLAN



SECTION A-A

SECTION B-B

SINGLE INLET (PRECAST)

NOT TO SCALE

COF PROJECT #4658

FORREST CROSSING, SITE PLAN - YMCA
PARKING ADDITION
FOR
YMCA OF MIDDLE TENNESSEE
CITY OF FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

RAGAN • SMITH
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CHATTANOOGA
1000 BROADWAY, SUITE 200
CHATTANOOGA, TN 37402
(615) 244-5591
www.ragan-smith.com



JOB NO.	WK. ORDER	DESIGNED BY	DRAWN BY	SCALE	DATE
14019	9879	B. SLAYDEN	T. GARDNER	AS SHOWN	SEPTEMBER 8, 2014
CONSTRUCTION DETAILS					
C5.1					

PLANT SCHEDULE MACK HATCHER STREET BUFFER							
CANOPY TREES	QTY	BOTANICAL NAME / COMMON NAME	TYPE	SIZE	HEIGHT	SPACING	REMARKS
CJ	4	CRYPTOMERIA JAPONICA / JAPANESE CEDAR	2" CAL	6'-8' HT.	EVERGREEN	AS SHOWN	B&B, FULL TO BASE
LS	3	LIQUIDAMBAR ROTUNDIFOLIA / SWEET GUM	3" CAL	14'-16'	DECIDUOUS	AS SHOWN	B&B, 6' CLEAR TRUNK
PW	5	PINUS ALBA / WHITE PINE	2" CAL	6'-8' HT.	EVERGREEN	AS SHOWN	B&B, 6' CLEAR TRUNK

PLANT SCHEDULE SITE PLANTINGS							
CANOPY TREES	QTY	BOTANICAL NAME / COMMON NAME	TYPE	SIZE	HEIGHT	SPACING	REMARKS
CJ	3	CRYPTOMERIA JAPONICA / JAPANESE CEDAR	2" CAL	6'-8' HT.	EVERGREEN	AS SHOWN	B&B, FULL TO BASE
OP	5	QUERCUS PHELLOS / WILLOW OAK	3" CAL	14-16'	DECIDUOUS	AS SHOWN	B&B, 6' CLEAR TRUNK
UE	5	ULMUS PARVIFOLIA 'EMER II' / 'EMER II' ALLEE ELM	3" CAL	14-16'	DECIDUOUS	AS SHOWN	B&B, 6' CLEAR TRUNK
ZS	10	ZELKOVA SERRATA / SAWLEAF ZELKOVA	3" CAL	14-16'	DECIDUOUS	AS SHOWN	B&B, 6' CLEAR TRUNK

UNDERSTORY TREES								
CC	QTY	BOTANICAL NAME / COMMON NAME		TYPE	SIZE	HEIGHT	SPACING	REMARKS
CC	2	CERCIS CANADENSIS / EASTERN REDBUD		1.5" CAL	7-8'	DECIDUOUS	AS SHOWN	B&B
CP	5	CRATAEGUS PHAENOPYRUM / WASHINGTON HAWTHORN		2" CAL	8-10'	DECIDUOUS	AS SHOWN	B&B, SPECIMEN
MS	6	MAGNOLIA X SOULANGIANA / SAUCER MAGNOLIA		2" CAL	8-10'	DECIDUOUS	AS SHOWN	B&B OR CONTAINER, FULL, WELL-MATCHED
TE	2	THUJA OCCIDENTALIS 'EMERALD' / EMERALD ARBORVITAE		1.5" CAL	6-8'	EVERGREEN	AS SHOWN	B&B OR CONTAINER, FULL, WELL-MATCHED

SHRUBS	QTY	BOTANICAL NAME / COMMON NAME		TYPE	SIZE/HT	SPREAD	SPACING	REMARKS
BG	60	BUXUS X 'GREEN VELVET' / BOXWOOD		EVERGREEN	18" HT	16"	24" O.C.	B&B OR CONTAINER, FULL
IB	47	ILEX CORNUTA 'BURFORDII NANA' / DWARF BURFORD HOLLY		EVERGREEN	24"	18"	36" O.C.	B&B OR CONTAINER, FULL
JO	17	JUNIPERUS VIRGINIANA 'GREY OWL' / EASTERN REDCEDAR		EVERGREEN	30"	24"	4' O.C.	B&B OR CONTAINER, FULL
PO	82	PRUNUS LAUROCERASUS 'OTTO LUYKEN' / LUYKENS LAUREL		EVERGREEN	24"	24"	36" O.C.	B&B OR CONTAINER, FULL
TD	61	TAXUS X MEDIA 'DENSIFORMIS' / DENSE YEW		EVERGREEN	24"	24"	48" O.C.	B&B OR CONTAINER, FULL

PLANT SCHEDULE BIO-RETENTION AREA 1							
UNDERSTORY TREES	QTY	BOTANICAL NAME / COMMON NAME	TYPE	SIZE	HEIGHT	SPACING	REMARKS
CC	3	CERCIS CANADENSIS / EASTERN REDBUD	1.5" CAL	7-8'	DECIDUOUS	AS SHOWN	B&B

GRASSES	QTY	BOTANICAL NAME / COMMON NAME	TYPE	SIZE/HT	SPREAD	SPACING	REMARKS
CM	100	CAREX MUSKINGUMENSIS / PALM SEDGE	PERENNIAL	1 GAL		24"O.C.	
JE	114	JUNCUS EFFUSUS / SOFT RUSH	PERENNIAL	1 GAL		24"O.C.	
MC	46	MUhlenbergia capillaris / PINK MUHLY	PERENNIAL	1 GAL		24"O.C.	

GROUND COVERS							
	QTY	BOTANICAL NAME / COMMON NAME	CONT	TYPE	SPREAD	SPACING	REMARKS
CG	106 SF	CONOCLINIUM GREGGII 'BOOTHILL' TM / GREGG'S MISTFLOWER	1 GAL	PERENNIAL		18"O.C.	
SW	117 SF	SOLIDAGO RUGOSA / WRINKLELEAF GOLDENROD	1 GAL	PERENNIAL		18"O.C.	

PLANT SCHEDULE BIO-RETENTION AREA 2							
UNDERSTORY TREES	QTY	BOTANICAL NAME / COMMON NAME	TYPE	SIZE	HEIGHT	SPACING	REMARKS
CC	2	CERCIS CANADENSIS / EASTERN REDBUD	1.5" CAL	7-8'	DECIDUOUS	AS SHOWN	B&B

GRASSES								
CM	QTY	BOTANICAL NAME / COMMON NAME		TYPE	SIZE/HT	SPREAD	SPACING	REMARKS
CM	59	CAREX MUSKINGUMENSIS / PALM SEDGE		PERENNIAL	1 GAL		24" O.C.	
JE	166	JUNCUS EFFUSUS / SOFT RUSH		PERENNIAL	1 GAL		24" O.C.	
MC	57	MUHLENBERGIA CAPILLARIS / PINK MUHLY		PERENNIAL	1 GAL		24" O.C.	

GROUND COVERS		QTY	BOTANICAL NAME / COMMON NAME	CONT	TYPE	SPREAD	SPACING	REMARKS
CG	96 SF	CONOCLINIUM GREGGII 'BOOTHILL' TM / GREGG'S MISTFLOWER		1 GAL	PERENNIAL		18" O.C.	
SW	131 SF	SOLIDAGO RUGOSA / WRINKLELEAF GOLDENROD		1 GAL	PERENNIAL		18" O.C.	

PLANT SCHEDULE BIO-RETENTION AREA 3							
UNDERSTORY TREES	QTY	BOTANICAL NAME / COMMON NAME	TYPE	SIZE	HEIGHT	SPACING	REMARKS
CC	2	CERCIS CANADENSIS / EASTERN REDBUD	1.5" CAL	7-8'	DECIDUOUS	AS SHOWN	B&B

GRASSES								
CM	QTY	BOTANICAL NAME / COMMON NAME		TYPE	SIZE/HT	SPREAD	SPACING	REMARKS
CM	79	CAREX MUSKINGUMENSIS / PALM SEDGE		PERENNIAL	1 GAL		24" O.C.	
JE	25	JUNCUS EFFUSUS / SOFT RUSH		PERENNIAL	1 GAL		24" O.C.	
MC	62	MUHLENBERGIA CAPILLARIS / PINK MUHLY		PERENNIAL	1 GAL		24" O.C.	

GROUND COVERS		QTY	BOTANICAL NAME / COMMON NAME	CONT	TYPE	SPREAD	SPACING	REMARKS
AV	309 SF		ASCLEPIAS VERTICILLATA / WHORLED MILKWEED	1 GAL	PERENNIAL		18" O.C.	
AE	347 SF		ASTER NOVAE-ANGLIAE / NEW ENGLAND ASTER	1 GAL	PERENNIAL		24" O.C.	
CG	104 SF		CONOCLINIUM GREGGII 'BOOTHILL' TM / GREGG'S MISTFLOWER	1 GAL	PERENNIAL		18" O.C.	
SW	65 SF		SOLIDAGO RUGOSA / WRINKLELEAF GOLDENROD	1 GAL	PERENNIAL		18" O.C.	

ATTENTION OWNER/INSTALLER:

THIS LANDSCAPE PLAN HAS BEEN DESIGNED TO MEET THE MINIMUM REQUIREMENTS OF THE CITY OF FRANKLIN ZONING ORDINANCE, THE APPROVAL OF THE PLANNING COMMISSION, AND PLANNING DEPARTMENT POLICY. RELOCATING, SUBSTITUTING, RESIZING, REDUCING, OR DELETING MATERIAL MAY CAUSE THE SITE TO NO LONGER CONFORM TO THE REQUIREMENTS; THUS, PROBLEMS MAY ARISE WITH RELEASING THE PERFORMANCE/MAINTENANCE SURETY FOR THE LANDSCAPE MATERIAL. **DEVIATION FROM THE APPROVED LANDSCAPE PLAN SHALL NOT BE MADE WITHOUT FIRST CONSULTING THE LANDSCAPE ARCHITECT WHO DESIGNED THE PROJECT. THE DESIGNING LANDSCAPE ARCHITECT SHALL REVIEW PROPOSED SUBSTITUTIONS TO ENSURE THAT ALL CITY STANDARDS AND REQUIREMENTS ARE MET. THE CITY SHALL BE NOTIFIED IN WRITING UPON FINAL APPROVAL OF ANY PLANT SUBSTITUTIONS.**

OWNER: MR. MARCO PETERS (615) 591-0322
CONTACT NAME PHONE NUMBER
LANDSCAPE ARCHITECT: BRETT SMITH (615) 244-8591
CONTACT NAME PHONE NUMBER
FRANKLIN PLANNING DEPARTMENT: (615) 791-3212 PHONE
(615) 791-3257 FAX

ALL TREE STAKES AND GUYS SHALL BE REGULARLY MONITORED TO ENSURE THERE ARE NO DETRIMENTAL EFFECTS TO THE TREE. ALL TREE STAKES AND GUYS SHALL BE REMOVED NO LATER THAN ONE GROWING SEASON AFTER PLANTING.

FOR MATERIAL PLANTED IN A REQUIRED BUFFER, ALL MATERIALS SHALL BE FROM THE FRANKLIN PLANT LIST. ADDITIONALLY, ALL SPECIFICATIONS FOR THE MEASUREMENT, QUALITY, AND INSTALLATION OF TREES AND SHRUBS SHALL BE IN ACCORDANCE WITH THE "AMERICAN STANDARDS FOR NURSERY STOCK" PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, CURRENT EDITION.

AFTER INSTALLATION, THE LANDSCAPING WILL BE MAINTAINED BY: YMCA OF MIDDLE TENNESSEE
OWNER

LANDSCAPING DATA

SITE ACREAGE: 8.000 AC.
DISTURBED AREA: 1.748 AC.
SITE ZONING CLASSIFICATION AND APPLICABLE OVERLAYS: RX
DEVELOPMENT STANDARDS: CONVENTIONAL
MINIMUM REQUIRED LANDSCAPE SURFACE AREA (RATIO AND ACREAGE): 0.10 (0.800 AC.)
PROVIDED LANDSCAPE SURFACE AREA (RATIO AND ACREAGE): 0.44 (3.509 AC.)
PERCENT AND ACREAGE OF ORIGINAL CANOPY COVER: 15.00% (1,200 AC.)
PERCENT AND ACREAGE TREE COVER REQUIRED: 8.10% (0.648 AC.) [54%x15.00%]
PERCENT AND ACREAGE OF PRESERVED CANOPY COVER PROVIDED: 14.00% (1,120 AC.)
NUMBER AND DBH OF SPECIMEN TREES REMOVED: 0
BUILDING HEIGHT: EXISTING

MACK HATCHER STREET BUFFER LINEAR FEET: 106 L.F.

LANDSCAPE REQUIREMENTS:(ACI)				
	Quantity Provided			Inches Provided
	Existing Trees	Proposed	Total	Caliper Inches
Existing Trees=14"+:	0	0	0	0
Existing Trees(See Tree Inventory):	0	0	0	0
3" caliper canopy trees:	0	3	3	9
2" caliper canopy trees:	0	9	9	18
Aggregate Canopy Caliper Inches Provided:				27
Aggregate Canopy Caliper Inches Required:				26
% Evergreen Provided:				67%
% Evergreen Required:				≥ 50%

RESIDENTIAL VARIETY - CONVENTIONAL DISTURBED AREA: 1.748 ACRES

LANDSCAPE REQUIREMENTS:(ACI)				
	Quantity Provided			Inches Provided
	Existing Trees	Proposed	Total	Caliper Inches
Existing Trees=14"+:	2	0	2 @ 1.25	40
Existing Trees(See Tree Inventory):	14	0	14	110
3" caliper canopy trees:	0	20	20	60
Aggregate Canopy Caliper Inches Provided:				210
Aggregate Canopy Caliper Inches Required:				144
2" caliper understory trees:	0	11	11	22
1.5" caliper understory trees:	0	10	10	15
Aggregate Understory Caliper Inches Provided:				37
Aggregate Understory Caliper Inches Required:				37
Min. 18" Height Shrubs:				59
Min. 24" + Height Shrubs:				198
Total Shrubs Provided:				257
Total Shrubs Required:				168

TENNESSEE STATE PLANE COORDINATE SYSTEM, ZONE 5301, FIPSZONE 4100; NAD 83 DATUM

EX. TREE INVENTORY

DEMO / CREDIT	TREE ID	DBH / NAME	CREDIT
	1475	8" CHERRY	8"
	1476	8" CHERRY	8"
	1477	8" CHERRY	8"
	1478	8" CHERRY	8"
	1479	8" CHERRY	8"
	1701	8" PINE	8"
	1703	10" PINE	10"
	1704	9" PINE	9"
	1698	12" OAK	12"
	1521	16" OAK	20"
	1523	11" PINE	11"
	1910	6" CRAB APPLE	6"
	1914	12" PINE	12"
	1935	8" OAK	8"
	1938	16" OAK	20"
	1967	12" MAPLE	12"
	1925	12" MAPLE	12"
	1951	11" MAPLE	11"
	1940	10" MAPLE	10"
	1947	13" OAK	13"
	1953	15" OAK	15"

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CITY OF FRANKLIN LANDSCAPE NOTES:

1. ANY PLANT MATERIAL THAT DIES, TURNS BROWN OR DEFOOLIATES SHALL BE REPLACED WITHIN ONE YEAR OR BY THE NEXT GROWING SEASON, WHICH EVER COMES FIRST. OTHER DEFECTIVE LANDSCAPE MATERIAL SHALL BE REPLACED WITHIN THREE MONTHS.
2. ALL TREES SHALL MEET FRANKLIN'S MINIMUM SIZE AND QUALITY STANDARDS. ALL PLANTS SHALL BE HEALTHY, VIGOROUS MATERIAL, FREE OF PEST AND DISEASE. ALL ROOTBALLS, CONTAINERS AND HEIGHT TO WIDTH RATIOS SHALL CONFORM TO THE SIZE STANDARDS SET FORTH IN THE AMERICAN STANDARDS FOR NURSERY STOCK, CURRENT EDITION.
3. ALL REQUIRED TREES AND SHRUB S SHALL MEET THE MINIMUM SIZE STANDARDS AS LISTED IN THE PLANT SCHEDULE.
4. PLANT MATERIAL SHALL NOT OBSCURE TRAFFIC OR PARKING SIGNS/SIGNALS OR VEHICULAR SIGHT LINES.
5. TREE TOPPING IS NOT PERMITTED.
6. ADDITIONAL SCREENING MAY BE REQUIRED IF THE INSPECTION FOR THE RELEASE OF THE PERFORMANCE SURETY REVEALS THAT THE REQUIRED SCREENING IS NOT EFFECTIVE.
7. ALL REQUIRED TREE PROTECTION FENCING SHALL BE INSTALLED AND INSPECTED BY THE CODES DEPARTMENT PRIOR TO LAND DISTURBING ACTIVITIES.
8. ANY SITE OR LANDSCAPING CHANGES (INCLUDING BUT NOT LIMITED TO A CHANGE IN DESIGN, A REDUCTION IN SIZE OR NUMBER OF PLANT MATERIAL, OR THE RELOCATION OF OVERHEAD OR UNDERGROUND UTILITIES) SHALL REQUIRE A REVISED LANDSCAPE PLAN TO BE SUBMITTED AND APPROVED PRIOR TO THE LANDSCAPE INSTALLATION.
9. EXISTING TREES ACCEPTED IN PARTIAL COMPLIANCE OF THE LANDSCAPE REQUIREMENTS FOR THIS SITE SHALL BE ACCESSIBLE AND FLAGGED PRIOR TO ALL LANDSCAPE INSPECTIONS.
10. ANY EXISTING TREE, SHOWN AS BEING PRESERVED ON APPROVED PLANS THAT IS REMOVED, DIES OR IS DAMAGED DURING CONSTRUCTION SHALL BE REPLAED AS REQUIRED IN THE ZONING ORDINANCE.
11. SCREENING PROPOSED AROUND ANY UTILITY BOX OR TRANSFORMER IS REQUIRED TO BE EVERGREEN AND ADEQUATELY SCREEN THE OBJECT. THE PROPOSED EVERGREEN PLANT MATERIAL SHALL BE REPLACED IF IT IS NOT OF A HEIGHT SUFFICIENT TO SCREEN THE OBJECT.
12. ALL PLANT MATERIAL SHALL BE FROM THE FRANKLIN PLANT LIST UNLESS PRIOR APPROVAL IS RECEIVED FROM THE CITY.
13. ALL TREE PROTECTION FENCING SHALL BE IN PLACE PRIOR TO THE ISSUANCE OF A GRADING PERMIT AND SHALL BE MAINTAINED IN GOOD WORKING ORDER UNTIL ALL CONSTRUCTION ACTIVITY IS COMPLETED. ANY REQUIRED EROSION CONTROL MEASURES SHALL BE PLACED OUTSIDE OF ANY TREE PROTECTION FENCING.
14. TOP SOIL USED IN ALL LANDSCAPE AREAS SHALL BE SCREENED PRIOR TO DEPOSITION IN PLANTING AREAS AND ISLANDS.
15. ANY PLANT MATERIAL LOCATED ADJACENT TO A PARKING ARA SHALL BE PLANTED SO AS TO ALLOW FOR A TWO AND A HALF FOOT VEHICULAR BUMPER OVERHANG FROM THE FACE OF CURB TO THE EDGE OF THE MATURE ADJACENT PLANT MATERIAL.
16. THE OWNER ACKNOWLEDGES THAT PLANTING LANDSCAPE MATERIAL IN A DEDICATED EASEMENT DOES NOT WAIVE OR MODIFY THE CITY OF FRANKLIN'S RIGHTS AS THE EASEMENT HOLDER. THE OWNER UNDERSTANDS THAT THE CITY OF FRANKLIN, ITS AUTHORIZED CONTRACTOR OR PRIVATE UTILITY MAY AT ANY TIME AND FOR ANY REASON PERFORM WORK WITHIN THE DEDICATED EASEMENT. THE CITY, ITS AUTHORIZED CONTRACTOR OR APPLICABLE PRIVATE UTILITY SHALL HAVE NO LIABILITY TO THE OWNER FOR ANY DAMAGE TO LANDSCAPE MATERIAL IN THE EASEMENT WHEN SAID DAMAGE IS DUE TO WORK WITHIN THE EASEMENT. THE OWNER MAY BE HELD RESPONSIBLE FOR THE REMOVAL OF THE LANDSCAPE MATERIAL TO ENABLE WORK TO BE DONE. THE OWNER SHALL BE SOLELY RESPONSIBLE FOR ANY COSTS INCURRED IN REPAIRING AND/OR REPLACING THE REQUIRED LANDSCAPE MATERIAL.

SODDING NOTES

1. AREAS INDICATED FOR SOD SHALL BE KENTUCKY 31. MINIMUM AGE SHALL BE 18 MONTHS, WITH ROOT DEVELOPMENT THAT WILL SUPPORT ITS OWN WEIGHT WITHOUT TEARING WHEN SUSPENDED VERTICALLY BY HOLDING THE UPPER TWO CORNERS.
2. SUBMIT SOD CERTIFICATION FOR GRASS SPECIES AND LOCATION OF SOD SOURCE. INCLUDE CERTIFICATION THAT SOD IS FREE OF DISEASE, NEMATODES, UNDESIRABLE INSECTS, AND QUARANTINE RESTRICTIONS.
3. SOD SHALL BE DELIVERED ON PALLETS. SOD SHALL BE STORED AT A LOCATION THAT IS PROTECTED FROM DAMAGING WINDS.
4. 6-12-12 COMMERCIAL TYPE FERTILIZER, WITH 50% OF THE ELEMENT DERIVED FROM ORGANIC SOURCES, SHALL BE APPLIED AT RATE RECOMMENDED BY THE MANUFACTURER. APPLY AFTER SMOOTH RAKING OF TOPSOIL AND NO MORE THAN 48 HOURS BEFORE LAYING SOD. MIX THOROUGHLY IN THE UPPER 2 INCHES OF TOPSOIL AND LIGHTLY WATER TO AID BREAKDOWN.
5. AREA TO RECEIVE SOD SHALL BE LIGHTLY MOISTENED IMMEDIATELY PRIOR TO LAYING SOD.
6. LAY SOD TIGHTLY WITH NO OPEN JOINTS VISIBLE AND NOT OVERLAPPING. STAGGER END JOINTS A MINIMUM OF 12 INCHES AND DO NOT STRETCH SOD PIECES.
7. ON SLOPES 6 INCHES PER FOOT AND STEEPER, LAY SOD PERPENDICULAR TO SLOPE AND SECURE EVERY ROW WITH WOODEN PEGS AT A MAXIMUM 2 FEET O.C. DRIVE PEGS FLUSH WITH SOD PORTION OF SOD.
8. PRIOR TO PLACING SOD ON SLOPES OF 8 INCHES PER FOOT AND STEEPER, PLACE JUTE EROSION CONTROL MESH OVER TOPSOIL. SECURELY ANCHOR IN PLACE WITH PEGS SUNK FIRMLY INTO THE GROUND. CONTRACTOR SHALL SUBMIT 12"x12" SAMPLES OF JUTE MESH FOR REVIEW TO LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
9. IMMEDIATELY AFTER INSTALLATION, WATER SODDED AREAS TO A DEPTH OF 4 INCHES.
10. AFTER SOD AND SOIL HAVE DRIED, ROLL SODDED AREAS TO ENSURE A GOOD BOND BETWEEN SOIL AND SOD. ROLLER SHALL NOT EXCEED 150 POUNDS.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING (MOWING, TRIMMING, WATERING) THE SOD UNTIL THE INSTALLATION IS INSPECTED AND ACCEPTED BY THE OWNER'S REPRESENTATIVE.
12. THE CONTRACTOR SHALL REPLACE SOD AREAS THAT SHOW DETERIORATION FOR A PERIOD OF ONE YEAR AFTER ACCEPTANCE OF THE INSTALLATION. DETERIORATED MATERIAL SHALL BE REPLACED WITH SOD OF EQUAL QUALITY ORIGINALLY SPECIFIED.

PLANTING NOTES:

1. ANY SERIES OF TREES TO BE PLACED IN A PARTICULAR ARRANGEMENT WILL BE FIELD CHECKED FOR ACCURACY. ANY PLANTS MISARRANGED WILL BE RELOCATED.
2. SOIL USED IN BACKFILLING PLANTING PITS SHALL BE TOPSOIL AND MIXED WITH 25% PEAT BY VOLUME. EXCEPT FOR ERICACEOUS PLANTS, VERY ACID OR SOUR SOIL (SOIL HAVING A PH LESS THAN 6) SHALL BE MIXED WITH SUFFICIENT LIME TO PRODUCE A SLIGHTLY ACID REACTION (A PH OF 6.0 TO 6.5). 10-10-10 COMMERCIAL FERTILIZER AT THE RATE OF 2 POUNDS PER CUBIC YARD SHALL BE ADDED. BOTH FERTILIZER AND PEAT SHALL BE THOROUGHLY MIXED BY HAND OR ROTARY TILLER.
3. SOIL USED IN BACKFILLING ERICACEOUS PLANTS SHALL BE TOPSOIL MIXED WITH 50% PEAT BY VOLUME. 5-10-5 COMMERCIAL FERTILIZER AT THE RATE OF 5 POUNDS PER CUBIC YARD SHALL BE ADDED. BOTH FERTILIZER AND PEAT SHALL BE THOROUGHLY MIXED BY HAND OR ROTARY TILLER.
4. UPON SECURING PLANT MATERIAL, AND BEFORE INSTALLATION, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT FOR A PRE-INSTALLATION INSPECTION IN ORDER TO VERIFY ALL PLANT MATERIAL MEETS SPECIFICATIONS. TREES OF SAME SPECIES TO BE MATCHED IN GROWTH CHARACTER AND UNIFORMITY.
5. HERBICIDE (TREFLAN OR EQUIVALENT) SHALL BE APPLIED TO ALL PLANT BEDS PRIOR TO PLANTING FOR NOXIOUS WEED CONTROL AT A RATE OF 2 POUNDS PER 1,000 SQUARE FEET.
6. CONTRACTOR SHALL SUBMIT A 10 OUNCE SAMPLE OF THE TOPSOIL PROPOSED TO A TESTING LABORATORY FOR ANALYSIS. TEST RESULTS, WITH RECOMMENDATIONS FOR SUITABILITY, SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE FOR APPROVAL.
7. PLANTS SHALL BE ORIENTED FOR BEST APPEARANCE AND VERTICAL. ALL NON-BIODEGRADABLE ROOT CONTAINERS SHALL BE REMOVED.
8. TREE BRANCHES SHALL BE SELECTIVELY TRIMMED BY 25%, MAINTAINING NATURAL SHAPE. ALL DEAD AND BROKEN BRANCHES IN TREES AND SHRUBS SHALL ALSO BE PRUNED. REMOVE TAGS, TWINE OR OTHER NON-BIODEGRADABLE MATERIAL.
9. SCARIFY SUBSOIL IN PLANTING BEDS TO A DEPTH OF 3 INCHES. ALL PLANTING BEDS SHALL RECEIVE A MINIMUM OF 6 INCHES OF TOPSOIL.
10. CONTRACTOR SHALL PROVIDE SMOOTH, NEATLY TRENCHED (3 INCH DEEP) BED EDGES.
11. ALL PLANTING BEDS TO HAVE A MINIMUM 4 INCH DEEP HARDWOOD MULCH.
12. DIMENSIONS FOR TRUNK CALIPER, HEIGHTS, AND SPREAD SPECIFIED ON THE MATERIAL SCHEDULE ARE A GENERAL GUIDE FOR THE MINIMUM REQUIRED SIZE OF EACH PLANT. QUALITY & SIZE OF PLANTS, SPREAD OF ROOTS AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH A.N.S.I. 280 "AMERICAN STANDARD FOR NURSERY STOCK" (CURRENT EDITION) AS PUBLISHED BY THE AMERICAN ASSOCI- ATION OF NURSERYMEN, INC.
13. THE QUANTITIES INDICATED ON THE MATERIAL SCHEDULE ARE PROVIDED FOR THE BENEFIT OF THE CONTRACTOR, BUT SHOULD NOT BE ASSUMED TO ALWAYS BE CORRECT. IN THE EVENT OF A DISCREPANCY, THE PLANTING PLAN WILL TAKE PRECEDENCE OVER THE MATERIAL SCHEDULE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS/HER OWN QUANTITY CALCULATIONS AND THE LIABILITY PERTAINING TO THOSE QUANTITIES AND ANY RELATED CONTRACT DOCUMENTS AND/ OR PRICE QUOTATIONS.
14. CONTRACTOR TO WARRANTY ALL MATERIAL FOR ONE YEAR AFTER DATE OF FINAL ACCEPTANCE.

CITY OF FRANKLIN MINIMUM PLANT QUALITY AND SIZE STANDARDS

1. ALL NEWLY PLANTED LANDSCAPE PLANT MATERIALS SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD OF NURSERY STOCK (ANSI Z60.1)
2. ALL TYPE 1, 2, AND 3 TREES (AS DEFINED IN ANSI Z60.1) USED TO MEET THE REQUIREMENTS OF THIS SUBSECTION SHALL HAVE THE FOLLOWING CHARACTERISTICS:
 - A. DECIDUOUS TREES SHALL HAVE ONE DOMINANT TRUNK WITH THE TIP OF THE LEADER ON THE MAIN TRUNK LEFT INTACT AND THE TERMINAL BUD ON THE CENTRAL LEADER AT THE HIGHEST POINT ON THE TREE.
 - B. TREES WITH FORKED TRUNKS ARE ACCEPTABLE IF ALL THE FOLLOWING CONDITIONS ARE MET:
 1. THE FORK OCCURS IN THE UPPER ONE-THIRD OF THE TREE;
 2. ONE FORK IS LESS THAN TWO-THIRDS THE DIAMETER OF THE DOMINANT FORK; AND
 3. THE TOP ONE-THIRD OF THE SMALLER FORK IS REMOVED AT THE TIME OF PLANTING;
 - C. NO BRANCH IS GREATER THAN TWO-THIRDS THE DIAMETER OF THE TRUNK DIRECTLY ABOVE THE BRANCH;
 - D. SEVERAL BRANCHES ARE LARGER IN DIAMETER AND OBVIOUSLY MORE DOMINANT;
 - E. BRANCHING HABIT IS MORE HORIZONTAL THAN VERTICAL, AND NO BRANCHES ARE ORIENTED NEARLY VERTICAL TO THE TRUNK; AND
 - F. BRANCHES ARE EVENLY DISTRIBUTED AROUND THE TRUNK WITH NO MORE THAN ONE MAJOR BRANCH LOCATED DIRECTLY ABOVE ANOTHER AND THE CROWN IS FULL OF FOLIAGE THAT IS EVENLY DISTRIBUTED AROUND THE TREE.

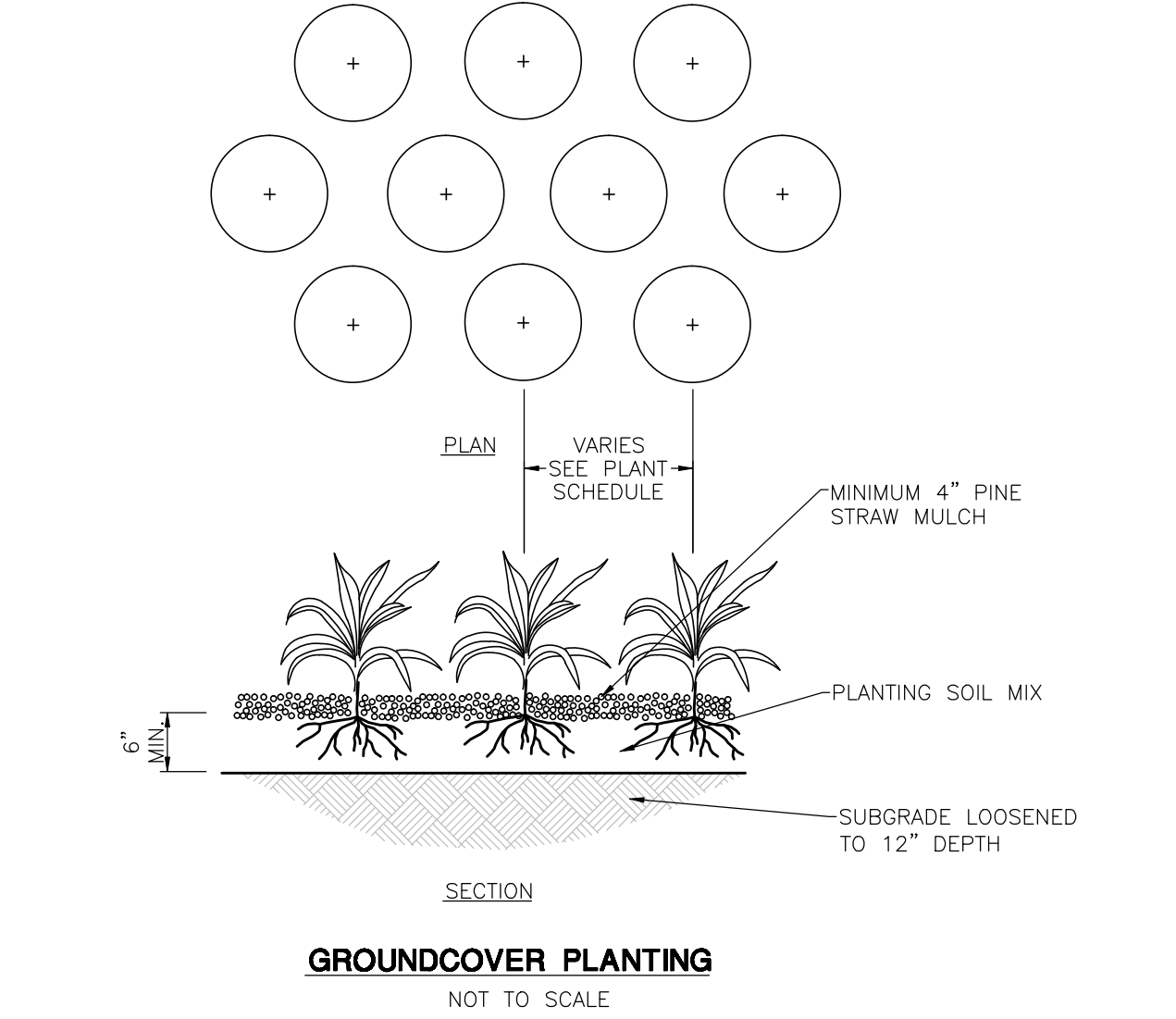
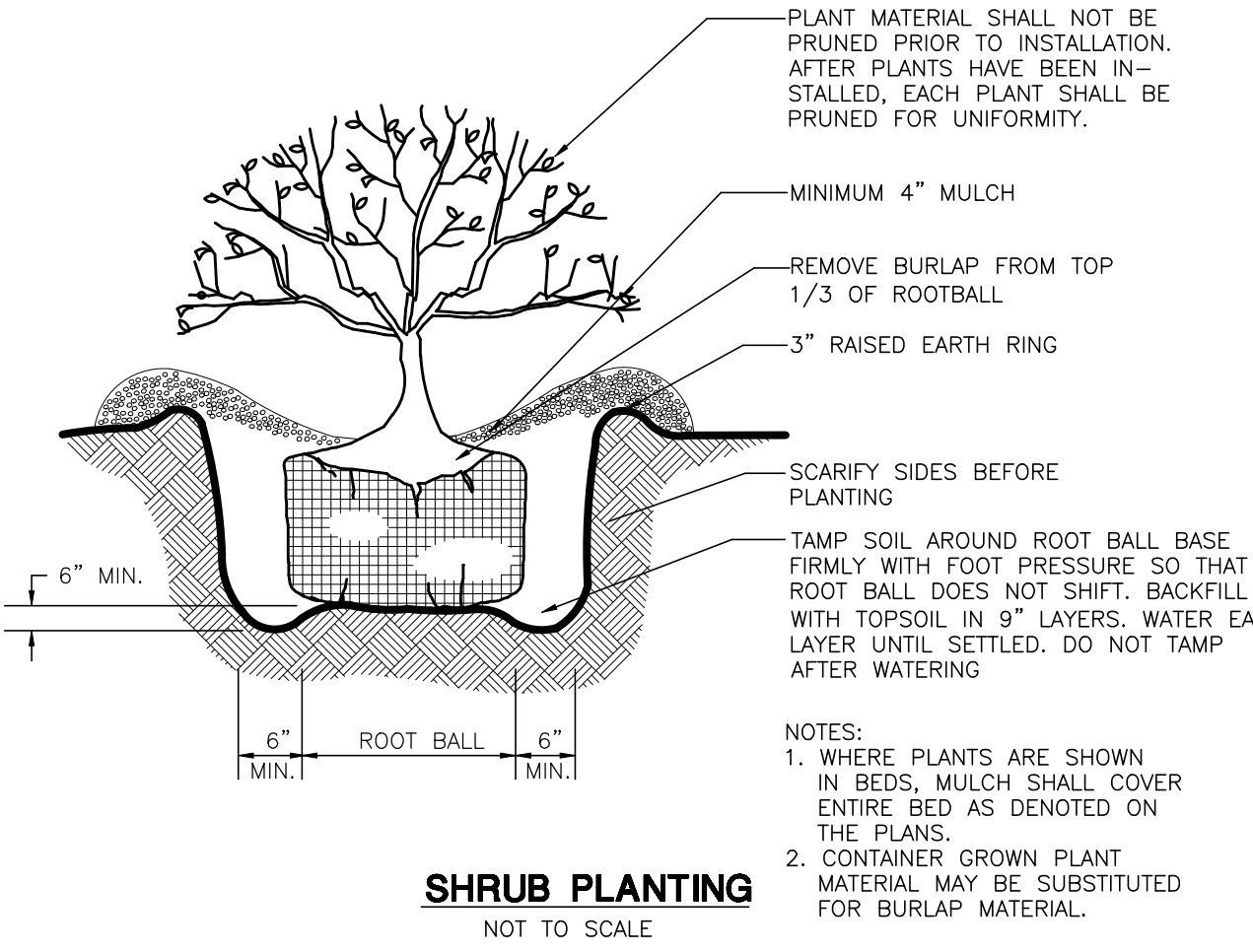
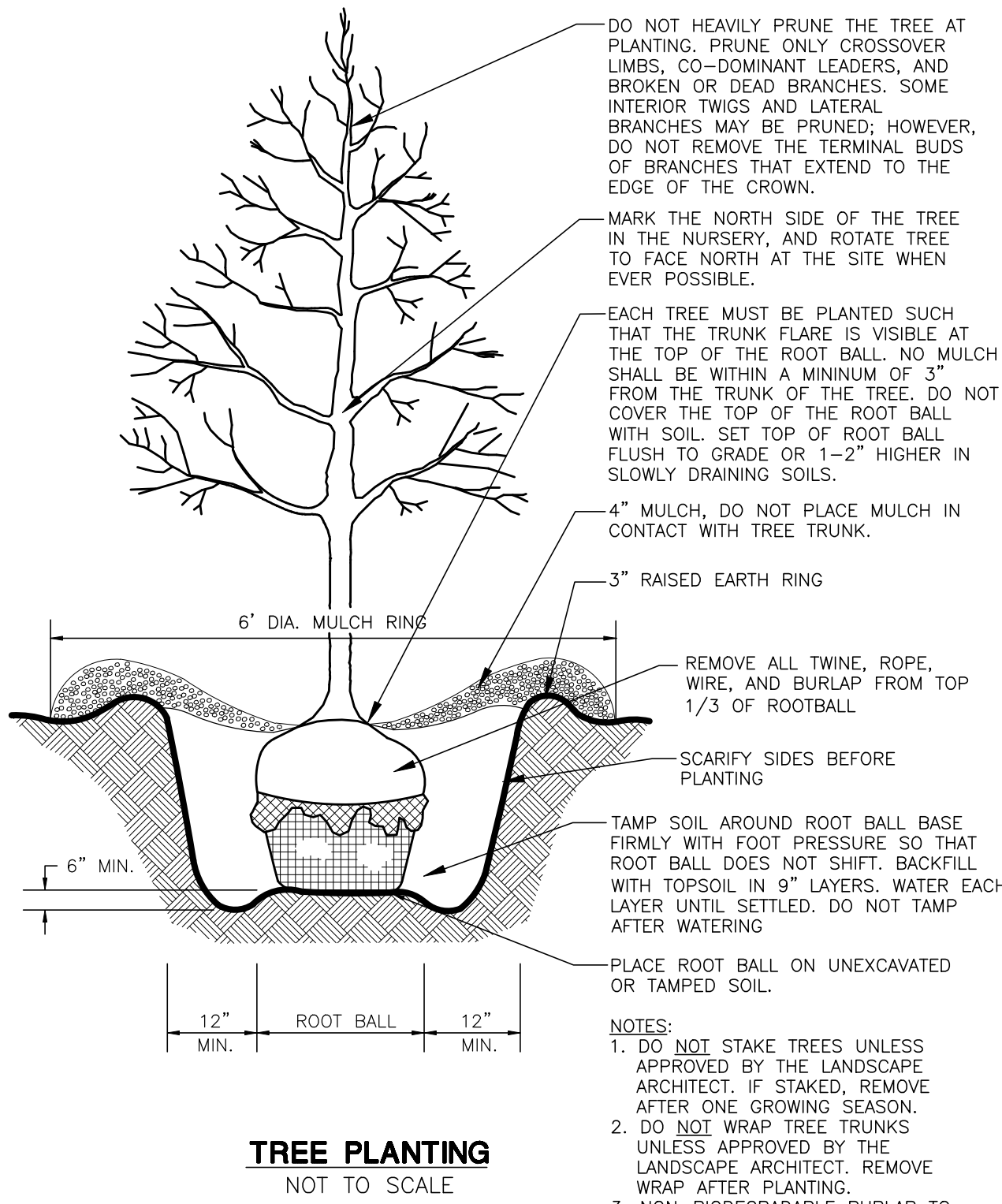
MINIMUM BUFFERING/SCREENING REQUIREMENTS:

HVAC units, cooling and/or mechanical equipment are mounted on the:

- ☐ Rooftop
☐ Ground
☒ Not applicable

THIS DEVELOPMENT IS ALSO REQUIRED TO HAVE THE FOLLOWING BUFFER/ SCREENING YARDS, AND THE REQUIRED LANDSCAPING IMPROVEMENTS, PER THE ZONING ORDINANCE:

Buffer/Screen Type:	Purpose:
<input checked="" type="checkbox"/> Mack Hatcher Street Buffer	Screen addition from Mack Hatcher Parkway



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1000 BROADWAY, SUITE 200
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(615) 244-5591



FORREST CROSSING, SITE PLAN - YMCA
PARKING ADDITION

FOR
YMCA OF MIDDLE TENNESSEE

CITY OF FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

WK. ORDER	14019	9879	B. SMITH	T. GARDNER	AS SHOWN	SEPTEMBER 8, 2014
DESIGNED:						
DRAWN:						
SCALE:						
DATE:						

LANDSCAPE
DETAILS

L2.1

