

Family Legacy PUD Subdivision

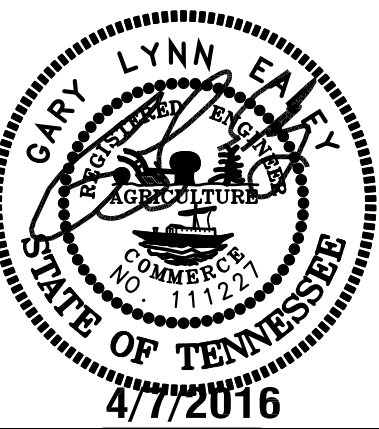
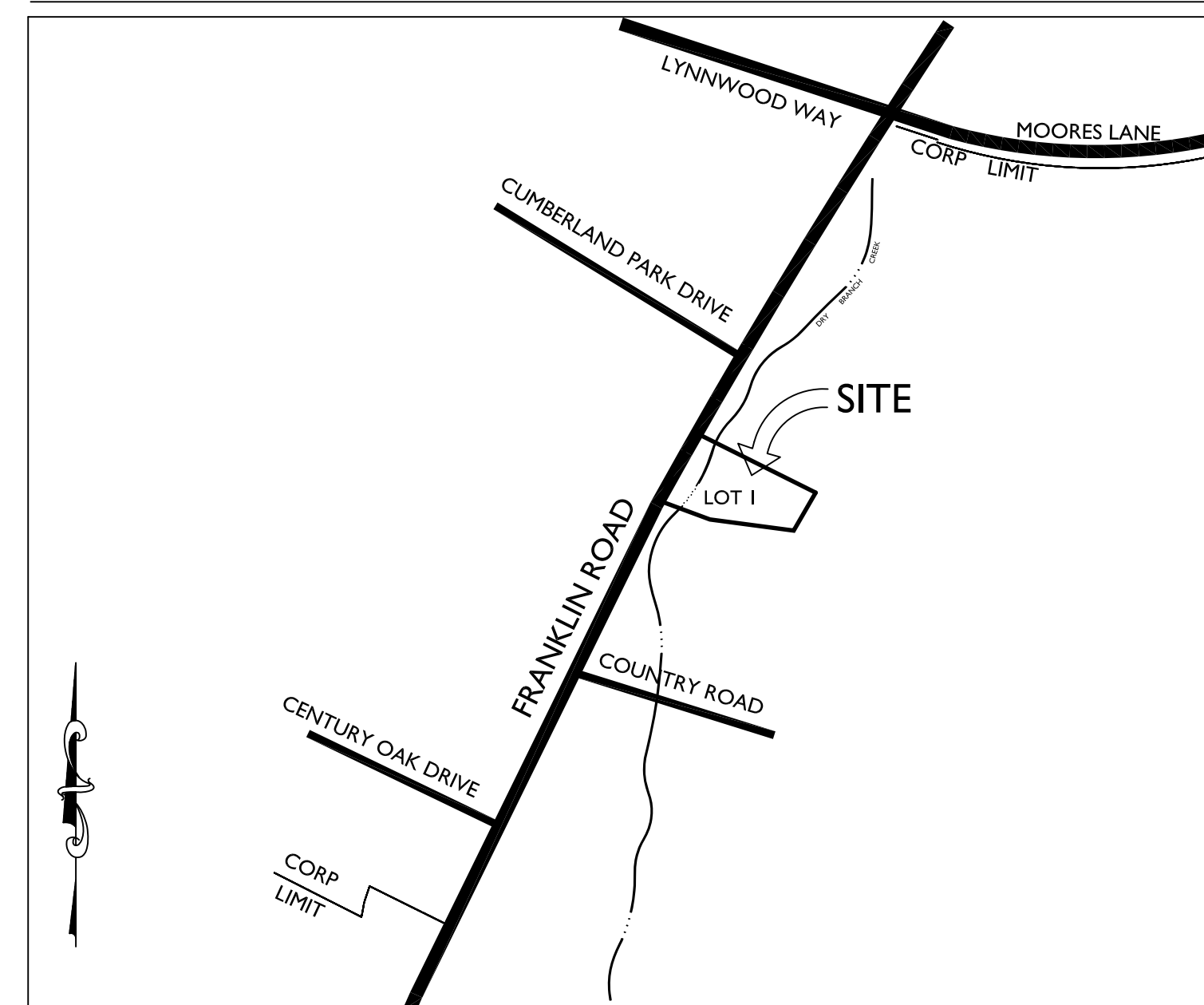
Site Plan - Lot 1 (Funeral Home)

COF# 6072
 Being Parcels 73.00 and 74.01 on Tax Map 53
 554 Franklin Road
 Franklin, Williamson County, Tennessee

SHEET SCHEDULE:

1	C0.0	COVER SHEET
2	C1.0	EXISTING CONDITIONS
3	C1.1	DEMOLITION PLAN
4	C2.0	SITE PLAN
5	C3.0	GRADING AND DRAINAGE PLAN
6	C3.1	INITIAL EROSION CONTROL PLAN
7	C3.2	INTERMEDIATE EROSION CONTROL PLAN
8	C3.3	FINAL EROSION CONTROL PLAN
9	C4.0	UTILITY PLAN
10	C5.0	AUTOTURN PLAN
11	C6.0	DETAIL SHEET
12	C6.1	DETAIL SHEET
13	C6.2	DETAIL SHEET
14	C6.3	DETAIL SHEET

SITE LOCATION MAP:



LAND SOLUTIONS
 COMPANY, LLC
 2925 Berry Hill Drive, Nashville, TN 37204

FAMILY LEGACY PUD SUBDIVISION
 Site Plan - Lot 1 (Funeral Home)
 Being Parcels 73.00 & 74.01 on Tax Map 53
 Franklin, Williamson County, Tennessee

ISSUANCE/REVISION NOTES:
 - PLAN DATE: March 7, 2016
 - PLAN REVISION DATE: April 7, 2016

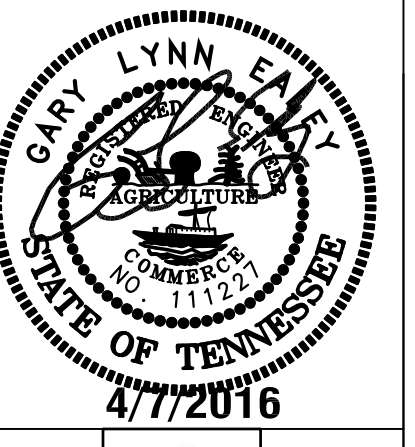
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Cover Sheet

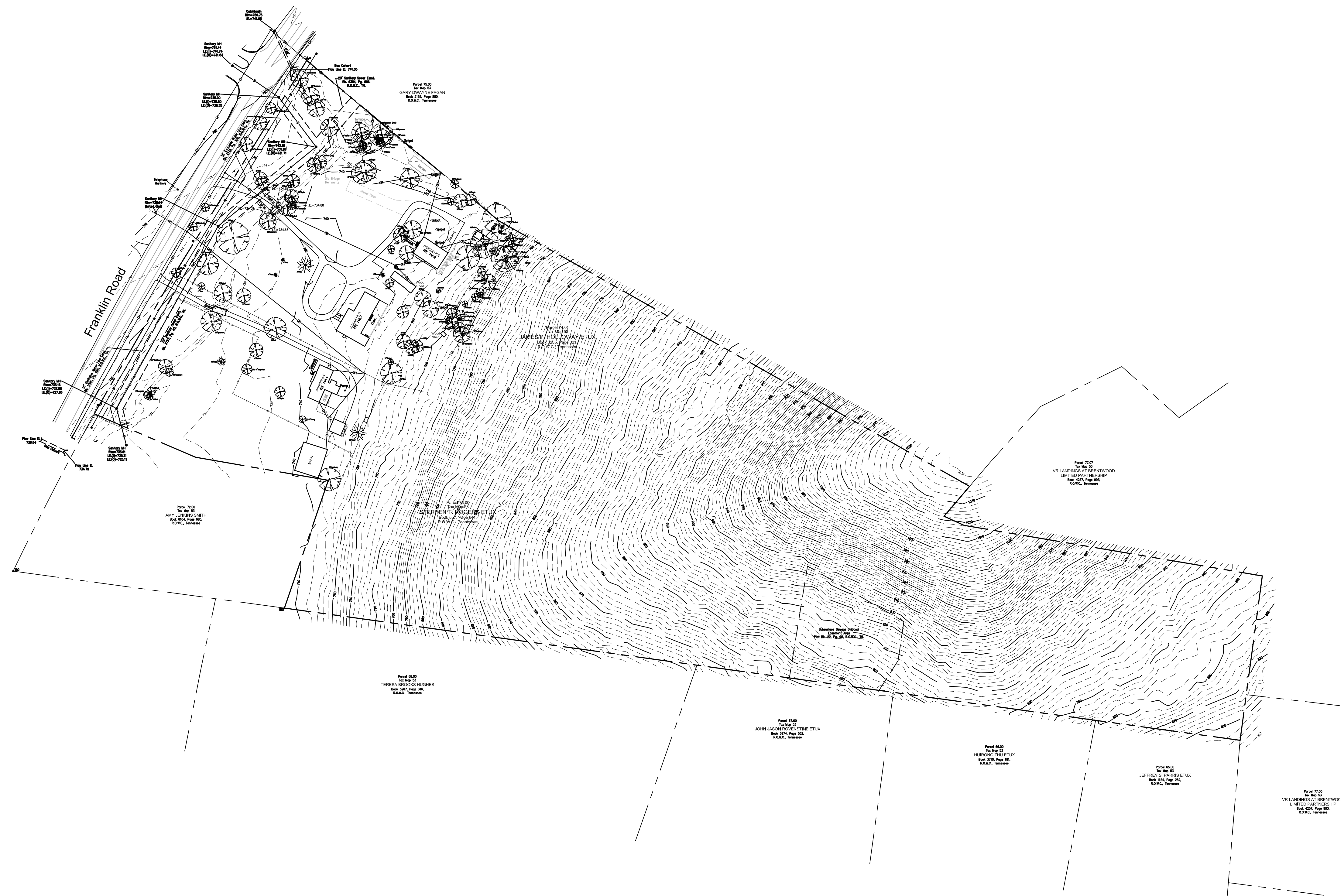
C0.0

1 of 14

1. THIS SURVEY IS BASED ON TENNESSEE STATE PLANE
COORDINATE SYSTEM ZONE 5301, FIPZONE 4100, NAD 83
DATUM.



LAND SOLUTIONS
COMPANY, LLC
2925 Berry Hill Drive, Nashville, TN 37204



Family Legacy PUD Subdivision
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Being Parcels 73.00 & 74.01 on Tax Map 53
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Franklin, Williamson County, Tennessee

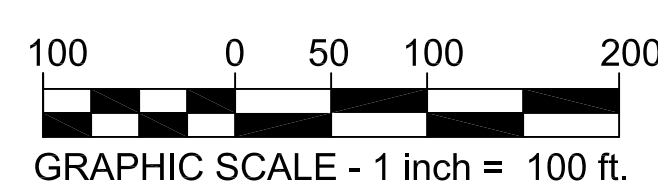
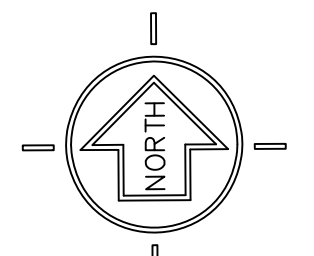
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- NONE
- NONE
- NONE
- NONE

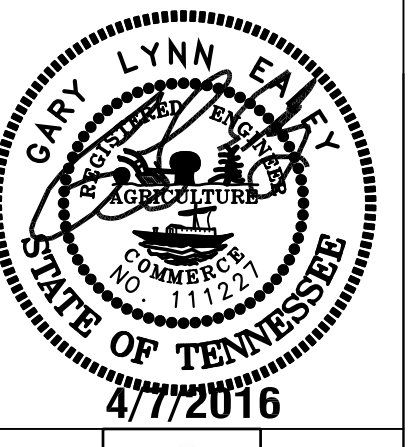


Know what's below.
Call before you dig.



EXISTING
CONDITIONS

C1.0
2 of 14



LAND SOLUTIONS
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 2925 Berry Hill Drive, Nashville, TN 37204

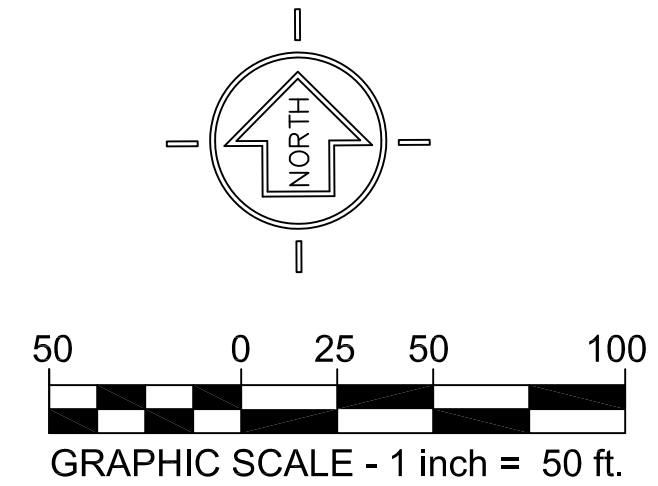
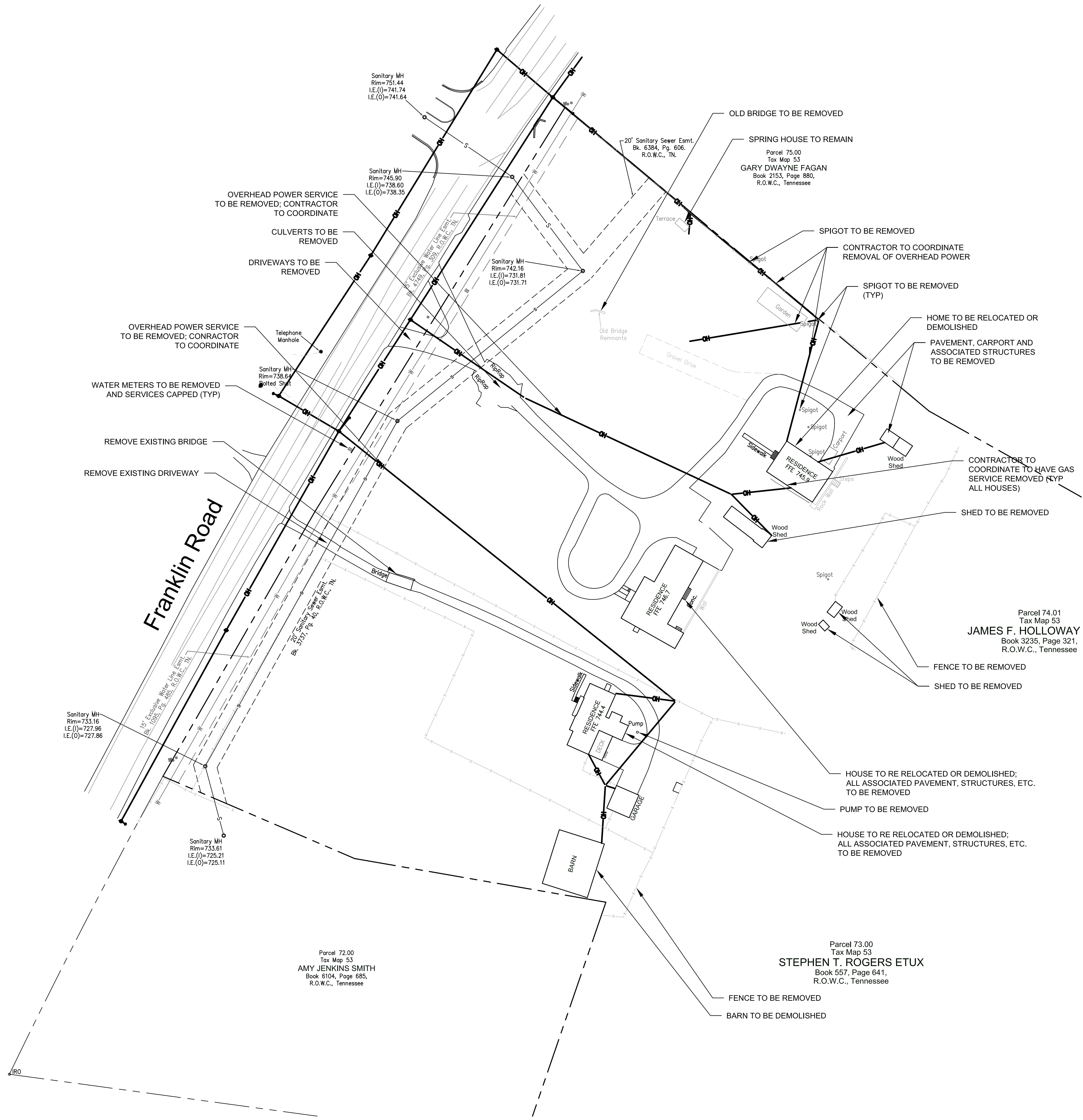
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NONE
 NONE
 NONE
 NONE

DEMOLITION PLAN
C1.1
 3 of 14

DEMOLITION NOTES
 1. THIS SURVEY IS BASED ON TENNESSEE STATE PLANE COORDINATE SYSTEM ZONE 5301, FIPSZONE 4100, NAD 83 DATUM.



SITE DATA:

PROJECT NAME: FAMILY LEGACY PUD SUBDIVISION
 PROJECT NUMBER: 6072
 SUBDIVISION: FAMILY LEGACY PUD SUBDIVISION
 LOT NUMBER: 1
 ADDRESS: 554 FRANKLIN ROAD
 CITY: FRANKLIN
 COUNTY: WILLIAMSON
 STATE: TENNESSEE
 CIVIL DISTRICT: 8TH CIVIL DISTRICT
 MAP GROUP, PARCEL NUMBERS: MAP 53, PARCEL 73.00 MAP 53, PARCEL 74.01
 EXISTING ZONING: R1
 PROPOSED ZONING: SD-X 0/34.500
 CHARACTER AREA OVERLAY: BERRY'S CHAPEL BC-4
 OTHER APPLICABLE OVERLAYS: HHO - HILLSIDE/HILLCREST OVERLAY
 FWO - FLOODWAY OVERLAY

APPLICABLE DEVELOPMENT STANDARD: TRADITIONAL
 PARCEL ACREAGE: PARCEL 73 - 14.57 AC PARCEL 74.01 - 8.15 AC
 TOTAL ACREAGE/SQUARE FOOTAGE: 22.72 ACRES OR 989,504 SF
 MINIMUM REQUIRED SETBACKS: AS ESTABLISHED BY P.U.D. PLAN

OWNER PARCEL 73: STEPHEN T. ROGERS
 JAMES F. HOLLOWAY
 ETHEL R. DETCH
 554 FRANKLIN ROAD
 FRANKLIN TN 37069

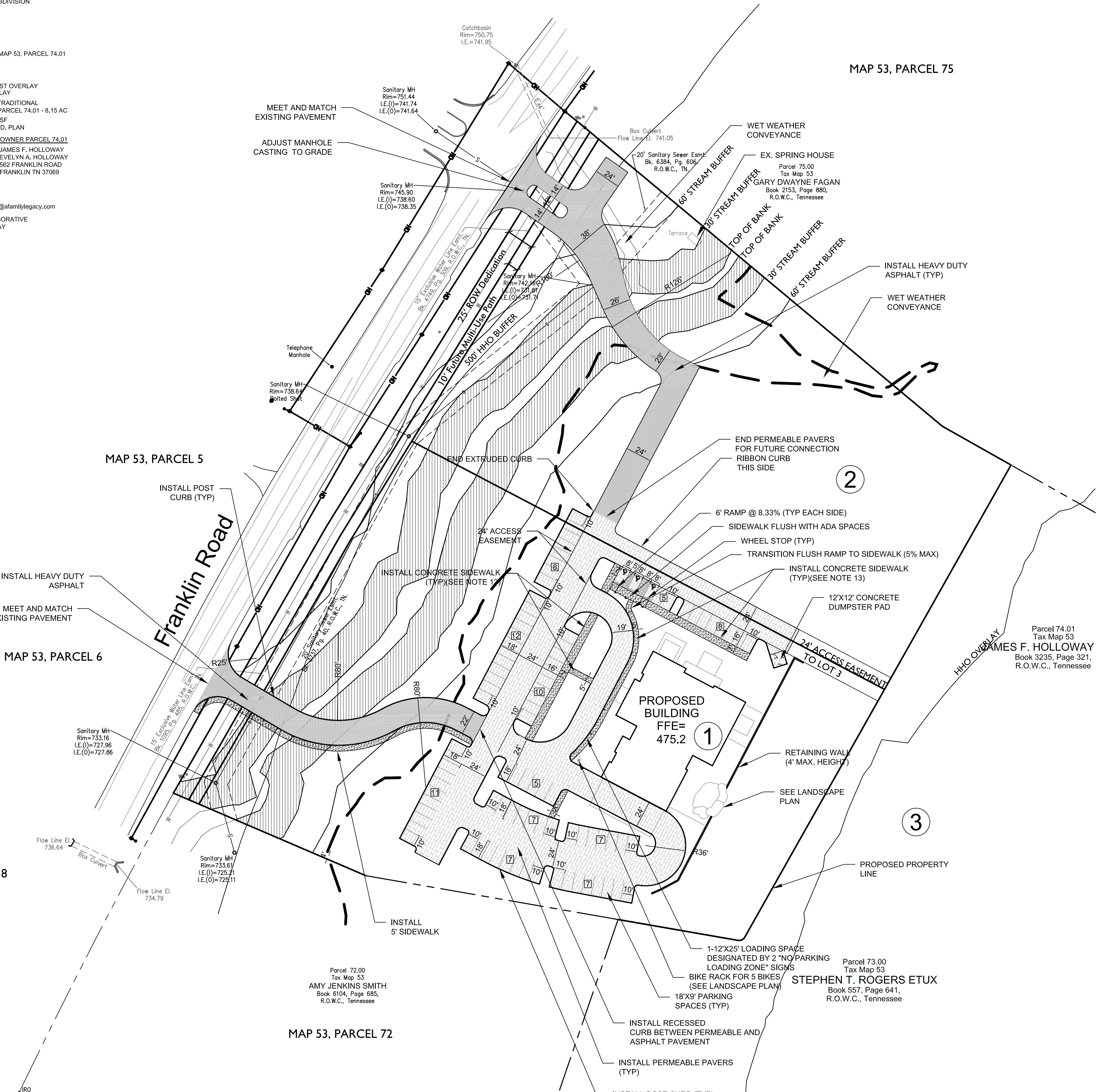
OWNER PARCEL 74.01: JAMES F. HOLLOWAY
 EVELYN A. HOLLOWAY
 562 FRANKLIN ROAD
 FRANKLIN TN 37069

APPLICANT: WILLIAM GREGORY
 7427 CHARLOTTE PIKE
 NASHVILLE TN, 37209
 (615) 390-7724 WGregory@familylegacy.com

PLANNER/LANDSCAPE ARCHITECT: GAMBLE DESIGN COLLABORATIVE
 144 SOUTHEAST PARKWAY
 SUITE 200
 FRANKLIN, TN 37064
 615.975.5765
 greggambledesign@gmail.com
 GREG S GAMBLE

OFFICE PHONE: 615.975.5765
 EMAIL ADDRESS: greggambledesign@gmail.com
 CONTACT: GREG S GAMBLE

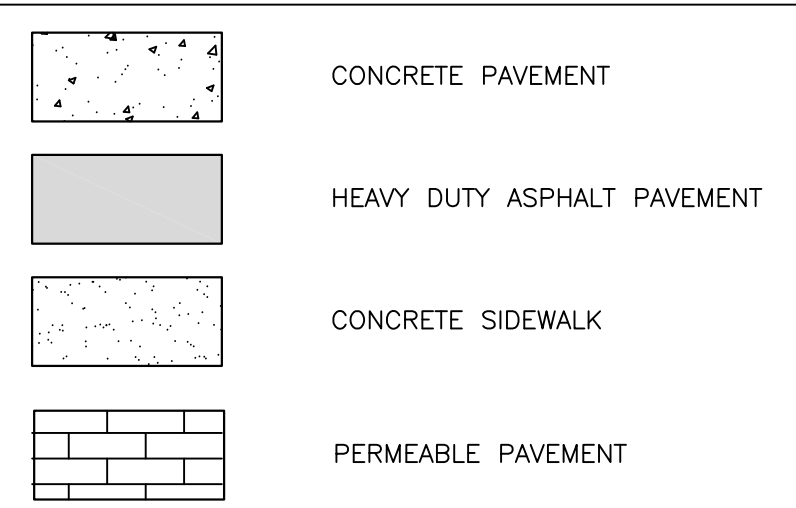
LOT 1
 PROPOSED LOT SIZE: 165,568 SF or 3.80 ACRES
 PROPOSED USE: FUNERAL HOME
 BUILDING SQUARE FOOTAGE: 10,500 SF
 BUILDING HEIGHT: ONE STORY
 MINIMUM L.S.R.: 0.25
 L.S.R. PROVIDED: 0.668
 INCOMPATIBLE BUFFER REQUIRED: NONE
 MINIMUM VEHICLE PARKING REQUIRED BY APPROVED DEV. PLAN: 86
 MAXIMUM PARKING PERMITTED: 108
 PARKING PROVIDED: 82
 BIKE PARKING REQUIRED BY APPROVED DEV. PLAN: 5
 BIKE PARKING PROVIDED WITH THIS PLAN: 5



SITE CONSTRUCTION NOTES

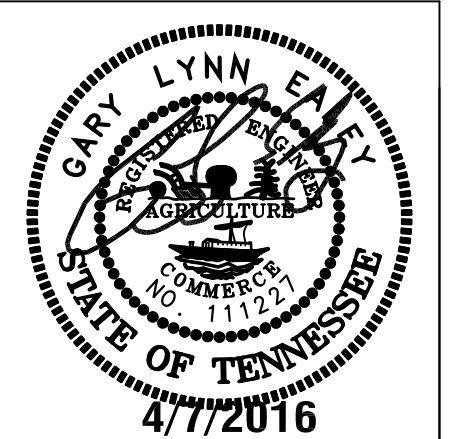
1. THE NECESSARY PERMITS FOR THE WORK SHOWN ON THESE SITE DEVELOPMENT PLANS WILL BE OBTAINED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK ON THIS PROJECT. THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES AND OBTAIN ALL PERMITS AND PAY ALL FEES INVOLVED IN SECURING SAID PERMITS. HE SHALL ALSO COMPLY WITH ALL CITY, COUNTY AND STATE BUILDING LAWS, ORDINANCES OR REGULATIONS RELATING TO THE CONSTRUCTION OF PROJECTS SUCH AS THIS ONE.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL BEAR ALL EXPENSES OF FIELD STAKING NECESSARY FOR SITE AND BUILDING LAYOUT. ALL LAYOUT SHALL BE PERFORMED IN ACCORDANCE WITH DETAIL PLANS AS OUTLINED IN THE SITE LAYOUT PLAN.
3. THE LOCATION OF EXISTING PIPING AND UNDERGROUND UTILITIES, SUCH AS WATER AND GAS LINES, ELECTRICAL AND TELEPHONE CONDUITS, ETC., AS SHOWN ON THIS PORTION OF THE PLANS HAVE BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION BY ACTUAL SURVEYS, OR TAKEN FROM THE RECORDS AND DRAWINGS OF THE EXISTING UTILITIES. HOWEVER, THE CIVIL ENGINEER DOES NOT ASSUME RESPONSIBILITY THAT, DURING CONSTRUCTION, THE POSSIBILITY OF UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED OR THAT ACTUAL LOCATION OF THOSE SHOWN MAY VARY SOMEWHAT FROM THE LOCATION DESIGNATED ON THIS PORTION OF THE PLANS. IN AREAS WHERE IT IS NECESSARY THAT THE EXACT LOCATIONS OF UNDERGROUND LINES BE KNOWN, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, FURNISH ALL LABOR AND TOOLS TO EITHER VERIFY AND SUBSTANTIATE OR DEFINITELY ESTABLISH THE LOCATION OF THE LINES.
4. THE CONTRACTOR MUST UNDERSTAND THAT THE WORK IS ENTIRELY AT HIS RISK UNTIL SAME IS ACCEPTED AND HE WILL BE HELD RESPONSIBLE FOR ITS SAFETY BY THE OWNER. THEREFORE, THE CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY TEMPORARY WORKS FOR THE PROTECTION OF THE WORK, INCLUDING BARRICADES, WARNING SIGNS, AND LIGHTS.
5. IF, DURING THE CONSTRUCTION OF THE SITE DEVELOPMENT PORTION OF THIS PROJECT, A QUESTION OF INTENT OR CLARITY ARISES FROM EITHER THE PLANS OR SPECIFICATIONS, THE CONTRACTOR WILL IMMEDIATELY BRING THE MATTER TO THE ATTENTION OF THE CIVIL ENGINEER FOR RESOLUTION BEFORE THE AFFECTED WORK ITEMS ARE INITIATED OR PURSUED FURTHER.
6. THE CONTRACTOR WILL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND OVERHEAD POWER LINES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF THE ABOVE-NOTED LINES, THE ELECTRIC AND/OR TELEPHONE COMPANIES SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN. A THOROUGH EXAMINATION OF THE OVERHEAD LINES IN THE PROJECT AREA SHOULD BE MADE BY THE CONTRACTOR PRIOR TO THE INITIATION OF CONSTRUCTION.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO THE PREMISES OR ADJACENT PREMISES, OR INJURIES TO THE PUBLIC DURING THE CONSTRUCTION OF THE WORK, CAUSED BY HIMSELF, HIS SUBCONTRACTORS OR THE CARELESSNESS OF ANY OF HIS EMPLOYEES.
8. TOPSOIL STRIPPED FROM THE AREAS TO BE GRADED WILL BE STOCKPILED ON SITE. AT A SPOT TO BE AUTHORIZED BY THE CIVIL ENGINEER, AND SHALL LATER BE USED FOR FINAL DRESSING AND SEEDBED PREPARATION, SAID STOCKPILES WILL BE LOCATED SO AS NOT TO INTERFERE WITH ACTIVITIES OF OTHER PORTIONS OF THE WORK ON THE PROJECT.
9. THE STOCKPILING OR STORAGE OF TREES, VEGETATION AND OTHER DELETERIOUS MATTER OR MATERIALS DEEMED "UNSUITABLE" BY THE SOILS AND CIVIL ENGINEERS SHALL NOT BE ALLOWED ON SITE. SAID MATERIALS SHALL BE PROPERLY DISPOSED OF OFF THE PROPERTIES, THE COST AND RESPONSIBILITY OF WHICH SHALL BE THE CONTRACTOR'S. SITE FOR THE DISPOSAL OF SAID MATERIALS SHALL FIRST BE APPROVED BY THE CIVIL ENGINEER.
10. THE PLACING AND SPREADING OF ANY FILL MATERIAL IS TO BE STARTED AT THE LOWEST POINT AND BROUGHT UP IN HORIZONTAL LAYERS OF 8-INCH THICKNESS. SAID FILL MATERIAL IS TO BE FREE OF SOD, ROOTS, FROZEN SOILS, OR ANY OTHER DECOMPOSABLE MATERIAL. THE RELATIVE COMPACTION OF EACH LAYER SHALL NOT BE LESS THAN 95 % OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D-698) IN ALL AREAS OF FILL, AND COMPACTION OF 98% OF SAME SPECIFICATION FOR MATERIALS USED IN THE UPPER 24 INCHES BENEATH PAVEMENT AND GRADE SLABS.
11. ALL STORM DRAINAGE STRUCTURES SHALL BE PRECAST CONCRETE WITH STEEL REINFORCEMENT PER T.D.O.T. STANDARD SPECIFICATIONS UNLESS OTHERWISE NOTED. ALL STORM DRAINAGE CASTINGS TO BE JOHN BOUCHARD & SONS OR APPROVED EQUAL.
12. ALL RADII AT INTERNAL ISLANDS ARE 3'. OTHER RADII ARE 5' UNLESS NOTED.
13. CONCRETE WALKS WHERE CURB IS INDICATED ARE TO BE TURNDOWN SIDEWALKS. CONCRETE WALKS ADJACENT TO GRASS DO NOT REQUIRE TURNDOWN.
14. ALL PERMEABLE PAVERS TO BE PLACED IN A WATER QUALITY/DETENTION EASEMENT ON FINAL PLAT.

PAVEMENT LEGEND:



PROJECT GENERAL NOTES:

1. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES IN THE PROXIMITY OF THE CONSTRUCTION AREA AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE AND PROJECT CONSULTANTS PRIOR TO BEGINNING WORK.
2. THE CONTRACTOR SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL CODES AND OBTAIN ALL PERMITS PRIOR TO BEGINNING WORK.
3. THE CONTRACTOR SHALL CHECK ALL FINISHED GRADES AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE AND PROJECT CONSULTANTS PRIOR TO BEGINNING WORK.
4. DIMENSIONS ARE TO THE FACE OF CURB, EDGE OF CONCRETE AND FACE OF BUILDING, UNLESS NOTED OTHERWISE.
5. PROPOSED BUILDING FOOTPRINT IS FOR GRAPHIC PURPOSES ONLY. CONTRACTOR SHALL USE THE CURRENT ARCHITECTURAL DRAWINGS FOR BUILDING LOCATION AND VERIFY THAT THERE ARE NO DISCREPANCIES WITH THESE PLANS.
6. ALL TRAFFIC MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
7. ALL HANDICAP RAMPS, PARKING SPACES AND ACCESSIBLE ROUTES SHALL COMPLY WITH THE CURRENT ADA REQUIREMENTS.
8. EXTERIOR DOOR LANDINGS SHALL BE PROVIDED PER THE STATE AND LOCAL BUILDING CODE. CONTRACTOR SHALL COORDINATE DOOR LOCATIONS AND ADJACENT SIDEWALK/LANDING GRADES WITH THESE PLANS AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE AND PROJECT CONSULTANTS.
9. THE SURVEY IS BASED ON TENNESSEE STATE PLANE COORDINATE SYSTEM, ZONE 5301, FIPSZONE 4100, NAD 83 DATUM.



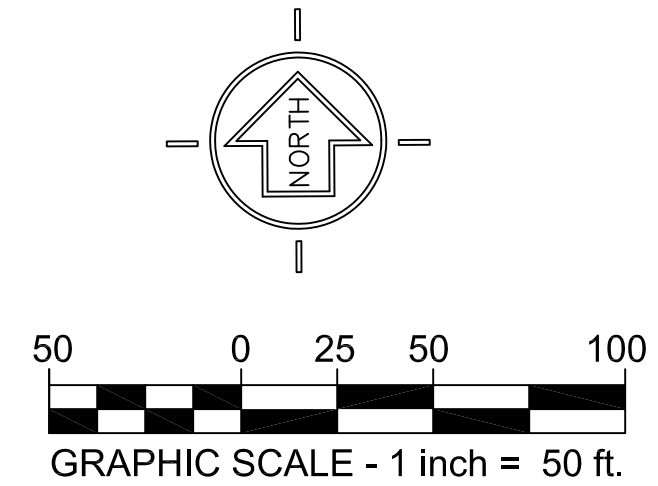
LAND SOLUTIONS COMPANY, LLC
 2925 Berry Hill Drive, Nashville, TN 37204

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 Site Plan - Lot 1 (Funeral Home)
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ISSUANCE/REVISION NOTES:
 - PLAN DATE: March 7, 2016
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A	NONE
B	NONE
C	NONE
D	NONE

SITE PLAN
C2.0
 4 of 14




PIPE AND STRUCTURE CHARTS

ID	STR TYPE	TC	I.E. IN	I.E. OUT	LENGTH	PIPE SIZE	TYPE	SLOPE
1	OUTLET			739.73				
1-2					173	8"	HDPE N-12	0.5
2	NYLOPLAST	744.3	740.70	740.60				
2-3					69	8"	HDPE N-12	0.5
3	NYLOPLAST	744.0	741.15	741.05				
3-4					87	8"	HDPE N-12	0.5
4	NYLOPLAST	744.0	741.69	741.59				
4-5					23	8"	HDPE N-12	0.5
5	NYLOPLAST	743.8		741.8				
13	HW			739.96				
13-14					83	6'x4'	RCBC	1.25
14	JUNCTION	749.4		741.0				
15A	SINGLE	740.5						
15	HW			731.7				
15-16					32	16'x7'	AQUA ARCH	0.9
16	HW			732.0				
16A	SINGLE	740.5						
17	SINGLE	745.0						
17	HW			735.9				
17-18					32	16'x7'	AQUA ARCH	0.6
18	HW			735.7				
18A	SINGLE	745.0						

TN CONSTRUCTION GENERAL PERMIT NOTE:

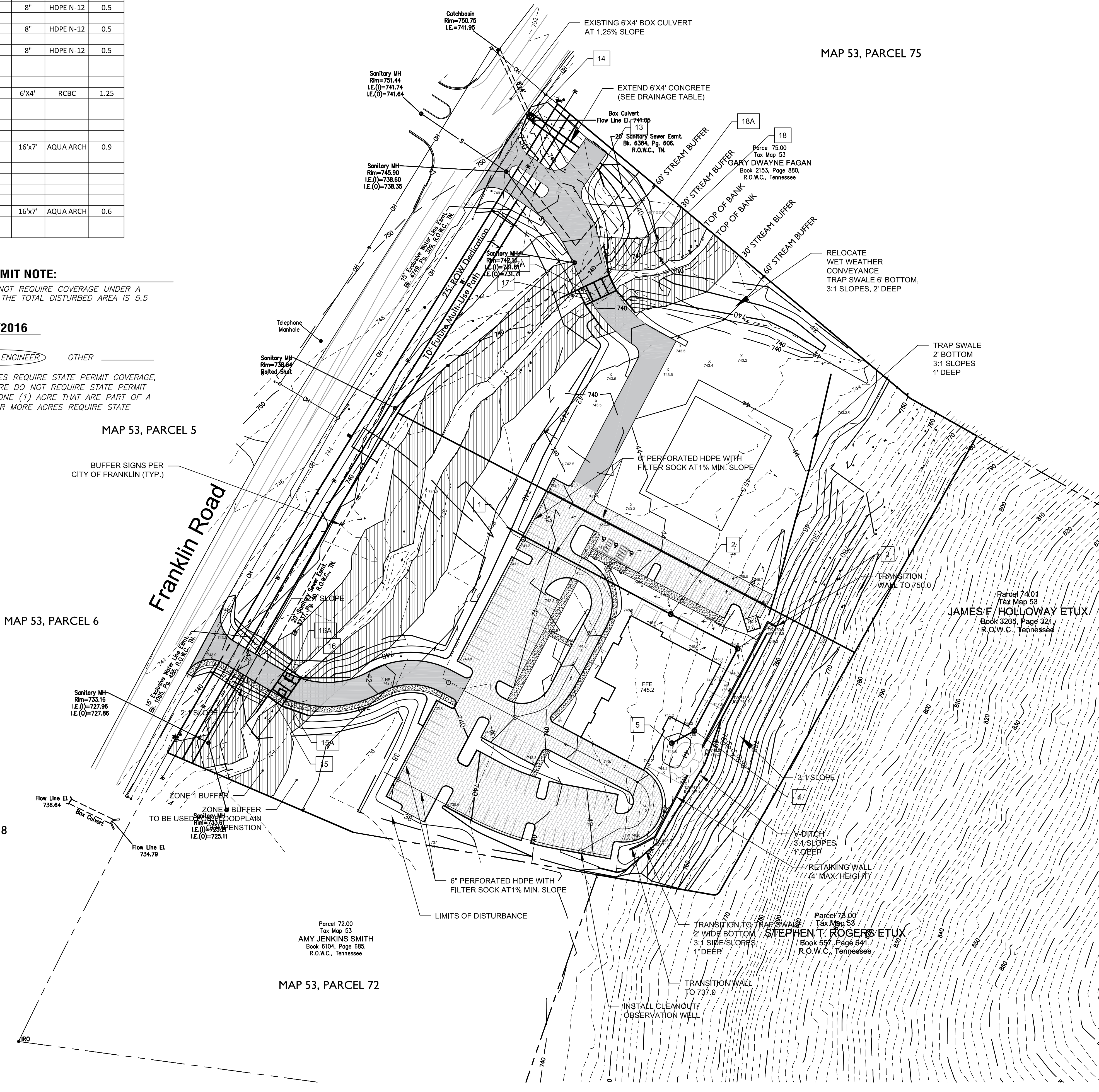
I HERBY CERTIFY THAT THIS PROJECT DOES NOT REQUIRE COVERAGE UNDER A TENNESSEE CONSTRUCTION GENERAL PERMIT. THE TOTAL DISTURBED AREA IS 5.5 ACRES.



 SIGNATURE _____ DATE 4/7/2016

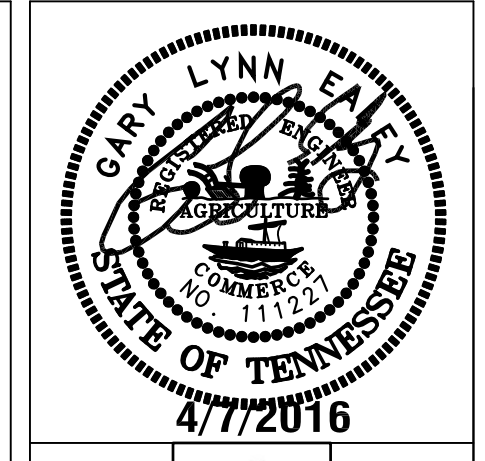
 CIRCLE ONE: DEVELOPER PROJECT ENGINEER OTHER _____

NOTE: PROJECTS OF ONE (1) OR MORE ACRES REQUIRE STATE PERMIT COVERAGE, WHILE PROJECTS OF LESS THAN ONE (1) ACRE DO NOT REQUIRE STATE PERMIT COVERAGE. ALSO, PROJECTS OF LESS THAN ONE (1) ACRE THAT ARE PART OF A TOTAL DEVELOPMENT PROJECT OF ONE (1) OR MORE ACRES REQUIRE STATE PERMIT COVERAGE.



GRADING AND DRAINAGE NOTES:

- Grading Permit is required for any project disturbing more than 10,000 sf, adding more than 5,000 sf of impervious surface or for any site grading requiring stockpiling of material.
- The Developer shall provide the necessary labor and supervision required to support field testing by the independent testing firm and inspections by City officials at no cost to the City. Test reports of field testing if applicable shall be submitted directly to the Street Department. Defects disclosed by tests shall be rectified.
- An authorized representative of the City shall make a final inspection of the project after completion to determine acceptability of the work and for release of performance bonds if required. Before this final inspection can be made, the Engineer responsible for the project shall certify in writing to the City Engineer that the work has been completed in accordance with approved plans and specifications.
- Drainage facilities including, but not limited to, culverts, detention basins and ditches, as well as the roadway sub-grade, base stone and binder & surface course shall be inspected, tested and given approval at each stage of installation prior to proceeding to the next stage of construction. Final construction inspection for approval and acceptance of streets and drainage systems will not be granted until all work has been completed in accordance with the approved plans.
- Locating and coordination for the relocation of existing utilities is the responsibility of the contractor. Tennessee's One-Call and the City of Franklin utility location service shall be utilized in addition to coordination with local utility owners. The contractor shall at all times protect existing utilities and will be responsible for costs due to damage caused to any utility lines.
- ALL SEDIMENT AND EROSION CONTROL MEASURES, SUCH AS SILT PONDS OR INLET SEDIMENT BARRIERS SHALL CONFORM TO THE STORM WATER PERMITTING REQUIREMENTS OF THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION AND THE "TENNESSEE EROSION AND SEDIMENT CONTROL HANDBOOK" AS A MINIMUM.
- EROSION CONTROL TO BE INSPECTED AND APPROVED PRIOR TO ALL OTHER WORK BEING STARTED.
- THE TIME OF EXPOSURE UNPROTECTED SOILS SHALL BE KEPT TO A MAXIMUM OF 20 DAYS. REFER TO THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION, EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION; SECTION TS FOR AREAS TO BE STABILIZED THAT DO NOT REQUIRE PERMANENT STABILIZATION SUCH AS BUILDING FOOTPRINTS, PARKING LOTS, ETC.
- KEEP DUST WITHIN TOLERABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE REFER TO THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION, EROSION AND SEDIMENT CONTROL HANDBOOK, SECTION PAM.
- NO OTHER WORK WILL BE INITIATED ON THE PROJECT UNTIL THE EROSION, SEDIMENT CONTROL MEASURES SHOWN ON THE PLANS AND DETAILS ARE PROPERTY IN PLACE.
- STRAW BALES SHOWN THUS (INSERT APPROPRIATE LINE TYPE) ARE TO BE USED AS TEMPORARY SEDIMENT BARRIERS. STRAW BALES ARE TO BE FIRM AND SECURELY TIED WITH PLASTIC OR WIRE BINDING. BALES ARE TO BE PLACED RANCHING AND FIRMLY ANCHORED TO THE GROUND WITH STEEL DRIFT PINS OR WOODEN STAKES AS SHOWN IN DETAIL. SILT FENCES SHALL BE INSTALLED AS PER SECTION SF OF THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION, EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
- IF, AT ANY TIME DURING THE CONSTRUCTION PHASE OF THIS PROJECT, THE EROSION/SEDIMENT CONTROL MEASURED INSTALLED FAIL TO FUNCTION PROPERLY, NEED MAINTENANCE OR REPAIR, OR NEED NEW REPLACEMENT IN KIND, THE CONTRACTOR WILL EFFECT SUCH ACTION AS ARE NEEDED TO CORRECT THE SITUATION AT NOT ADDITIONAL COST TO THE OWNER. ALL MEASURES ARE TO BE INSPECTED AFTER EACH RAIN EVENT. ANY MEASURES NEEDING REPLACEMENT WILL BE CORRECTED WITHIN 5 DAYS OF THE RAIN EVENT.
- DISTURBED AREAS ARE TO BE GRADED TO DRAIN AS INDICATED ON GRADING PLAN TO SEDIMENT BARRIERS DURING AND UPON COMPLETION OF CONSTRUCTION. ALL STRIPPED OR CUT/FILL AREAS REQUIRING PERMANENT VEGETATION ARE TO HAVE A MINIMUM OF 6-INCH DEPTH TOPSOIL COVER. AREAS DRESSED WITH TOPSOIL WILL RECEIVE 12 POUNDS PER 1,000 SQUARE FEET OF 6-12-12 FERTILIZER. REFER TO SECTION PS OF THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION, EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION TO DETERMINE SEED TYPE AND SEEDING DATES ALONG WITH SEEDBED PREPARATION AND PLANT SELECTION AND STRAW MULCH OF 75% COVERAGE (APPROXIMATELY 125 POUNDS PER 1,000 SQUARE FEET) EXCEPT AS OTHERWISE SHOWN ON PLAN. AREAS SHALL BE WATERED TO NOT CAUSE RUNOFF.
- ALL STOCKPILED SOIL SHOULD BE STABILIZED USING TEMPORARY VEGETATION. REFER TO THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION, EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION, SECTION TS. UPON STABILIZATION OF THE SITE WITH A GOOD (ACCEPTABLE) STAND OF GRASS AND/OR GROUND COVER, THE EROSION/SEDIMENT CONTROL INSTALLATIONS WILL BE REMOVED AND THE AREA DISTURBED WILL BE SEEDED AND MULCHED WITH THE SAME TREATMENT AS OTHER NEW GRASSED AREAS OF THE PROJECT.
- A STONE ACCESS RAMP IS TO BE CONSTRUCTED AT THE SITE ENTRANCE WITH A MINIMUM WIDTH OF 20 FEET AND MINIMUM LENGTH OF 100 FEET. THE RAMP IS TO BE BASED WITH 8 INCHES OF ASTM D 448, SIZE NO. 1 STONE, AND MAINTAINED THROUGHOUT CONSTRUCTION.
- PRIOR TO THE ISSUANCE OF A GRADING PERMIT, ALL EROSION AND SEDIMENT CONTROL MEASUREMENTS INDICATED ON THE PLANS AND ANY ADDITIONAL MEASURES REQUESTED BY THE CITY SHALL BE INSTALLED.
- BUFFER ZONES AND TREES SPECIFIED FOR PRESERVATION SHOULD BE CLEARLY INDICATED ON THE GRADING AND DEMOLITION PLANS. BUFFER ZONES AND TREES SPECIFIED FOR PRESERVATION MUST BE PROTECTED THROUGH THE USE OF TREE PROTECTION BARRIERS TO THE DRIP LINE OF SAID TREES. THESE BARRIERS SHOULD CONSIST OF ORANGE GRID FABRIC STAKED AT THE BORDER AND/OR DRIP LINE OF PRESERVED BUFFER ZONE AND/OR TREES TO RESTRICT CONSTRUCTION ACTIVITY AND ACCESS WITHIN THE PROTECTED AREAS AND/OR TREE'S DRIP LINE. A TREE PROTECTION DETAIL MUST ALSO BE PROVIDED.
- THIS SURVEY IS BASED ON TENNESSEE STATE PLANE COORDINATE SYSTEM ZONE 5301, FIPZONE 4100, NAD 83 DATUM.
- THERE SHALL BE NO MOWING, CLEARING, GRADING, CONSTRUCTION, STORAGE OR DISTURBANCE OF VEGETATION IN RIPARIAN BUFFERS EXCEPT AS PERMITTED BY THE CITY ENGINEER, OR HIS DESIGNEE.



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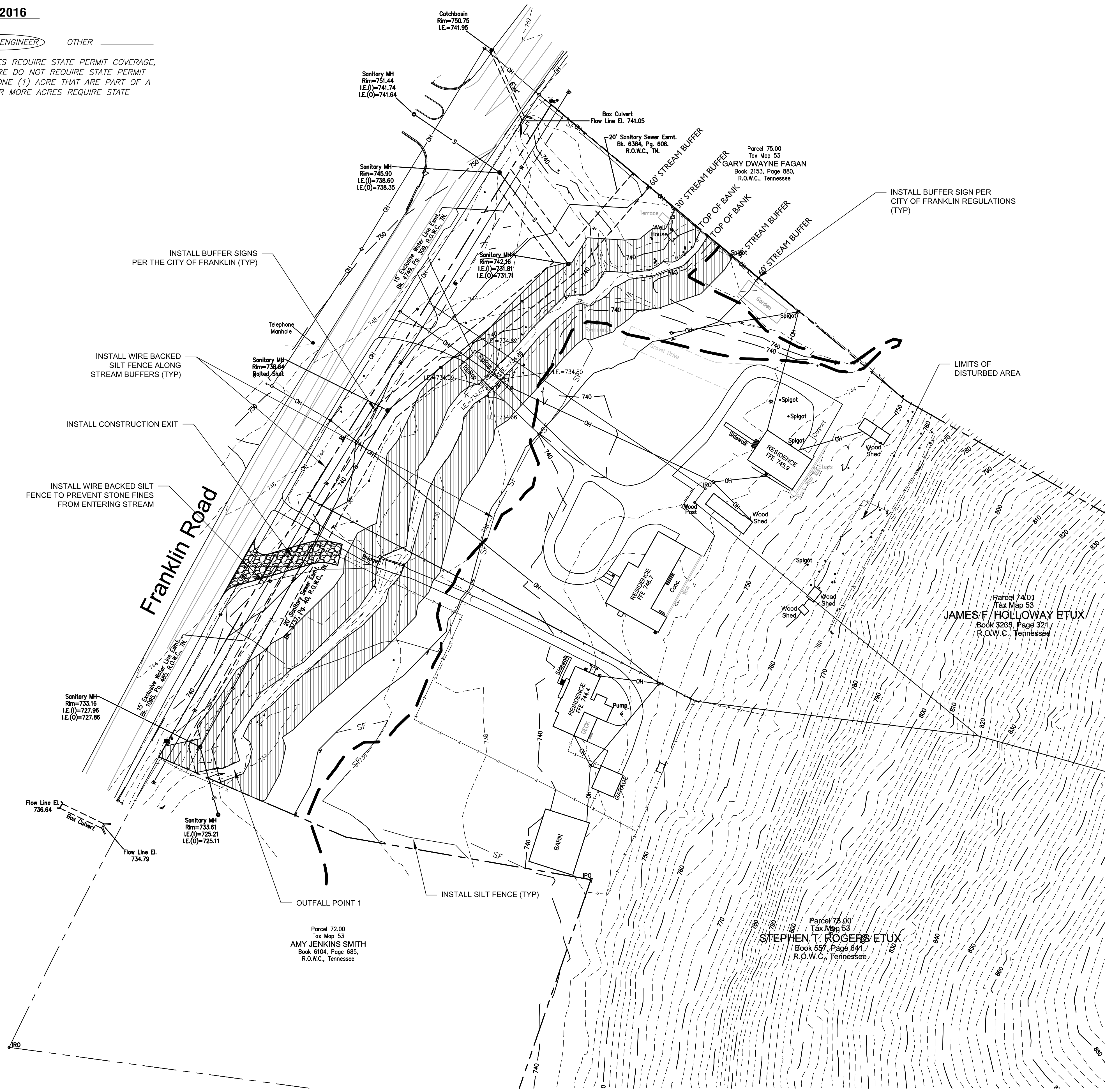
GRADING & DRAINAGE PLAN
C3.0
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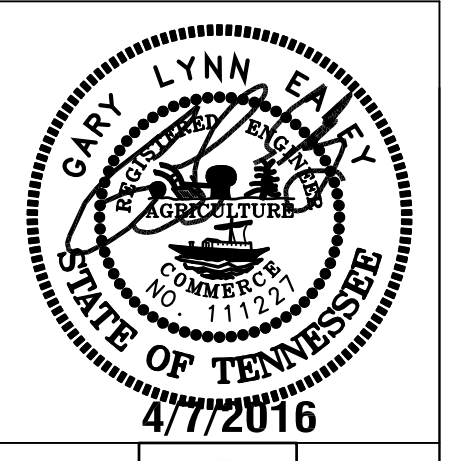
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EROSION AND SEDIMENT CONTROL NOTES:

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LAND SOLUTIONS
 COMPANY, LLC
 2925 Berry Hill Drive, Nashville, TN 37204

Family Legacy PUD Subdivision
 Site Plan - Lot 1 (Funeral Home)
 Being Parcels 73.00 & 74.01 on Tax Map 53
 554 FRANKLIN ROAD
 Franklin, Williamson County, Tennessee

ISSUANCE/REVISION NOTES:

1	NONE
2	NONE
3	NONE
4	NONE

- PLAN DATE: March 7, 2016
 - PLAN REVISION DATE: April 7, 2016

811
 Know what's below.
 Call before you dig.

INITIAL
 EROSION
 CONTROL PLAN
C3.1
 6 of 14

TN CONSTRUCTION GENERAL PERMIT NOTE:

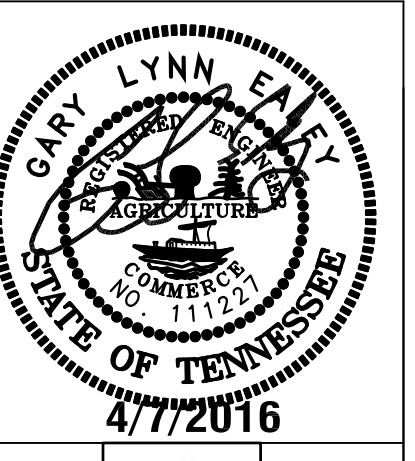
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SIGNATURE: *[Signature]* DATE: **4/7/2016**
 CIRCLE ONE: DEVELOPER PROJECT ENGINEER OTHER

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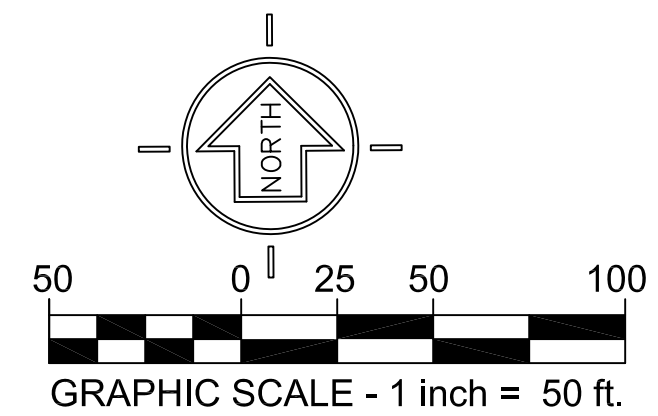
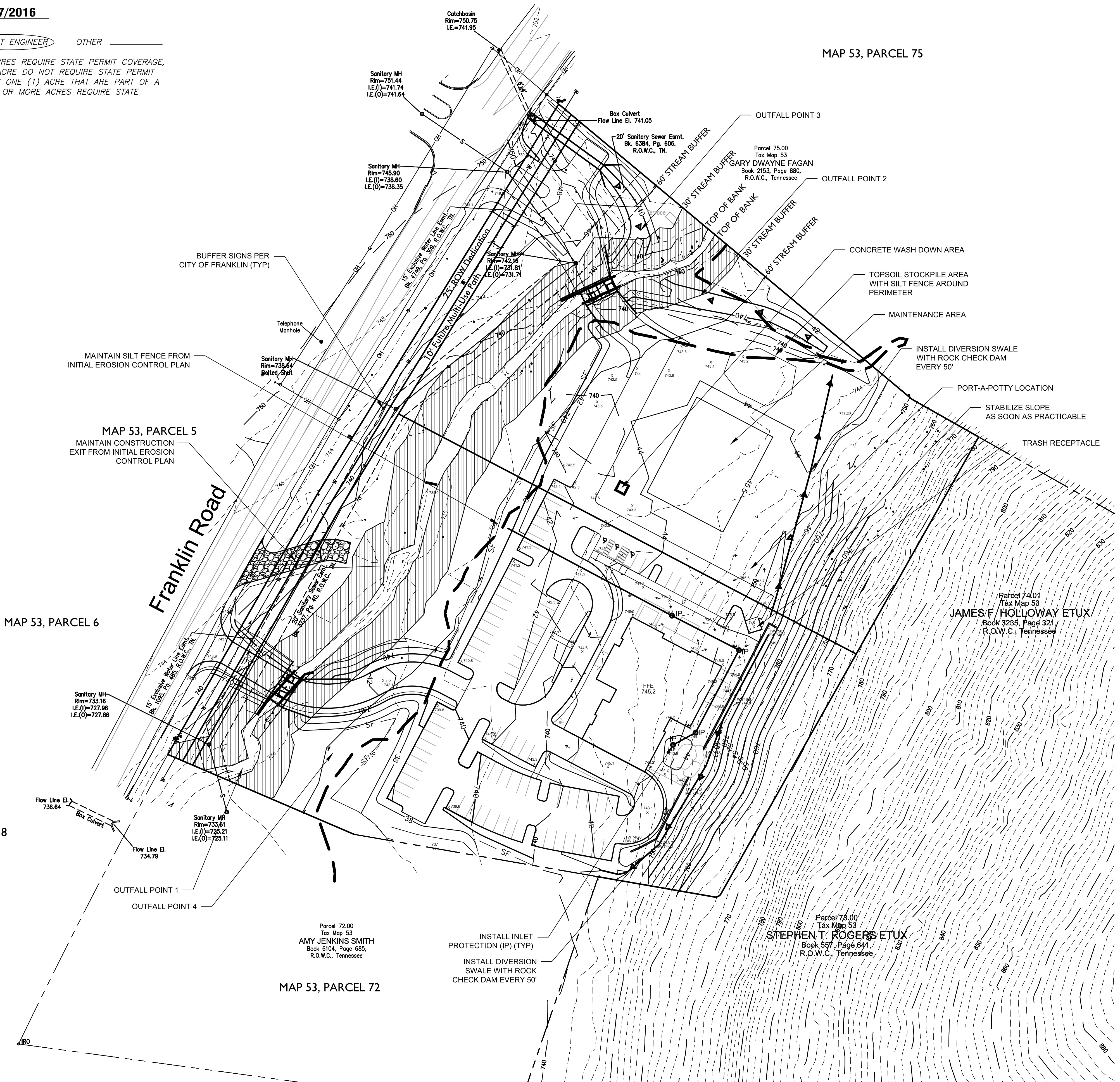
LAND SOLUTIONS COMPANY, LLC
 2925 Berry Hill Drive, Nashville, TN 37204

Family Legacy PUD Subdivision
 Site Plan - Lot 1 (Funeral Home)
 Being Parcels 73.00 & 74.01 on Tax Map 53
 554 FRANKLIN ROAD
 Franklin, Williamson County, Tennessee

ISSUANCE/REVISION NOTES:

PLAN DATE	March 7, 2016
PLAN REVISION DATE	April 7, 2016
1	NONE
2	NONE
3	NONE
4	NONE

INTERMEDIATE EROSION CONTROL PLAN
C3.2
 7 of 14



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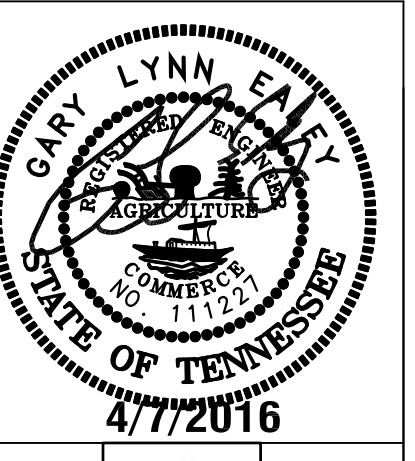
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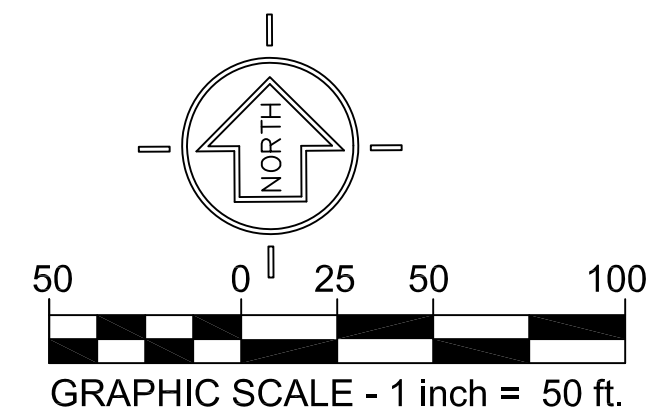
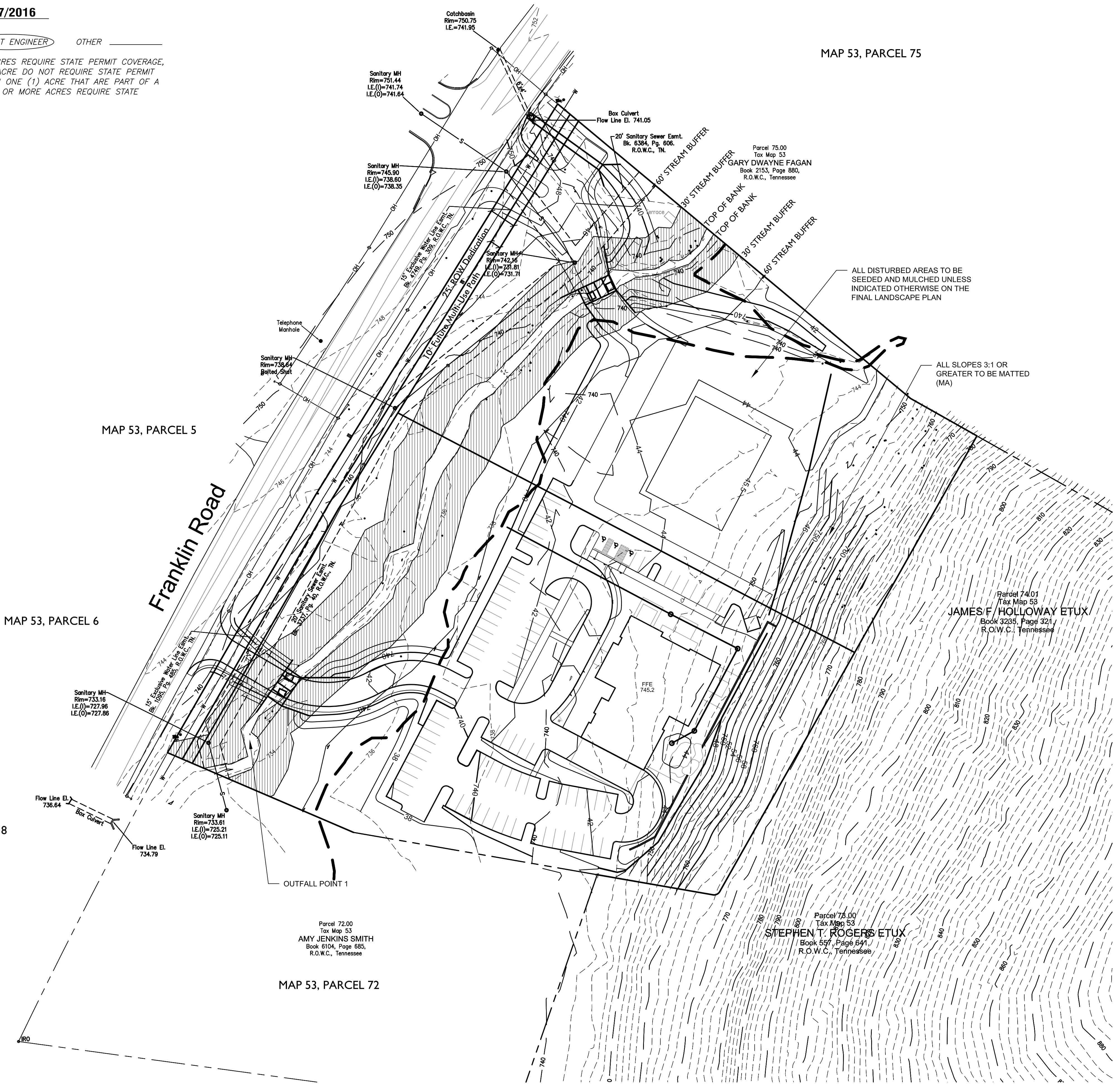
LAND SOLUTIONS COMPANY, LLC
 2925 Berry Hill Drive, Nashville, TN 37204

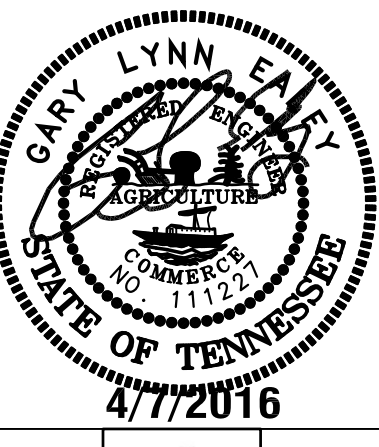
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 Franklin, Williamson County, Tennessee

ISSUANCE/REVISION NOTES:
 - PLAN DATE: March 7, 2016
 - PLAN REVISION DATE: April 7, 2016

- NONE
- NONE
- NONE
- NONE

FINAL EROSION CONTROL PLAN
C3.3
 8 of 14





LAND SOLUTIONS
COMPANY, LLC
2925 Berry Hill Drive, Nashville, TN 37204

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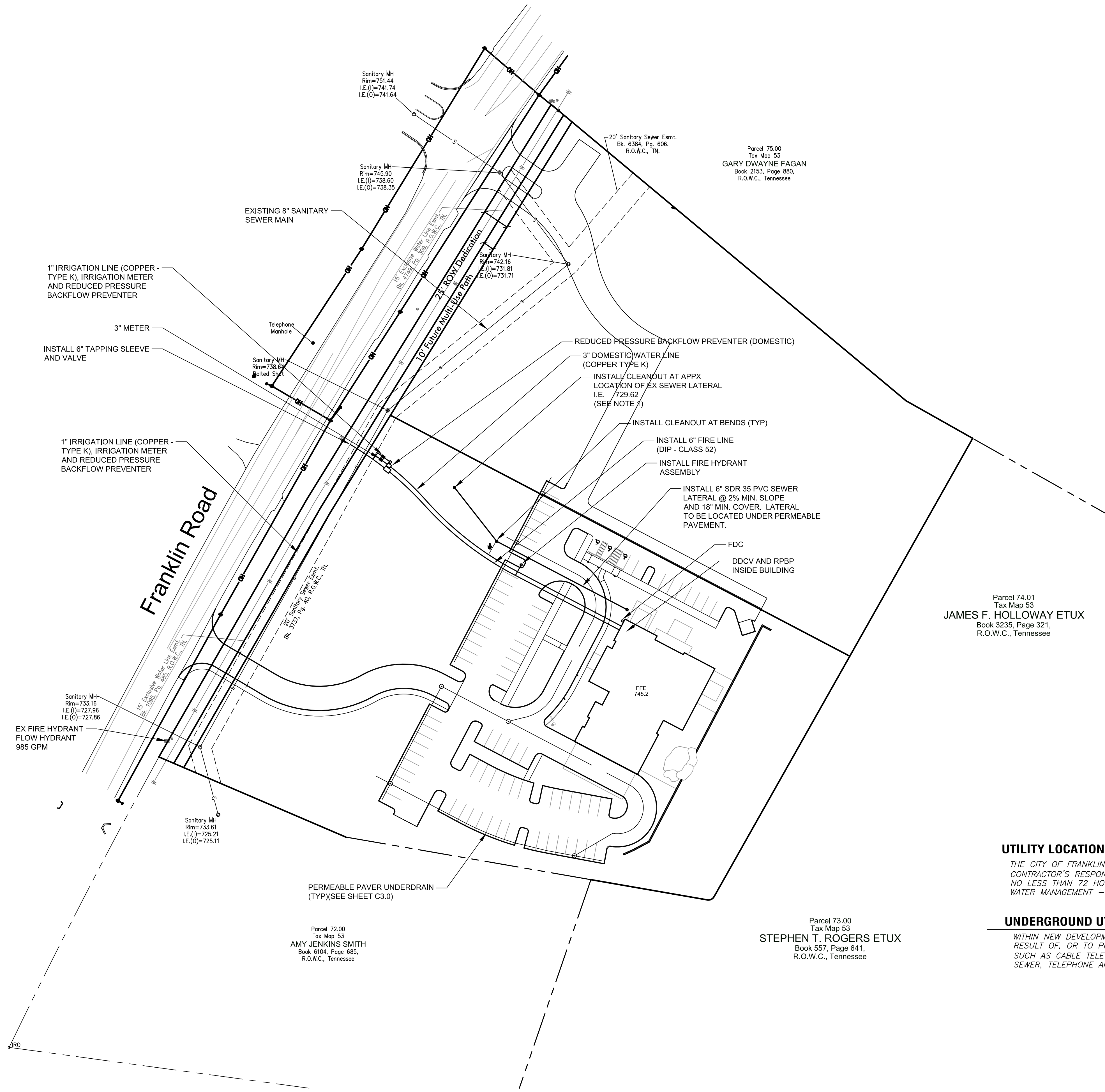
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- NONE
- NONE
- NONE
- NONE

UTILITY PLAN
C4.0
9 of 14

UTILITY NOTES:

1. LOCATION OF EXISTING SEWER SERVICE, SIZE AND INVERT ELEVATION TO BE DETERMINED BY CONTRACTOR. NOTIFY ENGINEER PRIOR TO INSTALLATION OF NEW SERVICE TO BUILDING.
2. ALL SEWER WORK TO BE IN ACCORDANCE WITH THE CITY OF FRANKLIN SPECIFICATIONS.
3. ALL WATER LINE WORK TO BE IN ACCORDANCE WITH MALLORY VALLEY UTILITY DISTRICT SPECIFICATIONS.
4. THIS SURVEY IS BASED ON TENNESSEE STATE PLANE COORDINATE SYSTEM ZONE 5301, FIPZONE 4100, NAD 83 DATUM.
5. CITY OF FRANKLIN WATER MANAGEMENT CONTACT:
124 LUMBER DRIVE
FRANKLIN, TN 37064
ATTN: UTILITY INSPECTOR
615-794-4554

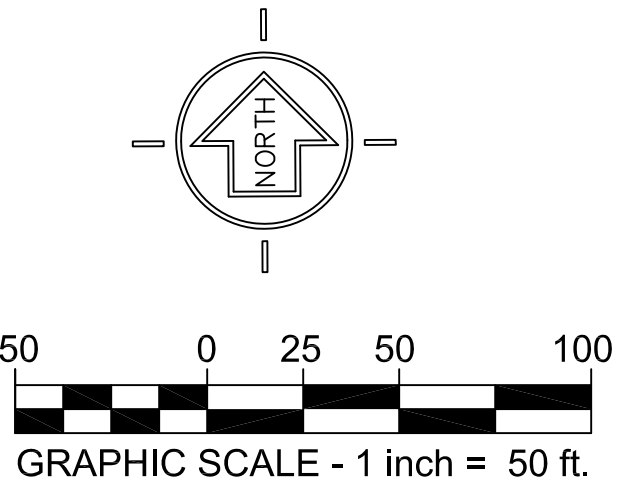


UTILITY LOCATION NOTE:

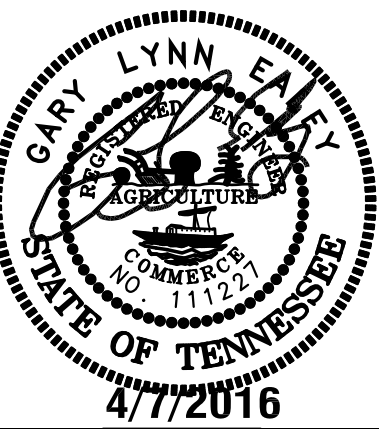
THE CITY OF FRANKLIN IS NOT A MEMBER OF TN ONE CALL. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT FRANKLIN WATER MANAGEMENT NO LESS THAN 72 HOURS PRIOR TO COMMENCING WORK. WATER MANAGEMENT - 615-794-4554

UNDERGROUND UTILITY NOTE:

WITHIN NEW DEVELOPMENTS AND FOR OFF-SITE LINES CONSTRUCTED AS A RESULT OF, OR TO PROVIDE SERVICE TO, THE NEW DEVELOPMENT, ALL UTILITIES, SUCH AS CABLE TELEVISION, ELECTRICAL (EXCLUDING TRANSFORMERS), GAS, SEWER, TELEPHONE AND WATER LINES SHALL BE PLACED UNDERGROUND.



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 DATUM.



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- NONE
- NONE
- NONE
- NONE

AUTOTURN
 PLAN
C5.0
 10 of 14

Parcel 75.00
 Tax Map 53
 GARY DWAYNE FAGAN
 Book 2153, Page 880,
 R.O.W.C., Tennessee

Parcel 74.01
 Tax Map 53
 JAMES F. HOLLOWAY ETUX
 Book 3235, Page 321,
 R.O.W.C., Tennessee

Parcel 73.00
 Tax Map 53
 STEPHEN T. ROGERS ETUX
 Book 557, Page 641,
 R.O.W.C., Tennessee

Parcel 72.00
 Tax Map 53
 AMY JENKINS SMITH
 Book 6104, Page 685,
 R.O.W.C., Tennessee

Franklin Road

23' ROW Dedication
 10' 5" Single Multi-Use Easement

FFE
 745.2

AUTOTURN INFORMATION - SUTPHIN CORPORATION HS-3661

NUMBER OF FRONT AXLES = 1
 FRONT TRACK WIDTH = 6' 0"
 WHEELS ON EACH FRONT AXLE = 2
 NUMBER OF REAR AXLES = 2
 REAR TRACK WIDTH = 6' 0"
 WHEELS ON EACH REAR AXLE = 4
 WHEELBASE = 21' 3 1/2"
 REAR AXLE SPACING = 44' 1 1/2"
 BODY LENGTH = 50' 0 1/2"
 WIDTH = 8' 3 3/4" (100")
 REAR OVERHANG = 22' 1 1/2"
 BODY STYLE = FIRE TRUCK
 TURNING RADIUS WALL TO WALL = 42'

FRANKLIN FIRE TRUCK - TOWER 2 TRUCK 2015

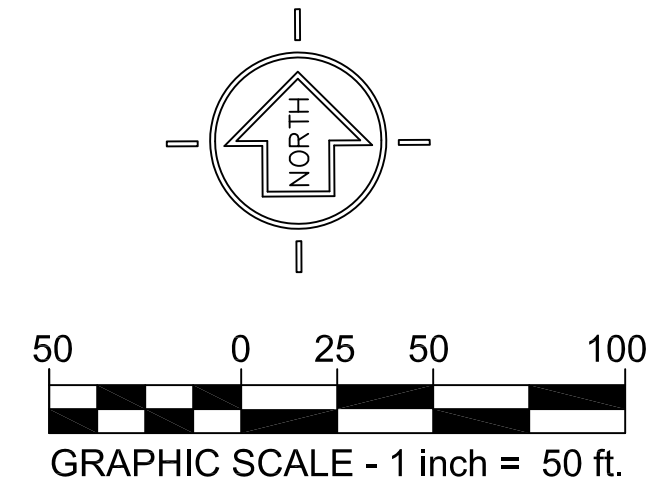
Overall Length 50' 0 1/2"
 Overall Width 8' 3 3/4"
 Overall Body Height 7' 7 1/2"
 Min Body Ground Clearance 6' 6 1/2"
 Truck Width 8' 0 0 1/2"
 Lock-to-Lock Time 8:00"
 Wall to Wall Turning Radius 42' 0 0 1/2"

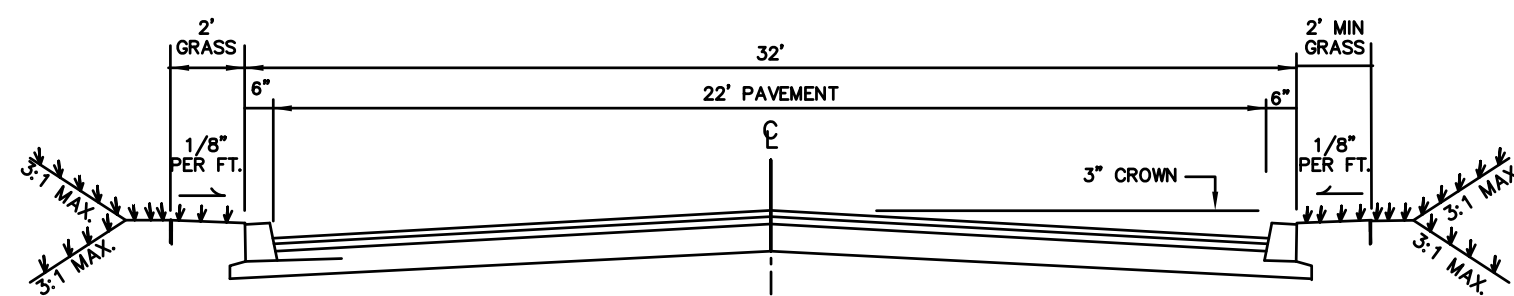
FRANKLIN FIRE TRUCK - TOWER 2 TRUCK 2015

DUAL AIR HORNS
 12V PRODUCTS
 SHROUDED SPEAKER
 AIR CONDITIONING
 240V-TRAF. PANEL
 300 WATT TUBE LIGHT
 7' 0" COIL
 ELECTRIC COILED REEL
 12V BATTERY
 BREAKER PANEL
 12V FUSE BOX
 FOLDING STEPS
 7.0 AMP
 200 1/2" 1/2"
 140 1/2"
 112 1/2"

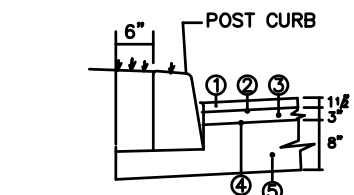
**TOWER 2
 AUTOTURN TRUCK**

CITY OF FRANKLIN ENGINEERING
 109 THIRD AVE SOUTH
 FRANKLIN, TN 37064





ROADWAY SECTION
NOT TO SCALE

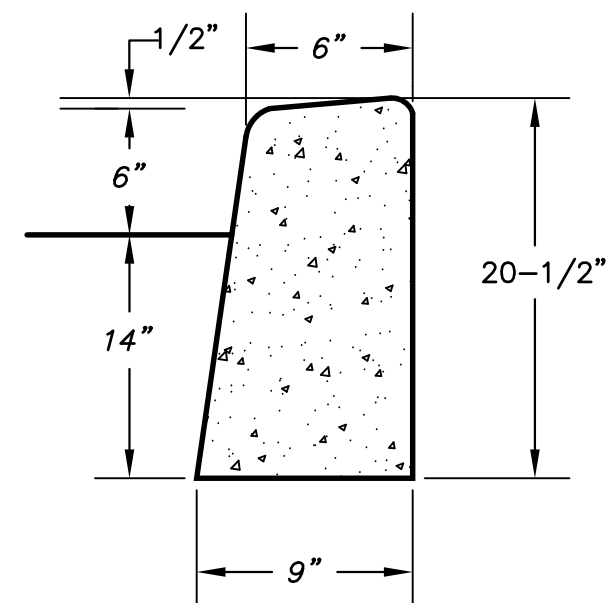


PAVEMENT COURSES

- 1 1/2" ASPHALTIC CONCRETE SURFACE (411E)
- 1/2" THICK COAT (SS-1)
- 3" BITUMINOUS BINDER (B-1M2)
- PRIME COAT (RS-2)
- 8" STONE (GRADING D PUG MILL MIX)

General Notes:
1. Construction shall conform to the City of Franklin Technical Specifications latest revision.

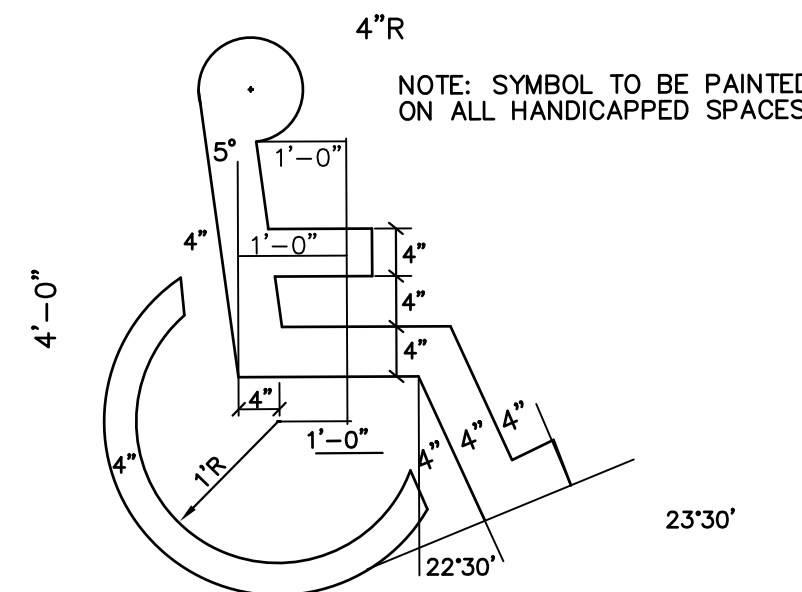
TYPICAL ROADWAY AND PAVEMENT SECTION
NOT TO SCALE



POST CURB
NOT TO SCALE

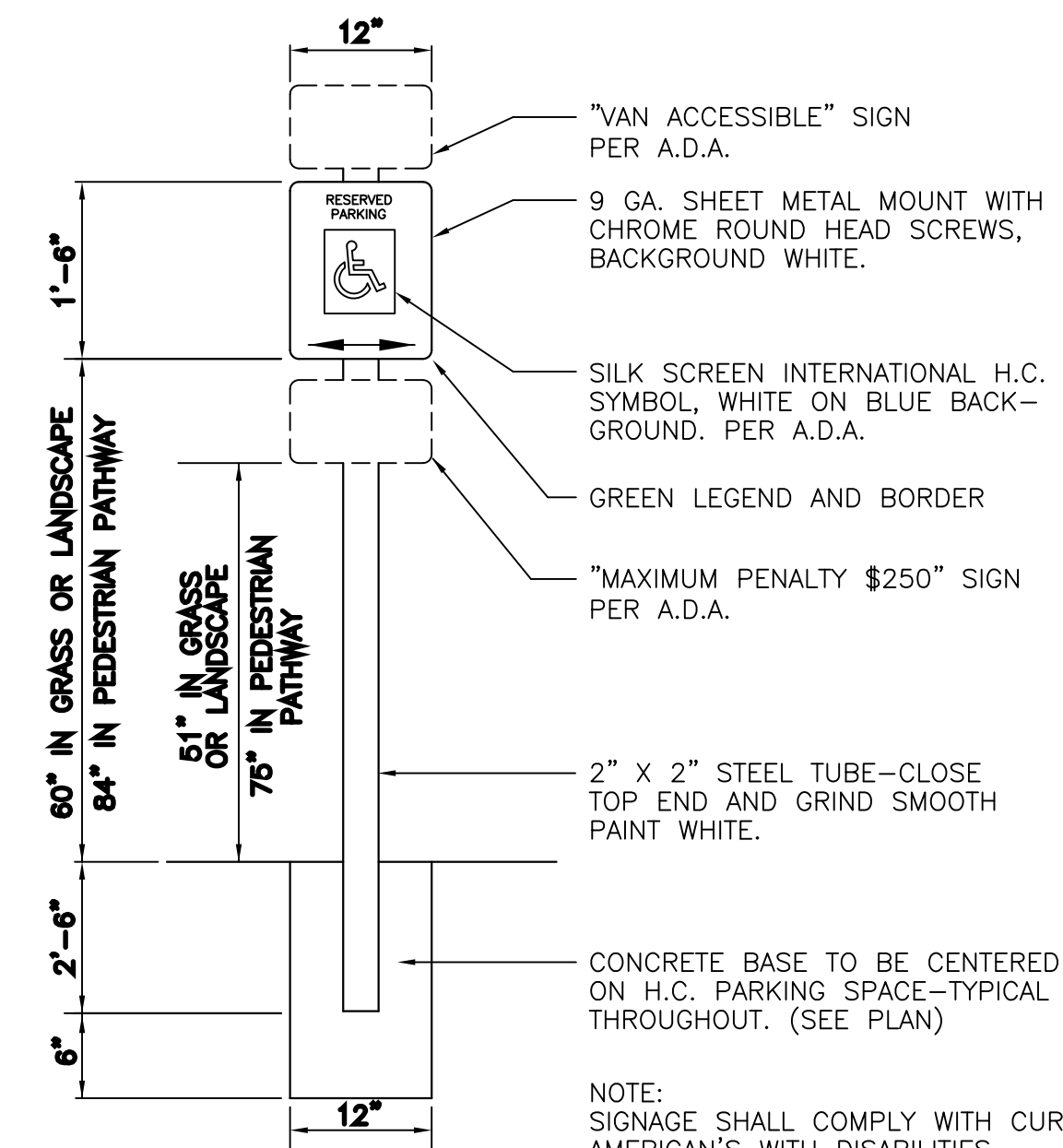
GENERAL NOTES

- EXPANSION JOINTS TO BE SPACED A MAXIMUM OF 100 FEET APART OR AS DIRECTED BY THE ENGINEER.
- EXPANSION JOINTS WILL ALSO BE REQUIRED AT TANGENT POINTS, RAMPS, AND INLETS.
- CONTRACTION JOINTS ARE TO BE CUT INTO CURB AND GUTTER EVERY 10 FEET TO A DEPTH OF D/4, WHERE D EQUALS THE THICKNESS OF THE SECTION. THE SPACING OF 10 FEET MAY BE REDUCED AT CLOSURES BUT NO SECTION OF CURB SHALL BE LESS THAN 10 FEET.
- COST OF JOINTS TO BE INCLUDED IN THE UNIT BID PRICE FOR CONCRETE CURB.

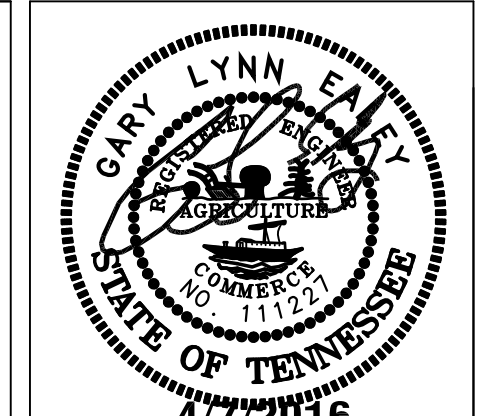


ADA RAMPS
NOT TO SCALE

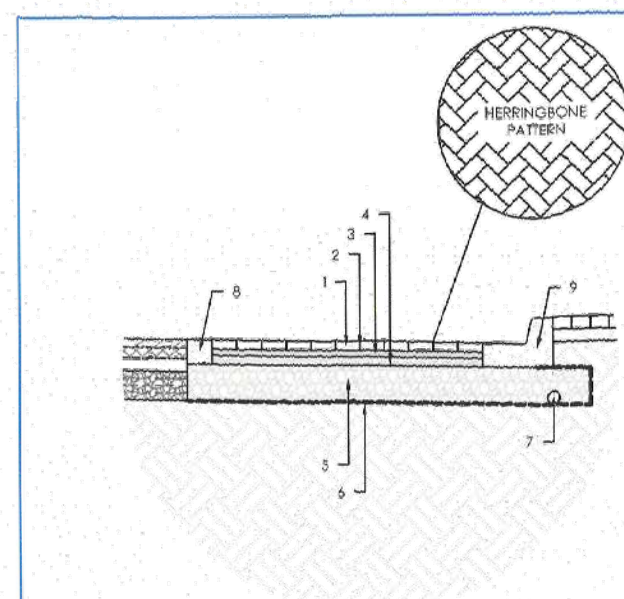
THE CONTRACTOR SHALL ASSURE TO METRO THAT ALL SERVICES PROVIDED THROUGH THIS CONTRACT SHALL BE COMPLETED IN FULL COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND ARCHITECTURAL AND TRANSPORTATION BARRIERS COMPLIANCE BOARD, FEDERAL REGISTER 36 CFR PARTS 1190 AND 1191, ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES; ARCHITECTURAL BARRIERS ACT (ABA) ACCESSIBILITY GUIDELINES; PROPOSED RULE, PUBLISHED IN THE FEDERAL REGISTER ON JULY 23, 2004, AS HAS BEEN ADOPTED BY METRO.



ADA SIGN
NOT TO SCALE



LAND SOLUTIONS
COMPANY, LLC
2925 Berry Hill Drive, Nashville, TN 37204

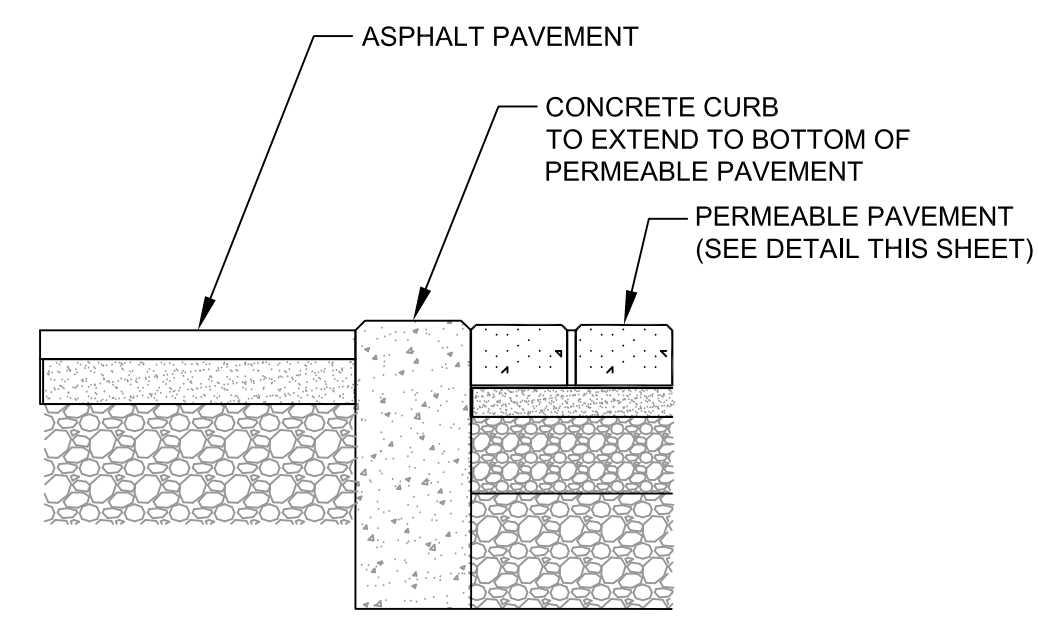


1	3 1/2\"/>
2	1/2\"/>
3	2\"/>
4	3\"/>
5	2\"/>
6	GEOTEXTILE FABRIC (JLS FABRIC INC. 300 HOWLAND BL. (BIRMINGHAM) OR APPROVED EQUAL)
7	4\"/>
8	BRICK CURB (SEE C.O.S. STANDARD CURB DETAIL)
9	STANDARD C.O.S. CURB AS SPECIFIED ON PLANS

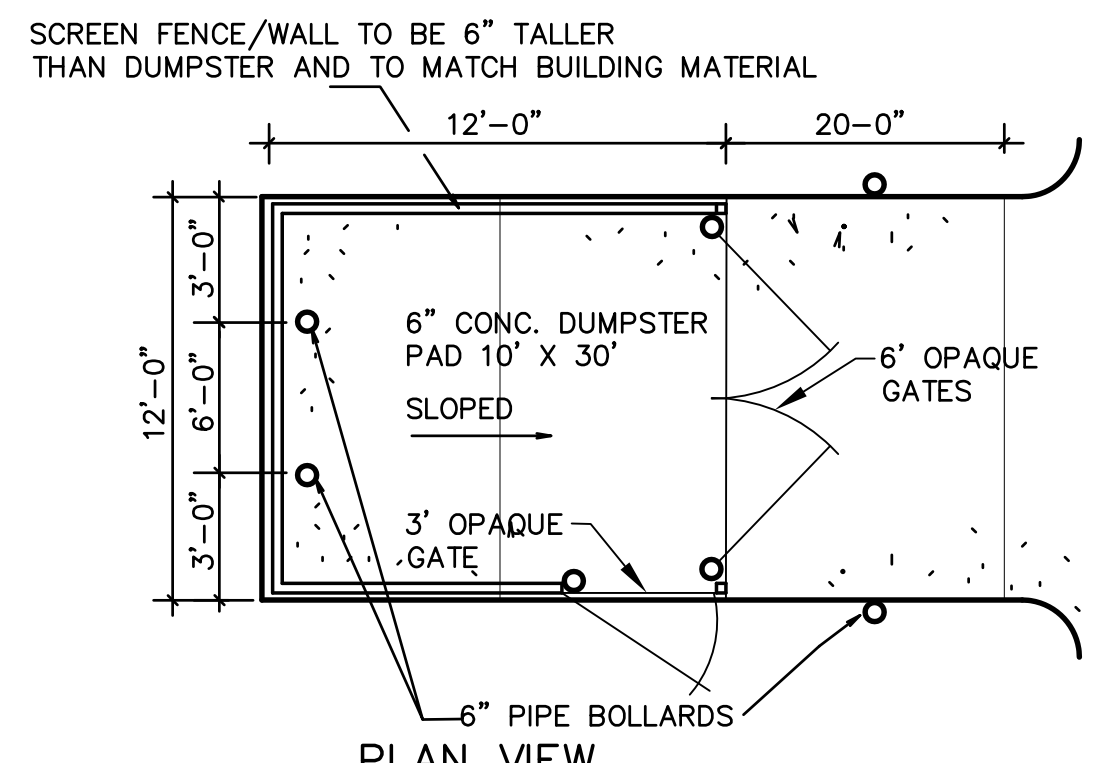
- EXCAVATORS SHALL BE EQUIPPED IN ORDER TO WORK FROM THE OUTSIDE THE GP FOOTPRINT. EXCAVATED AREAS SHALL NOT BE COMPACTED OR LOADED IN ANY WAY AS TO CAUSE SOIL COMPACTION.
- DURING EXCAVATION, MOIST CONDITIONS MAY CAUSE PIPES TO CLOG. THE NATIVE SOIL SURFACE OF THE FACILITY, IF THE NATIVE SOIL HAS BEEN EXPOSED TO BANANA LIL OR SWEETGUM OCCURS, HANDRAKE THE SURFACE TO A DEPTH OF 3\"/>

CITY OF FRANKLIN ENGINEERING 109 THIRD AVE SOUTH FRANKLIN, TN 37064	
DESIGNED BY <i>Paul P. Johnson</i>	DATE 10/15/15
SENDER OF CONSTRUCTION <i>[Signature]</i>	DATE 10/15/15

GIP-03 PERVIOUS PAVERS
NOT TO SCALE

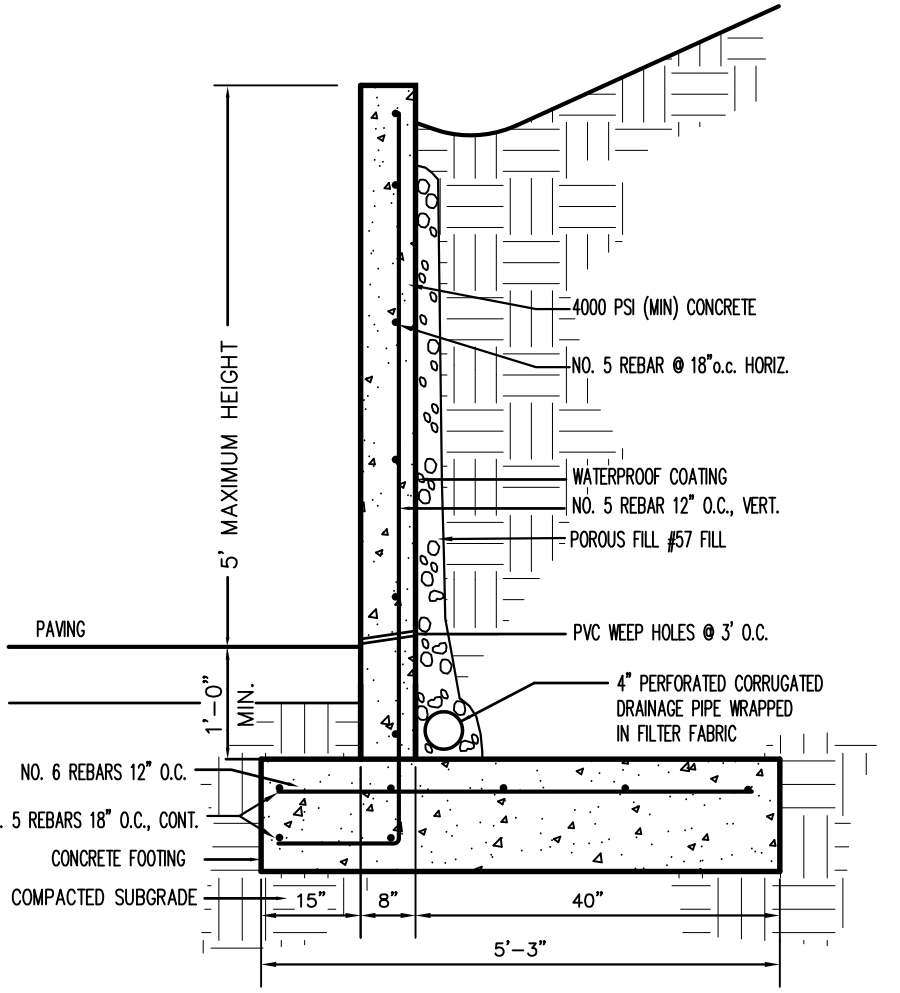


ASPHALT TO PERMEABLE PAVEMENT DETAIL
NOT TO SCALE

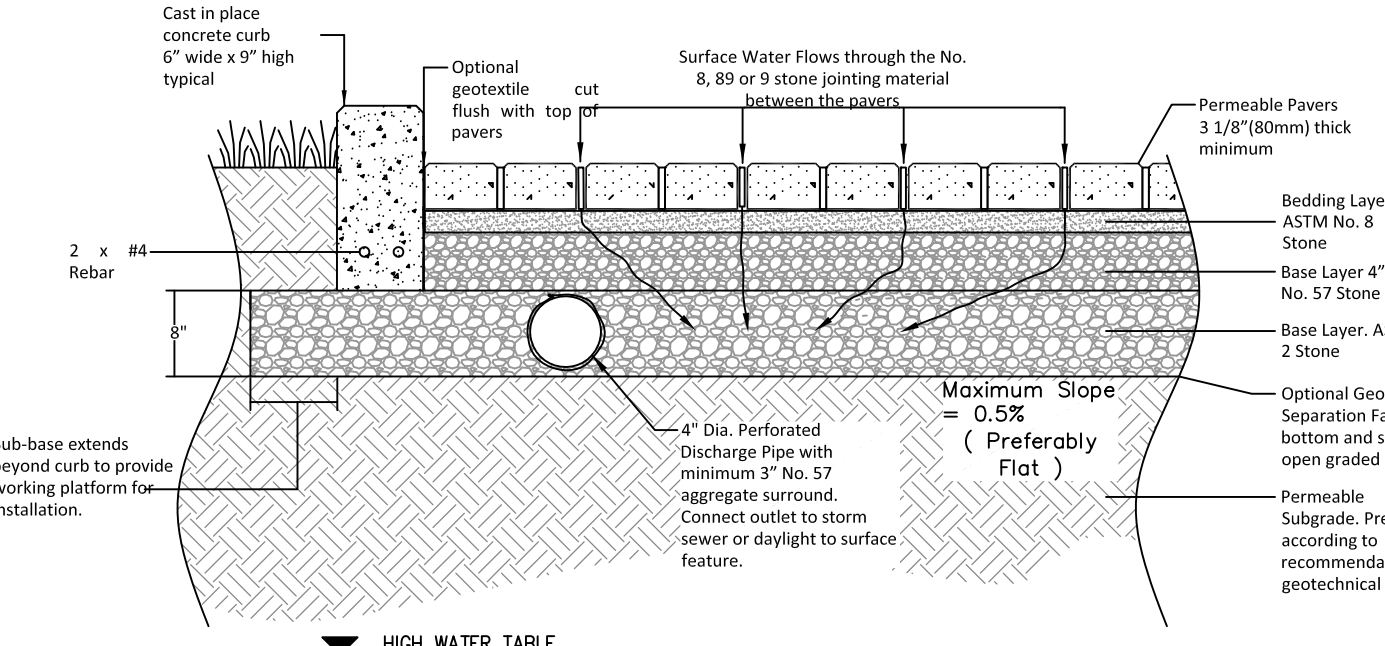


CONCRETE DUMPSTER PAD
NOT TO SCALE

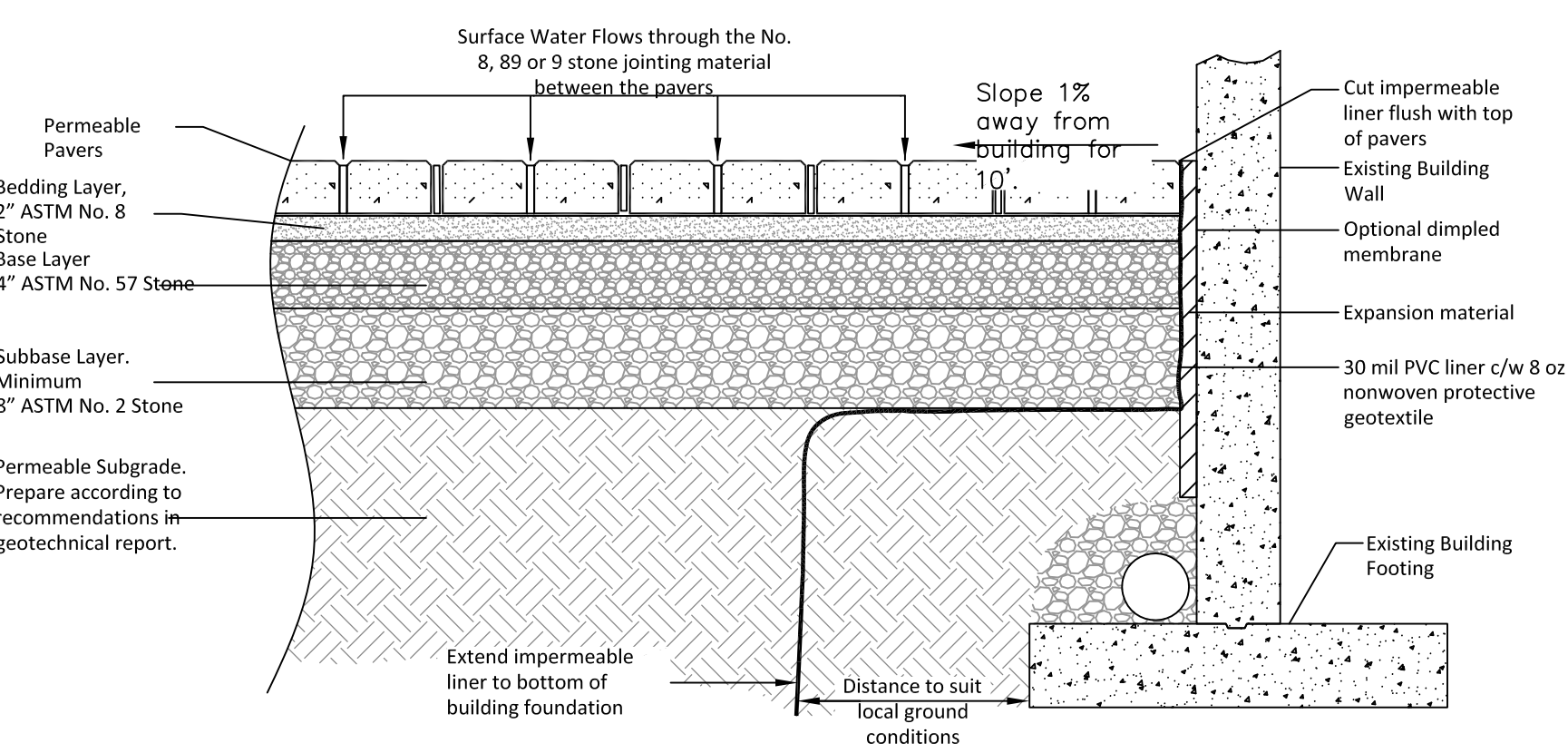
- CLASS "A" CONCRETE (3,500 PSI)
 - 6"x6" W1.4xW1.4 W.W.F. 2" MIN. COVER
 - CRUSHED STONE BASE
 - COMPACTED SUBGRADE
- NOTE:
CONTROL JOINT EVERY 5',
EXPANSION JOINT EVERY 25',
UNLESS OTHERWISE NOTED.



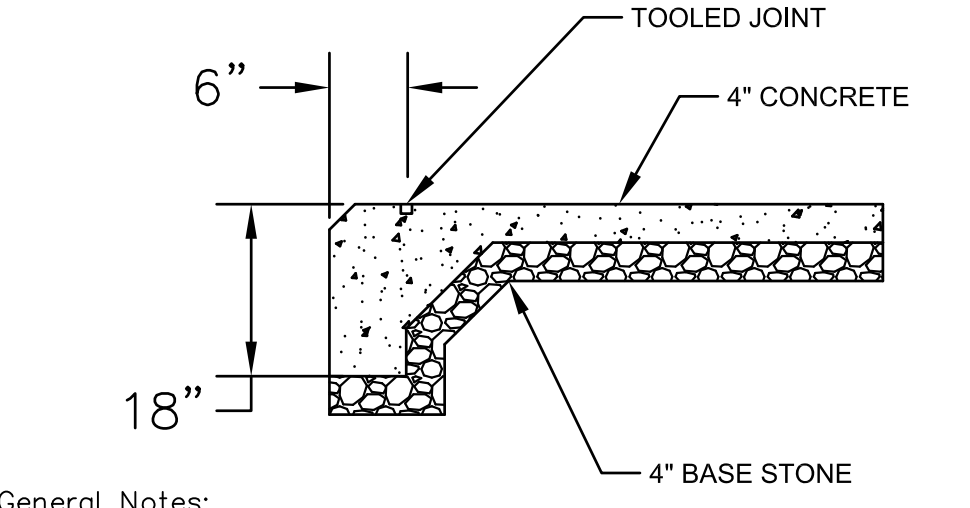
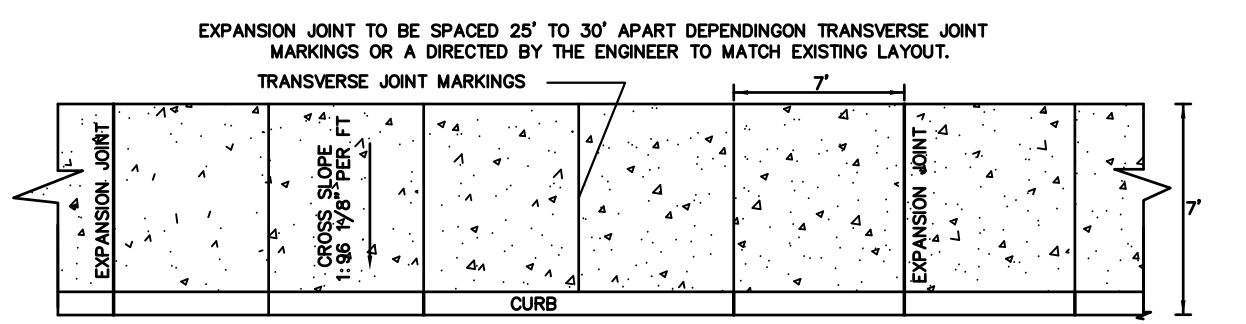
RETAINING WALL
NOT TO SCALE



PERMEABLE PAVEMENT
NOT TO SCALE



PERMEABLE PAVEMENT AT BUILDING
NOT TO SCALE



- General Notes:
- Sidewalks shall be a minimum of 4" in thickness.
 - Maximum cross slope for sidewalks shall not exceed 1:48 (vertical:horizontal)
 - Sidewalk shall be constructed of white concrete, brick or exposed aggregate per City of Franklin Specifications.
 - Compacted stone base, pug mill mix, 4" thick shall be applied to sub grade prior to installing sidewalk.
 - In the event of any conflict, discrepancy, or inconsistency among the plans and these standard details, the requirements of the standard details shall govern.

TURNDOWN SIDEWALK
NOT TO SCALE

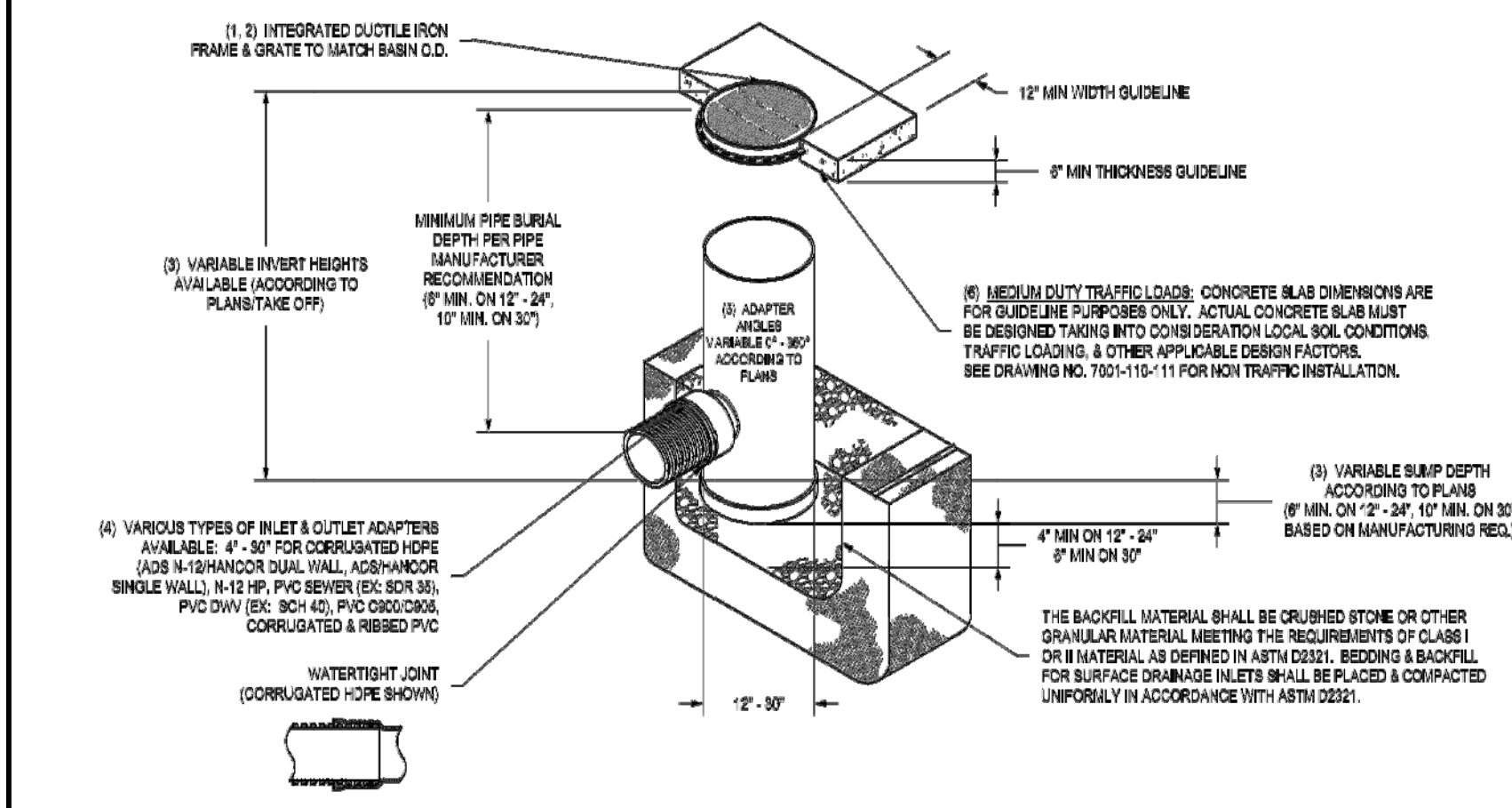
Family Legacy PUD Subdivision
Site Plan - Lot 1 (Funeral Home)
Being Parcels 73.00 & 74.01 on Tax Map 53
554 FRANKLIN ROAD
Franklin, Williamson County, Tennessee

ISSUANCE/REVISION NOTES:
- PLAN DATE March 7, 2016
- PLAN REVISION DATE April 7, 2016

- A NONE
- B NONE
- C NONE
- D NONE

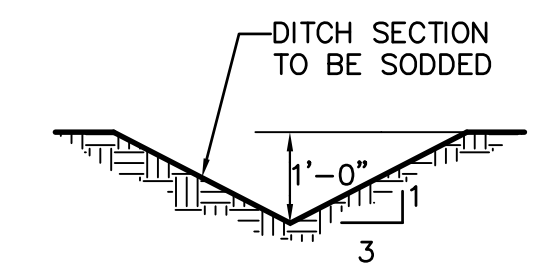
SITE
DETAILS
C6.0
11 of 14

NYLOPLAST DRAIN BASIN WITH PEDESTRIAN GRATE

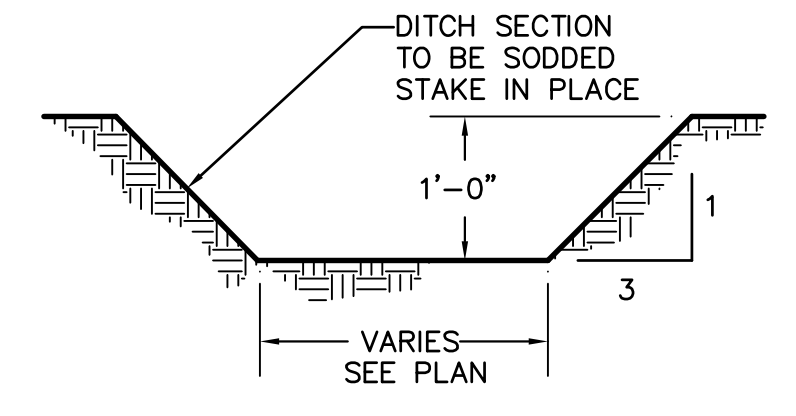


DESIGNED BY	MRD	MATERIAL	PVC	DATE	4/28/12
REVIEWED BY	JAC	PROJECT RELEASE		DATE	6/28/12
DWG NO.	A	SCALE	1/4\"/>		

NYLOPLAST AREA DRAIN
NOT TO SCALE

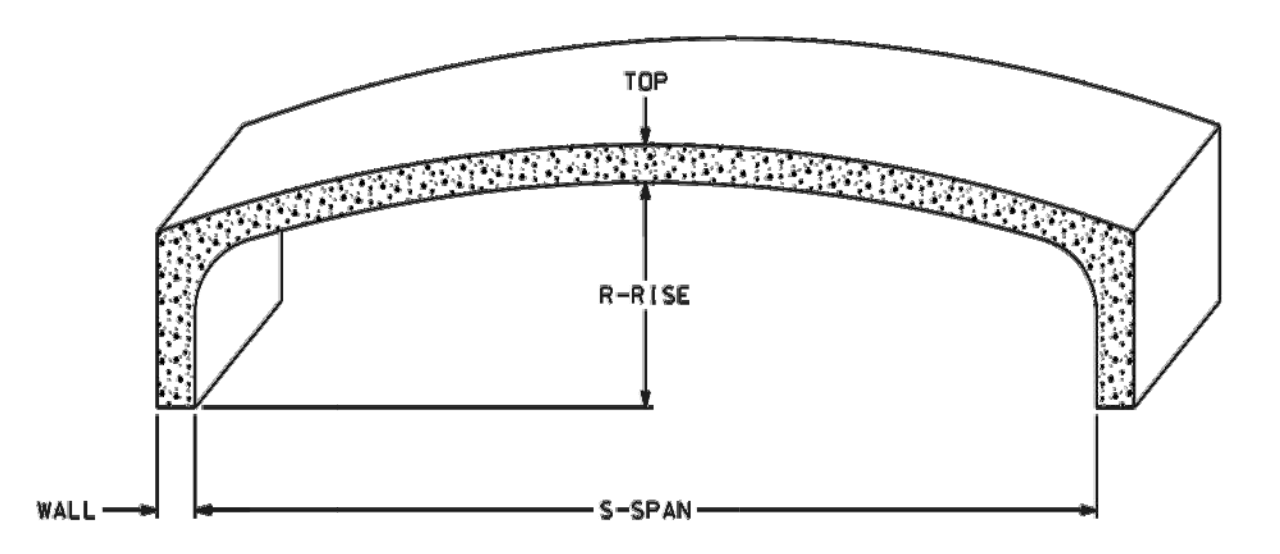


V-DITCH
NOT TO SCALE



TRAPEZOIDAL SWALE
NOT TO SCALE

HDPE PIPE BEDDING
NOT TO SCALE



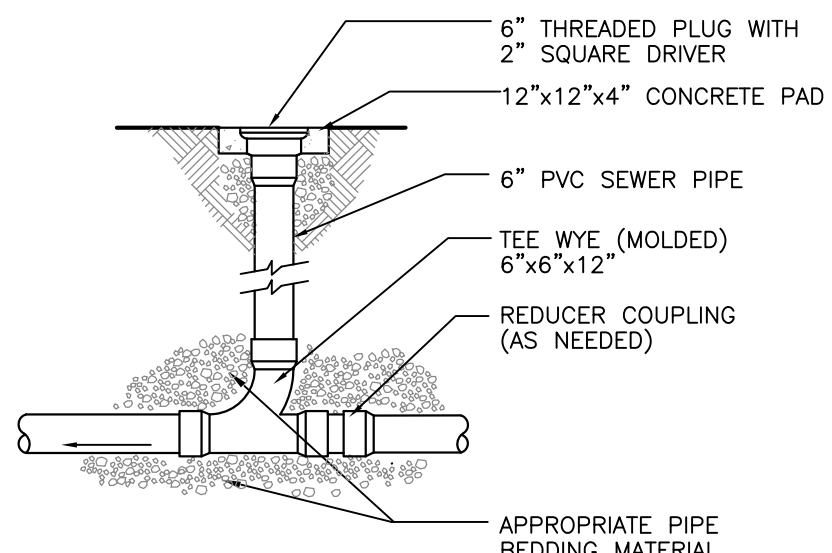
SIZE	TOP	WALL	WT./FT.	WT./8' SECT.	AREA (SQ.FT.)
16' X 4'	10"	10"	3.194	25.552	55.23
16' X 5'	10"	10"	3.444	27.552	71.23
16' X 6'	10"	10"	3.694	29.552	87.23
16' X 7'	10"	10"	3.944	31.552	103.23
16' X 8'	10"	10"	4.194	33.552	119.23
16' X 9'	10"	10"	4.444	35.552	135.23
16' X 10'	10"	10"	4.694	37.552	151.23
20' X 5'	10"	10"	3.736	29.888	84.79
20' X 6'	10"	10"	3.986	31.888	104.79
20' X 7'	10"	10"	4.236	33.888	124.79
20' X 8'	10"	10"	4.486	35.888	144.79
20' X 9'	10"	10"	4.736	37.888	164.79
20' X 10'	10"	10"	4.986	39.888	184.79
20' X 11'	10"	10"	5.236	41.888	204.79
24' X 5'	10"	10"	4.125	33.000	94.87
24' X 6'	10"	10"	4.375	35.000	118.87
24' X 7'	10"	10"	4.625	37.000	142.87
24' X 8'	10"	10"	4.875	39.000	166.87
24' X 9'	10"	10"	5.125	41.000	190.87
24' X 10'	10"	10"	5.375	43.000	214.87
24' X 11'	10"	10"	5.625	45.000	238.87

GENERAL NOTES:
 1. AQUA ARCH CAN BE DESIGNED TO MEET SPECIFIC PROJECT CONDITIONS.
 2. MANUFACTURED PER ASTM C-1504 (TYPICAL)
 3. LARGER SPAN ARCH SECTIONS MAY BE SHORTENED DUE TO WEIGHT.

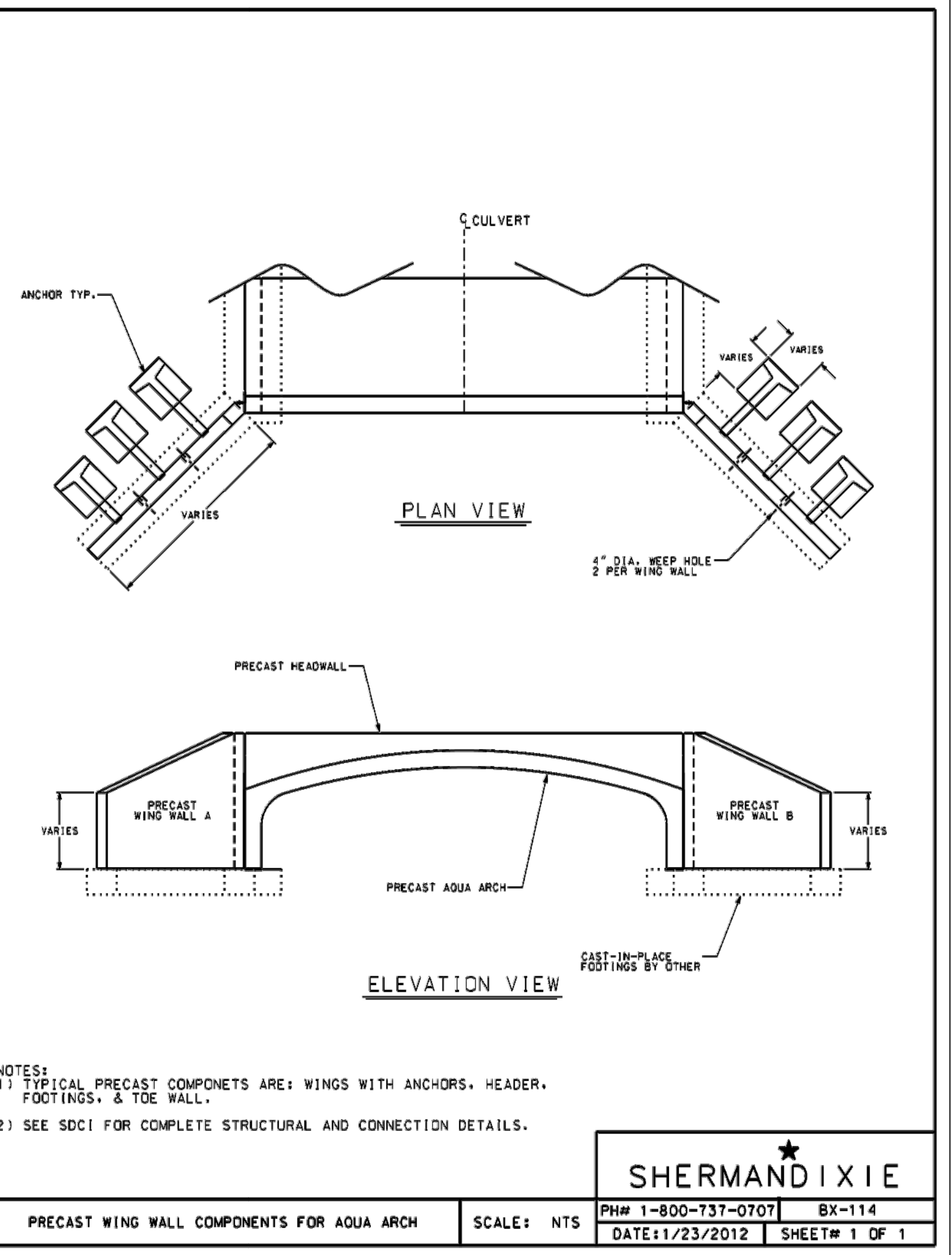
SHERMANS DIXIE
 PH# 1-800-737-0707 DWG# BX-116
 DATE: 01/23/12 SHEET# 1 OF 1

16'X7' AQUA ARCH (STRUCTURE 17-18)
NOT TO SCALE

PERMEABLE PAVEMENT OBSERVATION WELL
NOT TO SCALE



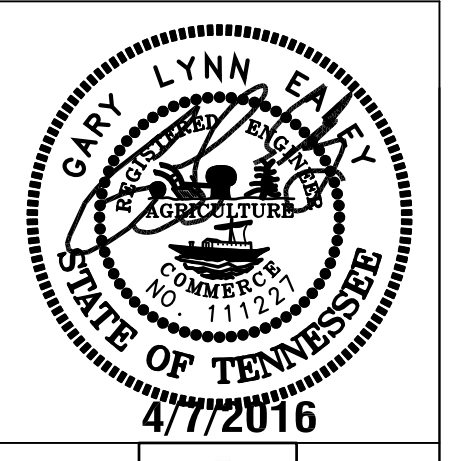
NOTES:
 1. ALL FITTINGS AND LINES TO BE PVC. SOLVENT WELD (SDR-33).



NOTES:
 1) TYPICAL PRECAST COMPONENTS ARE: WINGS WITH ANCHORS, HEADER, FOOTINGS, & TOE WALL.
 2) SEE SDCI FOR COMPLETE STRUCTURAL AND CONNECTION DETAILS.

SHERMANS DIXIE
 PH# 1-800-737-0707 BX-114
 DATE: 1/23/2012 SHEET# 1 OF 1

AQUA ARCH HEADWALL
NOT TO SCALE

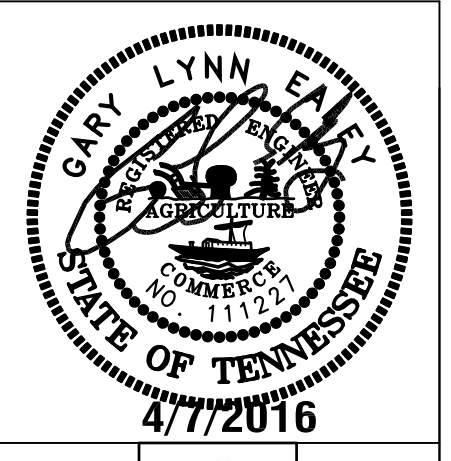


LAND SOLUTIONS
 COMPANY, LLC
 2925 Berry Hill Drive, Nashville, TN 37204

Family Legacy PUD Subdivision
 Site Plan - Lot 1 (Funeral Home)
 Being Parcels 73.00 & 74.01 on Tax Map 53
 554 FRANKLIN ROAD
 Franklin, Williamson County, Tennessee

ISSUANCE/REVISION NOTES:
 - PLAN DATE: March 7, 2008
 - PLAN REVISION DATE: April 7, 2008

NONE
 NONE
 NONE
 NONE



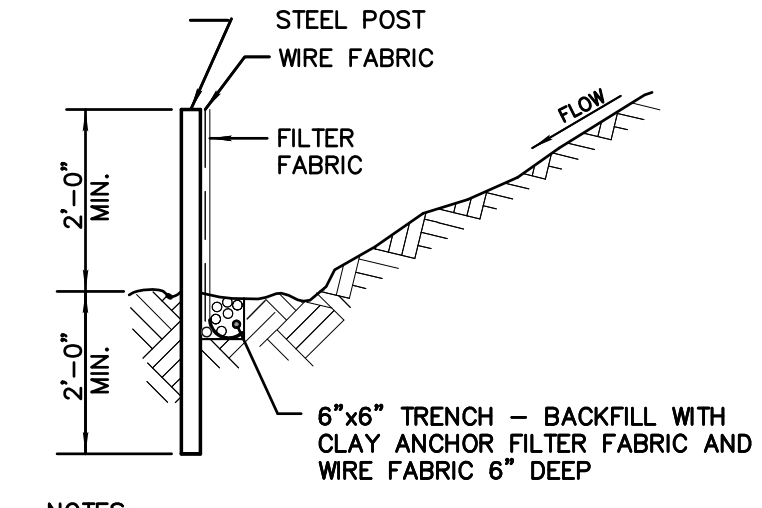
LAND SOLUTIONS
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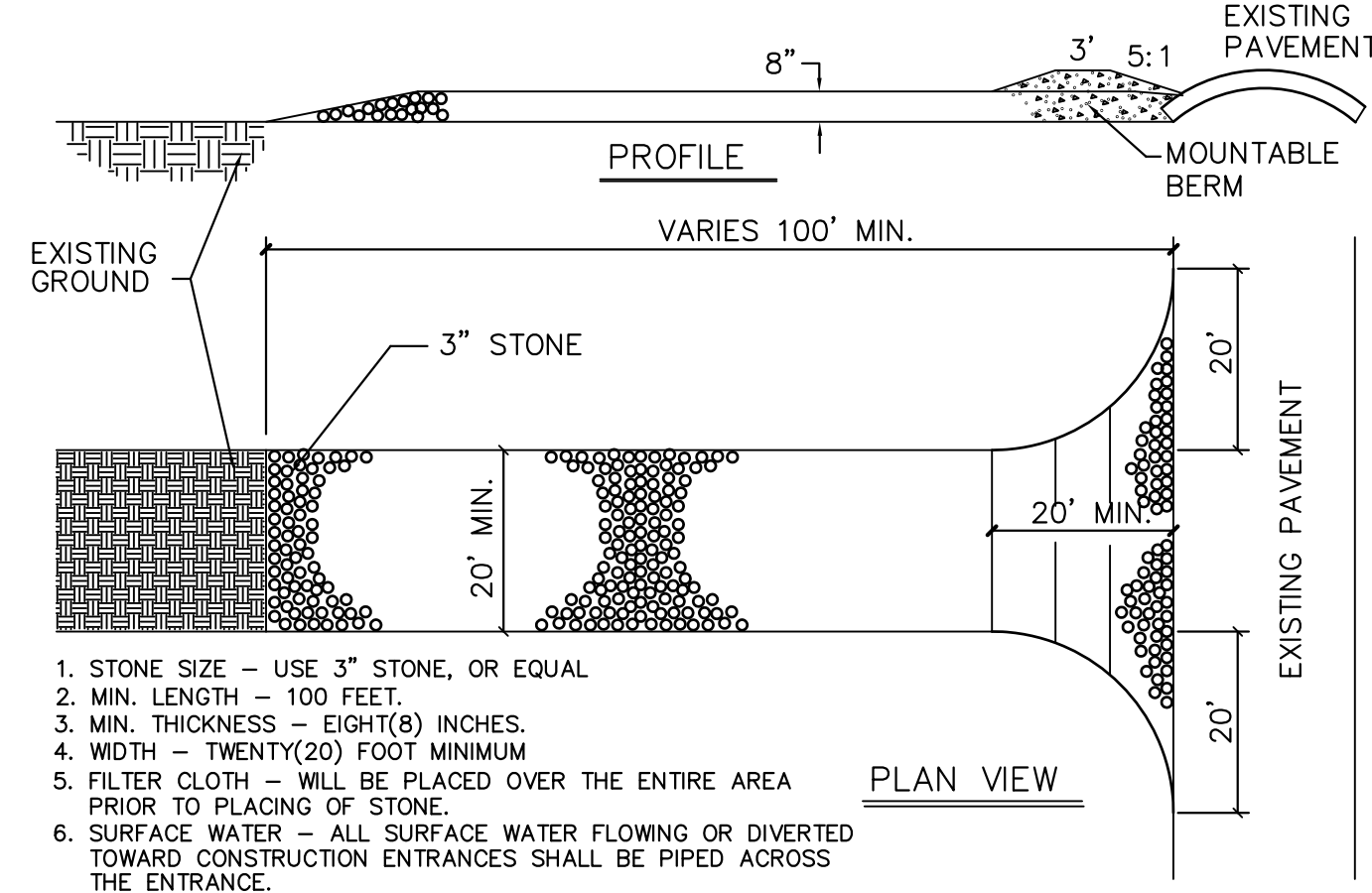
NONE
 NONE
 NONE
 NONE

SITE DETAILS
C6.2
13 of 14



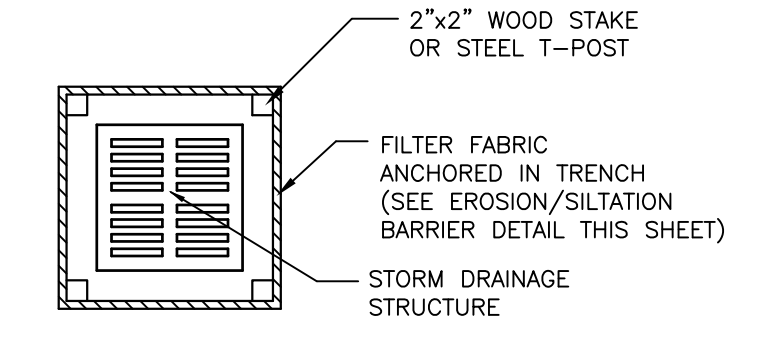
NOTES:
Excavate a 6" x 6" trench for toe of silt fence burial. Install steel post 10' center to center (maximum). Drive post into the ground at least 2' deep. Securely attach the metal fence to the steel post. Use hog rings (or equivalent) to secure the silt fence to the metal fence. Bury the toe of the silt fence with the previously excavated material and tamp in place to secure the toe of the fence. Inspect the installation on a regular basis and make repairs as needed. Reference Franklin detail SD-21 for correct installation of silt fence. **PERIMETER SILTATION CONTROL SHALL BE INSTALLED PER CITY DETAIL SD-21.**

SILT FENCE
NOT TO SCALE

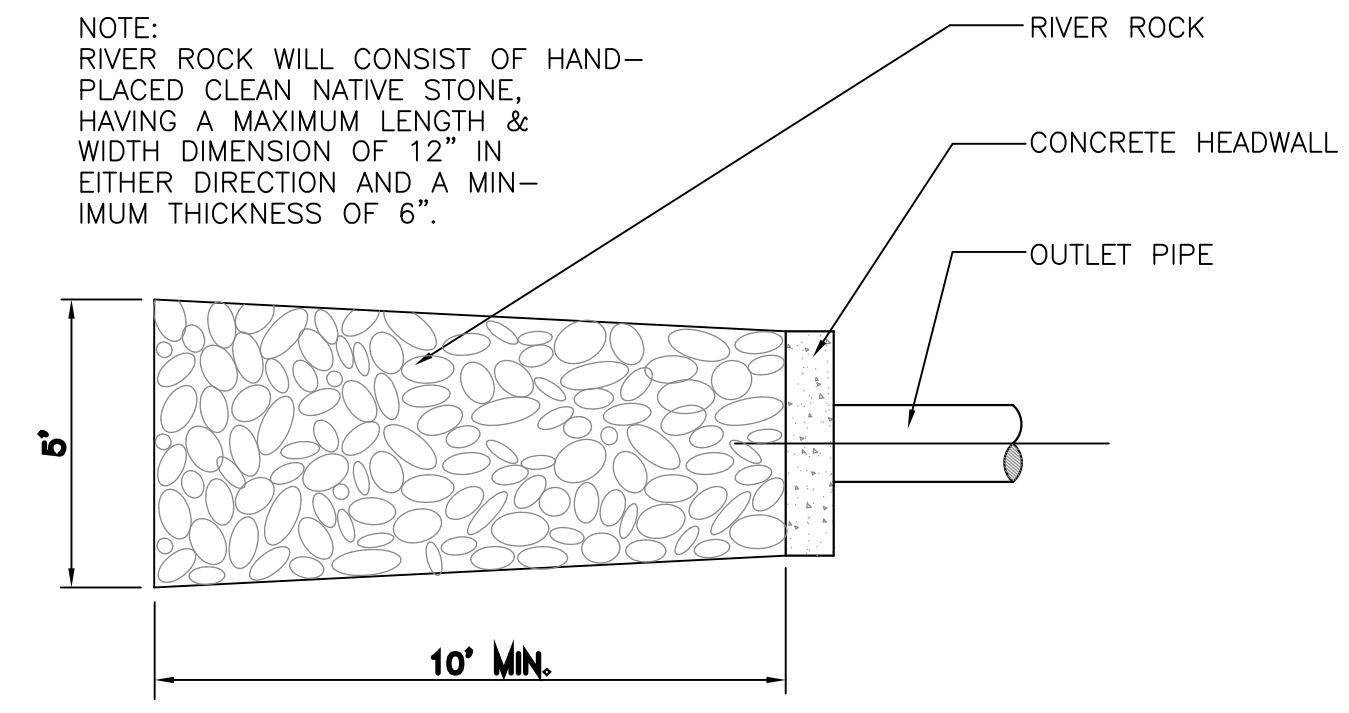


- STONE SIZE - USE 3" STONE, OR EQUAL
- MIN. LENGTH - 100 FEET
- MIN. THICKNESS - EIGHT(8) INCHES
- WIDTH - TWENTY(20) FOOT MINIMUM
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.

CONSTRUCTION EXIT
NOT TO SCALE

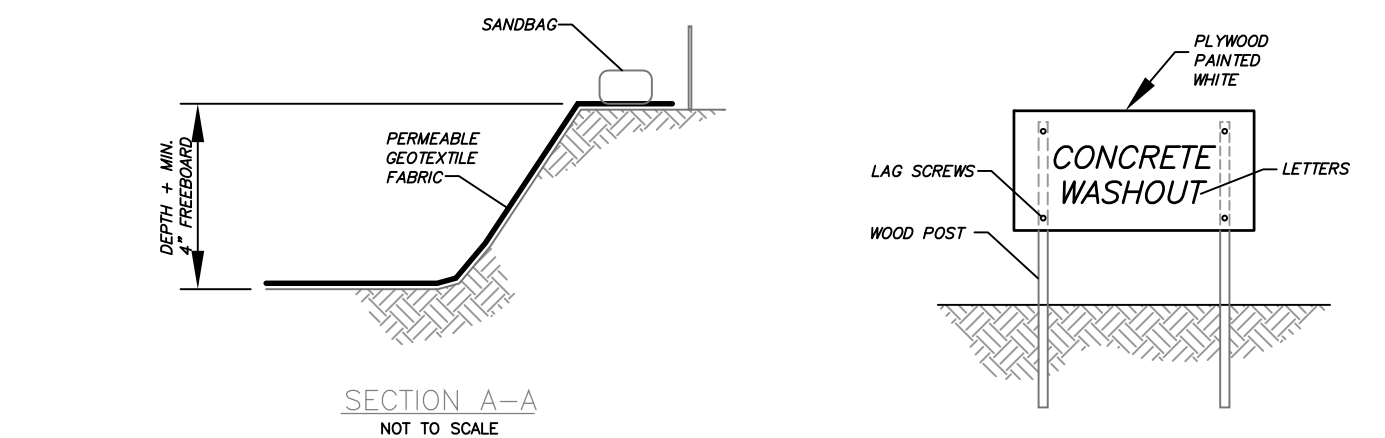


INLET PROTECTION
NOT TO SCALE

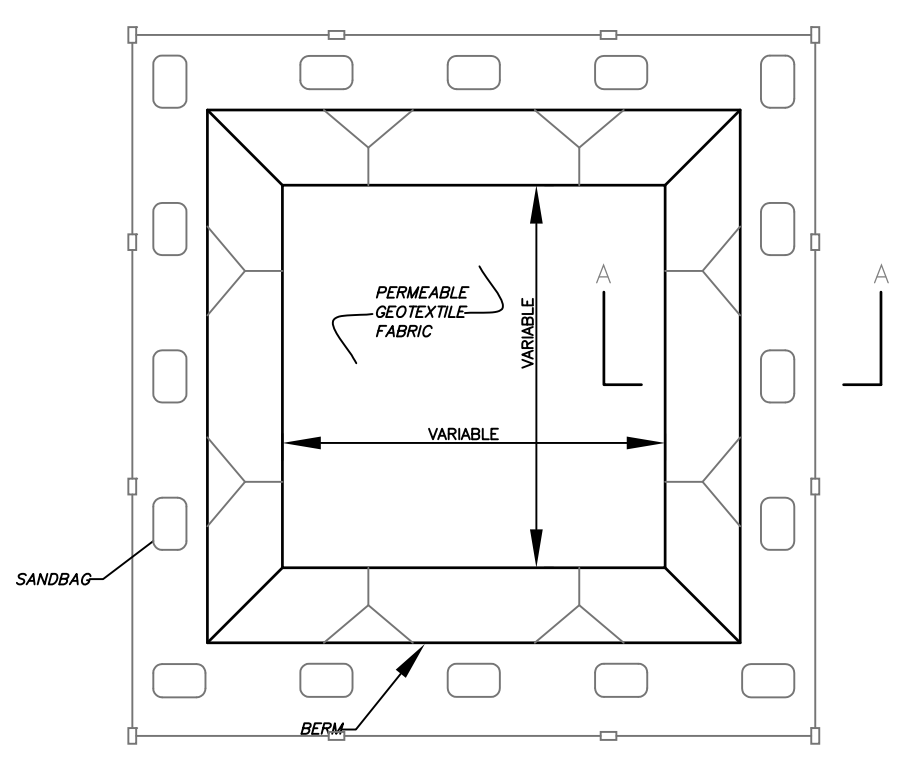
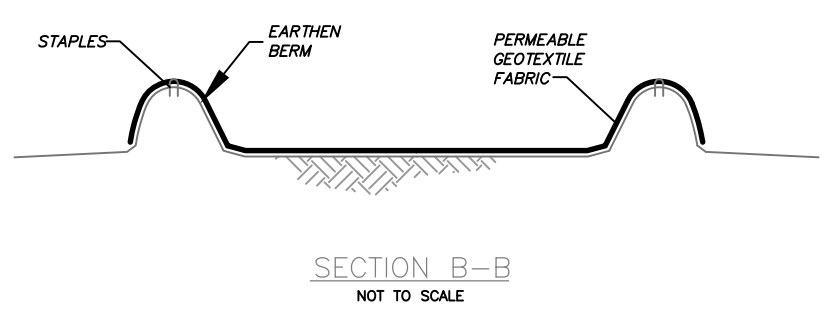


NOTE: RIVER ROCK WILL CONSIST OF HAND-PLACED CLEAN NATIVE STONE, HAVING A MAXIMUM LENGTH & WIDTH DIMENSION OF 12" IN EITHER DIRECTION AND A MINIMUM THICKNESS OF 6".

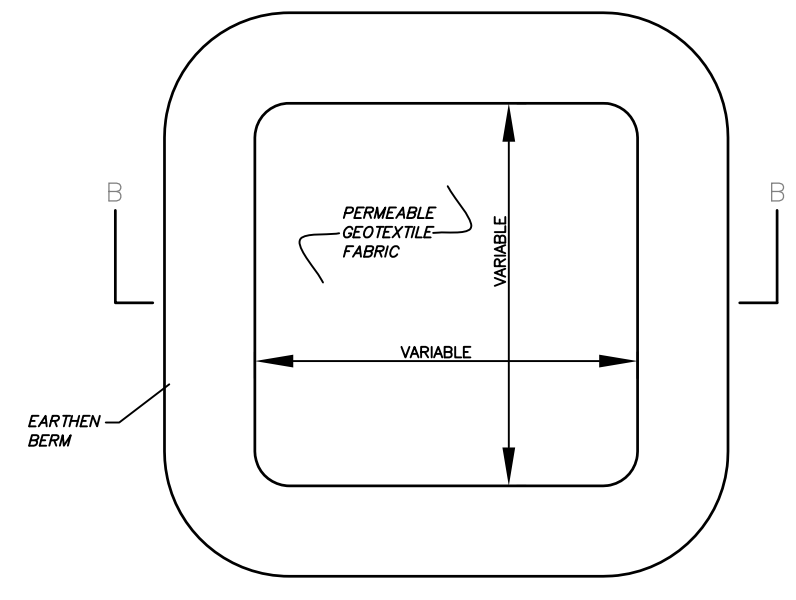
OUTLET PROTECTION
NOT TO SCALE



NOTES:
1. ACTUAL LAYOUT DETERMINED IN THE FIELD.
2. SIGNAGE IDENTIFYING THE CONCRETE WASHOUT AREA SHALL BE INSTALLED WITHIN 50' OF THE WASHOUT FACILITY.

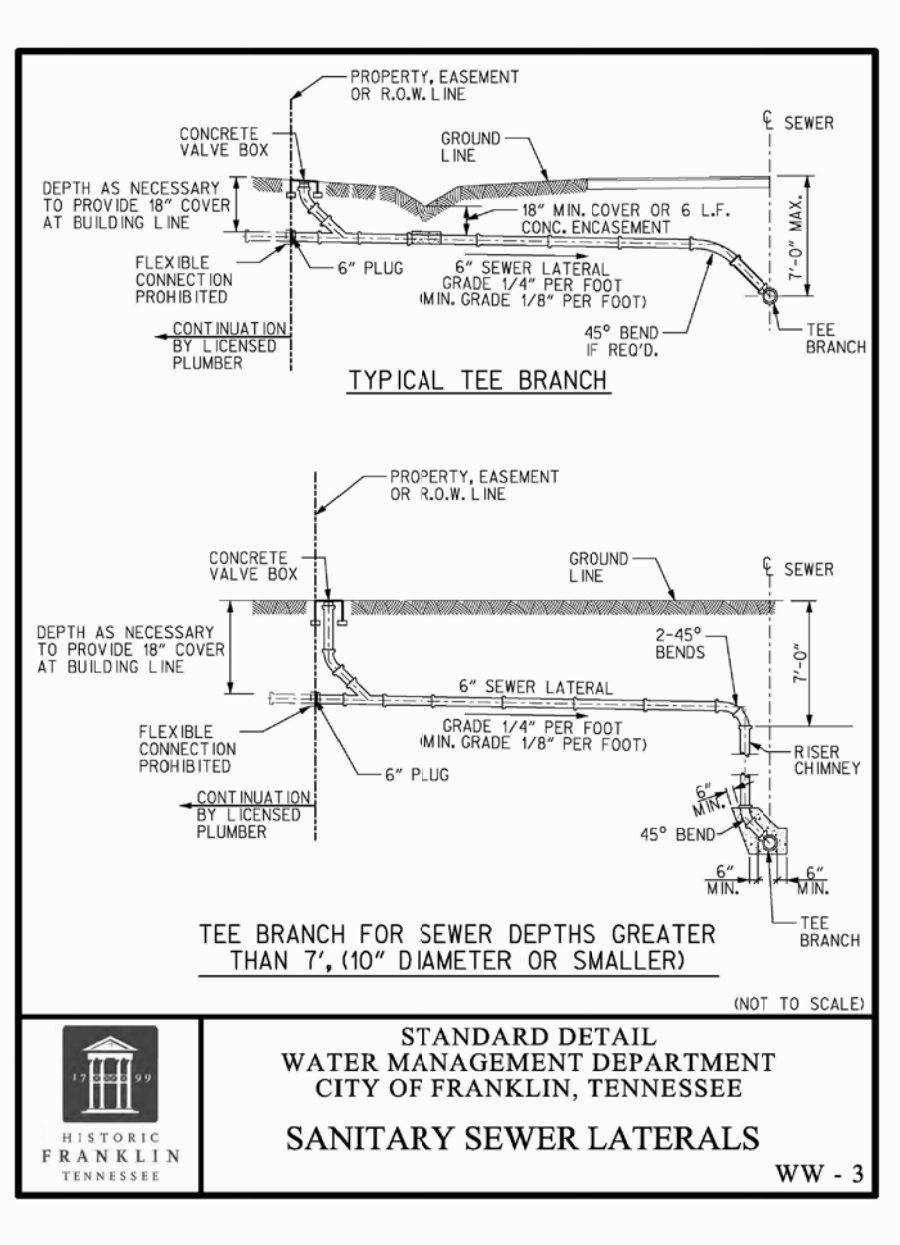


TYPE "BELOW GRADE"



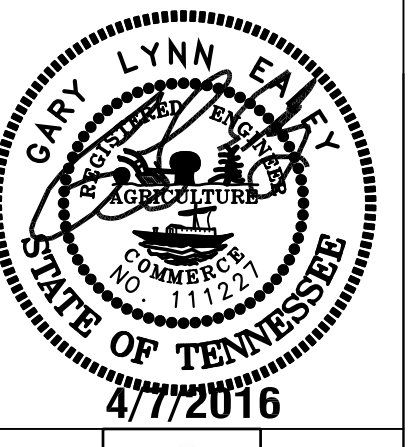
TYPE "ABOVE GRADE" WITH EARTHEN BERMS

CONCRETE WASH DOWN AREA
NOT TO SCALE



6" SEWER LATERAL
NOT TO SCALE

STANDARD DETAIL
WATER MANAGEMENT DEPARTMENT
CITY OF FRANKLIN, TENNESSEE
SANITARY SEWER LATERALS WW-3



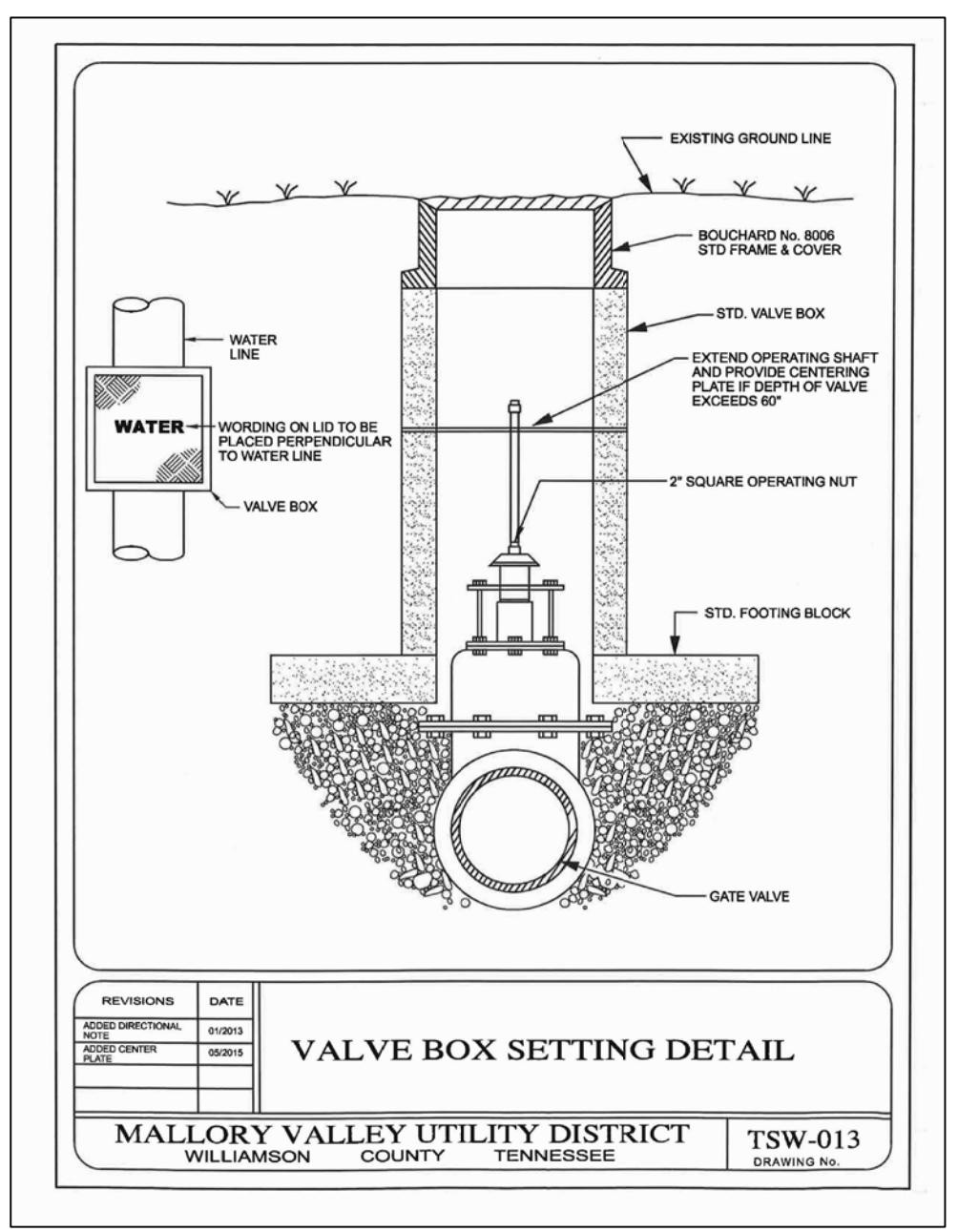
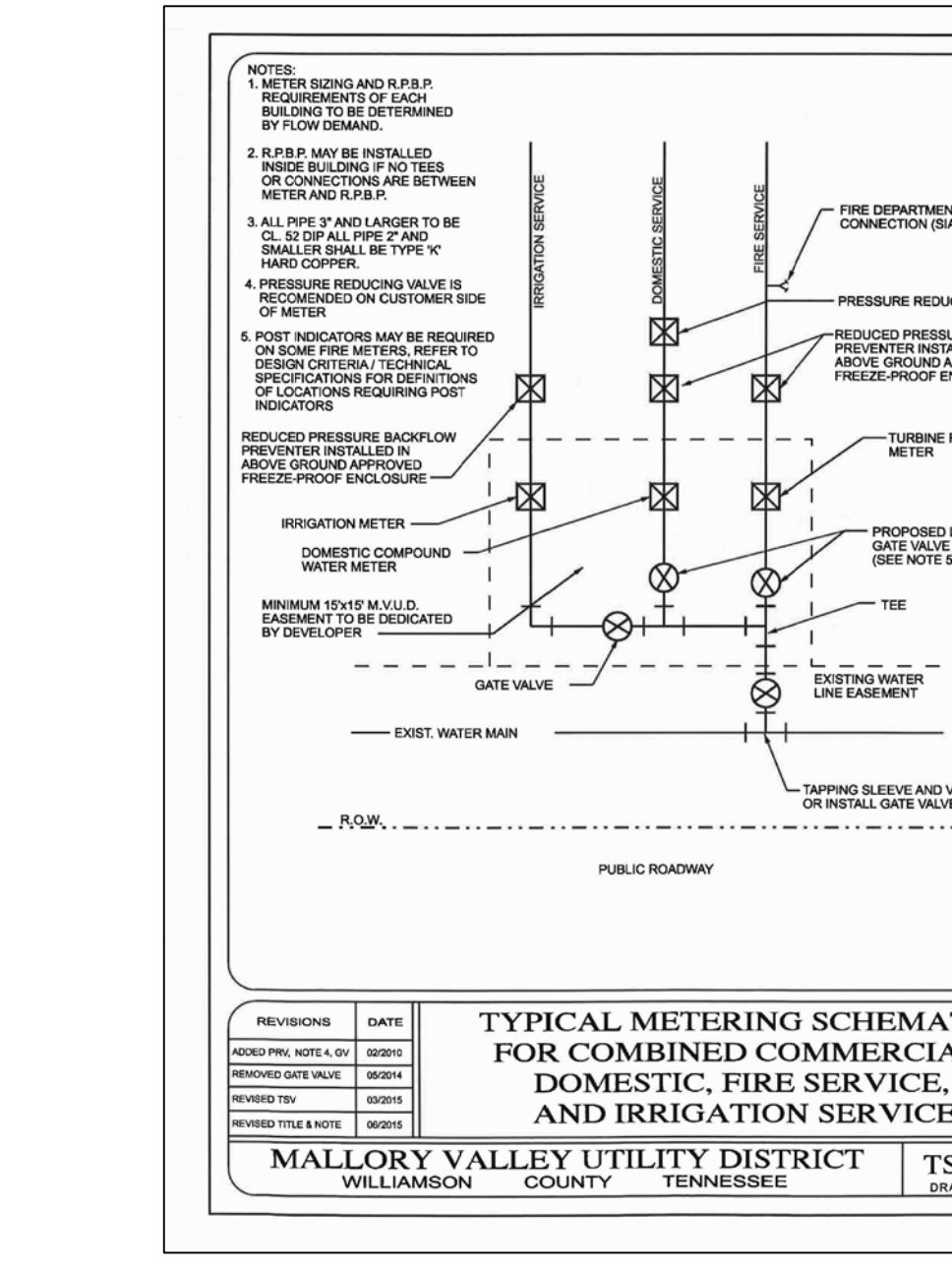
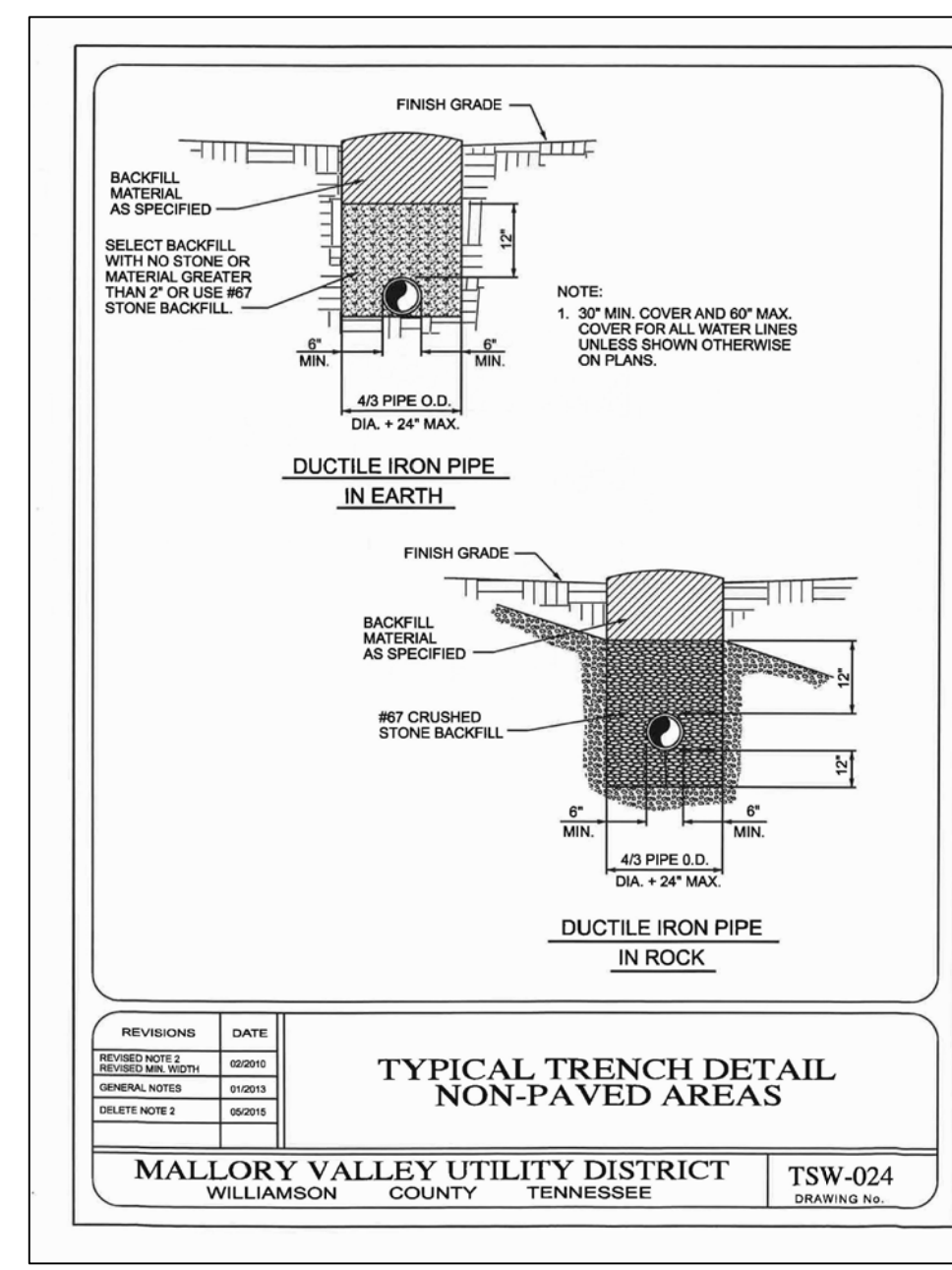
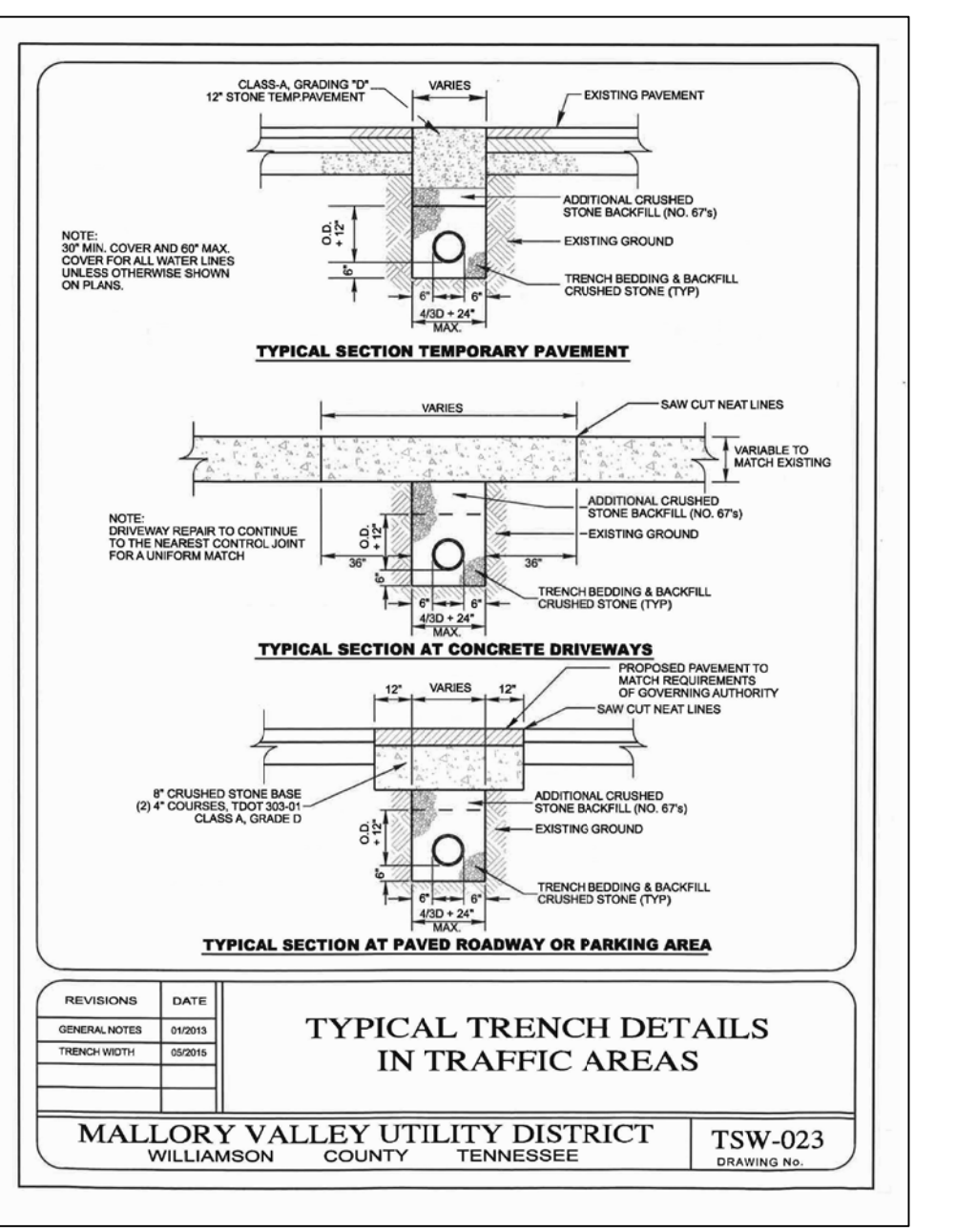
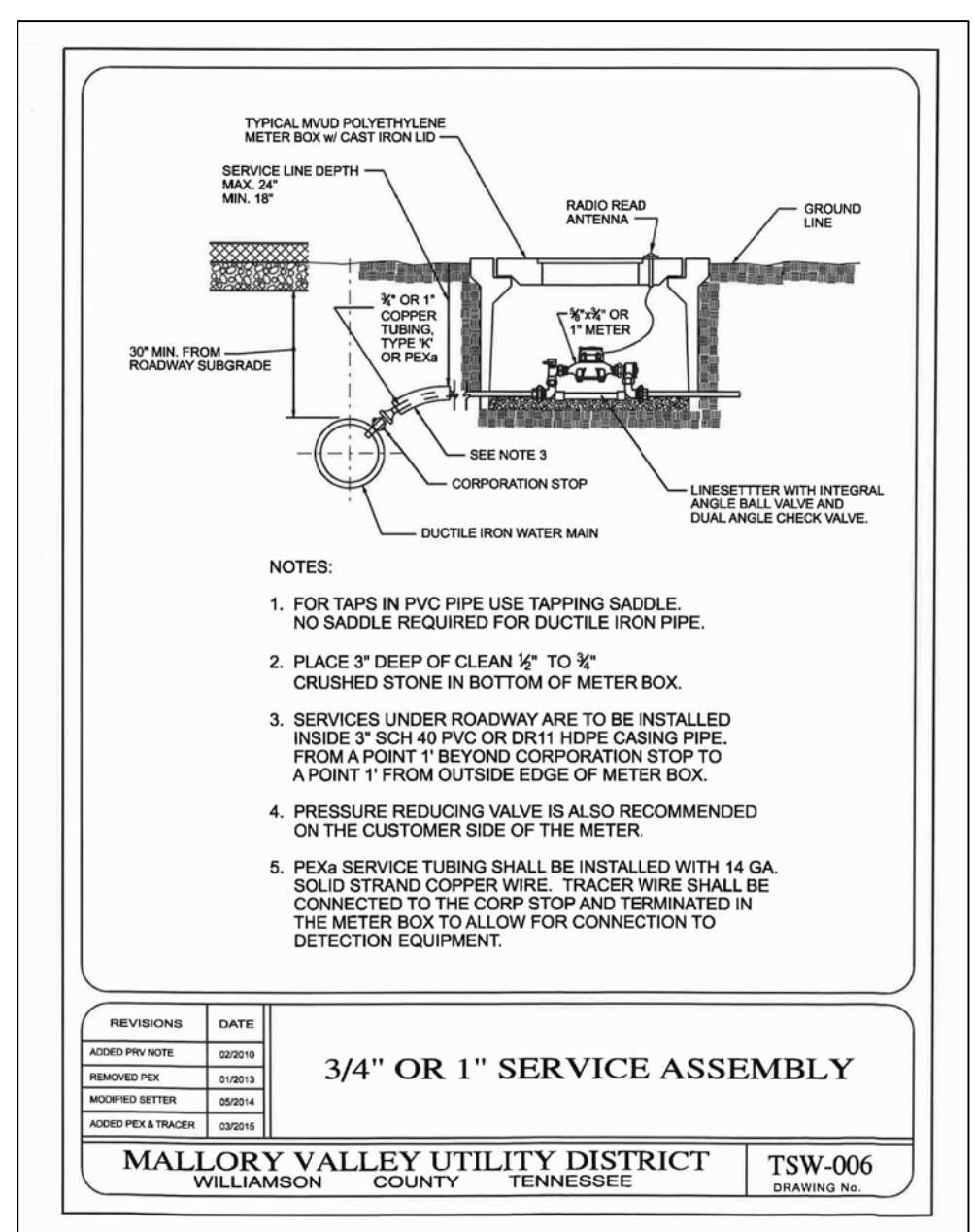
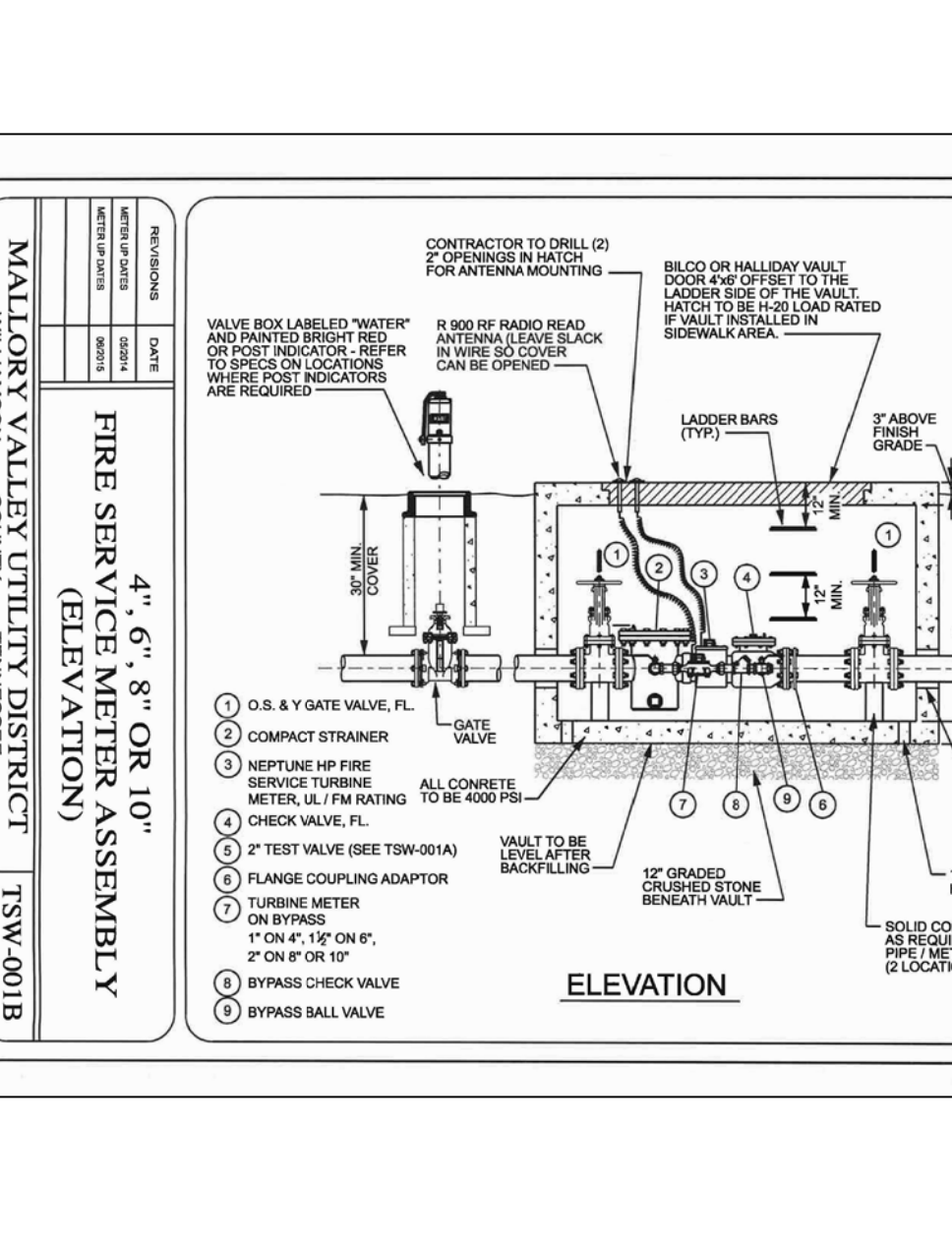
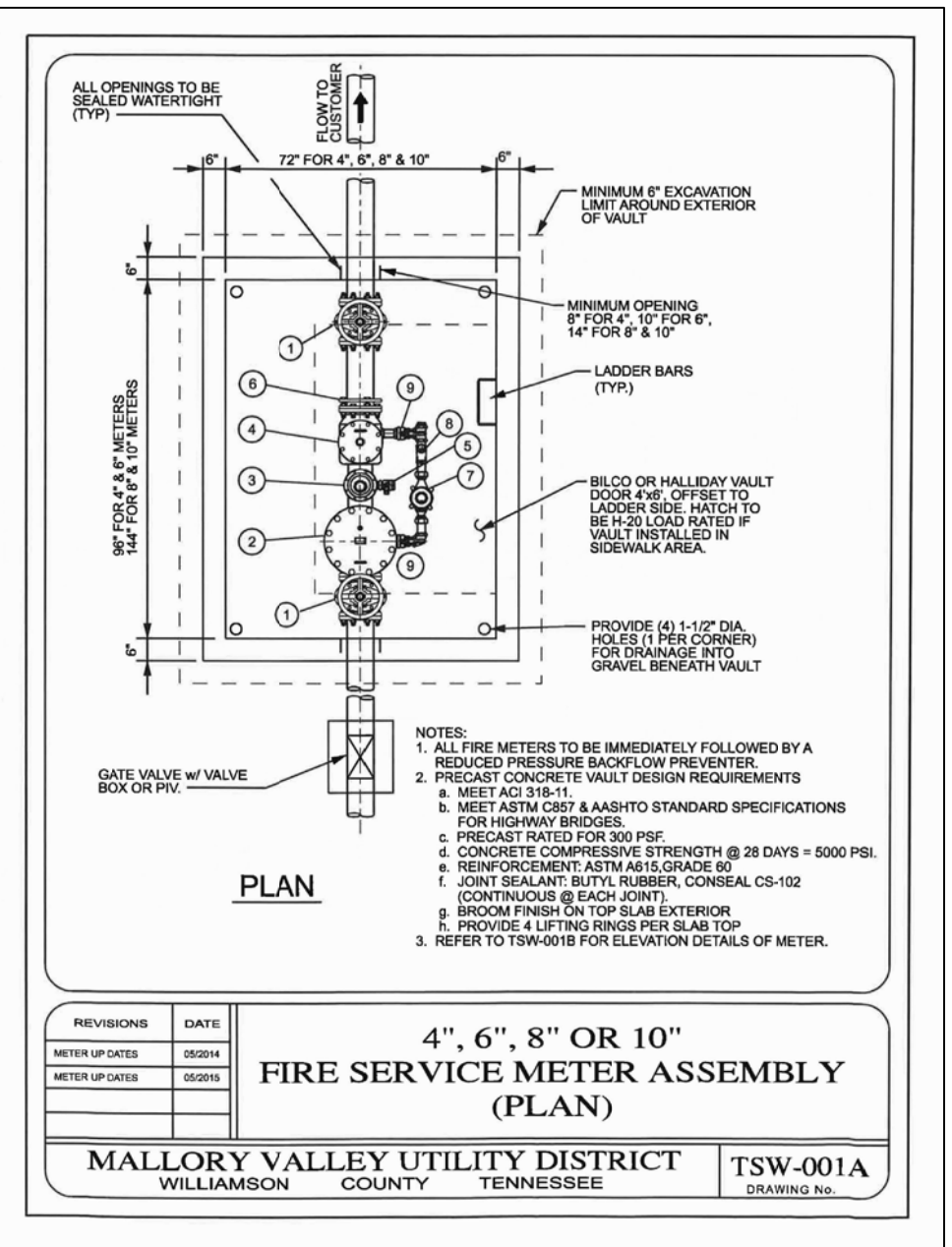
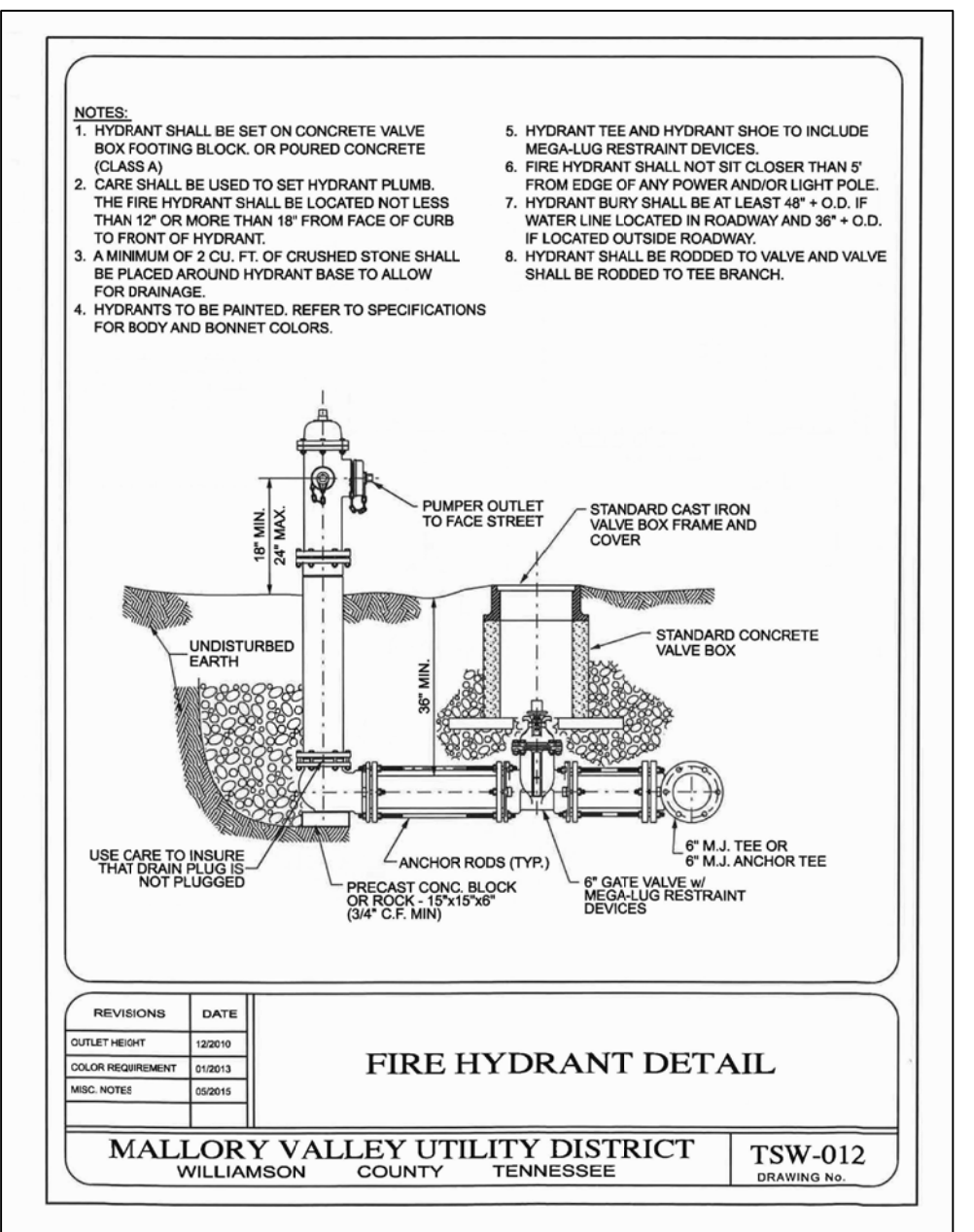
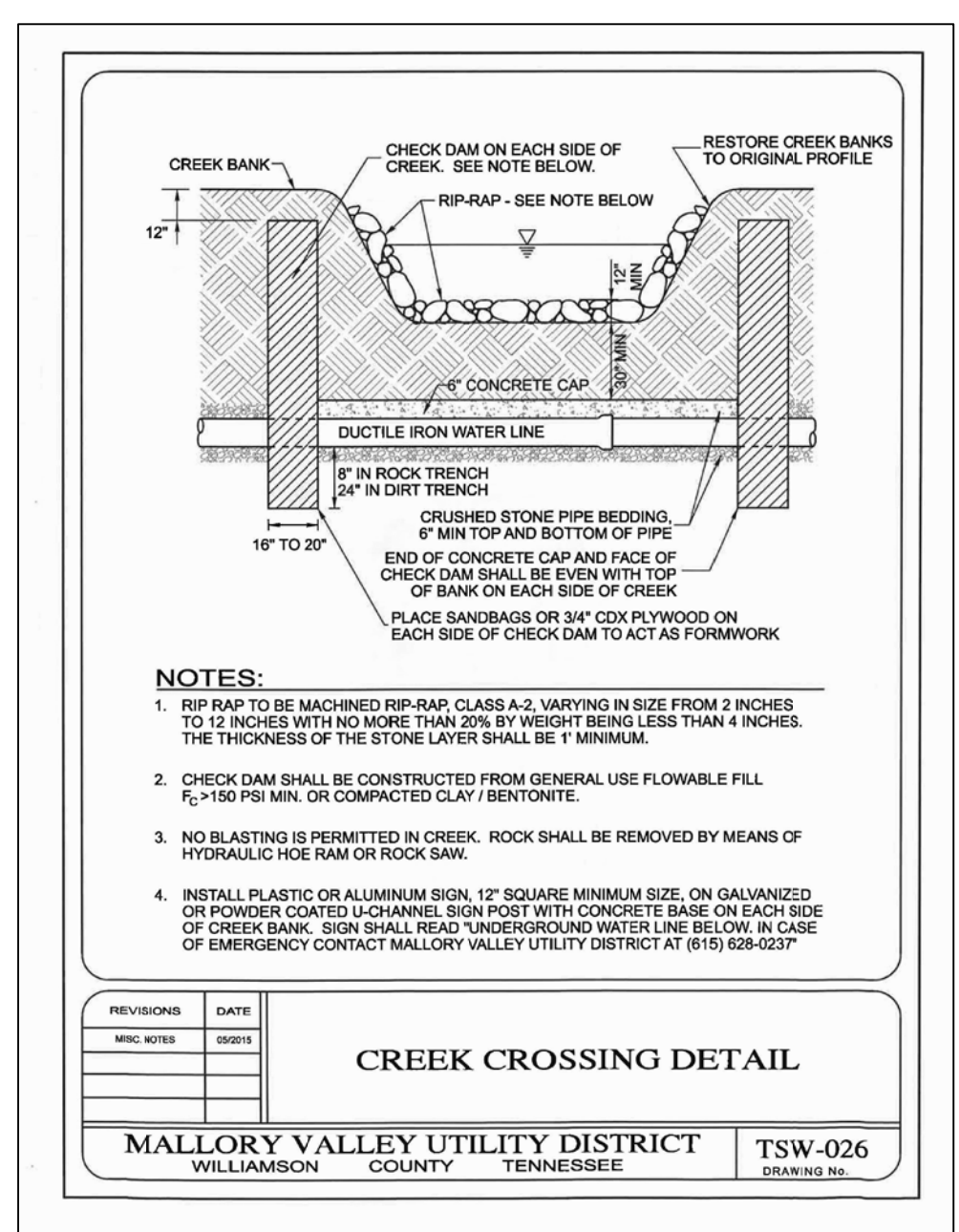
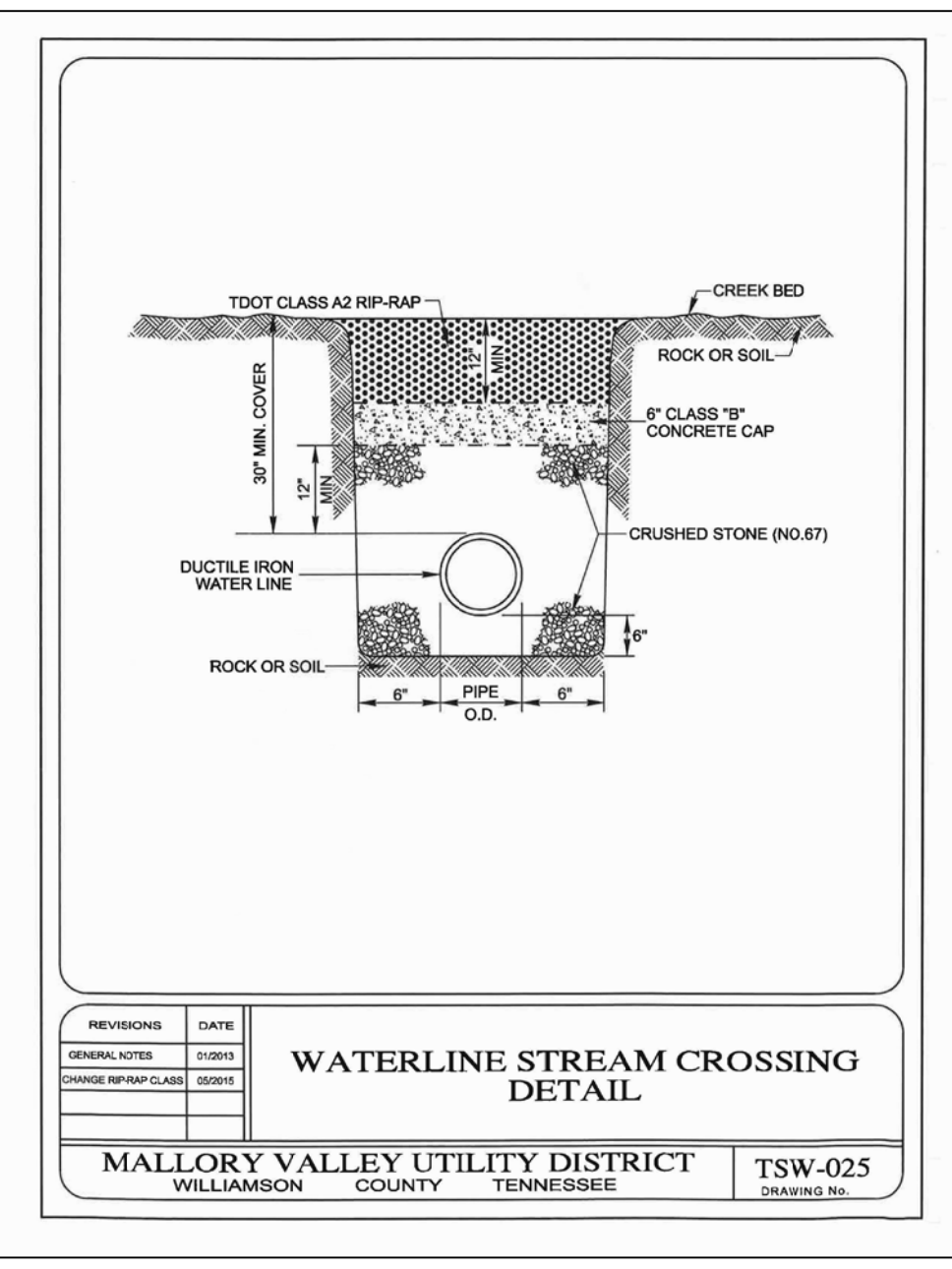
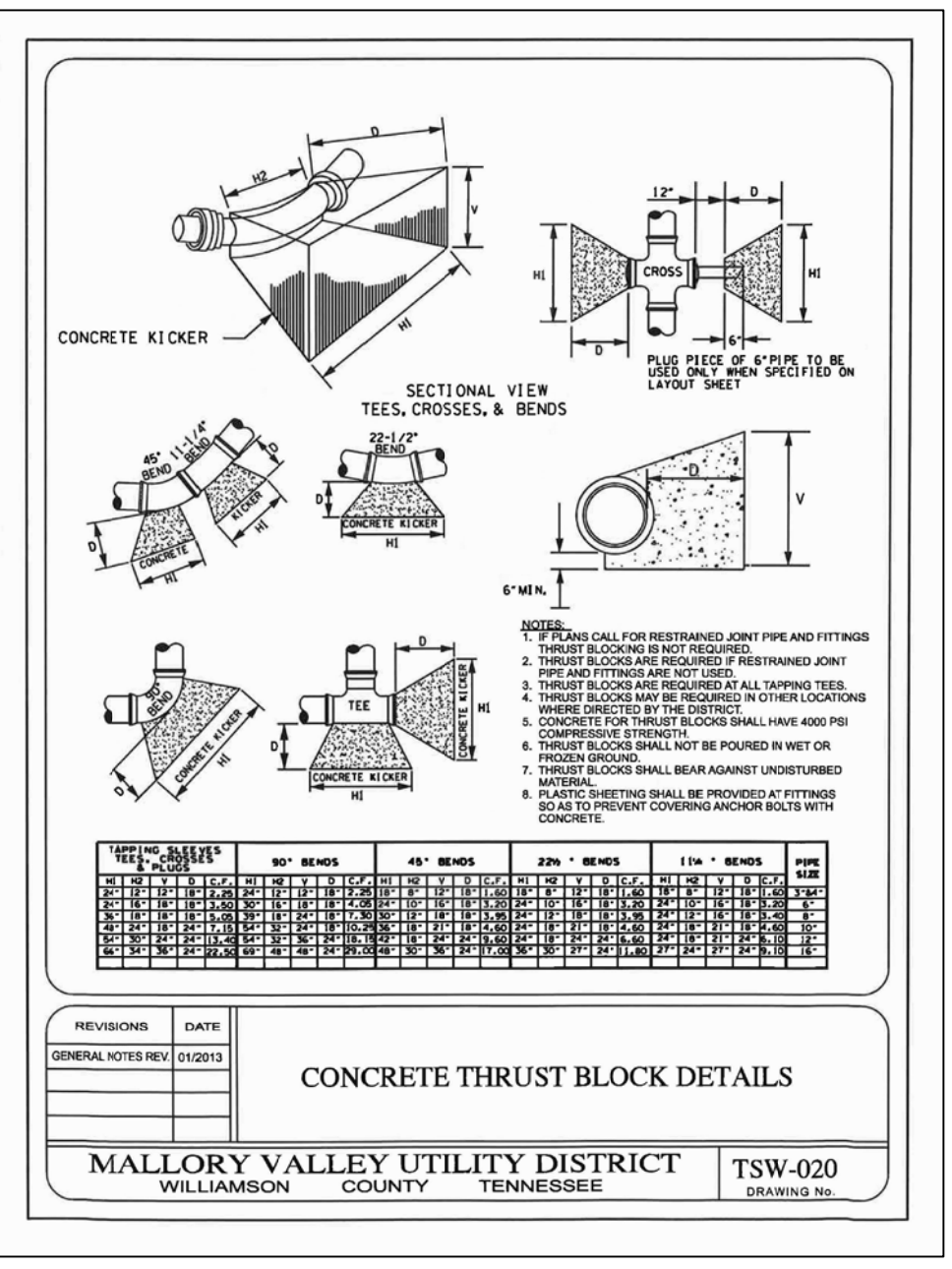
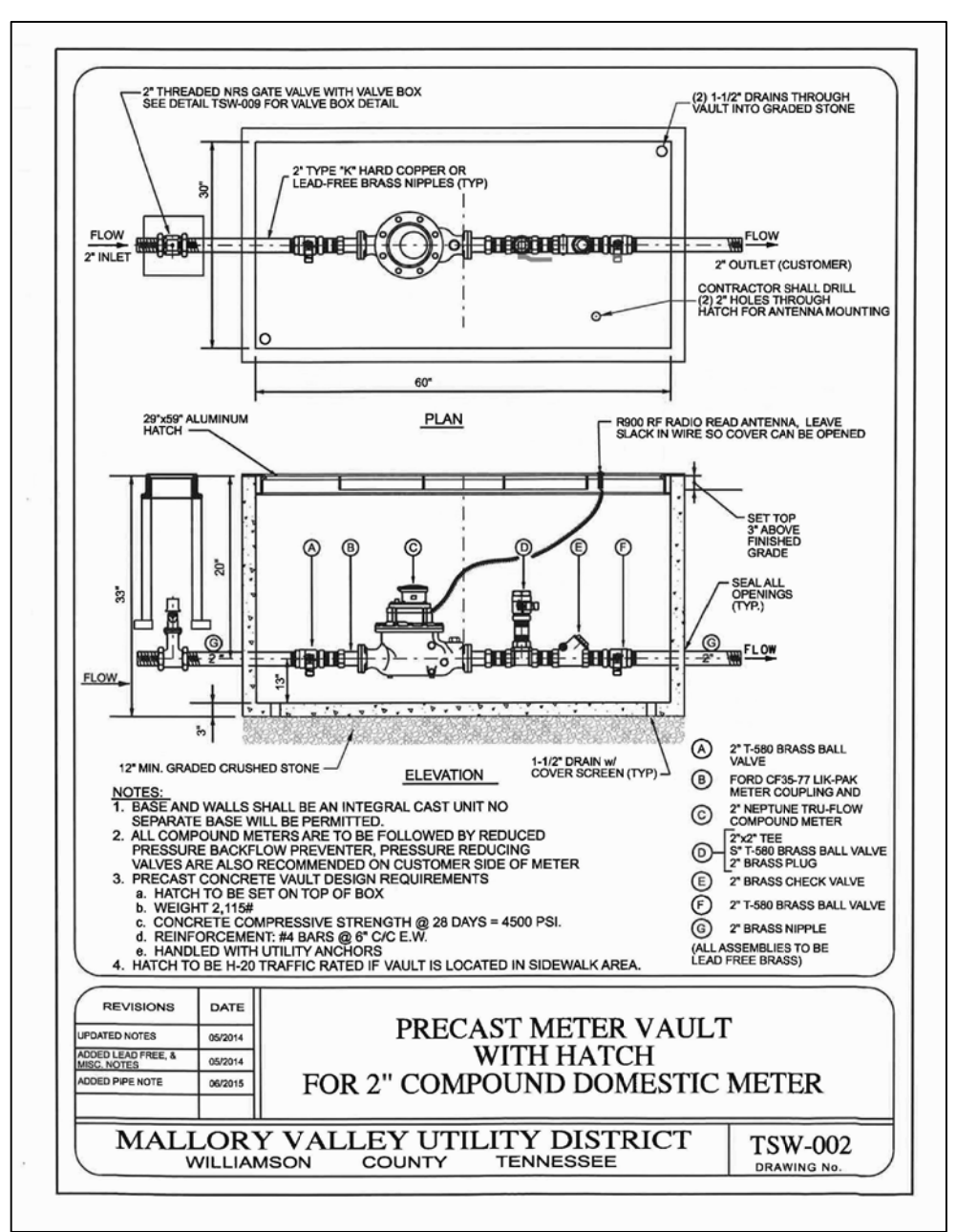
LAND SOLUTIONS
COMPANY, LLC
2925 Berry Hill Drive, Nashville, TN 37204

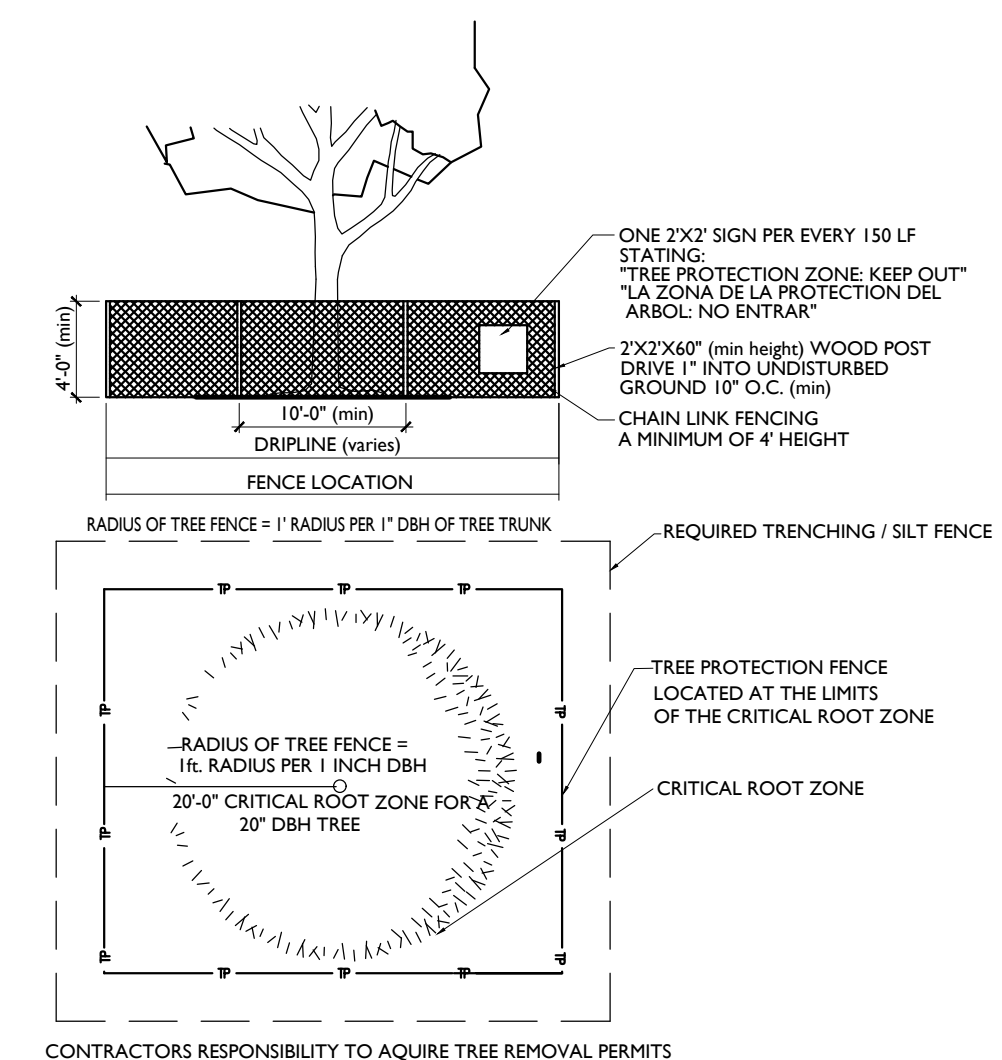
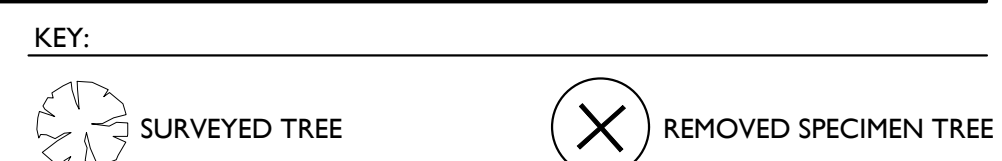
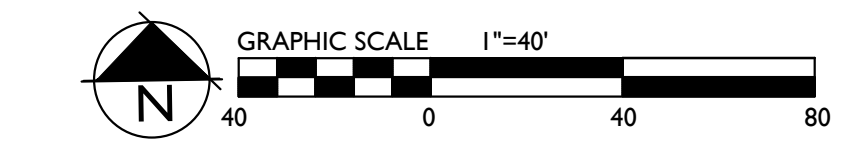
Family Legacy PUD Subdivision
Site Plan - Lot 1 (Funeral Home)
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554 FRANKLIN ROAD
Franklin, Williamson County, Tennessee

ISSUANCE/REVISION NOTES:
- PLAN DATE: March 7, 2016
- PLAN REVISION DATE: April 7, 2016

- NONE
- NONE
- NONE
- NONE

SITE DETAILS
C6.3
14 OF 14





TREE PROTECTION NOTES:

- The tree protection barriers shall be constructed before the issuance of any permits, and shall remain intact throughout the entire period of construction.
- The tree protection barrier shall be installed as labeled on this plan or a distance to the radius of the dripline, whichever is greatest, as measured from the trunk of the protected tree.
- Any required excavation in or around the protection zone to accommodate underground services, footings, etc. shall be indicated on the plan, and shall be excavated by hand. In addition, related root pruning shall be accomplished via ANSI A-300-95 standard so as to minimize impact on the general root system.
- The storage of building materials or stock piling shall not be permitted within the limits of or against the protection barriers.
- Trees within the protection barriers must be adequately cared for throughout the construction process (i.e., they must be watered sufficiently). Fill shall not be placed upon the root system as to endanger the health or life of the affected tree.

SPECIMEN TREE REPLACEMENT

	COF#	SPECIMEN DBH REMOVED	REPLACEMENT REQUIRED	REPLACEMENT PROVIDED	TOTAL
LOT 1 SITE PLAN	XXXX	134 IN	248 IN	233	-15

PUD TREE PRESERVATION DATA

TOTAL PUD AREA 22.72 AC
 EXISTING TREE CANOPY +/- 72% OF SITE
 MINIMUM RETENTION .72 x .18 = 13% OF SITE
 128,636 SF OR 2.95 ACRES

PROPOSED RETENTION 68.8% OF SITE
 PROPOSED RETENTION 680,787 SF OR 5.63 ACRES

ALL TREES ABOVE HHO OVERLAY TO REMAIN

SPECIMEN TREES TO BE REMOVED

DBH SIZE / VARIETY	CONDITION
24\"/>	

TOTAL HEALTHY INCHES REMOVED: 124"
 TOTAL SPECIMEN REPLACEMENT REQUIRED: 248"

*NOTE: THE CITY OF FRANKLIN CLASSIFIES SILVER MAPLE (*Acer saccharinum*) AS A NUISANCE TREE

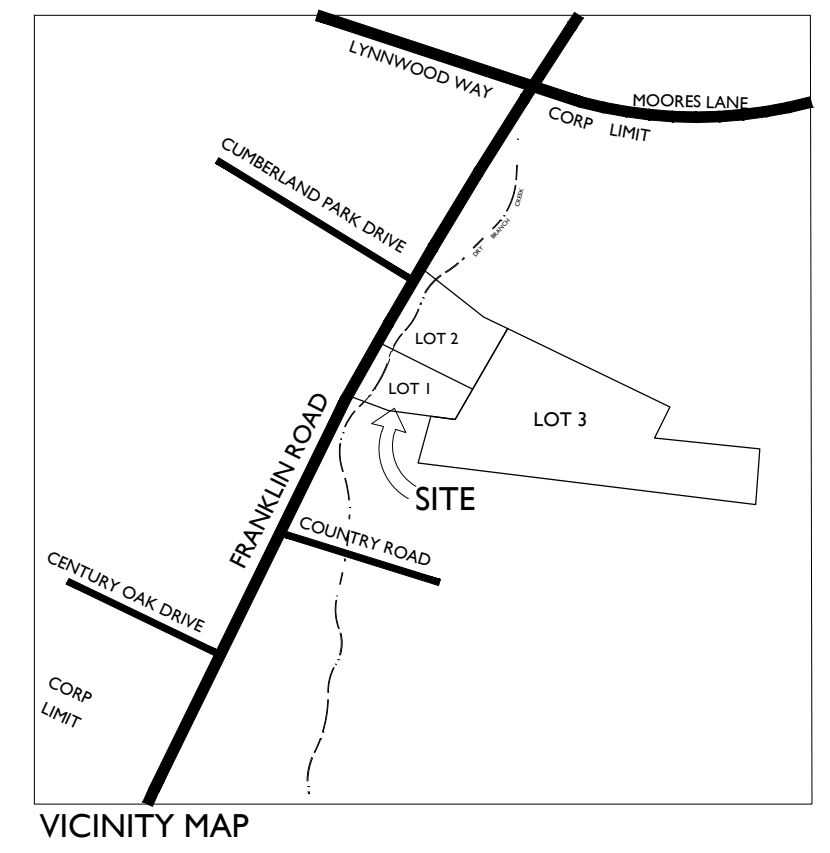
TREES DESIGNATED AS POOR EXHIBIT SEVERE PEST OR PHYSICAL DAMAGE, SUCH AS COMMON FROM LIGHTNING OR WIND DAMAGE, OR HAVE BEEN "TOPPED" AND ARE IN A WEAKENED CONDITION.

SITE DATA:

PROJECT NAME: FAMILY LEGACY PUD SUBDIVISION, SITE PLAN, LOT 1 (FUNERAL HOME)
 PROJECT NUMBER: 6072
 SUBDIVISION: FAMILY LEGACY PUD SUBDIVISION
 LOT NUMBER: 1
 ADDRESS: 554 FRANKLIN ROAD
 CITY: FRANKLIN
 COUNTY: WILLIAMSON
 STATE: TENNESSEE

SITE ACREAGE: 3.72 AC
 SITE ZONING CLASSIFICATION: SD-X 0/34,500
 DEVELOPMENT STANDARDS: TRADITIONAL
 MINIMUM REQUIRED LSA: 20 RATIO AND 75 AC
 PROVIDED LSA: 37 RATIO AND 1.36 AC

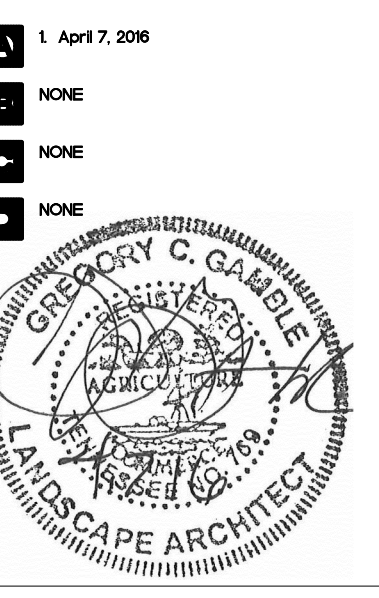
ORIGINAL CANOPY COVER: 18% 2.95 AC (TOTAL SITE)
 TREE CANOPY REQUIRED: 68.8% 5.63 AC (TOTAL SITE)
 SPECIMEN TREES REMOVED: 11 TREES, 124 HEALTHY INCHES



LAND SOLUTIONS
 COMPANY, LLC
 2825 Berry Hill Drive, Nashville, TN 37204

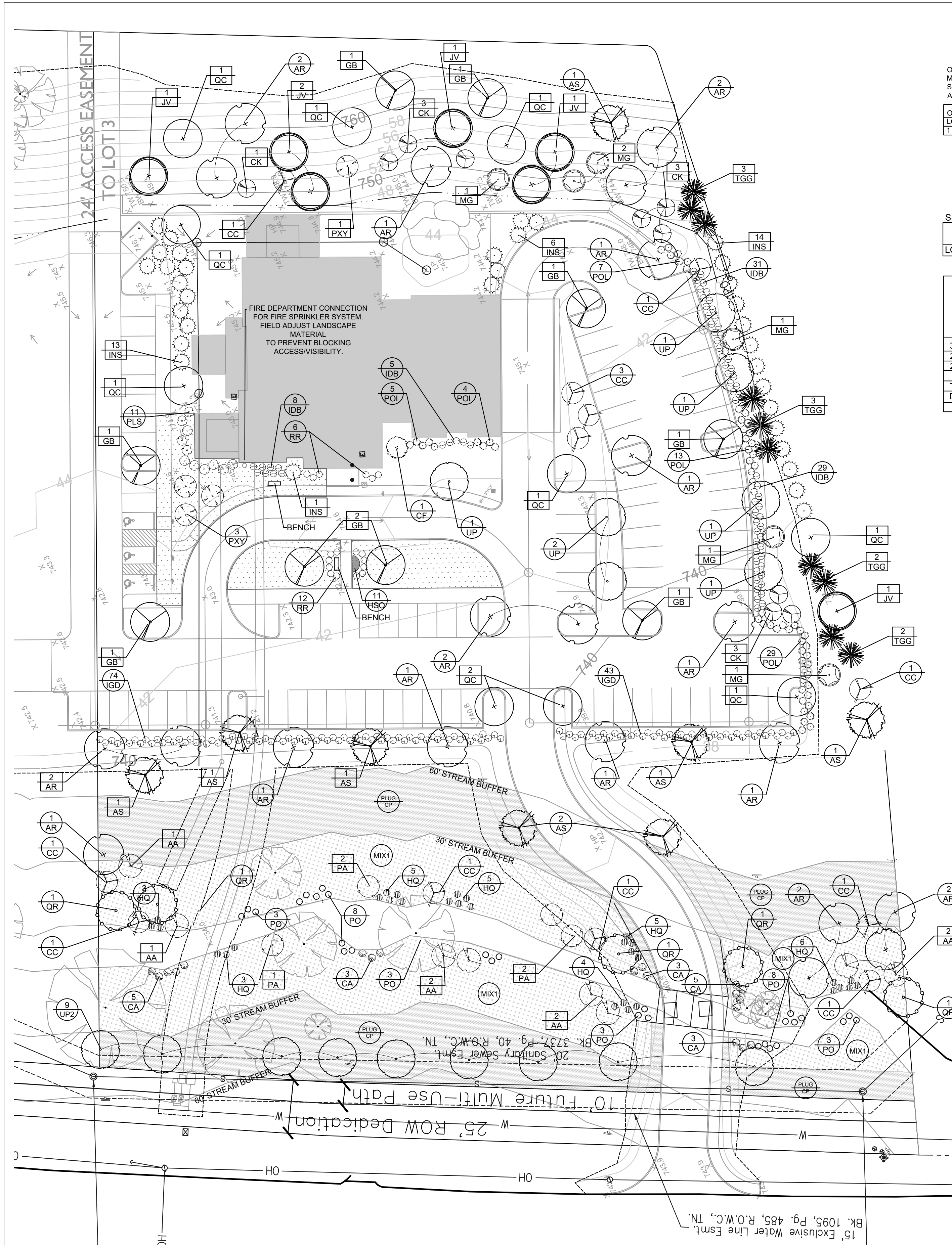
Family Legacy PUD Subdivision
 Site Plan, Lot 1 (Funeral Home)
 Franklin, Williamson County, Tennessee

ISSUANCE/REVISION NOTES:
 - PLAN DATE: March 14, 2018



TREE REMOVAL
 L1.0

TREE REMOVAL/PRESERVATION PLAN



OPEN SPACE REQUIREMENT CHART - LOT 1
 MINIMUM OPEN SPACE REQUIREMENT: 3%
 SITE ACREAGE: 3.72 AC OPEN SPACE REQUIRED: 0.11 AC
 ALL OPEN SPACE REQUIRED TO BE FORMAL OPEN SPACE

LOT #	CLASSIFICATION	TYPE	AREA (SF)	PAVED AREA	% PAVED IMPERVIOUS
1	FORMAL	PLAZA	5,243 SF	992 SF	19%

SPECIMEN TREE REPLACEMENT

LOT 1 SITE PLAN	COF#	SPECIMEN DBH REMOVED	REPLACEMENT REQUIRED	REPLACEMENT PROVIDED	TOTAL
	XXXX	134 IN	248 IN	233	-15

SPECIMEN TREE REPLACEMENT LOT 1

	QUANTITY PROVIDED SECTION 1	CALIPER INCH CONVERSION
3" CALIPER CANOPY TREES	45	135
2" CALIPER CANOPY TREES	0	0
2" CALIPER UNDERSTORY TREES	49	98
TOTAL CALIPER INCHES OF REPLACEMENT TREE PROVIDED:	233	
DBH INCHES OF SPECIMEN TREE REPLACEMENT REQUIRED:	248	
REPLACEMENT CALIPER INCH SURPLUS/STORAGE:	-15	

STREET TREE SCHEDULE - 9 TOTAL

QTY SYM BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	LEAF	SPACING	NOTES
9 UP2 ULMUS PARVIFOLIA 'UPMTF'	BOSQUE ELM	2" CAL, B/B	10'-12'	DECIDUOUS	AS SHOWN	CENTRAL LEADER

NOTE: LANDSCAPE MATERIAL TO BE FIELD ADJUSTED TO AVOID CONFLICTS WITH UTILITIES.
 NO LANDSCAPE MATERIAL SHALL BE BETWEEN FIRE HYDRANT AND STREET OR WITHIN 3' IN OTHER DIRECTIONS.

PLANT SCHEDULE

QTY SYM BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	LEAF	SPACING	NOTES
16 AR ACER RUBRUM 'BRANDYWINE'	BRANDY WINE RED MAPLE	3" CAL, B/B	14'-16'	DECIDUOUS	AS SHOWN	CENTRAL LEADER
8 AS ACER SACCHARUM 'LEGACY'	LEGACY SUGAR MAPLE	3" CAL, B/B	14'-16'	DECIDUOUS	AS SHOWN	CENTRAL LEADER
7 UP ULMUS PARVIFOLIA 'UPMTF'	BOSQUE ELM	3" CAL, B/B	14'-16'	DECIDUOUS	AS SHOWN	CENTRAL LEADER
7 JV JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	3" CAL, B/B	10'-12'	EVERGREEN	AS SHOWN	FULL BRANCHING
10 QC QUERCUS COCCINEA	SCARLET OAK	3" CAL, B/B	14'-16'	DECIDUOUS	AS SHOWN	CENTRAL LEADER
9 GB GINKGO BILOBA	MAIDENHAIR TREE	3" CAL, B/B	14'-16'	DECIDUOUS	AS SHOWN	CENTRAL LEADER, MALE TREES ONLY
10 TGG THUJA STANDISH X PLICATA 'GREEN GIANT'	GREEN GIANT ARBORVITAE	3" CAL, B/B	10'-12'	EVERGREEN	AS SHOWN	FULL BRANCHING
6 MG MAGNOLIA GRANDIFLORA 'LITTLE GEM'	LITTLE GEM MAGNOLIA	2" CAL, B/B	6'-8'	EVERGREEN	AS SHOWN	FULL BRANCHING
34 INS ILEX X NELLIE R STEVENS	NELLIE R STEVENS HOLLY	2" CAL, B/B	6'-8'	EVERGREEN	AS SHOWN	FULL BRANCHING
18 PXV PRUNUS X YEDOENSIS	YOSHINO CHERRY	2" CAL, B/B	8'-10'	DECIDUOUS	AS SHOWN	BALANCED CANOPY
1 CF CORNUS FLORIDA 'CHEROKEE PRINCESS'	CHEROKEE PRINCESS DOGWOOD	2" CAL, B/B	8'-10'	DECIDUOUS	AS SHOWN	BALANCED CANOPY
10 CK CORNUS KOUSA 'SATOMI'	PINK JAPANESE DOGWOOD	2" CAL, B/B	8'-10'	DECIDUOUS	AS SHOWN	BALANCED CANOPY
6 CC CERCIIS CANADENSIS	EASTERN REDBUD	2" CAL, B/B	8'-10'	DECIDUOUS	AS SHOWN	BALANCED CANOPY
11 PLS PRUNUS LAUROCERASUS 'SCHIPKAENSIS'	SCHIP LAUREL	30"	30"	EVERGREEN	48" O.C.	
58 POL PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN LAUREL	30"	30"	EVERGREEN	36" O.C.	
18 RR ROSA X 'RADRAZZ'	KNOCK OUT SHRUB ROSE	18"	18"	EVERGREEN	30" O.C.	
65 IDB ILEX CORNUTA 'DWARF BURFORD'	DWARF BURFORD HOLLY	30"	30"	EVERGREEN	AS SHOWN	
117 IGD ILEX GLABRA 'DENSE'	DENSE INKBERY HOLLY	30"	30"	EVERGREEN	36" O.C.	
11 HSD HEMEROCALLIS X 'STELLA DE ORO'	STELLA DE ORO DWARF DAYLILY	1 GAL	18" O.C.			

NOTE: LANDSCAPE MATERIAL TO BE FIELD ADJUSTED TO AVOID CONFLICTS WITH UTILITIES.
 NO LANDSCAPE MATERIAL SHALL BE BETWEEN FIRE HYDRANT AND STREET OR WITHIN 3' IN OTHER DIRECTIONS.
 FOUNDATION PLANTING SHALL BE FIELD ADJUSTED TO ALLOW ACCESS AND VISIBILITY TO FIRE DEPARTMENT CONNECTION FOR FIRE SPRINKLER SYSTEM.

URBAN RIPARIAN STREAM RESTORATION
 ENHANCEMENT IS REQUIRED ALONG STREAM. ENHANCEMENT SHALL INCLUDE REMOVAL OF INVASIVESPECIES AND THE RE-ESTABLISHMENT OF NATIVE SPECIES WHICH PROVIDES A MIX OF CANOPY TREES, UNDERSTORY, SHRUBS, AND A NATIVE SEED MIX OF FORBES/GRASSES/SEDGES/RUSHES SUITABLE FOR A MOIST, SHADED UNDERSTORY.

QUANTITY OF PLANT MATERIAL FOR RESTORATION IS BASED ON CRITERIA FROM THE URBAN RIPARIAN HANDBOOK.
 CALCULATION: 10' STRIP, LOCATED ADJACENT TO THE STREAM BANK, BARE ROOT PLANTS INSTALLED AT APPROXIMATELY 6' ON CENTER.
 480 LF OF STREAM BANK, 4800SF OF REFORESTATION STRIP. 133 PLANTS EACH SIDE OF STREAM.
 LARGER NURSERY STOCK PLANT MATERIAL SHALL BE INSTALLED INSTEAD OF BARE ROOT FOR A REDUCTION IN QUANTITY.
 BARE ROOT SURVIVAL EXPECTATION IS 40%. 40% OF 133 PLANTS IS 53 PLANTS (EACH SIDE OF STREAM).
 106 PLANTS TOTAL HAVE BEEN SPECIFIED. SEE SCHEDULE BELOW.

URBAN RIPARIAN STREAM RESTORATION PLANT SCHEDULE

QTY SYM BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	LEAF	SPACING	NOTES
5 AR ACER RUBRUM 'BRANDYWINE'	BRANDY WINE RED MAPLE	3" CAL, B/B	14'-16'	DECIDUOUS	AS SHOWN	CENTRAL LEADER
5 QR QUERCUS RUBRA	NORTHERN RED OAK	3" CAL, B/B	14'-16'	DECIDUOUS	AS SHOWN	CENTRAL LEADER
6 CC CERCIIS CANADENSIS	EASTERN REDBUD	2" CAL, B/B	8'-10'	DECIDUOUS	AS SHOWN	BALANCED CANOPY
8 AA AMELANCHIER ARBorea	SWEET FLAG	2" CAL, B/B	8'-10'	DECIDUOUS	AS SHOWN	BALANCED CANOPY
4 PA PRUNUS AMERICANA	AMERICAN PLUM	2" CAL, B/B	8'-10'	DECIDUOUS	AS SHOWN	BALANCED CANOPY
19 CA CALLICARPA AMERICANA	AMERICAN BEAUTYBERRY		18"	DECIDUOUS	160" O.C.	
28 PO PHYSCARPUS OPUULIFOLIUS	NINEBARK		18"	DECIDUOUS	160" O.C.	
31 HQ HYDRANGEA QUERCIFOLIA	OAKLEAF HYDRANGEA		18"	DECIDUOUS	160" O.C.	

GROUND COVER SCHEDULE - CAREX PANSA DRIFT - TOTAL SF 18,400 SF

BOTANICAL NAME	COMMON NAME	SPACING	NOTES
CAREX PANSA	CALIFORNIA MEADOW SEDGE	8" O.C.	PLUGS - ESTIMATED 84,824 PLUGS NEEDED

GROUND COVER SCHEDULE - RIPARIAN MIX - TOTAL SF 20,011 SF

BOTANICAL NAME	COMMON NAME	NOTES
SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	DRIFTS OF THESE PLANTS SHALL BE USED IN THE AREA INDICATED FOR RIPARIAN MIX 1. SEED AND CONTAINER STOCK TO BE USED.
ACORUS CALAMUS	SWEET FLAG	
IRIS VIRGINICA	VIRGINIA IRIS	
IRIS VERSICOLOR	BLUE FLAG IRIS	

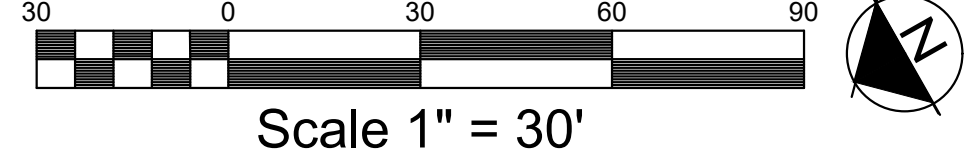
- STREAM BUFFER NOTES:**
- PRIOR TO INSTALLATION, THE OWNER/INSTALLER, THE CITY OF FRANKLIN STORM WATER COORDINATOR, AND CITY OF FRANKLIN LAND PLANNER SHALL MEET ON SITE TO VERIFY PLANT PLACEMENT AND INSTALLATION METHODS.
 - SITE PREPARATION: EXISTING TURF LAWN SHALL BE KILLED WITH HERBACIDE AND LEFT IN PLACE IN ORDER TO PREVENT SOIL EROSION. TWO APPLICATIONS OF ROUND-UP (OR EQUAL) SHALL BE APPLIED TO THE TURF, APPROXIMATELY TWO WEEKS APART. HERBICIDE SHOULD NOT BE APPLIED BETWEEN DECEMBER AND FEBRUARY.
 - EXOTIC/INVASIVE PLANTS SHALL BE REMOVED BY CONTRACTOR.
 - SOIL WITHIN THE RIPARIAN BUFFER AREA SHALL BE AERATED PRIOR TO SEEDING/PLUG INSTALLATION. MANUAL, CORING-STYLE AERATOR IS PREFERRED. TRACTORS ARE NOT TO BE UTILIZED WITHIN THE LIMITS OF THE RIPARIAN BUFFER.
 - THERE SHALL BE NO MOWING, CLEARING, GRADING, CONSTRUCTION, STORAGE OR DISTURBANCE OF VEGETATION IN RIPARIAN BUFFERS EXCEPT AS PERMITTED BY THE CITY ENGINEER, OR HIS DESIGNEE.

SITE DATA:
 PROJECT NAME: FAMILY LEGACY PUD SUBDIVISION, SITE PLAN, LOT 1 (FUNERAL HOME)
 PROJECT NUMBER: 6072
 SUBDIVISION: FAMILY LEGACY PUD SUBDIVISION
 LOT NUMBER: 1
 ADDRESS: 554 FRANKLIN ROAD
 CITY: FRANKLIN
 COUNTY: WILLIAMSON
 STATE: TENNESSEE
 MAP, GROUP, PARCEL NUMBERS: MAP 53, PARCEL 73, 74.01
 SITE ACREAGE: 3.72 AC
 SITE ZONING CLASSIFICATION: SD-X 0/34.500
 DEVELOPMENT STANDARDS: TRADITIONAL
 MINIMUM REQUIRED LSA: 20 RATIO AND .75 AC
 PROVIDED LSA: .37 RATIO AND 1.36 AC
 ORIGINAL CANOPY COVER: 18%, 2.95 AC (TOTAL SITE)
 TREE CANOPY REQUIRED: 68.8%, 5.63 AC (TOTAL SITE)
 TREE CANOPY PROVIDED: 11 TREES, 124 HEALTHY INCHES
 SPECIMEN TREES REMOVED:

LANDSCAPE REQUIREMENTS: (ACI)

TOTAL OPEN SPACE: 1.36	QUANTITY PROVIDED	INCHES PROVIDED
CANOPY (82 PER AC)=112	LOT 1 PROPOSED	TOTAL PROPOSED
UNDERSTORY (21 PER AC) = 29		
SHRUBS (96 PER AC) = 131		
EXISTING TREE CREDIT: 14" DBH @ 1.25'	-	-
4" CALIPER CANOPY TREES:	-	-
3" CALIPER CANOPY TREES:	32	32
2" CALIPER CANOPY TREES:	9	9
AGGREGATE CANOPY CALIPER INCHES PROVIDED:	114	114
AGGREGATE CANOPY CALIPER INCHES REQUIRED:	112	112
2" CALIPER UNDERSTORY TREES:	15	15
1.5" CALIPER UNDERSTORY TREES:	-	30
AGGREGATE UNDERSTORY CALIPER INCHES PROVIDED:	15	15
AGGREGATE UNDERSTORY CALIPER INCHES REQUIRED:	29	29
MINIMUM 18" HEIGHT SHRUBS:	86	86
MINIMUM 30" HEIGHT SHRUBS:	251	251
TOTAL SHRUBS PROVIDED:	251	251
TOTAL SHRUBS REQUIRED:	131	131
TOTAL SHRUBS PROVIDED:	337	337

1 XX SPECIMEN REPLACEMENT TAG
 1 XX ACI LANDSCAPE TAG



MINIMUM BUFFER/SCREENING REQUIREMENTS:
 HVAC units, cooling and/or mechanical equipment are mounted on the:
 Rooftop
 Ground

THIS DEVELOPMENT IS REQUIRED TO HAVE THE FOLLOWING LANDSCAPE IMPROVEMENTS:

Buffer/Screen Type:	Purpose:
<input checked="" type="checkbox"/> Foundation Planting	Along primary facade
<input checked="" type="checkbox"/> Perimeter Planting Strip	Screen Vehicle Use Areas and to create "modules"
<input checked="" type="checkbox"/> Utility Box Screen from view	Screen Utility Boxes and Meters from view
<input checked="" type="checkbox"/> HVAC Screen	Screen HVAC from view
<input checked="" type="checkbox"/> Dumpster Screen	Screen dumpster from view
<input checked="" type="checkbox"/> Street Trees	Spatial Definition/Environmental Mitigation

AFTER INSTALLATION LANDSCAPE WILL BE MAINTAINED BY:
FAMILY LEGACY TBD
 NAME
 ADDRESS
 Franklin, Tennessee 37064
 PHONE

ATTENTION OWNER/INSTALLER:
 This landscape plan has been designed to meet the minimum requirements of the City of Franklin zoning ordinance, the approval of the planning commission, and planning department policy. Relocating, substituting, resizing, reducing, or deleting material may cause the site to no longer conform to the requirements, thus problems may arise with releasing the performance/maintenance surety for the landscape material. Deviation from the approved landscape plan shall not be made without first consulting the Landscape Architect who designed the project. The designing Landscape Architect shall review proposed substitutions to ensure that all City standards and requirements are met. The City shall be notified in writing upon final approval of any plant substitutions.

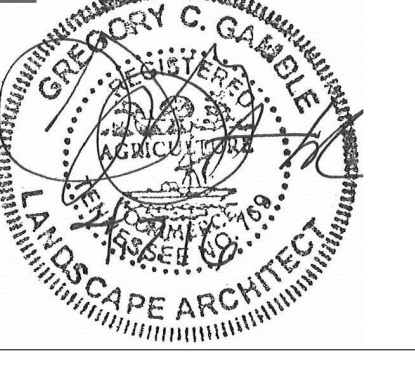
Owner: FAMILY LEGACY TBD
 Landscape Architect: Greg Gamble 615.975.5765
 Franklin Planning Department: 615.791.3212

LAND SOLUTIONS
 COMPANY, LLC
 2925 Berry Hill Drive, Nashville, TN 37204

Family Legacy PUD Subdivision
 Site Plan, Lot 1
 Franklin, Williamson County, Tennessee

ISSUANCE/REVISION NOTES
 - PLAN DATE: March 14, 2016

- A 1 APRIL 7, 2016
- B NONE
- C NONE
- D NONE



GDC
GAMBLE
 DESIGN COLLABORATIVE
 DEVELOPMENT PLANNING AND
 LANDSCAPE ARCHITECTURE

Landscape Architecture Provided by:
 Gamble Design Collaborative, LLC
 Greg Gamble, RLA
 144 Southeast Parkway, Suite 200
 Franklin, Tennessee 37064
 615.975.5765
 greggamble209@gmail.com

LANDSCAPE PLAN

L2.0

LOT 1 LANDSCAPE PLAN

CITY OF FRANKLIN LANDSCAPE NOTES:

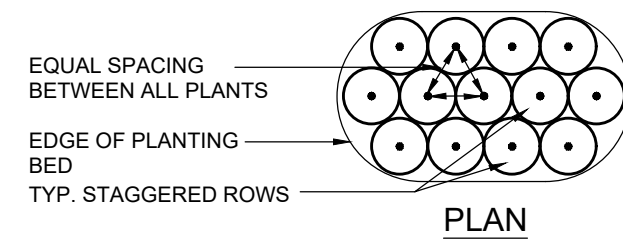
1. ANY PLANT MATERIAL THAT DIES, TURNS BROWN OR DEFOLIATES SHALL BE REPLACED WITHIN ONE YEAR OR BY THE NEXT GROWING SEASON, WHICH EVER COMES FIRST. OTHER DEFECTIVE LANDSCAPE MATERIAL SHALL BE REPLACED WITHIN THREE MONTHS.
2. ALL TREES SHALL MEET FRANKLIN'S MINIMUM SIZE AND QUALITY STANDARDS. ALL PLANTS SHALL BE HEALTHY, VIGOROUS MATERIAL, FREE OF PEST AND DISEASE. ALL ROOTBALLS, CONTAINERS, AND HEIGHT TO WIDTH RATIOS SHALL CONFORM TO THE SIZE STANDARDS SET FORTH IN THE AMERICAN STANDARDS FOR NURSERY STOCK, CURRENT EDITION.
3. ALL REQUIRED TREES AND SHRUBS SHALL MEET THE MINIMUM SIZE AND QUANTITY AS LISTED IN THE PLANT SCHEDULE.
4. PLANT MATERIAL SHALL NOT OBSCURE TRAFFIC OR PARKING SIGNS/SIGNALS OR VEHICULAR SIGHT LINES.
5. TREE TOPPING IS NOT PERMITTED.
6. ADDITIONAL SCREENING MAY BE REQUIRED IF THE INSPECTION FOR THE RELEASE OF THE PERFORMANCE SURETY REVEALS THAT THE REQUIRED SCREENING IS NOT EFFECTIVE.
7. ALL REQUIRED TREE PROTECTION FENCING SHALL BE INSTALLED AND INSPECTED BY THE CODES DEPARTMENT PRIOR TO LAND DISTURBING ACTIVITIES.
8. ANY SITE OR LANDSCAPE CHANGES (INCLUDING BUT NOT LIMITED TO A CHANGE IN DESIGN, A REDUCTION IN SIZE OR NUMBER OF PLANT MATERIAL, OR THE RELOCATION OF OVERHEAD OR UNDERGROUND UTILITIES) SHALL REQUIRE A REVISED LANDSCAPE PLAN TO BE SUBMITTED AND APPROVAL PRIOR TO THE LANDSCAPE INSTALLATION.
9. EXISTING TREES ACCEPTED IN PARTIAL COMPLIANCE OF THE LANDSCAPE REQUIREMENTS FOR THIS SITE SHALL BE ACCESSIBLE AND FLAGGED PRIOR TO ALL LANDSCAPE INSPECTIONS.
10. ANY EXISTING TREE, SHOWN AS BEING PRESERVED ON APPROVED PLANS THAT IS REMOVED, DIES OR IS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED AS REQUIRED IN THE ZONING ORDINANCE.
11. SCREENING PROPOSED AROUND ANY UTILITY BOX OR TRANSFORMER IS REQUIRED TO BE EVERGREEN AND ADEQUATELY SCREEN THE OBJECT. THE PROPOSED EVERGREEN PLANT MATERIAL SHALL BE REPLACED IF IT IS NOT OF A HEIGHT SUFFICIENT TO SCREEN THE OBJECT.
12. ALL PLANT MATERIAL SHALL BE FROM THE FRANKLIN PLANT LIST UNLESS PRIOR APPROVAL IS RECEIVED FROM THE CITY.
13. ALL TREE-PROTECTION FENCING SHALL BE IN PLACE PRIOR TO THE ISSUANCE OF A GRADING PERMIT AND SHALL BE MAINTAINED IN GOOD WORKING ORDER UNTIL ALL CONSTRUCTION ACTIVITY IS COMPLETED. ANY REQUIRED EROSION CONTROL MEASURES SHALL BE PLACED OUTSIDE OF ANY TREE PROTECTION FENCING.
14. TOP SOIL USED IN ALL LANDSCAPE AREAS SHALL BE SCREENED PRIOR TO DEPOSITION IN PLANTING AREAS AND ISLANDS.
15. ANY PLANT MATERIAL LOCATED ADJACENT TO A PARKING AREA SHALL BE PLANTED SO AS TO ALLOW FOR A TWO AND A HALF FOOT VEHICULAR BUMPER OVERHANG FROM THE FACE OF CURB TO THE EDGE OF THE MATURE ADJACENT PLAN MATERIAL.
16. THE OWNER ACKNOWLEDGES THAT PLANTING LANDSCAPE MATERIAL IN A DEDICATED EASEMENT DOES NOT WAIVE OR MODIFY THE CITY OF FRANKLIN'S RIGHTS AS THE EASEMENT HOLDER. THE OWNER UNDERSTANDS THAT THE CITY OF FRANKLIN, ITS AUTHORIZED CONTRACTOR OR APPLICABLE PRIVATE UTILITY MAY AT ANY TIME AND FOR ANY REASON PERFORM WORK WITHIN THE DEDICATED EASEMENT. THE CITY, ITS AUTHORIZED CONTRACTOR OR APPLICABLE PRIVATE UTILITY SHALL HAVE NO LIABILITY TO THE OWNER FOR ANY DAMAGE TO THE LANDSCAPE MATERIAL IN THE EASEMENT WHEN SAID DAMAGE IS DUE TO WORK WITHIN THE EASEMENT. THE OWNER MAY BE HELD RESPONSIBLE FOR THE REMOVAL OF THE LANDSCAPE MATERIAL TO ENABLE WORK TO BE DONE. THE OWNER SHALL BE SOLELY RESPONSIBLE FOR ANY COST INCURRED IN REPAIRING AND/OR REPLACING THE REQUIRED LANDSCAPE MATERIAL.

CITY OF FRANKLIN MINIMUM PLANT QUALITY AND SIZE STANDARDS

1. ALL NEWLY PLANTED LANDSCAPE PLANT MATERIALS SHALL CONFORM TO THE LATEST VERSIONS OF THE AMERICAN STANDARD OF NURSERY STOCK (ANSI Z60).
2. ALL TYPE 1, 2, AND 3 TREES (AS DEFINED IN ANSI Z60.1) USED TO MEET THE REQUIREMENTS OF THIS SUBSECTION SHALL HAVE THE FOLLOWING CHARACTERISTICS:
 - A. DECIDUOUS TREES SHALL HAVE ONE DOMINANT TRUNK WITH THE TIP OF THE LEADER ON THE MAIN TRUNK LEFT INTACT AND THE TERMINAL BUD ON THE CENTRAL LEADER AT THE HIGHEST POINT ON THE TREE.
 - B. TREES WITH FORKED TRUNKS ARE ACCEPTABLE IF ALL THE FOLLOWING CONDITIONS ARE MET:
 1. THE FORK OCCURS IN THE UPPER ONE-THIRD OF THE TREE.
 2. ONE FORK IS LESS THAN TWO-THIRDS OF THE TREE.
 3. THE TOP ONE-THIRD OF THE SMALLER FORK IS REMOVED AT THE TIME OF PLANTING.
 - C. NO BRANCH IS GREATER THAN TWO-THIRDS THE DIAMETER OF THE TRUNK DIRECTLY ABOVE THE BRANCH.
 - D. SEVERAL BRANCHES ARE LARGER IN DIAMETER AND OBVIOUSLY MORE DOMINANT.
 - E. BRANCHING HABIT IS MORE HORIZONTAL THAN VERTICAL AND NO BRANCHES ARE ORIENTED NEARLY VERTICAL TO THE TRUNK.
 - F. BRANCHES ARE EVENLY DISTRIBUTED AROUND THE TRUNK WITH NO MORE THAN ONE MAJOR BRANCH LOCATED DIRECTLY ABOVE ANOTHER AND THE CROWN IS FULL OF FOLIAGE THAT IS EVENLY DISTRIBUTED AROUND THE TREE.

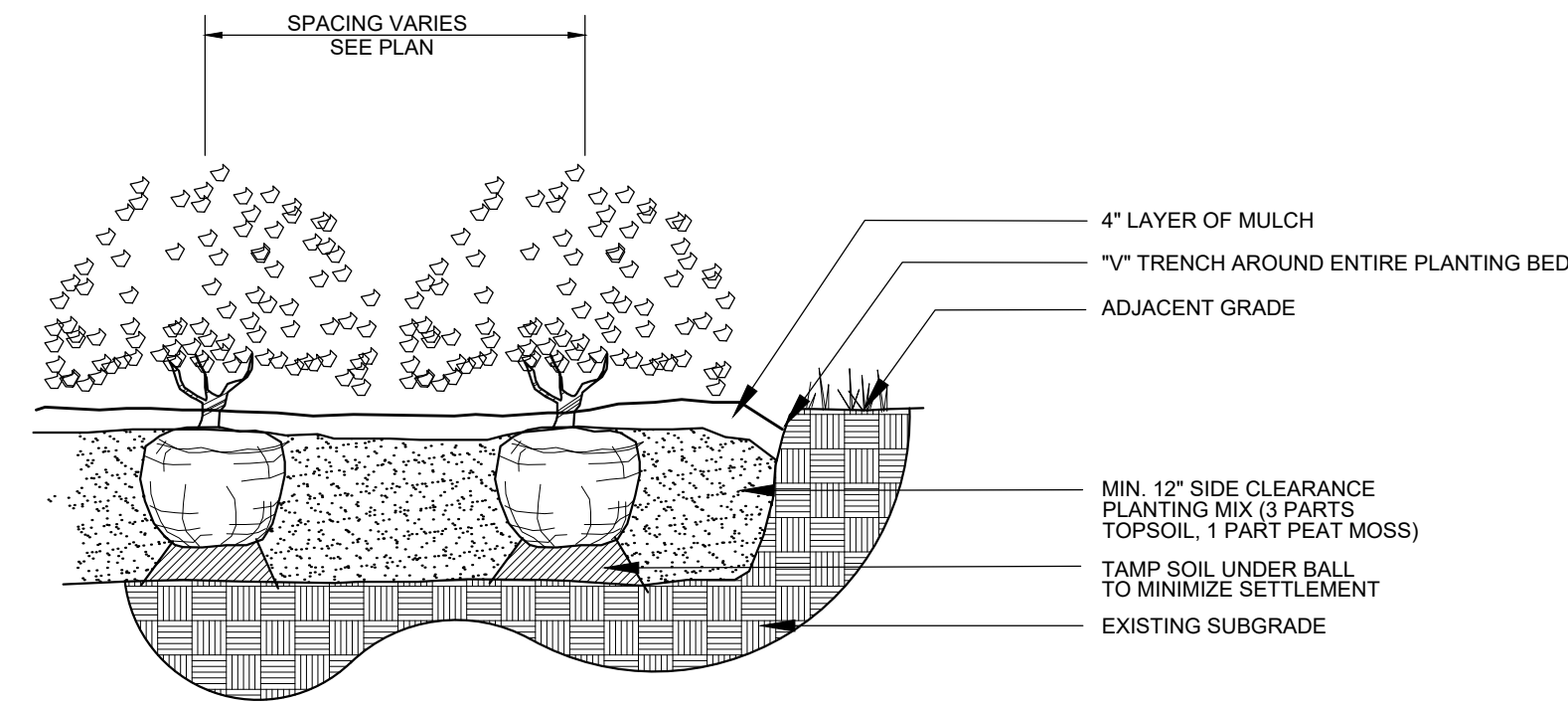
TREE PROTECTION GENERAL NOTES:

1. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL STAKE THE LIMITS OF THE TREE PRESERVATION AREAS AND ASSOCIATED TREE CANOPY.
2. TREE PROTECTION FENCING, ORANGE PLASTIC BARRIER CONSTRUCTION FENCING, SHALL BE INSTALLED AND MAINTAINED AT THE LIMITS OF THE TREE PRESERVATION AREAS PRIOR TO CONSTRUCTION. REVIEW AND APPROVAL OF THE FENCING BY THE CITY OF FRANKLIN IS REQUIRED PRIOR TO GRADING PERMIT.
3. ALL GRADING WITHIN THE ROOT ZONE OF TREES WITHIN THE TREE PRESERVATION AREAS SHALL BE DONE BY HAND OR WITH SMALL EQUIPMENT TO REDUCE DAMAGE TO THE TREE ROOTS.
4. EQUIPMENT STORAGE AND/OR MATERIALS STORAGE WITHIN THE TREE PRESERVATION AREA IS STRICTLY PROHIBITED.
5. ROOTS EXPOSED BY CONSTRUCTION ACTIVITIES SHALL BE PRUNED FLUSH WITH THE GROUND AND/OR BACKFILLED WITH TOP SOIL AS SOON AS POSSIBLE.



GENERAL NOTES:

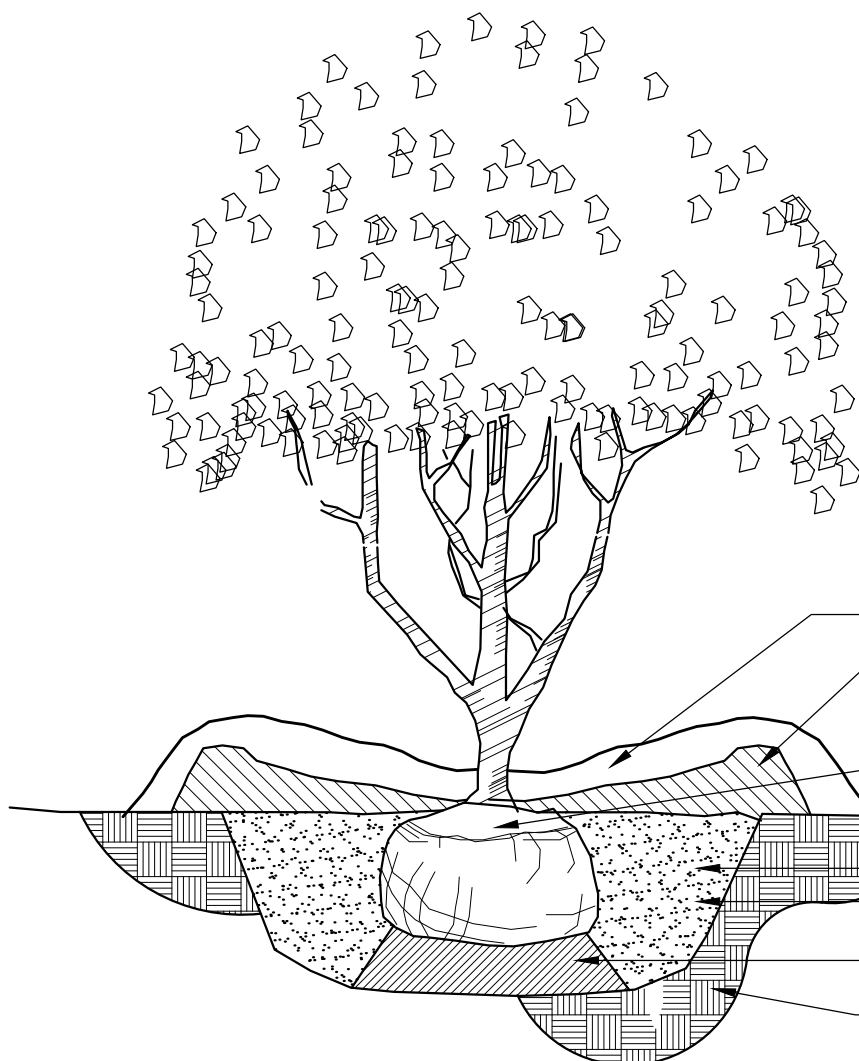
1. Install top of plant ball 2" above adjacent grade.
2. Tamp planting mix firmly as pit is filled around each plant ball.
3. Soak each plant ball and pit immediately after installation.



1 SHRUB PLANTING

L3.0 PLAN/ SECTION

DETAIL # NTS



GENERAL NOTES:

1. All trees are to be nursery grown, burlap and ball (B&B). Minimum tree size is per schedule (measured 6" above root ball).
2. Remove all treated or plastic-coated burlap, strapping, wire or nylon twine from root ball. After setting in hole, cut away top and sides of wire basket, if any.
3. Install top of plant ball even with or 1" above existing grade.
4. Set tree in vertical position prior to staking.
5. Soak plant ball and pit immediately after installation. Place 4-6" of seasoned mulch or pine needles around base of tree, 3' diameter minimum.

3 SINGLE TRUNK DECIDUOUS TREE

L3.0 SECTION

DETAIL # NTS

LANDSCAPE PLANTING GENERAL NOTES

1. THE LANDSCAPE CONTACTOR SHALL BE RESPONSIBLE FOR CONFIRMING THE QUANTITIES OF ALL MATERIALS. THE QUANTITIES ON THE PLAN SHALL TAKE PRECEDENCE OVER THE PLANT LIST.
2. SUBSTITUTIONS OF TYPE, SIZE, OR SPACING OF PLANTS MAY NOT BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER'S LANDSCAPE ARCHITECT, AND MAY RESULT IN THE RESUBMITTAL OF LANDSCAPE PLANS TO THE CITY OF FRANKLIN FOR APPROVAL PRIOR TO INSTALLATION.
3. ALL CONSTRUCTION ACTIVITY SHALL BE COORDINATED WITH TENNESSEE ONE CALL PRIOR TO DIGGING. ALL DAMAGE TO UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE PER UTILITY PROVIDER'S STANDARDS.
4. THE PLANT LIST SPECIFICATIONS PROVIDED WITHIN THE PLANT LIST FOR HEIGHT AND SIZE ARE MINIMUMS.
5. ALL PLANT BEDS SHALL BE RAKED AND CLEARED OF LARGE ROCKS. ALL LARGE DIRT CLOUDS SHALL BE PULVERIZED OR REMOVED PRIOR TO PLANTING.
6. ALL LARGE DIRT CLOUDS RESULTING FROM PLANTING SHALL BE PULVERIZED AND REMOVED PRIOR TO MULCHING.
7. PRE-EMERGENT HERBICIDE SHALL BE APPLIED AFTER INSTALLATION AND IMMEDIATELY PRIOR TO MULCHING.
8. ALL PLANT BEDS ARE TO BE MULCHED WITH A MINIMUM OF 4 INCHES OF SHREDDED PINE BARK. ALL ANNUAL BEDS SHALL BE MULCHED WITH A MINIMUM OF 2 INCHES OF SOIL CONDITIONER, PINE BARK FINES.
9. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL OR ANY DEFECTIVE WORKMANSHIP.
10. ALL SOD AREAS SHALL BE TILLED AND RAKED SMOOTH, WITH LARGE DIRT CLOUDS AND ROCKS REMOVED, PRIOR TO SOD INSTALLATION.
11. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL STAKING AND LAYOUT OF PLANT BEDS.
12. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE DRAINAGE OF ALL TREE AND SHRUB PITS. A PVC OR GRAVEL SUMP AT THE BASE OF THE TREE WELL MAY BE REQUIRED IN AREAS WHERE CLAY SOILS DO NOT ADEQUATELY DRAIN.
13. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT WHEN THE PLANT MATERIALS ARE AT THE JOB SITE FOR REVIEW PRIOR TO INSTALLATION.

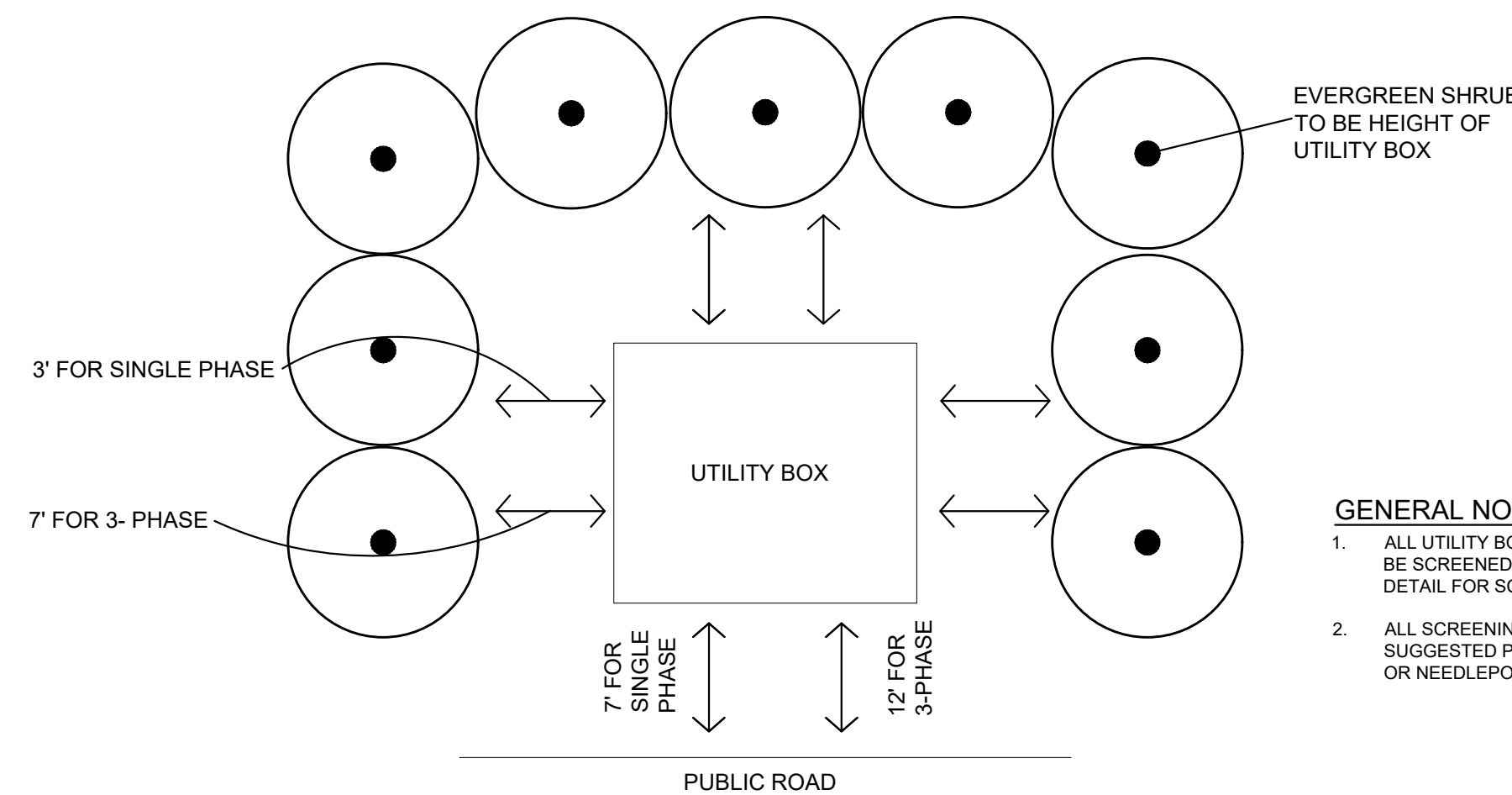
GENERAL NOTES:

1. ALL UTILITY BOXES AND METERS MUST BE SCREENED FROM VIEW. PLEASE USE THIS STANDARD DETAIL FOR SCREENING REQUIREMENTS.
2. ALL SCREENING PLAN MATERIAL SHALL BE EVERGREEN. SUGGESTED PLAN MATERIAL TO INCLUDE: INKBERRY HOLLY OR NEEDLEPOINT HOLLY.

2 UNDERSTORY TREE

L3.0 SECTION

DETAIL # NTS



3 UTILITY BOX SCREEN

L3.0

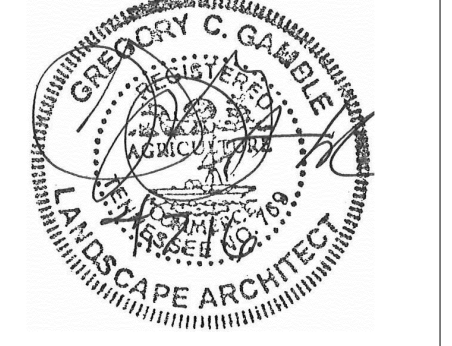
DETAIL # NTS

LAND SOLUTIONS COMPANY, LLC
2925 Berry Hill Drive, Nashville, TN 37204

Family Legacy PUD Subdivision
Site Plan, Lot 1
Franklin, Williamson County, Tennessee

ISSUANCE/REVISION NOTES:
- PLAN DATE: March 14, 2016

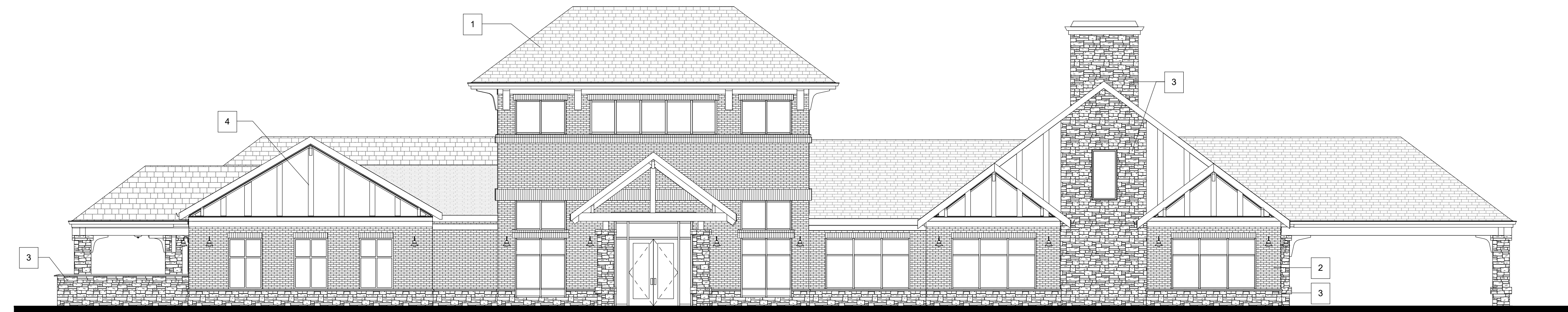
- A 1 APRIL 7, 2016
- B NONE
- C NONE
- D NONE



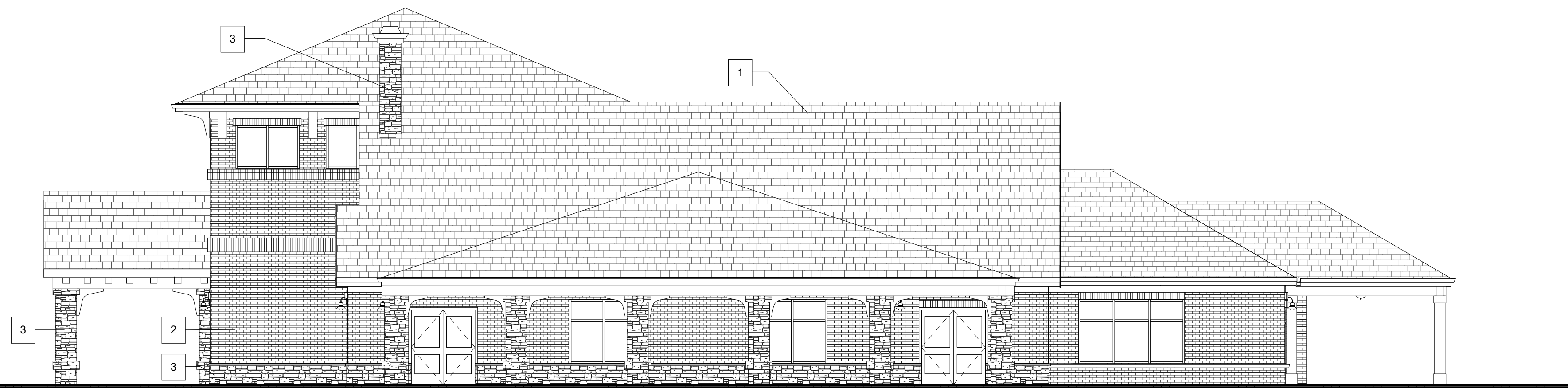
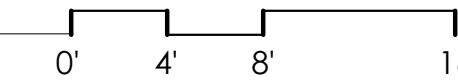
Landscape Architecture Provided by:
Gamble Design Collaborative, LLC
Greg Gamble, RLA
144 Southeast Parkway, Suite 200
Franklin, Tennessee 37064
615.975.5765
greggamble209@gmail.com

LANDSCAPE DETAILS
L3.0

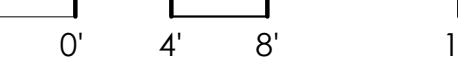
LANDSCAPE DETAILS



1 SOUTH ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"



MATERIALS PROPORTION LEGEND

SOUTH ELEVATION

GROSS AREA OF WALL	2,331 sf	N/A
NET AREA OF WALL	1,568 sf	N/A
NET BRICK VENEER AREA	729 sf	46%
NET WOOD AREA	301 sf	19 %
NET STONE VENEER AREA	538 sf	35 %

EAST ELEVATION

GROSS AREA OF WALL	1,415 sf	N/A
NET AREA OF WALL	1,083 sf	N/A
NET BRICK VENEER AREA	932 sf	86%
NET WOOD AREA	0 sf	0
NET STONE VENEER AREA	151 sf	14 %

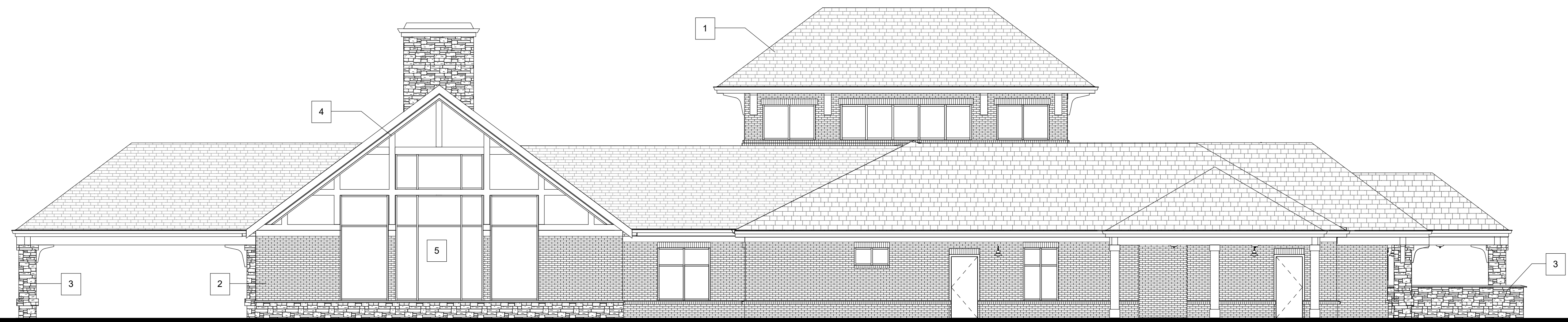
MATERIALS LEGEND

- 1** ARCHITECTURAL SHINGLE ROOF
- 2** BRICK VENEER - RED
- 3** STONE VENEER - TANNISH GREY
- 4** FIBER CEMENT PANELS (CRAFTSMAN GREEN) & WOOD BATTENS - CHERRY FIN.
- 5** ALUM. CLAD WINDOWS

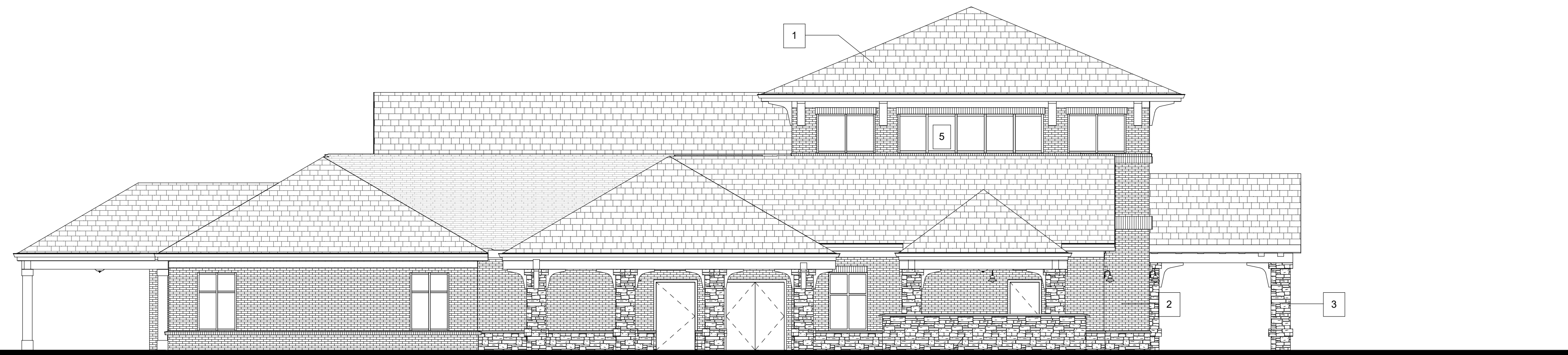
THESE ELEVATIONS HAVE BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE CITY OF FRANKLIN'S ARCHITECTURAL DESIGN STANDARDS AND TO MEET THE APPROVAL OF THE PLANNING COMMISSION AND SECTION 5.3 OF THE ZONING ORDINANCE. CHANGES SHALL NOT BE MADE TO THE APPROVED ELEVATIONS UNLESS APPROVED BY EITHER THE BNS/CODES DIRECTOR OR THE PLANNING COMMISSION.

FRANKLIN CODES DEPARTMENT (615) 794-7012
FRANKLIN PLANNING DEPARTMENT (615) 791-3212





1 NORTH ELEVATION
1/8" = 1'-0"



2 WEST ELEVATION
1/8" = 1'-0"

MATERIALS PROPORTION LEGEND

NORTH ELEVATION

GROSS AREA OF WALL	1,913 sf	N/A
NET AREA OF WALL	1,408 sf	N/A
NET BRICK VENEER AREA	1,017 sf	72%
NET WOOD AREA	196 sf	14%
NET STONE VENEER AREA	195 sf	14 %

WEST ELEVATION

	SURFACE AREA	% OF NET
GROSS AREA OF WALL	1,384 sf	N/A
NET AREA OF WALL	1,113 sf	N/A
NET BRICK VENEER AREA	969 sf	87%
NET WOOD AREA	0 sf	0
NET STONE VENEER AREA	144 sf	13 %

MATERIALS LEGEND

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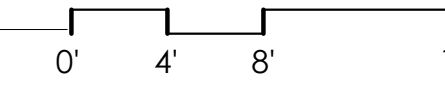
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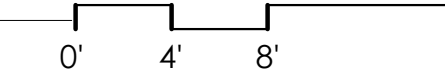




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LAND SOLUTIONS
COMPANY, LLC
2925 Berry Hill Drive, Nashville, TN 37204

STUDIO
906 ARCHITECTS
13175-A Avenue South
Franklin, TN 37068
615.888.8006
906studio.com

A Family Legacy Subdivision
Building Elevations
Being Parcels 73.00 & 74.01 on Tax Map 53
Franklin, Williamson County, Tennessee

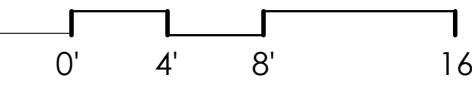
ISSUANCE/REVISION NOTES:
- PLAN DATE: November 11, 2015
- ELEVATION DATE: March 14, 2016



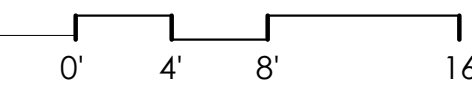
BUILDING
ELEVATIONS
A3.0
SHEET 3 OF 4



1 NORTH ELEVATION
1/8" = 1'-0"



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BUILDING
ELEVATIONS

A4.0

SHEET 4 OF 4