

DEVELOPMENT PLAN

CARDEL VILLAGE PUD SUBDIVISION

COF # 5916
MAP 064, PARCEL 16.00
MAP 064, PARCEL 17.00
FRANKLIN, TENNESSEE
CIVIL DISTRICT 5

SHEET INDEX

- C 0.0 COVER SHEET
- C 1.0 OVERALL EXISTING CONDITIONS
- C 2.0 EXISTING CONDITIONS
- C 3.0 DEVELOPMENT PLAN
- C 4.0 TREE PRESERVATION
- C 5.0 OVERALL GRADING PLAN AND DRAINAGE
- C 6.0 STORMWATER MANAGEMENT
- C 7.0 OVERALL UTILITY PLAN
- A 1.0 TYPICAL ARCHITECTURE



OWNER PARCEL 16.00 & 17.00

MELZ COMMERCIAL PROP LLC
JOE MELZ
1025 CARLISLE LN
FRANKLIN, TN 37064

DEVELOPER

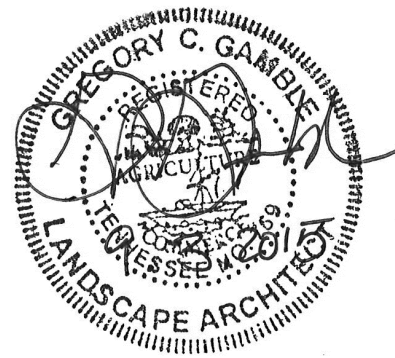
DEER CREEK HOMES, INC.
P.O. BOX 681148
FRANKLIN, TN 37068
(615) 794-6912 joe@homesbydeer creek.com

ENGINEER

CIVIL SITE DESIGN GROUP
630 SOUTHGATE AVE, SUITE A
NASHVILLE TN 37203
SEAN DECOSTER 615.248.9999
EMAIL ADDRESS: seand@civil-site.com



NOTE: AERIAL PHOTO, PARCEL LINES AND TOPOGRAPHIC INFORMATION
PROVIDED BY CITY OF FRANKLIN G.I.S.



LANDSCAPE ARCHITECT/PLANNER

GAMBLE DESIGN COLLABORATIVE
144 SOUTHEAST PARKWAY SUITE 200
FRANKLIN TN 37064
GREG GAMBLE, RLA (615) 975-5765
EMAIL ADDRESS: greggambler209@gmail.com



DEVELOPMENT PLAN

CARDEL VILLAGE PUD SUBDIVISION

COF # 5916
FRANKLIN, TENNESSEE

SITE DATA:

PROJECT NAME:	CARDEL VILLAGE
PROJECT NUMBER:	5916
SUBDIVISION:	NA
LOT NUMBER:	NA
ADDRESS:	1034 & 1040 CARLISLE LANE
CITY:	FRANKLIN, TN
COUNTY:	WILLIAMSON
STATE:	TENNESSEE
CIVIL DISTRICT:	14TH CIVIL DISTRICT
MAP, GROUP, PARCEL NUMBERS:	MAP 64, PARCELS 16.00, 17.00
EXISTING ZONING:	ESTATE RESIDENTIAL (ER)
PROPOSED ZONING:	R-3 2.89 D/UA
CHARACTER AREA OVERLAY:	WHCO-2
APPLICABLE DEVELOPMENT STANDARD:	CONVENTIONAL
TOTAL ACREAGE:	6.92 AC
TOTAL SQUARE FOOTAGE:	301,423 SF
MINIMUM REQUIRED SETBACKS:	
FRONT YARD:	15'
REAR YARD:	20'
SIDE YARD:	5'
OWNER/APPLICANT:	MELZ COMMERCIAL PROP LLC
ADDRESS:	1025 CARLISLE LANE FRANKLIN, TN 37064
CONTACT:	JOE MELZ (615) 794-6912 joe@homesbydeer creek.com
PLANNER/LANDSCAPE ARCHITECT:	GAMBLE DESIGN COLLABORATIVE
ADDRESS:	144 SOUTHEAST PARKWAY SUITE 200 FRANKLIN, TN 37064
OFFICE PHONE:	615.975.5765
EMAIL ADDRESS:	greggambler209@gmail.com
CONTACT:	GREG GAMBLE

INITIAL SUBMITTAL	AUGUST 10, 2015
RESUBMITTAL	SEPTEMBER 3, 2015
REVISION	-
REVISION	-



LEGAL DESCRIPTION

A TRACT OF LAND LYING WHOLLY WITHIN THE FIFTH CIVIL DISTRICT, WILLIAMSON COUNTY, TENNESSEE, AND BOUND IN GENERAL BY MCLEMORE ON THE NORTH, CHRISMAN ON THE EAST, MCLEMORE ON THE SOUTH, AND CARLISLE LANE ON THE WEST.

COMMENCING IN THE CENTER OF CARLISLE LANE AT AN INTERIOR CORNER OF WALTER CARLISLE; THENCE ALONG SAID CENTERLINE NORTH 8 DEGREES 45 MINUTES EAST 726.8 FEET TO THE POINT OF BEGINNING; THENCE LEAVING CENTERLINE AND ALONG A NEW STAKED LINE SOUTH 88 DEGREES 30 MINUTES EAST 703 FEET TO CHRISMAN'S WEST LINE; THENCE ALONG HIS WEST LINE NORTH 2 DEGREES 45 MINUTES WEST 651.5 FEET AND SOUTH 83 DEGREES 10 MINUTES WEST 28.2 FEET TO THE CENTERLINE OF CARLISLE LANE; THENCE ALONG SAID CENTERLINE SOUTH 8 DEGREES 45 MINUTES WEST 247 FEET TO THE POINT OF BEGINNING AND CONTAINS 3.86 ACRES MORE OR LESS.



NOTES:

1. AERIAL PHOTO, PARCEL LINES AND TOPOGRAPHIC INFORMATION PROVIDED BY CITY OF FRANKLIN G.I.S.
2. SITE BOUNDARY PROVIDED BY CIVIL SITE DESIGN GROUP

500' NEIGHBORS LIST:

PARCEL ID	OWNER	OWNER STREET	OWNER CITY	STATE	ZIP	ZONING	LAND USE	CHARACTER	STANDARD
064 01000	SMITH DORINDA CARLISLE	8305 STAPLES TRACE RD	GLEN ALLEN	VA	23060	ER	RESIDENTIAL	WHCO-2	EITHER
064 01002	ENGLEHARDT NANCY CARLISLE	603 DUNDEE LN	HOLMES BEACH	FL	34217	ER	RESIDENTIAL	WHCO-2	EITHER
064 01200	CHAPMAN JOE M	3001 DEL RIO PK	FRANKLIN	TN	37069	ER	RESIDENTIAL	WHCO-2	EITHER
064L F 00100	FORD MIKE CUSTOM BUILDERS LLC	390 MALLORY STA RD #110	FRANKLIN	TN	37067	R-3	RESIDENTIAL	WHCO-2	EITHER
064 01400	DOMUS PARTNERS LLC	1048 CARLISLE LN	FRANKLIN	TN	37064	ER	RESIDENTIAL	WHCO-2	EITHER
064 01907	MELZ JOSEPH	P O BOX 681148	FRANKLIN	TN	37068	ER	RESIDENTIAL	WHCO-2	EITHER
064L D 00100	CARLISLE HOMEOWNERS ASSOC INC	130 SEABARD LN #A-9	FRANKLIN	TN	37067	R-3	RESIDENTIAL	WHCO-2	EITHER
064L D 00200	JOHNSON KRIG A	1600 COOPER CREEK LN	FRANKLIN	TN	37064	R-3	RESIDENTIAL	WHCO-2	EITHER
064L D 00300	DABNEY JAMES J	1604 COOPER CREEK LN	FRANKLIN	TN	37064	R-3	RESIDENTIAL	WHCO-2	EITHER
064L D 00400	PIERCE LISA K	1608 COOPER CREEK LN	FRANKLIN	TN	37064	R-3	RESIDENTIAL	WHCO-2	EITHER
064L D 00500	VARNER GARRETT A TR	1612 COOPER CREEK LN	FRANKLIN	TN	37064	R-3	RESIDENTIAL	WHCO-2	EITHER
064L D 00600	CURTIS HOWARD	1616 COOPER CREEK LN	FRANKLIN	TN	37064	R-3	RESIDENTIAL	WHCO-2	EITHER
064L D 00700	BUTLER CATHEY G	1620 COOPER CREEK LN	FRANKLIN	TN	37064	R-3	RESIDENTIAL	WHCO-2	EITHER
064L D 00800	LUNN WALLACE E III	1624 COOPER CREEK LN	FRANKLIN	TN	37064	R-3	RESIDENTIAL	WHCO-2	EITHER
064L D 00900	LINTON JAMES	1628 COOPER CREEK LN	FRANKLIN	TN	37064	R-3	RESIDENTIAL	WHCO-2	EITHER
064L D 01000	BANGERT RICHARD A	1632 COOPER CREEK LN	FRANKLIN	TN	37067	R-3	RESIDENTIAL	WHCO-2	EITHER
064L D 01100	WILLE BRIAN C	1636 COOPER CREEK LN	FRANKLIN	TN	37064	R-3	RESIDENTIAL	WHCO-2	EITHER
064L E 01000	WABBY WALTER A	117 CORNERSTONE CR	FRANKLIN	TN	37064	R-3	RESIDENTIAL	WHCO-2	EITHER
064L E 01100	WHEATLEY ALICE TR	119 CORNERSTONE CR	FRANKLIN	TN	37064	R-3	RESIDENTIAL	WHCO-2	EITHER
064L E 01200	SAULS DANIEL RYAN	121 CORNERSTONE CR	FRANKLIN	TN	37064	R-3	RESIDENTIAL	WHCO-2	EITHER
064L E 01300	SAXTON JOHN	123 CORNERSTONE CR	FRANKLIN	TN	37064	R-3	RESIDENTIAL	WHCO-2	EITHER
064L E 01400	MCKEE MITCHELL	125 CORNERSTONE CR	FRANKLIN	TN	37064	R-3	RESIDENTIAL	WHCO-2	EITHER
064L E 02200	NORDHOFF MICHAEL G	137 CORNERSTONE CR	FRANKLIN	TN	37064	R-3	RESIDENTIAL	WHCO-2	EITHER
064L E 02300	SHN CHANG SUG	139 CORNERSTONE CR	FRANKLIN	TN	37064	R-3	RESIDENTIAL	WHCO-2	EITHER
064L E 04700	CORNERSTONE HOMEOWNERS ASSOC INC	P O BOX 1391	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064L E 04000	TERRY TRACEY MICHELLE	110 CORNERSTONE CR	FRANKLIN	TN	37064	R-3	RESIDENTIAL	WHCO-2	EITHER
064L E 04100	SMITH SCOTT B	201 CORNERSTONE LN	FRANKLIN	TN	37064	R-3	RESIDENTIAL	WHCO-2	EITHER
064L E 04400	WILKES ROBIN S	200 CORNERSTONE LN	FRANKLIN	TN	37064	R-3	RESIDENTIAL	WHCO-2	EITHER
064L E 04500	HENDERSON JERRY E	122 CORNERSTONE CR	FRANKLIN	TN	37064	R-3	RESIDENTIAL	WHCO-2	EITHER
064L E 04600	HUTCHISON CHAD R	142 CORNERSTONE CR	FRANKLIN	TN	37064	R-3	RESIDENTIAL	WHCO-2	EITHER
064L E 04700	CORNERSTONE HOMEOWNERS	P O BOX 1391	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064L E 00100	CORNERSTONE HOMEOWNERS	P O BOX 1391	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064L E 00200	OETJEN STEPHEN	101 CORNERSTONE CR	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064L E 00300	SIMPKINS IRBY C III	103 CORNERSTONE CR	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064L E 00400	PIERCE CLAYTON H	105 CORNERSTONE CR	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064L E 00500	TURBEFIELD MARK A	107 CORNERSTONE CR	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064L E 00600	BURNS JASON M	109 CORNERSTONE CR	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064L E 00700	HARLOW ROBERT EDWARD	111 CORNERSTONE CR	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064L E 00800	SCHMIDT RAYMOND P REV TRUST	113 CORNERSTONE CR	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064L E 00900	LAMA PHURBA	115 CORNERSTONE CR	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064L E 01500	KELLY SCOTT H	127 CORNERSTONE CR	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064L E 01600	CORNERSTONE ASSOC INC	P O BOX 1391	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064L E 01700	BROWN JOHN JAY	131 CORNERSTONE CR	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064L E 01800	SOUSOULAS REBECCA LEWIS	133 CORNERSTONE CR	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064L E 01900	SCHUSTER ANN M	135 CORNERSTONE CR	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064L E 02000	HARLOW SAMUEL	400 CORNERSTONE WAY	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064L E 02100	CUNNINGHAM JOHN E	402 CORNERSTONE WAY	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064L E 02400	WIMBERLY DOUGLAS	141 CORNERSTONE CR	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064L E 02500	ITAL LA	337 16TH MODEL RD	MANCHESTER	TN	37355	R-3	RESIDENTIAL	WHCO-2	EITHER
064L E 02600	ROBESON JULIA	145 CORNERSTONE CR	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064L E 02700	DARBY WILLIAM	147 CORNERSTONE CR	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064L E 02800	CORNERSTONE HOMEOWNERS ASSOC INC	P O BOX 1391	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064L E 02900	CRAMER CASEY ROSS	151 CORNERSTONE CR	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064L E 03000	RYAN DOUGLAS J	153 CORNERSTONE CR	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064L E 03100	PERRY KENNETH	155 CORNERSTONE CR	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064L E 03200	SCOTT TONY D	157 CORNERSTONE CR	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064L E 03300	ELZINGA JOHN	159 CORNERSTONE CR	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064L E 03400	BICKEL LESLIE L	161 CORNERSTONE CR	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064L E 03500	QUAGLIA WILLIAM A	163 CORNERSTONE CR	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064L E 03600	RICHEY ROY	165 CORNERSTONE CR	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064L E 03700	CORNERSTONE HOMEOWNERS	P O BOX 1391	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064L E 03800	CORNERSTONE HOMEOWNERS ASSOC INC	P O BOX 1391	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064L E 03900	GANT WALTER LEE	156 CORNERSTONE CR	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064L E 04000	DICKSON CHRISTOPHER L	203 CORNERSTONE LN	FRANKLIN	TN	37065	R-3	RESIDENTIAL	WHCO-2	EITHER
064L E 04300	PARKER R MICHAEL	202 CORNERSTONE LN	FRANKLIN	TN	37064	R-3	RESIDENTIAL	WHCO-2	EITHER
064L D 01200	MARKS ALEX S	1640 COOPER CREEK LN	FRANKLIN	TN	37064	R-3	RESIDENTIAL	WHCO-2	EITHER
064L D 01300	PAYLASEK RICHARD JR	1644 COOPER CREEK LN	FRANKLIN	TN	37064	R-3	RESIDENTIAL	WHCO-2	EITHER
064L D 01400	OCKENFELS RALPH J	1648 COOPER CREEK LN	FRANKLIN	TN	37064	R-3	RESIDENTIAL	WHCO-2	EITHER
064L D 01500	BROOKS MICHAEL P	1652 COOPER CREEK LN	FRANKLIN	TN	37064	R-3	RESIDENTIAL	WHCO-2	EITHER
064L D 01600	FRANKS RONALD L	1654 COOPER CREEK LN	FRANKLIN	TN	37064	R-3	RESIDENTIAL	WHCO-2	EITHER
064 01500	TIMOTHY J GILL	1044 CARLISLE LANE	FRANKLIN	TN	37064	ER	RESIDENTIAL	WHCO-2	EITHER

Revisions:
SEPTEMBER 3, 2015

Drawing Notes:

GDC
GAMBLE
DESIGN COLLABORATIVE
DEVELOPMENT PLANNING AND
LANDSCAPE ARCHITECTURE
Date: AUGUST 10, 2015

CARDEL VILLAGE PUD SUBDIVISION
DEVELOPMENT PLAN
Parcels 16.00, 17.00 on Map 64
Franklin, Williamson County, Tennessee

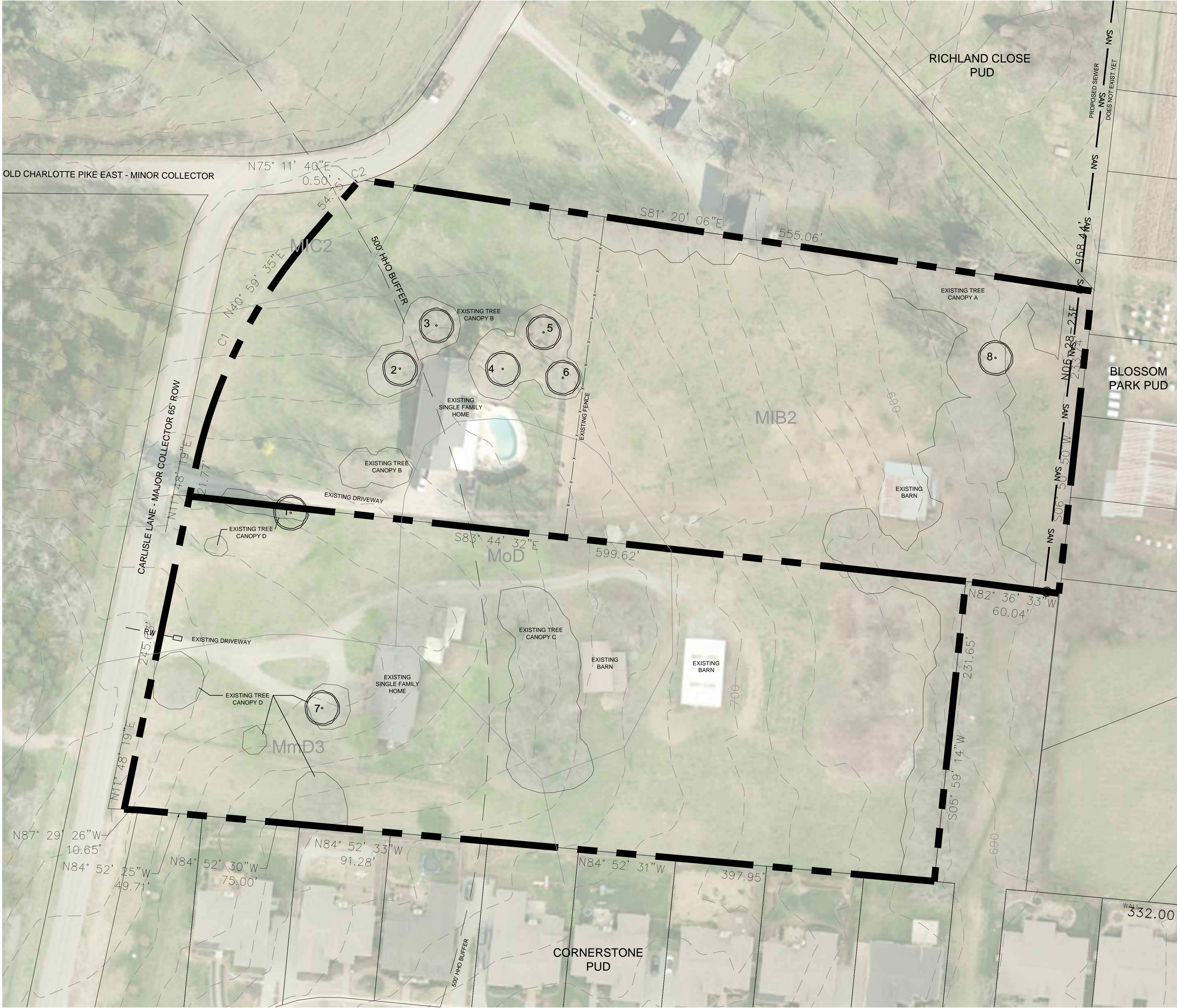


GAMBLE DESIGN COLLABORATIVE
144 SOUTHEAST PARKWAY
SUITE 230
FRANKLIN, TENNESSEE 37064
GREG GAMBLE
greggamble209@gmail.com
615.975.5765

SITE
BOUNDARY

C 1.0

COF 5916



SITE ACREAGE
PROPOSED PROPERTY LINE: 6.92 AC
(BASED ON CDP APPROVED ROAD ALIGNMENT)

- NOTES:**
1. THERE ARE NO EXISTING SLOPES GREATER THAN 14%.
 2. THERE ARE NO FLOODPLAINS EXISTING ON THE SITE.
 3. AERIAL PHOTO, PARCEL LINES AND TOPOGRAPHIC INFORMATION PROVIDED BY CITY OF FRANKLIN G.I.S.
 4. SITE BOUNDARY CALLS PROVIDED BY CIVIL SITE DESIGN.
 5. NO THIRD PARTY MINERAL RIGHTS ARE ASSOCIATED WITH THIS PROPERTY.
 6. IN THE EXISTING CONDITION THE SITE DRAINS TO THE EAST VIA SHEET FLOW AND IS COMPRISED OF 2 SUB BASINS.

TREE CANOPY RETENTION

TREE AREA	EXISTING	REMOVED	RETAINED
TREE A	30,162 SF	9,791 SF	20,371 SF
TREE B	8,528 SF	3,558 SF	4,970 SF
TREE C	8,287 SF	8,287 SF	0 SF
TREE D	5,168 SF	2,311 SF	2,856 SF
TOTAL SF	52,143 SF	23,947 SF	28,196 SF

TREE CANOPY DATA
EXISTING TREE CANOPY: 52,143 SF
EXISTING TREE CANOPY: 52,143 SF / 301,423 SF = .173 (17.3%) OF TOTAL SITE
REQUIRED CANOPY PRESERVATION = 94% OF TOTAL CANOPY
52,143 SF * 54% = 28,157 SF
PROVIDED CANOPY PRESERVED = 28,196 SF (54%) OF TOTAL EXISTING CANOPY



SPECIMEN TREES

NUMBER	TYPE	SIZE	HEALTH	STATUS
1	PINE	26	GOOD	RETAINED
2	MAPLE	24	GOOD	RETAINED
3	OAK	34	GOOD	RETAINED
4	OAK	30	GOOD	RETAINED
5	OAK	36	GOOD	RETAINED
6	OAK	28	GOOD	REMOVED
7	OAK	34	GOOD	RETAINED
8	MAPLE	32	GOOD	RETAINED

SOIL TYPES

MIC2	Mimosa Silt Loam, 5 to 12% Slopes, Eroded
MoD	Mimosa and Ashwood Very Rocky Soils, 5 to 20% Slopes
MIB2	Mimosa Silt Loam, 2 to 5% Slopes, Eroded
MmD3	Mimosa Silty Clay, 10 to 20% Slopes, Severely Eroded



SITE DATA:

PROJECT NAME: CARDEL VILLAGE
PROJECT NUMBER: 5916
SUBDIVISION: NA
LOT NUMBER: NA
ADDRESS: 1034 & 1040 CARLISLE LANE
CITY: FRANKLIN, TN
COUNTY: WILLIAMSON
STATE: TENNESSEE
CIVIL DISTRICT: 14TH CIVIL DISTRICT
MAP, GROUP, PARCEL NUMBERS: MAP 64, PARCELS 16.00, 17.00

EXISTING ZONING: ESTATE RESIDENTIAL (ER)
PROPOSED ZONING: R-3 2.89 DUA
CHARACTER AREA OVERLAY: WHCO-2
APPLICABLE DEVELOPMENT STANDARD: CONVENTIONAL
TOTAL ACREAGE: 7.16 AC (312,165.8 SF)
TOTAL DEDICATED ROW (CARLISLE LANE): 0.24 AC (10,742.8 SF)

TOTAL PUD ACREAGE: 6.919 AC
TOTAL SQUARE FOOTAGE: 301,423 SF
MINIMUM REQUIRED SETBACKS:
FRONT YARD: 15'
REAR YARD: 20'
SIDE YARD: 5'

OWNER/APPLICANT: MELZ COMMERCIAL PROP LLC
ADDRESS: 1025 CARLISLE LANE
FRANKLIN, TN 37064
CONTACT: JOE MELZ
(615) 794-6912 joe@homesbydeercreek.com

PLANNER/LANDSCAPE ARCHITECT: GAMBLE DESIGN COLLABORATIVE
ADDRESS: 144 SOUTHEAST PARKWAY
SUITE 200
FRANKLIN, TN 37064
OFFICE PHONE: 615.975.5765
EMAIL ADDRESS: greggambledesign@gmail.com
CONTACT: GREG GAMBLE

PROJECT CHARACTERISTICS
BUILDING SQUARE FOOTAGE: N/A
BUILDING HEIGHT: 2 STORY
MINIMUM LANDSCAPE RATIO: 0.40
TRANSITIONAL FEATURES BUFFER REQUIRED: YES
TYPE C BUFFER TO NORTH

MINIMUM PARKING REQUIRED: 2 SPACES PER HOME
MAXIMUM PARKING LIMIT: N/A
EXISTING PARKING: N/A
PARKING PROVIDED: SINGLE FAMILY DETACHED
2 PER UNIT
2.90 DUA (20 LOTS)
1.20 AC
0.65 AC

PARKLAND
20 HOMES * 1200 SF = 24,000 SF (0.55 AC)
TO BE PAID FEE-IN-LIEU

OPEN SPACE: 1.52 AC PROVIDED (27.25%)
TOTAL REQUIRED: 1.04 AC (15% OF ACREAGE)
TOTAL PROVIDED: 1.52 AC (21.97%)

FORMAL: 0.36 AC (35.0% OF REQUIRED)
REQUIRED: 0.34 AC (33%)
PROVIDED: 0.36 AC (35.0%)
INFORMAL PROVIDED: 1.16 AC

STATEMENT OF IMPACTS

MAJOR THOROUGHFARE PLAN
CARLISLE LANE IS A MAJOR COLLECTOR AND REQUIRES A 65 FOOT RIGHT OF WAY. 10,742.8 SF OF LAND HAS BEEN REMOVED FROM THE PUD AS RIGHT OF WAY DEDICATION.

WATER
WATER SERVICE WILL BE PROVIDED BY THE CITY OF FRANKLIN. THE WATER MAIN WILL BE SERVED FROM A MAIN IN CARLISLE LANE.
20 x 350 GDP = 7,000 GDP

SEWER
SEWER SERVICE WILL BE PROVIDED BY THE CITY OF FRANKLIN THROUGH ADJACENT PROPERTIES TO CONNECT TO THE SEWER MAIN WITHIN BLOSSOM PARK.

DRAINAGE FACILITIES
THE PROPERTY WILL BE DRAINED TO THE EAST TO DETENTION FACILITIES. THE DETENTION PONDS WILL DRAIN TO DEL RIO CREEK TO THE EAST OF THE SITE.

POLICE AND FIRE DEPT
FRANKLIN FIRE DEPT STATION #1 - 2.1 MILES DRIVING DISTANCE
COLUMBIA AVE POLICE STATION - 2.7 MILES DRIVING DISTANCE

RECREATION FACILITIES
JIM WARREN PARK - 1.1 MILES DRIVING DISTANCE

PROJECTED STUDENT POPULATION
THE STUDENT POPULATION IS PROJECTED AT A RATE OF .64 STUDENTS PER HOME: 20 x .64 = 12.8 STUDENTS
WALNUT GROVE ELEMENTARY SCHOOL 3.4 MILES
GRASSLAND MIDDLE SCHOOL 6.1 MILES
FRANKLIN HIGH SCHOOL 2.5 MILES

REFUSE COLLECTION
REFUSE COLLECTION SERVICE WILL BE PROVIDED BY THE CITY OF FRANKLIN SOLID WASTE.

RESTRICTIVE COVENANTS
A HOME OWNER'S ASSOCIATION WILL BE ESTABLISHED PRIOR TO THE FIRST OCCUPANCY OF RESIDENTS. THE HOME OWNER'S ASSOCIATION WILL REGULATE ARCHITECTURAL STANDARDS AND THE MAINTENANCE OF THE COMMUNITY. THE HOA WILL MAINTAIN ALL COMMON OPEN SPACE AND RECREATIONAL AREAS.

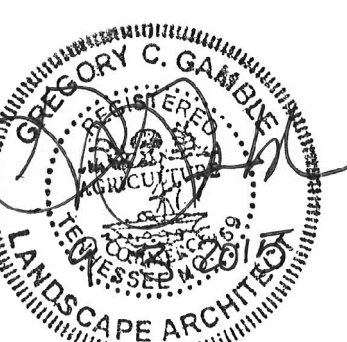
MINERAL RIGHTS
NO THIRD PARTY MINERAL RIGHTS ARE ASSOCIATED WITH THIS PROPERTY.

Revisions:
SEPTEMBER 3, 2015

Drawing Notes:

GDC
GAMB
LE
DESIGN COLLABORATIVE
DEVELOPMENT PLANNING AND
LANDSCAPE ARCHITECTURE
Date: AUGUST 10, 2015

**CARDEL VILLAGE PUD SUBDIVISION
DEVELOPMENT PLAN**
Parcels 16.00, 17.00 on Map 64
Franklin, Williamson County, Tennessee

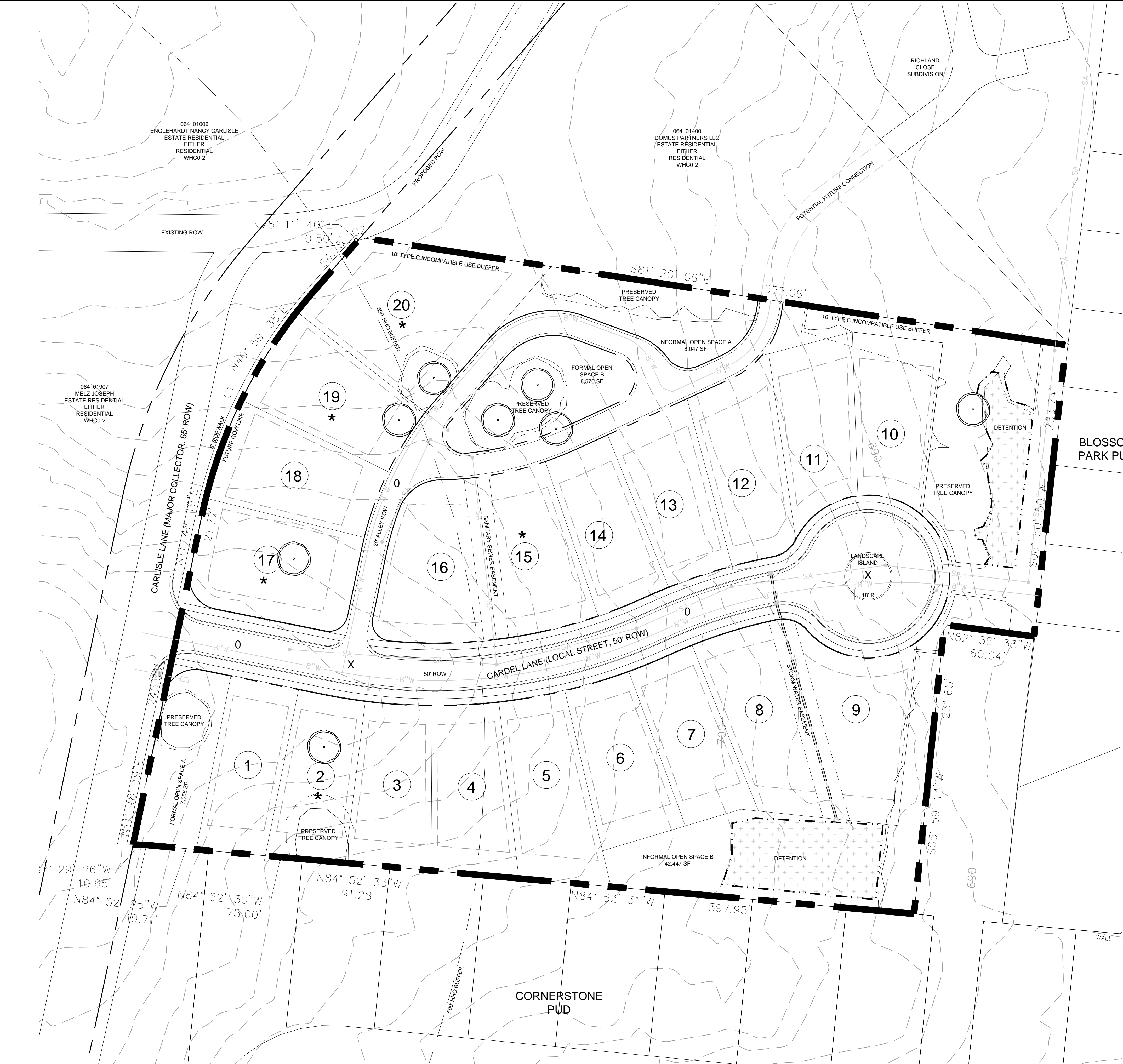


GAMBLE DESIGN COLLABORATIVE
144 SOUTHEAST PARKWAY
SUITE 200
FRANKLIN, TENNESSEE 37064
GREG GAMB
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615.975.5765

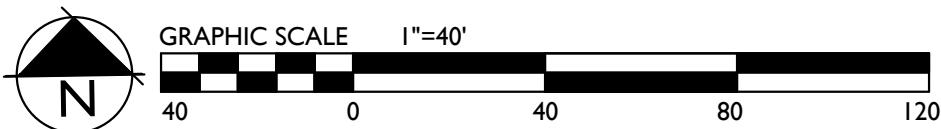
**EXISTING
CONDITIONS**

C 2.0

COF 5916

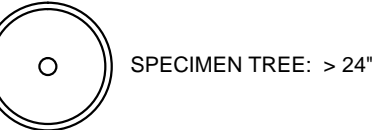


NOTE: AERIAL PHOTO, PARCEL LINES AND TOPOGRAPHIC INFORMATION PROVIDED BY CITY OF FRANKLIN G.I.S.



TREE CANOPY RETENTION

TREE AREA	EXISTING	REMOVED	RETAINED
TREE A	30,162 SF	9,791 SF	20,371 SF
TREE B	8,528 SF	3,558 SF	4,970 SF
TREE C	8,287 SF	8,287 SF	0 SF
TREE D	5,166 SF	2,311 SF	2,855 SF
TOTAL SF	52,143 SF	23,947 SF	28,196 SF
TREE CANOPY DATA			
EXISTING TREE CANOPY: 52,143 SF			
52,143 SF/301,423 SF = .173 (17.3%) OF TOTAL SITE			
REQUIRED CANOPY PRESERVATION = 54% OF TOTAL CANOPY			
52,143 SF * 54% = 28,157 SF			
PROVIDED CANOPY PRESERVED = 28,196 SF (54%) OF TOTAL EXISTING CANOPY			



BLOSSOM PARK PUD

HYDRANT FIRE FLOW
HETHCOAT AND DAVIS, INC.
HYDRANT LOCATED AT THE INTERSECTION OF CARLISLE LANE AND OLD CHARLOTTE PIKE.
FLOW: 2,771 PSI AT 20 GPM
STATIC PRESSURE: 59 PSI
RESIDUAL PRESSURE: 55 PSI

CONNECTIVITY INDEX

0 LINKS	3
X NODES	2

INDEX = 1.5

DUE TO EXISTING CONDITIONS OF THIS PROPERTY, AND ADJACENT EXISTING SUBDIVISION, OFF-SITE CONNECTIONS ARE NOT POSSIBLE, AND ARE NOT PROVIDED WITH THIS PUD. A SPECIAL EXCEPTION IS REQUESTED FROM THE ENGINEERING DEPARTMENT FOR OFF SITE CONNECTIONS.

CRITICAL TREE LOTS
LOTS 2, 17, 19, AND 20 ARE CRITICAL TREE LOTS.

* CRITICAL TREE LOT

LAND USE PLAN COMPLIANCE

CARDEL VILLAGE IS LOCATED IN THE WEST HARPTH CHARACTER AREA. THE DESIGN STANDARDS PERMIT EITHER TRADITIONAL OF CONVENTIONAL DEVELOPMENT FORMS. SINGLE FAMILY DETACHED HOMES ARE PERMITTED WITHIN THIS CHARACTER AREA AT DENSITIES SIMILAR TO THE THE EXISTING DEVELOPED SUBDIVISIONS.

CHARACTER AREA OVERLAY: WHCO-2
APPLICABLE DEVELOPMENT STANDARD: CONVENTIONAL

- THE EXISTING USES WITHIN THE WEST HARPTH CHARACTER AREA 2 ARE PREDOMINANTLY SINGLE FAMILY DETACHED HOMES. THE PROPOSED PLAN PROVIDES SINGLE FAMILY HOME LOTS.
- THE PROPOSED DEVELOPMENT PLAN FACES FUTURE HOMES TOWARD CARLISLE LANE, FRONTING THE STREET, WITH ALLEY ACCESS ALONG THE REAR OF THE LOT.
- THE PROPOSED DEVELOPMENT WILL BE ACCESSED FROM CARLISLE LANE.

LOCAL COMPATIBILITY

CARDEL VILLAGE IS LOCATED IN THE WHCO-2 CHARACTER AREA. THE DESIGN STANDARDS PERMIT EITHER TRADITIONAL OF CONVENTIONAL DEVELOPMENT FORMS. SINGLE FAMILY DETACHED HOMES ARE PERMITTED WITHIN THIS CHARACTER AREA AT DENSITIES SIMILAR TO THE THE EXISTING DEVELOPED SUBDIVISIONS.

CARDEL VILLAGE IS A 20 LOT SINGLE FAMILY DETACHED RESIDENTIAL SUBDIVISION ACCESSED FROM CARLISLE LANE. THE PROPOSED RESIDENTIAL LOTS ARE CONSISTENT WITH THE LOTS OF BLOSSOM PARK TO THE EAST, AND CORNERSTONE TO THE SOUTH. OPEN SPACE AND A TRANSITIONAL FEATURES BUFFER HAS BEEN PLACED ON THE NORTHERN BOUNDARY OF THE SUBDIVISION ADJACENT TO THE NEIGHBORING ESTATE RESIDENTIAL PROPERTY.

THE PROPOSED PLAN INCORPORATES THE FUTURE RIGHT-OF-WAY OF CARLISLE LANE PER THE MAJOR THOROUGHFARE PLAN. RIGHT-OF-WAY WILL BE DEDICATED TO THE CITY OF FRANKLIN FOR THESE FUTURE IMPROVEMENTS. AN ALLEY IS PROPOSED BEHIND LOTS 17 TO 20 SO THAT THESE HOMES MAY FRONT ONTO CARLISLE LANE AND SO THAT IN THE FUTURE THE ALLEY MAY BE EXTENDED TO THE NORTH PARALLEL TO CARLISLE LANE.

PHASING

THE DEVELOPMENT WILL BE CONSTRUCTED AS A SINGLE PHASE.

HILLSIDE PROTECTION OVERLAY BUFFER

LOTS 1, 2, 3, 4, 16, 17, 18, 19, AND 20 ARE LOCATED WITHIN THE BUFFER YARD. NO 14 PERCENT SLOPES ARE PRESENT ON THESE LOTS.



SITE DATA:

PROJECT NAME: CARDDEL VILLAGE
PROJECT NUMBER: 5916
SUBDIVISION: NA
LOT NUMBER: NA
ADDRESS: 1034 & 1040 CARLISLE LANE
CITY: FRANKLIN, TN
COUNTY: WILLIAMSON
STATE: TENNESSEE
CIVIL DISTRICT: 14TH CIVIL DISTRICT
MAP, GROUP, PARCEL NUMBERS: MAP 64, PARCELS 16.00, 17.00

EXISTING ZONING: ESTATE RESIDENTIAL (ER)
PROPOSED ZONING: R-3.289 DU/A
CHARACTER AREA OVERLAY: WHCO-2
APPLICABLE DEVELOPMENT STANDARD: CONVENTIONAL
TOTAL ACREAGE: 7.16 AC (312,165.8 SF)
TOTAL DEDICATED ROW (CARLISLE LANE): 0.24 AC (10,742.8 SF)

TOTAL PUD ACREAGE: 6.919 AC
TOTAL SQUARE FOOTAGE: 301,423 SF
MINIMUM REQUIRED SETBACKS:
FRONT YARD: 15'
REAR YARD: 20'
SIDE YARD: 5'

OWNER/APPLICANT: MELZ COMMERCIAL PROP LLC
ADDRESS: 1025 CARLISLE LANE
FRANKLIN, TN 37064
CONTACT: JOE MELZ
(615) 794-6912 joe@homesbydecreek.com

PLANNER/LANDSCAPE ARCHITECT: GAMBLE DESIGN COLLABORATIVE
ADDRESS: 144 SOUTHEAST PARKWAY
SUITE 230
FRANKLIN, TN 37064
OFFICE PHONE: 615.975.5765
EMAIL ADDRESS: greg@gamble209@gmail.com
CONTACT: GREG GAMBLE

PROJECT CHARACTERISTICS
BUILDING SQUARE FOOTAGE: N/A
BUILDING HEIGHT: 2 STORY
MINIMUM LANDSCAPE RATIO: 0.4
TRANSITIONAL FEATURES BUFFER REQUIRED: YES
TYPE C BUFFER TO NORTH

MINIMUM PARKING REQUIRED: 2 SPACES PER HOME
MAXIMUM PARKING LIMIT: N/A
EXISTING PARKING: N/A
PARKING PROVIDED: SINGLE FAMILY DETACHED
2 PER UNIT
2.90 DU/A (20 LOTS)
RESIDENTIAL DENSITY: 1.20 AC
EXISTING TREE CANOPY: 0.65 AC
PRESERVED TREE CANOPY:

PARKLAND: 20 HOMES * 1200 SF = 24,000 SF (0.55 AC)
OPEN SPACE: 1.52 AC PROVIDED (27.25%)
TOTAL REQUIRED: 1.04 AC (15% OF ACREAGE)
TOTAL PROVIDED: 1.52 AC (21.97%)
FORMAL: 0.36 AC (35.0% OF REQUIRED)
REQUIRED: 0.34 AC (33%)
PROVIDED: 0.36 AC (35.0%)
INFORMAL PROVIDED: 1.16 AC

STATEMENT OF IMPACTS

THE STUDENT POPULATION IS PROJECTED AT A RATE OF .64 STUDENTS PER HOME. 20 x .64 = 12.8 STUDENTS
WALNUT GROVE ELEMENTARY SCHOOL: 6.1 MILES
GRASSLAND MIDDLE SCHOOL: 6.1 MILES
FRANKLIN HIGH SCHOOL: 2.5 MILES

WATER: WATER SERVICE WILL BE PROVIDED BY THE CITY OF FRANKLIN. THE WATER MAIN WILL BE SERVED FROM A MAIN IN CARLISLE LANE. 20 x 350 GPD = 7,000 GPD
SEWER: SEWER SERVICE WILL BE PROVIDED BY THE CITY OF FRANKLIN THROUGH ADJACENT PROPERTIES TO CONNECT TO THE SEWER MAIN WITHIN BLOSSOM PARK.
DRAINAGE FACILITIES: THE PROPERTY WILL BE DRAINED TO THE EAST TO DETENTION FACILITIES. THE DETENTION PONDS WILL DRAIN TO DEL RIO CREEK TO THE EAST OF THE SITE.

POLICE AND FIRE DEPT: FRANKLIN FIRE DEPT STATION #1 - 2.1 MILES DRIVING DISTANCE
COLUMBIA AVE POLICE STATION - 2.7 MILES DRIVING DISTANCE
RECREATION FACILITIES: JIM WARREN PARK - 1.1 MILES DRIVING DISTANCE

PROJECTED STUDENT POPULATION: THE STUDENT POPULATION IS PROJECTED AT A RATE OF .64 STUDENTS PER HOME. 20 x .64 = 12.8 STUDENTS
WALNUT GROVE ELEMENTARY SCHOOL: 6.1 MILES
GRASSLAND MIDDLE SCHOOL: 6.1 MILES
FRANKLIN HIGH SCHOOL: 2.5 MILES

REFUSE COLLECTION: REFUSE COLLECTION SERVICE WILL BE PROVIDED BY THE CITY OF FRANKLIN SOLID WASTE.

RESTRICTIVE COVENANTS: A HOME OWNER'S ASSOCIATION WILL BE ESTABLISHED PRIOR TO THE FIRST OCCUPANCY OF RESIDENTS. THE HOME OWNER'S ASSOCIATION WILL REGULATE ARCHITECTURAL STANDARDS AND THE MAINTENANCE OF THE COMMUNITY. THE HOA WILL MAINTAIN ALL COMMON OPEN SPACE AND RECREATIONAL AREAS.

MINERAL RIGHTS: NO THIRD PARTY MINERAL RIGHTS ARE ASSOCIATED WITH THIS PROPERTY.

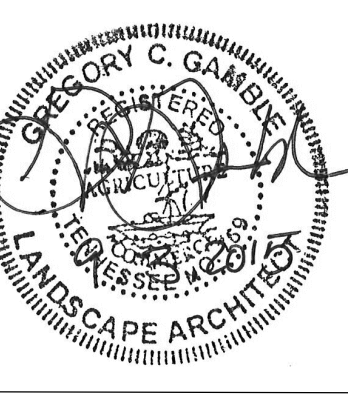
Revisions:
SEPTEMBER 3, 2015

Drawing Notes:

GDC
GAMBLE
DESIGN COLLABORATIVE

DEVELOPMENT PLANNING AND
LANDSCAPE ARCHITECTURE
Date: AUGUST 10, 2015

**CARDEL VILLAGE
DEVELOPMENT PLAN**
Parcels 16.00, 17.00 on Map 64
Franklin, Williamson County, Tennessee



GAMBLE DESIGN COLLABORATIVE
144 SOUTHEAST PARKWAY
SUITE 230
FRANKLIN, TENNESSEE 37064
GREG GAMBLE
greg@gamble209@gmail.com
615.975.5765

DEVELOPMENT
PLAN

C 3.0

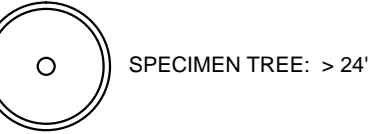
COF 5916



NOTE: AERIAL PHOTO, PARCEL LINES AND TOPOGRAPHIC INFORMATION PROVIDED BY CITY OF FRANKLIN G.I.S.

TREE CANOPY RETENTION

TREE AREA	EXISTING	REMOVED	RETAINED
TREE A	30,162 SF	9,791 SF	20,371 SF
TREE B	8,508 SF	3,588 SF	4,920 SF
TREE C	8,287 SF	8,287 SF	0 SF
TREE D	5,166 SF	2,311 SF	2,855 SF
TOTAL SF	52,143 SF	23,947 SF	28,196 SF
TREE CANOPY DATA			
EXISTING TREE CANOPY: 52,143 SF			
52,143 SF/301,423 SF = .173 (17.3%) OF TOTAL SITE			
REQUIRED CANOPY PRESERVATION =			
54% OF TOTAL CANOPY			
52,143 SF * 54% = 28,157 SF			
PROVIDED CANOPY PRESERVED =			
28,196 SF (54%) OF TOTAL EXISTING CANOPY			



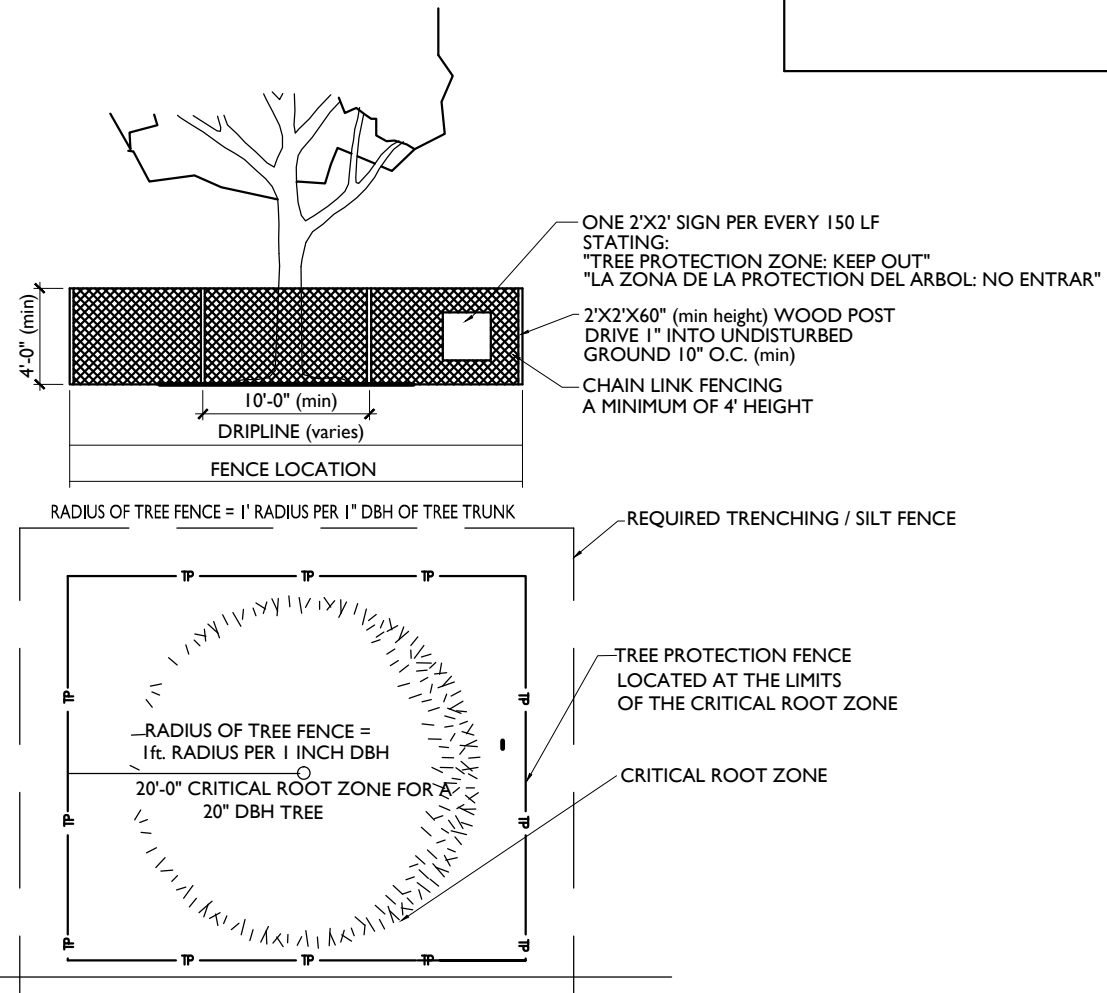
SPECIMEN TREE: > 24"

SPECIMEN TREES

NUMBER	TYPE	SIZE	HEALTH	STATUS
1	PINE	26	GOOD	RETAINED
2	MAPLE	24	GOOD	RETAINED
3	OAK	34	GOOD	RETAINED
4	OAK	30	GOOD	RETAINED
5	OAK	36	GOOD	RETAINED
6	OAK	28	GOOD	REMOVED
7	OAK	34	GOOD	RETAINED
8	MAPLE	32	GOOD	RETAINED

★ CRITICAL TREE LOT

NOTE:
THE AERIAL PHOTOGRAPH DOES NOT ACCURATELY REPRESENT THE TREE CANOPY OF THE PROPERTY. SEVERAL TREES HAVE BEEN REMOVED PRIOR TO THE APPLICATION OF THIS DEVELOPMENT PLAN. THE TREE CANOPY HAS BEEN FIELD VERIFIED BY THE LANDSCAPE ARCHITECT.



TREE PROTECTION FENCING DETAIL

TREE PROTECTION NOTES:

- The tree protection barriers shall be constructed before the issuance of any permits, and shall remain intact throughout the entire period of construction.
- The tree protection barrier shall be installed as labeled on this plan or a distance to the radius of the dripline, whichever is greatest, as measured from the trunk of the protected tree.
- Any required excavation in or around the protection zone to accommodate underground services, footings, etc; shall be indicated on the plan, and shall be excavated by hand. In addition, related root pruning shall be accomplished via ANSI A-300-95 standard so as to minimize impact on the general root system.
- The storage of building materials or stock piling shall not be permitted within the limits of or against the protection barriers.
- Trees within the protection barriers must be adequately cared for throughout the construction process (i.e., they must be watered sufficiently). Fill shall not be placed upon the root system as to endanger the health or life of the affected tree.



SITE DATA:

PROJECT NAME:	CARDEL VILLAGE
PROJECT NUMBER:	5916
SUBDIVISION:	NA
LOT NUMBER:	NA
ADDRESS:	1034 & 1040 CARLISLE LANE
CITY:	FRANKLIN, TN
COUNTY:	WILLIAMSON
STATE:	TENNESSEE
CIVIL DISTRICT:	14TH CIVIL DISTRICT
MAP, GROUP, PARCEL NUMBERS:	MAP 64, PARCELS 16.00, 17.00
EXISTING ZONING:	ESTATE RESIDENTIAL (ER)
PROPOSED ZONING:	R-3.2 89 DUA
CHARACTER AREA OVERLAY:	WVCO-2
APPLICABLE DEVELOPMENT STANDARD:	CONVENTIONAL
TOTAL ACREAGE:	7.16 AC (312,165.8 SF)
TOTAL DEDICATED ROW (CARLISLE LANE):	0.24 AC (10,742.8 SF)
TOTAL PUD ACREAGE:	6.919 AC
TOTAL SQUARE FOOTAGE:	301,423 SF
MINIMUM REQUIRED SETBACKS:	
FRONT YARD:	15'
REAR YARD:	20'
SIDE YARD:	5'
OWNER/APPLICANT:	MELZ COMMERCIAL PROP LLC
ADDRESS:	1025 CARLISLE LANE FRANKLIN, TN 37064
CONTACT:	JOE MELZ (615) 794-6912 joe@homesbydeercreek.com
PLANNER/LANDSCAPE ARCHITECT:	GAMBLE DESIGN COLLABORATIVE
ADDRESS:	144 SOUTHEAST PARKWAY SUITE 230 FRANKLIN, TN 37064 615.975.5765 greggambledesign@gmail.com GREG GAMBLE
OFFICE PHONE:	
EMAIL ADDRESS:	
CONTACT:	
PROJECT CHARACTERISTICS:	
BUILDING SQUARE FOOTAGE:	N/A
BUILDING HEIGHT:	2 STORY
MINIMUM LANDSCAPE RATIO:	0.40
TRANSITIONAL FEATURES BUFFER REQUIRED:	YES
TYPE C BUFFER TO NORTH:	
MINIMUM PARKING REQUIRED:	2 SPACES PER HOME
MAXIMUM PARKING LIMIT:	N/A
EXISTING PARKING:	N/A
PARKING PROVIDED:	SINGLE FAMILY DETACHED 2 PER UNIT
RESIDENTIAL DENSITY:	2.90 DUA/AC (20 LOTS)
EXISTING TREE CANOPY:	1.20 AC
PRESERVED TREE CANOPY:	0.65 AC
PARKLAND:	20 HOMES * 1200 SF = 24,000 SF (0.55 AC)
OPEN SPACE:	TO BE PAID FEE-IN-LIEU
TOTAL REQUIRED:	1.52 AC PROVIDED (27.25%)
TOTAL PROVIDED:	1.04 AC (15% OF ACREAGE)
FORMAL:	1.52 AC (21.97%)
INFORMAL PROVIDED:	0.36 AC (35.0% OF REQUIRED)
	REQUIRED: 0.34 AC (33%)
	PROVIDED: 0.36 AC (35.0%)
	1.16 AC

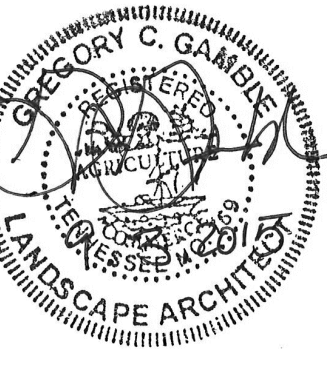
Revisions:
SEPTEMBER 3, 2015

Drawing Notes:

GDC
GAMBLE
DESIGN COLLABORATIVE
DEVELOPMENT PLANNING AND
LANDSCAPE ARCHITECTURE

Date: AUGUST 10, 2015

**CARDEL VILLAGE
DEVELOPMENT PLAN**
Parcels 16.00, 17.00 on Map 64
Franklin, Williamson County, Tennessee



GAMBLE DESIGN COLLABORATIVE
144 SOUTHEAST PARKWAY
SUITE 230
FRANKLIN, TENNESSEE 37064
GREG GAMBLE
greggambledesign@gmail.com
615.975.5765

TREE
PRESERVATION

C 4.0

COF 5916

Grading, Drainage & Erosion Control Notes:

- The disturbed area for this project is approximately 4.4 acres.
- The contractor shall comply with all pertinent provisions of the manual of accident prevention and construction issued by AGC of America, Inc. and the safety and health regulations of construction issued by the U.S. Department of Labor.
- The contractor shall call "Tennessee One Call" (811) 72 hours prior to proceeding with any excavation.
- If any springs or underground streams are exposed during construction, permanent French drains may be required. The drains shall be specified and located during construction as required by the conditions which are encountered, and shall be approved by the engineer.
- Stockpiled topsoil or fill material shall be treated so no sediment run-off will contaminate surrounding areas or enter nearby streams.
- All new pipes under existing paved areas shall be backfilled to the top of subgrade with # 57 crushed stone.
- Sediment removed from sediment control structures is to be placed at a site approved by the local governing authority. It shall be treated in a manner so that the area around the disposal site will not be contaminated or damaged by the sediment in the run-off. Cost for this treatment is to be included in the bid price for earthwork. The contractor shall obtain the disposal site as part of his work.
- Reinforced concrete storm drainage pipe shall be Class III. Corrugated metal pipe shall be 14 gauge unless otherwise noted.
- Minimum grade on asphalt or concrete paving shall be 1.0%.
- Construct silt barriers before beginning any grading operations.
- This grading & drainage plan is not a determination or guarantee of the suitability of the subsurface conditions for the work indicated. Determination of the subsurface conditions for the work indicated is solely the responsibility of the contractor.
- Do not disturb vegetation or remove trees except when necessary for grading purposes.
- Top of grate elevations and location of coordinates for drainage structures shall be installed as shown on the plan unless otherwise noted. The grates shall slope longitudinally with the pavement grades.
- Any site used for disposal and/or stockpile of any material shall be properly permitted for such activity. It is the responsibility of the contractor to see that all required permits are secured for each property utilized. A copy of the approved permit must be provided to the inspector prior to commencement of work on any property. Failure to do so may result in the contractor removing any illegally placed material at his own expense.
- Respread topsoil (6 inch minimum thickness), seed, and straw all disturbed areas as soon as possible after final grading is completed, unless otherwise indicated. Contractor shall take whatever means necessary to establish permanent soil stabilization.
- Proposed contour lines and spot elevations are the result of an engineered grading design and reflect a planned intent with regard to drainage and movement of materials. Should the contractor have any question of the intent or any problem with the continuity of grades, the engineer shall be contacted immediately.
- All cut and fill slopes shall be 3 horizontal to 1 vertical or flatter unless otherwise indicated on plans.
- Positive drainage shall be established as the first order of work and shall be maintained at all times during and after construction. Soil softened by perched water in foundation and pavement areas must be undercut and replaced with suitable fill materials.
- Remove sediment from all drainage structures before acceptance by local governing agency, or as directed by the owner's representative.
- Contractor shall conform to all applicable codes and obtain approval as necessary before beginning construction.
- Remove the temporary erosion and water pollution control devices only after a solid stand of grass has been established on graded areas and when in the opinion of the owner's representative, they are no longer needed.
- Provide temporary construction access(es) at the point(s) where construction vehicles exit the construction area. Maintain public roadways free of tracked mud and dirt.
- All earthwork, including the excavated subgrade and each layer of fill, shall be monitored and approved by a qualified geotechnical engineer, or his representative.
- All fill material on this project shall be approved by the geotechnical engineer prior to placement. This material shall be placed in lifts and compacted as directed by the geotechnical engineer. The contractor shall be responsible for employing a geotechnical engineer if one is not provided by the owner.
- All drainage construction materials and installation shall conform to the requirements and specifications of the local governing agency.
- It shall be the contractor's responsibility to waste excess earth material off site at no additional cost to the owner. The contractor shall first offer the excess material to the owner. If not accepted by the owner, the contractor shall dispose of earth material off site. It shall also be the contractor's responsibility to import suitable material (at no additional cost to the owner) for earthwork operations if sufficient amounts of earth material are not available on site.
- The contractor shall check all existing grades and dimensions in the field prior to beginning work and report any discrepancies to the engineer. Commencement of any grading work constitutes the contractor's acceptance of the existing grade as matching those shown on the plans.
- Strip topsoil from all cut and fill areas and stockpile. Upon completion of general grading respread the topsoil over all disturbed areas, to a minimum depth of 6". Contractor shall supply additional topsoil if insufficient quantities exist on site. Remove any excess topsoil from site.
- The contractor shall take special care to compact fill sufficiently around and over all pipes, structures, valve stems, etc., inside the proposed paved areas to avoid settlement. Any settlement during the warranty period shall be restored by the contractor at no additional cost to the owner.
- In no case shall slope height, slope inclination, or excavation depth, including trench construction, exceed those specified in local, state and federal regulations, specifically the current OSHA Health and Safety Standards for Excavations (29 CFR Part 1926) shall be followed.
- All fill slopes and cut slopes on this project shall be reviewed by the owner's geotechnical engineer during construction to confirm that the slopes are (will be) stable. It is the contractor's responsibility to have this confirmation in writing from the geotechnical engineer.
- All fill on this project shall be installed and compacted in accordance with the owner's geotechnical engineer's recommendation. The owner's geotechnical engineer shall review all filling operations to confirm the earthwork is properly installed and compacted. It is the contractor's responsibility to have this confirmation in writing from the geotechnical engineer.
- Relocation of existing plant materials shall be coordinated with the owner and relocated to a designated area on site.
- All horizontal and vertical information of proposed culverts shown hereon which accept/discharge flows to/from existing channels are approximate utilizing topographic drawings. The final horizontal and vertical alignments shall be field located by the contractor prior to the ordering of materials or commencement of construction and shall notify the engineer of any discrepancies to what was designed.
- The contractor shall coordinate the exact location of the storm drain connections at the building with the plumbing plans.
- The location of all diversion swales and ditches shall be field adjusted to avoid trees as possible. The contractor shall walk the alignment of these swales and ditches in the field to verify avoidance of trees.

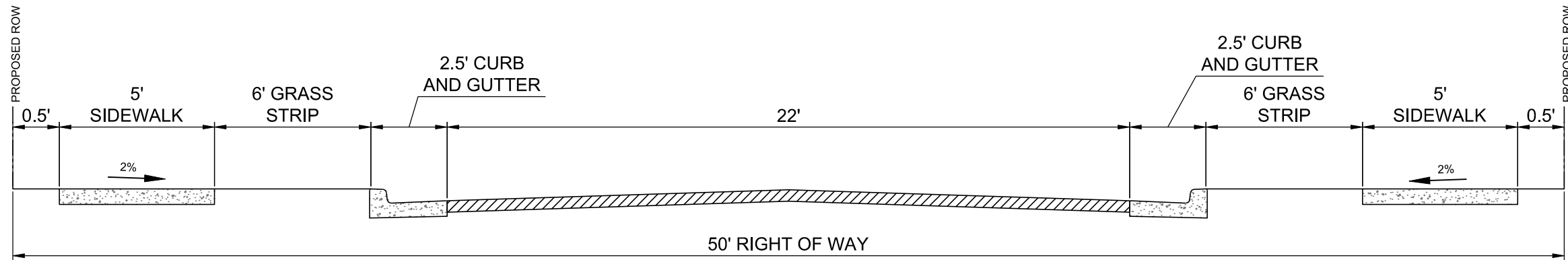
Franklin Grading & Drainage Notes:

- Grading Permit is required for any project disturbing more than 10,000 sf, adding more than 5,000 sf of impervious surface or for any site grading requiring stockpiling of material.
- The Developer shall provide the necessary labor and supervision required to support field testing by the independent testing firm and inspections by City officials at no cost to the City. Test reports of field testing if applicable shall be submitted directly to the Street Department. Defects disclosed by tests shall be rectified.
- An authorized representative of the City shall make a final inspection of the project after completion to determine acceptability of the work and for release of performance bonds if required. Before this final inspection can be made, the Engineer responsible for the project shall certify in writing to the City Engineer that the work has been completed in accordance with approved plans and specifications.
- Drainage facilities including, but not limited to, culverts, detention basins and ditches, as well as the roadway sub-grade, base stone and binder & surface course shall be inspected, tested and given approval at each stage of installation prior to proceeding to the next stage of construction. Final construction inspection for approval and acceptance of streets and drainage systems will not be granted until all work has been completed in accordance with the approved plans.
- Locating and coordination for the relocation of existing utilities is the responsibility of the contractor. Tennessee's One-Call and the City of Franklin utility location service shall be utilized in addition to coordination with local utility owners. The contractor shall at all times protect existing utilities and will be responsible for costs due to damage caused to any utility lines.

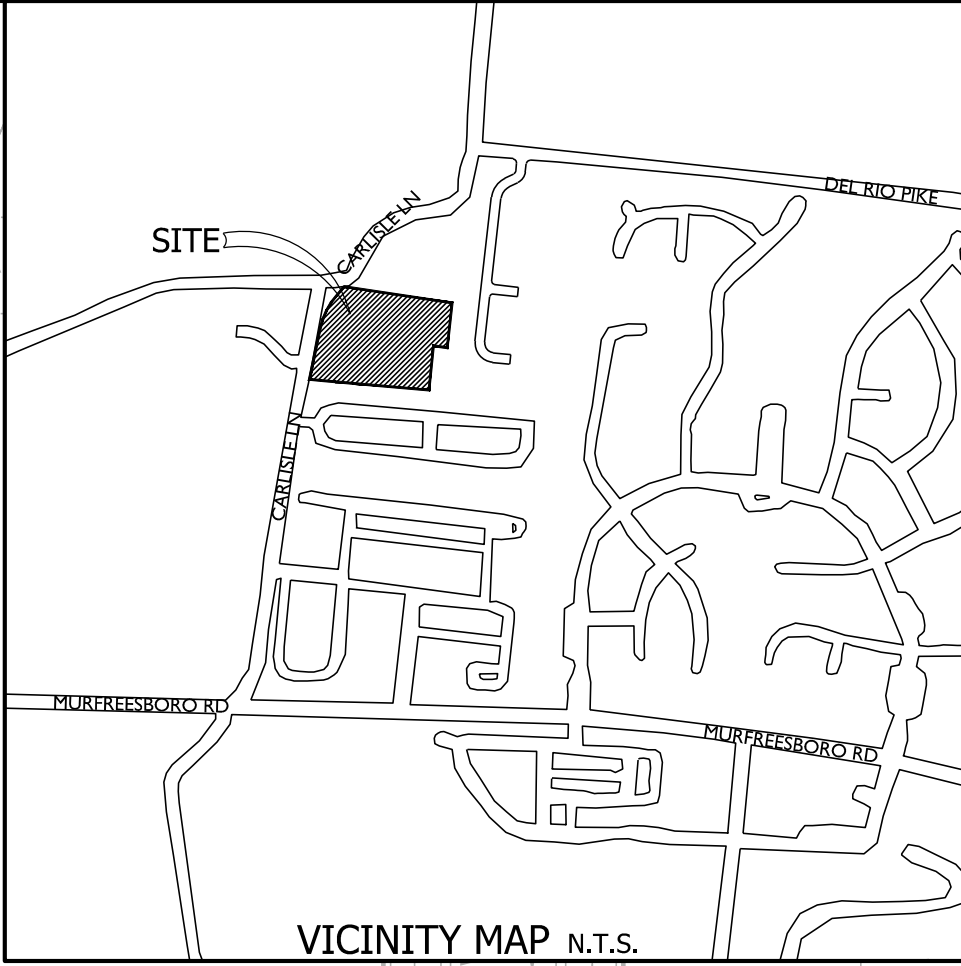
OVERALL GRADING & DRAINAGE DATA CHART

Basin Area: 6.86ac
Impervious Area: 2.44ac
Disturbed Area: 5.07ac
Rv Value: 0.180

Peak Runoff: 2yr 9.3cfs
5yr 12.4cfs
10yr 14.4cfs
25yr 16.9cfs
50yr 18.8cfs
100yr 20.7cfs



Curve Data					
Curve	Delta	Length	Radius	Chord	
C1	29°11'16"	201.22'	395.00'	N26°23'57"E	199.05'
C2	2°35'08"	5.59'	123.90'	N73°54'06"E	5.59'

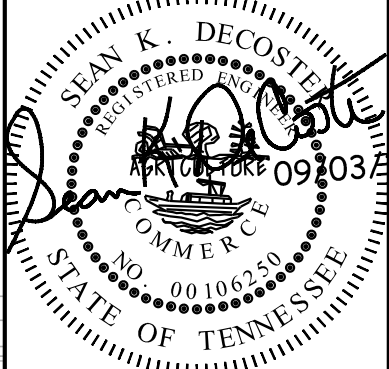


CIVIL SITE

DESIGN GROUP

ENGINEERS • PLANNERS • LANDSCAPE ARCHITECTS

610 SOUTHGATE AVENUE SUITE 400 FRANKLIN, TN 37069



OVERALL GRADING AND DRAINAGE PLAN

DEVELOPMENT PLAN

CARDEL VILLAGE

PARCELS 16.00, 17.00 ON MAP 64

FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

REV.	COMMENTS
	DEVELOPMENT PLAN SUBMITTAL
	CITY COMMENTS

DATE	08/10/15
DATE	09/03/15
DATE	
DATE	
DATE	

DATE	
DATE	
DATE	
DATE	
DATE	

JOB NO.: 15-079-01

CITY OF FRANKLIN PROJ# 5916

MAP 64 PARCEL 16.00 & 17.00

PROJECT BENCHMARK:
DESCRIPTION:
ELEVATION:

TENNESSEE STATE PLANE
COORDINATE SYSTEM,
ZONE 1100, NAD 83
DATUM

NOTE: AERIAL PHOTO, PARCEL LINES AND TOPOGRAPHIC INFORMATION PROVIDED BY CITY OF FRANKLIN GIS

1. The sanitary sewer line shall be PVC-SDR 35. The domestic water line shall be Type K copper. The public water line and the fire service line shall be class 52 ductile iron pipe.
2. Water meters shall be no deeper than 24" from the top of meter to proposed finished grade unless otherwise required by the local water department.
3. Prior to submitting his bid, the contractor will be solely responsible for contacting owners of all affected utilities in order to determine the extent to which utility relocations and/or adjustments will have upon the schedule of work for the project. While some work may be required around utility facilities that will remain in place, other utility facilities may need to be adjusted concurrently with the contractor's operations.
4. The contractor shall comply with all pertinent provisions of the manual of Accident Prevention and Construction issued by AGC of America.
5. Provide a minimum 30" of cover over all water lines unless required otherwise by the local water department.
6. All water lines, sewer lines, and appurtenances shall be of materials and construction that conform to the local water department/district's requirements and specifications.
7. Coordinate the exact location of all utilities entering the building with the plumbing plans.
8. Sufficient existing utilities from damage during construction of this project. In the event that special equipment is required to work over and around the utilities, the contractor will be required to furnish such equipment at no additional cost to the owner.
9. Reduced Pressure Backflow Preventer (RPBP) of dual check valves will be required, all test and fill (lines) needed for water connection and must be approved by the local water department/district.
10. All connections to existing manholes shall be by the coring and resilient seal method.
11. Before connections are made to existing utilities, the new lines are to be flushed and tested by the contractor in accordance with the local water department/district specifications.
12. The contractor shall adjust the alignment of the water lines (horizontally and/or vertically) to allow the required bracing at bends and tees.
13. The contractor shall provide all horizontal and vertical bends to allow the alignment indicated on the plans. Provide vertical bends where necessary to attain water lines to pass under or over other utility lines. (All bends and braces needed may not be actually shown). Provide bracing and/or rodding at all joints and tees as required by local utility department/district.
14. Contractor shall mark the location of all new PVC lines with 89 wire.
15. The location of existing utilities shown on these plans are approximate only. The contractor shall notify each individual utility owner of his plan of operation in the area of the utilities. Prior to commencing work, the contractor shall contact the utility owners and request them to properly locate their respective utility on the ground in the area of private property. The contractor shall have an underground locator mark the location of the existing lines. This notification shall be given at least three (3) business days prior to commencement of operations around the utility.
16. Fire hydrant assemblies include the appropriate sized tee (with kicker), 6" line to hydrant 6" gate valve (with valve box), and fire hydrant (with kicker). Hydrants shall be installed at locations within 7 feet of the curb, (minimum of 2 feet behind curb).
17. Where drainage or utility lines occur in proposed fill areas, the fill material shall be placed and compacted in accordance with the specifications and the Geotechnical Engineer's recommendations prior to installation of drainage or utility lines. Fill is to be inspected by a professional Geotechnical Engineer testing firm employed by the owner. Results of the test shall be furnished to the owner's representative. Contractor shall pay for any retesting.
18. The contractor shall field verify the exact horizontal and vertical location of existing manholes, sanitary sewer lines, and water lines at the point of connection prior to the commencement of construction or ordering materials, report any discrepancies to the engineer immediately.
19. Repair existing pavement to curbs, walks, landscaping, etc., that are damaged by construction activities to a like new condition at no additional cost to the owner.
20. Sanitary sewer services shall be 6" diameter PVC (SDR 35) at a minimum slope of 1/8" unless shown otherwise on the drawings. Lines shall start 5' beyond the buildings. Coordinate connection with the building plumbing drawings. Provide a minimum 30" of cover over all sewer services in grass areas and 48" of cover in paved areas.
21. Some utilities can be located by call the "Tennessee One Call" System, Inc. The contractor shall call Tennessee One Call (1-800-351-1111) 72 hours prior to proceeding with any excavation.
22. The concrete caps and encasements on water and sewer lines shall be a minimum of 6" thick. Use 3000 PSI concrete.
23. The contractor shall be responsible for coordinating the sequencing of construction for all utility lines so that water lines do not conflict with sanitary sewers, sanitary sewer services, storm sewers, or any other utility or structure, existing or proposed.
24. All trenches cut in existing roads or drives shall utilize a clean saw cut and shall be backfilled (100%) to final sub grade with #57 stone. Repair pavement in accordance with the local governing agency requirements.
25. Existing manholes located in fill/lot areas shall be adjusted to ensure that the top of casting is flush with the finished grade.
26. The contractor shall maintain 10 feet horizontal separation between sanitary sewer lines and water lines. Where these criteria cannot be met, the contractor shall maintain 18" vertical separation between water and sewer lines.
27. Any proposed fire line shall be installed by a sprinkler contractor licensed in the State of Tennessee. The fire line shall be flushed and tested in accordance with NFPA requirements.
28. Any proposed gas line construction and installation shall be coordinated with the local gas by the contractor.
29. Any proposed electric line construction and installation shall be coordinated with the local electric by the contractor.
30. Any proposed telephone line construction and installation shall be coordinated with the local telephone company by the contractor.
31. Any siamese stand pipe to be galvanized steel.
32. The flow test information shown on this plan is for general information purposes only. It shall be the sprinkler designer / contractor's responsibility to have their own flow test performed and their sprinkler design shall be based on their flow test.
33. A double detector check valve assembly is located outside of the building the pit shall include a 1/2 hp pump surface. Use Myers model S25 or approved equal. Discharge pipe shall extend to the surface and be tested toward the street. Provide a 12-inch by 12-inch by 4-inch thick concrete splash pad at the discharge point. The contractor shall coordinate with the electrical contractor to insure electrical service is provided from the building to the pit for electrical service for the pump.
34. A reduced pressure backflow preventer is located outside of the building it shall be installed with a heated enclosure. enclosure shall be a safe-T-cover (6-inch model) with heat or approved equal. Heat shall be safe-T-cover model hc2000-120 (2,000 watt, 120 volt, single phase, 16.6 amp) or approved equal. The contractor shall confirm the enclosure model number with the safe-T-cover supplier based on the model / manufacturer of backflow preventer that the contractor is using. The contractor shall coordinate with the electrical contractor to insure electrical service is provided from the building to the enclosure for electrical service for the heat.
35. Any 1-inch irrigation reduced pressure backflow preventer shall be installed with a heated enclosure. Enclosure shall be a Safe-T-Cover (1-inch model) with heat or approved equal. Heat shall be Chromalox self-regulating heating cable (5 watt per foot, 120 volt, 10 amp) or approved equal. The contractor shall confirm the enclosure model number with the Safe-T-Cover supplier based on the model / manufacturer of backflow preventer that the contractor is using. The contractor shall coordinate with the electrical contractor to insure electrical service is provided from the building to the enclosure for electrical service for the heat.
36. The contractor shall have the meters, backflow devices and enclosures approved by Franklin Water Management before ordering or installing.
37. City of Franklin is not a member of the Tennessee One Call utility location system. Contact City of Franklin directly to locate City of Franklin utilities.
38. If irrigation is provided it will require a separate tap, meter and RPBP.

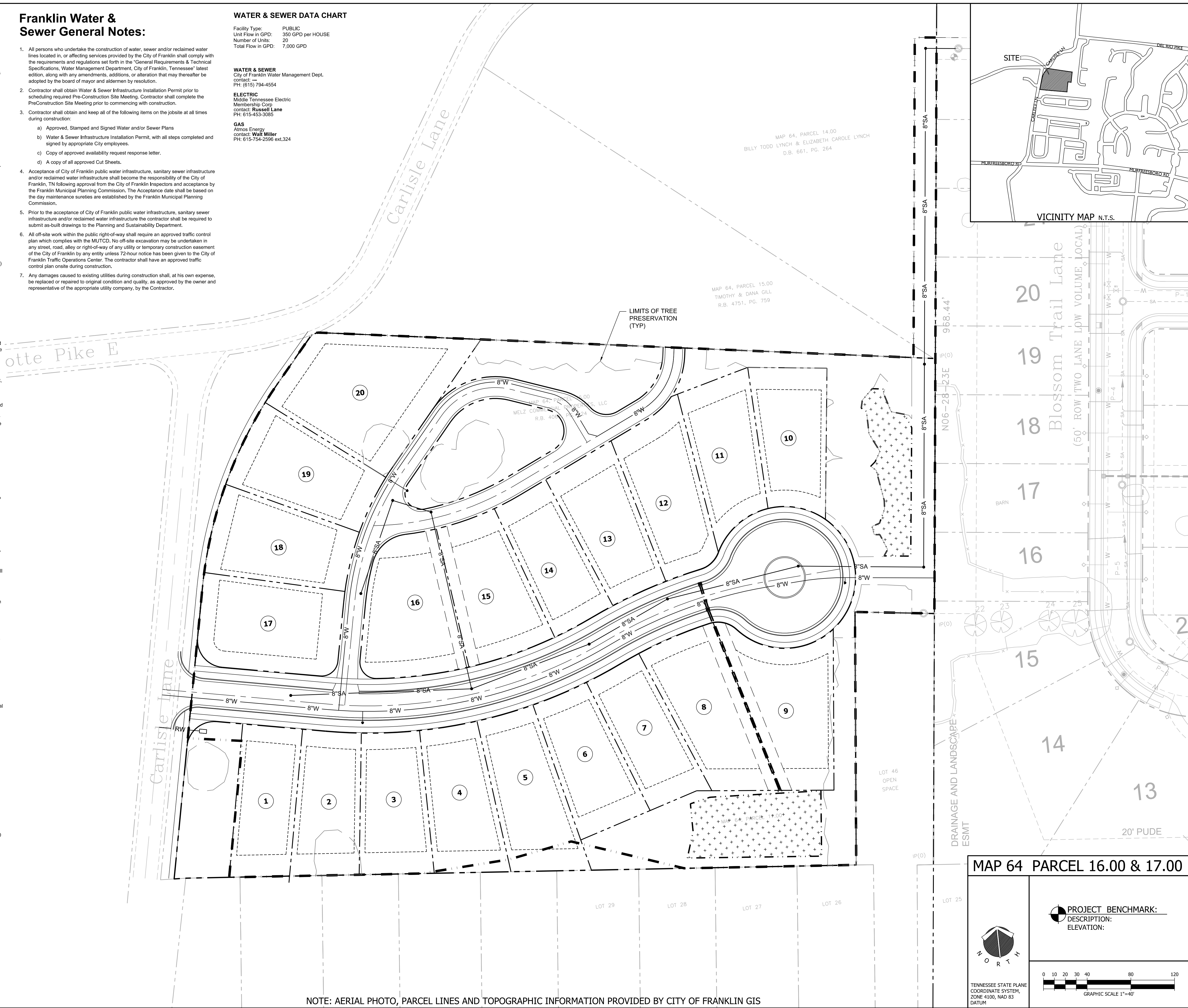
1. All persons who undertake the construction of water, sewer and/or reclaimed water lines located in, or affecting services provided by the City of Franklin shall comply with the requirements and regulations set forth in the "General Requirements & Technical Specifications for Water Main Installation" Department, City of Franklin, Tennessee's latest edition, along with any amendments, additions, or alteration that may thereafter be adopted by the board of mayor and aldermen by resolution.
2. Contractor shall obtain Water & Sewer Infrastructure Installation Permit prior to scheduling required Pre-Construction Site Meeting. Contractor shall complete the Pre-Construction Site Meeting prior to commencing with construction.
3. Contractor shall obtain and keep all of the following items on the jobsite at all times during construction:
 - a) Approved, Stamped and Signed Water and/or Sewer Plans
 - b) Water & Sewer Infrastructure Installation Permit, with all steps completed and signed by appropriate City employees.
 - c) Copy of approved availability request response letter.
 - d) A copy of all approved Cut Sheets.
4. Acceptance of City of Franklin public water infrastructure, sanitary sewer infrastructure and/or reclaimed water infrastructure shall become the responsibility of the City of Franklin following the completion of the Planning and Sustainability Department's Franklin Municipal Planning Commission. The Acceptance date shall be based on the day maintenance surseals are established by the Franklin Municipal Planning Commission.
5. Prior to the acceptance of City of Franklin public water infrastructure, sanitary sewer infrastructure and/or reclaimed water infrastructure the contractor shall be required to submit a bill of lading to the Planning and Sustainability Department.
6. All off-site work within the public right-of-way shall require an approved traffic control plan which complies with the MUTCD. No off-site excavation may be undertaken in any street, road, alley or right-of-way of any utility or temporary construction easement of the City of Franklin by any entity unless 72-hour notice has been given to the City of Franklin Traffic Operations Center. The contractor shall have an approved traffic control plan on-site during construction.
7. Any damages caused to existing utilities during construction shall, at its own expense, be replaced or repaired to original condition and quality, as approved by the owner and representative of the appropriate utility company, by the Contractor.

Facility Type: PUBLIC
Unit Flow in GPD: 350 GPD per HOUSE
Number of Units: 20
Total Flow in GPD: 7,000 GPD

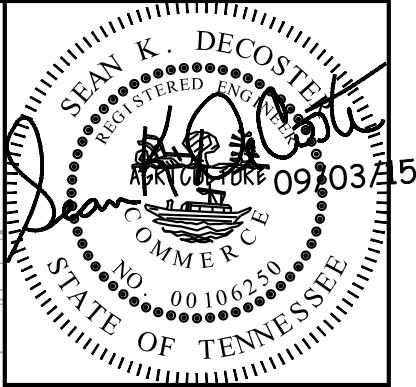
WATER & SEWER
City of Franklin Water Management Dept.
contact: --
PH: (615) 794-4554

ELECTRIC
Middle Tennessee Electric
Membership Corp
contact: **Russell Lane**
PH: 615-453-3085

GAS
Atmos Energy
contact: **Walt Miller**
PH: 615-754-2596 ext.324



CIVIL SITE
DESIGN GROUP



OVERALL UTILITY PLAN

DEVELOPMENT PLAN

CARDEL VILLAGE

PARCELS, 16.00, 17.00 ON MAP 64
FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

[illegible]



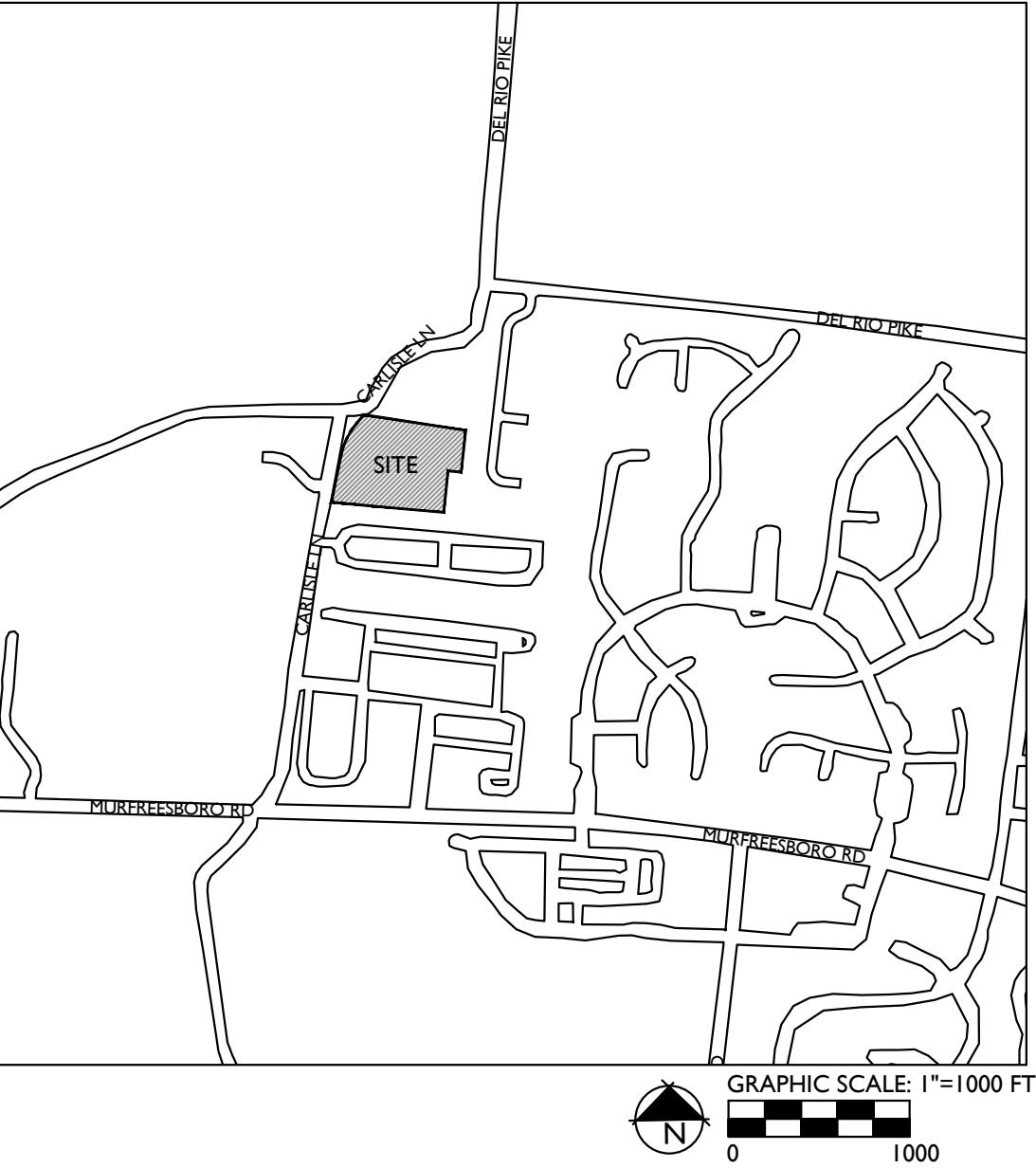
TYPICAL HOME ELEVATION

- 1. HOME STYLE WITH SIDE YARD DRIVEWAYS TO A GARAGE LOCATED AT THE REAR OF THE LOT, OR WITH A GARAGE THAT IS ACCESSED FROM AN ALLEY.
- 2. ONE TO TWO STORIES IN HEIGHT.
- 3. MATERIALS INCLUDE BRICK, SIMULATED STONE, CEMENTATIOUS SIDING, AND ARCHITECTURAL SHINGLES.
- 4. THESE ELEVATIONS HAVE BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE CITY OF FRANKLIN'S ARCHITECTURAL DESIGN STANDARDS AND THE APPROVAL OF THE PLANNING COMMISSION/CITY OF FRANKLIN. CHANGES SHALL NOT BE MADE TO THE APPROVED ELEVATIONS UNLESS APPROVED BY EITHER THE CODES DIRECTOR OR THE PLANNING COMMISSION.
- 5. ELEVATIONS SHOWN ARE TYPICAL FOR THIS DEVELOPMENT. FINAL DESIGN PLANS SHALL BE SUBMITTED WITH THE REQUEST FOR BUILDING PERMITS AND SHALL INDICATE COMPLIANCE WITH THE CITY OF FRANKLIN'S ARCHITECTURAL DESIGN STANDARDS; SPECIFICALLY THE REQUIREMENT FOR EXPOSED FOUNDATIONS OR WATER TABLES/ELEVATED FINISHED FLOORS AND GARAGE DOOR SEPARATION/MAXIMUM WIDTHS.
- 6. BUILDINGS WITH SIDE ELEVATIONS FACING A PUBLIC RIGHT-OF-WAY SHALL HAVE WINDOWS AND ARCHITECTURAL FEATURES SIMILAR TO THE FRONT ELEVATION.
- 7. SINGLE FAMILY HOME SQUARE FOOTAGE RANGE: 2400 SF TO 4000 SF
- 8. THE FINISHED FLOOR ELEVATION OF THE FRONT FACADE TO BE A MINIMUM OF 18 INCHES ABOVE THE FINISHED GRADE.



The home elevations shown here are representative of the homes planned for Cardel Village. They are the basis for design review by the City of Franklin at the time of Site Plan Submittal. Based on my professional experience, the plans presented meet or exceed the design standards set forth by the City of Franklin.

Greg Gamble, Registered Landscape Architect.



Revisions:
SEPTEMBER 3, 2015

Drawing Notes:

GDC

GAMBLE

DESIGN COLLABORATIVE

DEVELOPMENT PLANNING AND
LANDSCAPE ARCHITECTURE

Date: AUGUST 10, 2015

CARDEL VILLAGE PUD SUBDIVISION
DEVELOPMENT PLAN
Parcels 16.00, 17.00 on Map 64
Franklin, Williamson County, Tennessee

GREGORY C. GAMBLE

REGISTERED

LANDSCAPE ARCHITECT

GAMBLE DESIGN COLLABORATIVE
144 SOUTHEAST PARKWAY
SUITE 230
FRANKLIN, TENNESSEE 37064
GREG GAMBLE
greggamble209@gmail.com
615.975.5765

TYPICAL
ARCHITECTURE

A 1.0