

REVISED DEVELOPMENT PLAN

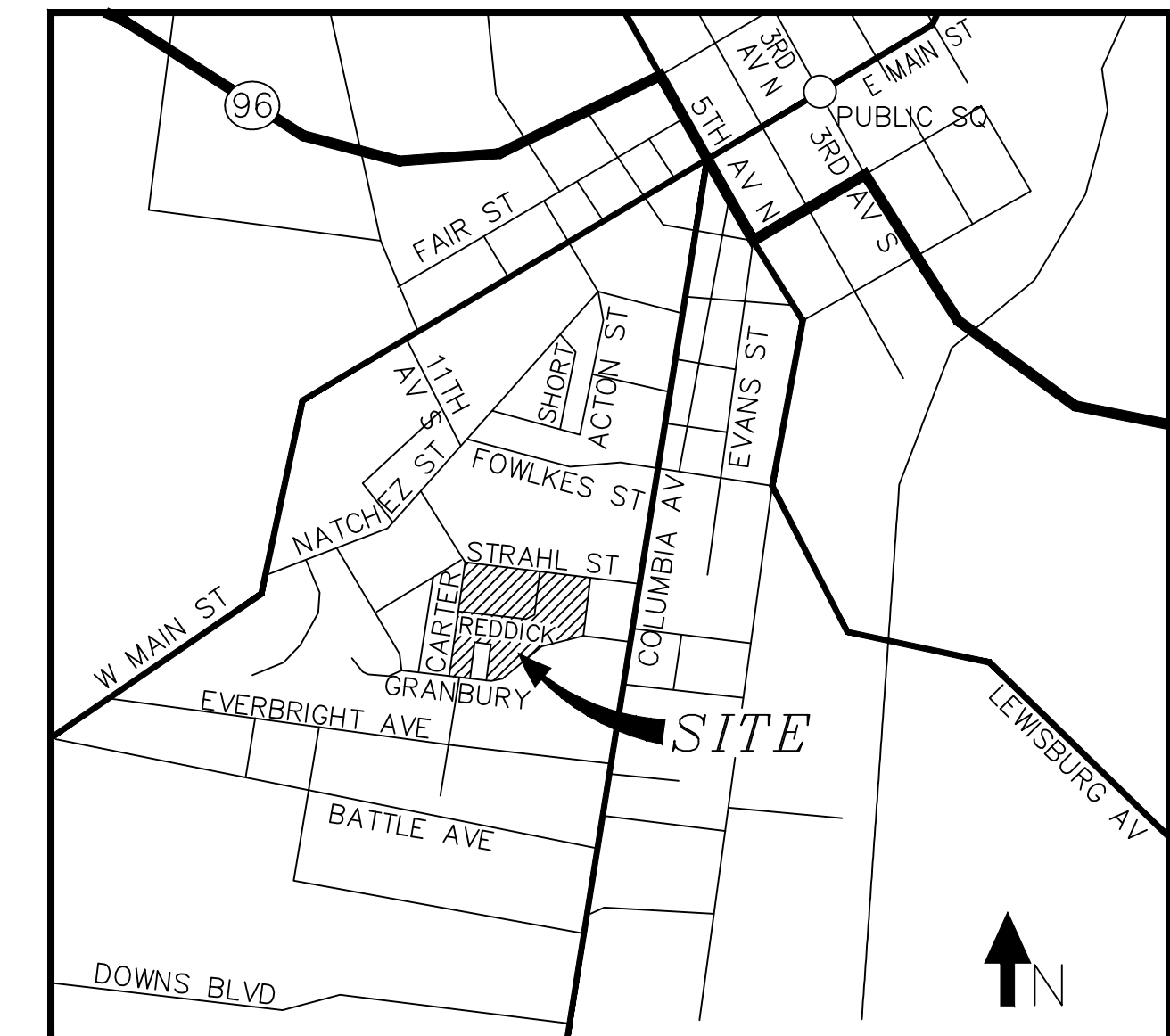
FRANKLIN HOUSING AUTHORITY

REDDICK STREET DEVELOPMENT PHASE 2

Franklin, Williamson County, Tennessee

CITY OF FRANKLIN PROJECT NO. 4711

NOVEMBER 10, 2014
DECEMBER 4, 2014 (RESUBMITTAL)



VICINITY MAP
SCALE: 1" = 1,000'

INDEX OF SHEETS

SHEET NO.	SHEET TITLE
C0.0	COVER SHEET
C1.0	SITE SLOPE ANALYSIS
C2.0	EXISTING CONDITIONS
C3.0	SITE CONCEPT PLAN
C4.0	SITE CONCEPT GRADING PLAN
C5.0	CONCEPTUAL STORMWATER MANAGEMENT PLAN
C6.0	SITE CONCEPT UTILITY PLAN
L1.0	TREE CANOPY RETENTION & SPECIMEN TREE PRESERVATION PLAN

SITE DATA

PROJECT NAME: FRANKLIN HOUSING AUTHORITY - REDDICK STREET DEVELOPMENT PHASE 2, DEVELOPMENT PLAN

PROJECT NUMBER: CITY OF FRANKLIN # 4711

LOTS: 1

ADDRESS: 145 STRAHL ST.

CITY: FRANKLIN

COUNTY: WILLIAMSON

STATE: TENNESSEE

CIVIL DISTRICT: 9TH

MAP, GROUP AND PARCEL NUMBERS: WILLIAMSON CO. TAX MAP 78J, GROUP D, PARCEL 1, PLAT RECORDED 2011-02-22, DEED BOOK 5268, PAGE 838

EXISTING ZONING: SD-R (FORMERLY RX)

SPECIAL DISTRICT-RESIDENTIAL: CFCO-3

CHARACTER AREA OVERLAY: TRADITIONAL

OTHER APPLICABLE OVERLAYS: 7.19 AC.

APPLICABLE DEVELOPMENT STANDARD: 312,983 S.F.

AREAGE OF SITE: RESIDENTIAL ATTACHED OFFICE USE

SQUARE FOOTAGE OF SITE: 0' OR 5' TO 25' 0'-20'

MINIMUM REQUIRED SETBACK LINES: 0' SIDE: 0' YARD FRONTING ON ANY STREET

YARD FRONTING ON ANY STREET: 10' BETWEEN BLDGS.

REAR YARD: 0'

OWNERSHIP ENTITY: REDDICK STREET ASSOCIATES 1, LP

OWNER: FRANKLIN HOUSING AUTHORITY

DEVELOPER: THE MICHAELS ORGANIZATION

ADDRESS: 100 SPRING STREET, FRANKLIN, TN 37065

PHONE NO.: 615.794.1247

FAX NO.: 615.794.9254

E-MAIL ADDRESS: djackson@franklinhousingauthority.com

CONTACT NAME: MR. DERWIN JACKSON, EXEC. DIRECTOR

APPLICANT: LITTLEJOHN ENGINEERING ASSOCIATES

ADDRESS: 1935 21st AVENUE SOUTH NASHVILLE, TN 37212

PHONE NO.: 615.385.4144

FAX NO.: 615.385.4020

E-MAIL ADDRESS: jbroquette@leinc.com

CONTACT NAME: MR. JASON BROUILLETTE, ASLA

BUILDING SQUARE FOOTAGE: 65 UNITS, 66,273 S.F.

SINGLE AND MULTI-FAMILY UNITS (CONDITIONED SPACE): 65 UNITS, 77,449 S.F.

TOTAL (CONDITIONED SPACE + PORCHES AND STORAGE)

BUILDING HEIGHT ALLOWABLE: 3 STORIES MAXIMUM

PROPOSED MULTI-FAMILY: 3 STORIES

FLOOR AREA RATIO OF SITE: 0.175

SINGLE AND MULTI-FAMILY UNITS: 0.175

PROPOSED LANDSCAPE SURFACE RATIO: 0.48

MINIMUM LANDSCAPE SURFACE RATIO: 0.20

RESIDENTIAL DENSITY: 5.5 DU/AC. EXISTING (44 DU ON 8.03 AC.)

EXISTING GROSS DENSITY: Phase 2 : 9.04 DU/AC. PROPOSED (65 DU ON 7.19 AC.)

PROPOSED GROSS DENSITY: Phases 1-2 : 12.90 DU/AC. PROPOSED (114 DU ON 8.84 AC.)

TREE CANOPY: NOT APPLICABLE

PARKLAND DEDICATION: NOT APPLICABLE

OPEN SPACE: PHASE TWO OPEN SPACE REQ'D (5% OF 7.19 AC.) 0.36 AC.

PHASE TWO OPEN SPACE PROPOSED: 0.55 AC.

NOTES:

PROPERTY IS LOCATED ON MAP 78J AS PARCELS 1 AND A PORTION OF PARCEL 5 CONTAINING 8.84 ACRES.

THE PROPERTY DOES NOT LIE WITHIN THE 100-YEAR FLOOD PLAIN AS INDICATED BY FIRM MAP NOS. 47187C019F AND 47187C0211F, DATED SEPTEMBER 29, 2005.

PHASING:

SINGLE PHASE DEVELOPMENT OF LOT 1 - SINGLE AND MULTI-FAMILY RESIDENCES

BEGIN 2014 - COMPLETION ESTIMATE 2016

PARKING

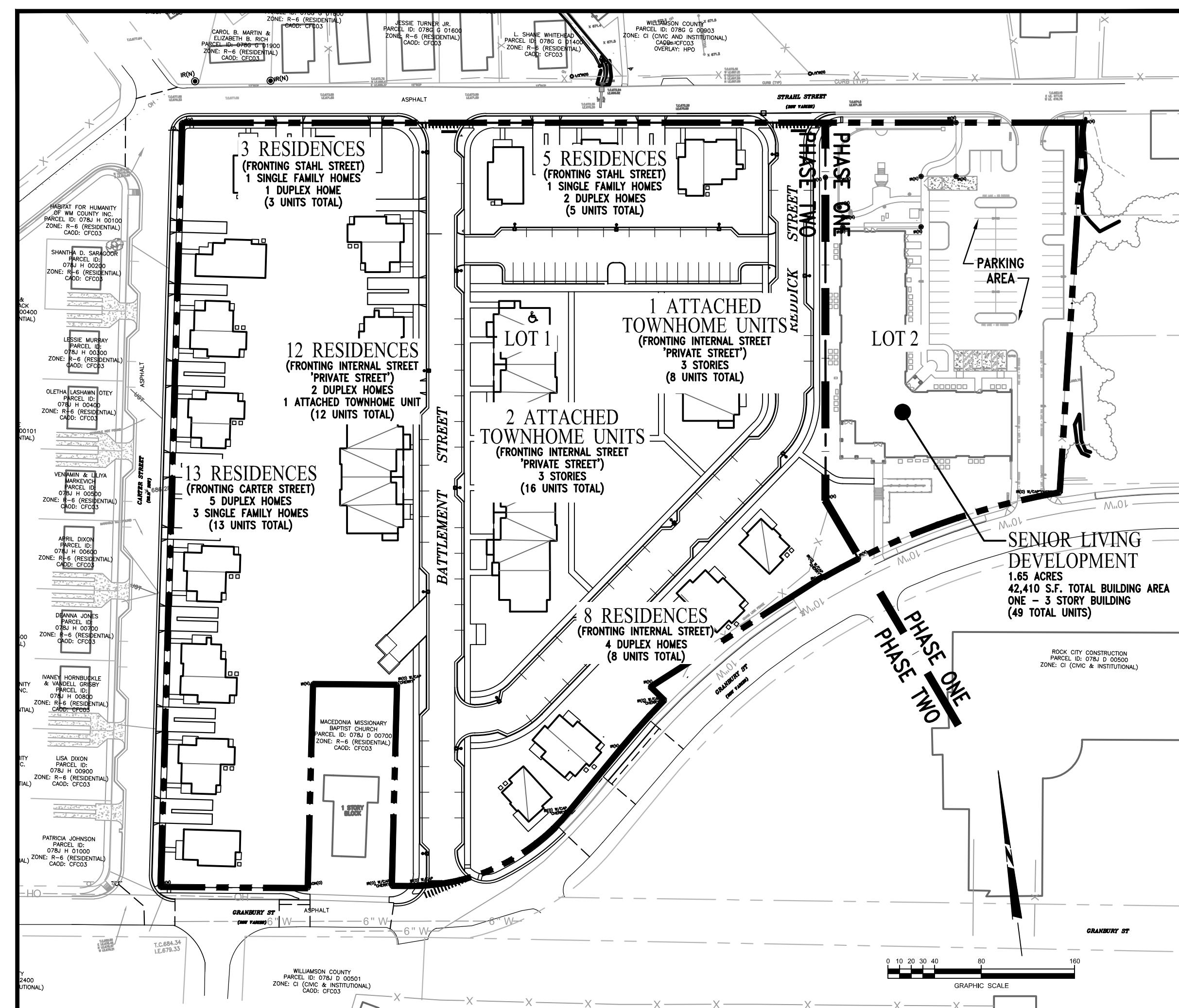
PARKING REQUIRED:	SPACES
ATTACHED DWELLING	9 SPACES
0-1BR: 1.50	98 SPACES
2BR: 2.50	54 SPACES
3+BR: 3.00	
DETACHED DWELLING:	10 SPACES
2/UNIT	
TOTAL PARKING REQUIRED:	171 SPACES
PARKING PROVIDED:	143 SPACES*

*MODIFICATION OF PARKING STANDARDS IS BEING REQUESTED AT (2.2 SP/UNIT)

MODIFICATION OF STANDARDS (PARKING)

PER MODIFICATION REQUEST AND DOCUMENTATION PROVIDED ALONG WITH DEVELOPMENT PLAN

SUBMITTAL PARKING REQUIREMENT MODIFICATIONS AT AVERAGE OF 2.2 SPACES PER DWELLING UNIT IS REQUESTED FOR A TOTAL OF 143 SPACES.



LEGAL DESCRIPTION

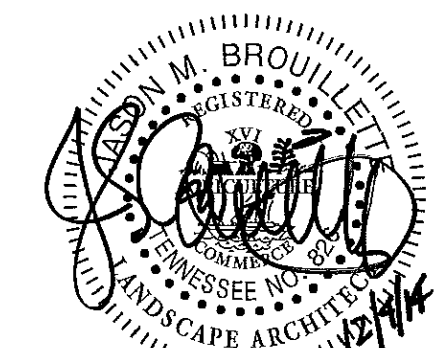
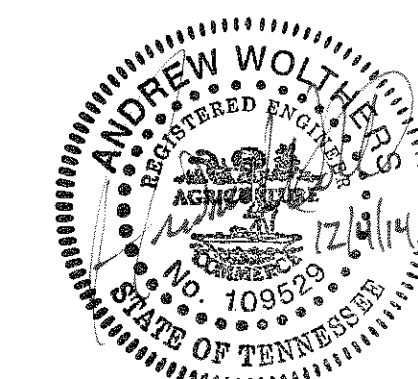
Being a tract of land lying in the 9th District, City of Franklin, Williamson County, Tennessee, being Lot 1 of Franklin Housing Authority Granbury St. & Strahl St. Development as recorded in Plat Book 555, Page 98, Register's Office of Williamson County (ROWC). Tract being bounded on the north by Right of Way (ROW) of Strahl Street (ROW varies); bounded on the east by Lot 2 and Lot 3 of said plat; bounded on the south by ROW of Granbury Street (ROW varies), and by Macedonia Missionary Baptist Church as recorded in Book 132, Page 270, ROWC; and bounded on the west by ROW of Carter Street (38.11' ROW). Tract being described as follows:

POINT OF BEGINNING being an iron rod (new) lying on the intersection of the eastern ROW of said Carter Street and the northern ROW of said Granbury Street; thence with said eastern ROW of Carter Street North 08°56'42" East 655.48 feet to an iron rod (new) lying on the intersection of said eastern ROW of Carter Street and the southern ROW of said Strahl Street; thence along said southern ROW of Strahl Street South 82°41'19" East 551.52 feet to an iron rod (new); thence leaving said ROW of Strahl Street and with the common line of said Lots 2 and 3 with the following: South 71°34'41" West 323.89 feet to an iron rod (new); thence South 22°12'20" East 57.80 feet to an iron rod (new); thence along said northern ROW of Granbury Street with the following: on a curve to the left having a length of 13.99 feet, a radius of 425.00 feet, a central angle of an angle of 17°09'17", a tangent of 17.80 feet, and having a chord bearing and distance of South 69°10'16" West 33.98 feet to an iron rod (new); thence North 22°10'59" West 0.78 feet; thence South 64°45'24" West 175.37 feet to an iron rod (new); thence South 38°14'50" East 16.41 feet to an iron rod with "Cherry" cap (old); thence with a curve to the left having an arc length of 54.19 feet, a radius of 625.00 feet, a central angle of 08°50'04", a tangent of 27.11 feet, and having a chord bearing and distance of South 09°18'58" West 54.17 feet to an iron rod (new); thence South 40°47'56" West 71.65 feet to an iron rod with "Cherry" cap (old); thence with a curve to the right having an arc length of 155.56 feet, a radius of 175.00 feet, a central angle of 50°55'49", a tangent of 83.34 feet, and having a chord bearing and distance of South 72°15'51" West 150.49 feet to an iron rod with "Cherry" cap (old); thence North 82°16'15" West 15.52 feet to an iron rod with "Cherry" cap (old); thence along the common line of said Macedonia Missionary Baptist Church with the following: North 8°48'58" East 22.59 feet to an iron rod with "Cherry" cap (old); thence North 82°15'52" West 72.20 feet to an iron rod (new); thence South 08°49'56" West 175.10 feet to a concrete monument (old); thence along said northern ROW of Granbury Street North 82°12'24" West 126.13 feet to the point of beginning.

Tract contains 312,983 square feet or 7.19 acres.

Bearings based on Tennessee State Plane Coordinate System.

PREPARED FOR:
FRANKLIN HOUSING AUTHORITY
100 Spring Street
Franklin, Tennessee
615-794-1247



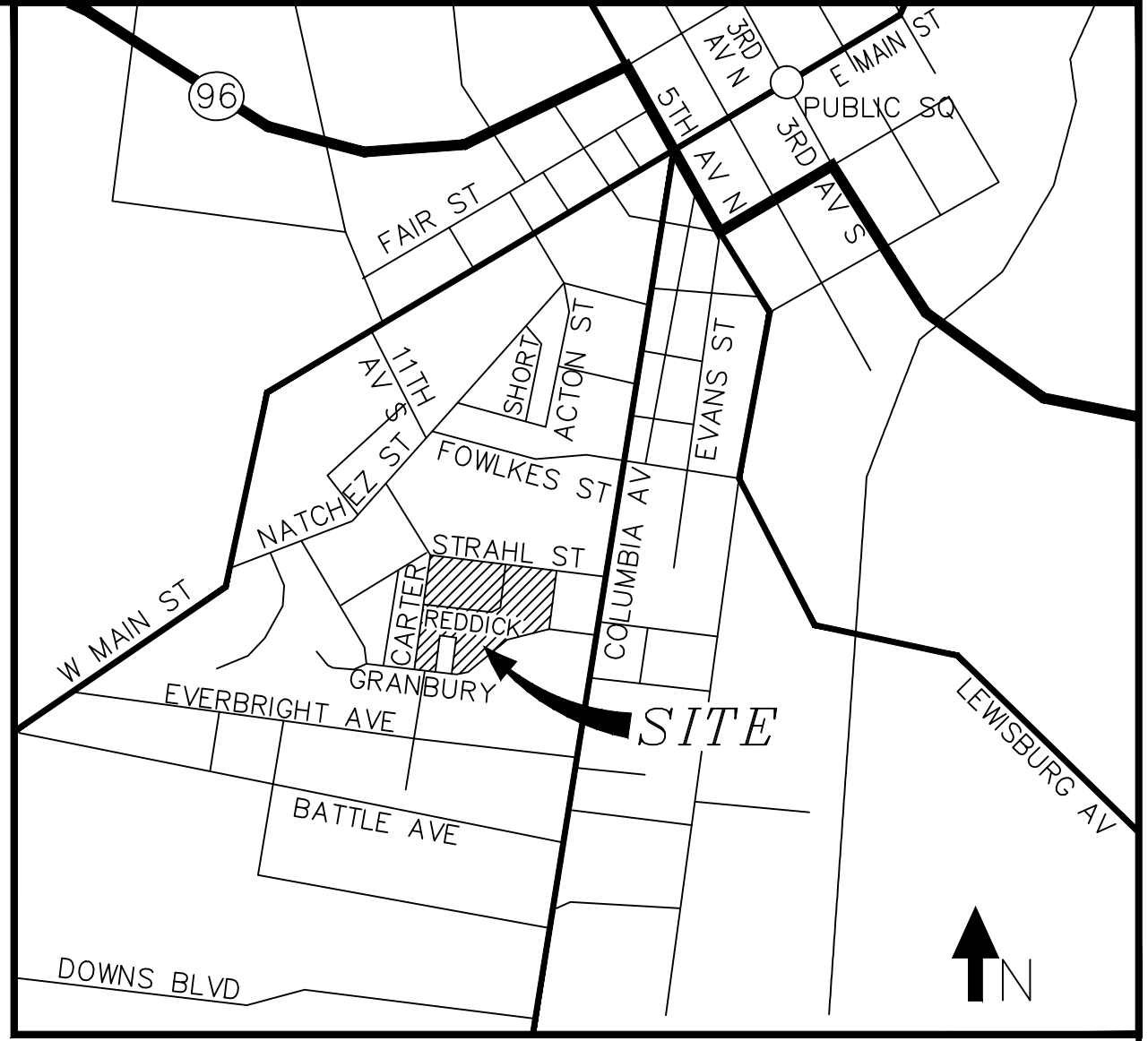
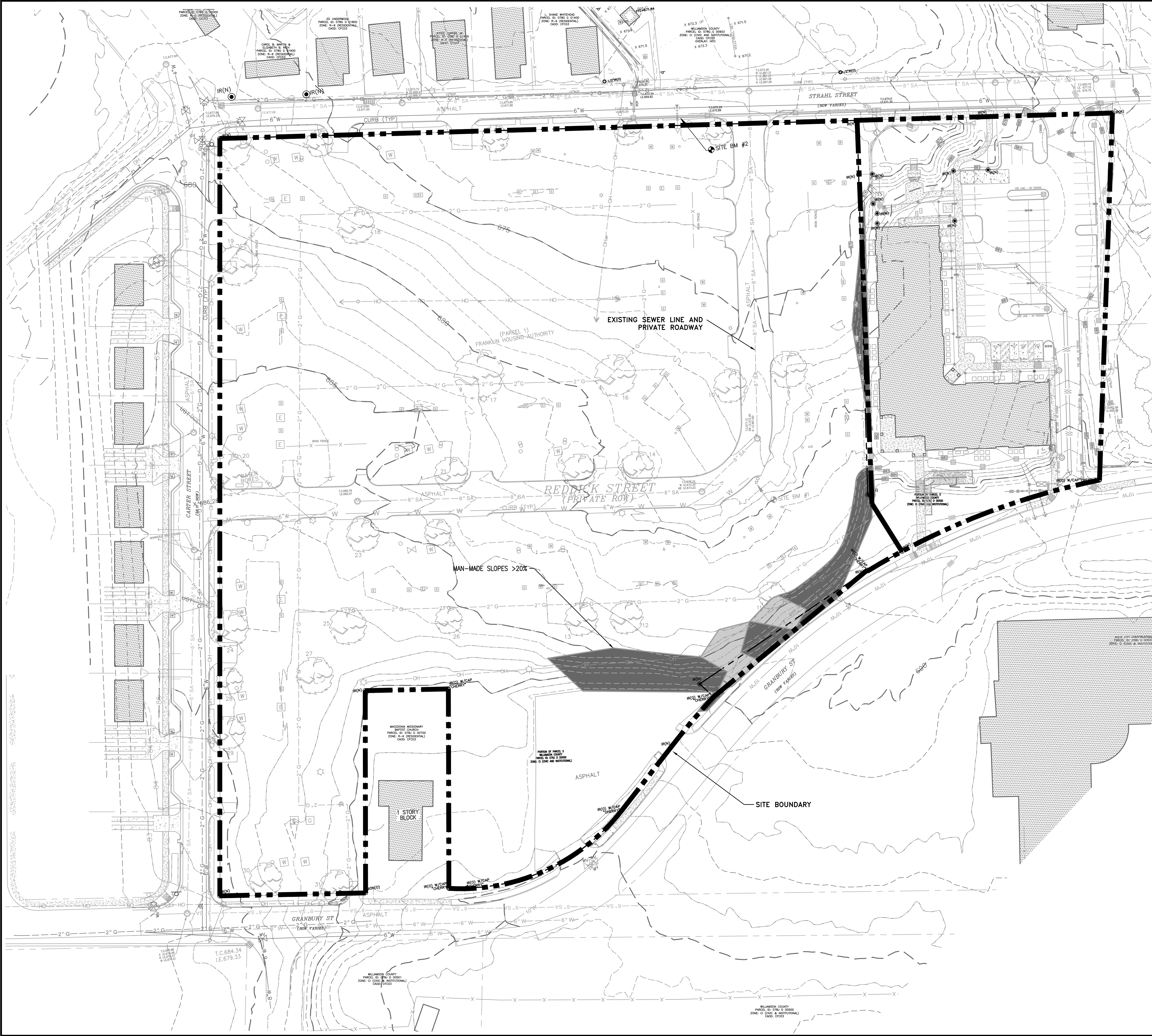
PREPARED BY:

Littlejohn

1935 21st Avenue South, NASHVILLE, TENNESSEE 37212
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VICINITY MAP
SCALE: 1" = 1,000'

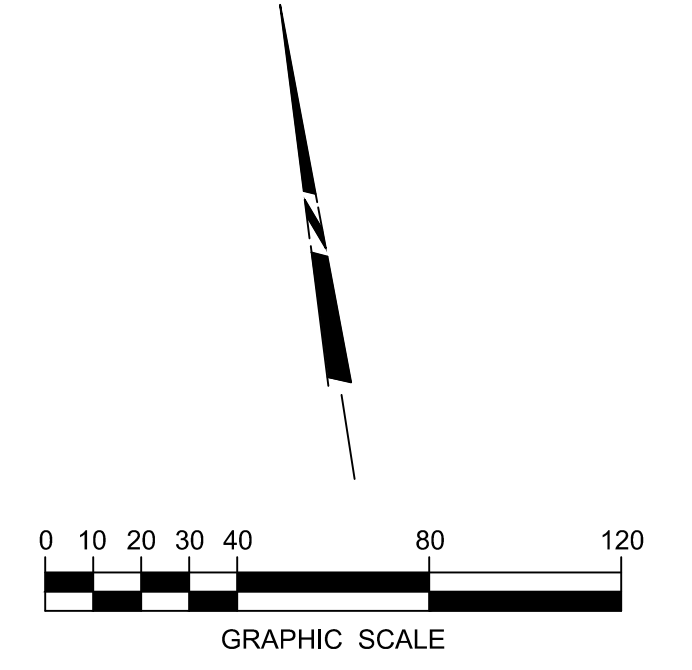
GENERAL NOTES

1. THIS PROPERTY DOES NOT LIE WITHIN THE 100 YEAR FLOOD PLANE AND IS DETERMINED TO BE IN ZONE "X" AS PER FEDERAL EMERGENCY MANAGEMENT AGENCY FIRM MAP NUMBER 47187C0192F, DATED SEPTEMBER 29, 2006 AND MAP NUMBER 47187C0211F, DATED SEPTEMBER 29, 2006.
2. THIS SITE IS LOCATED IN THE DRAINAGE BASIN.

Slopes Table			
Number	Minimum Slope	Maximum Slope	Color
1	14.00%	19.99%	
2	20.00%	1000.00%	

LEGEND

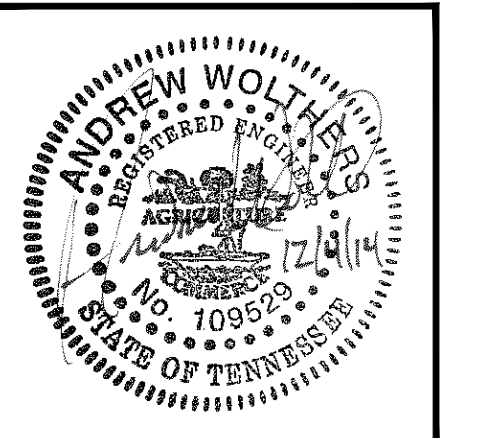
- EXISTING TREE
- EXISTING TREE COVER
- EXISTING CONTOUR



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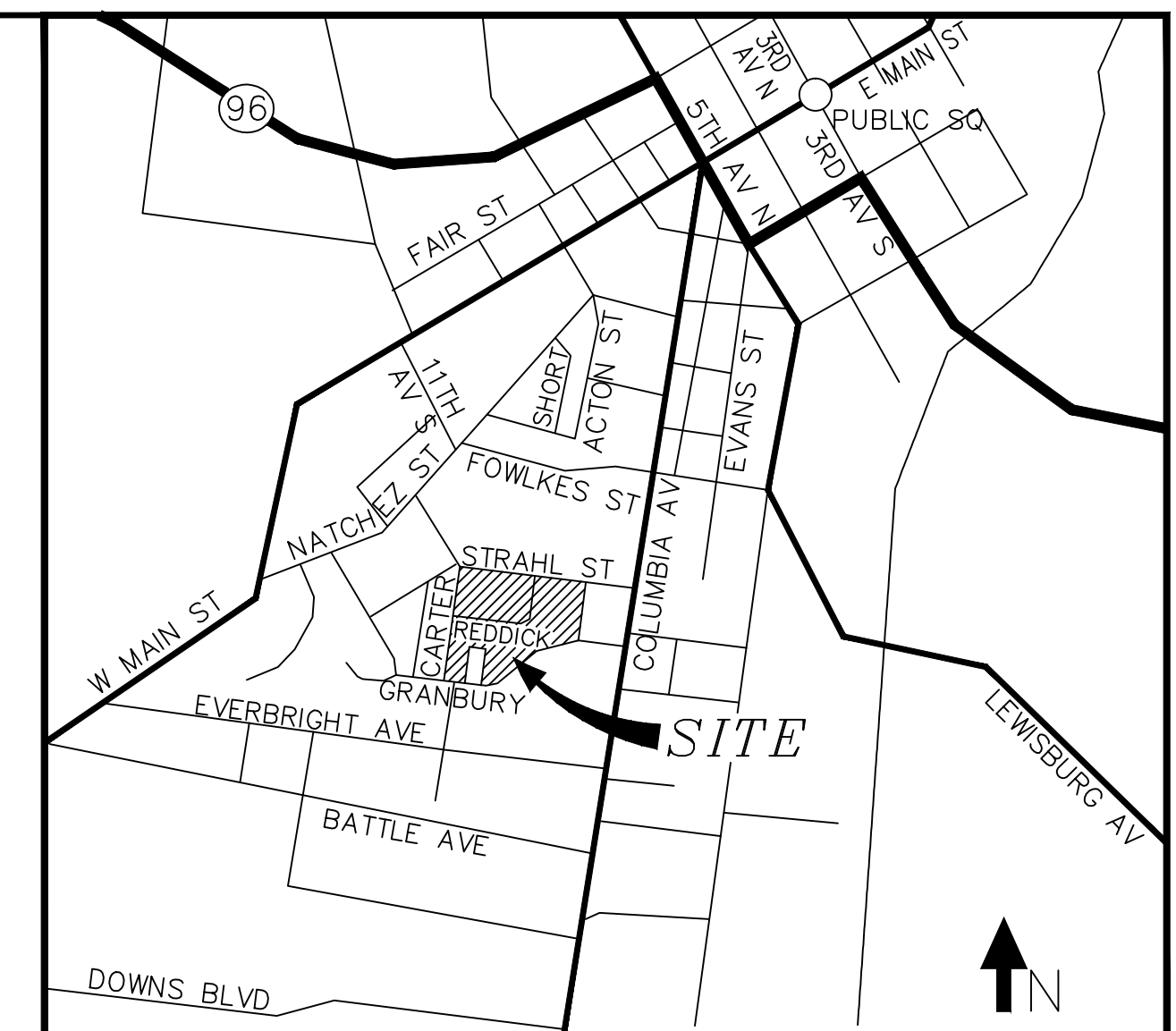
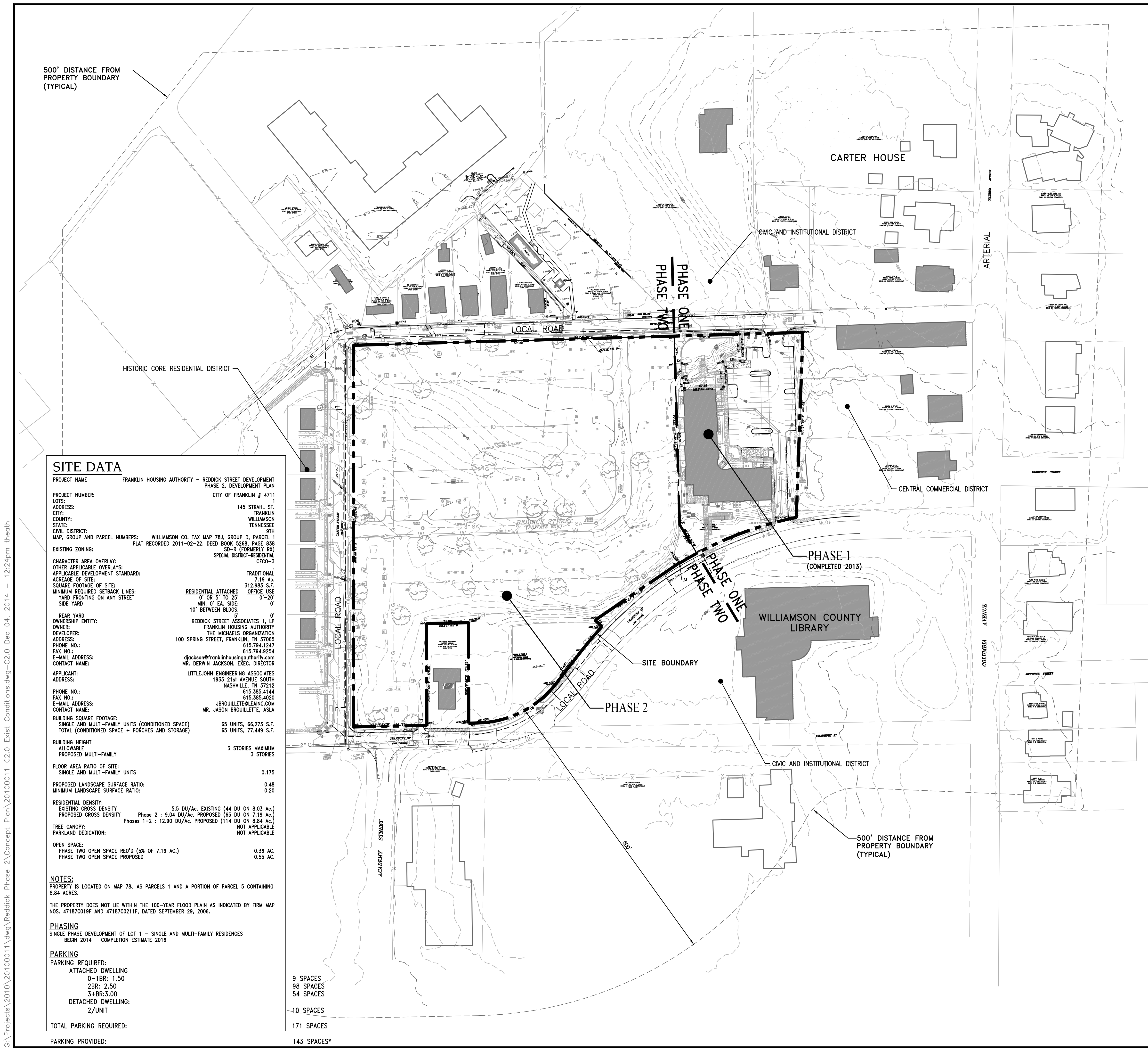
FRANKLIN HOUSING AUTHORITY
REDDICK STREET DEVELOPMENT
PHASE 2
DEVELOPMENT PLAN

FRANKLIN HOUSING AUTHORITY
100 Spring Street
Franklin, TN 37064
615-794-1247



DATE	PER CITY COMMENTS	REVISIONS
12/4/14		
2014-11-10		20100011

C1.0
SITE SLOPE ANALYSIS/
PHYSICAL FEATURES



VICINITY MAP
SCALE: 1" = 1,000'

LINE DATA			AREA SUMMARY		
LINE	LENGTH	BEARING	TRACT	SQ. FT.	ACRES
L1	7.01'	S10°55'32"W	1	349,645	8.03
L2	0.78'	N22°10'59"E	2	27,808	0.64
L3	16.41'	S38°14'50"E	3	7,417	0.17
L4	15.52'	N82°16'15"W			
L5	3.94'	N08°48'58"E			
			TOTAL	384,870	8.84

CURVE DATA						
CURVE	DELTA	RADIUS	TANGENT	LENGTH	CHORD	CHD BEARING
C1	19°50'18"	625.00	109.30	216.40	215.32	S77°31'57"W
C2	04°58'04"	625.00	27.11	54.19	54.17	S49°16'58"W
C3	50°55'49"	175.00	83.34	155.56	150.49	S72°15'51"W

SITE DATA

PROJECT NAME: FRANKLIN HOUSING AUTHORITY - REDDICK STREET DEVELOPMENT PHASE 2, DEVELOPMENT PLAN
 PROJECT NUMBER: FRANKLIN # 4711
 ADDRESS: 145 STRAHL ST., FRANKLIN, TENNESSEE 37065
 CITY: FRANKLIN, TENNESSEE
 COUNTY: WILLIAMSON COUNTY, TENNESSEE
 STATE: TENNESSEE
 CIVIL DISTRICT: 9TH DISTRICT
 MAP, GROUP AND PARCEL NUMBERS: WILLIAMSON CO. TAX MAP 78J, GROUP D, PARCEL 1
 EXISTING ZONING: FLAT RECORDED 2011-02-22, DEED BOOK 5286, PAGE 338 (SD-R (FORMERLY RX) SPECIAL DISTRICT-RESIDENTIAL CF30-3)

CHARACTER AREA OVERLAY: TRADITIONAL
 OTHER APPLICABLE OVERLAYS: RESIDENTIAL ATTACHED OFFICE USE
 APPLICABLE DEVELOPMENT STANDARD: 7.19 AC.
 ACREAGE OF SITE: 312,983 S.F.
 SQUARE FOOTAGE OF SITE: 312,983 S.F.
 MINIMUM REQUIRED SETBACK LINES: 0' OR 5' TO 25' 0'-20'
 YARD FRONTING ON ANY STREET: MIN. 0' EA. SIDE: 10' BETWEEN BLDGS.
 SIDE YARD: 5'

REAR YARD: 0'
 OWNERSHIP ENTITY: REDDICK STREET ASSOCIATES 1, LP
 OWNER: FRANKLIN HOUSING AUTHORITY
 DEVELOPER: THE MICHAELS ORGANIZATION
 ADDRESS: 100 SPRING STREET, FRANKLIN, TN 37065
 PHONE NO.: 615.794.1247
 FAX NO.: 615.794.9254
 E-MAIL ADDRESS: dmichael@franklinhousingauthority.com
 CONTACT NAME: MR. DERWIN JACKSON, EXEC. DIRECTOR

APPLICANT: LITTLEJOHN ENGINEERING ASSOCIATES
 ADDRESS: 1935 21st AVENUE SOUTH, NASHVILLE, TN 37212
 PHONE NO.: 615.385.4144
 FAX NO.: 615.385.4020
 E-MAIL ADDRESS: jbrouillette@leanc.com
 CONTACT NAME: MR. JASON BROUILLETTE, ASLA

BUILDING SQUARE FOOTAGE: 65 UNITS, 66,273 S.F.
 SINGLE AND MULTI-FAMILY UNITS (CONDITIONED SPACE)
 TOTAL (CONDITIONED SPACE + PORCHES AND STORAGE) 65 UNITS, 77,449 S.F.

BUILDING HEIGHT ALLOWABLE: 3 STORIES MAXIMUM
 PROPOSED MULTI-FAMILY: 3 STORIES

FLOOR AREA RATIO OF SITE: 0.175
 SINGLE AND MULTI-FAMILY UNITS
 PROPOSED LANDSCAPE SURFACE RATIO: 0.48
 MINIMUM LANDSCAPE SURFACE RATIO: 0.20

RESIDENTIAL DENSITY: 5.5 DU/AC. EXISTING (44 DU ON 8.03 AC.)
 EXISTING GROSS DENSITY: 5.5 DU/AC. EXISTING (44 DU ON 8.03 AC.)
 PROPOSED GROSS DENSITY: PHASE 2: 9.04 DU/AC. PROPOSED (65 DU ON 7.19 AC.)
 PHASES 1-2: 12.90 DU/AC. PROPOSED (114 DU ON 8.84 AC.)

TREE CANOPY: NOT APPLICABLE
 PARKLAND DEDICATION: NOT APPLICABLE

OPEN SPACE: 0.36 AC.
 PHASE TWO OPEN SPACE REQ'D (5X OF 7.19 AC.)
 PHASE TWO OPEN SPACE PROPOSED: 0.55 AC.

NOTES:
 PROPERTY IS LOCATED ON MAP 78J AS PARCELS 1 AND A PORTION OF PARCEL 5 CONTAINING 8.84 ACRES.
 THE PROPERTY DOES NOT LIE WITHIN THE 100-YEAR FLOOD PLAIN AS INDICATED BY FIRM MAP NOS. 47187C019F AND 47187C0211F, DATED SEPTEMBER 29, 2006.

PHASING
 SINGLE PHASE DEVELOPMENT OF LOT 1 - SINGLE AND MULTI-FAMILY RESIDENCES
 BEGIN 2014 - COMPLETION ESTIMATE 2016

PARKING
 PARKING REQUIRED:
 ATTACHED DWELLING
 0-1BR: 1.50
 2BR: 2.50
 3+BR: 3.00
 DETACHED DWELLING:
 2/UNIT

TOTAL PARKING REQUIRED: 171 SPACES
 PARKING PROVIDED: 143 SPACES*

GENERAL NOTES

- BOUNDARY WAS TAKEN FROM A BOUNDARY & TOPOGRAPHIC SURVEY PREPARED BY LITTLEJOHN ENGINEERING ASSOCIATES, DATED 4-30-2010. ADJACENT PROPERTY INFORMATION WAS TAKEN FROM CITY OF FRANKLIN TOPOGRAPHICAL MAPS.
- PROPERTY IS SHOWN ON WILLIAMSON COUNTY TAX MAP 78J, GROUP D, PARCEL 1 AND TAX MAP 78J, GROUP D, A PORTION OF PARCEL 5, CONTAINING 8.84 ACRES.
- THERE ARE NO HISTORICAL STRUCTURES ON THIS SITE AS IDENTIFIED BY THE NATIONAL REGISTRY OF HISTORIC PLACES.
- THIS PROPERTY DOES NOT LIE WITHIN THE 100 YEAR FLOOD PLANE AND IS DETERMINED TO BE IN ZONE "X" AS PER FEDERAL EMERGENCY MANAGEMENT AGENCY FIRM MAP NUMBER 47187C0192F, DATED SEPTEMBER 29, 2006 AND MAP NUMBER 47187C0211F, DATED SEPTEMBER 29, 2006.
- FROM THIS SITE:
 +/-1.2 MILES TO CITY POLICE DEPARTMENT
 109 2nd AVENUE SOUTH
 +/-0.7 MILES TO CITY OF FRANKLIN FIRE STATION NO. 1
 CORNER HWY. 96 WEST AND 11th AVE. NORTH
- THE PROPERTY IS LOCATED WITHIN THE CF30-3 CHARACTER OVERLAY DISTRICT.
- NO KNOWN MINERAL RIGHTS ARE IN PLACE REGARDING THE PROPERTY.

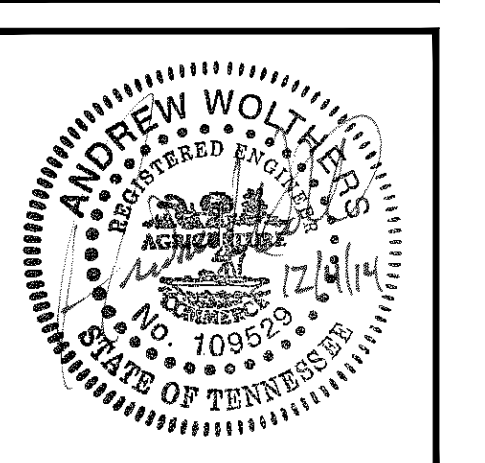
EXISTING TREES ON SITE

PT. NO.	SIZE/TYPE	HEALTH	PT. NO.	SIZE/TYPE	HEALTH
1	36" SYCAMORE	GOOD	17	36" SYCAMORE	GOOD
2	12" MAPLE	GOOD	18	24" SYCAMORE	GOOD
3	12" MAPLE	GOOD	19	32" ELM	GOOD
4	10" LOCUST	GOOD	20	30" MAPLE	GOOD
5	12" LOCUST	GOOD	21	16" OAK	GOOD
6	10" LOCUST	GOOD	22	14" MAPLE	GOOD
7	30" SYCAMORE	GOOD	23	18" SYCAMORE	GOOD
8	10" SYCAMORE	GOOD	24	24" MAPLE	GOOD
9	26" SUGAR MAPLE	GOOD	25	24" SYCAMORE	GOOD
10	16" OAK	GOOD	26	12" MAPLE	GOOD
11	14" MAPLE	GOOD	27	24" SYCAMORE	GOOD
12	16" OAK	GOOD	28	12" MAPLE	GOOD
13	18" OAK	GOOD	29	18" MAPLE	GOOD
14	16" OAK	GOOD	30	18" SYCAMORE	GOOD
15	18" OAK	GOOD	31	16" MAPLE	GOOD
16	8" QUAD SYCAMORE	GOOD	32	18" SYCAMORE	GOOD

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 PHASE 2
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FRANKLIN HOUSING AUTHORITY
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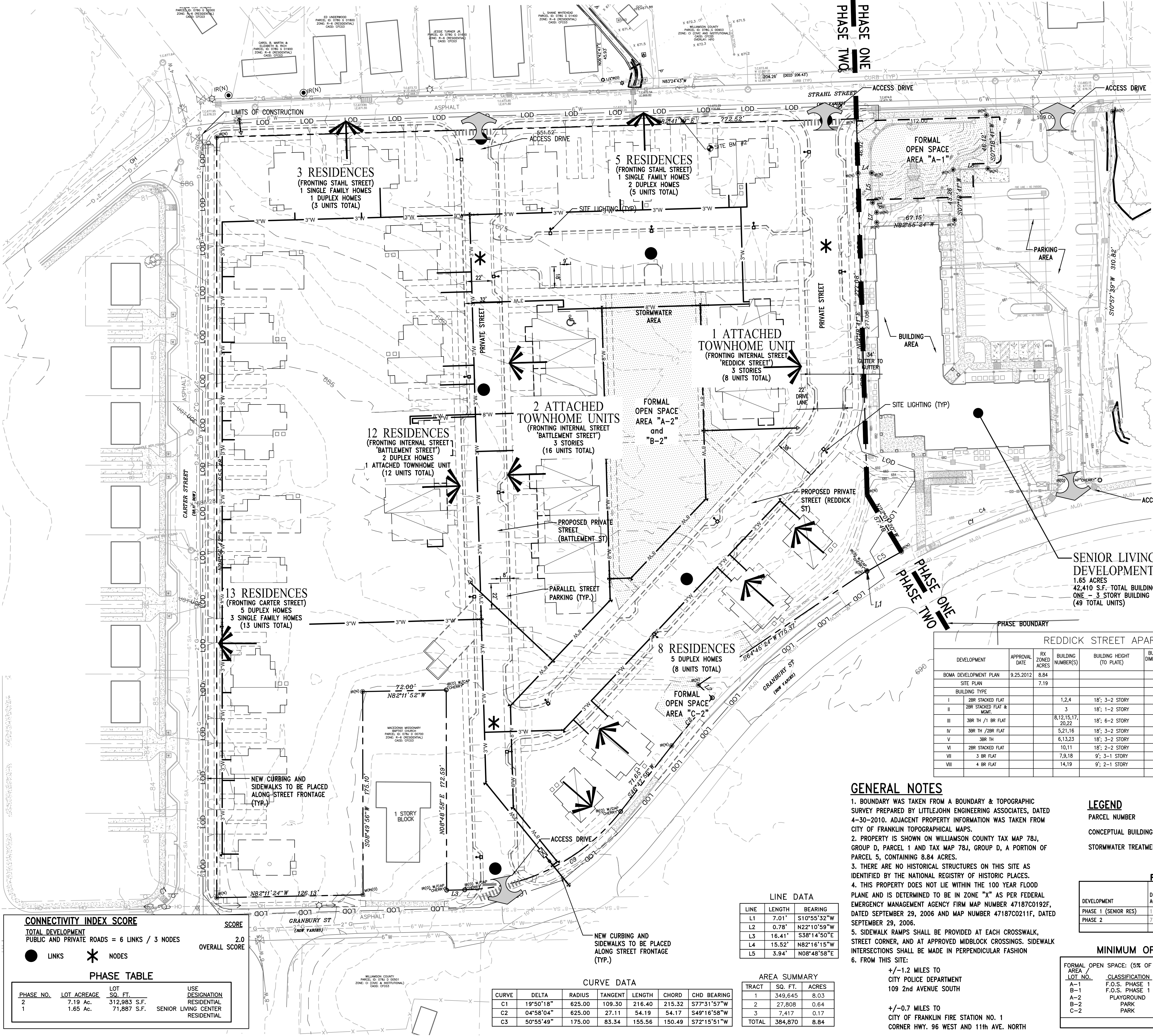
DATE	REVISIONS
12/4/14	PER CITY COMMENTS
2014-11-10	20100011

C2.0
 EXISTING CONDITIONS

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*MODIFICATION OF PARKING STANDARDS IS BEING REQUESTED AT (2.2 SP/UNIT)

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SITE DATA

PROJECT NAME: FRANKLIN HOUSING AUTHORITY - REDDICK STREET DEVELOPMENT PHASE 2, DEVELOPMENT PLAN
 PROJECT NUMBER: CITY OF FRANKLIN # 4711
 ADDRESS: 145 STRAHL ST., FRANKLIN, TENNESSEE 37212
 CITY: FRANKLIN
 COUNTY: WILLIAMSON
 STATE: TENNESSEE
 MAP, GROUP AND PARCEL NUMBERS: WILLIAMSON CO. TAX MAP 78J, GROUP D, PARCEL 1
 PLAT RECORDED 2011-02-22, DEED BOOK 5268, PAGE 838
 SPECIAL DISTRICT-RESIDENTIAL CF00-3
 EXISTING ZONING: RESIDENTIAL ATTACHED 312,983 S.F. OFFICE USE
 CHARACTER AREA OVERLAY: 7.19 AC. TRADITIONAL
 OTHER APPLICABLE OVERLAYS: 312,983 S.F. OFFICE USE
 APPLICABLE DEVELOPMENT STANDARD: MINIMUM REQUIRED SETBACK LINES: 10' BETWEEN BLDGS.
 ACRES OF SITE: 7.19 AC.
 SQUARE FOOTAGE OF SITE: 312,983 S.F.
 MINIMUM REQUIRED SETBACK LINES: 10' BETWEEN BLDGS.
 YARD FRONTING ON ANY STREET: 0'-20'
 SIDE YARD: 0'
 REAR YARD: 5'
 OWNERSHIP ENTITY: REDDICK STREET ASSOCIATES 1, LP
 OWNER: FRANKLIN HOUSING AUTHORITY
 DEVELOPER: THE MICHAELS ORGANIZATION
 ADDRESS: 100 SPRING STREET, FRANKLIN, TN 37065
 PHONE NO.: 615.794.1247
 FAX NO.: 615.794.9254
 E-MAIL ADDRESS: djackson@franklinhousingauthority.com
 CONTACT NAME: MR. DERWIN JACKSON, EXEC. DIRECTOR
 APPLICANT: LITTLEJOHN ENGINEERING ASSOCIATES
 ADDRESS: 1935 21st AVENUE SOUTH, NASHVILLE, TN 37212
 PHONE NO.: 615.385.4144
 FAX NO.: 615.385.4020
 E-MAIL ADDRESS: JBROUILLETTE@LEANC.COM
 CONTACT NAME: MR. JASON BROUILLETTE, ASLA
 BUILDING SQUARE FOOTAGE: 65 UNITS, 66,273 S.F.
 SINGLE AND MULTI-FAMILY UNITS (CONDITIONED SPACE): 65 UNITS, 77,449 S.F.
 TOTAL (CONDITIONED SPACE + PORCHES AND STORAGE): 65 UNITS, 77,449 S.F.
 BUILDING HEIGHT ALLOWABLE: 3 STORIES MAXIMUM
 PROPOSED MULTI-FAMILY: 3 STORIES
 FLOOR AREA RATIO OF SITE: 0.175
 SINGLE AND MULTI-FAMILY UNITS: 0.175
 PROPOSED LANDSCAPE SURFACE RATIO: 0.48
 MINIMUM LANDSCAPE SURFACE RATIO: 0.20
 RESIDENTIAL DENSITY: 5.5 DU/AC. EXISTING (44 DU ON 8.03 AC.)
 EXISTING GROSS DENSITY: Phase 2: 9.04 DU/AC. PROPOSED (65 DU ON 7.19 AC.)
 PROPOSED GROSS DENSITY: Phase 1-2: 12.90 DU/AC. PROPOSED (114 DU ON 8.84 AC.)
 TREE CANOPY: NOT APPLICABLE
 PARKLAND DEDICATION: NOT APPLICABLE
 OPEN SPACE: 0.36 AC.
 PHASE TWO OPEN SPACE REQ'D (5% OF 7.19 AC.): 0.36 AC.
 PHASE TWO OPEN SPACE PROPOSED: 0.55 AC.

NOTES:
 PROPERTY IS LOCATED ON MAP 78J AS PARCELS 1 AND A PORTION OF PARCEL 5 CONTAINING 8.84 ACRES.
 THE PROPERTY DOES NOT LIE WITHIN THE 100-YEAR FLOOD PLAIN AS INDICATED BY FIRM MAP NOS. 47187C019F AND 47187C021F, DATED SEPTEMBER 29, 2006.

PHASING
 SINGLE PHASE DEVELOPMENT OF LOT 1 - SINGLE AND MULTI-FAMILY RESIDENCES
 BEGIN 2014 - COMPLETION ESTIMATE 2016

PARKING
 ATTACHED DWELLING: 0-1BR: 1.50, 2BR: 2.50, 3+BR: 3.00
 DETACHED DWELLING: 2/UNIT
 TOTAL PARKING REQUIRED: 147 SPACES
 PARKING PROVIDED: 147 SPACES
 *MODIFICATION OF PARKING STANDARDS IS BEING REQUESTED AT (2.2 SP/UNIT)

REDDICK STREET APARTMENTS RESIDENTIAL LAND USE DATA

DEVELOPMENT	APPROVAL DATE	RX ZONED ACRES	BUILDING NUMBER(S)	BUILDING HEIGHT (TO PLATE)	BUILDING DIMENSIONS (FT)	GROSS BUILDING AREA (SQ FT)	SINGLE-FAM DWELLING UNITS	MULTI-FAM DWELLING UNITS	TOTAL DWELLING UNITS	LOT NUMBER OF OPEN SPACE LOTS	UNITS				REMAINING ACRES	REMAINING DWELLING UNITS	
											1BR	2BR	3BR	4BR			
BOMA DEVELOPMENT PLAN	9.25.2012	8.84					0	1	1	0	6	39	18	2	146	0	0
SITE PLAN		7.19					5	60	65	0	6	39	18	2	146	0	1
BUILDING TYPE																	
I	2BR STACKED FLAT		1,2,4	18'; 3-2 STORY	0X0	27,729		24	8 /BLDG		0	48	0	0	48		
II	2BR STACKED FLAT & MGMT.		3	18'; 1-2 STORY	0X0	10,823		8	1 /BLDG		0	8	0	0	16		
III	3BR TH /1 BR FLAT		8,12,15,17, 20,22	18'; 6-2 STORY	0X0	14,178		12	2 /BLDG		6	6	0	0	24		
IV	3BR TH /2BR FLAT		5,21,16	18'; 3-2 STORY	0X0	7,854		6	2 /BLDG		0	3	3	0	15		
V	3BR TH		6,13,23	18'; 3-2 STORY	0X0	9,192		6	2 /BLDG		0	6	0	0	18		
VI	2BR STACKED FLAT		10,11	18'; 2-2 STORY	0X0	4,312		4	2 /BLDG		0	4	0	0	8		
VII	3 BR FLAT		7,9,18	9'; 3-1 STORY	0X0	4,269	3	0	1 /BLDG		0	0	3	0	9		
VIII	4 BR FLAT		14,19	9'; 2-1 STORY	0X0	3,354	2	0	1 /BLDG		0	0	2	2	8		

GENERAL NOTES

- BOUNDARY WAS TAKEN FROM A BOUNDARY & TOPOGRAPHIC SURVEY PREPARED BY LITTLEJOHN ENGINEERING ASSOCIATES, DATED 4-30-2010. ADJACENT PROPERTY INFORMATION WAS TAKEN FROM CITY OF FRANKLIN TOPOGRAPHICAL MAPS.
- PROPERTY IS SHOWN ON WILLIAMSON COUNTY TAX MAP 78J, GROUP D, PARCEL 1 AND TAX MAP 78J, GROUP D, A PORTION OF PARCEL 5, CONTAINING 8.84 ACRES.
- THERE ARE NO HISTORICAL STRUCTURES ON THIS SITE AS IDENTIFIED BY THE NATIONAL REGISTRY OF HISTORIC PLACES.
- THIS PROPERTY DOES NOT LIE WITHIN THE 100 YEAR FLOOD PLANE AND IS DETERMINED TO BE IN ZONE "X" AS PER FEDERAL EMERGENCY MANAGEMENT AGENCY FIRM MAP NUMBER 47187C0192F, DATED SEPTEMBER 29, 2006 AND MAP NUMBER 47187C021F, DATED SEPTEMBER 29, 2006.
- SIDEWALK RAMPS SHALL BE PROVIDED AT EACH CROSSWALK, STREET CORNER, AND AT APPROVED MIDDLEBLOCK CROSSINGS. SIDEWALK INTERSECTIONS SHALL BE MADE IN PERPENDICULAR FASHION 6. FROM THIS SITE:
 +/-1.2 MILES TO CITY POLICE DEPARTMENT
 109 2nd AVENUE SOUTH
 +/-0.7 MILES TO CITY OF FRANKLIN FIRE STATION NO. 1
 CORNER HWY. 96 WEST AND 11th AVE. NORTH

LEGEND

- PARCEL NUMBER
- CONCEPTUAL BUILDING PLACEMENT
- STORMWATER TREATMENT AREAS
- FORMAL OPEN SPACE
- SPECIMEN TREES TO BE PRESERVED
- S.W.T.
- PROPOSED PARCEL ACCESS POINTS

OPEN SPACE TAKE DOWN CHART (ALL PHASES)
 FRANKLIN HOUSING AUTHORITY - REDDICK STREET DEVELOPMENT

DEVELOPMENT	DEVELOPABLE ACREAGE	MIN. REQ'D. ACRES INFORMAL	PROPOSED ACRES INFORMAL	MIN. REQ'D. ACRES FORMAL	PROPOSED ACRES FORMAL	MIN. REQ'D. ACRES TOTAL	PROPOSED OPEN SPACE TOTAL	REMAINING ACRES
PHASE 1 (SENIOR RES)	1.65 AC.	N/A	N/A	.08 AC. (5%)	.38 AC.	.08 AC.	.38 AC.	0 AC.
PHASE 2	7.19 AC.	N/A	N/A	.36 AC. (5%)	.54 AC.	.36 AC.	.55 AC.	0 AC.

MINIMUM OPEN SPACE REQUIREMENTS

FORMAL OPEN SPACE: (5% OF GROSS DEVELOPMENT AREA): 19,244 S.F. (0.44 AC.)

LOT NO.	CLASSIFICATION	TYPE	AREA OF OPEN SPACE	OPEN SPACE
A-1	F.O.S. PHASE 1	FORMAL	7715 S.F.	0.18 AC.
B-1	F.O.S. PHASE 1	FORMAL	8900 S.F.	0.20 AC.
A-2	PLAYGROUND	FORMAL	5500 S.F.	0.13 AC.
B-2	PARK	FORMAL	17250 S.F.	0.39 AC.
C-2	PARK	FORMAL	2500 S.F.	0.06 AC.
TOTAL PROVIDED			40,070 S.F.	0.96 AC.

CONNECTIVITY INDEX SCORE

TOTAL DEVELOPMENT PUBLIC AND PRIVATE ROADS = 6 LINKS / 3 NODES
 OVERALL SCORE: 2.0

PHASE TABLE

PHASE NO.	LOT ACREAGE	SQ. FT.	USE DESIGNATION
2	7.19 AC.	312,983 S.F.	RESIDENTIAL
1	1.65 AC.	71,887 S.F.	SENIOR LIVING CENTER RESIDENTIAL

CURVE DATA

CURVE	DELTA	RADIUS	TANGENT	LENGTH	CHORD	CHD BEARING
C1	19°50'18"	625.00	109.30	216.40	215.32	S77°31'57"W
C2	04°58'04"	625.00	27.11	54.19	54.17	S49°16'58"W
C3	50°55'49"	175.00	83.34	155.56	150.49	S72°15'51"W

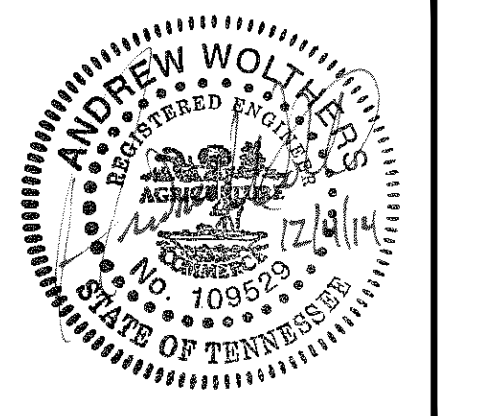
AREA SUMMARY

TRACT	SQ. FT.	ACRES
1	349,645	8.03
2	27,808	0.64
3	7,417	0.17
TOTAL	384,870	8.84



FRANKLIN HOUSING AUTHORITY
 REDDICK STREET DEVELOPMENT
 PHASE 2
 DEVELOPMENT PLAN

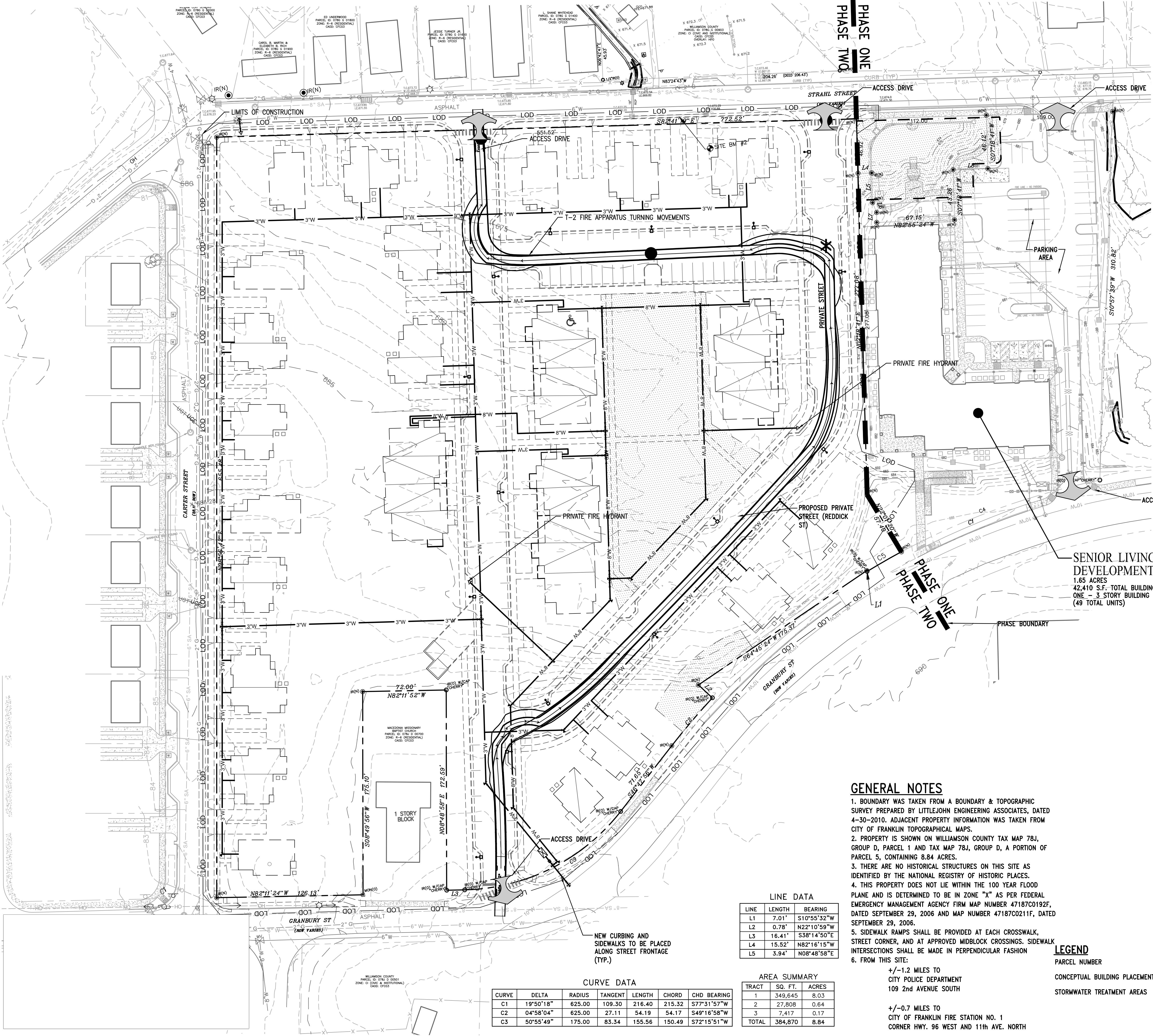
FRANKLIN HOUSING AUTHORITY
 100 Spring Street
 Franklin, TN 37064
 615-794-1247



DATE	REVISIONS
12/4/14	PER CITY COMMENTS
2014-11-10	20100011

C3.0
 SITE CONCEPT PLAN

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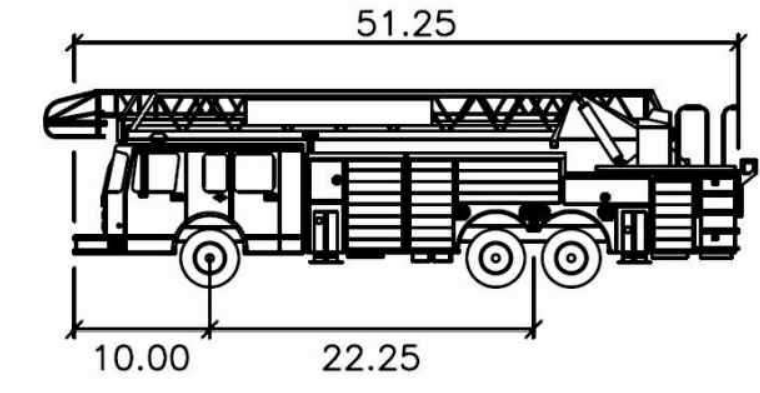
SITE DATA

PROJECT NAME: FRANKLIN HOUSING AUTHORITY - REDDICK STREET DEVELOPMENT PHASE 2, DEVELOPMENT PLAN
 PROJECT NUMBER: CITY OF FRANKLIN # 4711
 ADDRESS: 145 STRAHL ST.
 CITY: FRANKLIN
 COUNTY: WILLIAMSON
 STATE: TENNESSEE
 CIVIL DISTRICT: 9TH
 MAP, GROUP AND PARCEL NUMBERS: WILLIAMSON CO. TAX MAP 78J, GROUP D, PARCEL 1
 PLAT RECORDED 2011-02-22, DEED BOOK 5268, PAGE 838
 SPECIAL DISTRICT-RESIDENTIAL
 EXISTING ZONING: CF00-3
 CHARACTER AREA OVERLAY: TRADITIONAL
 OTHER APPLICABLE OVERLAYS: APPLICABLE DEVELOPMENT STANDARD:
 ACRES OF SITE: 7.19 AC. RESIDENTIAL ATTACHED 312,983 S.F.
 SQUARE FOOTAGE OF SITE: OFFICE USE
 MINIMUM REQUIRED SETBACK LINES: YARD FRONTING ON ANY STREET 0'-20'
 SIDE YARD 10' BETWEEN BLDGS. 0'
 REAR YARD 5'
 OWNERSHIP ENTITY: REDDICK STREET ASSOCIATES 1, LP
 OWNER: FRANKLIN HOUSING AUTHORITY
 DEVELOPER: THE MICHAELS ORGANIZATION
 ADDRESS: 100 SPRING STREET, FRANKLIN, TN 37065
 PHONE NO.: 615.794.1247
 FAX NO.: 615.794.9254
 E-MAIL ADDRESS: djackson@franklinhousingauthority.com
 CONTACT NAME: MR. DERWIN JACKSON, EXEC. DIRECTOR
 APPLICANT: LITTLEJOHN ENGINEERING ASSOCIATES
 ADDRESS: 1935 21st AVENUE SOUTH, NASHVILLE, TN 37212
 PHONE NO.: 615.385.4144
 FAX NO.: 615.385.4020
 E-MAIL ADDRESS: JBRUILLETTE@LEANC.COM
 CONTACT NAME: MR. JASON BROUILLETTE, ASLA
 BUILDING SQUARE FOOTAGE: SINGLE AND MULTI-FAMILY UNITS (CONDITIONED SPACE) 65 UNITS, 66,273 S.F.
 TOTAL (CONDITIONED SPACE + PORCHES AND STORAGE) 65 UNITS, 77,449 S.F.
 BUILDING HEIGHT ALLOWABLE: 3 STORIES MAXIMUM
 PROPOSED MULTI-FAMILY: 3 STORIES
 FLOOR AREA RATIO OF SITE: SINGLE AND MULTI-FAMILY UNITS 0.175
 PROPOSED LANDSCAPE SURFACE RATIO: 0.48
 MINIMUM LANDSCAPE SURFACE RATIO: 0.20
 RESIDENTIAL DENSITY: EXISTING GROSS DENSITY 5.5 DU/AC. EXISTING (44 DU ON 8.03 AC.)
 PROPOSED GROSS DENSITY Phase 2 : 9.04 DU/AC. PROPOSED (65 DU ON 7.19 AC.)
 Phases 1-2 : 12.90 DU/AC. PROPOSED (114 DU ON 8.84 AC.)
 TREE CANOPY: NOT APPLICABLE
 PARKLAND DEDICATION: NOT APPLICABLE
 OPEN SPACE: PHASE TWO OPEN SPACE REQ'D (5% OF 7.19 AC.) 0.36 AC.
 PHASE TWO OPEN SPACE PROPOSED 0.55 AC.

NOTES:
 PROPERTY IS LOCATED ON MAP 78J AS PARCELS 1 AND A PORTION OF PARCEL 5 CONTAINING 8.84 ACRES.
 THE PROPERTY DOES NOT LIE WITHIN THE 100-YEAR FLOOD PLAIN AS INDICATED BY FIRM MAP NOS. 47187C019F AND 47187C0211F, DATED SEPTEMBER 29, 2006.

PHASING
 SINGLE PHASE DEVELOPMENT OF LOT 1 - SINGLE AND MULTI-FAMILY RESIDENCES
 BEGIN 2014 - COMPLETION ESTIMATE 2016

PARKING
 PARKING REQUIRED:
 ATTACHED DWELLING
 0-1BR: 1.50
 2BR: 2.50
 3+BR: 3.00
 DETACHED DWELLING:
 2/UNIT
 TOTAL PARKING REQUIRED:
 PARKING PROVIDED:
 *MODIFICATION OF PARKING STANDARDS IS BEING REQUESTED AT (2.2 SP/UNIT)



T-2 SUTPHEN (Franklin)
 Width : 8.66 feet
 Track : 8.00 feet
 Lock to Lock Time : 6.0
 Steering Angle : 42.0

GENERAL NOTES

- BOUNDARY WAS TAKEN FROM A BOUNDARY & TOPOGRAPHIC SURVEY PREPARED BY LITTLEJOHN ENGINEERING ASSOCIATES, DATED 4-30-2010. ADJACENT PROPERTY INFORMATION WAS TAKEN FROM CITY OF FRANKLIN TOPOGRAPHICAL MAPS.
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- SIDEWALK RAMP SHALL BE PROVIDED AT EACH CROSSWALK, STREET CORNER, AND AT APPROVED MIDDLEBLOCK CROSSINGS. SIDEWALK INTERSECTIONS SHALL BE MADE IN PERPENDICULAR FASHION
- FROM THIS SITE:
 +/-1.2 MILES TO CITY POLICE DEPARTMENT
 109 2nd AVENUE SOUTH
 +/-0.7 MILES TO CITY OF FRANKLIN FIRE STATION NO. 1
 CORNER HWY. 96 WEST AND 11th AVE. NORTH

LINE DATA

LINE	LENGTH	BEARING
L1	7.01'	S10°55'32"W
L2	0.78'	N22°10'59"W
L3	16.41'	S38°14'50"E
L4	15.52'	N82°16'15"W
L5	3.94'	N08°48'58"E

CURVE DATA

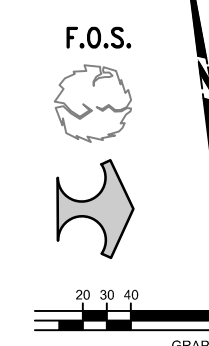
CURVE	DELTA	RADIUS	TANGENT	LENGTH	CHORD	CHD BEARING
C1	19°50'18"	625.00	109.30	216.40	215.32	S77°31'57"W
C2	04°58'04"	625.00	27.11	54.19	54.17	S49°16'58"W
C3	50°55'49"	175.00	83.34	155.56	150.49	S72°15'51"W

AREA SUMMARY

TRACT	SQ. FT.	ACRES
1	349,645	8.03
2	27,808	0.64
3	7,417	0.17
TOTAL	384,870	8.84

LEGEND
 PARCEL NUMBER
 CONCEPTUAL BUILDING PLACEMENT
 STORMWATER TREATMENT AREAS

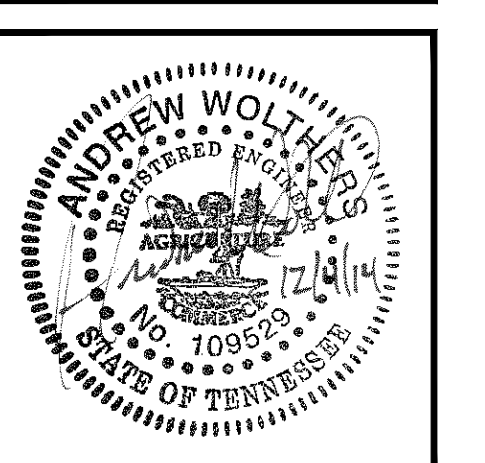
- FORMAL OPEN SPACE
- SPECIMEN TREES TO BE PRESERVED
- PROPOSED PARCEL ACCESS POINTS



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FRANKLIN HOUSING AUTHORITY
 REDDICK STREET DEVELOPMENT
 PHASE 2
 DEVELOPMENT PLAN

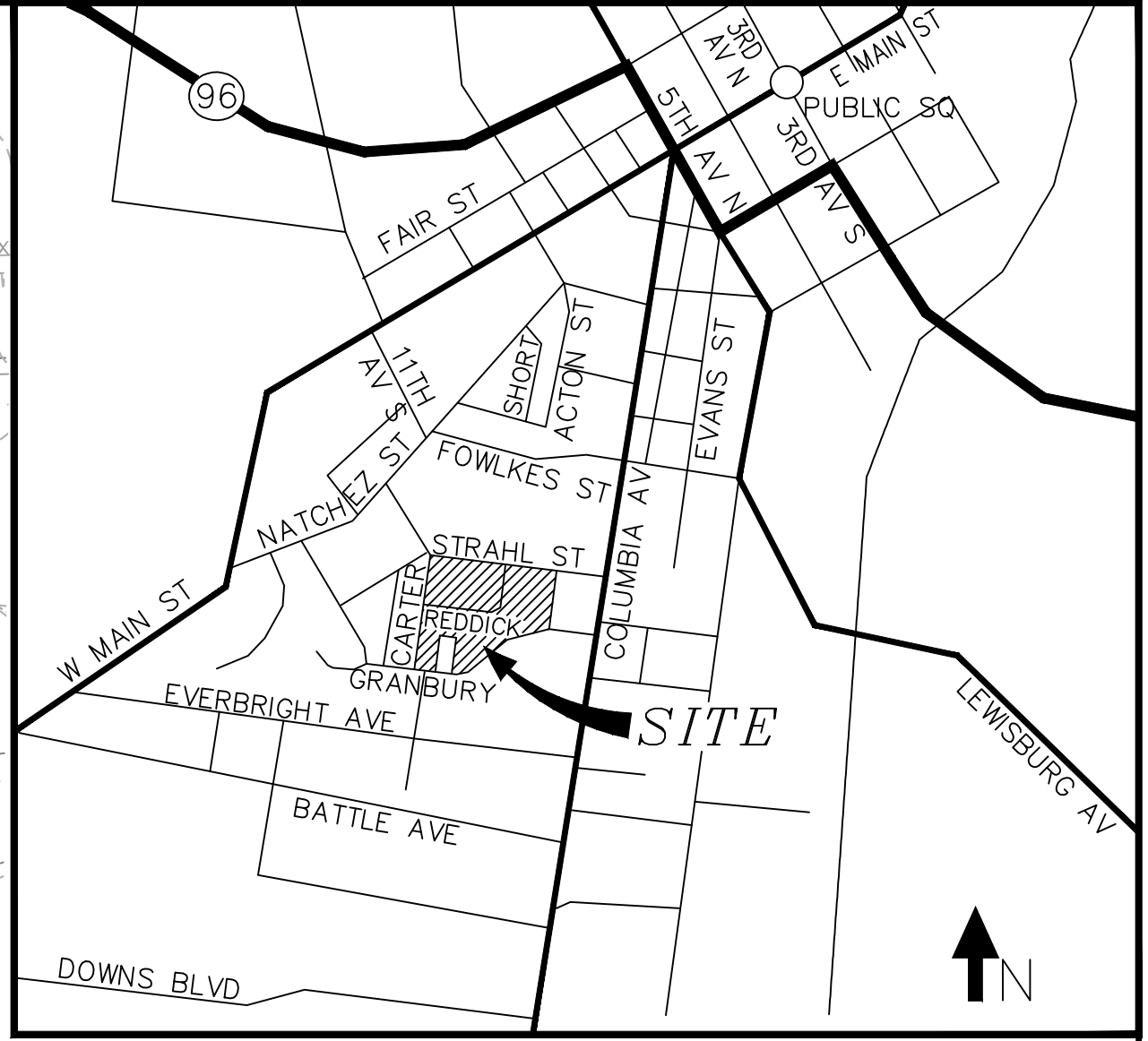
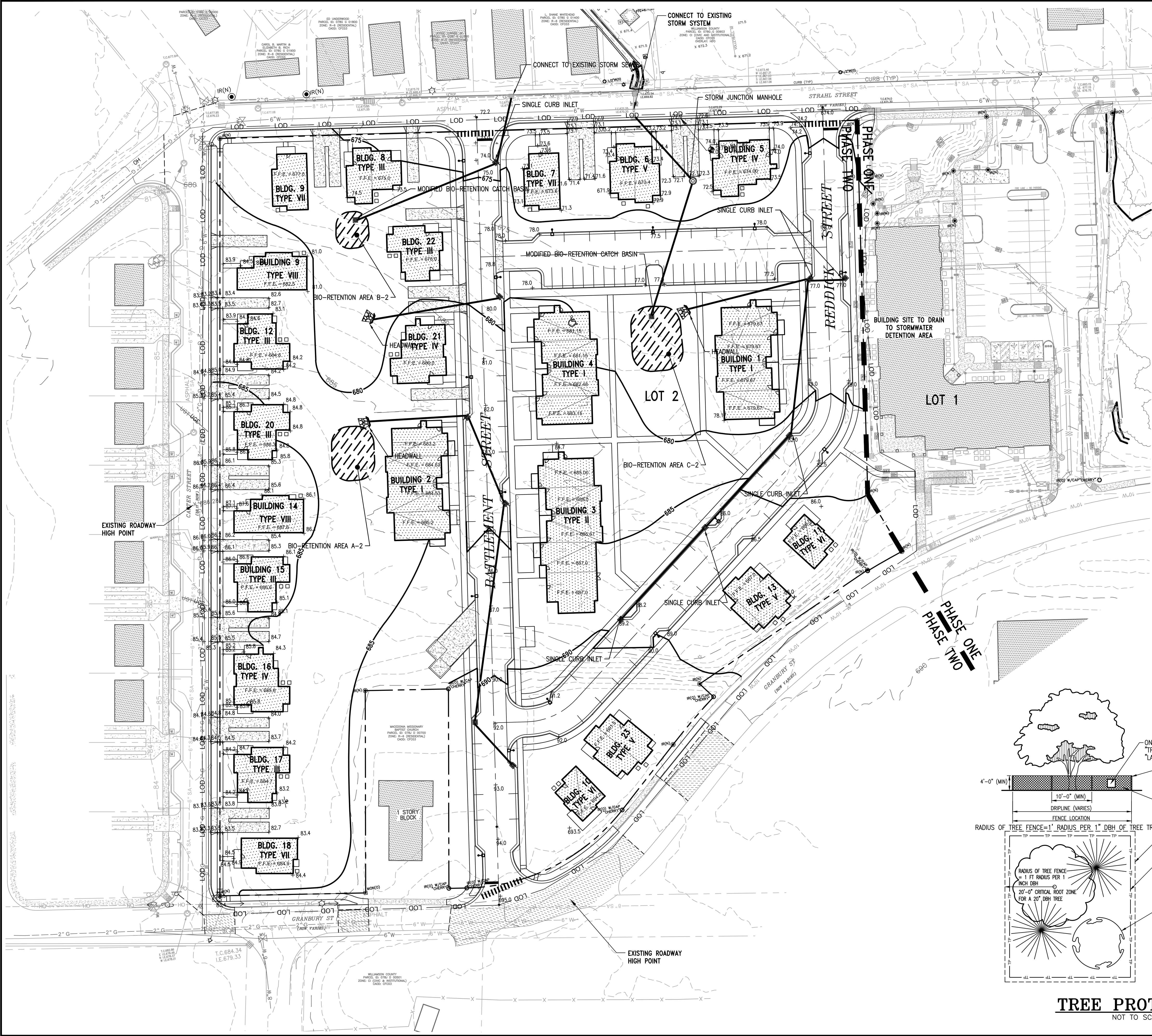
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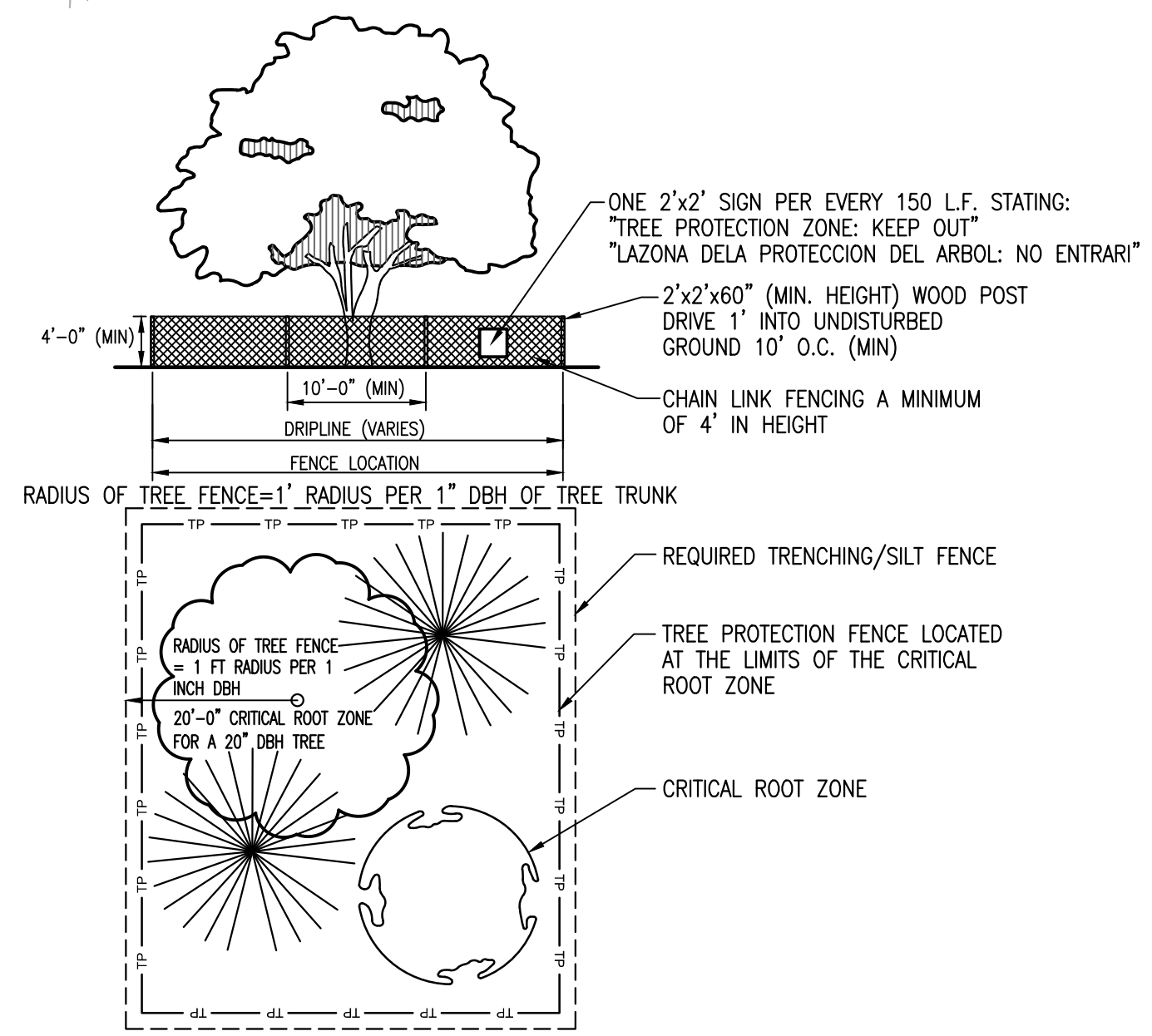
C3.1
 FIRE PROTECTION SITE PLAN

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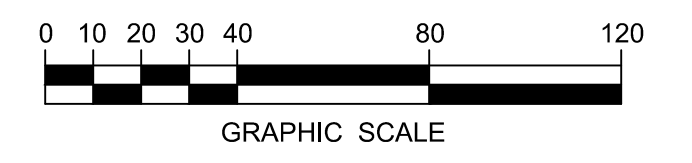


VICINITY MAP
SCALE: 1" = 1,000'

- LEGEND**
- EXISTING CONTOUR
 - PROPOSED CONTOUR
 - SPOT ELEVATION
 - PROPOSED STORM DRAINAGE
 - STORMWATER DETENTION AREA
 - WATER QUALITY AREA
 - TREE PROTECTION FENCE
 - EXISTING TREE



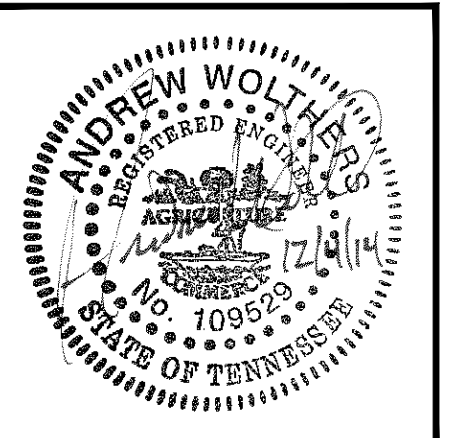
TREE PROTECTION
NOT TO SCALE



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FRANKLIN HOUSING AUTHORITY
REDDICK STREET DEVELOPMENT
PHASE 2
DEVELOPMENT PLAN

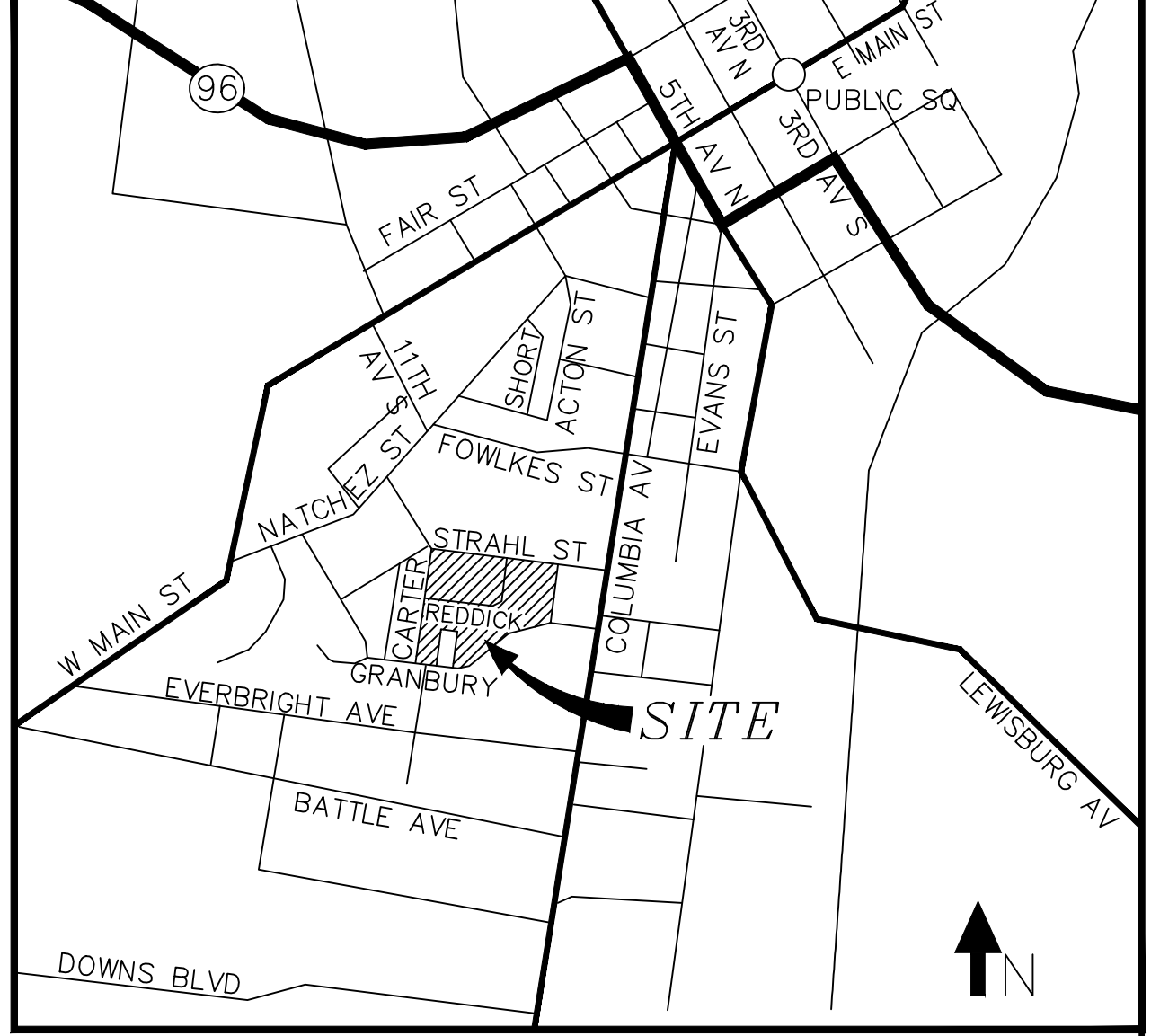
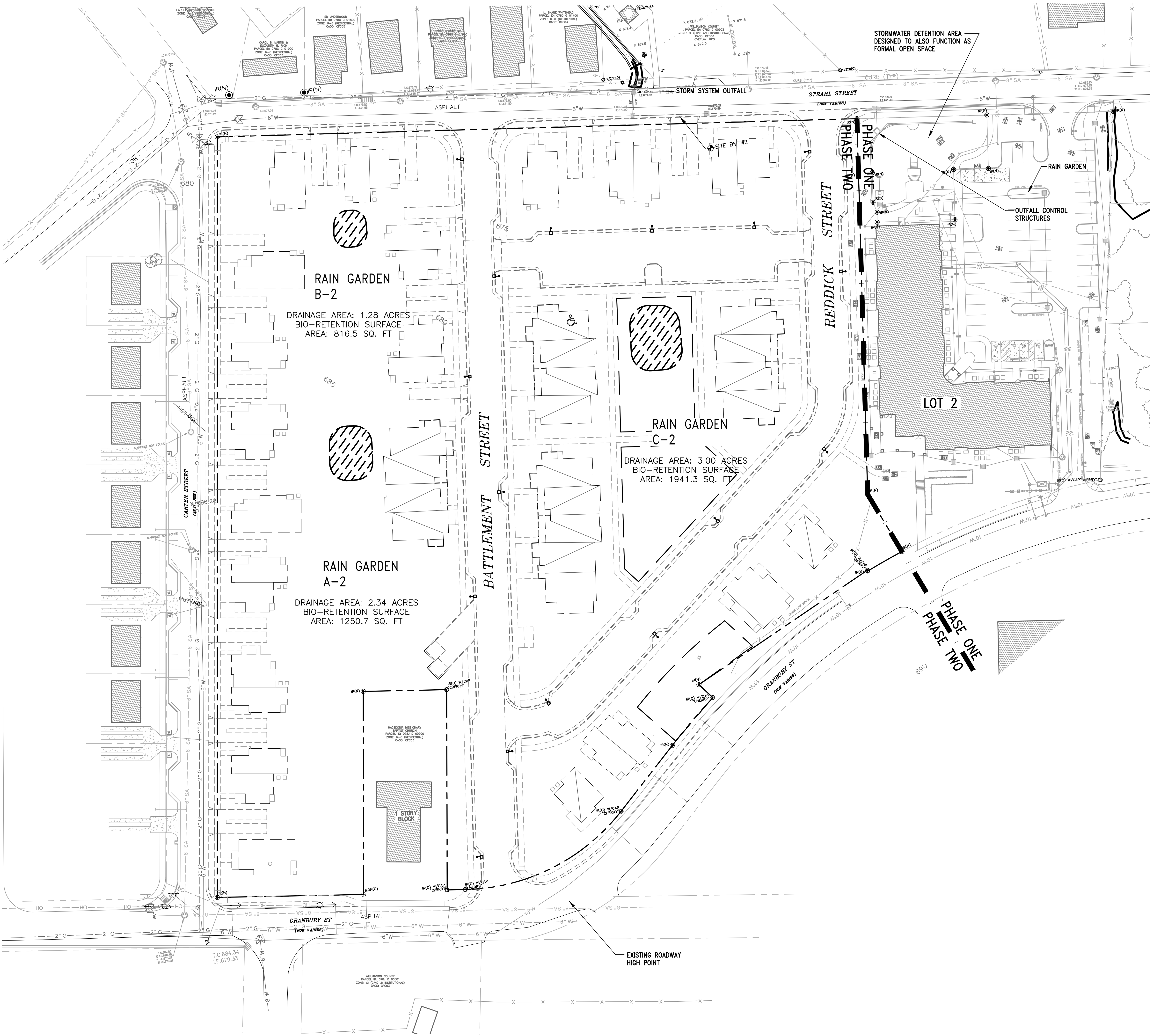
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615-794-1247



DATE	REVISIONS	PER CITY COMMENTS
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2014-11-10	20100011	

C4.0
SITE
CONCEPT
GRADING PLAN

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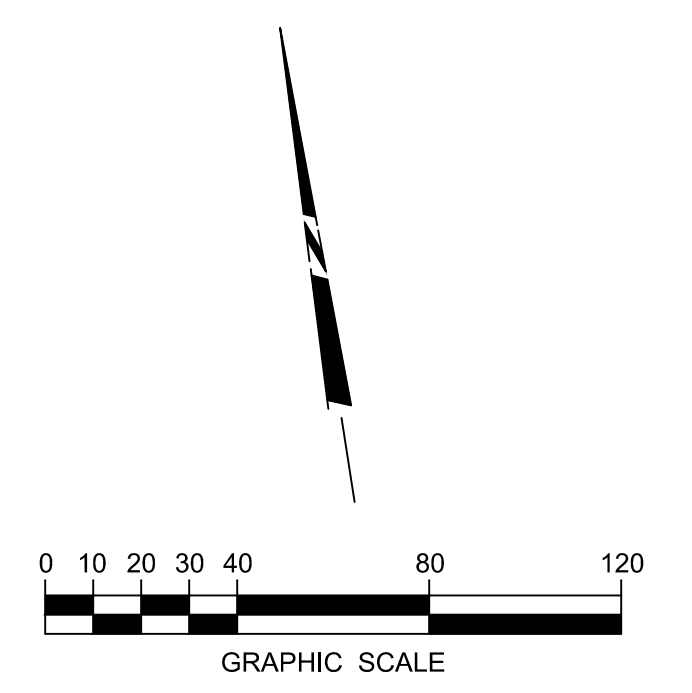
- LEGEND**
- - - EXISTING CONTOUR
 - 80 — PROPOSED CONTOUR
 - 76.5 SPOT ELEVATION
 - [Symbol] — PROPOSED STORM DRAINAGE
 - [Symbol] STORMWATER DETENTION AREA
 - [Symbol] WATER QUALITY AREA
 - TP — TREE PROTECTION FENCE
 - [Symbol] EXISTING TREE

NOTE:

STORMWATER TREATMENT TO BE DESIGNED TO ACHIEVE A MINIMUM RUNOFF REDUCTION OF 0.80 ORIGINAL VALUE.

DOWNSPOUT DISCONNECTION, REDUCTION OF IMPERVIOUS AREAS, AND BIO-RETENTION PONDS HAVE BEEN UTILIZED TO PROVIDE WATER QUALITY TREATMENT

PROPERTY AREA: 8.84 ACRES
DISTURBED AREA: 7.19 ACRES
IMPERVIOUS AREA: 2.81 ± ACRES

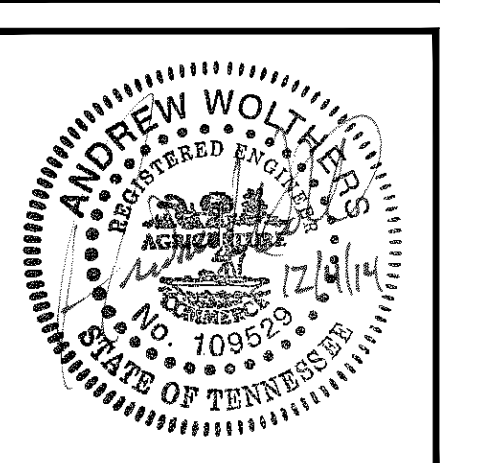


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REDDICK STREET DEVELOPMENT
PHASE 2
DEVELOPMENT PLAN

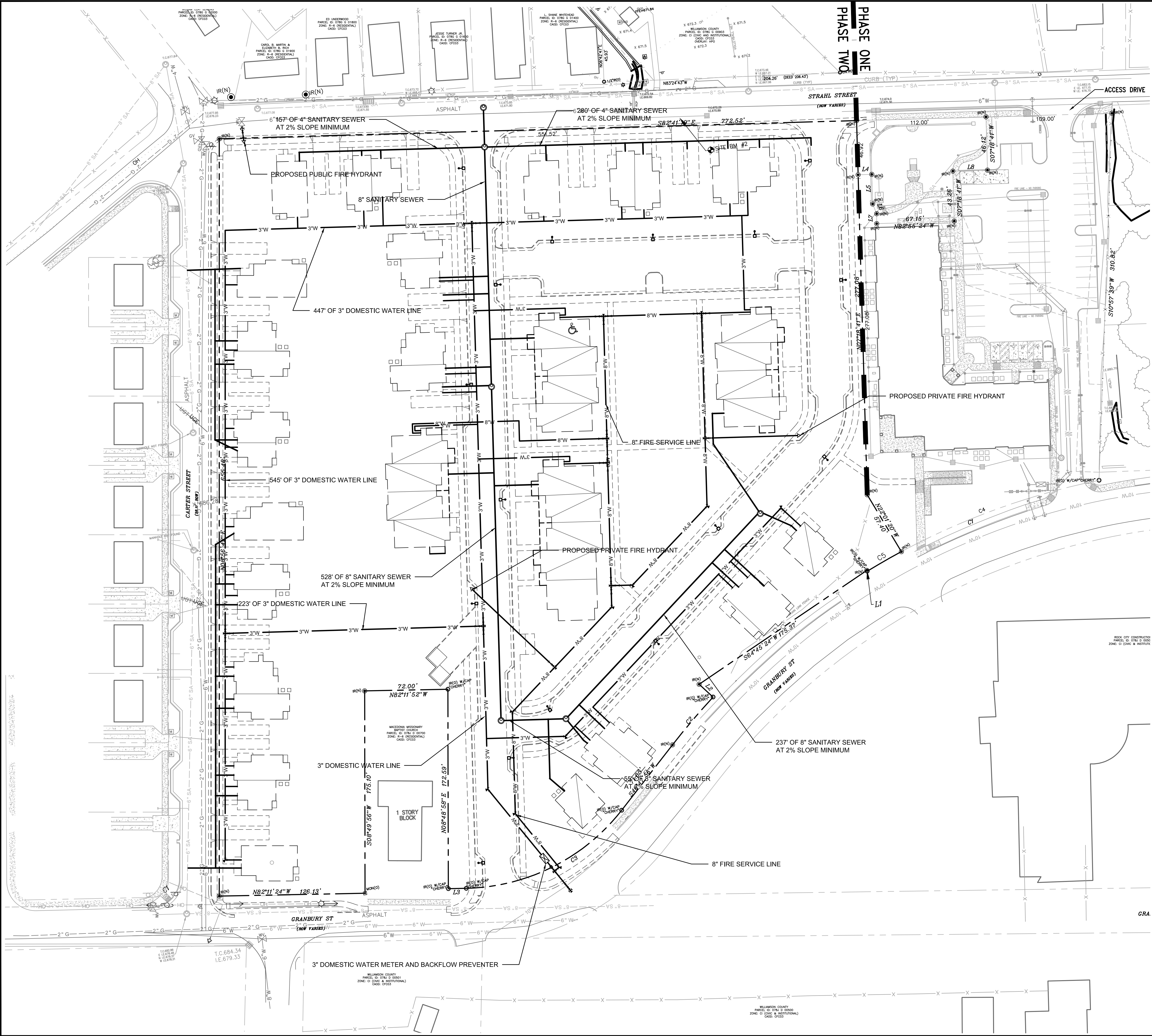
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DATE	REVISIONS
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2014-11-10	20100011

C5.0
CONCEPTUAL
STORMWATER
MANAGEMENT PLAN

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GENERAL NOTES

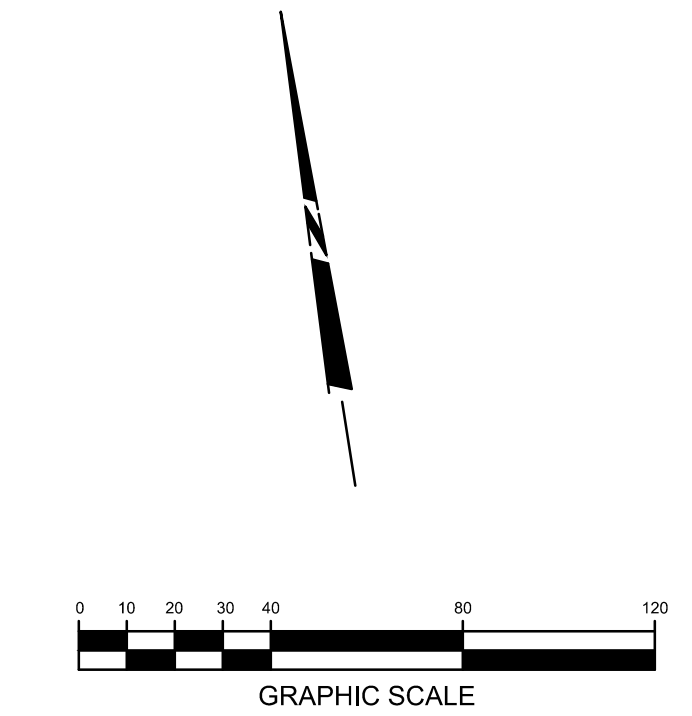
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4. THIS PROPERTY DOES NOT LIE WITHIN THE 100 YEAR FLOOD PLANE AND IS DETERMINED TO BE IN ZONE "X" AS PER FEDERAL EMERGENCY MANAGEMENT AGENCY FIRM MAP NUMBER 47187C0192F, DATED SEPTEMBER 29, 2006 AND MAP NUMBER 47187C0211F, DATED SEPTEMBER 29, 2006.
5. FROM THIS SITE:
 - +/-1.2 MILES TO CITY POLICE DEPARTMENT 109 2nd AVENUE SOUTH
 - +/-0.7 MILES TO CITY OF FRANKLIN FIRE STATION NO. 1 CORNER HWY. 96 WEST AND 11th AVE. NORTH

FIRE FLOW TEST RESULTS

MAIN SIZE: 10"
 STATIC PRESSURE: 77.5 PSI
 RESIDUAL PRESSURE: 65 PSI
 PITOT PRESSURE: 35.1 PSI
 FLOW: 992.7 GPM

PROPOSED UTILITIES LEGEND:

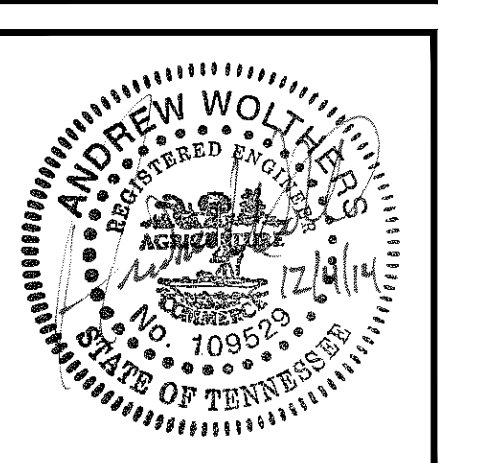
- SANITARY SEWER
- WATER LINE
- GAS LINE
- OXYGEN LINE
- UNDERGROUND ELECTRIC LINE
- UNDERGROUND TELECOMMUNICATIONS LINE



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FRANKLIN HOUSING AUTHORITY
 REDDICK STREET DEVELOPMENT
 PHASE 2
 DEVELOPMENT PLAN

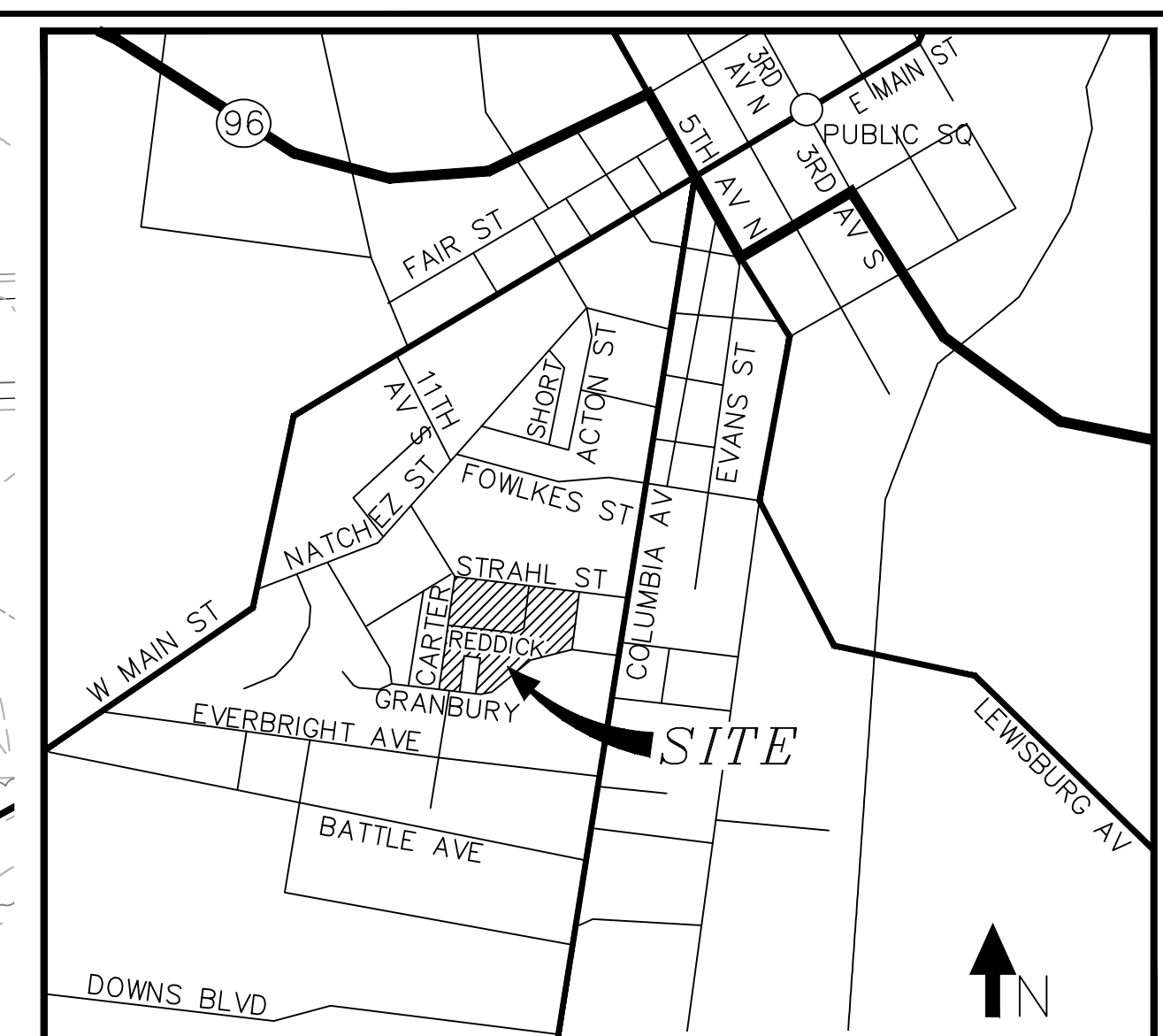
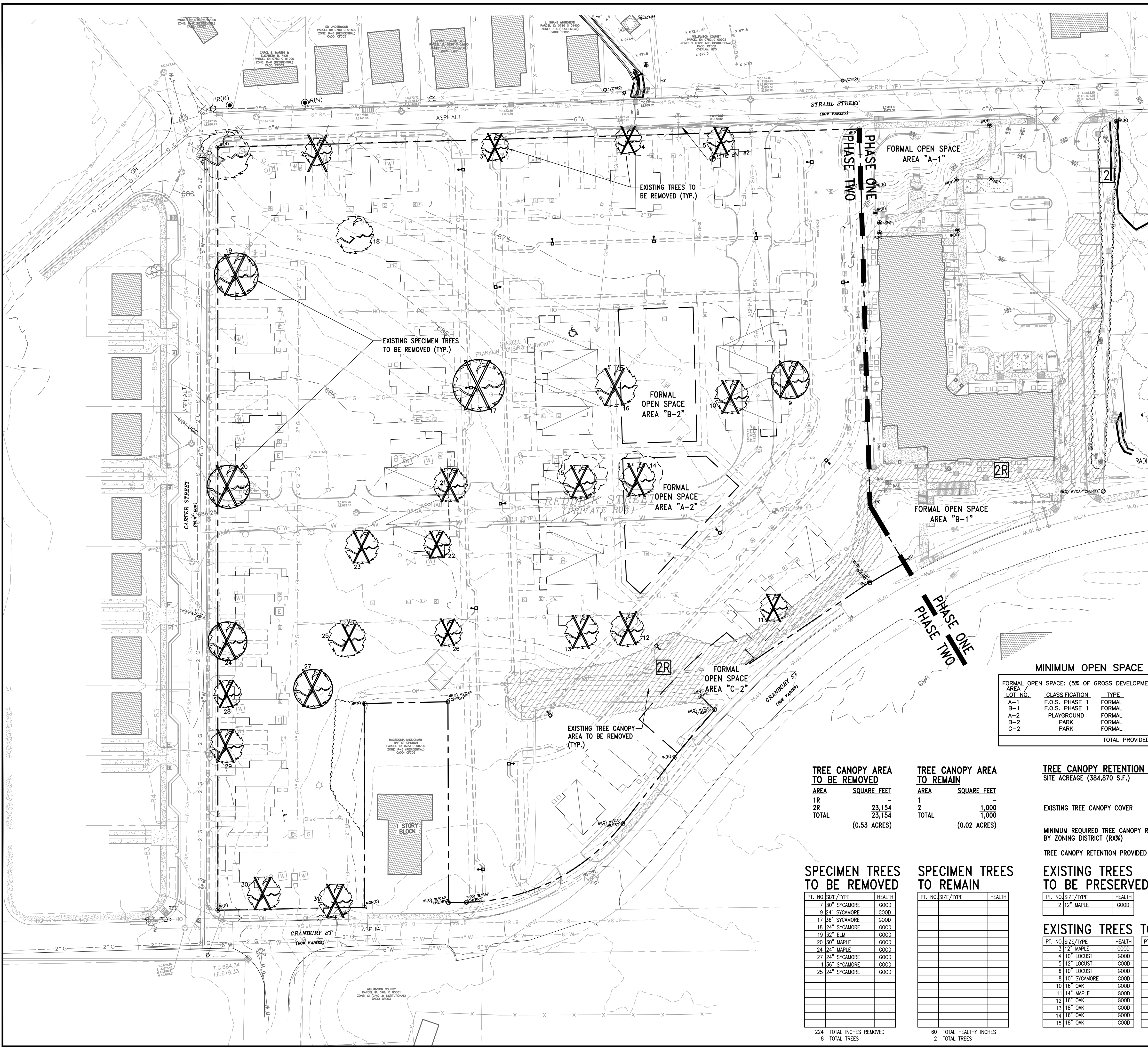
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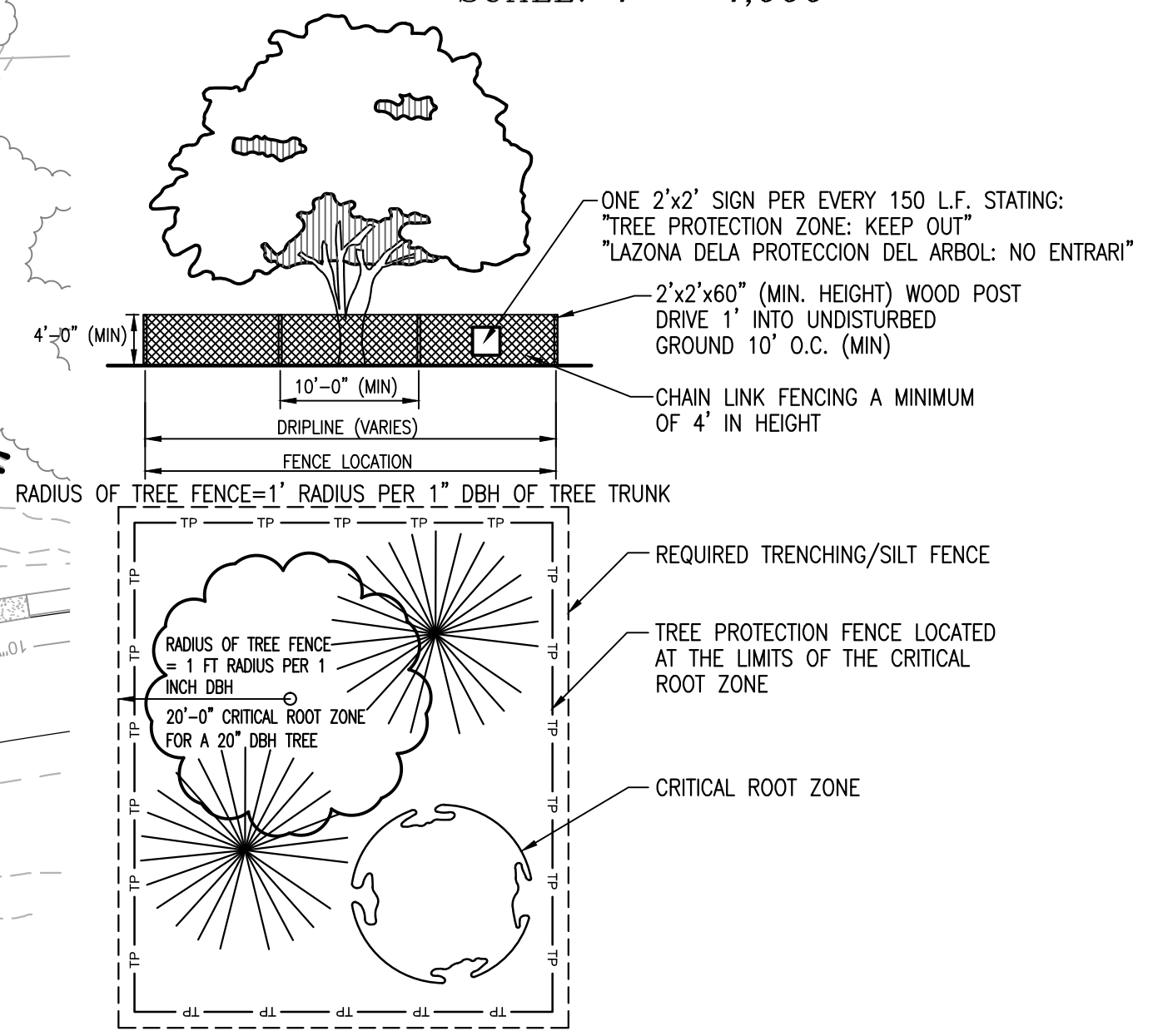
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C6.0
 SITE UTILITY PLAN

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VICINITY MAP
SCALE: 1" = 1,000'



TREE PROTECTION
NOT TO SCALE

MINIMUM OPEN SPACE REQUIREMENTS

FORMAL OPEN SPACE: (5% OF GROSS DEVELOPMENT AREA): 19,244 S.F. (0.44 Ac.)	AREA OF OPEN SPACE	ACREAGE OF OPEN SPACE
A-1	7715 S.F.	0.18 Ac.
B-1	8900 S.F.	0.20 Ac.
A-2	5500 S.F.	0.13 Ac.
B-2	17250 S.F.	0.39 Ac.
C-2	2500 S.F.	0.06 Ac.
TOTAL PROVIDED	40,070 S.F.	0.96 Ac.

TREE CANOPY RETENTION STANDARDS

SITE ACREAGE (384,870 S.F.) 8.84 Ac.

EXISTING TREE CANOPY COVER	AREA Ac.	PERCENTAGE TOTAL
	0.59	6.67%

MINIMUM REQUIRED TREE CANOPY RETENTION BY ZONING DISTRICT (RX%)	EXEMPT	PERCENTAGE
		0.0%

TREE CANOPY RETENTION PROVIDED	0.02	±3.4%
--------------------------------	------	-------

EXISTING TREES TO BE PRESERVED

PT. NO.	SIZE/TYPE	HEALTH
2	12" MAPLE	GOOD

EXISTING TREES TO BE REMOVED

PT. NO.	SIZE/TYPE	HEALTH
3	12" MAPLE	GOOD
4	10" LOCUST	GOOD
5	12" LOCUST	GOOD
6	10" LOCUST	GOOD
8	10" SYCAMORE	GOOD
10	16" OAK	GOOD
11	14" MAPLE	GOOD
12	16" OAK	GOOD
13	18" OAK	GOOD
14	16" OAK	GOOD
15	18" OAK	GOOD
16	18" SYCAMORE	GOOD
17	14" MAPLE	GOOD
18	18" SYCAMORE	GOOD
19	12" MAPLE	GOOD
20	12" MAPLE	GOOD
21	15" MAPLE	GOOD
22	14" MAPLE	GOOD
23	18" SYCAMORE	GOOD
24	18" SYCAMORE	GOOD
25	24" SYCAMORE	GOOD
26	12" MAPLE	GOOD
27	12" MAPLE	GOOD
28	12" MAPLE	GOOD
29	15" MAPLE	GOOD
30	15" SYCAMORE	GOOD
31	16" MAPLE	GOOD
32	18" SYCAMORE	GOOD

TREE CANOPY AREA TO BE REMOVED

AREA	SQUARE FEET
1R	-
2R	23,154
TOTAL	23,154

(0.53 ACRES)

TREE CANOPY AREA TO REMAIN

AREA	SQUARE FEET
1	-
2	1,000
TOTAL	1,000

(0.02 ACRES)

SPECIMEN TREES TO BE REMOVED

PT. NO.	SIZE/TYPE	HEALTH
7	30" SYCAMORE	GOOD
9	24" SYCAMORE	GOOD
17	36" SYCAMORE	GOOD
18	24" SYCAMORE	GOOD
19	32" ELM	GOOD
20	30" MAPLE	GOOD
24	24" MAPLE	GOOD
27	24" SYCAMORE	GOOD
136	SYCAMORE	GOOD
25	24" SYCAMORE	GOOD

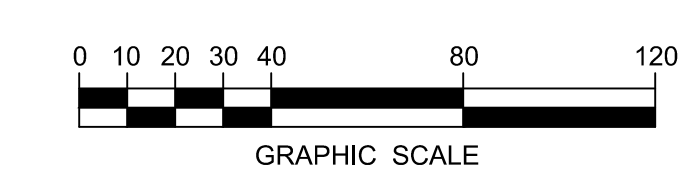
224 TOTAL INCHES REMOVED
8 TOTAL TREES

SPECIMEN TREES TO REMAIN

PT. NO.	SIZE/TYPE	HEALTH
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60 TOTAL HEALTHY INCHES
2 TOTAL TREES

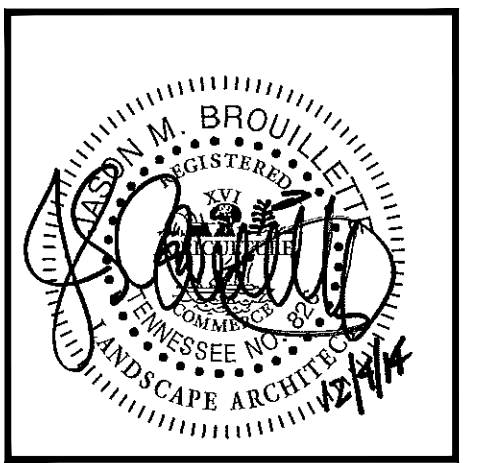
- LEGEND**
- PROPOSED TREE CANOPY LIMIT TO REMAIN
 - EXISTING TREE CANOPY
 - SPECIMEN TREE
 - SPECIMEN TREE TO BE REMOVED
 - TREE CANOPY TO BE REMOVED
 - TREE PROTECTION FENCE



Littlejohn
1935 21st Avenue South, NASHVILLE, TENNESSEE 37212
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FRANKLIN HOUSING AUTHORITY
REDDICK STREET DEVELOPMENT
PHASE 2
DEVELOPMENT PLAN

FRANKLIN HOUSING AUTHORITY
100 Spring Street
Franklin, TN 37064
615-794-1247



DATE	PER CITY COMMENTS
12/4/14	
DATE	REVISIONS
2014-11-10	20100011

L1.0
TREE CANOPY RETENTION PLAN