

# GATEWAY VILLAGE PUD SUBDIVISION

## SECTION 4 - LOT 137

### SITE PLANS - TOUCHSTONE MEDICAL IMAGING OFFICE HEADQUARTERS

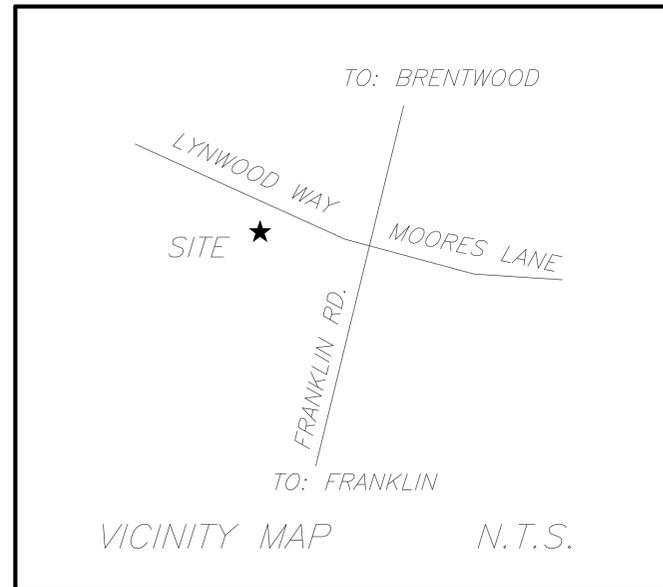


H. Michael Hindman  
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**CIVIL DESIGN CONSULTANTS, LLC**  
CIVIL ENGINEERS • LAND PLANNERS  
CIVIL-DESIGN-CONSULTANTS, LLC  
8170 COLEY DAVIS RD., NASHVILLE, TN 37221  
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### PLAN SHEET INDEX

SHEET	DESCRIPTION
CS	COVER SHEET
C0.0	EXISTING CONDITIONS PLAN
C1.0	PROPOSED LAYOUT PLAN
C2.0	PROPOSED GRADING DRAINAGE PLAN
C2.0A	PROPOSED UTILITY PLAN
C3.0	STORMWATER PLAN INITIAL
C3.0A	STORMWATER PLAN INTERMEDIATE/FINAL
E1.1	SITE PHOTOMETRIC PLAN
L1.0	LANDSCAPE PLAN
L1.1	LANDSCAPE PLAN
A1	ARCHITECTURE PLAN
A2	ARCHITECTURE PLAN

#### SITE DATA:

SUBDIVISION/DEVELOPMENT:	GATEWAY VILLAGE PUD SUBDIVISION DEVELOPMENT PLAN, REVISION 4, TOUCHSTONE OFFICE BUILDING
ADDRESS:	1360 MOHER BLVD.
CITY:	FRANKLIN
COUNTY:	WILLIAMSON
STATE:	TENNESSEE
PARCEL/MAP:	PARCEL 49 MAP 064B GROUP B
ACREAGE OF SITE:	1.45± ACRES
SQUARE FOOTAGE OF SITE:	63,245± S.F.
DISTURBED ACREAGE:	1.20± ACRES
CML DISTRICT:	3 RD
ZONING DISTRICT:	SD-X 6.64/144, 258
CHARACTER AREA:	BERRYS CHAPEL-4
DEVELOPMENT STANDARD:	TRADITIONAL
EXISTING USE:	VACANT
PROPOSED USE:	OFFICE
APPLICANT:	ARCHITECT MR. MICHAEL HINDMAN, A.I.A. H. MICHAEL HINDMAN ARCHITECTS, P.C. 1607 WESTGATE CIRCLE, SUITE 100 BRENTWOOD, TN 37027 (615) 370-3252
	ENGINEER MR. JARED R. GRAY, P.E. CIVIL DESIGN CONSULTANTS, LLC. 8170 COLEY DAVIS RD. NASHVILLE, TN 37221 (615) 638-8207
	LANDSCAPE ARCHITECT MR. CONNOR BALL, RLA HEIBERT + BALL LAND DESIGN 1894 GENERAL GEORGE PATTON DR. FRANKLIN, TN 37067 (615) 376-2421

BUILDING SQUARE FOOTAGE:	21,000 S.F. (MEDICAL OFFICE)
PARKING REQUIRED:	60 SPACES
PARKING PROVIDED:	60 SPACES
ALL 90° PARKING ADJACENT TO THE PROPOSED BUILDING SHALL BE 9'X18' UNLESS OTHERWISE NOTED	
ALL PERIMETER SPACES ARE 9'X16' UNLESS OTHERWISE NOTED ALL DRIVE AISLES ARE 24' WIDE	
ALL PARKING ADJACENT TO ISLANDS SHALL BE 10'X18'	
SEE LANDSCAPE ARCHITECTURE PLAN FOR ADDITIONAL LAND DISTURBANCE AND GREEN SPACE CALCULATIONS.	

CITY OF FRANKLIN IS NOT A PART OF TN. ONE CALL CONTRACTOR SHALL COORDINATE WITH CITY FOR MARKING OF CITY UTILITIES

UTILITY PROVIDERS:  
WATER - MVUD - 615-377-3374  
GAS- ATMOS ENERGY - 1-888-286-6700  
ELECTRIC- MTEMC - 1-877-777-9020  
PHONE -ATT- 1-877-986-1483  
SEWER-COF- 615-791-3218  
CITY OF FRANKLIN WATER  
MANAGEMENT DEPT.- 615-794-4554

**1360 MOHER BLVD**  
**CITY OF FRANKLIN PROJECT NUMBER 5740**  
**CITY OF FRANKLIN, WILLIAMSON COUNTY, TENNESSEE**

COF #5740

Revisions

HMH Job Number  
14035

Drawn By  
HMH

Date  
07.28.14

Drawing

COVER SHEET

CS

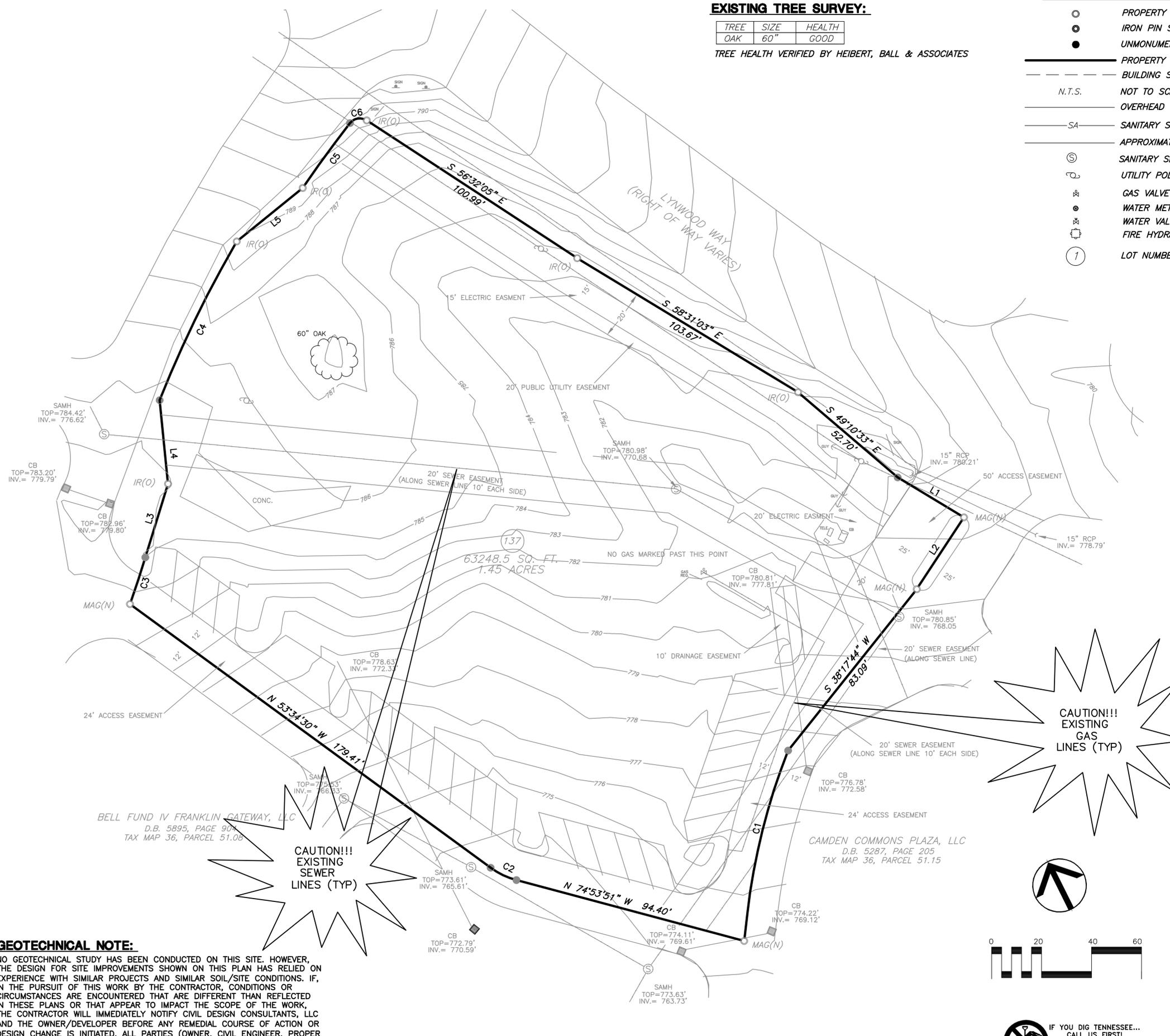
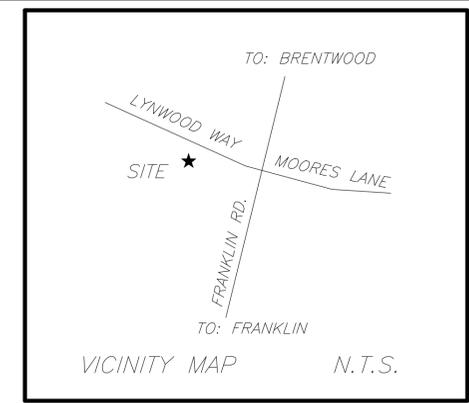
**EXISTING TREE SURVEY:**

TREE	SIZE	HEALTH
OAK	60"	GOOD

TREE HEALTH VERIFIED BY HEIBERT, BALL & ASSOCIATES

**LEGEND**

- PROPERTY CORNER FOUND
- IRON PIN SET
- UNMONUMENTED POINT
- PROPERTY LINE
- - - BUILDING SETBACK LINE
- N.T.S. NOT TO SCALE
- OVERHEAD UTILITY LINE
- SA SANITARY SEWER LINE GRAVITY
- APPROXIMATE GAS LINE AS MARKED
- ⊙ SANITARY SEWER MANHOLE
- ⊕ UTILITY POLE
- ⊕ GAS VALVE
- ⊕ WATER METER
- ⊕ WATER VALVE
- ⊕ FIRE HYDRANT
- ① LOT NUMBER



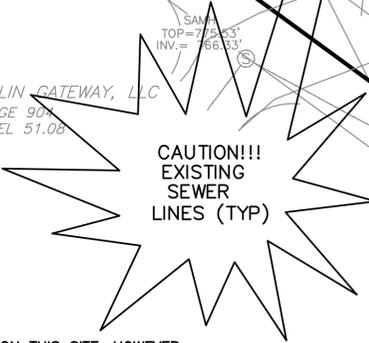
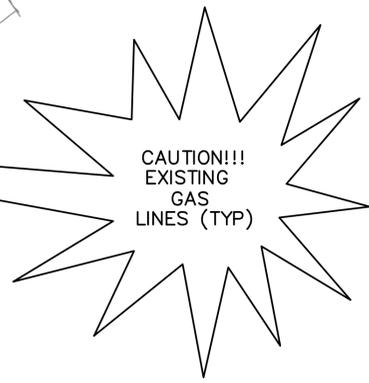
- NOTES:**
- BEARINGS SHOWN HEREON ARE BASED ON TSPC.
  - PARCEL NUMBERS PERTAIN TO WILLIAMSON COUNTY TAX MAPS.
  - PROPERTY IS ZONED "PC 6.93 SUBURBAN". (PER SURVEY BY SCOTT CHERRY DATED 2/20/2008.)
  - NO ABSTRACT OF TITLE PROVIDED TO SURVEYOR. THERE MAY EXIST OTHER EASEMENTS (WRITTEN OR UNWRITTEN) OR DOCUMENTS OF RECORD THAT COULD EFFECT THIS PROPERTY.
  - ALL ELEVATIONS SHOWN ARE BASED ON NAVD88.
  - UNDERGROUND UTILITY LOCATIONS WERE TAKEN FROM FIELD LOCATIONS AND/OR APPROPRIATE GOVERNING AGENCIES AND ARE APPROXIMATE ONLY. BROWN LAND SURVEYING, LLC. DOES NOT CERTIFY THE EXACT LOCATION OF UTILITIES OR THAT ALL THE UTILITIES PRESENT ARE SHOWN ON THE SURVEY. PRECISE LOCATION OF UNDERGROUND UTILITIES IS RECOMMENDED PRIOR TO ANY CONSTRUCTION ON THIS PROPERTY. CALL TN-ONE CALL.
  - THIS IS TO CERTIFY THAT I HAVE EXAMINED THE FLOOD INSURANCE RATE MAP AND FOUND THE HEREON DESCRIBED PROPERTY APPEARS TO BE LOCATED IN A SPECIAL FLOOD HAZARD AREA PER FEMA MAP NO. 4718700205F FOR WILLIAMSON COUNTY TENNESSEE UNINC. & INC. AREAS. DATED 9/29/2006.
  - PROPERTY IS SUBJECT TO EASEMENTS SHOWN ON RECORDED PLAT AND SURVEY PREPARED BY SCOTT CHERRY DATED 2/20/2008.

**EXISTING CONDITIONS NOTE:**

EXISTING CONDITIONS SHOWN ON THIS PLAN TAKEN FROM FIELD RUN SURVEY DATA COMPLETED BY BROWN LAND SURVEYING, INC. CIVIL DESIGN CONSULTANTS LLC, AND THIS ENGINEER, ASSUME NO LIABILITY AS TO THE COMPLETENESS OR ACCURACY OF WHAT IS SHOWN TO BE EXISTING. CONTRACTOR SHALL VERIFY IF NECESSARY ALL EXISTING CONDITIONS AND NOTIFY CIVIL ENGINEER IN THE EVENT THAT DISCREPANCIES EXIST.

**PURPOSE NOTE:**

THE PURPOSE OF THIS PLAN IS TO ALLOW FOR CONSTRUCTION OF A COMMERCIAL MEDICAL OFFICE DEVELOPMENT.



LINE	BEARING	DISTANCE
L1	S 58°43'02" E	31.03'
L2	S 33°03'13" W	34.63'
L3	N 17°00'51" E	31.08'
L4	N 05°40'40" W	33.96'
L5	N 50°41'39" E	34.12'

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	262.01'	67.72'	67.53'	S 13°57'36" W
C2	31.02'	11.54'	11.47'	N 64°14'32" W
C3	524.50'	19.86'	19.86'	N 18°01'06" E
C4	480.00'	71.24'	71.17'	N 25°41'41" E
C5	469.00'	32.33'	32.32'	N 35°49'17" E
C6	5.00'	7.47'	6.79'	N 80°40'23" E

**GEOTECHNICAL NOTE:**  
NO GEOTECHNICAL STUDY HAS BEEN CONDUCTED ON THIS SITE. HOWEVER, THE DESIGN FOR SITE IMPROVEMENTS SHOWN ON THIS PLAN HAS RELIED ON EXPERIENCE WITH SIMILAR PROJECTS AND SIMILAR SOIL/SITE CONDITIONS. IF, IN THE PURSUIT OF THIS WORK BY THE CONTRACTOR, CONDITIONS OR CIRCUMSTANCES ARE ENCOUNTERED THAT ARE DIFFERENT THAN REFLECTED IN THESE PLANS OR THAT APPEAR TO IMPACT THE SCOPE OF THE WORK, THE CONTRACTOR WILL IMMEDIATELY NOTIFY CIVIL DESIGN CONSULTANTS, LLC AND THE OWNER/DEVELOPER BEFORE ANY REMEDIAL COURSE OF ACTION OR DESIGN CHANGE IS INITIATED. ALL PARTIES (OWNER, CIVIL ENGINEER, PROPER GOVERNMENTAL AGENCIES, AND CONTRACTOR) MUST BE IN AGREEMENT AND THE MAGNITUDE OF THE COST/TIME REQUIRED FOR THE MEASURES ESTABLISHED.

THE CITY OF FRANKLIN IS NOT A PART OF TN ONE CALL. PLEASE CONTACT THE CITY DIRECTLY FOR LOCATION MARKINGS.



COF #5740

**C0.0**

Revisions

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EXISTING COND.



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OFFICE BUILDING FOR

Touchstone  
Medical  
Imaging

LYNWOOD WAY  
LOT 137 GATEWAY  
VILLAGE SECTION 3  
FRANKLIN, TENNESSEE

**LAYOUT NOTES**

- THE CONTRACTOR SHALL CHECK ALL FINISHED GRADES AND DIMENSIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE OR ENGINEER PRIOR TO BEGINNING WORK.
- THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR CONTRACTOR CAUSED DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
- THE CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES AND OBTAIN ALL PERMITS PRIOR TO BEGINNING WORK.
- PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY. INSTALL ALL UTILITIES PRIOR TO INSTALLATION OF PAVEMENT.
- ALL DAMAGE TO EXISTING ASPHALT PAVEMENT TO REMAIN, WHICH RESULTS FROM NEW CONSTRUCTION, SHALL BE REPLACED WITH LIKE MATERIALS AT CONTRACTOR'S EXPENSE.
- DIMENSIONS ARE TO THE EDGE OF ASPHALT UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND OVERHEAD ELECTRICAL WIRES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK, THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF THE ABOVE NOTED WIRES, THE ELECTRICAL COMPANY SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN.
- IN EASEMENTS AND RIGHTS-OF-WAY, CONTRACTOR SHALL PROTECT AND RESTORE SAID PROPERTY TO A CONDITION SIMILAR OR EQUAL TO THAT EXISTING AT THE COMMENCEMENT OF CONSTRUCTION EXCEPT AS NOTED.
- THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE "MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION" ISSUED BY AOC OF AMERICA, INC. AND THE "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION" ISSUED BY THE U.S. DEPARTMENT OF LABOR.

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COUNTY:	WILLIAMSON
STATE:	TENNESSEE
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SQUARE FOOTAGE OF SITE:	63,245± S.F.
NEW IMPERVIOUS AREA:	0.76± ACRES
DISTURBED ACREAGE:	1.20± ACRES
CIVIL DISTRICT:	3 RD
ZONING DISTRICT:	SD-X 6.64/144, 258
CHARACTER AREA:	BERRYS CHAPEL-4
DEVELOPMENT STANDARD:	TRADITIONAL
EXISTING USE:	VACANT
PROPOSED USE:	OFFICE
APPLICANT:	ARCHITECT MR. MICHAEL HINDMAN, A.I.A. H. MICHAEL HINDMAN ARCHITECTS, P.C. 1607 WESTGATE CIRCLE, SUITE 100 BRENTWOOD, TN 37027 (615) 370-3252
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**PAVEMENT LEGEND**

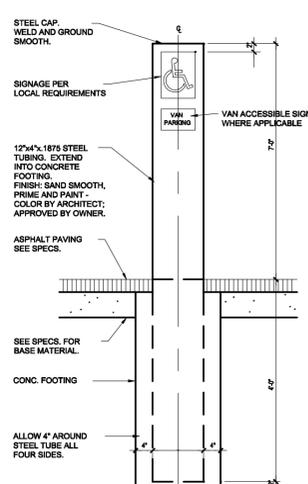
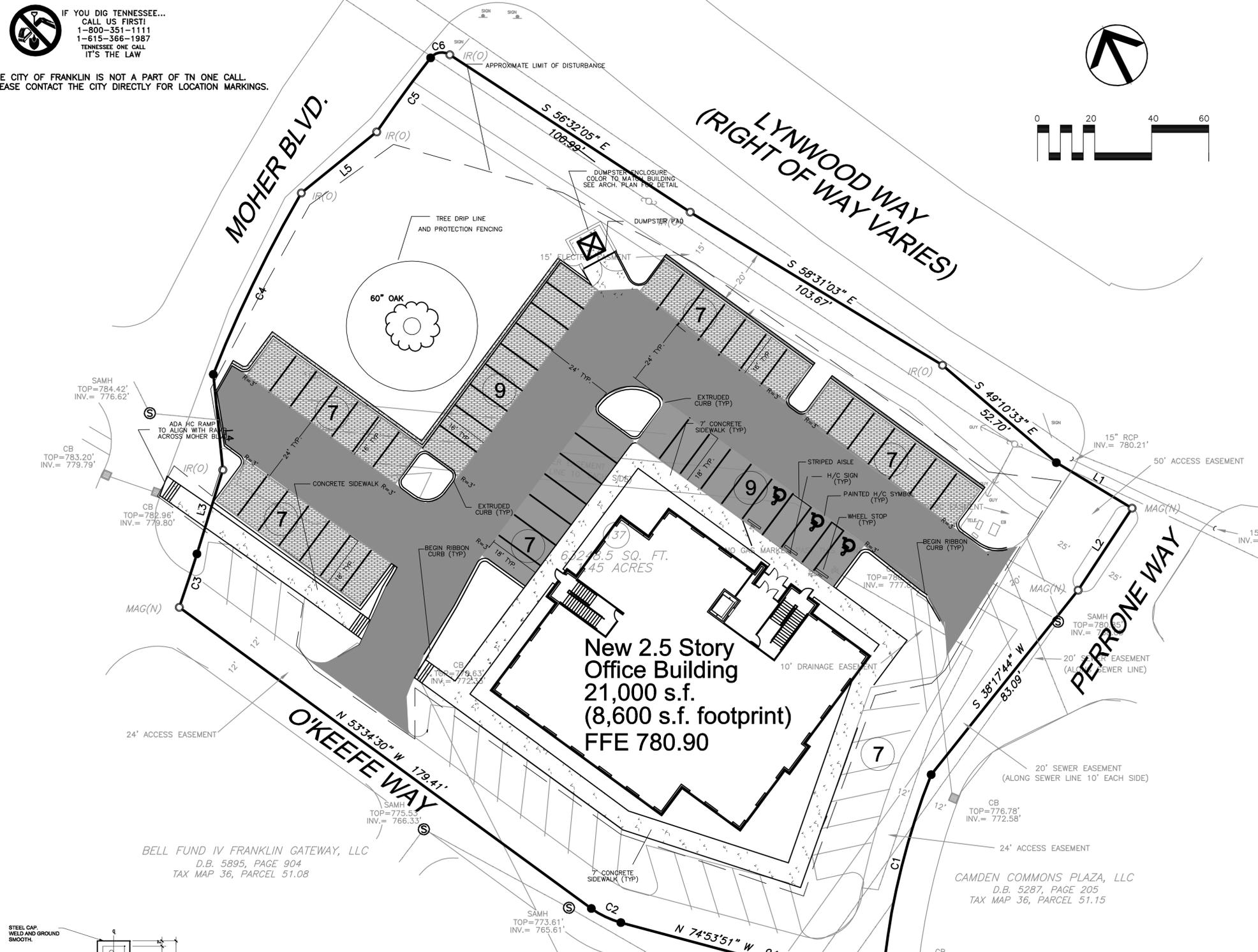
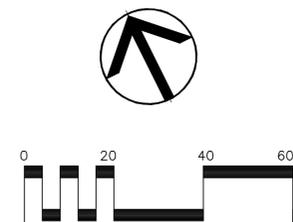
	HEAVY DUTY ASPHALT PAVEMENT
	LIGHT DUTY ASPHALT PAVEMENT
	CONCRETE PAVEMENT/FILTER STRIP
	CONCRETE WALK
	CONCRETE PAVERS

PARKING COUNT

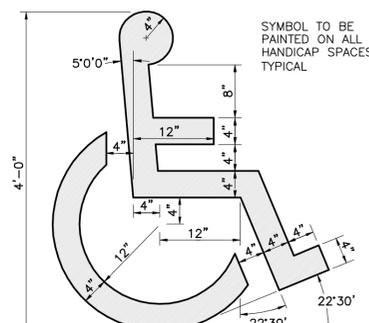
CIVIL DESIGN CONSULTANTS, LLC  
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8170 COLEY DAVIS RD., NASHVILLE, TN 37221  
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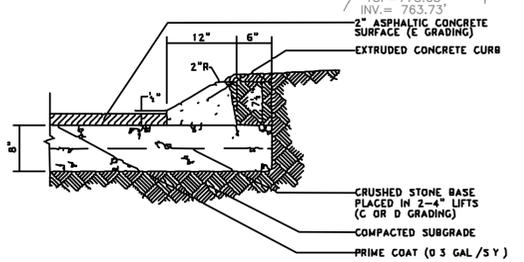
COF #5740



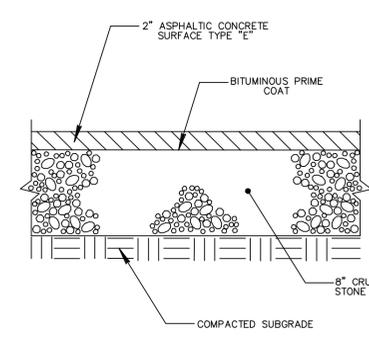
**EXTERIOR HANDICAP SIGN**  
NOT TO SCALE



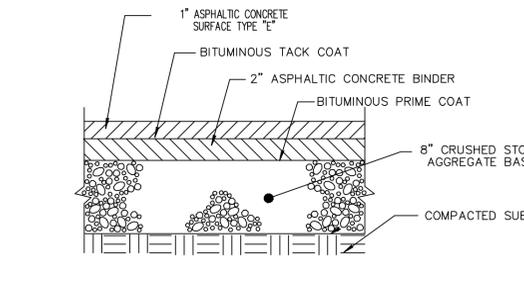
**PAINTED HANDICAP SYMBOL**  
NOT TO SCALE



**EXTRUDED CURB DETAIL**  
NOT TO SCALE



**LIGHT DUTY ASPHALT DETAIL**  
NOT TO SCALE



**HEAVY DUTY ASPHALT DETAIL**  
NOT TO SCALE

Revisions

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Drawing

LAYOUT PLAN

**C1.0**



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OFFICE BUILDING FOR  
**Touchstone Medical Imaging**

LYNWOOD WAY  
LOT 137 GATEWAY  
VILLAGE SECTION 3  
FRANKLIN, TENNESSEE

**GENERAL, GRADING AND DRAINAGE NOTES:**

- ALL GRADING AND DRAINAGE WORK AS SHOWN ON THIS PLAN WILL BE DONE IN STRICT ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE FRANKLIN ENGINEERING DEPARTMENT.
- THE NECESSARY PERMITS FOR THE WORK SHOWN ON THESE SITE DEVELOPMENT PLANS WILL BE OBTAINED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK ON THIS PROJECT. THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES AND OBTAIN ALL PERMITS AND PAY ALL FEES INVOLVED IN SECURING SAID PERMITS. HE SHALL ALSO COMPLY WITH ALL CITY AND STATE BUILDING LAWS, ORDINANCES AND REGULATIONS RELATING TO THE CONSTRUCTION OF THE PROJECT.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO AVOID DAMAGE TO ALL EXISTING UTILITIES TO REMAIN DURING CONSTRUCTION. IF DAMAGE DOES OCCUR TO ANY SUCH EXISTING INSTALLATIONS, FULL REPAIR WILL BE THE COST OF THE CONTRACTOR AND BE ACCOMPLISHED AS PER THE CURRENT SPECIFICATIONS FOR SUCH WORK FOR THE RESPONSIBLE AGENCY.
- THE LOCATION OF EXISTING PIPING AND UNDERGROUND UTILITIES, SUCH AS WATER AND GAS LINES, ELECTRICAL AND TELEPHONE CONDUITS, ETC. AS SHOWN ON THIS PORTION OF THE PLANS HAVE BEEN DETERMINED FROM THE BEST INFORMATION PROVIDED, OR TAKEN FROM THE RECORDS AND DRAWINGS OF THE EXISTING UTILITIES; HOWEVER THE CIVIL ENGINEER DOES NOT ASSUME RESPONSIBILITY THAT, DURING CONSTRUCTION, THE POSSIBILITY OF UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED OR THAT ACTUAL LOCATION OF THOSE SHOWN MAY VARY SOMEWHAT FROM THE LOCATIONS DESIGNATED ON THIS PORTION OF THE PLANS. IN AREAS WHERE IT IS NECESSARY THAT EXACT LOCATIONS OF UNDERGROUND LINES BE KNOWN, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, FURNISH ALL LABOR AND TOOLS TO EITHER VERIFY AND SUBSTANTIATE OR DEFINITELY ESTABLISH THE LOCATION OF THE LINES.
- THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND ELECTRICAL/TELEPHONE WIRES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK, THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF THE ABOVE-NOTED WIRES, THE ELECTRIC OR TELEPHONE COMPANIES SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN. A THOROUGH EXAMINATION OF THE OVERHEAD WIRES IN THE PROJECT AREA SHOULD BE MADE BY THE CONTRACTOR PRIOR TO THE INITIATION OF CONSTRUCTION.
- ALL DELETERIOUS MATERIAL SHALL BE REMOVED AND DISPOSED OF OFF-SITE BY CONTRACTOR AS PER THE INSPECTION AND FINAL APPROVAL OF THE ENGINEER AND OWNER. ALL FILL MATERIAL TO BE USED FOR SITE GRADING WILL BE AN INORGANIC SOIL, FREE OF DEBRIS AND APPROVED BY THE ENGINEER AND OWNER.
- THE PLACING AND SPREADING OF ANY FILL MATERIAL IS TO BE STARTED AT THE LOWEST POINT AND BROUGHT UP IN HORIZONTAL LAYERS OF 8-INCH THICKNESS. SAID FILL MATERIAL IS TO BE SOIL AND ROCK ONLY, FREE OF SOD, ROOTS, FROZEN SOILS, OR ANY OTHER DECOMPOSABLE MATERIALS. THE RELATIVE COMPACTION OF EACH LAYER SHALL NOT BE LESS THAN 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D-698) IN ALL AREAS OF FILL, AND COMPACTION OF 95% OF SAME SPECIFICATION FOR MATERIALS USED IN THE UPPER 12 INCHES BENEATH PAVEMENT AND GRADE SLABS.
- THE CONTRACTOR IS TO CHECK AND VERIFY ALL MEASUREMENTS, LEVELS, ETC., BEFORE ORDERING MATERIALS AND PROCEEDING WITH THE WORK, AND IS TO BE RESPONSIBLE FOR THE SAME.
- SPOT ELEVATIONS SHOWN ARE TO TOP OF PAVEMENT OR FINISHED GRADE.
- ALL UNPAVED AREAS SHALL HAVE A MAXIMUM SLOPE OF 3:1 UNLESS OTHERWISE SPECIFIED OR REQUIRED IN SITE SPECIFIC AREAS. ALL SLOPES 3:1 OR GREATER SHALL HAVE REINFORCEMENT MATTING TO PROTECT AGAINST EROSION.

**MEMBRANE LINER NOTE:**

CONTRACTOR SHALL INSTALL AN IMPERMEABLE MEMBRANE LINER AGAINST ALL STRUCTURAL COMPONENTS ADJACENT TO RAIN GARDEN AREAS TO PROTECT STRUCTURE.

**WATER QUALITY BMP NOTE:**

WATER QUALITY BMP AREAS SHALL NOT BE CONSTRUCTED UNTIL BUILD OUT IS NEAR COMPLETION TO PREVENT CONSTRUCTION SEDIMENT FROM ENTERING WATER QUALITY BMP'S. WATER QUALITY AREAS SHOULD NOT BE USED AS SEDIMENTATION BASINS DURING CONSTRUCTION. INSTALLERS OF WATER QUALITY BMP'S SHOULD FOLLOW ALL INSTALLATION GUIDELINES AS SET FORTH IN THE CITY OF FRANKLIN BMP MANUAL LOCATED ON THE CITIES WEBSITE.

**DRAINAGE DATA**

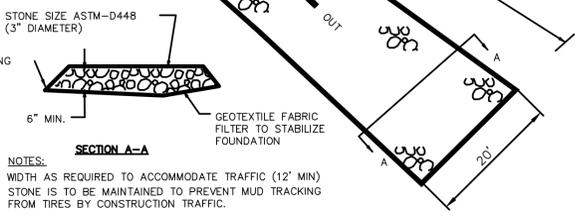
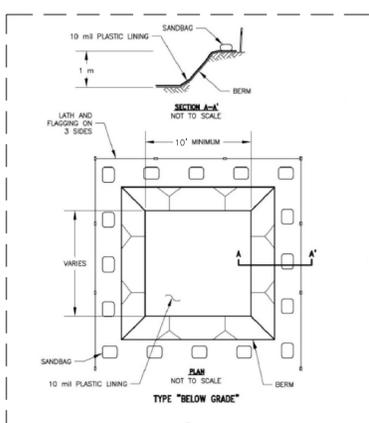
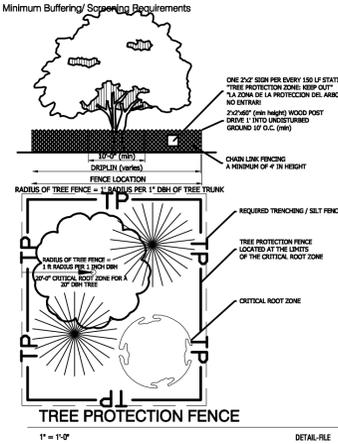
STRUCTURES					
NO.	TYPE**	CASTING*	ELEVATIONS		
			I.C.	IN F.L.	OUT F.L.
1	EXISTING	EXISTING	774.11	769.81	769.61
2	AREA DRAIN	3101	777.60	---	770.45
3	EXISTING	3101	780.81	778.31	777.81
4	AREA DRAIN	3101	779.40	---	778.01
5	EXISTING	EXISTING	778.63	772.53	772.33
6	AREA DRAIN	3101	778.30	---	774.57

PIPES			
LINE	SIZE * (inches)	LENGTH (feet)	SLOPE (%)
1-2	15	64	1.00
3-4	15	20	1.00
5-6	15	12	2.00

ALL PIPES SHALL BE RCP

ALL CASTINGS SHALL BE JOHN BOUCHARD AND SONS OR EQUIVALENT

**5.2.7 Tree Protection During Construction**  
(1) Owner's Responsibility  
During development, the owner or developer shall be responsible for the erection of all barriers necessary to protect any existing or installed trees from damage both during and after construction in accordance with the standards of this subsection.  
(2) Tree Protection Fencing  
(a) Where Required  
All specimen trees, trees in a Tree Protection Zone, and trees intended for use as credit towards the landscaping standards of this chapter shall be fenced in accordance with this subsection before grading or other land disturbing activity begins at least one foot in distance from the edge of the tree for each inch of DBH, so that each tree's dripline is protected, but no less than ten feet from the trunk. The Codes Department shall consider existing site conditions in determining the exact location of any tree protection fencing.  
(b) Type of Fencing  
All fencing required by this subsection shall be chain link fencing at least four feet in height and secured using appropriate posts spaced not more than ten feet apart. Such chain link fencing is not required to be coated.  
(c) Signage  
Signs shall be installed on the tree protection fence visible on all sides of the fenced-in area at a rate of at least one sign for every 150 linear feet. The size of each sign must be a minimum of two feet by two feet tall and shall contain the following language in English and Spanish: "TREE PROTECTION ZONE: KEEP OUT."  
(d) Trenching Prior to Clearing Activities  
The removal of tree adjacent to tree save areas can cause inadvertent damage to the protected trees. Prior to clearing activities, trenches with a minimum depth of 12 inches shall be cut along the limits of the disturbance, so as to cut, rather than tear tree roots.  
(e) Inspection  
All tree protection measures shall be inspected and approved by the Codes Department prior to the start of any land disturbing activities. Failure to have tree protection measures prior to the commencement of construction is a violation of this ordinance.  
(f) When Required  
The tree protection fencing shall be clearly shown on the Site Plan. No construction, grading, equipment or material storage of any other activity shall be allowed within the fenced area except in accordance with the standards in Subsection 5.2.7 (3), Encroachments into Root Zones. Fencing shall be maintained until the land disturbance activities are complete.



**CONCRETE WASH DOWN AREA DETAIL**  
NOT TO SCALE

**TEMPORARY CONSTRUCTION ENTRANCE DETAIL**  
NOT TO SCALE



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CIVIL ENGINEERS - LAND PLANNERS  
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PHONE: (615) 219-2444 FAX: (615) 219-2444



COF #5740

Revisions

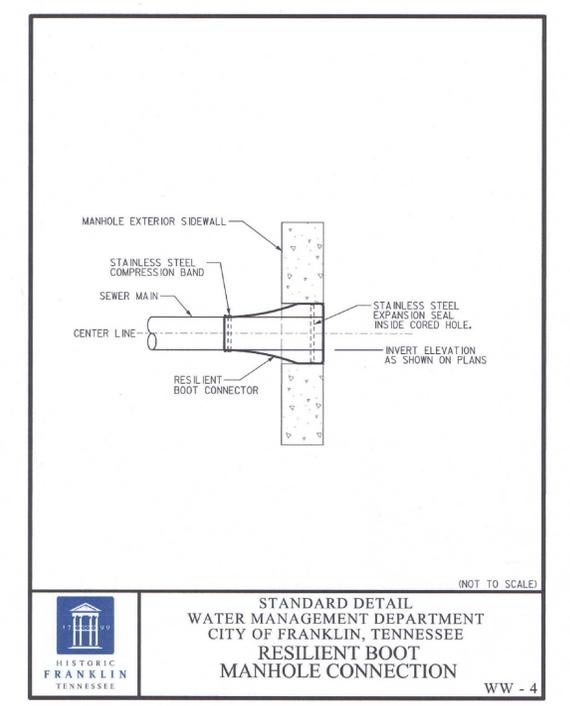
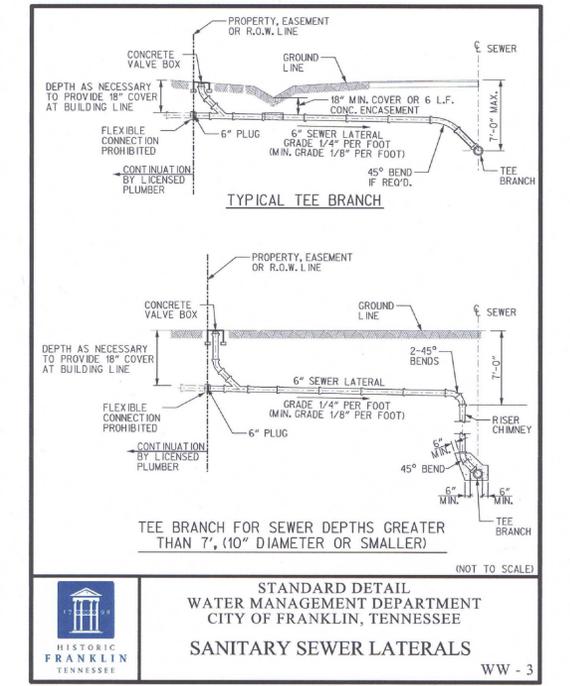
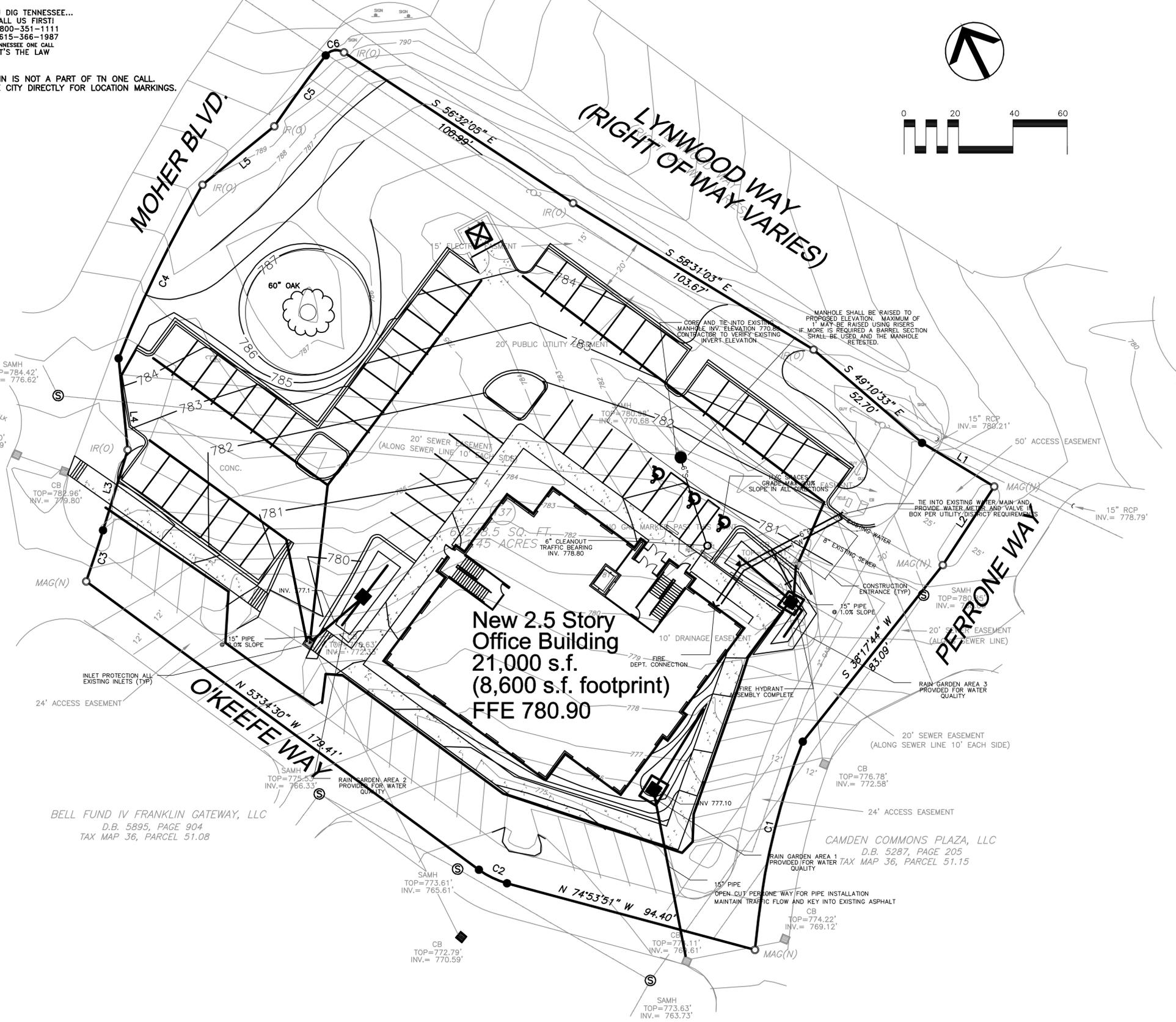
HMH Job Number  
**14035**  
Drawn By  
**HMH**  
Date  
**07.28.14**  
Drawing  
**GRADING/DRAINAGE**

**C2.0**



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H. Michael Hindman  
Architects, P.C.

1607 Westgate Circle - Suite 100  
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Imaging**

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LOT 137 GATEWAY  
VILLAGE SECTION 3  
FRANKLIN, TENNESSEE

**WATER QUALITY BMP NOTE:**

WATER QUALITY BMP AREAS SHALL NOT BE CONSTRUCTED UNTIL BUILD OUT IS NEAR COMPLETION TO PREVENT CONSTRUCTION SEDIMENT FROM ENTERING WATER QUALITY BMP'S. WATER QUALITY AREAS SHOULD NOT BE USED AS SEDIMENTATION BASINS DURING CONSTRUCTION. INSTALLERS OF WATER QUALITY BMP'S SHOULD FOLLOW ALL INSTALLATION GUIDELINES AS SET FORTH IN THE CITY OF FRANKLIN BMP MANUAL LOCATED ON THE CITIES WEBSITE.



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8110 COLLEY DAWS RD., NASHVILLE, TN 37221  
PHONE: (615) 319-2140 FAX: (615) 319-2141



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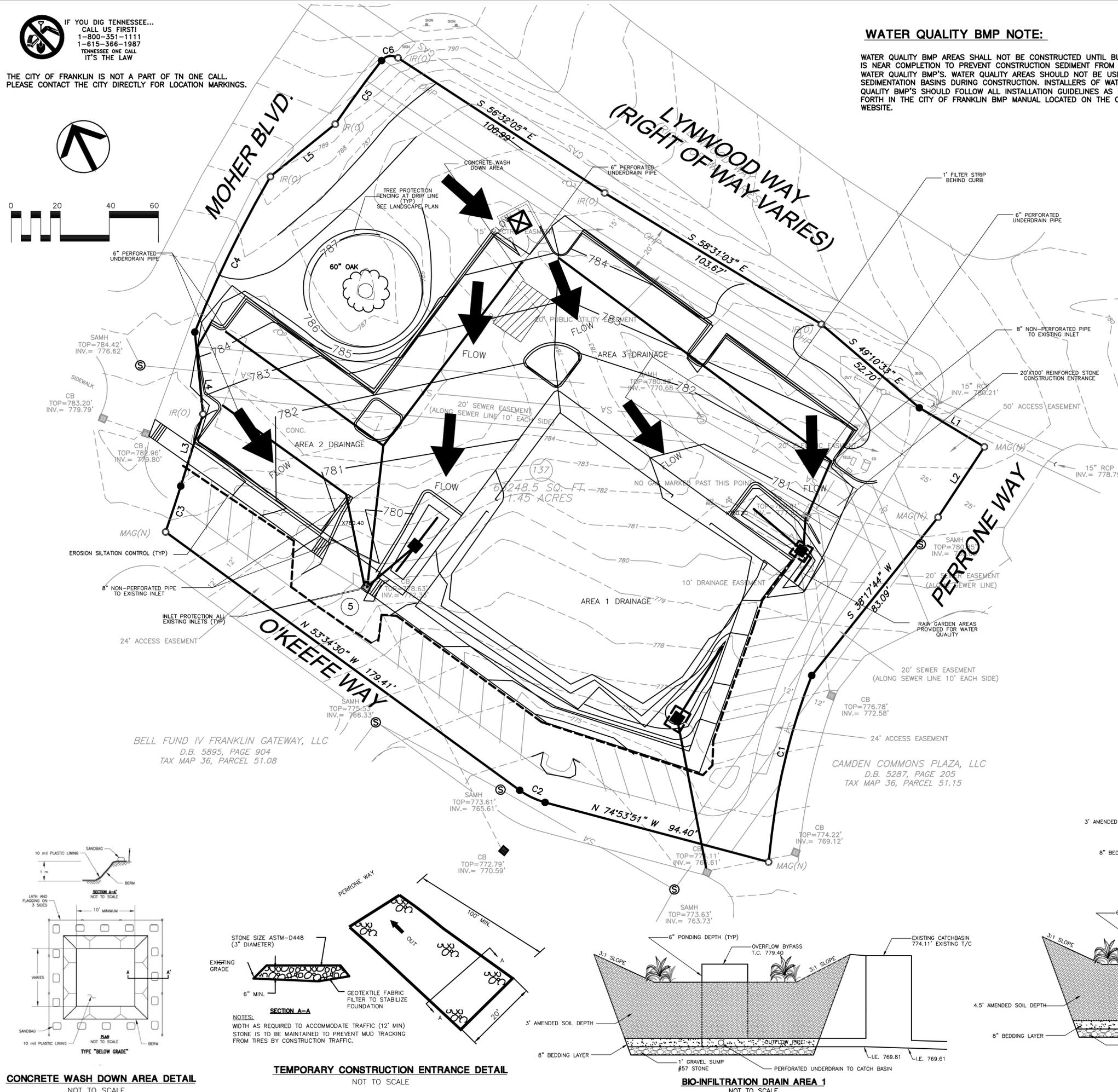
Drawing  
UTILITY

C2A.0



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**EROSION/SILTATION CONTROL NOTES**

- AREAS AND TIME OF EXPOSURE OF UNPROTECTED SOILS SHALL BE KEPT TO A MAXIMUM OF 15 DAYS.
- KEEP DUST WITHIN TOLERABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE MEANS.
- USE TEMPORARY VEGETATION AND/OR MULCH TO PROTECT BARE AREAS FROM EROSION DURING CONSTRUCTION.
- NO OTHER WORK WILL BE INITIATED ON THE PROJECT UNTIL THE EROSION/SILTATION MEASURES SHOWN ON THE PLANS AND DETAILS ARE PROPERLY IN PLACE.
- SILT FENCING SHOWN THUS ARE TO BE USED AS TEMPORARY SEDIMENT BARRIERS. PER THE ATTACHED DETAILS.
- IF, AT ANY TIME DURING THE CONSTRUCTION PHASE OF THIS PROJECT, THE EROSION/SILTATION MEASURES INSTALLED FAIL TO FUNCTION PROPERLY, NEED MAINTENANCE OR REPAIR, OR NEED NEW REPLACEMENT IN KIND, THE CONTRACTOR WILL EFFECT SUCH ACTIONS AS ARE NEEDED TO CORRECT THE SITUATION AT NO ADDITIONAL COST TO THE OWNER.
- DISTURBED AREAS ARE TO BE GRADED TO DRAIN AS INDICATED ON PLAN TO SEDIMENT BARRIERS DURING AND UPON COMPLETION OF CONSTRUCTION.
- ALL CUT/FILL AREAS TO HAVE A MINIMUM OF 6-INCH DEPTH TOPSOIL COVER. AREAS DRESSED WITH TOPSOIL WILL RECEIVE 12 POUNDS PER 1000 SQUARE FEET OF 6-12 FERTILIZER, 5 POUNDS OR MORE OF KENTUCKY 31 FESCUE SEED PER 1000 SQUARE FEET AND A STRAW MULCH OF 70%-80% COVERAGE (APPROXIMATELY 125 POUNDS PER 1000 SQUARE FEET) EXCEPT AS OTHERWISE DETERMINED BY PLAN.
- UPON STABILIZATION OF THE PROJECT SITE WITH A GOOD (ACCEPTABLE) STAND OF GRASS AND/OR GROUND COVER, THE EROSION/SILTATION INSTALLATIONS WILL BE REMOVED AND THE AREA DISTURBED WILL BE SEEDED AND MULCHED WITH THE SAME TREATMENT AS OTHER NEW GRASSED AREAS OF THE PROJECT.
- A STONE ACCESS ENTRANCE IS TO BE CONSTRUCTED AT THE SITE ENTRANCE WITH A MINIMUM WIDTH OF 20 FEET AND MINIMUM LENGTH OF 100 FEET. ENTRANCE IS TO BE BASED WITH 8 INCHES OF ASTM D 448, SIZE NO. 1 STONE, AND MAINTAINED THROUGHOUT CONSTRUCTION. ENTRANCE SHALL BE GEOTEXTILE REINFORCED.
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**POST CONSTRUCTION BMP/WATER QUALITY NOTE:**

TO MEET THE FRANKLIN STORMWATER QUALITY REGULATIONS, A STORM DRAINAGE TREATMENT SYSTEM SHALL BE INSTALLED. DUE TO HAVING AVAILABLE SITE AREA FOR NATURAL DRAINAGE, ON-SITE STORM DRAINAGE SHALL BE DIRECTED TO A RAIN GARDEN AREA FOR STORMWATER TREATMENT. THESE STRUCTURES ARE DESIGNED TO SEPARATE CONTAMINATED EFFLUENT FROM THE STORMWATER DRAINAGE THROUGH PHYDROREMEDIATION AND ABSORPTION OF THE CONTAMINATED EFFLUENT INTO THE ROOT SYSTEM OF VEGETATION. THIS SYSTEM WILL CONTROL THE POLLUTANT LEVELS AND CONTROL DISCHARGE VELOCITIES FROM STORMWATER RUNOFF. THE SITE OWNER SHALL BE RESPONSIBLE FOR MAINTAINING ALL STORMWATER QUALITY AND DETENTION SURFACES ON THIS SITE PER THE FRANKLIN STORMWATER REGULATIONS.

**EROSION CONTROL SCHEDULE:**

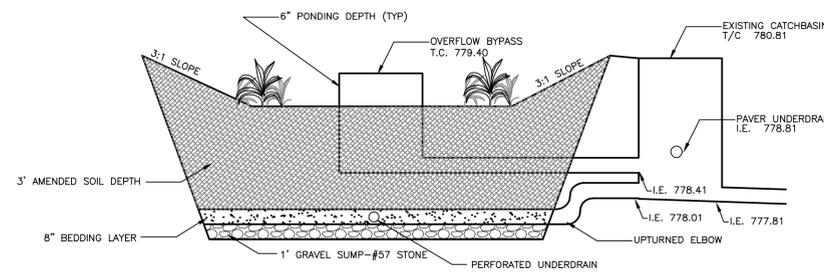
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**BUILDING DRAINAGE NOTE:**

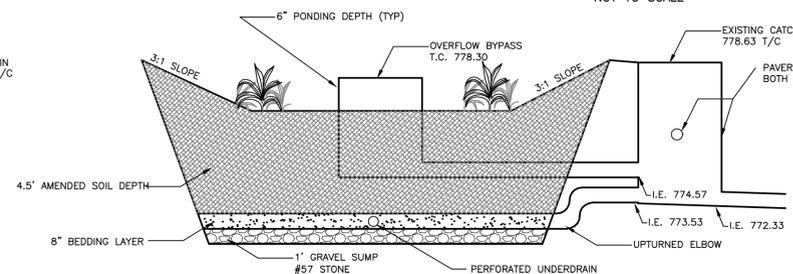
ALL DOWNSPOUTS SHALL BE DIRECTED TO THE RAIN GARDEN AREAS.

**CONCRETE WASHOUT NOTE:**

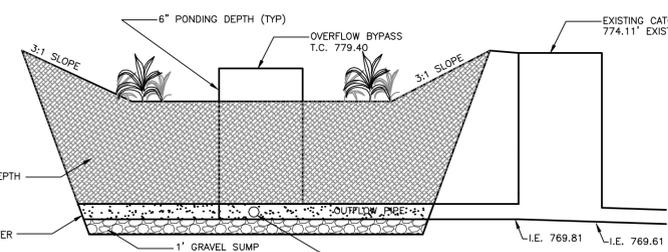
CONCRETE WASH OUT AREAS SHALL BE INSTALLED IN THE AREAS SHOWN AND PER THE REGULATIONS OF THE CITY OF FRANKLIN. THE AREA SHALL BE SIGNED AND SHALL BE LINED WITH AN APPROPRIATE LEACHATE LINER MATERIAL.



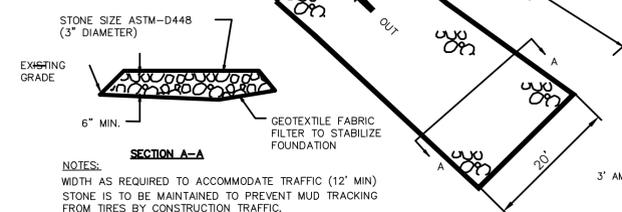
**BIO-INFILTRATION DRAIN AREA 3**  
NOT TO SCALE



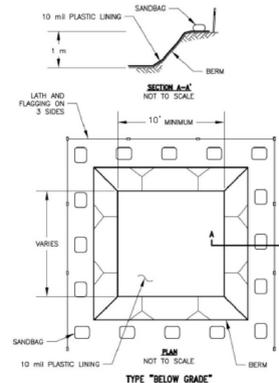
**BIO-INFILTRATION DRAIN AREA 2**  
NOT TO SCALE



**BIO-INFILTRATION DRAIN AREA 1**  
NOT TO SCALE



**TEMPORARY CONSTRUCTION ENTRANCE DETAIL**  
NOT TO SCALE



**CONCRETE WASH DOWN AREA DETAIL**  
NOT TO SCALE



H. Michael Hindman  
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FRANKLIN, TENNESSEE



Revisions

HMH Job Number  
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Drawn By  
HMH

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Drawing

STORMWATER INITIAL



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8710 COLBY DRIVE RD., NASHVILLE, TN 37221  
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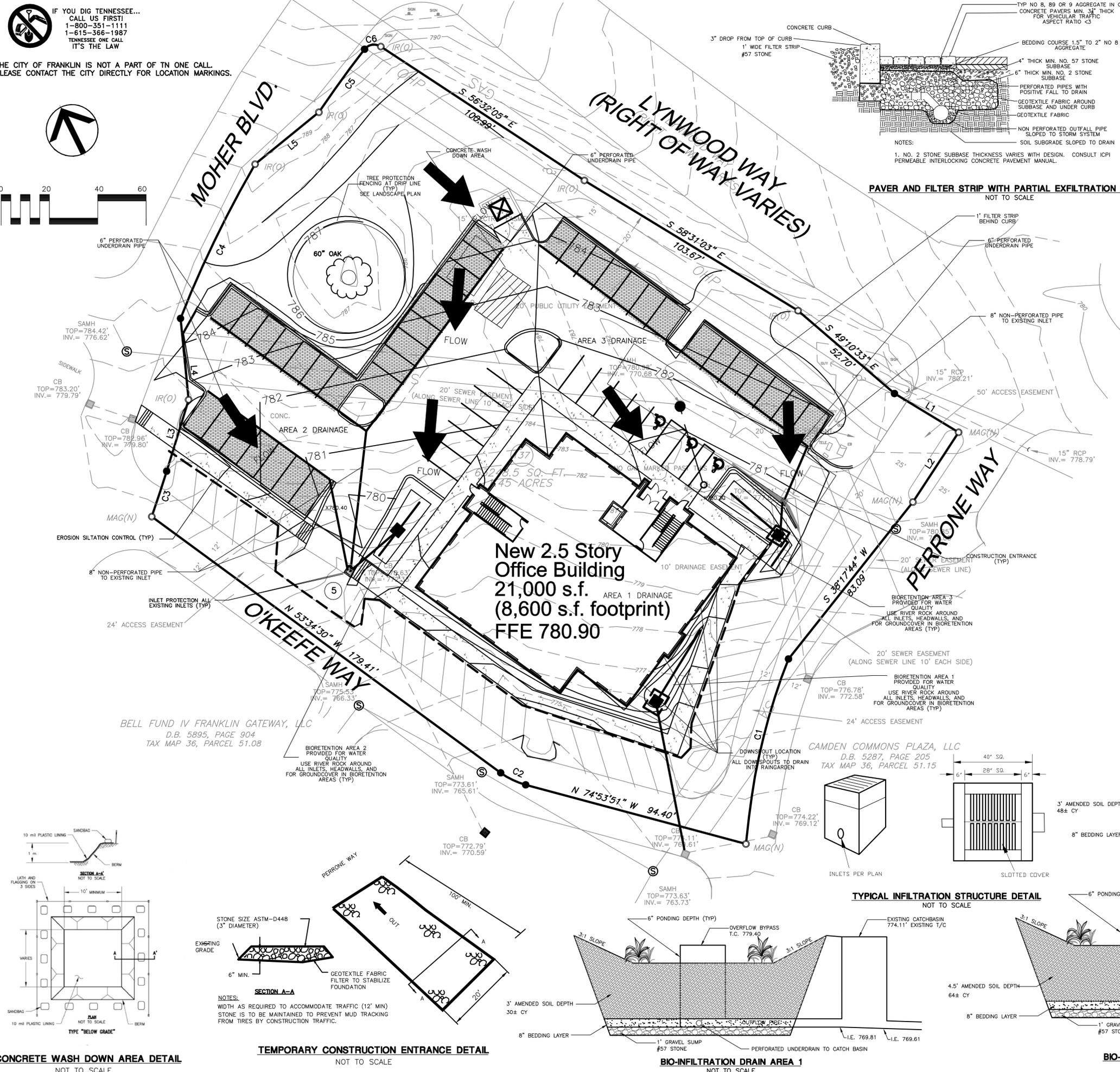
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Drawn By  
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Date  
07.28.14  
Drawing

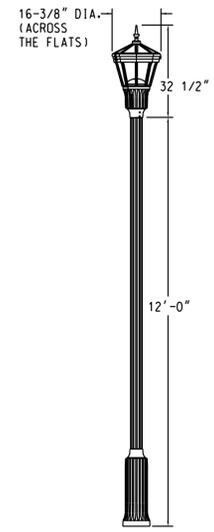
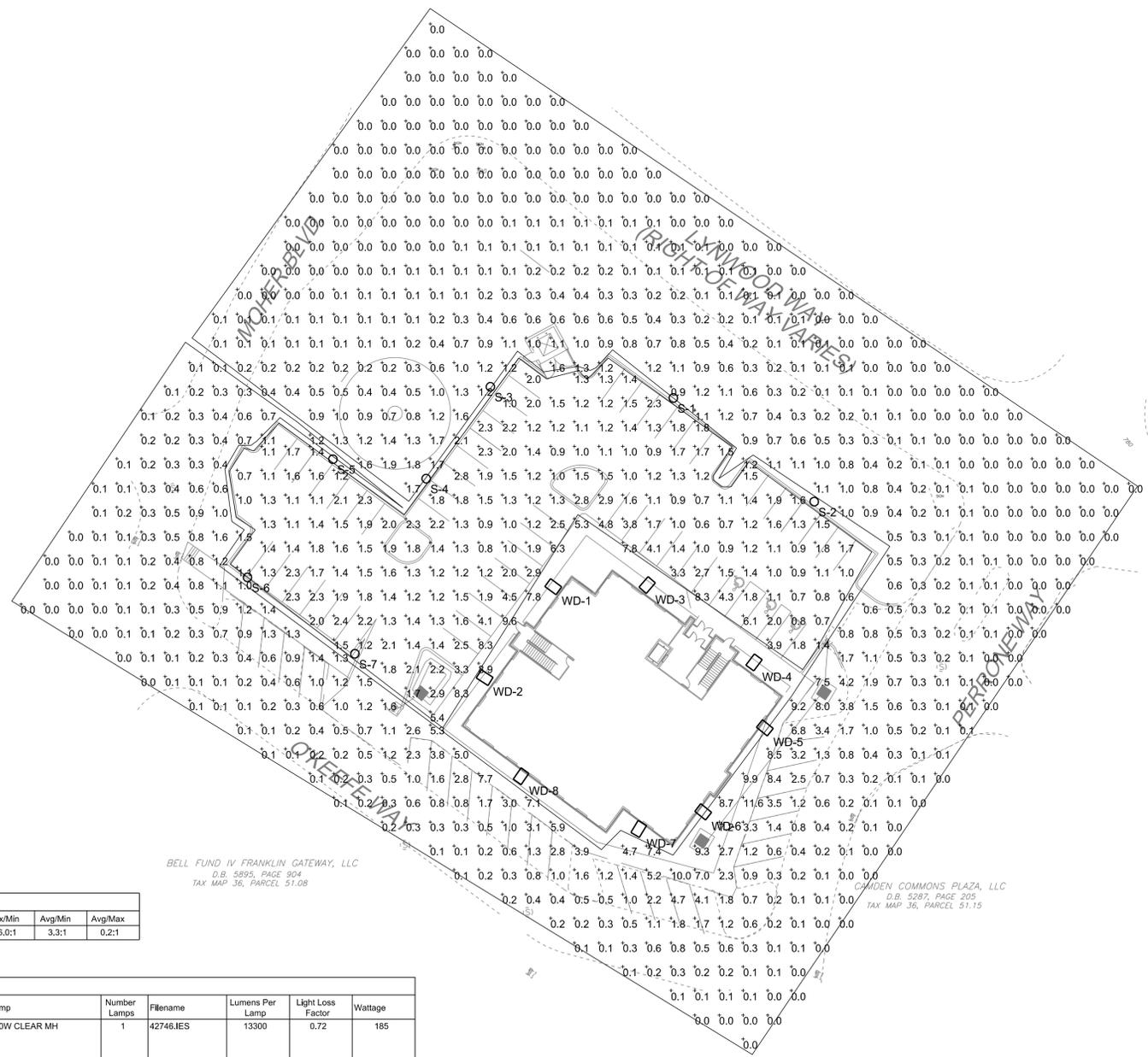
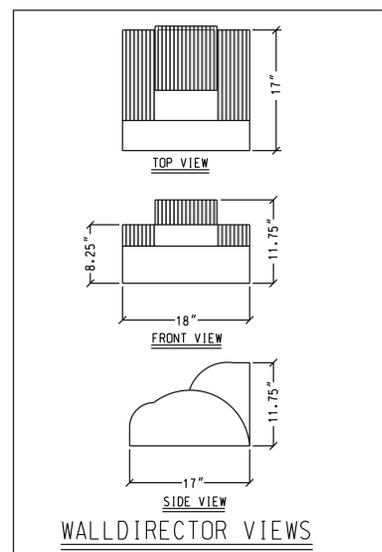


**CIVIL DESIGN CONSULTANTS, LLC**  
CIVIL ENGINEERS - LAND PLANNERS  
810 GLENN ROAD, SUITE 100, BELLBOLT, TN 37021  
PHONE: (615) 319-2343 FAX: (615) 319-2344

COF #5740

STORMWATER FINAL  
**C3.0A**

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12/12/2014  
12:21:56 PM



**HOLOPHANE ARLINGTON UTILITY**  
SCALE: NONE

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking Lot	+	2.0 fc	9.6 fc	0.5 fc	16.0:1	3.3:1

Luminaire Schedule											
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
S		7	HOLOPHANE	ARU 150MH MA B G3 S H P27 S-84402 WDA 12 FSJ 17 P07 ABG BK	Utility Arlington (ARU): ARU, 150W Metal Halide, Medium Base, Multivolt 120,208,240 & 277V, Factory wired for 120V only, UL Only, Black, Asymmetric Glass Refractor, Spike Finish, NEMA twistlock photocontrol receptacle, DTL Twistlock photocontrol, 120-277 Wadsworth Aluminum Pole (WDA), Wadsworth Aluminum Pole, 12 feet, 5 inch diameter Fluted, .25 wall, 17 inch Round Base, 3 X 3 Tanon, Anchor bolts, galvanized steel, Powder Coat Paint Finish, Black with Sylvania (MP150/U/ME) 150MH Clear Medium Lamp	150W CLEAR MH	1	42746.IES	13300	0.72	185
WD		8	KIM LIGHTING	WD18x2/250PMH-ED28	WALL DIRECTOR WALL MOUNTED LUMINAIRE DIE CAST ALUM. REFLECTOR SYSTEM WITH HIGH SPECULAR PANELS DIE CAST ALUM. HOUSING AND LENS FRAME CLEAR FLAT GLASS LENS	250 WATT CLEAR, PMH ED28 LAMP, HORIZONTAL POSITION, RATED AT 22000 INITIAL LUMENS	1	wd18x2-250p.ies	23000	0.72	250

**SITE LIGHTING DATA**  
DEVELOPMENT STANDARD: TRADITIONAL  
LAND USE: NONRESIDENTIAL  
ZONING DISTRICT: LOCAL MIXED USE DISTRICT  
HEIGHT OF PROPOSED BUILDING: 42'  
POLE HEIGHT: 12'  
POLE/FIXTURE COLOR: BLACK/DARK BRONZE  
COLOR OF LIGHT: WHITE/METAL HALIDE

THIS LIGHTING PLAN HAS BEEN DESIGNED TO MEET THE CITY OF FRANKLIN STANDARDS AND THE APPROVAL OF THE PLANNING COMMISSION/CITY OF FRANKLIN. CHANGES SHALL NOT BE MADE TO THE APPROVED LIGHTING PLAN UNLESS APPROVED BY EITHER THE RELEVANT DEPARTMENT SUPERINTENDENT OR THE PLANNING COMMISSION.

**PHOTOMETRIC SITE PLAN**  
SCALE: 1" = 30'

Revisions

CITY COMMENTS  
12-12-14

HM Job Number  
**14035**

Drawn By

Date  
**08.01.14**

Drawing  
**PHOTOMETRIC SITE PLAN**

**E.01**

30.0' / in.

**SUBSTITUTION NOTE:**  
 1. Requirements shown are as per City Zoning Ordinance.  
 Substitutions are not allowed unless approved by Heibert+Ball, Land Design.  
 2. After installation, the landscape will be maintained by the owner.  
 3. Additional screening may be required if the inspection for the release of the performance bond reveals that the screening is not effective.

**TO AVOID OVERHEAD UTILITY CONFLICTS:**  
 In the event proposed canopy trees are in conflict (within 25') with proposed or existing overhead utility locations, the landscape contractor shall stop work and contact Heibert+Ball, Land Design immediately for coordination and field adjustment.

**TO AVOID OVERHEAD LIGHT POLE CONFLICTS:**  
 In the event proposed canopy trees are in conflict (within 10') with proposed or existing light pole locations, the landscape contractor shall stop work and contact Heibert+Ball, Land Design immediately for coordination and field adjustment.

**UTILITY SCREEN**  
 All utility structures, transformers, meters, and/or units shall be screened with plant material tall enough to provide an effective screen. Structures not shown on landscape plans will be required to be screened. If utilities are added to the site, contact Heibert+Ball, Land Design for screening recommendations.

**PLANT STANDARDS**  
 The standards set forth in "American Standard for Nursery Stock" represent general guideline specifications only and will constitute minimum quality requirements for plant material. All plants must meet minimum size noted at the materials schedule. And meet the characteristics stated on this drawing. All material installed on the site MUST meet or exceed these specifications. Any trees or shrubs not meeting these standards can be rejected at time of inspection.

**TREE SPECIFICATIONS. ALL TREES SHALL HAVE THE FOLLOWING CHARACTERISTICS:**  
 1. Deciduous trees shall have one dominant single straight trunk with the top of the leader on the main trunk left intact and the terminal bud on the central leader at the highest point on the tree.  
 2. Trees with forked trunks are acceptable if all the following conditions are met:  
 a. The fork occurs in the upper 1/3 of the tree.  
 b. One fork is less than 2/3 the diameter of the dominant fork.  
 c. The top 1/3 of the smaller fork is removed at the time of planting.  
 3. No branch is greater than 2/3 the diameter of the trunk directly above the branch.  
 4. The trunk and/or major branches shall not touch.  
 5. Several branches are larger in diameter and obviously more dominant.  
 6. Branching habit is more horizontal than vertical, and no branches are oriented nearly vertical to the trunk.  
 7. Branches are evenly distributed around the trunk with no more than one major branch located directly above another and the crown is full of foliage evenly distributed around the tree.  
 8. Crown spread shall look proportional to the tree.  
 9. NO flush cuts or open trunk wounds or other bark injury.  
 10. Root ball meets all ANSI standards and is appropriately sized.

**DEFICIENCIES NOT ACCEPTED:**  
 1. Tip dieback on 5% of branches  
 2. Crown thin/sparsely foliated  
 3. Included bark  
 4. Major branches touching  
 5. Asymmetrical branching

**LANDSCAPE SHALL NOT OBSTRUCT VISIBILITY OR ACCESS TO FIRE PROTECTION EQUIPMENT INCLUDING, BUT NOT LIMITED TO, FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTIONS**

## REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	QTY	DETAIL
1	4" of 4"-6" Brown River Cobbles in landscape beds around building and in rain gardens		
2	4" depth of hardwood bark mulch in landscape beds not around the building		
3	Tree Protection Fence (see detail)		
4	Existing Oak Tree. Contractor to: Prune canopy to at least 8' HT above grade Remove ALL turf under the drip line Install shredded hardwood bark mulch under the drip line Install		
5	Site Furniture: Bench (4) Manufacturer: Landscape Forms Product: 72" Parc Vue Color: Silver Contact: Michele Batchik 269.370.0563		
6	Site Furniture: Table (2) Manufacturer: Landscape Forms Product: Gretchen - Polysite Color: Natural Contact: Michele Batchik 269.370.0563		
7	Formail Open Space 1 Park: 14,890 Landscape & Tables		
8	Formail Open Space 2 Park: 2,605 sf Landscape & Benches		



**ATTENTION OWNER/INSTALLER:**  
 This landscape plan has been designed to meet the minimum requirements of the City of Franklin zoning ordinance, the approval of the planning commission, and planning department policy. Replanting, substituting, resizing, reducing, or deleting material may cause the site to no longer conform to the requirements; thus problems may arise with releasing the performance/maintenance surety for the landscape material. **Deviation from the approved landscape plan shall not be made without first consulting the Landscape Architect who designed the project. The designing Landscape Architect shall review proposed substitutions to ensure that all City standards and requirements are met. The City shall be notified in writing upon final approval of any plant substitutions.**

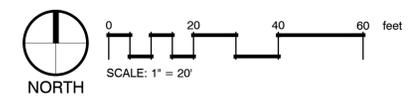
### PLANT SCHEDULE

1.5' UNDERSTORY TREES	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT	CAL	SIZE
TO	9		Emerald Green Upright Arborvitae / Thuja occidentalis 'Emerald Green' Full, Dense Upright Form	B & B	1.5" Cal	8' HT
2' REPLACEMENT TREES	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT	CAL	SIZE
BN	4		Duraheat River Birch / Betula nigra 'Duraheat' Single Trunk, 4" Clear Trunk, Single, Straight Central Leader, Evenly Branched, Full Symmetrical Crown. See Tree Specifications.	B & B	2" Cal	10'-12" HT
LA	3		Arnold Tulip Poplar / Liriodendron tulipifera 'Arnold' 5" Clear Trunk, Single, Straight Central Leader, Full Upright Branching, Even Branching. See Tree Specifications. Matched	B & B	2" Cal	12'-14" HT
MG	1		Mig Tig Magnolia / Magnolia grandiflora 'Mig Tig'	B & B	2" Cal	10' HT
SJ	11		Japanese Pink Snowbell Dwarf / Syringa japonica 'Pink Chimes' Perfect Form, Perfect Match, 5" Clear Trunk, Evenly Branched, Full Symmetrical Crown. See Tree Specifications.	B & B	2" Cal	12' HT
ZS2	5		Musashino Zelkova / Zelkova serrata 'Musashino' Upright Form, 5" Clear Trunk, Evenly Branched, Full Symmetrical Crown. See Tree Specifications.	24" box	2" Cal	12'-14" HT
STREET TREES	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT	CAL	SIZE
CA	4		Oklahoma Redbud / Cercis canadensis 'Oklahoma' 5" Clear Single Trunk, Full Symmetrical Crown. See Tree Specifications.	B & B	2" Cal	10'-12" HT
ZS	7		Green Vase Zelkova / Zelkova serrata 'Green Vase' 5" Clear Trunk, Evenly Branched, Full Symmetrical Crown. See Tree Specifications.	B & B	2" Cal	12'-14" HT
ALL SHRUBS INSTALLED BY CURBS ALONG DRIVES AND IN PARKING AREAS SHALL BE PLANTED 36" FROM THE BACK OF CURB						
SHRUBS	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT	CAL	SIZE
AG	21		Rose Creek Abelia / Abelia x grandiflora 'Rose Creek' Full, Dense		15"x15"	
BG	32		Littleaf Flowerwood / Buxus microphylla 'Glencoe' Full, Dense		16"x16"	
HM	6		Nikko Blue Hydrangea / Hydrangea macrophylla 'Nikko Blue' Full, Dense Form	#5 Container		
IN	62		Needlepoint Holly / Ilex cornuta 'Needlepoint' Full, 30" HT, Heavy	30" HT Min.		
IS	6		Sky Pencil Japanese Holly / Ilex crenata 'Sky Pencil' Full, Dense Upright	48" HT		
IV	20		Virginia Sweetstaple / Ilex virginica 'Little Henry' TM Full, Dense Form	30" HT		
PE	35		Little Bunny Fountain Grass / Pennisetum alopecuroides 'Little Bunny' Full, Dense Form	#1 Container		
PL	9		Schipka Laurel / Prunus laurocerasus 'Schipkaensis' Full, Dense Form	42" HT		
SB	30		Neon Flash Spirea / Spiraea x bumalda 'Neon Flash' Full, Heavy, Well Branched	#1 Container		
TM	32		Dense Yew / Taxus x media 'Densiformis' Full, Heavy, Well Branched, Not Sheared	30" HT Min.		
BIO-RETENTION SHRUBS	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT	CAL	SIZE
CL	33		Summerweet Cestrum / Cestrum alnitola 'Hummingbird' Full, Dense Form	18" HT		
IG	20		Inkberry Holly / Ilex glabra Full, Dense Form	18" HT / 15" SP		
MF	9		Bee Balm / Monarda fistulosa 'Pink Supreme'	1 Pint Container		
SS	67		The Blues Little Bluestem / Schizachyrium scoparium 'The Blues' Full, Dense	#1 Container		
GROUND COVERS	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT	CAL	SIZE
OJ	254		Dwarf Black Mondo Grass / Ophiopogon japonicus 'Nigra' Install in Triangular Spacing	4" pot		
RF2	122		Black-eyed Susan & Purple Coneflower / Perennial Mix Quantity as for total plants. Groups of 5. Randomly Spaced.	1 Quart		
PA	29		Little Spire Russian Sage / Perovskia atriplicifolia 'Little Spire' TM Full.	1 Quart		
SC	32		Selection of Perennial, Annuals, and Grasses / Seasonal Color	4" pot		

**MISCELLANEOUS**  
 Shredded Hardwood Bark Mulch Minimum 4" depth throughout landscape beds  
 4"-6" River Cobbles Minimum 4" depth in landscape beds around the building  
 4"-6" River Cobbles Minimum 4" depth Where shown in Bio-Pond at inlets and head walls  
 ALL SHRUBS INSTALLED BY CURBS ALONG DRIVES AND IN PARKING AREAS SHALL BE PLANTED 36" FROM THE BACK OF CURB

**TURF**  
 Resque. Install in all disturbed areas

**NOTES**  
 F.T.B. = Full To Base  
 ANY CHANGES TO THE PLANT MATERIAL WITHOUT THE APPROVAL OF HEIBERT+BALL LAND DESIGN MAY BE DENIED AT THE TIME OF INSPECTION. PLEASE CONTACT H+B FOR ANY SUBSTITUTION REQUESTS.



**TENNESSEE ONE CALL**  
 1 (800) 351-1111  
 CALL BEFORE DIGGING IN THIS AREA

**NOTE TO CONTRACTOR**  
 \*Shrubs installed at the perimeter parking strip shall be located 3' behind the curb.

**NOTE TO CONTRACTOR**  
 REMOVE ALL TURF UNDER THE DRIP LINE  
 INSTALL SHREDDED HARDWOOD BARK MULCH UNDER THE DRIP LINE  
 PRUNE CANOPY TO AT LEAST 6' HT ABOVE OF GRADE

**LANDSCAPING SHALL NOT BE PLACED TO THE FRONT OF ANY FIRE PROTECTION EQUIPMENT SO AS TO BLOCK VISIBILITY OR ACCESS TO THE EQUIPMENT**

**ROOF TOP PLANTINGS**  
 SEE L1.1 FOR PLANTING INSTALLATION AND IRRIGATION DETAIL

### TREE TABLE

NO.	SIZE	TYPE
1	60"	OAK
Total Healthy Trees to Remain > 14': 1		
Total ACI of Trees > 14' to Remain: 60		
Total Healthy Trees to be Removed > 24": 0		
Total Caliper Inch of Replacement: 0		
EXISTING TREE CANOPY: 0.03 AC. (2% of Site)		
PROPOSED TREE CANOPY RETENTION: 0.03 AC. (100% OF EXISTING COVER)		
PROPOSED REPLACEMENT CALIPER INCHES FROM FOR LOT 137 48		

**LANDSCAPE DATA CHART - LOT 137**  
 SITE ACREAGE: 1.45 AC.  
 SITE ZONING: (ML) W/ CAO - BCCO-4  
 Traditional Area  
 MIN. REQ. LSA: 30.0% (0.435 AC.)  
 PROVIDED LSA: 31.4% (0.456 AC.)  
 EXISTING TREE CANOPY: 1,520sf AC  
 PROPOSED TREE CANOPY: 1,520sf AC  
 MIN. REQ. FORMAL OPEN SPACE: 0.0% (0sf) (0.0AC)  
 PROVIDED FORMAL OPEN SPACE: 0.28% (17,495sf) (0.4AC)

Landscape Requirements (AC)	Quantity Provided		Inches Provided
	Existing Trees	Proposed	
Provided LSA: 0.456 Credit for 0.03 acres of preserved trees LSA = 0.43			
Existing trees > 14" (0x1.25):	75	75	75"
Existing trees (See Tree Inventory):	0	0	0"
2" caliper canopy trees:	0	0	0"
Aggregate Canopy Caliper Inches Provided:			75.0"
Aggregate Canopy Caliper Inches Required (82x0.43):			35.3"
1.5" caliper understory trees:	0	9	13.5"
Aggregate Understory Caliper Inches Provided:			13.5"
Aggregate Understory Caliper Inches Required (21x0.43):			9"
2" Caliper Replacement Caliper Inches Provided:	24	48	
Min. 18" Height Shrubs:	81		
Min. 30" Height Shrubs:	129		
Total Shrubs Provided:	210		
Total Shrubs Required (96x0.43):	42		

SEE L1.1 FOR NOTES AND DETAILS



H. Michael Hindman  
 Architects, P.C.

1607 Westgate Circle - Suite 100  
 Brentwood, Tennessee 37027  
 615.370.2952  
 www.hmarchitects.com

OFFICE BUILDING FOR

Touchstone  
 Medical  
 Imaging

LYNWOOD WAY  
 LOT 137 GATEWAY  
 VILLAGE SECTION 3  
 FRANKLIN, TENNESSEE



**H+B**  
 Heibert+Ball  
 LAND DESIGN  
 1894 Gen. Geo. Patton Dr.  
 Suite 400  
 Franklin, TN 37067  
 Tel: 615.376.2421  
 www.hb-land.co

COF# TBD

Revisions

HMH Job Number  
 14035

Drawn By

Date  
 08.01.14

Drawing

LANDSCAPE PLAN

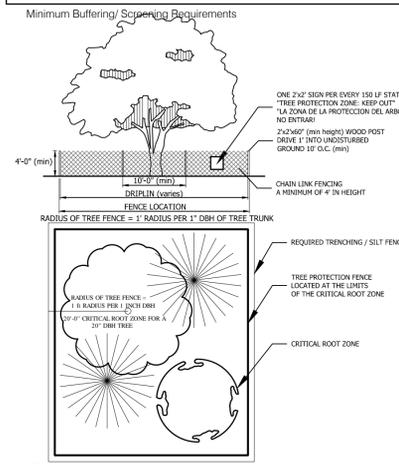
L1.0

GATEWAY VILLAGE TREE TAKEDOWN CHART	
Site Specimen Tree Replacement Required	
TOTAL SITE INCHES REQUIRED TO BE REPLACED	1,341
TOTAL REPLACEMENT CALIPER INCH FROM SEC. 1	189
TOTAL REPLACEMENT CALIPER INCH FROM SEC. 2	354
TOTAL REPLACEMENT CALIPER INCH FROM SEC. 6	17.75
TOTAL REPLACEMENT CALIPER INCHES FOR SEC 3 LOT 133	105.0
TOTAL REPLACEMENT CALIPER INCHES FROM SEC 3 LOT 143	55.0
TOTAL REPLACEMENT CALIPER INCHES FROM LOT 145	9.0
TOTAL REPLACEMENT CALIPER INCHES FOR SECTION 3 & 6 LOTS 138, 139, 140, 141, 142	198.0
PROPOSED REPLACEMENT CALIPER INCHES FROM FOR LOT 137	48
DEVELOPMENT REPLACEMENT CALIPER INCHES REMAINING: 865.25	

MINIMUM OPEN SPACE REQUIREMENTS FOR RESIDENTIAL FORMAL OPEN SPACE					
AREA	TYPE	APPROVED AREA OF OPEN SPACE	APPROVED MAXIMUM 25% PAVED AREA	PROPOSED AREA OF OPEN SPACE	PROPOSED MAXIMUM 25% PAVED AREA
F-1	Section 1 Median/Circle	9,996 SF	2,499 SF	9,170 SF	2,292 SF
F-2	Section 2 Median/Green	6,624 SF	1,656 SF	3,981 SF	995 SF
F-3	Section 2 Park	11,623 SF	2,906 SF	7,150 SF	1,787 SF
F-4	Neighborhood Park	42,171 SF	10,527 SF	42,334 SF	10,583 SF
F-5	Gateway Monument	14,908 SF	3,727 SF	13,041 SF	3,260 SF
F-6 (LOT 135)	Focal Point	12,073 SF	3,018 SF	5,059 SF	1,264 SF
F-6 (LOT 138)	Focal Point			7,491 SF	1,872 SF
F-6 (LOT 145)	Focal Point			1,225 SF	306 SF
F-7	Traffic Circle	8,659 SF	2,165 SF	11,804 SF	2,951 SF
F-8	Plaza	19,528 SF	4,882 SF	24,115 SF	6,028 SF
F-9 (Lot 137)	Park	16,076 SF	4,019 SF	17,495 SF	4,029 SF
F-10	Park	7,852 SF	1,963 SF	12,453 SF	3,113 SF
F-11 (LOT 135)	Plaza	12,701 SF	3,175 SF	482 SF	120 SF
F-11 (LOT 136)	Plaza			2,837 SF	709 SF
F-11 (LOT 145)	Plaza			12,640 SF	3,160 SF
		162,211 SF (3.72 Acres)		171,277 SF (3.93 Acres)	

• 5% of Developable Area Required for Formal Open Space  
 • Total Developable Area = 41.82 AC, 5% of 41.82 AC = 91,040 SF (2.09 AC)  
 • Concept Plan - Staff Comments - Expand Formal Open Space

NOTE: PLANNING COMMISSION APPROVED MINIMUM 160,533 SF



5.2.7 Tree Protection During Construction

(1) Owner's Responsibility  
 During development, the owner or developer shall be responsible for the erection of all barriers necessary to protect any existing or installed trees from damage both during and after construction in accordance with the standards of this subsection.

(2) Tree Protection Fencing  
 (a) Where Required  
 All specimen trees, trees in a Tree Protection Zone, and trees intended for use as credit towards the landscaping standards of this chapter shall be fenced in accordance with this subsection before grading or other land disturbing activity begins. Fencing shall extend at least one foot in distance from the edge of the tree for each inch of DBH, so that each tree's drip line is protected, but no less than ten feet from the trunk. The Codes Department shall consider existing site conditions in determining the exact location of any tree protection fencing.

(b) Type of Fencing  
 All fencing required by this subsection shall be chain link fencing at least four feet in height and secured using appropriate posts spaced not more than ten feet apart. Such chain link fencing is not required to be coated.

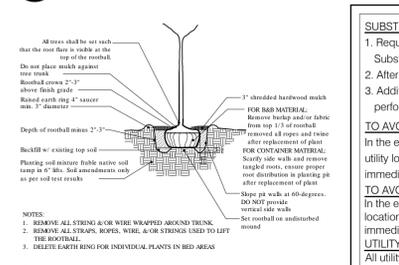
(c) Signage  
 Signs shall be installed on the tree protection fence visible on all sides of the fenced-in area at a rate of at least one sign for every 150 linear feet. The size of each sign must be a minimum of two feet by two feet tall and shall contain the following language in English and Spanish: "TREE PROTECTION ZONE: KEEP OUT."

(d) Trenching Prior to Clearing Activities  
 The removal of tree adjacent to tree save areas can cause inadvertent damage to the protected trees. Prior to clearing activities, trenches with a minimum depth of 12 inches shall be cut along the limits of the disturbance, so as to cut, rather than tear tree roots.

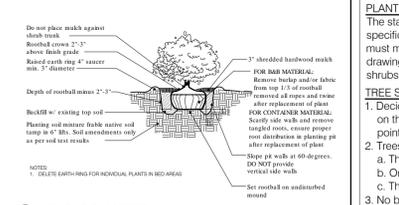
(e) Inspection  
 All tree protection measures shall be inspected and approved by the Codes Department prior to the start of any land disturbing activities. Failure to have tree protection measures in place prior to the commencement of construction is a violation of this ordinance.

(f) When Required  
 The tree protection fencing shall be clearly shown on the Site Plan. No construction, grading, equipment or material storage of any other activity shall be allowed within the fenced area except in accordance with the standards in Subsection 5.2.7 (3). Encroachments Into Root Zones. Fencing shall be maintained until the land disturbance activities are complete.

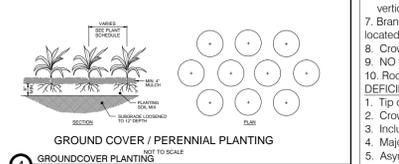
1 TREE PROTECTION FENCE  
 1" = 1'-0"



2 TREE PLANTING  
 1" = 1'-0"



3 SHRUB PLANTING  
 1" = 1'-0"



4 GROUND COVER / PERENNIAL PLANTING  
 1" = 1'-0"

**SUBSTITUTION NOTE:**  
 1. Requirements shown are as per City Zoning Ordinance.  
 Substitutions are not allowed unless approved by Heibert+Ball, Land Design.  
 2. After installation, the landscape will be maintained by the owner.  
 3. Additional screening may be required if the inspection for the release of the performance bond reveals that the screening is not effective.

**TO AVOID OVERHEAD UTILITY CONFLICTS:**  
 In the event proposed canopy trees are in conflict (within 25') with proposed or existing overhead utility locations, the landscape contractor shall stop work and contact Heibert+Ball, Land Design immediately for coordination and field adjustment.

**TO AVOID OVERHEAD LIGHT POLE CONFLICTS:**  
 In the event proposed canopy trees are in conflict (within 10') with proposed or existing light pole locations, the landscape contractor shall stop work and contact Heibert+Ball, Land Design immediately for coordination and field adjustment.

**UTILITY SCREENING**  
 All utility structures, transformers, meters, and/or units shall be screened with plant material tall enough to provide an effective screen. Structures not shown on landscape plans will be required to be screened. If utilities are added to the site, contact Heibert+Ball, Land Design for screening recommendations.

**PLANT STANDARDS**  
 The standards set forth in "American Standard for Nursery Stock" represent general guideline specifications only and will constitute minimum quality requirements for plant material. All plants must meet minimum size noted at the materials schedule. And meet the characteristics stated on this drawing. All material installed on the site MUST meet or exceed these specifications. Any trees or shrubs not meeting these standards can be rejected at time of inspection.

**TREE SPECIFICATIONS: ALL TREES SHALL HAVE THE FOLLOWING CHARACTERISTICS:**

- Deciduous trees shall have one dominant single straight trunk with the tip of the leader on the main trunk, left intact and the terminal bud on the central leader is at the highest point on the tree.
- Trees with forked trunks are acceptable if all the following conditions are met:
  - The fork occurs in the upper 1/3 of the tree.
  - One fork is less than 2/3 the diameter of the dominant fork.
  - The top 1/3 of the smaller fork is removed at the time of planting.
- No branch is greater than 2/3 the diameter of the trunk directly above the branch.
- The trunk and/or major branches shall not touch.
- Several branches are larger in diameter and obviously more dominant.
- Branching habit is more horizontal than vertical, and no branches are oriented nearly vertical to the trunk.
- Branches are evenly distributed around the trunk with no more than one major branch located directly above another and the crown is full of foliage evenly distributed around the tree.
- Crown spread shall look proportional to the tree.
- NO flush cuts or open trunk wounds or other bark injury
- Root ball meets all ANSI standards and is appropriately sized

**DEFICIENCIES NOT ACCEPTED:**

- Tip dieback on 5% of branches
- Crown thin/sparsely foliated
- Included bark
- Major Branches touching
- Asymmetrical branching

**LANDSCAPE SHALL NOT OBSTRUCT VISIBILITY OR ACCESS TO FIRE PROTECTION EQUIPMENT INCLUDING, BUT NOT LIMITED TO, FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTIONS**

Hvac units, cooling and/or mechanical equipment are mounted on the:

- Rooftop
- Ground
- Not Applicable

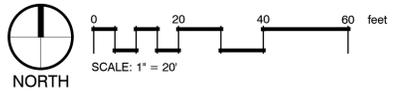
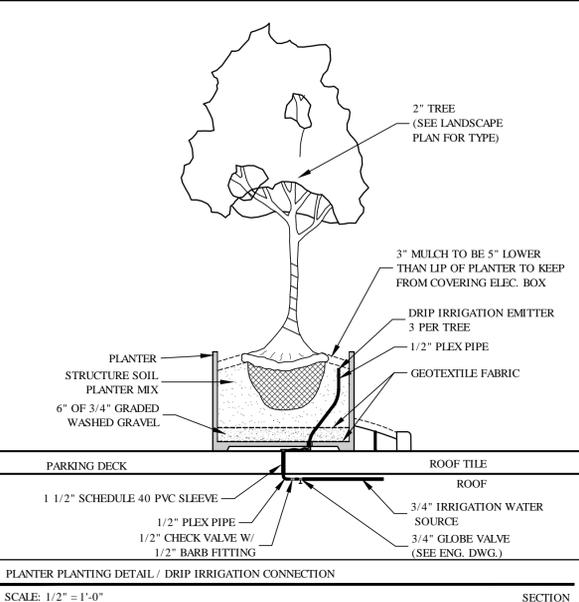
THIS DEVELOPMENT IS REQUIRED TO HAVE THE FOLLOWING LANDSCAPE IMPROVEMENTS

Buffer/Screening Type: Purpose:

- Not Applicable: Buffering/Screening not required
- Foundation planting: Along primary facade
- Perimeter Planting Strip: Screen VUAs and to create "modules"
- Interior VUA Planting: Create VUA "modules"
- Utility Box Screen: Screen from view
- HVAC Screen: Screen HVAC from view
- Dumpster Screen: Screen Dumpster from view
- Loading/service Area: Buffer the street or residential property
- Incompatible Use Buffer: Buffer the adjacent less intensive use
- 30-foot Front Yard Buffer: Buffer the adjacent Hatcher Bypass
- 40-foot Front Yard Buffer: Buffer the adjacent Interstate 65
- Street Trees: Spatial Definition/Environmental Mitigation
- Other:

LANDSCAPE ARCHITECT: Heibert+Ball Land Design  
 Connor Ball, PLA  
 615.376.2421

FRANKLIN PLANNING DEPARTMENT: 615.791.3212 phone  
 615.791.3257 fax



TENNESSEE ONE CALL  
 1 (800) 351-1111  
 CALL BEFORE DIGGING IN THIS AREA



**HB**  
 Heibert+Ball  
 LAND DESIGN  
 1894 Gen. Geo. Patton Dr.  
 Suite 400  
 Franklin, TN 37067  
 Tel: 615.376.2421  
 www.hb-land.co

COF# TBD

Revisions

HMH Job Number 14035  
 Drawn By

Date 08.01.14  
 Drawing LANDSCAPE PLAN NOTES & DETAILS  
**L1.1**



CAST STONE WATER TABLE/ACCENT BAND

METAL PANEL CANOPY

ALUMINUM STOREFRONT SYSTEM W/ INSULATED GLASS

SMOOTH BRICK W/ ROCK FACE ACCENT BANDS

CAST/STONE BASE

Roof  
42' - 0"

Third Floor  
28' - 0"

Second Floor  
14' - 0"

First Floor  
0' - 0"

1 North Elevation  
A1 1/8" = 1'-0"



EIFS PARAPET CORNICE, METAL ALTERNATE

EIFS CAP

VERTICAL BRICK RECESS

ALUMINUM STOREFRONT SYSTEM W/ INSULATED GLASS AND SPANDREL PANELS

BRICK

METAL PANEL CANOPY BEYOND

CAST STONE ACCENT BAND

CAST/STONE BASE

BRICK CORNICE CAP, W/ METAL COPING

SMOOTH BRICK W/ ROCK FACE ACCENT BANDS

THIN BRICK, ALTERNATE EIFS TO MATCH BRICK W/ METAL COPING

POWDER COATED ALUM. GUARD RAIL

CAST STONE LINTEL & ACCENT BAND

ALUMINUM CURTAIN WALL SYSTEM W/ INSULATED GLASS AND SPANDREL PANELS

BRICK CAST/STONE BASE

Roof  
42' - 0"

Third Floor  
28' - 0"

Second Floor  
14' - 0"

First Floor  
0' - 0"

2 West Elevation  
A1 1/8" = 1'-0"

- ### NOTES
1. LOCATION AND NUMBERS OF STOREFRONT DOORS SUBJECT TO CHANGE PER TENANT REQUIREMENTS.
  2. LOCATION AND NUMBERS OF REAR & EGRESS DOORS SUBJECT TO CHANGE PER TENANT REQUIREMENTS.
  3. TENANT SIGNS WILL BE SUBMITTED FOR APPROVAL AS TENANT REQUIREMENTS ARE DETERMINED.
  4. SPECIFIED MATERIALS MAY CHANGE SUBJECT TO AVAILABILITY AT TIME OF CONSTRUCTION AND SUBJECT TO APPROVAL OF BNS DEPARTMENT OR PLANNING COMMISSION.
  5. THESE ELEVATIONS HAVE BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE CITY OF FRANKLIN'S ARCHITECTURAL DESIGN STANDARDS AND THE APPROVAL OF THE PLANNING COMMISSION. CHANGES SHALL NOT BE MADE TO THE APPROVED ELEVATIONS UNLESS APPROVED BY EITHER THE BNS DEPARTMENT OR THE PLANNING COMMISSION.
  6. HVAC UNITS ARE LOCATED ON THE ROOFS OF THE BUILDING AND ARE SCREENED FROM PUBLIC VIEW BY PARAPET WALLS.
  7. CAVITY WALL CONSTRUCTION SHALL BE USED WHEREVER INTEGRALLY COLORED, UNPAINTED, SPLIT FACE CONCRETE BLOCK IS USED TO PREVENT WATER PENETRATION.

### EXTERIOR FINISH LEGEND

<b>RED/BROWN BRICK</b> STYLE/SIZE: COLOR: MANUFACTURER: MORTAR: MORTAR MANUF.:	MODULAR FLASHED ALLENTOWNE RAGLAND CLAY PRODUCTS, LLC TYPE N, STANDARD TBD
<b>LIGHT COLOR BRICK W/ ACCENTS</b> STYLE/SIZE: COLOR: MANUFACTURER: MORTAR: MORTAR MANUF.:	UTILITY GRAYSTONE VELOUR/GRAYSTONE ROCKFACE GENERAL SHALE TBD TBD
<b>ALTERNATE:</b>	BRICK OF SIMILAR COLOR
<b>CAST STONE LINTEL &amp; ACCENT BAND</b> STYLE/SIZE: COLOR: MANUFACTURER: MORTAR:	SMOOTH BUFFSTONE, GP-A ROCK CAST SAME AS ADJACENT MASONRY
<b>CAST STONE BASE</b> STYLE/SIZE: COLOR: MANUFACTURER: MORTAR: MORTAR MANUF.:	SPLIT/STPS-304 (3.625"x23.625") SUNSET PRAIRIE STONE TBD TBD
<b>ALTERNATE:</b>	NATURAL STONE/PEWTER MIST
<b>EIFS CORNICE</b> STYLE/SIZE: COLOR: MANUFACTURER:	SAND FINE LB. THICKNESS PER DWGS 10402 LIMESTONE PAREX, OR EQUAL
<b>STOREFRONT</b> STYLE/SIZE: COLOR: MANUFACTURER:	ALUMINUM RECTANGULAR KYNAR OR ANODIZED ALUM. TUBELITE OR EQUAL
<b>GLAZING</b> STYLE/SIZE: COLOR: MANUFACTURER:	1" INSULATED LOW-E SOLAR BLUE + SOLARBAN 70XL (3) PPG OR EQUAL
<b>PREFINISHED METAL PARAPET COPING</b> COLOR: MANUFACTURER:	SIERRA TAN & SLATE GRAY BERRIDGE OR EQUAL
<b>METAL PANEL CANOPY &amp; HAT</b> STYLE/SIZE: COLOR: MANUFACTURER:	SMOOTH METAL PANEL, 18" PEWTER/TITANIUM CENTRIA/ALUCOBOND OR EQUAL
<b>PAINT</b> COLOR:	TBD

- ### MATERIAL AREA NOTES
1. MINOR MATERIALS INCLUDING COPINGS, FLASHINGS, AND TRIM INSTALLED OVER BRICK ARE NOT INCLUDED IN MATERIAL AREA CALCULATIONS.
  2. NET WALL AREA EXCLUDES STOREFRONT, DOORS, LOUVERS AND MINOR TRIM.

### MATERIAL CALCULATIONS

#### NORTH ELEVATION

	AREA	% OF NET
GROSS WALL AREA	4843 S.F.	NA%
NET WALL AREA	2861 S.F.	100%
BRICK AREA	1304 S.F.	46%
CAST STONE AREA	1115 S.F.	39%
METAL PANEL/CANOPY	86 S.F.	2%
EIFS	356 S.F.	13%

#### WEST ELEVATION

	AREA	% OF NET
GROSS WALL AREA	4224 S.F.	NA%
NET WALL AREA	2724 S.F.	100%
BRICK AREA	1176 S.F.	43%
CAST STONE AREA	1064 S.F.	39%
METAL PANEL/CANOPY	113 S.F.	4%
EIFS	371 S.F.	14%

Revisions  
11.13.14  
01.05.15  
04.02.15

HMH Job Number  
14035

Drawn By  
TT

Date  
01.05.15

Drawing  
Elevations



1 East Elevation  
A2 1/8" = 1'-0"



2 South Elevation  
A2 1/8" = 1'-0"

**NOTES**

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<b>GLAZING</b>	1" INSULATED LOW-E SOLAR BLUE + SOLARBAN 70XL (3) PPG OR EQUAL
<b>PREFINISHED METAL PARAPET COPING</b>	SIERRA TAN & SLATE GRAY BERRIDGE OR EQUAL
<b>METAL PANEL CANOPY &amp; HAT</b>	SMOOTH METAL PANEL, 18" PEWTER/TITANIUM CENTRIA/ALUCOBOND OR EQUAL
<b>PAINT</b>	TBD

**MATERIAL AREA NOTES**

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2. NET WALL AREA EXCLUDES STOREFRONT, DOORS, LOUVERS AND MINOR TRIM.

**MATERIAL CALCULATIONS**

<b>EAST ELEVATION</b>		
GROSS WALL AREA	3917 S.F.	% OF NET NA%
NET WALL AREA	2413 S.F.	100%
BRICK AREA	1091 S.F.	45%
CAST STONE AREA	1102 S.F.	46%
METAL PANEL/CANOPY	48 S.F.	2%
EIFS	172 S.F.	7%
<b>SOUTH ELEVATION</b>		
GROSS WALL AREA	5570 S.F.	% OF NET NA%
NET WALL AREA	3602 S.F.	100%
BRICK AREA	1642 S.F.	46%
CAST STONE AREA	1477 S.F.	41%
METAL PANEL/CANOPY	128 S.F.	3%
EIFS	355 S.F.	10%

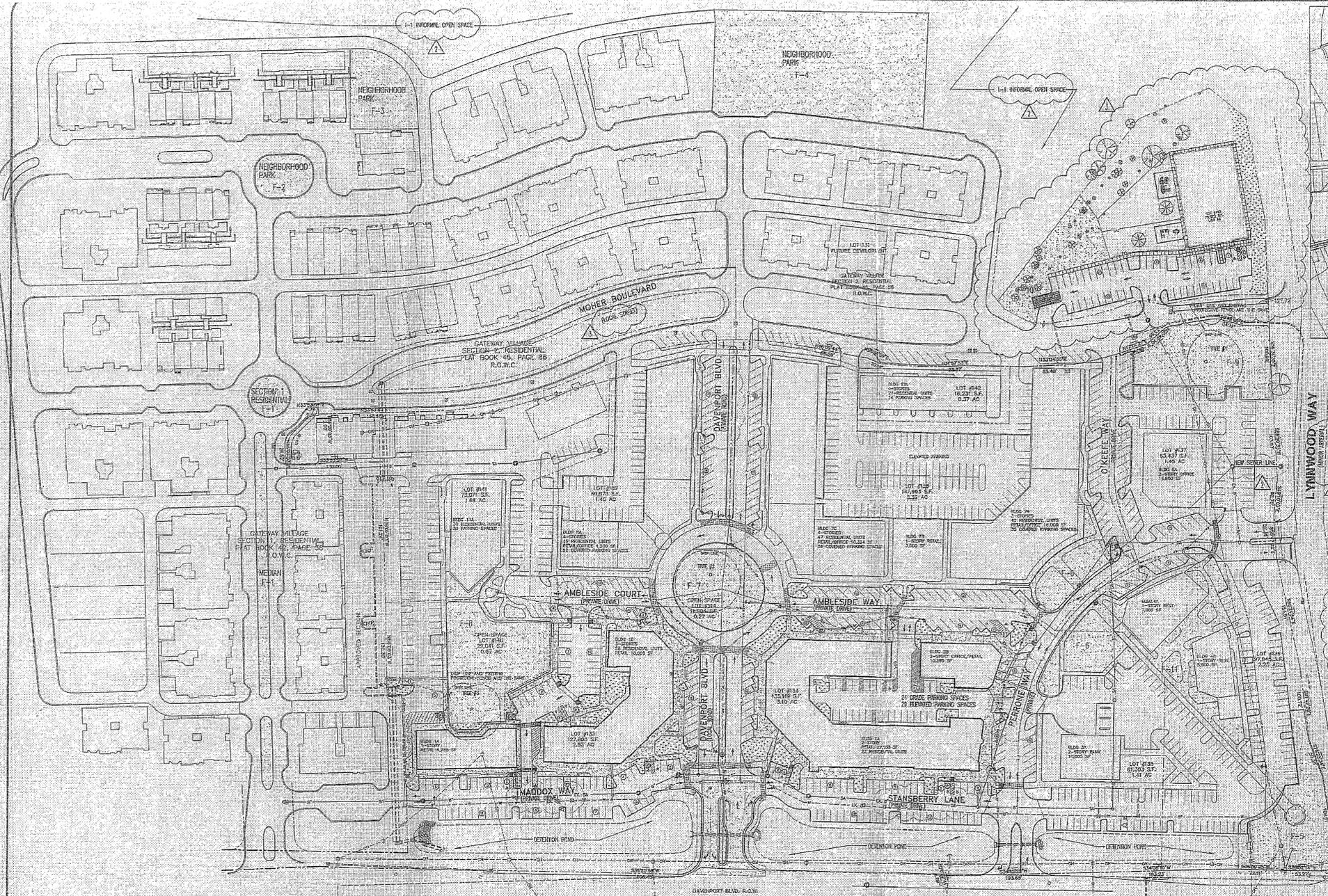
Revisions  
11.13.14  
01.05.15  
04.02.15

HMH Job Number  
14035

Drawn By  
TT

Date  
01.05.15

Drawing  
Elevations



### VICINITY MAP

NOT TO SCALE

NEW LAND USE REGULATIONS

APPROVED ZONING: PLANNED COMMERCIAL (PC 6.83)  
 PROPOSED ZONING: PLANNED COMMERCIAL (PC 6.84)

GROSS SITE AREA: 40.80 AC

TOTAL RESIDENTIAL UNITS: 402 DWELLING UNITS  
 130 DWELLING UNITS (APPROVED SECTIONS 1 & 4)  
 272 DWELLING UNITS (APPROVED SECTION 6)

TOWNHOUSES: 233  
 CONDOMINIUMS: 0  
 CONDOPARLUS/LOFTS: 0

GROSS DENSITY: 6.94 DUA

TOTAL SF OF RETAIL/RESTAURANT: 65,092 SF  
 TOTAL SF OF OFFICE: 67,176 SF  
 TOTAL RETAIL/OFFICE/RESTAURANT: 132,268 SF

PROPOSED FLOOR AREA RATIO: 0.050  
 MAX. ALLOWED FLOOR AREA RATIO: 0.050

MINIMUM OPEN SPACE REQUIREMENTS FOR RESIDENTIAL

FORMAL OPEN SPACE:

50% of Developable Area Required for Formal Open Space  
 Total Developable Area: 41.82 AC, 5% of 41.82 AC = 91,040 SF (2.08 AC)  
 Current Plan: 182,201 SF (4.18 AC)

AREA	TYPE	APPROVED AREA OF OPEN SPACE	Current Plan	PROPOSED AREA OF OPEN SPACE	PROPOSED MAXIMUM OF OPEN SPACE
Area F-1	Section 1 Median/Circle	6,966 SF	2,499 SF	6,966 SF	6,499 SF
Area F-2	Section 2 Median/Circle	6,844 SF	1,636 SF	6,844 SF	7,550 SF
Area F-3	Section 2 Circle	11,923 SF	2,895 SF	11,923 SF	2,895 SF
Area F-4	Neighborhood Park	42,171 SF	10,527 SF	42,171 SF	10,842 SF
Area F-5	Openway Midway	14,900 SF	3,727 SF	14,718 SF	3,870 SF
Area F-6	Front Point	12,973 SF	3,071 SF	10,687 SF	3,914 SF
Area F-7	Traffic Circle	8,836 SF	2,163 SF	11,424 SF	2,856 SF
Area F-8	Circle	18,628 SF	4,882 SF	19,378 SF	4,882 SF
Area F-9	Park	18,079 SF	4,019 SF	15,076 SF	4,919 SF
Area F-10	Circle	7,852 SF	1,963 SF	8,152 SF	2,053 SF
Area F-11	Park	12,701 SF	3,175 SF	11,807 SF	2,951 SF
		182,201 SF (3.72 Acres)	106,074 SF (2.87 Acres)		

INFORMAL OPEN SPACE  
 10% Developable Area Required for Informal Open Space  
 Total Developable Area = 41.82 AC, 10% of 41.82 AC = 182,201 SF (4.18 AC)

KEY	CLASSIFICATION	TYPE	AREA OF OPEN SPACE	PAVED AREA
AREA F-1	INFORMAL	HILLSIDE	1,017.61D	

CURRENTLY APPROVED GATEWAY VILLAGE LAND USE DATA:

Development	PLUPC Approved	PC Zoned Acres	Total Dwelling Units	RETAIL OFFICE	MIXED USE
Section 1	5/25/03	60.00	419	133,958	185 multipler
Section 2	6/6/04	4.83	33		
Section 3	3/24/05	11.42	97		
Section 4	7/27/09	1.12	38		
Approved Section 5, Lots 1-3 and 15	3/28/08	2.07	50	97,235	546

OWNER/DEVELOPER: VILLAGE CENTER, CODA COMPANIES & GATEWAY VILLAGE DEVELOPMENT, INC.  
 ADDRESS: 3042 THOROUGHSHED LANE SUITE 200 BRENTWOOD, TN 37027  
 PHONE NO. (615) 832-5427  
 E-MAIL: LYNNELLSWORTH@GMAIL.COM CONTACT NAME: LYNN ELLSWORTH

OWNER/DEVELOPER SECTION 1, 2, & 6: GATEWAY VILLAGE DEVELOPMENT, INC.  
 ADDRESS: 3628 TROUSDALE DRIVE, SUITE F NASHVILLE, TN 37204  
 PHONE NO. (615) 832-0779  
 FAX NO. (615) 832-0779  
 E-MAIL: DYLOR@GATEWAYVILLAGE.COM CONTACT NAME: DAVID A. FLOR

APPLICANT:  
 KLINE SWINNEY ASSOCIATES  
 22 MIDDLETON STREET NASHVILLE, TN 37219  
 PHONE NO. 615.255.1154  
 E-MAIL: DKLINE@KSWINNEYARCHITECTS.COM CONTACT: DAVID KLINE

CIVIL ENGINEER:  
 CIVIL ENGINEERING SERVICES  
 PO BOX 186 FARRISBURG, TN 37052  
 PHONE NO. 615.333.0001  
 E-MAIL: RAY@CIVILENGINEERINGSERVICES.NET CONTACT: RAY FLAKE

## REVISED SITE CONCEPT PLAN

SCALE: 1" = 60'

### GATEWAY VILLAGE IMPROVEMENTS PROPOSED CONCEPT PLAN FOR SECTION 3, LOT 133 & 134 CHANGE

SECTION 3 LOT NUMBER	LAND ALLOCATIONS BY PARCEL	CONDOS/LOFTS	RESTAURANT AND BANQUET	RESTAURANT	ACREAGE	SQUARE FOOTAGE LAND	PARKING SHOWN	PARKING/CODE WITH 35 MULTIPLES
133	A, B	26	22,861		2.28	127,082	154	174
134	A, B	22	24,963		3.10	135,419	197	193
135	A		10,420		1.41	61,309	92	28
136	A, B			12,500	2.25	97,345	91	115
137	A, B		16,800		1.93	83,632	97	69
138	A		10,300		1.42	70,570	46	39
139	A, B, C	87	23,254		3.30	147,993	223	232
140	Formal Open Sp	46	4,500		1.40	60,676	148	102
141	Formal Open Sp				0.95	29,071	71	13
142	A	93			1.28	73,071	76	57
	A	21			0.97	46,291	77	40
<b>Total</b>		<b>224</b>	<b>131,768</b>	<b>12,500</b>	<b>26.54</b>	<b>662,168</b>	<b>1,254</b>	<b>1,086</b>

Notes: Shared parking allows .85 multiplier of required parking per City.  
 Full version of driveway standards are to provide 10 spaces per 1,000 SF, plus 1 per employee at maximum shift.  
 Studio units shall require only 1 space per unit.

### STORMWATER NOTES

- This site will provide adequate on-site detention for one and post development runoff.
- No portion of site shall flow into a roadway (RW) or roadway fringe (RF) boundary. Map 847187020200.
- The storm water detention facilities will minimize impacts of increased runoff on downstream properties. The detention facility will be used for all of the detention & water quality requirements for 2-100 year storms. Water quality will provide a minimum of 60% TSS (total suspended solids) removal.
- Refer to Plan for approximate locations for detention. This is shown in conceptual only. Final size and location to be determined with site plan development.
- Expected Pollutant Removal Efficiency taken from City of Franklin Stormwater Management Plan.
- All Water Quality Devices east of the Water Quality Cell on motor shall drain toward the Existing Detention facilities.
- Structural treatment shall be City of Franklin approved.
- Restoration of storm water study not required/ per pre-application meeting.

### GENERAL NOTES

- SECTIONS 1, 2 & 6 OF GATEWAY VILLAGE DESIGNED BY LANDSCAPE INC. THE REVISED COMMERCIAL VILLAGE DESIGNED BY KSA/ODSA COMPANIES.
- THREE EXISTING TREES WITHIN THE COMMERCIAL VILLAGE SHALL BE PRESERVED.
- ALL TREE-PROTECTION FENCING SHALL BE IN PLACE PRIOR TO THE ISSUANCE OF A GRADING PERMIT AND SHALL BE MAINTAINED IN GOOD WORKING ORDER UNTIL ALL CONSTRUCTION ACTIVITY IS COMPLETED. ANY REQUIRED PROTECTIVE MEASURES SHALL BE PLACED OUTSIDE OF ANY TREE PROTECTION FENCING.
- THE PLANT MATERIAL PROPOSED FOR THE IMPROVEMENT AREAS SHALL BE SWORN ON THE PLAN AND INCLUDED IN A PLANT SCHEDULE AT THE SITE PLAN STAGE. MAINTENANCE GUIDELINES FOR THESE AREAS SHALL BE PROVIDED.

### TREES TO BE SAVED/PROTECTED

ID#	SIZE	TYPE	CONDITION
#1	60" CAL.	CAK	FAIR
#2	48" CAL.	ELM	GOOD
#3	40" CAL.	ELM	GOOD

### GATEWAY VILLAGE TREE TAKE DOWN CHART

SITE SPECIMEN TREE REPLACEMENT REQUIRED	
TOTAL SITE INCHES REQUIRED TO BE REPLACED	1,341
TOTAL REPLACEMENT CALIPER INCH FROM SEC. 1	189
TOTAL REPLACEMENT CALIPER INCH FROM SEC. 2	354
TOTAL REPLACEMENT CALIPER INCH FROM SEC. 5	17.75
TOTAL REPLACEMENT CALIPER INCH FROM SECTION 3, LOT 133 & 134	214.9
REMAINING SPECIMEN CALIPER INCHES TO BE REPLACED PER FUTURE SECTIONS	565.25

22 Middleton Street Nashville, Tennessee 37219

**SWINNEY ASSOCIATES**  
 architecture • interior design • planning



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REVISED SITE CONCEPT PLAN

PROJECT NO. 1861

SECTION 3 LOT 133 REVISIONS

GATEWAY VILLAGE  
 FRANKLIN ROAD AND LYNNWOOD WAY  
 101 MOYER BLVD.  
 FRANKLIN, TENNESSEE

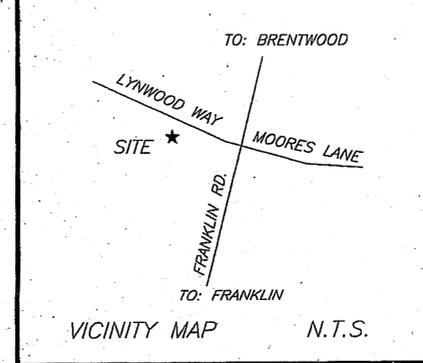
### REVISIONS

NO.	DATE	DESCRIPTION
1	01 MAR 08	
2	29 APR 08	
3	19 AUG 08	

PROJECT NO. 0906.01  
 DATE 07 MAR 08  
 SHEET NO.

**G1.01**

POST PC 9/11/08 RECD AUG 29 2008



**SPECIAL NOTE:**  
 THIS CONCEPT PLAN INFORMATION SHOWN WAS TAKEN FROM AVAILABLE PUBLIC INFORMATION PROVIDED BY THE CITY OF FRANKLIN. CDC LLC AND THIS ENGINEER ACCEPT NO LIABILITY AS THE EXACTNESS OF THE DEVELOPMENT OUTSIDE OF THE PROPOSED PLAN SHOWN.

TREES TO BE SAVED #1 68" OAK FAIR CONDITION, #2 48" ELM GOOD CONDITION, #3 40" ELM GOOD CONDITION

GATEWAY VILLAGE TREE TAKEDOWN CHART	
SITE SPECIMEN TREE REPLACEMENT REQUIRED	
TOTAL SITE INCHES REQUIRED TO BE REPLACED	1,341
TOTAL REPLACEMENT CALIPER INCH SECTION 1	189
TOTAL REPLACEMENT CALIPER INCH SECTION 2	354
TOTAL REPLACEMENT CALIPER INCH SECTION 6	17.8
TOTAL REPLACEMENT CALIPER INCHES SECTION 3 LOTS 133 AND 134	215
TOTAL REPLACEMENT CALIPER INCHES SECTION 3 LOT 143	55
TOTAL REPLACEMENT CALIPER INCHES SECTION 3 & 6 LOTS 138, 139, 140, 141 & 142	198
REMAINING SPECIMEN CALIPER INCHES TO BE REPLACED FOR FUTURE SECTIONS	510



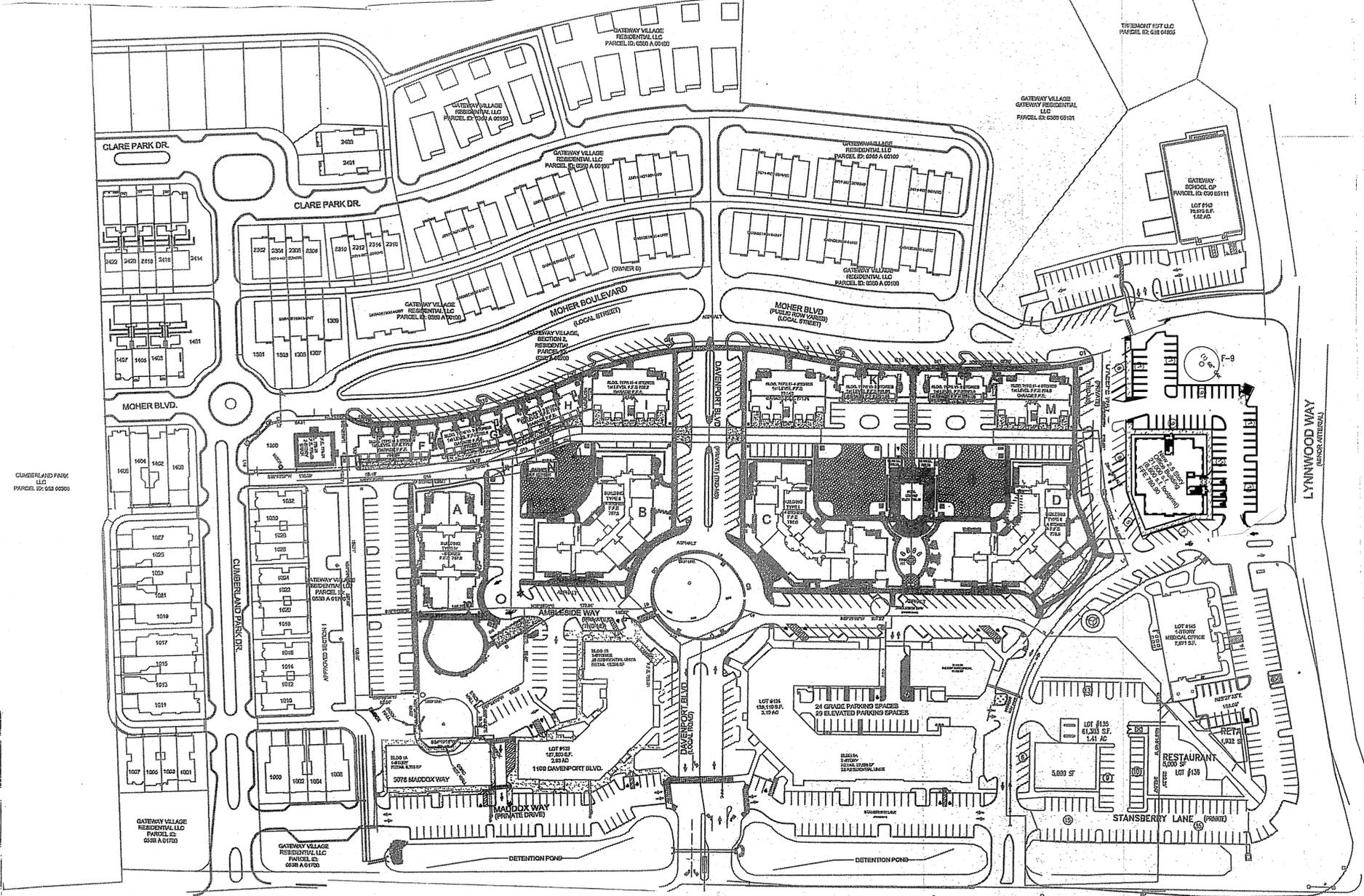
IF YOU DIG TENNESSEE...  
 CALL US FIRST!  
 1-800-351-1111  
 1-615-361-1987  
 TENNESSEE ONE CALL  
 IT'S THE LAW

LAND USE TABULATIONS  
 APPROVED ZONING

MIXED USE LOCAL (M1)  
 MIXED USE LOCAL (M1)  
 +/- 60.50 ACRE  
 402 DWELLING UNITS  
 15 DWELLING UNITS  
 113 DWELLING UNITS  
 6 DWELLING UNITS  
 214 DWELLING UNITS  
 (LOT 133-28, LOT 138, 186)

GROSS DENSITY  
 TOTAL S.F. OF RETAIL RESTAURANT  
 TOTAL S.F. OF OFFICE  
 TOTAL RETAIL OFFICE/RESTAURANT  
 PROPOSED FLOOR AREA RATIO  
 MAX. ALLOWED FLOOR AREA RATIO

6.64 DUA  
 83,082 S.F.  
 61,176 S.F.  
 144,258 S.F.  
 0.055  
 0.6



CLAMBERLAND PARK LLC  
 PARCEL ID: 643 0000

Gateway Village Section III Detailed Analysis  
 October 7, 2014

Lot	# of Units	"Traditional" spaces		Required Spaces	0.85	Actual
		Required	Actual			
<b>Lot 133</b>						
Camden Commons I Apartments						
Studio	2	1	2			
one bed	12	2	24			
two bed	14	2.5	35			
sq. ft.						
<b>Restaurants</b>						
Mack and Kates	3,077	7.5/1000	23			
Employees	9		7			
Wall Street Pizza	2,612	7.5/1000	20			
Employees	6		5			
Sopapillas	4,387	7.5/1000	33			
Employees	25		19			
Baxter & Co.						
Employees	10		10			
Stations	10		10			
Lunatic Frig						
Employees	10		10			
Stations	10		10			
True-I-Care	1,467	2.5/1000	3.67			
RBS-Quality	2,554	2.5/1000	6.41			
Stand & Whitley	2,732	2.5/1000	7			
Amish excellence	1,248	2.5/1000	3			
Applied from sec. I sub total	(37)					
sub total				228.08	193.87	191
<b>Lot 134</b>						
Residential						
Studio	15	1	15			
1 bed	25	2	50			
2 Bed	14	2.5	35			
sub total						
Commercial						
Retail	15,861	3.33	52.82			
Restaurant	4,136	10	41.36			
sub total				194.18	165.05	188
<b>Lot 135 (Bank)</b>						
sq. ft.	5,000	5/1000	25			
Stacking			30	25.50		45

Lot	# of Units	"Traditional" spaces		Required Spaces	0.85	Actual
		Required	Actual			
<b>Lot 136</b>						
Apollo Burger						
sq. ft.	3894					
employees	11		0			
Seats	80	0.67	53.6			
sub total			53.6	45.56		43
<b>Lot 137</b>						
Touchstone Imaging (office)						
sq. ft.	21,000	2.65/1000	60	60	51.00	52
<b>Lots 138, 139, 143, 142</b>						
Bell Apartments						
one bed	77	2	174			
two bed	77	2.5	192.5			
three bed	22	3	66			
sub total			432.5	367.63		467
<b>Lot 140</b>						
Small Park						
sq. ft.				21.00		21
<b>Lot 143</b>						
Goddard School ( daycare)						
Employees	30	1	30			
sq. ft.	10,278	2/1000	21			
Stacking			5			
sub total			51	43.35		46
<b>Lot 145</b>						
Camden Commons Plaza (Oral Surgery)						
sq. ft.	7885					
Employees	12					
Actual				36.00		36
<b>Total</b>				1049.36	891.96	1089.00

**FRANKLIN ROAD**  
 (MAJOR ARTERIAL)

MINIMUM OPEN SPACE REQUIREMENTS FOR RESIDENTIAL FORMAL OPEN SPACE  
 5% OF DEVELOPABLE AREA REQUIRED FOR FORMAL OPEN SPACE  
 TOTAL DEVELOPABLE AREA=41.82 ACRES, 5% OF 41.82 ACRES=2.09 ACRES OR 91,040 S.F.

KEY	TYPE	APPROVED AREA OF OPEN SPACE SF	APPROVED MAXIMUM PAVED AREA SF	PROPOSED OPEN SPACE AREA	PROPOSED MAXIMUM PAVED AREA S.F.
AREA F-1	SECTION 1 MEDIUM CIRCLE	9,096	2,499	9,096	2,499
AREA F-2	SECTION 2 MEDIUM/CIRCLE	6,624	1,656	6,624	1,656
AREA F-3	SECTION 3 PARK	11,623	2,906	11,623	2,906
AREA F-4	NEIGHBORHOOD PARK	42,271	10,567	42,271	10,543
AREA F-5	GATEWAY MACHINERY	14,500	3,627	14,500	3,627
AREA F-6 LOT 133, 138	FOCAL POINT	32,079	8,019	32,079	8,019
AREA F-6 LOT 143	FOCAL POINT	6,639	1,659	6,639	1,659
AREA F-7	TRAFFIC CIRCLE	6,639	1,659	6,639	1,659
AREA F-8	PARK	18,530	4,632	18,530	4,632
AREA F-9	PARK	16,076	4,019	16,076	4,019
AREA F-10	PARK	7,852	1,963	7,852	1,963
AREA F-11	PLAZA	13,791	3,447	13,791	3,447
		182,211	45,563	182,211	45,563

Lots	Required per "Traditional"	85%	Actual
133 Camden Commons I	228.08	193.868	191
134 Proposed CC II	194.18	165.053	188
135 Bank	30	25.5	45
136 Apollo Burger	53.6	45.56	43
137 Touchstone office Bldg.	60	51	52
143 Goddard School	51	43.35	46
145 Camden Medical Plaza	36	30.6	36
140 formal open space	21	17.85	21
138,			
139,			
141,			
142 Bell Apartments	432	367.2	467
<b>Totals</b>	<b>1105.86</b>	<b>939.981</b>	<b>1089</b>

INFORMAL OPEN SPACE  
 10% DEVELOPABLE AREA REQUIRED FOR INFORMAL OPEN SPACE  
 TOTAL DEVELOPABLE AREA=41.82 ACRES, 10% OF 41.82 ACRES=4.182 ACRES OR 182,081 S.F.

KEY	CLASSIFICATION	TYPE	AREA OF OPEN SPACE	PAVED AREA
AREA I-1	INFORMAL	HILLSIDE	1,017,610	

NOTE ONLY LOTS 133 AND 143 WERE DEVELOPED FROM 9/27/2007 APPROVAL THE SITE PLAN HAS EXPIRED FOR LOTS 134 AND 154

CURRENTLY APPROVED GATEWAY VILLAGE LAND USE DATA				
DEVELOPMENT	FMPC APPROVAL DATE	PC ZONED ACRE	TOTAL DWELLING UNITS	RETAIL OFFICE S.F.
CONCEPT PLAN	6/2/2008	60.5	419	142,258
CONCEPT PLAN REV. 3	5/22/2008	60.5	402	144,258
SECTION 1	8/8/2004	4.83	33	
SECTION 2	3/24/2005	11.42	95	
SECTION 6	7/27/2008	1.14	39	
SECTION 6 LOT 141 (REV 6)	9/23/2010	0.18	6	
APPROVED SECTION 3	9/27/2007	2.93	28	22,851
LOT 143	11/20/2008	1.92		10,276
SECTION 3 LOTS 138, 140, 144	9/23/2010	7.74	186	N/A (6,500 S.F. LEASING)
<b>TOTAL</b>			348	33,127



Revisions

HMJ Job Number  
**14035**

Drawn By  
**HMH**

Date  
**07.28.14**

Drawing

PROP. CONCEPT  
 AND PARKING PLAN

**PCP**