

DEVELOPMENT PLAN

CARDEL VILLAGE PUD SUBDIVISION

COF # 5916
 MAP 064, PARCEL 16.00
 MAP 064, PARCEL 17.00
 FRANKLIN, TENNESSEE
 CIVIL DISTRICT 5

SHEET INDEX

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- A 1.0 TYPICAL ARCHITECTURE



OWNER PARCEL 16.00 & 17.00

MELZ COMMERCIAL PROP LLC
 JOE MELZ
 1025 CARLISLE LN
 FRANKLIN, TN 37064

DEVELOPER

DEER CREEK HOMES, INC.
 P.O. BOX 681148
 FRANKLIN, TN 37068
 (615) 794-6912 joe@homesbydeercreek.com

ENGINEER

CIVIL SITE DESIGN GROUP
 630 SOUTHGATE AVE, SUITE A
 NASHVILLE TN 37203
 SEAN DECOSTER 615.248.9999
 EMAIL ADDRESS: seand@civil-site.com



NOTE: AERIAL PHOTO, PARCEL LINES AND TOPOGRAPHIC INFORMATION PROVIDED BY CITY OF FRANKLIN G.I.S.



LANDSCAPE ARCHITECT/PLANNER

GAMBLE DESIGN COLLABORATIVE
 144 SOUTHEAST PARKWAY SUITE 200
 FRANKLIN TN 37064
 GREG GAMBLE, RLA (615) 975-5765
 EMAIL ADDRESS: greggamble209@gmail.com



DEVELOPMENT PLAN

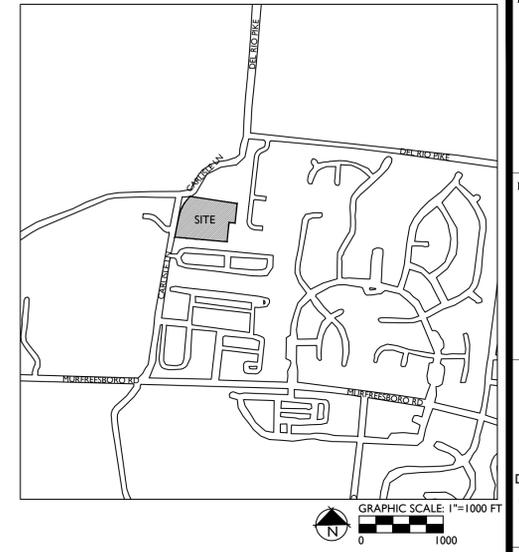
CARDEL VILLAGE PUD SUBDIVISION

COF # 5916
 FRANKLIN, TENNESSEE

SITE DATA:

PROJECT NAME:	CARDEL VILLAGE
PROJECT NUMBER:	5916
SUBDIVISION:	NA
LOT NUMBER:	NA
ADDRESS:	1034 & 1040 CARLISLE LANE
CITY:	FRANKLIN, TN
COUNTY:	WILLIAMSON
STATE:	TENNESSEE
CIVIL DISTRICT:	14TH CIVIL DISTRICT
MAP, GROUP, PARCEL NUMBERS:	MAP 64, PARCELS 16.00, 17.00
EXISTING ZONING:	ESTATE RESIDENTIAL (ER)
PROPOSED ZONING:	R-3 2.89 DUA
CHARACTER AREA OVERLAY:	WHCO-2
APPLICABLE DEVELOPMENT STANDARD:	CONVENTIONAL
TOTAL ACREAGE:	6.92 AC
TOTAL SQUARE FOOTAGE:	301,423 SF
MINIMUM REQUIRED SETBACKS:	
FRONT YARD:	15'
REAR YARD:	20'
SIDE YARD:	5'
OWNER/APPLICANT:	MELZ COMMERCIAL PROP LLC
ADDRESS:	1025 CARLISLE LANE
	FRANKLIN, TN 37064
CONTACT:	JOE MELZ (615) 794-6912 joe@homesbydeercreek.com
PLANNER/LANDSCAPE ARCHITECT:	GAMBLE DESIGN COLLABORATIVE
ADDRESS:	144 SOUTHEAST PARKWAY
	SUITE 200
	FRANKLIN, TN 37064
OFFICE PHONE:	615.975.5765
EMAIL ADDRESS:	greggamble209@gmail.com
CONTACT:	GREG GAMBLE

INITIAL SUBMITTAL	AUGUST 10, 2015
RESUBMITTAL	SEPTEMBER 3, 2015
REVISION	-
REVISION	-



LEGAL DESCRIPTION

A TRACT OF LAND LYING WHOLLY WITHIN THE FIFTH CIVIL DISTRICT, WILLIAMSON COUNTY, TENNESSEE, AND BOUND IN GENERAL BY MCLEMORE ON THE NORTH, CHRISMAN ON THE EAST, MCLEMORE ON THE SOUTH, AND CARLISLE LANE ON THE WEST.

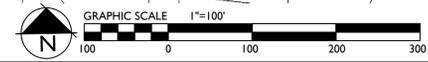
COMMENCING IN THE CENTER OF CARLISLE LANE AT AN INTERIOR CORNER OF WALTER CARLISLE; THENCE ALONG SAID CENTERLINE NORTH 8 DEGREES 45 MINUTES EAST 726.8 FEET TO THE POINT OF BEGINNING; THENCE LEAVING CENTERLINE AND ALONG A NEW STAKED LINE SOUTH 88 DEGREES 30 MINUTES EAST 703 FEET TO CHRISMAN'S WEST LINE; THENCE ALONG HIS WEST LINE NORTH 2 DEGREES 45 MINUTES WEST 651.5 FEET AND SOUTH 83 DEGREES 10 MINUTES WEST 28.2 FEET TO THE CENTERLINE OF CARLISLE LANE; THENCE ALONG SAID CENTERLINE SOUTH 8 DEGREES 45 MINUTES WEST 247 FEET TO THE POINT OF BEGINNING AND CONTAINS 3.86 ACRES MORE OR LESS.

NOTES:

1. AERIAL PHOTO, PARCEL LINES AND TOPOGRAPHIC INFORMATION PROVIDED BY CITY OF FRANKLIN G.I.S.
2. SITE BOUNDARY PROVIDED BY CIVIL SITE DESIGN GROUP

500' NEIGHBORS LIST:

PARCEL ID	OWNER	OWNER STREET	OWNER CITY	STATE	ZIP	ZONING	LAND USE	CHARACTER	STANDARD
064 01000	SMITH DORINDA CARLISLE	8305 STAPLES TRACE RD	GLEN ALLEN	VA	23060	ER	RESIDENTIAL	WHCO-2	EITHER
064 01002	ENGLEHARDT NANCY CARLISLE	603 DUNDEE LN	HOLMES BEACH	FL	34217	ER	RESIDENTIAL	WHCO-2	EITHER
064 01200	CHAPMAN JOE M	3001 DEL RIO PK	FRANKLIN	TN	37069	ER	RESIDENTIAL	WHCO-2	EITHER
064 F 00100	FORD MIKE CUSTOM BUILDERS LLC	390 MALLORY STA RD #110	FRANKLIN	TN	37067	R-3	RESIDENTIAL	WHCO-2	EITHER
064 01400	DOMUS PARTNERS LLC	1048 CARLISLE LN	FRANKLIN	TN	37064	ER	RESIDENTIAL	WHCO-2	EITHER
064 01907	MELZ JOSEPH	P O BOX 681148	FRANKLIN	TN	37068	ER	RESIDENTIAL	WHCO-2	EITHER
064 D 00100	CARLISLE HOMEOWNERS ASSOC INC	130 SEABARD LN #A-9	FRANKLIN	TN	37067	R-3	RESIDENTIAL	WHCO-2	EITHER
064 D 00200	JOHNSON KRIS A	1600 COOPER CREEK LN	FRANKLIN	TN	37064	R-3	RESIDENTIAL	WHCO-2	EITHER
064 D 00300	DABNEY JAMES J	1604 COOPER CREEK LN	FRANKLIN	TN	37064	R-3	RESIDENTIAL	WHCO-2	EITHER
064 D 00400	PIERCE LISA K	1608 COOPER CREEK LN	FRANKLIN	TN	37064	R-3	RESIDENTIAL	WHCO-2	EITHER
064 D 00500	VARNER GARRETT A TR	1612 COOPER CREEK LN	FRANKLIN	TN	37064	R-3	RESIDENTIAL	WHCO-2	EITHER
064 D 00600	CURTIS HOWARD	1616 COOPER CREEK LN	FRANKLIN	TN	37064	R-3	RESIDENTIAL	WHCO-2	EITHER
064 D 00700	BUTLER CATHEY G	1620 COOPER CREEK LN	FRANKLIN	TN	37064	R-3	RESIDENTIAL	WHCO-2	EITHER
064 D 00800	LUNN WALLACE E III	1624 COOPER CREEK LN	FRANKLIN	TN	37064	R-3	RESIDENTIAL	WHCO-2	EITHER
064 D 00900	LINTON JAMES	1628 COOPER CREEK LN	FRANKLIN	TN	37064	R-3	RESIDENTIAL	WHCO-2	EITHER
064 D 01000	BANGERT RICHARD A	1632 COOPER CREEK LN	FRANKLIN	TN	37067	R-3	RESIDENTIAL	WHCO-2	EITHER
064 D 01100	WILLE BRIAN C	1636 COOPER CREEK LN	FRANKLIN	TN	37064	R-3	RESIDENTIAL	WHCO-2	EITHER
064 E 01000	WABBY WALTER A	117 CORNERSTONE CR	FRANKLIN	TN	37064	R-3	RESIDENTIAL	WHCO-2	EITHER
064 E 01100	WHEATLEY ALICE TR	119 CORNERSTONE CR	FRANKLIN	TN	37064	R-3	RESIDENTIAL	WHCO-2	EITHER
064 E 01200	SALLS DANIEL RYAN	121 CORNERSTONE CR	FRANKLIN	TN	37064	R-3	RESIDENTIAL	WHCO-2	EITHER
064 E 01300	SAXTON JOHN	123 CORNERSTONE CR	FRANKLIN	TN	37064	R-3	RESIDENTIAL	WHCO-2	EITHER
064 E 01400	MCKEE MITCHELL	125 CORNERSTONE CR	FRANKLIN	TN	37064	R-3	RESIDENTIAL	WHCO-2	EITHER
064 E 02200	NORDHOFF MICHAEL G	137 CORNERSTONE CR	FRANKLIN	TN	37064	R-3	RESIDENTIAL	WHCO-2	EITHER
064 E 02300	SHN CHANG SUG	139 CORNERSTONE CR	FRANKLIN	TN	37064	R-3	RESIDENTIAL	WHCO-2	EITHER
064 E 04700	CORNERSTONE HOMEOWNERS ASSOC INC	P O BOX 1391	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064 E 04000	TERRY TRACEY MICHELLE	110 CORNERSTONE CR	FRANKLIN	TN	37064	R-3	RESIDENTIAL	WHCO-2	EITHER
064 E 04100	SMITH SCOTT B	201 CORNERSTONE LN	FRANKLIN	TN	37064	R-3	RESIDENTIAL	WHCO-2	EITHER
064 E 04400	WILKES ROBIN S	200 CORNERSTONE LN	FRANKLIN	TN	37064	R-3	RESIDENTIAL	WHCO-2	EITHER
064 E 04500	HENDERSON JERRY E	122 CORNERSTONE CR	FRANKLIN	TN	37064	R-3	RESIDENTIAL	WHCO-2	EITHER
064 E 04600	HUTCHISON CHAD R	142 CORNERSTONE CR	FRANKLIN	TN	37064	R-3	RESIDENTIAL	WHCO-2	EITHER
064 E 04700	CORNERSTONE HOMEOWNERS	P O BOX 1391	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064 E 00100	CORNERSTONE HOMEOWNERS	P O BOX 1391	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064 E 00200	OETJEN STEPHEN	101 CORNERSTONE CR	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064 E 00300	SIMPKINS RBY C III	103 CORNERSTONE CR	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064 E 00400	PIERCE CLAYTON H	105 CORNERSTONE CR	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064 E 00500	TURBERFIELD MARK A	107 CORNERSTONE CR	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064 E 00600	BURNS JASON M	109 CORNERSTONE CR	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064 E 00700	HARLOW ROBERT EDWARD	111 CORNERSTONE CR	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064 E 00800	SCHMIDT RAYMOND P REV TRUST	113 CORNERSTONE CR	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064 E 00900	LAMA PHURBA	115 CORNERSTONE CR	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064 E 01500	KELLY SCOTT H	127 CORNERSTONE CR	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064 E 01600	CORNERSTONE ASSOC INC	P O BOX 1391	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064 E 01700	BROWN JOHN JAY	131 CORNERSTONE CR	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064 E 01800	SOUSOULAS REBECCA LEWIS	133 CORNERSTONE CR	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064 E 01900	SCHUSTER ANN M	135 CORNERSTONE CR	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064 E 02000	HARLOW SAMUEL	400 CORNERSTONE WAY	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064 E 02100	CUNNINGHAM JOHN E	402 CORNERSTONE WAY	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064 E 02400	WIMBERLY DOUGLAS	141 CORNERSTONE CR	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064 E 02500	TEAL LA	337 16TH WOODL RD	MANCHESTER	TN	37355	R-3	RESIDENTIAL	WHCO-2	EITHER
064 E 02600	ROBESON JULIA	145 CORNERSTONE LN	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064 E 02700	DARBY WILLIAM	147 CORNERSTONE CR	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064 E 02800	CORNERSTONE HOMEOWNERS ASSOC INC	P O BOX 1391	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064 E 02900	CRAMER CASEY ROSS	151 CORNERSTONE CR	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064 E 03000	RYAN DOUGLAS J	153 CORNERSTONE CR	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064 E 03100	PERRY KENNETH	155 CORNERSTONE CR	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064 E 03200	SCOTT TONY D	157 CORNERSTONE CR	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064 E 03300	ELZINGA JOHN	159 CORNERSTONE CR	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064 E 03400	BICKEL LESLIE L	161 CORNERSTONE CR	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064 E 03500	QUAGLIA WILLIAM A	163 CORNERSTONE CR	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064 E 03600	RICHEY ROY	165 CORNERSTONE CR	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064 E 03700	CORNERSTONE HOMEOWNERS	P O BOX 1391	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064 E 03800	CORNERSTONE HOMEOWNERS ASSOC INC	P O BOX 1391	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064 E 03900	GAIT WALTER LEE	156 CORNERSTONE CR	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064 E 04200	DICKSON CHRISTOPHER L	203 CORNERSTONE LN	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064 E 04300	PARKER A MICHAEL	202 CORNERSTONE LN	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064 D 01200	MARKS ALEX S	1640 COOPER CREEK LN	FRANKLIN	TN	37064	R-3	RESIDENTIAL	WHCO-2	EITHER
064 D 01300	PAYLASEK RICHARD JR	1644 COOPER CREEK LN	FRANKLIN	TN	37064	R-3	RESIDENTIAL	WHCO-2	EITHER
064 D 01400	OCKENFELS RALPH J	1648 COOPER CREEK LN	FRANKLIN	TN	37064	R-3	RESIDENTIAL	WHCO-2	EITHER
064 D 01500	BROOKS MICHAEL P	1652 COOPER CREEK LN	FRANKLIN	TN	37064	R-3	RESIDENTIAL	WHCO-2	EITHER
064 D 01600	FRANKS RONALD L	1654 COOPER CREEK LN	FRANKLIN	TN	37064	R-3	RESIDENTIAL	WHCO-2	EITHER
064 01500	TIMOTHY J GILL	1044 CARLISLE LANE	FRANKLIN	TN	37064	ER	RESIDENTIAL	WHCO-2	EITHER



Drawing Notes:



DESIGN COLLABORATIVE
DEVELOPMENT PLANNING AND
LANDSCAPE ARCHITECTURE

Date: AUGUST 10, 2015

**CARDEL VILLAGE PUD SUBDIVISION
DEVELOPMENT PLAN**
Parcels 16.00, 17.00 on Map 64
Franklin, Williamson County, Tennessee



GAMBLE DESIGN COLLABORATIVE
144 SOUTHEAST PARKWAY
SUITE 230
FRANKLIN, TENNESSEE 37064
GREG GAMBLE
greggamble209@gmail.com
615.975.5765

**EXISTING
CONDITIONS**

C 2.0



SITE DATA:

PROJECT NAME: CARDEL VILLAGE
PROJECT NUMBER: 5916
SUBDIVISION: NA
LOT NUMBER: NA
ADDRESS: 1034 & 1040 CARLISLE LANE
CITY: FRANKLIN, TN
COUNTY: WILLIAMSON
STATE: TENNESSEE
CIVIL DISTRICT: 14TH CIVIL DISTRICT
MAP, GROUP, PARCEL NUMBERS: MAP 64, PARCELS 16.00, 17.00

EXISTING ZONING: ESTATE RESIDENTIAL (ER)
PROPOSED ZONING: R-3 2.89 DU/A
CHARACTER AREA OVERLAY: W/MCO-2
APPLICABLE DEVELOPMENT STANDARD: CONVENTIONAL
TOTAL ACREAGE: 7.16 AC (312,165.8 SF)
TOTAL DEDICATED ROW (CARLISLE LANE): 0.24 AC (10,742.8 SF)

TOTAL PUD ACREAGE: 6.919 AC
TOTAL SQUARE FOOTAGE: 301,423 SF

MINIMUM REQUIRED SETBACKS:
FRONT YARD: 15'
REAR YARD: 20'
SIDE YARD: 5'

OWNER/APPLICANT: MELZ COMMERCIAL PROP LLC
ADDRESS: 1025 CARLISLE LANE
FRANKLIN, TN 37064
CONTACT: JOE MELZ
(615) 794-6912 joe@homesbydeercreek.com

PLANNER/LANDSCAPE ARCHITECT: GAMBLE DESIGN COLLABORATIVE
ADDRESS: 144 SOUTHEAST PARKWAY
SUITE 230
FRANKLIN, TN 37064
OFFICE PHONE: 615.975.5765
EMAIL ADDRESS: greggamble209@gmail.com
CONTACT: GREG GAMBLE

PROJECT CHARACTERISTICS
BUILDING SQUARE FOOTAGE: N/A
BUILDING HEIGHT: 2 STORY
MINIMUM LANDSCAPE RATIO: 0.40
TRANSITIONAL FEATURES BUFFER REQUIRED: YES
TYPE C BUFFER TO NORTH

MINIMUM PARKING REQUIRED: 2 SPACES PER HOME
MAXIMUM PARKING LIMIT: N/A
EXISTING PARKING: N/A
PARKING PROVIDED: SINGLE FAMILY DETACHED
2 PER UNIT

RESIDENTIAL DENSITY: 2.90 DU/A (20 LOTS)
EXISTING TREE CANOPY: 1.20 AC
PRESERVED TREE CANOPY: 0.65 AC

PARKLAND: 20 HOMES * 1200 SF = 24,000 SF (0.55 AC) TO BE PAID FEE-IN-LIEU
OPEN SPACE: 1.52 AC PROVIDED (27.25%)
TOTAL REQUIRED: 1.04 AC (15% OF ACREAGE)
TOTAL PROVIDED: 1.52 AC (21.97%)

FORMAL: 0.36 AC (35.0% OF REQUIRED)
INFORMAL PROVIDED: 1.16 AC
REQUIRED: 0.34 AC (33%)
PROVIDED: 0.36 AC (35.0%)

STATEMENT OF IMPACTS
MAJOR THOROUGHFARE PLAN
CARLISLE LANE IS A MAJOR COLLECTOR AND REQUIRES A 65 FOOT RIGHT OF WAY. 10,742.8 SF OF LAND HAS BEEN REMOVED FROM THE PUD AS RIGHT OF WAY DEDICATION.

WATER
WATER SERVICE WILL BE PROVIDED BY THE CITY OF FRANKLIN. THE WATER MAIN WILL BE SERVED FROM A MAIN IN CARLISLE LANE.
20 x 350 GDP = 7,000 GDP

SEWER
SEWER SERVICE WILL BE PROVIDED BY THE CITY OF FRANKLIN THROUGH ADJACENT PROPERTIES TO CONNECT TO THE SEWER MAIN WITHIN BLOSSOM PARK.

DRAINAGE FACILITIES
THE PROPERTY WILL BE DRAINED TO THE EAST TO DETENTION FACILITIES. THE DETENTION PONDS WILL DRAIN TO DEL RIO CREEK TO THE EAST OF THE SITE.

POLICE AND FIRE DEPT
FRANKLIN FIRE DEPT STATION #1 - 2.1 MILES DRIVING DISTANCE
COLUMBIA AVE POLICE STATION - 2.7 MILES DRIVING DISTANCE

RECREATION FACILITIES
JIM WARREN PARK - 1.1 MILES DRIVING DISTANCE

PROJECTED STUDENT POPULATION
THE STUDENT POPULATION IS PROJECTED AT A RATE OF .64 STUDENTS PER HOME: 20 x .64 = 12.8 STUDENTS
WALNUT GROVE ELEMENTARY SCHOOL 3.4 MILES
GRASSLAND MIDDLE SCHOOL 6.1 MILES
FRANKLIN HIGH SCHOOL 2.5 MILES

REFUSE COLLECTION
REFUSE COLLECTION SERVICE WILL BE PROVIDED BY THE CITY OF FRANKLIN SOLID WASTE.

RESTRICTIVE COVENANTS
A HOME OWNER'S ASSOCIATION WILL BE ESTABLISHED PRIOR TO THE FIRST OCCUPANCY OF RESIDENTS. THE HOME OWNER'S ASSOCIATION WILL REGULATE ARCHITECTURAL STANDARDS AND THE MAINTENANCE OF THE COMMUNITY. THE HOA WILL MAINTAIN ALL COMMON OPEN SPACE AND RECREATIONAL AREAS.

MINERAL RIGHTS
NO THIRD PARTY MINERAL RIGHTS ARE ASSOCIATED WITH THIS PROPERTY. COF 5916

SITE ACREAGE
PROPOSED PROPERTY LINE: 6.92 AC
(BASED ON CIP APPROVED ROAD ALIGNMENT)

NOTES:
1. THERE ARE NO EXISTING SLOPES GREATER THAN 14%.
2. THERE ARE NO FLOODPLAINS EXISTING ON THE SITE.
3. AERIAL PHOTO, PARCEL LINES AND TOPOGRAPHIC INFORMATION PROVIDED BY CITY OF FRANKLIN G.I.S.
4. SITE BOUNDARY CALLS PROVIDED BY CIVIL SITE DESIGN.
5. NO THIRD PARTY MINERAL RIGHTS ARE ASSOCIATED WITH THIS PROPERTY.
6. IN THE EXISTING CONDITION THE SITE DRAINS TO THE EAST VIA SHEET FLOW AND IS COMPRISED OF 2 SUB BASINS.

TREE CANOPY RETENTION

TREE AREA	EXISTING	REMOVED	RETAINED
TREE A	30,162 SF	9,791 SF	20,371 SF
TREE B	8,528 SF	3,558 SF	4,970 SF
TREE C	8,287 SF	8,287 SF	0 SF
TREE D	5,168 SF	2,311 SF	2,858 SF
TOTAL SF	52,143 SF	23,947 SF	28,196 SF

TREE CANOPY DATA
EXISTING TREE CANOPY: 52,143 SF
52,143 SF / 301,423 SF = .173 (17.3%) OF TOTAL SITE

REQUIRED CANOPY PRESERVATION = 54% OF TOTAL CANOPY
52,143 SF * 54% = 28,167 SF

PROVIDED CANOPY PRESERVED = 28,196 SF (54%) OF TOTAL EXISTING CANOPY

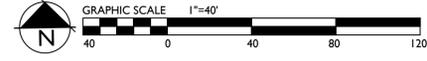


SPECIMEN TREES

NUMBER	TYPE	SIZE	HEALTH	STATUS
1	PINE	26	GOOD	RETAINED
2	MAPLE	24	GOOD	RETAINED
3	OAK	34	GOOD	RETAINED
4	OAK	30	GOOD	RETAINED
5	OAK	36	GOOD	RETAINED
6	OAK	28	GOOD	REMOVED
7	OAK	34	GOOD	RETAINED
8	MAPLE	32	GOOD	RETAINED

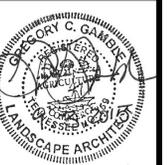
SOIL TYPES

MIC2	Mimosa Silt Loam, 5 to 12% Slopes, Eroded
MoD	Mimosa and Ashwood Very Rocky Soils, 5 to 20% Slopes
MIB2	Mimosa Silt Loam, 2 to 5% Slopes, Eroded
MmD3	Mimosa Silty Clay, 10 to 20% Slopes, Severely Eroded





CARDEL VILLAGE DEVELOPMENT PLAN
Parcels 16.00, 17.00 on Map 64
Franklin, Williamson County, Tennessee



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144 SOUTHEAST PARKWAY
SUITE 200
FRANKLIN, TENNESSEE 37064
GREG GAMBLE
ggambl209@gmail.com
615.975.5765

DEVELOPMENT PLAN

C 3.0



GRAPHIC SCALE: 1"=1000 FT

SITE DATA:

PROJECT NAME: CARDEL VILLAGE
PROJECT NUMBER: 5916
SUBDIVISION: NA
LOT NUMBER: NA
ADDRESS: 1034 & 1040 CARLISLE LANE
CITY: FRANKLIN, TN
COUNTY: WILLIAMSON
STATE: TENNESSEE
CIVIL DISTRICT: 14TH CIVIL DISTRICT
MAP, GROUP, PARCEL NUMBERS: MAP 64, PARCELS 16.00, 17.00

EXISTING ZONING: ESTATE RESIDENTIAL (ER)
PROPOSED ZONING: R-3 289 DU/A
CHARACTER AREA OVERLAY: WHCO-2
APPLICABLE DEVELOPMENT STANDARD: CONVENTIONAL
TOTAL ACREAGE: 7.16 AC (312,165.8 SF)
TOTAL DEDICATED ROW (CARLISLE LANE): 0.24 AC (10,742.8 SF)

TOTAL PUD ACREAGE: 6.919 AC
TOTAL SQUARE FOOTAGE: 301,423 SF
MINIMUM REQUIRED SETBACKS:
FRONT YARD: 15'
REAR YARD: 20'
SIDE YARD: 5'

OWNER/APPLICANT: MELZ COMMERCIAL PROP LLC
ADDRESS: 1025 CARLISLE LANE
FRANKLIN, TN 37064
CONTACT: JOE MELZ
(615) 794-6912 joe@homesbydecreek.com

PLANNER/LANDSCAPE ARCHITECT: GAMBLE DESIGN COLLABORATIVE
ADDRESS: 144 SOUTHEAST PARKWAY
SUITE 200
FRANKLIN, TN 37064
OFFICE PHONE: 615.975.5765
EMAIL ADDRESS: greggambl209@gmail.com
CONTACT: GREG GAMBLE

PROJECT CHARACTERISTICS
BUILDING SQUARE FOOTAGE: N/A
BUILDING HEIGHT: 2 STORY
MINIMUM LANDSCAPE RATIO: 0.40
TRANSITIONAL FEATURES BUFFER REQUIRED: YES
TYPE C BUFFER TO NORTH

MINIMUM PARKING REQUIRED: 2 SPACES PER HOME
MAXIMUM PARKING LIMIT: N/A
EXISTING PARKING: N/A
PARKING PROVIDED: SINGLE FAMILY DETACHED
2 PER UNIT
2.90 DU/A (20 LOTS)
RESIDENTIAL DENSITY: 1.20 AC
EXISTING TREE CANOPY: 0.65 AC
PRESERVED TREE CANOPY:

PARKLAND: 20 HOMES * 1200 SF = 24,000 SF (0.55 AC) TO BE PAID FEE-IN-LIEU
OPEN SPACE: 1.52 AC PROVIDED (27.25%)
TOTAL REQUIRED: 1.04 AC (15% OF ACREAGE)
TOTAL PROVIDED: 1.52 AC (21.97%)

FORMAL: 0.36 AC (35.0% OF REQUIRED)
REQUIRED: 0.34 AC (33%)
INFORMAL PROVIDED: 1.16 AC
PROVIDED: 0.36 AC (35.0%)

STATEMENT OF IMPACTS
MAJOR THOROUGHFARE PLAN
CARLISLE LANE IS A MAJOR COLLECTOR AND REQUIRES A 65 FOOT RIGHT OF WAY. 10,742.8 SF OF LAND HAS BEEN REMOVED FROM THE PUD AS RIGHT OF WAY DEDICATION.

WATER
WATER SERVICE WILL BE PROVIDED BY THE CITY OF FRANKLIN. THE WATER MAIN WILL BE SERVED FROM A MAIN IN CARLISLE LANE.
20 x 350 GPD = 7,000 GPD

SEWER
SEWER SERVICE WILL BE PROVIDED BY THE CITY OF FRANKLIN THROUGH ADJACENT PROPERTIES TO CONNECT TO THE SEWER MAIN WITHIN BLOSSOM PARK.

DRAINAGE FACILITIES
THE PROPERTY WILL BE DRAINED TO THE EAST TO DETENTION FACILITIES. THE DETENTION PONDS WILL DRAIN TO DEL RIO CREEK TO THE EAST OF THE SITE.

POLICE AND FIRE DEPT
FRANKLIN FIRE DEPT STATION #1 - 2.1 MILES DRIVING DISTANCE
COLUMBIA AVE POLICE STATION - 2.7 MILES DRIVING DISTANCE

RECREATION FACILITIES
JIM WARREN PARK - 1.1 MILES DRIVING DISTANCE

PROJECTED STUDENT POPULATION
THE STUDENT POPULATION IS PROJECTED AT A RATE OF .64 STUDENTS PER HOME: 20 x .64 = 12.8 STUDENTS
WALNUT GROVE ELEMENTARY SCHOOL 3.4 MILES
GRASSLAND MIDDLE SCHOOL 6.1 MILES
FRANKLIN HIGH SCHOOL 2.5 MILES

REFUSE COLLECTION
REFUSE COLLECTION SERVICE WILL BE PROVIDED BY THE CITY OF FRANKLIN SOLID WASTE.

RESTRICTIVE COVENANTS
A HOME OWNER'S ASSOCIATION WILL BE ESTABLISHED PRIOR TO THE FIRST OCCUPANCY OF RESIDENTS. THE HOME OWNER'S ASSOCIATION WILL REGULATE ARCHITECTURAL STANDARDS AND THE MAINTENANCE OF THE COMMUNITY. THE HOA WILL MAINTAIN ALL COMMON OPEN SPACE AND RECREATIONAL AREAS.

TREE CANOPY RETENTION

TREE AREA	EXISTING	REMOVED	RETAINED
TREE A	30,162 SF	9,791 SF	20,371 SF
TREE B	8,528 SF	3,568 SF	4,970 SF
TREE C	8,287 SF	8,287 SF	0 SF
TREE D	5,186 SF	2,311 SF	2,855 SF
TOTAL SF	52,143 SF	23,947 SF	28,196 SF

TREE CANOPY DATA
EXISTING TREE CANOPY: 52,143 SF
52,143 SF/301,423 SF = .173 (17.3%) OF TOTAL SITE
REQUIRED CANOPY PRESERVATION = 54% OF TOTAL CANOPY
52,143 SF * 54% = 28,157 SF
PROVIDED CANOPY PRESERVED = 28,196 SF (54% OF TOTAL EXISTING CANOPY)

○ SPECIMEN TREE: > 24"

HYDRANT FIRE FLOW
HETHCOAT AND DAVIS, INC
HYDRANT LOCATED AT THE INTERSECTION OF CARLISLE LANE AND OLD CHARLOTTE PIKE.
FLOW: 2,771 PSI AT 20 GPM
STATIC PRESSURE: 59 PSI
RESIDUAL PRESSURE: 55 PSI

CONNECTIVITY INDEX

0 LINKS 3
X NODES 2

INDEX = 1.5

DUE TO EXISTING CONDITIONS OF THIS PROPERTY, AND ADJACENT EXISTING SUBDIVISION, OFF-SITE CONNECTIONS ARE NOT POSSIBLE AND ARE NOT PROVIDED WITH THIS PUD. A SPECIAL EXCEPTION IS REQUESTED FROM THE ENGINEERING DEPARTMENT FOR OFF SITE CONNECTIONS.

CRITICAL TREE LOTS

LOTS 2, 17, 18, AND 20 ARE CRITICAL TREE LOTS.

* CRITICAL TREE LOT

LAND USE PLAN COMPLIANCE

CARDEL VILLAGE IS LOCATED IN THE WEST HARPETH CHARACTER AREA. THE DESIGN STANDARDS PERMIT EITHER TRADITIONAL OF CONVENTIONAL DEVELOPMENT FORMS. SINGLE FAMILY DETACHED HOMES ARE PERMITTED WITHIN THIS CHARACTER AREA AT DENSITIES SIMILAR TO THE THE EXISTING DEVELOPED SUBDIVISIONS.

- CHARACTER AREA OVERLAY: WHCO-2
APPLICABLE DEVELOPMENT STANDARD: CONVENTIONAL
- THE EXISTING USES WITHIN THE WEST HARPETH CHARACTER AREA 2 ARE PREDOMINANTLY SINGLE FAMILY DETACHED HOMES. THE PROPOSED PLAN PROVIDES SINGLE FAMILY HOME LOTS.
 - THE PROPOSED DEVELOPMENT PLAN FACES FUTURE HOMES TOWARD CARLISLE LANE, FRONTING THE STREET, WITH ALLEY ACCESS ALONG THE REAR OF THE LOT.
 - THE PROPOSED DEVELOPMENT WILL BE ACCESSED FROM CARLISLE LANE.

LOCAL COMPATIBILITY

CARDEL VILLAGE IS LOCATED IN THE WHCO-2 CHARACTER AREA. THE DESIGN STANDARDS PERMIT EITHER TRADITIONAL OF CONVENTIONAL DEVELOPMENT FORMS. SINGLE FAMILY DETACHED HOMES ARE PERMITTED WITHIN THIS CHARACTER AREA AT DENSITIES SIMILAR TO THE THE EXISTING DEVELOPED SUBDIVISIONS.

CARDEL VILLAGE IS A 20 LOT SINGLE FAMILY DETACHED RESIDENTIAL SUBDIVISION ACCESSED FROM CARLISLE LANE. THE PROPOSED RESIDENTIAL LOTS ARE CONSISTENT WITH THE LOTS OF BLOSSOM PARK TO THE EAST, AND CORNERSTONE TO THE SOUTH. OPEN SPACE AND A TRANSITIONAL FEATURES BUFFER HAS BEEN PLACED ON THE NORTHERN BOUNDARY OF THE SUBDIVISION ADJACENT TO THE NEIGHBORING ESTATE RESIDENTIAL PROPERTY.

THE PROPOSED PLAN INCORPORATES THE FUTURE RIGHT-OF-WAY OF CARLISLE LANE PER THE MAJOR THOROUGHFARE PLAN. RIGHT-OF-WAY WILL BE DEDICATED TO THE CITY OF FRANKLIN FOR THESE FUTURE IMPROVEMENTS. AN ALLEY IS PROPOSED BEHIND LOTS 17 TO 20 SO THAT THESE HOMES MAY FRONT ONTO CARLISLE LANE AND SO THAT IN THE FUTURE THE ALLEY MAY BE EXTENDED TO THE NORTH PARALLEL TO CARLISLE LANE.

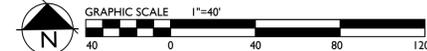
PHASING

THE DEVELOPMENT WILL BE CONSTRUCTED AS A SINGLE PHASE.

HILLSIDE PROTECTION OVERLAY BUFFER
LOTS 1, 2, 3, 4, 16, 17, 18, 19, AND 20 ARE LOCATED WITHIN THE BUFFER YARD. NO 14 PERCENT SLOPES ARE PRESENT ON THESE LOTS.



NOTE: AERIAL PHOTO, PARCEL LINES AND TOPOGRAPHIC INFORMATION PROVIDED BY CITY OF FRANKLIN G.I.S.



COF 5916



TREE CANOPY RETENTION

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 52,143 SF * 54% = 28,157 SF
 PROVIDED CANOPY PRESERVED = 28,196 SF (54%) OF TOTAL EXISTING CANOPY

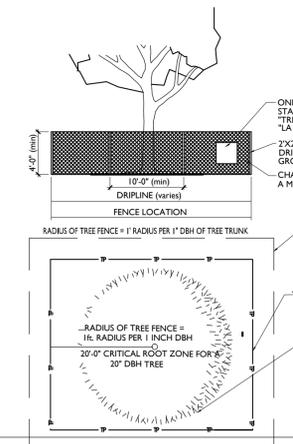


SPECIMEN TREES

NUMBER	TYPE	SIZE	HEALTH	STATUS
1	PINE	28	GOOD	RETAINED
2	MAPLE	24	GOOD	RETAINED
3	OAK	34	GOOD	RETAINED
4	OAK	30	GOOD	RETAINED
5	OAK	36	GOOD	RETAINED
6	OAK	28	GOOD	REMOVED
7	OAK	34	GOOD	RETAINED
8	MAPLE	32	GOOD	RETAINED

*** CRITICAL TREE LOT**

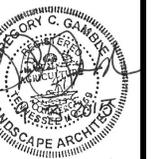
NOTE:
 THE AERIAL PHOTOGRAPH DOES NOT ACCURATELY REPRESENT THE TREE CANOPY OF THE PROPERTY. SEVERAL TREES HAVE BEEN REMOVED PRIOR TO THE APPLICATION OF THIS DEVELOPMENT PLAN. THE TREE CANOPY HAS BEEN FIELD VERIFIED BY THE LANDSCAPE ARCHITECT.



TREE PROTECTION FENCING DETAIL

SITE DATA:
 PROJECT NAME: CARDEL VILLAGE
 PROJECT NUMBER: 5916
 SUBDIVISION: NA
 LOT NUMBER: NA
 ADDRESS: 1034 & 1040 CARLISLE LANE
 CITY: FRANKLIN, TN
 COUNTY: WILLIAMSON
 STATE: TENNESSEE
 CIVIL DISTRICT: 14TH CIVIL DISTRICT
 MAP 64, PARCELS 16.00, 17.00
 EXISTING ZONING: ESTATE RESIDENTIAL (ER)
 PROPOSED ZONING: R-3 2.89 DU/A
 CHARACTER AREA OVERLAY: WMO-2
 APPLICABLE DEVELOPMENT STANDARD: CONVENTIONAL
 TOTAL ACREAGE: 7.16 AC (312,165.8 SF)
 TOTAL DEDICATED ROW (CARLISLE LANE): 0.24 AC (10,742.8 SF)
 TOTAL PUD ACREAGE: 6.919 AC
 TOTAL SQUARE FOOTAGE: 301,423 SF
 MINIMUM REQUIRED SETBACKS:
 FRONT YARD: 15'
 REAR YARD: 20'
 SIDE YARD: 5'
OWNER/APPLICANT:
 ADDRESS: MELZ COMMERCIAL PROP LLC
 1025 CARLISLE LANE
 FRANKLIN, TN 37064
 CONTACT: JOE MELZ
 (615) 794-6912 joe@homesbydeercreek.com
PLANNER/LANDSCAPE ARCHITECT:
 ADDRESS: GAMBLE DESIGN COLLABORATIVE
 144 SOUTHEAST PARKWAY
 SUITE 230
 FRANKLIN, TN 37064
 615.975.5765
 greggambledesign@gmail.com
 GREG GAMBLE
PROJECT CHARACTERISTICS
 BUILDING SQUARE FOOTAGE: N/A
 BUILDING HEIGHT: 2 STORY
 MINIMUM LANDSCAPE RATIO: 0.40
 TRANSITIONAL FEATURES BUFFER REQUIRED: YES
 TYPE C BUFFER TO NORTH
MINIMUM PARKING REQUIRED: 2 SPACES PER HOME
MAXIMUM PARKING LIMIT: N/A
EXISTING PARKING: N/A
PARKING PROVIDED: SINGLE FAMILY DETACHED
 2 PER UNIT
RESIDENTIAL DENSITY: 2.90 DU/A (20 LOTS)
EXISTING TREE CANOPY: 1.20 AC
PRESERVED TREE CANOPY: 0.65 AC
PARKLAND: 20 HOMES * 1200 SF = 24,000 SF (0.55 AC) TO BE PAID FEE-IN-LIEU
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TOTAL REQUIRED: 1.04 AC (15% OF ACREAGE)
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FORMAL: 0.36 AC (35.0% OF REQUIRED)
 REQUIRED: 0.34 AC (33%)
 PROVIDED: 0.36 AC (35.0%)
INFORMAL PROVIDED: 1.16 AC

CARDEL VILLAGE
DEVELOPMENT PLAN
Parcels 16.00, 17.00 on Map 64
Franklin, Williamson County, Tennessee



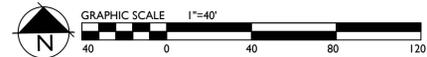
GAMBLE DESIGN COLLABORATIVE
 144 SOUTHEAST PARKWAY
 SUITE 230
 FRANKLIN, TENNESSEE 37064
 GREG GAMBLE
 ggambledesign@gmail.com
 615.975.5765

TREE PRESERVATION

C 4.0

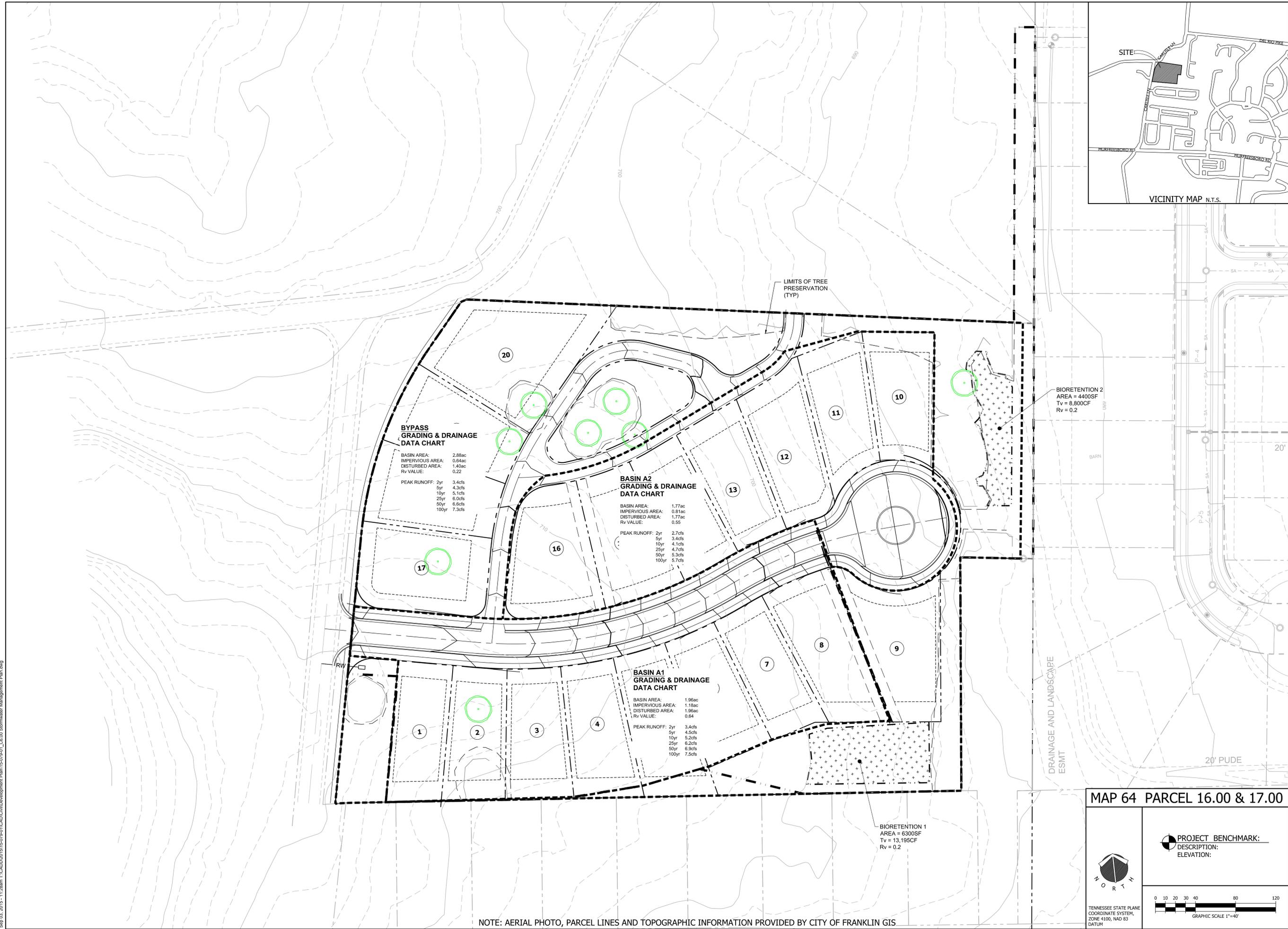


NOTE: AERIAL PHOTO, PARCEL LINES AND TOPOGRAPHIC INFORMATION PROVIDED BY CITY OF FRANKLIN G.I.S.



COF 5916

Sep 03, 2015 - 11:28am T:\CADD\2015\15-079-01\CADD\2015\Development Plan\15-079-01_C6.00 Stormwater Management Plan.dwg



**BYPASS
GRADING & DRAINAGE
DATA CHART**

BASIN AREA: 2.88ac
 IMPERVIOUS AREA: 0.64ac
 DISTURBED AREA: 1.40ac
 Rv VALUE: 0.22

PEAK RUNOFF: 2yr 3.4cfs
 5yr 4.3cfs
 10yr 5.1cfs
 25yr 6.0cfs
 50yr 6.6cfs
 100yr 7.3cfs

**BASIN A2
GRADING & DRAINAGE
DATA CHART**

BASIN AREA: 1.77ac
 IMPERVIOUS AREA: 0.81ac
 DISTURBED AREA: 1.77ac
 Rv VALUE: 0.55

PEAK RUNOFF: 2yr 2.7cfs
 5yr 3.4cfs
 10yr 4.1cfs
 25yr 4.7cfs
 50yr 5.3cfs
 100yr 5.7cfs

**BASIN A1
GRADING & DRAINAGE
DATA CHART**

BASIN AREA: 1.96ac
 IMPERVIOUS AREA: 1.18ac
 DISTURBED AREA: 1.96ac
 Rv VALUE: 0.64

PEAK RUNOFF: 2yr 3.4cfs
 5yr 4.5cfs
 10yr 5.2cfs
 25yr 6.2cfs
 50yr 6.9cfs
 100yr 7.5cfs

BIORETENTION 2
 AREA = 4400SF
 Tv = 8,800CF
 Rv = 0.2

BIORETENTION 1
 AREA = 6300SF
 Tv = 13,195CF
 Rv = 0.2

MAP 64 PARCEL 16.00 & 17.00

NORTH

PROJECT BENCHMARK:
 DESCRIPTION:
 ELEVATION:

0 10 20 30 40 60 120
 GRAPHIC SCALE 1"=40'

TENNESSEE STATE PLANE
 COORDINATE SYSTEM,
 ZONE 1100, NAD 83
 DATUM

**CIVIL SITE
DESIGN GROUP**
 ENGINEERS • PLANNERS • LANDSCAPE ARCHITECTS
 610 SOUTH GALE AVENUE SUITE 4100
 FRANKLIN, TN 37068
 (615) 791-1111



**STORMWATER MANAGEMENT PLAN
DEVELOPMENT PLAN
CARDEL VILLAGE**
 PARCELS 16.00, 17.00 ON MAP 64
 FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

REV.	COMMENTS	DATE
	DEVELOPMENT PLAN SUBMITTAL	08/10/15
	CITY COMMENTS	09/03/15

DRWN: []
 DTS: []
 LEB: []

C6.00

JOB NO.: 15-079-01
 CITY OF FRANKLIN PROJ# 5916

NOTE: AERIAL PHOTO, PARCEL LINES AND TOPOGRAPHIC INFORMATION PROVIDED BY CITY OF FRANKLIN GIS



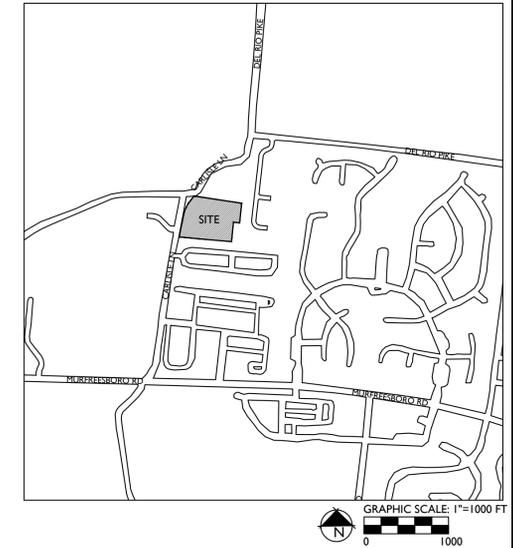
TYPICAL HOME ELEVATION

1. HOME STYLE WITH SIDE YARD DRIVEWAYS TO A GARAGE LOCATED AT THE REAR OF THE LOT, OR WITH A GARAGE THAT IS ACCESSED FROM AN ALLEY.
2. ONE TO TWO STORIES IN HEIGHT.
3. MATERIALS INCLUDE BRICK, SIMULATED STONE, CEMENTATIIOUS SIDING, AND ARCHITECTURAL SHINGLES.
4. THESE ELEVATIONS HAVE BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE CITY OF FRANKLIN'S ARCHITECTURAL DESIGN STANDARDS AND THE APPROVAL OF THE PLANNING COMMISSION/CITY OF FRANKLIN. CHANGES SHALL NOT BE MADE TO THE APPROVED ELEVATIONS UNLESS APPROVED BY EITHER THE CODES DIRECTOR OR THE PLANNING COMMISSION.
5. ELEVATIONS SHOWN ARE TYPICAL FOR THIS DEVELOPMENT. FINAL DESIGN PLANS SHALL BE SUBMITTED WITH THE REQUEST FOR BUILDING PERMITS AND SHALL INDICATE COMPLIANCE WITH THE CITY OF FRANKLIN'S ARCHITECTURAL DESIGN STANDARDS, SPECIFICALLY THE REQUIREMENT FOR EXPOSED FOUNDATIONS OR WATER TABLES/ELEVATED FINISHED FLOORS AND GARAGE DOOR SEPARATION/MAXIMUM WIDTHS.
6. BUILDINGS WITH SIDE ELEVATIONS FACING A PUBLIC RIGHT-OF-WAY SHALL HAVE WINDOWS AND ARCHITECTURAL FEATURES SIMILAR TO THE FRONT ELEVATION.
7. SINGLE FAMILY HOME SQUARE FOOTAGE RANGE: 2400 SF TO 4000 SF
8. THE FINISHED FLOOR ELEVATION OF THE FRONT FACADE TO BE A MINIMUM OF 18 INCHES ABOVE THE FINISHED GRADE.



The home elevations shown here are representative of the homes planned for Cardel Village. They are the basis for design review by the City of Franklin at the time of Site Plan Submittal. Based on my professional experience, the plans presented meet or exceed the design standards set forth by the City of Franklin.

Greg Gamble, Registered Landscape Architect.

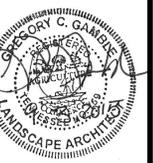


Revisions:
SEPTEMBER 3, 2015

Drawing Notes:

GDC
GAMBLE
DESIGN COLLABORATIVE
DEVELOPMENT PLANNING AND
LANDSCAPE ARCHITECTURE
Date: AUGUST 10, 2015

**CARDEL VILLAGE PUD SUBDIVISION
DEVELOPMENT PLAN**
Parcels 16.00, 17.00 on Map 64
Franklin, Williamson County, Tennessee



GAMBLE DESIGN COLLABORATIVE
144 SOUTHEAST PARKWAY
SUITE 230
FRANKLIN, TENNESSEE 37064
GREG GAMBLE
greggamble209@gmail.com
615.975.5765

TYPICAL
ARCHITECTURE

A 1.0