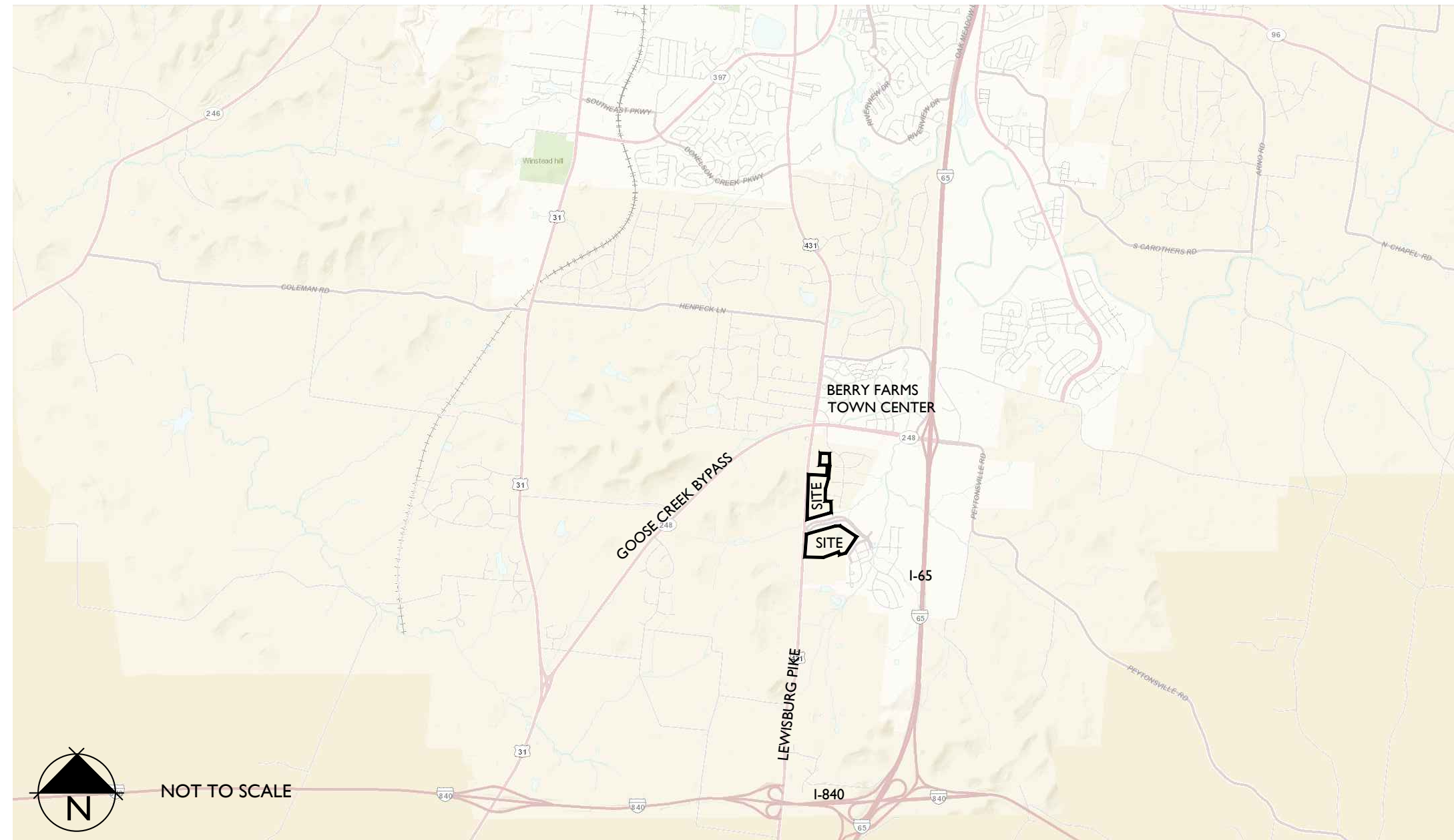


SOUTHBROOKE PUD SUBDIVISION DEVELOPMENT PLAN

SD-R (2.74) (SPECIFIC DEVELOPMENT - RESIDENTIAL)
FRANKLIN, WILLIAMSON COUNTY, TENNESSEE



PARCEL OWNERS

117---01901 & 117---01902
MARVIN PRATT LIMITED PARTNERSHIP
MARY BUSH GENERAL PARTNER
3824 NEW HIGHWAY 96 WEST
FRANKLIN, TN 37064

APPLICANT & LANDSCAPE ARCHITECT:

GAMBLE DESIGN COLLABORATIVE
GREG GAMBLE
324 LIBERTY PIKE
SUITE 145
FRANKLIN, TN 37064
615-975-5765
greg.gamble@gdc-tn.com

ENGINEER:

LAND SOLUTIONS COMPANY
KEVIN ESTERS
2925 BERRY HILL DRIVE
SECOND FLOOR
NASHVILLE, TN 37204
615-712-7497
kevin@landsolutionsco.com

BUILDER:

FORD CLASSIC HOMES
MIKE FORD
390 MALLORY STATION ROAD
SUITE 100
FRANKLIN, TN 37067
615-503-9727
mike.ford@mikefordbuilders.com

SURVEYOR:

WILSON & ASSOCIATES
JOEY WILSON
108 BEASLEY DRIVE
FRANKLIN, TN 37064
615-794-2275
jwilson@wilsonpc.com

PARCELS

117---01901, 117---01902

STATEMENT OF IMPACTS

WATER FACILITIES
WATER SERVICE WILL BE PROVIDED BY HB & TS. THE WATER MAINS ARE LOCATED ALONG CAROTHERS PARKWAY AND LIBERTY PIKE.
205 UNITS x 350 GPD = 71,750 GPD

SEWER FACILITIES
SEWER SERVICE WILL BE PROVIDED BY THE CITY OF FRANKLIN.

REPURIFIED (REUSE) WATER FACILITIES
NOT AVAILABLE TO THIS SITE.

POLICE, FIRE, AND RECREATIONAL FACILITIES
NEAREST POLICE STATION: 5.5 MI (FRANKLIN POLICE DEPARTMENT)
NEAREST FIRE STATION: 1.9 MI (FRANKLIN FIRE DEPARTMENT STATION 7)
NEAREST RECREATIONAL FACILITY: 0.8 MI (HUGHES MILL PARK)

PROJECTED STUDENT POPULATION
205 x 0.64 = 132 STUDENTS

REFUSE STORAGE AND SANITATION COLLECTION FACILITIES
REFUSE COLLECTION FOR THE DEVELOPMENT SHALL BE PROVIDED BY COF

STREET NETWORK
THE MAJOR THOROUGHFARE PLAN INDICATES LEWISBURG PIKE AS A MAJOR ARTERIAL. THIS ROAD IS THE MAIN ACCESS TO THE DEVELOPMENT AND EXTENDS NORTH-SOUTH THROUGH THE DEVELOPMENT CONNECTING AT GOOSE CREEK BYPASS TO THE NORTH AND I-840 TO THE SOUTH.

DRAINAGE FACILITIES
POST-CONSTRUCTION STORMWATER WILL HAVE NO ADDITIONAL IMPACT ON THE SURROUNDING DRAINAGE BASINS. STORMWATER BMPs WILL BE USED TO MAINTAIN OR DECREASE EXISTING STORMWATER FLOWS.

SHEET INDEX

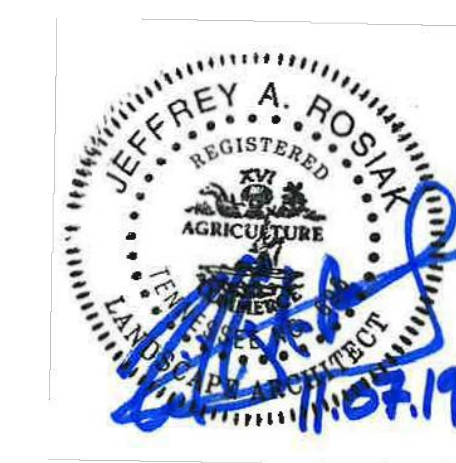
C1.0	OVERALL EXISTING CONDITIONS
C1.1	AREA 'A' EXISTING CONDITIONS ENLARGEMENT
C1.2	AREA 'B' EXISTING CONDITIONS ENLARGEMENT
C2.0	OVERALL DEVELOPMENT PLAN
C2.1	AREA 'A' DEVELOPMENT PLAN ENLARGEMENT
C2.11	AREA 'A' FORMAL OPEN SPACE ENLARGEMENTS
C2.2	AREA 'B' DEVELOPMENT PLAN ENLARGEMENT
C2.21	AREA 'B' FORMAL OPEN SPACE ENLARGEMENTS
C2.3	OPEN SPACE EXHIBIT
C3.0	OVERALL GRADING AND DRAINAGE PLAN
C3.1	AREA 'A' GRADING AND DRAINAGE PLAN
C3.2	AREA 'B' GRADING AND DRAINAGE PLAN
C4.1	AREA 'A' ACCESS PLAN
C4.2	AREA 'B' ACCESS PLAN
C4.3	ROADWAY TYPICAL SECTIONS
C4.4	AREA 'A' AUTO TURN
C4.5	AREA 'B' AUTO TURN
C5.0	OVERALL SITE UTILITY PLAN
C5.1	AREA 'A' SITE UTILITY PLAN
C5.2	AREA 'B' SITE UTILITY PLAN
C5.3	OFFSITE SEWER
A1.0	TYPICAL ARCHITECTURE DETACHED
A1.1	TYPICAL ARCHITECTURE ATTACHED

SOUTHBROOKE PUD SUBDIVISION

SITE DATA

SUBDIVISION:	SOUTHBROOKE PUD SUBDIVISION
COF PROJECT NUMBER:	7110
ADDRESS:	LEWISBURG PIKE
CITY:	FRANKLIN
COUNTY:	WILLIAMSON
STATE:	TENNESSEE
CIVIL DISTRICT:	10TH
EXISTING SITE ACREAGE:	74.95 AC
EXISTING ZONING:	MGA-1 (WILLIAMSON COUNTY)
PROPOSED ZONING:	SD-R (2.74)
CHARACTER OVERLAY:	GCCO-5
OTHER APPLICABLE OVERLAYS:	HHO BUFFER
APPLICABLE DEVELOPMENT STANDARDS:	EITHER (CONVENTIONAL APPLIED)

*NOTE: COMPREHENSIVE REVIEW OF THE ROADWAY, STORMWATER, AND UTILITY ELEMENTS BY THE CITY OF FRANKLIN WILL OCCUR AT THE SITE PLAN STAGE. PROJECT ENTITLEMENTS APPROVED WITH THIS DEVELOPMENT PLAN DO NOT CONSTITUTE APPROVAL OF THE ROADWAY, STORMWATER, AND UTILITY ELEMENTS SHOWN ON THE DEVELOPMENT PLAN. UPON APPLICATION OF CITY OF FRANKLIN STREET, STORMWATER, AND UTILITY STANDARDS AT THE SITE PLAN STAGE, THE APPLICANT CANNOT ACHIEVE THE MAXIMUM APPROVED ENTITLEMENTS. THE APPLICANT SHALL BE CONFINED TO THE ENTITLEMENTS ACHIEVABLE FROM THE APPLICATION OF SAID STANDARDS.

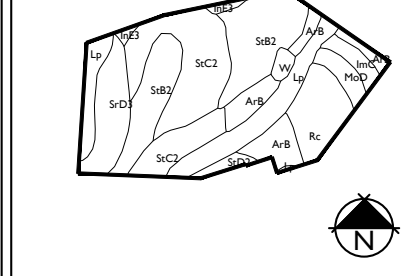


PRE-APP SUBMITTAL: 09.30.2019
INITIAL SUBMITTAL: 10.14.2019
RESUBMITTAL: 11.07.2019
ONE STOP:



SOIL MAP - N.T.S.

Table with soil types (A8B, A82, CaB, Ca2, DoC2, InC, In3C, In4C, In5C, In6C, In7C, In8C, In9C, In10C, In11C, In12C, In13C, In14C, In15C, In16C, In17C, In18C, In19C, In20C, In21C, In22C, In23C, In24C, In25C, In26C, In27C, In28C, In29C, In30C, In31C, In32C, In33C, In34C, In35C, In36C, In37C, In38C, In39C, In40C, In41C, In42C, In43C, In44C, In45C, In46C, In47C, In48C, In49C, In50C, In51C, In52C, In53C, In54C, In55C, In56C, In57C, In58C, In59C, In60C, In61C, In62C, In63C, In64C, In65C, In66C, In67C, In68C, In69C, In70C, In71C, In72C, In73C, In74C, In75C, In76C, In77C, In78C, In79C, In80C, In81C, In82C, In83C, In84C, In85C, In86C, In87C, In88C, In89C, In90C, In91C, In92C, In93C, In94C, In95C, In96C, In97C, In98C, In99C, In100C) and their descriptions.



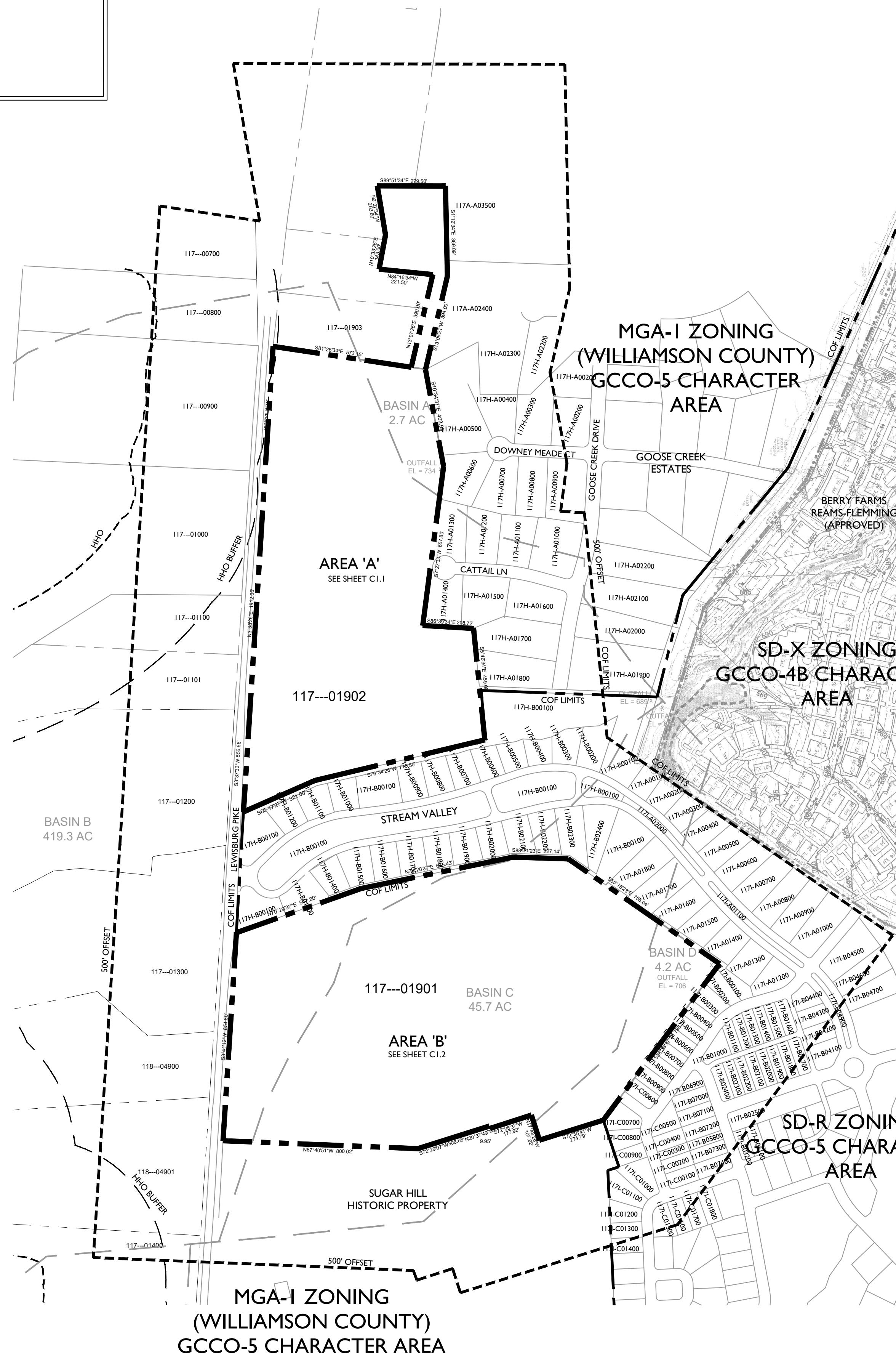
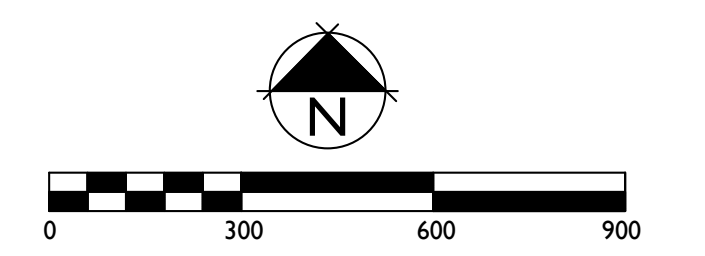
STORMWATER NARRATIVE

Basin A: Basin A sheet flows to the low point along the property line and continues to seep flow into Goose Creek Subdivision. Basin Area: 2.7 Acres. Outfall Elevation: 734. Basin B: Basin B flows to two wet weather conveyances to a small pond. Basin Area: 419.3 Acres. Outfall Elevation: 689. Basin C: Basin C flows to a stream which becomes a wet weather conveyance prior to entering a small pond. Basin Area: 45.7 Acres. Outfall Elevation: 689. Basin D: Basin D sheet flows to a low point at the east corner of the property and continues into the Stream Valley Subdivision. Basin Area: 4.2 Acres. Outfall Elevation: 706.

EXISTING TREE CANOPY

Table with columns for Tree Area A, Tree Area B, and Total. Existing canopy is 238,837 SF (11% of total site). Required canopy preservation is 192,464 SF (54% of total canopy).

- NOTES: 1. THERE ARE NO FLOODPLAINS EXISTING ON THE SITE BASED ON FEMA MAPS. 2. AERIAL PHOTO, PARCEL LINES AND TOPOGRAPHIC INFORMATION PROVIDED BY CITY OF FRANKLIN, TN. 3. SITE BOUNDARY CALLS PROVIDED BY WILSON & ASSOCIATES. 4. NO THIRD PARTY MINERAL RIGHTS ARE ASSOCIATED WITH THIS PROPERTY.



ADJACENT PROPERTY OWNERS

Table listing adjacent property owners with columns for Parcel Number, Property Address, Owner Name, Owner Street, Owner City, and Owner Zip.

SITE DATA CHART

Table with project details: Project Name (SOUTH BROOKE), Project # (7110), Address (LEWISBURG PIKE), County (FRANKLIN), Civil District (10TH), Existing Zoning (MGA-1), Proposed Zoning (SD-R (2.7A)), etc.

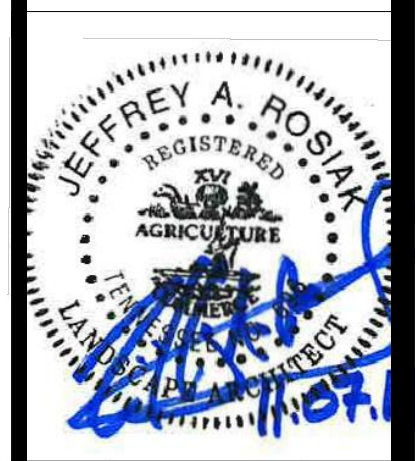
Table for Parcel Owners: Parcel # (117-01901 & 117-01902), Owner (MARVIN PRATT LIMITED PARTNERSHIP), Address (324 LIBERTY PIKE), Contact (GREG GAMBLE).

LEGAL DESCRIPTIONS: PROPERTY DESCRIPTION MARVIN H. PRATT FAMILY LIMITED PARTNERSHIP. PARCEL 1901, WILLIAMSON COUNTY PROPERTY MAP 117. LAND IN THE TENTH COUNCILMANIC DISTRICT OF WILLIAMSON COUNTY, TENNESSEE. SAID PARCEL IS BOUNDED ON THE NORTH BY THE STREAM VALLEY SECTION 1 AS OF RECORD IN BOOK P46, PAGE 101, REGISTERS OFFICE FOR WILLIAMSON COUNTY, TENNESSEE (R.O.W.C.), ON THE EAST BY STREAM VALLEY SECTION 2 AS OF RECORD IN BOOK P50, PAGE 79, R.O.W.C., AND STREAM VALLEY SECTION 3 OF RECORD IN BOOK P51, PAGE 33, R.O.W.C., ON THE SOUTH BY WALTER T. BATES AND MARY JO BATES AS OF RECORD IN BOOK 551, PAGE 338, AND ON THE WEST BY LEWISBURG PIKE (U.S. HWY 431, R.O.W. VARIES), SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT AN IRON PIN IN THE EAST RIGHT OF WAY OF LEWISBURG PIKE (U.S. HIGHWAY 431 - ROW VARIES), SAID IRON ROD BEING THE SOUTHWEST CORNER OF STREAM VALLEY SECTION 1 AND THE NORTHWEST CORNER OF THE HEREIN DESCRIBED TRACT; THENCE LEAVING LEWISBURG PIKE WITH THE SOUTH LINE OF STREAM VALLEY SECTION 1 BEING THE NORTH LINES OF SAID HEREIN DESCRIBED PARCEL FOR THE FOLLOWING CALLS: NORTH 70°29'37" EAST, FOR 542.80' TO AN IRON PIN; NORTH 78°20'37" EAST, FOR 635.43' TO AN IRON POST; SOUTH 88°11'23" EAST, FOR 227.14' TO AN IRON POST AT THE CORNER OF STREAM VALLEY SECTION 2; THENCE WITH STREAM VALLEY SECTION 2, SOUTH 55°16'23" EAST, FOR 755.04' TO A CAPPED IRON PIN (FOUND); THENCE WITH STREAM VALLEY SECTION 3, SOUTH 36°38'37" WEST, FOR 798.73' TO AN IRON PIN, SAID IRON PIN BEING THE NORTHEAST CORNER OF WALTER T. BATES AND MARY JO BATES; THENCE WITH BATES' NORTH LINES FOR CALLS AS FOLLOWS: SOUTH 73°35'41" WEST, FOR 274.79' TO A FENCE CORNER (FOUND); NORTH 17°48'26" WEST, FOR 107.92' TO AN IRON POST; SOUTH 72°08'17" WEST, FOR 177.92' TO AN IRON PIN; NORTH 20°37'49" WEST, FOR 9.95' TO AN IRON POST; SOUTH 72°29'07" WEST, FOR 306.68' TO AN IRON POST; NORTH 87°49'51" WEST, FOR 800.02' TO AN IRON PIN IN THE EAST RIGHT OF WAY OF LEWISBURG PIKE; THENCE, WITH SAID RIGHT OF WAY OF LEWISBURG PIKE, NORTH 03°41'12" EAST, FOR 854.80' TO THE POINT OF BEGINNING AND CONTAINING 41.92 ACRES OR 1,825,907.6 SQUARE FEET, MORE OR LESS, ACCORDING TO A SURVEY BY WILSON AND ASSOCIATES, P.C. IN AUGUST OF 2018.

PROPERTY DESCRIPTION MARVIN H. PRATT FAMILY LIMITED PARTNERSHIP. PARCEL 1902, WILLIAMSON COUNTY PROPERTY MAP 117. LAND IN THE TENTH COUNCILMANIC DISTRICT OF WILLIAMSON COUNTY, TENNESSEE. SAID PARCEL IS BOUNDED ON THE NORTH BY THE HAWKMAN HWANG AND WIFE, KYUNGHEE HWANG, AS OF RECORD IN BOOK 1202, PAGE 233, IN THE REGISTER'S OFFICE FOR WILLIAMSON COUNTY, TENNESSEE (R.O.W.C.), AND ON THE EAST BY GOOSE CREEK ESTATES SECTION 1 AND 2, BOOK P23, PAGE AND BOOK P25, PAGE 120 RESPECTIVELY, AND BY STREAM VALLEY SECTION 1 (BOOK P46, PAGE 101) ON THE EAST AND SOUTH, AND BY LEWISBURG PIKE (U.S. HWY 431 - R.O.W. VARIES) ON THE WEST; SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT AN IRON PIN (FOUND) IN THE EAST RIGHT OF WAY OF LEWISBURG PIKE (U.S. HIGHWAY 431 - ROW VARIES), SAID IRON PIN BEING THE SOUTHWEST CORNER OF HAWKMAN HWANG AND WIFE, KYUNGHEE HWANG AND BEING A NORTHWEST CORNER OF THE HEREIN DESCRIBED TRACT; THENCE, LEAVING LEWISBURG PIKE WITH THE SOUTH LINE OF HWANG, SOUTH 81°26'34" EAST, FOR 573.15' TO AN IRON POST AT THE SOUTHEAST CORNER OF HWANG; THENCE, CONTINUING WITH HWANG FOR THE FOLLOWING CALLS: NORTH 13°07'26" EAST, FOR 390.00' TO AN IRON PIN; NORTH 84°16'34" WEST, FOR 221.50' TO AN IRON POST; NORTH 10°34'37" EAST, FOR 143.00' TO AN IRON PIN; NORTH 09°27'34" WEST, FOR 203.80' TO AN IRON PIN; SOUTH 89°51'04" EAST, FOR 279.50' TO AN IRON PIN IN THE WEST LINE OF GOOSE CREEK ESTATES SECTION 1, AS OF RECORD IN BOOK P24, PAGE 10, R.O.W.C.; THENCE, WITH SAID WEST LINE OF GOOSE CREEK ESTATES SECTION 1 FOR THE FOLLOWING CALLS: SOUTH 01°12'34" EAST, FOR 369.09' TO AN IRON PIN; SOUTH 13°09'21" WEST, FOR 394.00' TO AN IRON PIN (FOUND) IN THE WEST LINE OF GOOSE CREEK ESTATES SECTION 1, AS OF RECORD IN BOOK P24, PAGE 10, R.O.W.C.; SOUTH 10°34'37" EAST, FOR 403.59' TO A CAPPED IRON PIN (FOUND); SOUTH 07°27'33" WEST, FOR 657.80' TO A FENCE CORNER (FOUND); SOUTH 86°39'34" EAST, FOR 208.72' TO AN IRON PIN; SOUTH 05°46'34" EAST, FOR 459.06' TO A FENCE CORNER (FOUND) AT A CORNER OF STREAM VALLEY SUBDIVISION SECTION 1 AS OF RECORD IN BOOK P46, PAGE 101, R.O.W.C.; THENCE, WITH THE NORTH LINES OF STREAM VALLEY SECTION 1 FOR THE FOLLOWING: SOUTH 76°34'26" WEST, FOR 715.55' TO AN IRON PIN; SOUTH 46°17'26" WEST, FOR 321.00' TO AN IRON PIN IN THE EAST RIGHT OF WAY OF LEWISBURG PIKE; THENCE, NORTH 03°38'26" EAST, FOR 1912.06' TO THE POINT OF BEGINNING, AND CONTAINING 33.04 ACRES OR 1,439,059.93 SQUARE FEET, ACCORDING TO A SURVEY BY WILSON & ASSOCIATES PERFORMED IN AUGUST OF 2018.



SOUTH BROOKE PUD SUBDIVISION DEVELOPMENT PLAN Franklin, Williamson County, Tennessee



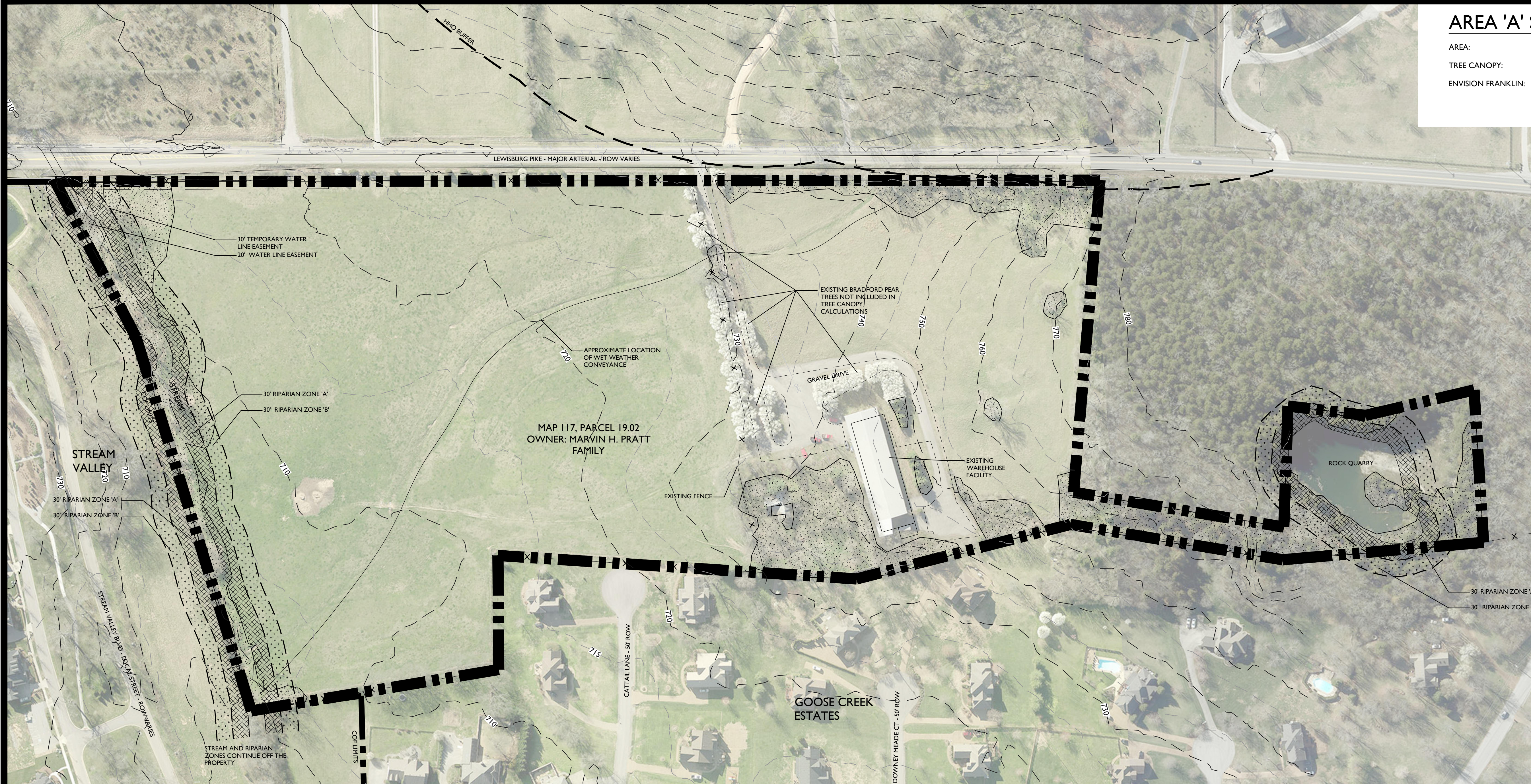
Revision table with columns for Revision Date and description. Includes 'OVERALL EXISTING CONDITIONS SHEET C1.0' and 'COF 7110'.

AREA 'A' SITE DATA CHART

AREA: 1,439,029 SF (33.03 AC)
 TREE CANOPY: 238,837 SF
 ENVISION FRANKLIN: SINGLE-FAMILY

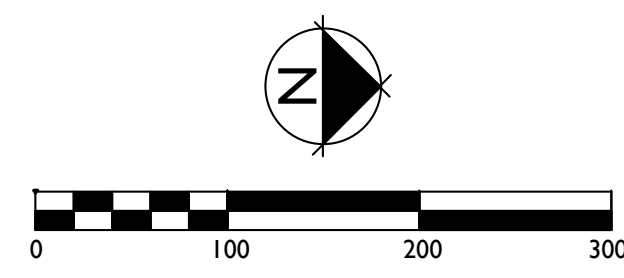


GAMBLE
 DESIGN COLLABORATIVE
 DEVELOPMENT PLANNING AND
 LANDSCAPE ARCHITECTURE



KEY

	EXISTING CANOPY
	RIPARIAN ZONE 'A'
	RIPARIAN ZONE 'B'



NOTES:

1. THERE ARE NO FLOODPLAINS EXISTING ON THE SITE BASED ON FEMA MAPS
2. AERIAL PHOTO, PARCEL LINES AND TOPOGRAPHIC INFORMATION PROVIDED BY CITY OF FRANKLIN G.I.S.
3. SITE BOUNDARY CALLS PROVIDED BY WILSON & ASSOCIATES.
4. NO THIRD PARTY MINERAL RIGHTS ARE ASSOCIATED WITH THIS PROPERTY.

**SOUTHBROOKE PUD SUBDIVISION
 DEVELOPMENT PLAN**
 Franklin, Williamson County, Tennessee

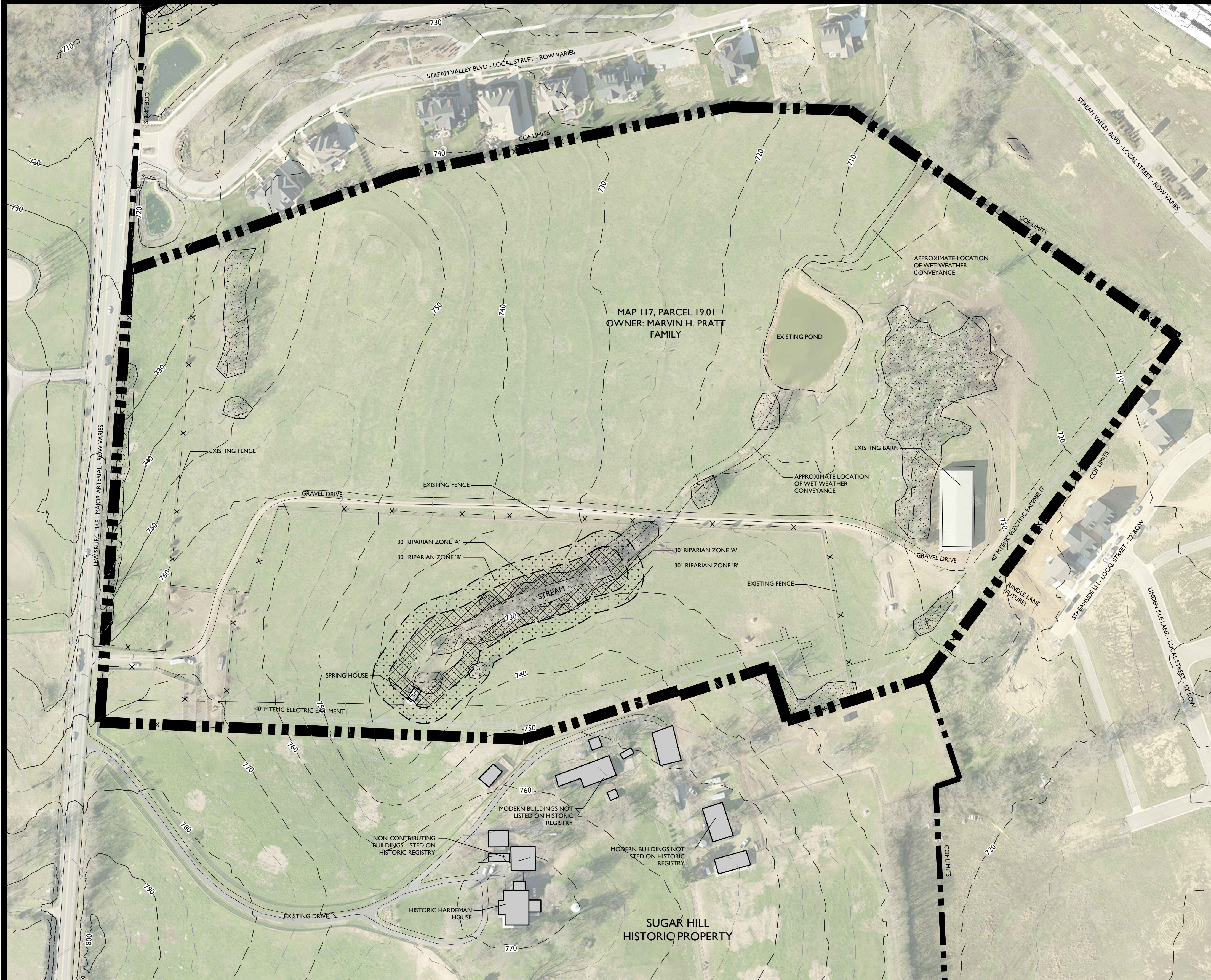


Revision Date

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AREA 'A' EXISTING
 CONDITIONS
 ENLARGEMENT

SHEET
CI.1
 COF 7110

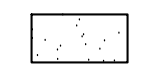
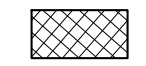
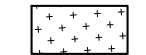


AREA 'B' SITE DATA CHART

AREA: 1,825,907 SF (41.92 AC)
 TREE CANOPY: 117,579 SF
 ENVISION FRANKLIN: CONSERVATION SUBDIVISION

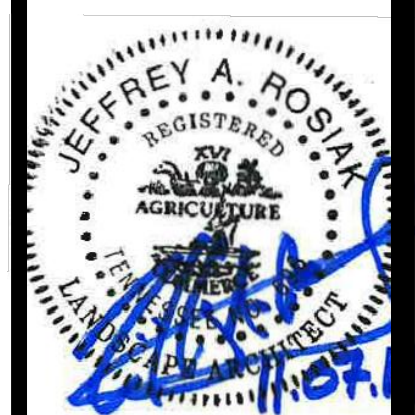


KEY

-  EXISTING CANOPY
-  RIPARIAN ZONE 'A'
-  RIPARIAN ZONE 'B'

NOTES:

1. THERE ARE NO FLOODPLAINS EXISTING ON THE SITE BASED ON FEMA MAPS
2. AERIAL PHOTO, PARCEL LINES AND TOPOGRAPHIC INFORMATION PROVIDED BY CITY OF FRANKLIN G.I.S.
3. SITE BOUNDARY CALLS PROVIDED BY WILSON & ASSOCIATES.
4. NO THIRD PARTY MINERAL RIGHTS ARE ASSOCIATED WITH THIS PROPERTY.

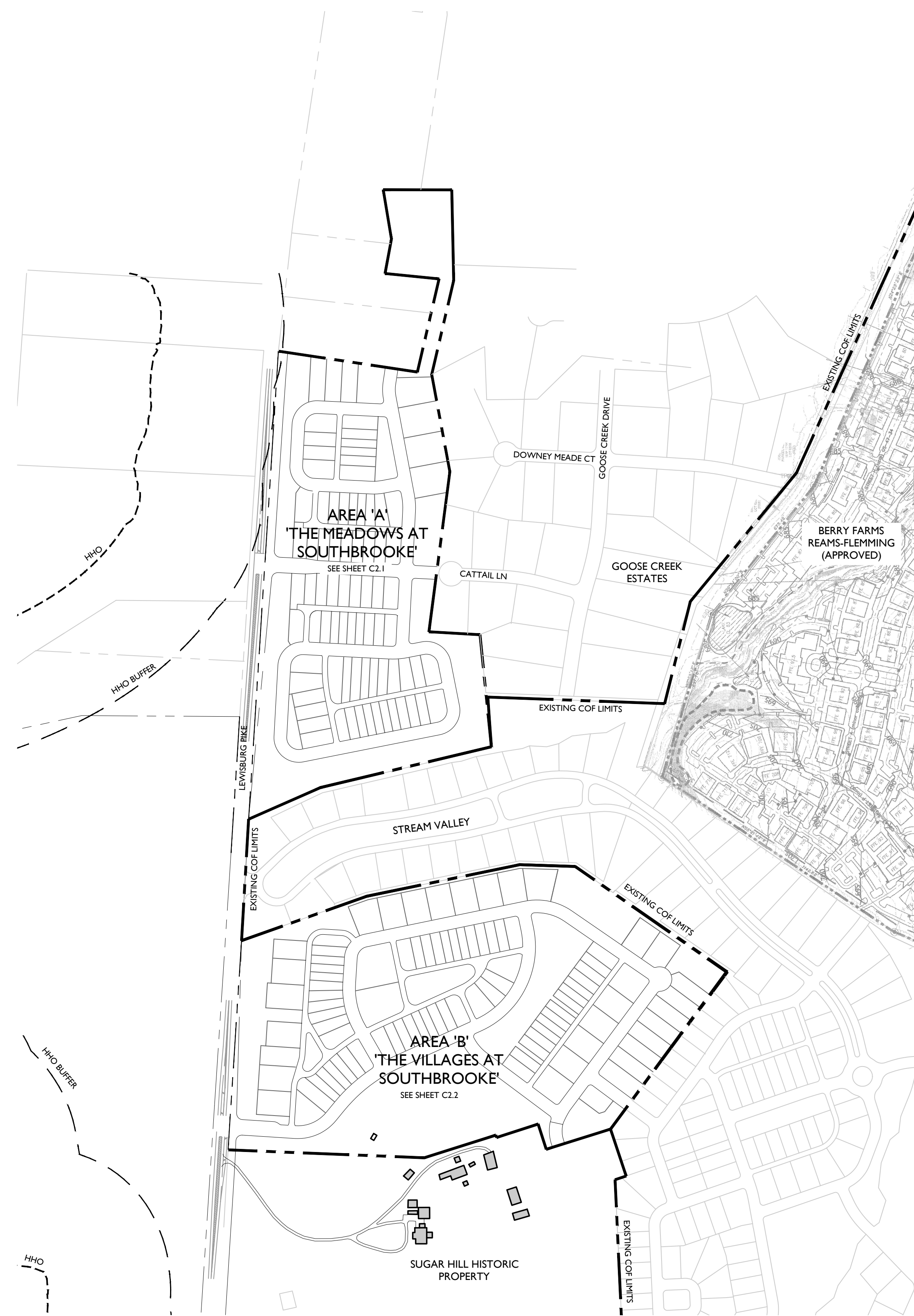


Revision Date

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△	_____
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△	_____

LOT BREAKDOWN

	DETACHED					TOTAL DETACHED	ATTACHED			TOTAL ATTACHED	AREA TOTAL
	34'-40'	41'-45'	45'-55'	56'-60'	61'+		24' (2-3 UNIT)	60' (4-UNIT)	90' (4-UNIT)		
AREA 'A'	19	13	21	10	19	82	0	0	0	0	82
AREA 'B'	23	22	5	5	21	76	47	0	0	47	123
UNIT TOTAL	42	35	26	15	40	158	47	0	0	47	205



OPEN SPACE REQUIREMENT

MINIMUM OPEN SPACE REQUIREMENT (PER ZO): 15%
 REQUIRED: 15% TOTAL = 489,745 SF
 34% FORMAL: 166,513 SF
 66% INFORMAL: 323,232 SF
 PROVIDED: FORMAL: 212,641 SF
 INFORMAL: 805,779 SF

LOT	CLASSIFICATION	TYPE	AREA (SF)
1000	INFORMAL	EXISTING QUARRY	121,521
1001	INFORMAL	LINEAR PARK	56,656
1002	FORMAL	RECREATIONAL AREA	16,840
1003	INFORMAL	BUFFER / STORMWATER	32,636
1004	INFORMAL	BUFFER / STORMWATER	255,480
1005	FORMAL	RECREATIONAL AREA	8,443
1006	INFORMAL	LINEAR PARK	194,400
1007	FORMAL	RECREATIONAL AREA	19,117
1008	FORMAL	RECREATIONAL AREA	26,995
1009	FORMAL	RECREATIONAL AREA	98,809*
1010	INFORMAL	OPEN AREA	7,800
1011	INFORMAL	BUFFER / PARKING	10,873
1012	FORMAL	RECREATIONAL AREA	183,692*
1013	INFORMAL	BUFFER	126,413

*NOTE: ONLY 50% OF THE TOTAL AREAS FOR LOTS 1009 & 1012 WERE USED TO MEET THE FORMAL OPEN SPACE REQUIREMENT (141,246 SF NOT COUNTED)

TREE CANOPY RETENTION

OVERALL SITE AREA = 3,264,966 SF (74.95 AC)

TREE AREA	EXISTING	PRESERVED
A	238,837 SF	155,060 SF
B	117,579 SF	37,948 SF
TOTAL SF	356,416 SF	193,008 SF
TOTAL ACRES	8.18 AC	4.43 AC

TREE CANOPY DATA:

TOTAL EXISTING TREE CANOPY: 356,416 SF, 9.19 AC (11% OF SITE)
 REQUIRED CANOPY PRESERVATION: 54% (192,464 SF, 4.41 AC)
 PROVIDED CANOPY PRESERVATION: 193,008 SF, 4.43 AC

TOTAL ACREAGE BY USE, PER PHASE:

PHASE 1
 41.92 AC TOTAL
 19.54 AC RESIDENTIAL (123 UNITS - 76 DETACHED, 47 ATTACHED)
 13.47 AC OPEN SPACE

PHASE 2
 33.03 AC TOTAL
 13.73 AC RESIDENTIAL (82 UNITS - 82 DETACHED)
 11.18 AC OPEN SPACE

SITE DATA CHART

PROJECT NAME: SOUTHBROOKE
 PROJECT #: 7110
 SUBDIVISION: THE MEADOWS AT SOUTHBROOKE THE VILLAGES AT SOUTHBROOKE
 ADDRESS: LEWISBURG PIKE
 CITY: FRANKLIN
 COUNTY: WILLIAMSON
 STATE: TENNESSEE
 CIVIL DISTRICT: 10
 EXISTING ZONING: MGA-1 (WILLIAMSON COUNTY)
 PROPOSED ZONING: SD-R (2.74)
 EXISTING CHARACTER AREA: GCCO-5
 OTHER APPLICABLE OVERLAYS: HHO BUFFER
 APPLICABLE DEVELOPMENT STANDARD: EITHER (CONVENTIONAL APPLIED)
 ACREAGE OF SITE: 74.95 AC
 MINIMUM SETBACKS: SEE ARCHITECTURE SHEETS A1.0 & A1.1
 MINIMUM SETBACKS ARE ESTABLISHED AS PART OF THE PUD

OWNERS:

117--01901 & 117--01902
 MARVIN PRATT LIMITED PARTNERSHIP
 MARY BUSH GENERAL PARTNER
 3824 NEW HIGHWAY 96 WEST
 FRANKLIN, TN 37064

APPLICANT: GAMBLE DESIGN COLLABORATIVE
 ADDRESS: 324 LIBERTY PIKE SUITE 145 (615) 975-5765
 PHONE: greg.gamble@gdc-tn.com
 EMAIL: GREG GAMBLE
 CONTACT:

TOTAL UNITS: 205
 ATTACHED: 47 (ALL 3BR)
 DETACHED: 158

BUILDING HEIGHT: 1 - 2.5 STORIES

REQUIRED LSR: 0.2
 PROVIDED LSR: 0.38

MINIMUM PARKING REQUIREMENT:
 2 / SF DETACHED: 316
 3 / 3BR+ ATTACHED: 141
 TOTAL: 457

EXISTING PARKING: NONE
 PROVIDED PARKING: 1,037

RESIDENTIAL DENSITY: 2.74 D.U.A.

PARKLAND DEDICATION FEE: \$882,320

STATEMENT OF IMPACTS

WATER FACILITIES
 WATER SERVICE WILL BE PROVIDED BY HB & TS. THE WATER MAINS ARE LOCATED ALONG CAROTHERS PARKWAY AND LIBERTY PIKE.
 205 UNITS x 350 GPD = 71,750 GPD

SEWER FACILITIES
 SEWER SERVICE WILL BE PROVIDED BY THE CITY OF FRANKLIN.

REPURIFIED (REUSE) WATER FACILITIES
 NOT AVAILABLE TO THIS SITE.

POLICE, FIRE, AND RECREATIONAL FACILITIES
 NEAREST POLICE STATION: 5.5 MI (FRANKLIN POLICE DEPARTMENT)
 NEAREST FIRE STATION: 1.9 MI (FRANKLIN FIRE DEPARTMENT STATION 7)
 NEAREST RECREATIONAL FACILITY: 0.8 MI (HUGHES MILL PARK)

PROJECTED STUDENT POPULATION
 205 x 0.64 = 132 STUDENTS

REFUSE STORAGE AND SANITATION COLLECTION FACILITIES
 REFUSE COLLECTION FOR THE DEVELOPMENT SHALL BE PROVIDED BY COF

RESTRICTIVE COVENANTS:
 A HOME OWNER'S ASSOCIATION WILL BE ESTABLISHED PRIOR TO THE FIRST OCCUPANCY OF RESIDENTS. THE HOA WILL REGULATE ARCHITECTURAL STANDARDS AND THE MAINTENANCE OF THE COMMUNITY. THE HOA WILL MAINTAIN ALL COMMON OPEN SPACE AND RECREATIONAL AREAS.



SOUTHBROOKE PUD SUBDIVISION DEVELOPMENT PLAN Franklin, Williamson County, Tennessee



Revision	Date
△	_____
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OVERALL DEVELOPMENT PLAN SHEET C2.0 COF 7110

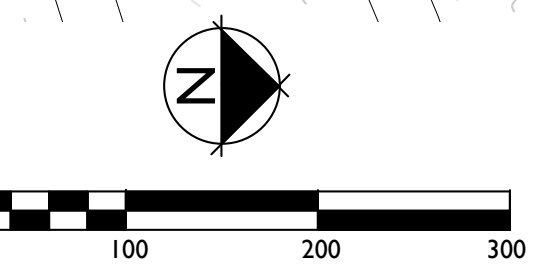
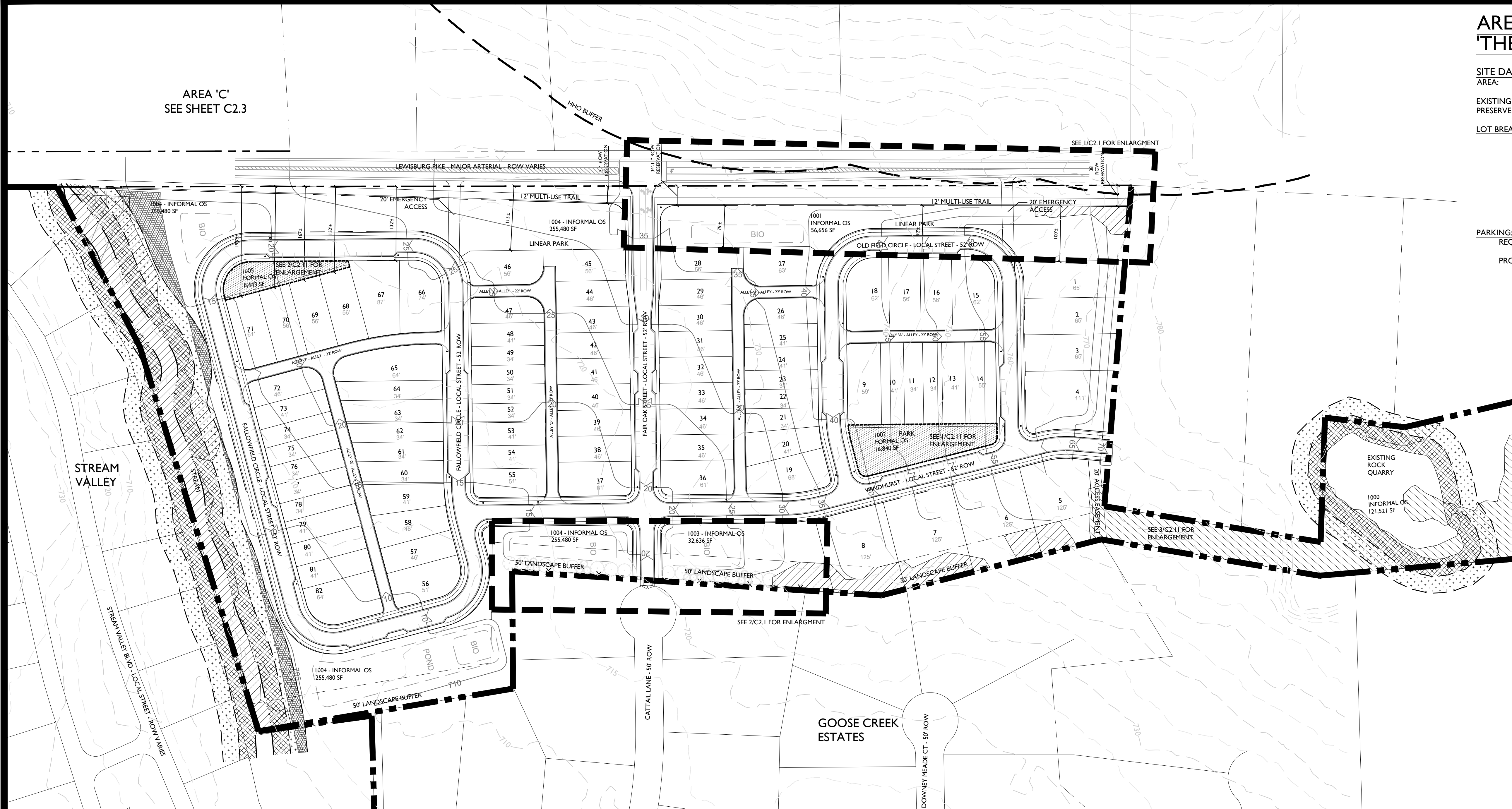
AREA 'A' 'THE MEADOWS AT SOUTHBROOKE'



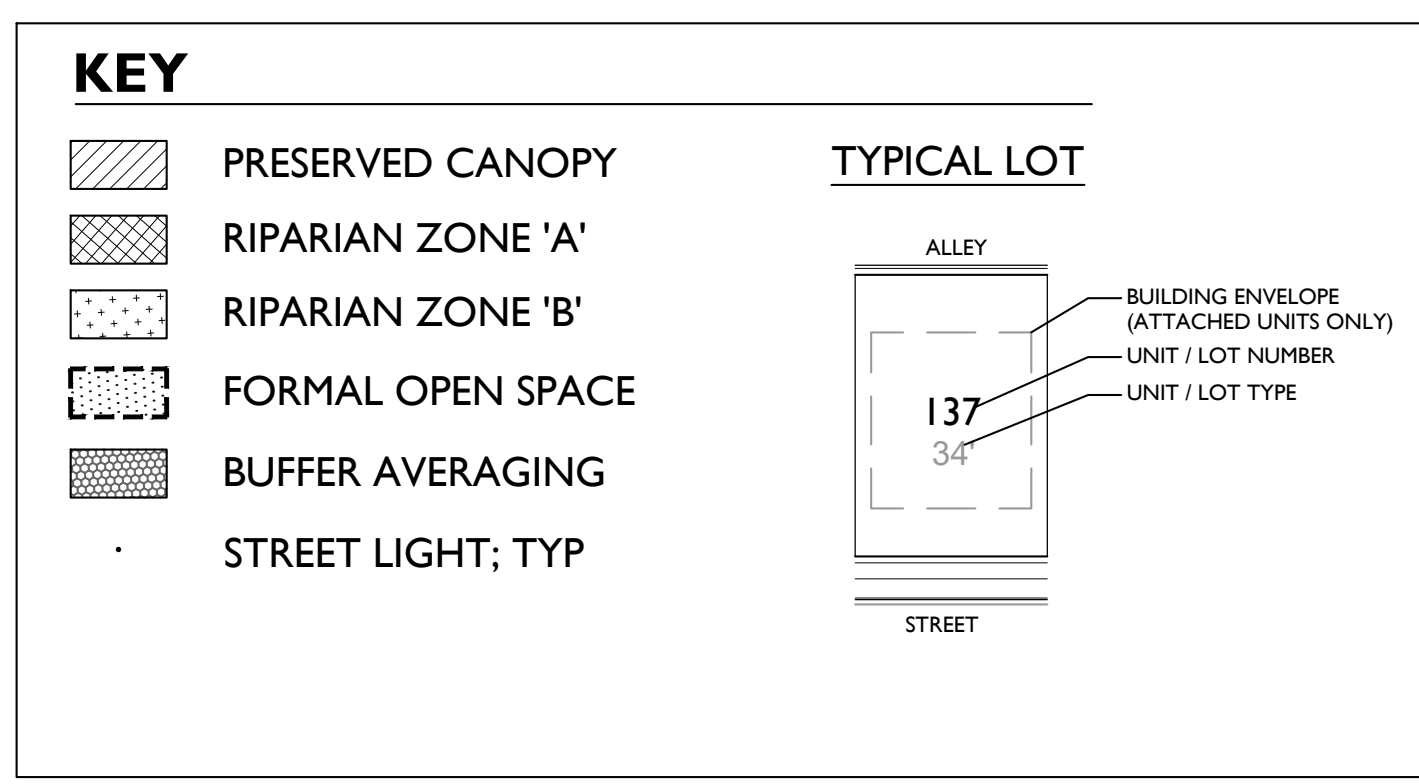
GAMBLE
DESIGN COLLABORATIVE
DEVELOPMENT PLANNING AND
LANDSCAPE ARCHITECTURE

SITE DATA CHART	
AREA:	1,439,029 SF (33.03 AC)
EXISTING TREE CANOPY:	238,837 SF
PRESERVED TREE CANOPY:	155,060 SF
LOT BREAKDOWN:	
DETACHED:	19
61'-:	10
56' - 60':	21
46' - 55':	13
41' - 44':	19
34' - 40':	19
TOTAL:	82
PARKING:	
REQUIRED SPACES (2/UNIT):	164
PROVIDED:	328
ON LOT:	88
ON STREET:	88
TOTAL:	416

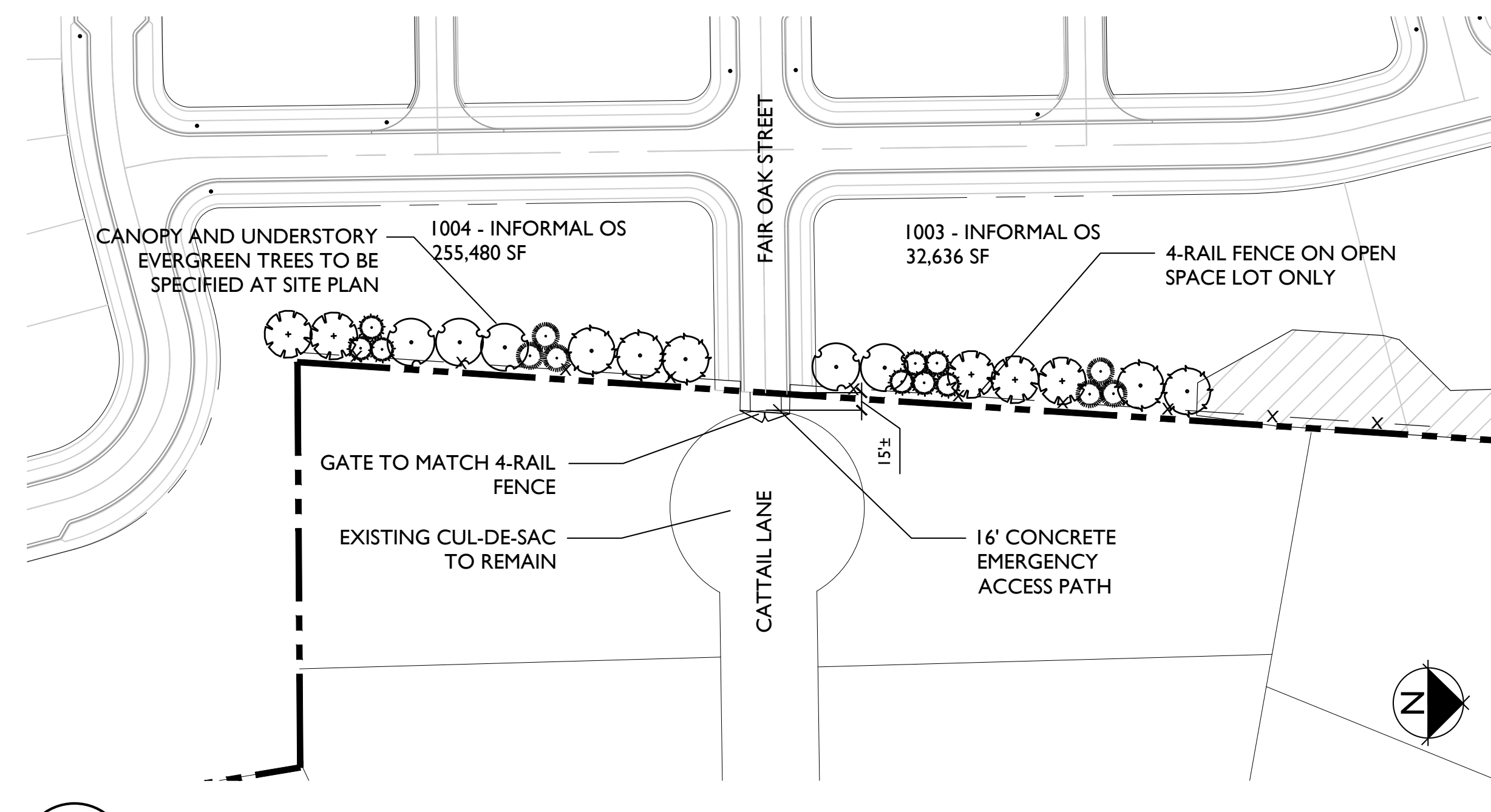
AREA 'C'
SEE SHEET C2.3



- NOTES:**
- THERE ARE NO FLOODPLAINS EXISTING ON THE SITE BASED ON FEMA MAPS
 - AERIAL PHOTO, PARCEL LINES AND TOPOGRAPHIC INFORMATION PROVIDED BY CITY OF FRANKLIN G.I.S.
 - SITE BOUNDARY CALLS PROVIDED BY WILSON & ASSOCIATES.
 - NO THIRD PARTY MINERAL RIGHTS ARE ASSOCIATED WITH THIS PROPERTY.



1 LINEAR PARK & BUFFER PLAN N.T.S.



2 EMERGENCY CONNECTION TO GOOSE CREEK ESTATES PLAN

SOUTHBROOKE PUD SUBDIVISION
'THE MEADOWS AT SOUTHBROOKE'
DEVELOPMENT PLAN

Franklin, Williamson County, Tennessee



Revision Date

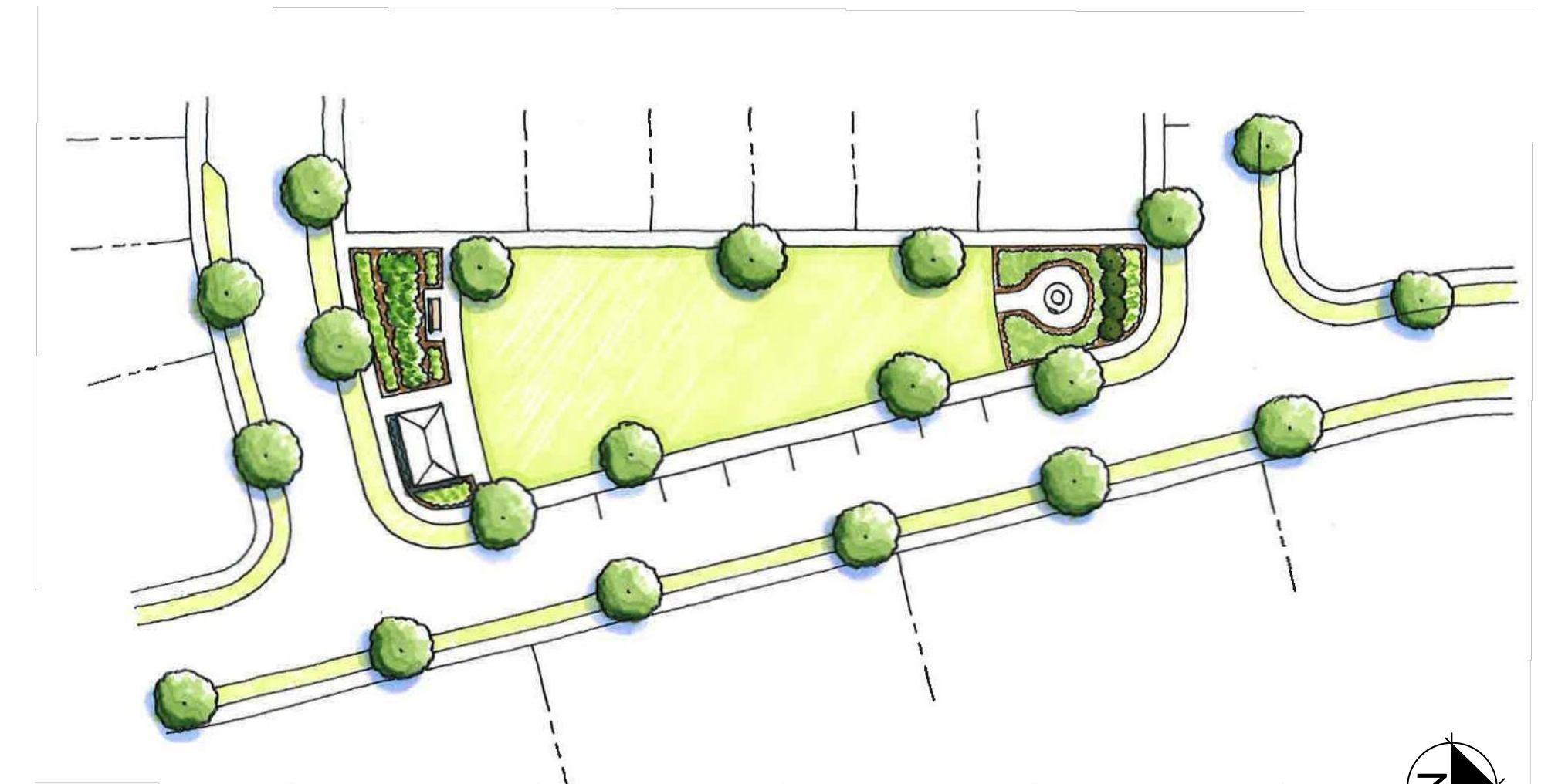
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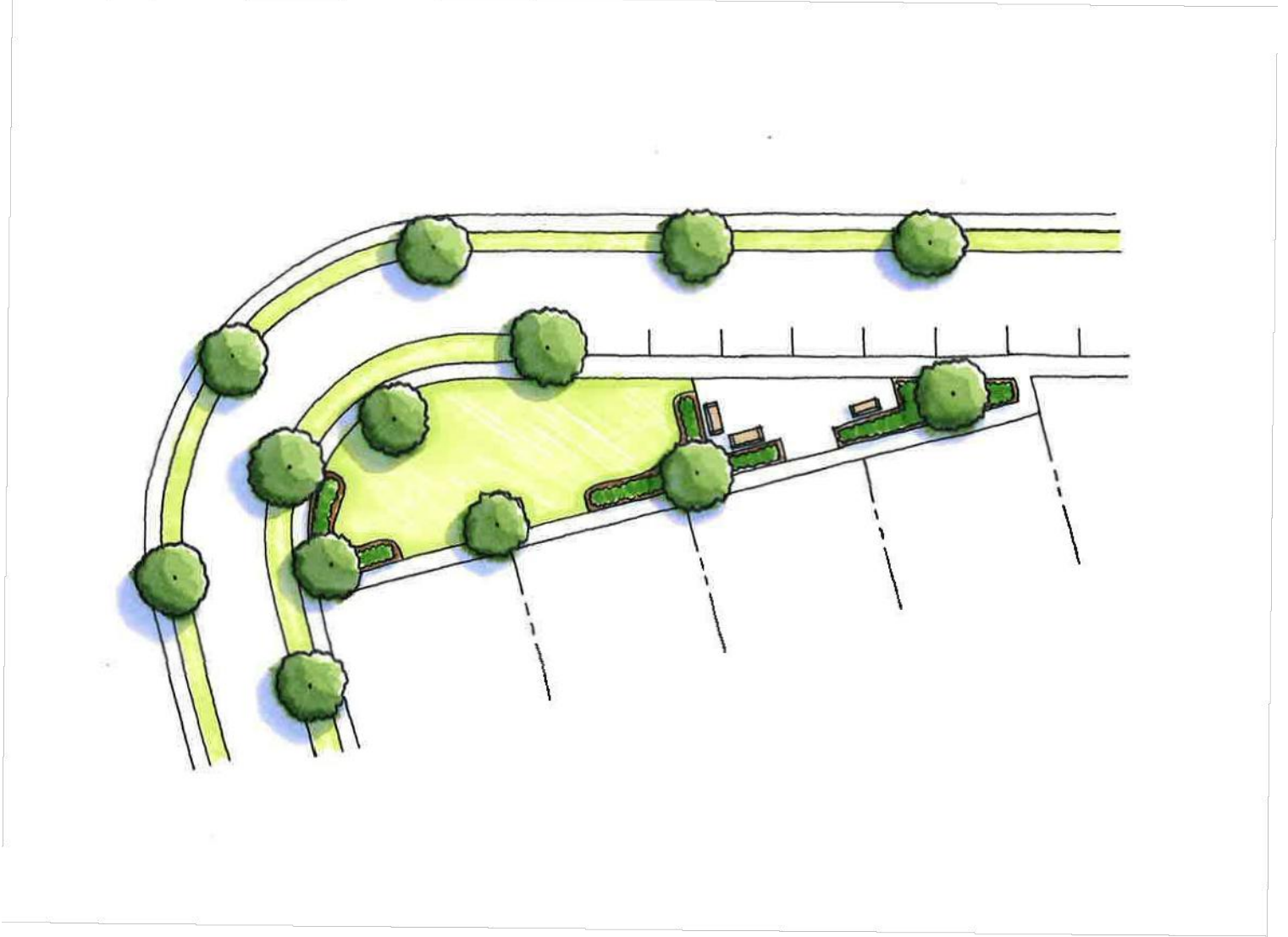
Revision Date

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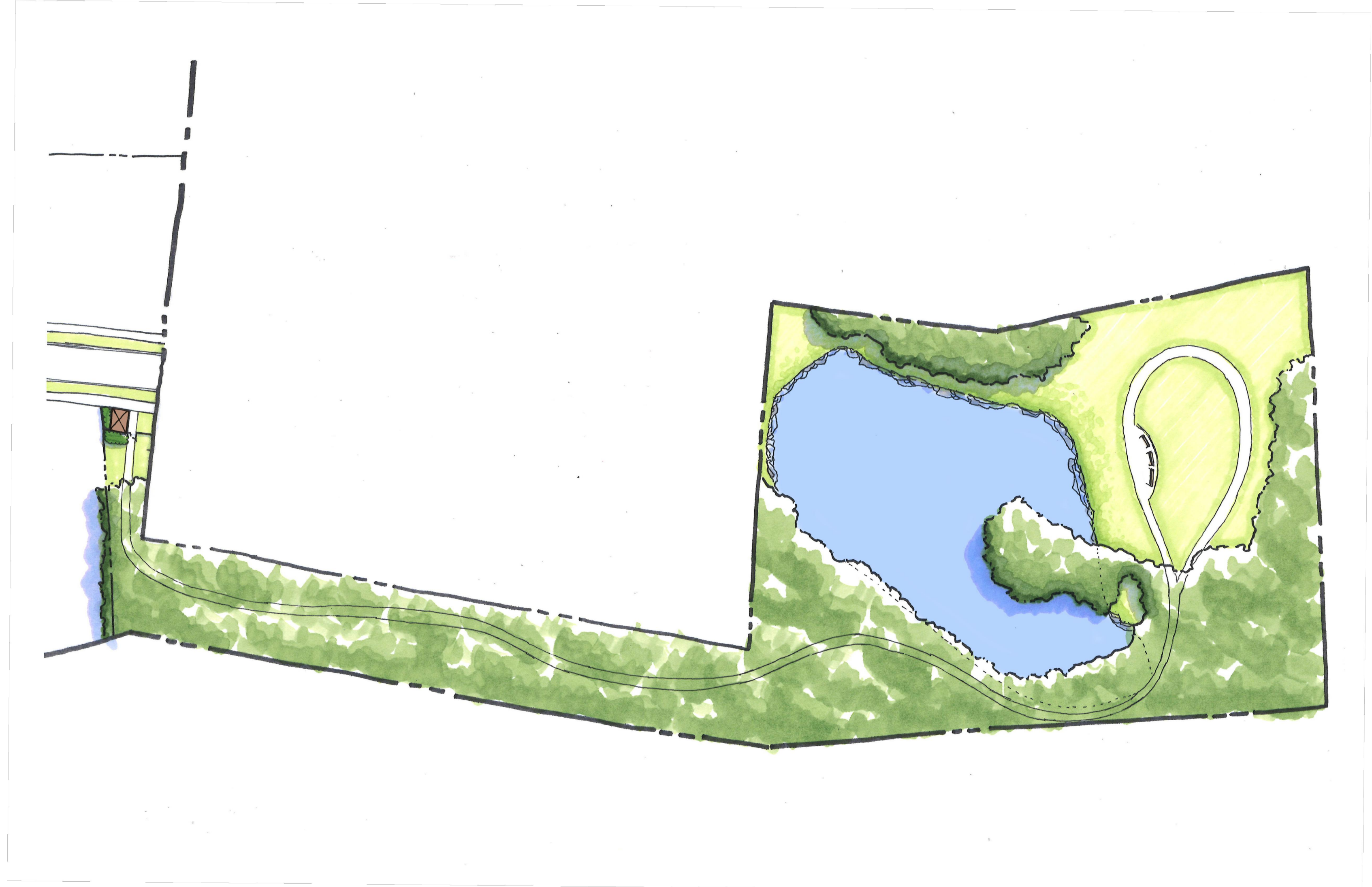
AREA 'A'
FORMAL OPEN SPACE
ENLARGEMENTS



1
C2.11
FORMAL OPEN SPACE LOT 1002
PLAN
N.T.S.



2
C2.11
FORMAL OPEN SPACE LOT 1005
PLAN
N.T.S.



3
C2.11
INFORMAL OPEN SPACE LOT 1000
PLAN
N.T.S.

AREA 'B'
'THE VILLAGES AT SOUTHBROOKE'

SITE DATA CHART

AREA:	1,825,907 SF (41.92 AC)
EXISTING TREE CANOPY:	109,070 SF (2.50 AC)
PRESERVED TREE CANOPY:	24,927 SF (0.57 AC)

LOT BREAKDOWN:

ATTACHED:	TOTAL:	47
24':	TOTAL:	47
DETACHED:		
61'+:	21	
56' - 60':	5	
46' - 55':	5	
41' - 44':	22	
34' - 40':	23	
TOTAL:		76
AREA TOTAL:		123

PARKING:

REQUIRED SPACES:		
2 / DETACHED UNIT:		152
3 / ATTACHED (3BR UNITS):		141
TOTAL REQUIRED:		293
PROVIDED:		
2 / DETACHED LOT (MIN):		304
4 / ATTACHED LOT (2 GARAGE, 2 TANDEM):		188
ON-STREET:		100
OFF-STREET:		39
TOTAL SPACES:		631

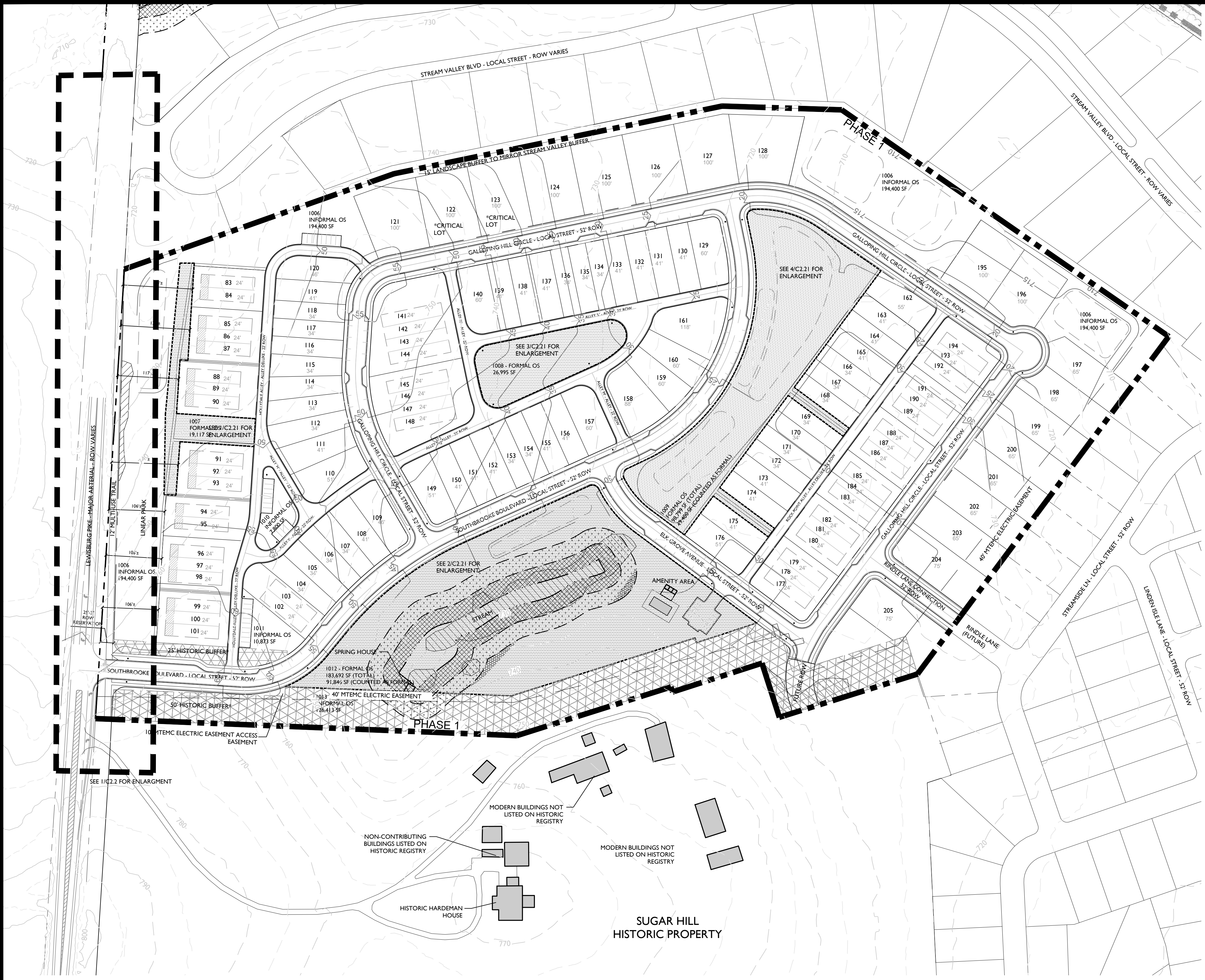
OPEN SPACE:

TOTAL OPEN SPACE:	378,092 SF (8.68 AC) 20.7%
-------------------	----------------------------



1
C2.2
LINEAR PARK & BUFFER
PLAN

N.T.S.

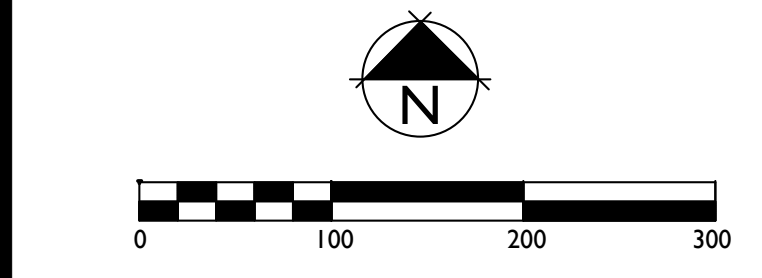


KEY

- PRESEVED CANOPY
- RIPARIAN ZONE 'A'
- RIPARIAN ZONE 'B'
- 75' HISTORIC BUFFER
- FORMAL OPEN SPACE
- BUFFER AVERAGING
- STREET LIGHT; TYP
- CRITICAL LOT

TYPICAL LOT

ALLEY
BUILDING ENVELOPE (ATTACHED UNITS ONLY)
UNIT / LOT NUMBER
137
UNIT / LOT TYPE
34
STREET



- NOTES:**
1. THERE ARE NO FLOODPLAINS EXISTING ON THE SITE BASED ON FEMA MAPS
 2. AERIAL PHOTO, PARCEL LINES AND TOPOGRAPHIC INFORMATION PROVIDED BY CITY OF FRANKLIN G.I.S.
 3. SITE BOUNDARY CALLS PROVIDED BY WILSON & ASSOCIATES.
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SOUTHBROOKE PUD SUBDIVISION
'THE VILLAGES AT SOUTHBROOKE'
DEVELOPMENT PLAN
Franklin, Williamson County, Tennessee



Revision Date

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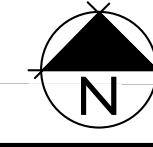
1
C2.21
FORMAL OPEN SPACE LOT 1007
PLAN



N.T.S.



2
C2.21
FORMAL OPEN SPACE LOT 1012
PLAN



N.T.S.



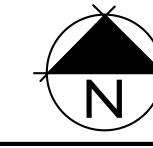
3
C2.21
FORMAL OPEN SPACE LOT 1008
PLAN



N.T.S.



4
C2.21
FORMAL OPEN SPACE LOT 1008
PLAN



N.T.S.



Revision Date

△	_____
△	_____
△	_____
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Revision Date

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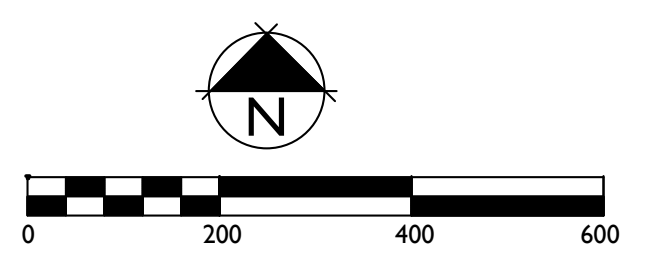
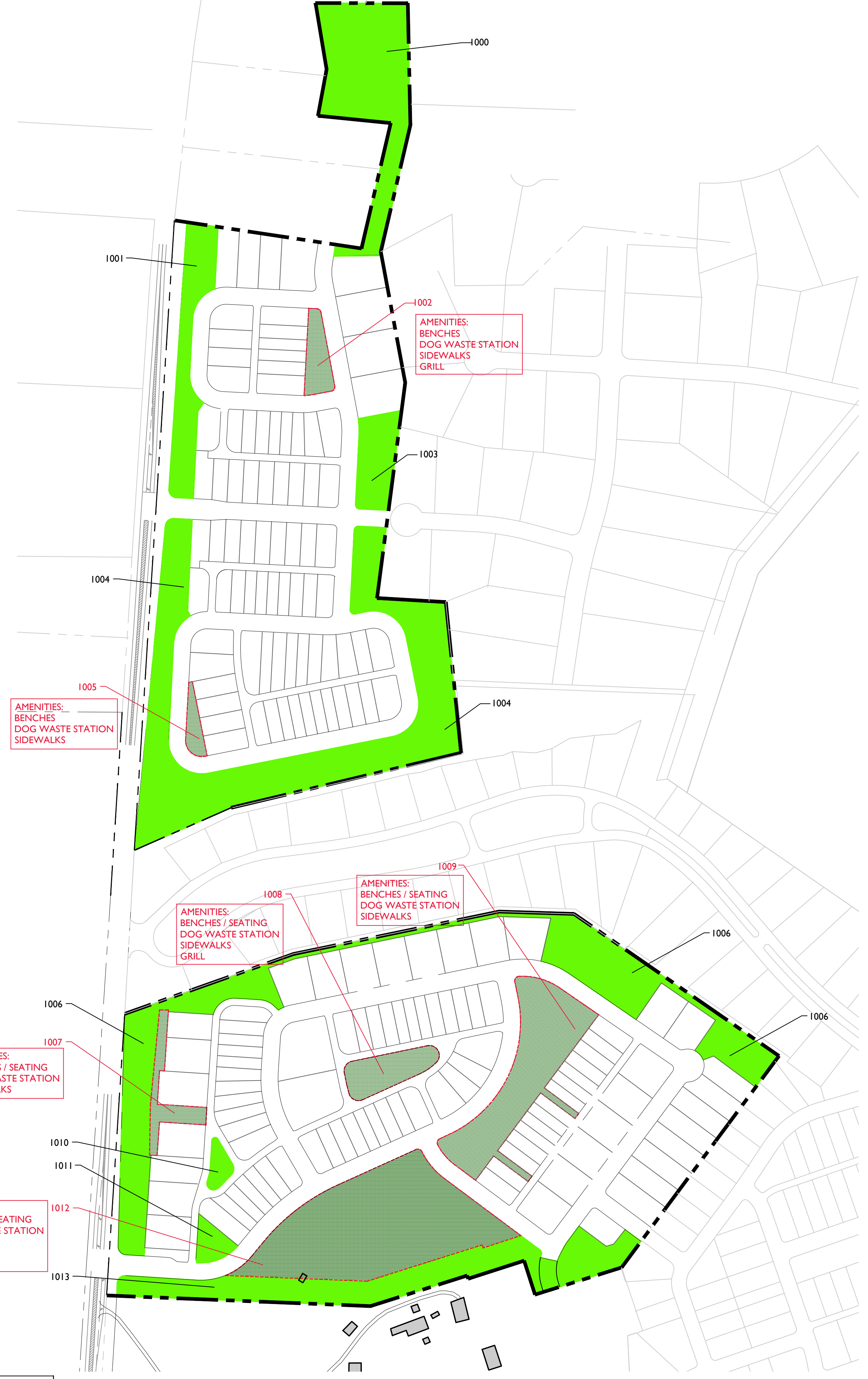
OPEN SPACE REQUIREMENT

MINIMUM OPEN SPACE REQUIREMENT (PER ZO): 15%
 REQUIRED: 15% TOTAL: 489,745 SF
 34% FORMAL: 166,513 SF
 66% INFORMAL: 323,232 SF

PROVIDED: 1,159,466 SF TOTAL
 FORMAL: 212,641 SF
 INFORMAL: 805,779 SF

LOT	CLASSIFICATION	TYPE	AREA (SF)
1000	INFORMAL	EXISTING QUARRY	121,521
1001	INFORMAL	LINEAR PARK	56,656
1002	FORMAL	RECREATIONAL AREA	16,940
1003	INFORMAL	BUFFER / STORMWATER	32,636
1004	INFORMAL	BUFFER / STORMWATER	255,480
1005	FORMAL	RECREATIONAL AREA	8,441
1006	INFORMAL	LINEAR PARK	194,400
1007	FORMAL	RECREATIONAL AREA	19,117
1008	FORMAL	RECREATIONAL AREA	26,995
1009	FORMAL	RECREATIONAL AREA	98,309*
1010	INFORMAL	OPEN AREA	7,800
1011	INFORMAL	BUFFER / PARKING	10,873
1012	FORMAL	RECREATIONAL AREA	183,692*
1013	INFORMAL	BUFFER	126,413

*NOTE: ONLY 50% OF THE TOTAL AREAS FOR LOTS 1009 & 1012 WERE USED TO MEET THE FORMAL OPEN SPACE REQUIREMENT (141,246 SF NOT COUNTED)





GRADING & DRAINAGE GENERAL NOTES

1. GRADING PERMIT IS REQUIRED FOR ANY PROJECT DISTURBING MORE THAN 10,000 SF, ADDING MORE THAN 5,000 SF OF IMPERVIOUS SURFACE OR FOR ANY SITE GRADING REQUIRING STOCKPILING OF MATERIAL.
2. THE DEVELOPER SHALL PROVIDE THE NECESSARY LABOR AND SUPERVISION REQUIRED TO SUPPORT FIELD TESTING BY THE INDEPENDENT TESTING FIRM AND INSPECTIONS BY CITY OFFICIALS AT NO COST TO THE CITY. TEST REPORTS OF FIELD TESTING IF APPLICABLE SHALL BE SUBMITTED DIRECTLY TO THE STREET DEPARTMENT. DEFECTS DISCLOSED BY TESTS SHALL BE RECTIFIED.
3. AN AUTHORIZED REPRESENTATIVE OF THE CITY SHALL MAKE A FINAL INSPECTION OF THE PROJECT AFTER COMPLETION TO DETERMINE ACCEPTABILITY OF THE WORK AND FOR RELEASE OF PERFORMANCE BONDS IF REQUIRED. BEFORE THIS FINAL INSPECTION CAN BE MADE, THE ENGINEER RESPONSIBLE FOR THE PROJECT SHALL CERTIFY IN WRITING TO THE CITY ENGINEER THAT THE WORK HAS BEEN COMPLETED IN ACCORDANCE WITH APPROVED PLANS AND SPECIFICATIONS.
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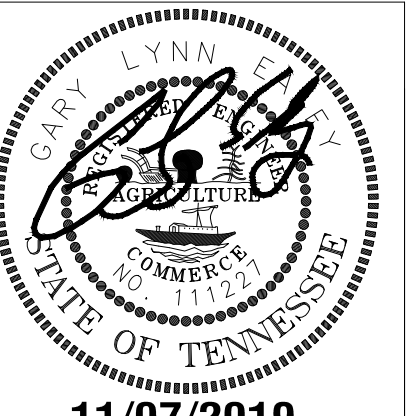
GRADING & DRAINAGE GENERAL NOTES (CONT)

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- POST-TREATMENT STORMWATER NARRATIVE
STORMWATER TO BE TREATED VIA A COMBINATION OF BIORETENTION, AND DETENTION PONDS AND THEN RELEASED INTO A STREAM OR WET WEATHER CONVEYANCE.
- STATEMENT OF IMPACT
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- STREAM BUFFER NOTE:
THERE SHALL BE NO MOWING, CLEARING, GRADING, CONSTRUCTION, STORAGE, OR DISTURBANCE OF VEGETATION EXCEPT AS PERMITTED BY THE CITY ENGINEER, OR HIS DESIGNEE.

OVERALL GRADING & DRAINAGE DATA CHART
 SITE AREA: 74.96 AC.*
 IMPERVIOUS AREA: 25.9 AC.
 DISTURBED AREA: 61.30 AC.
 *ACREAGE EXCLUDES LEWISBURG ROW DEDICATION

IMPERVIOUS AREA BY LOT TYPE		
LOT SIZE	LOT TYPES	IMP AREA (AC)
1/8 AC	34, 41, 46, 56, 60B	3,540
1/4 AC	65, 90B, 24D(2), 24T(2)	4,140
1/3 AC	20T(4), 24T(3), 100	4,360
1/2 AC	125	5,450
2 AC	90B (2AC)	5,450

IMPERVIOUS AREA CALCULATION							
WATERSHED	ROW (AC)	# OF LOTS				PARKING (AC)	TOTAL IMP (AC)
		1/8 AC	1/4 AC	1/3 AC	1/2 AC		
1	10.47	121	12	27	4	0.2	24.8
2	0.22	0	9	0	0	0	1.1
TOTAL IMPERVIOUS AREA							25.9



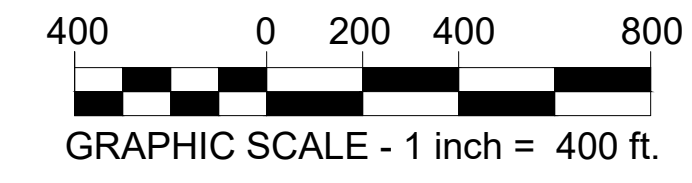
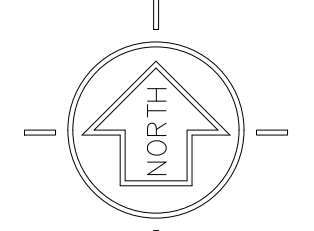
11/07/2019

ISLAND SOLUTIONS
 2925 Berry Hill Drive, Nashville, TN 37204

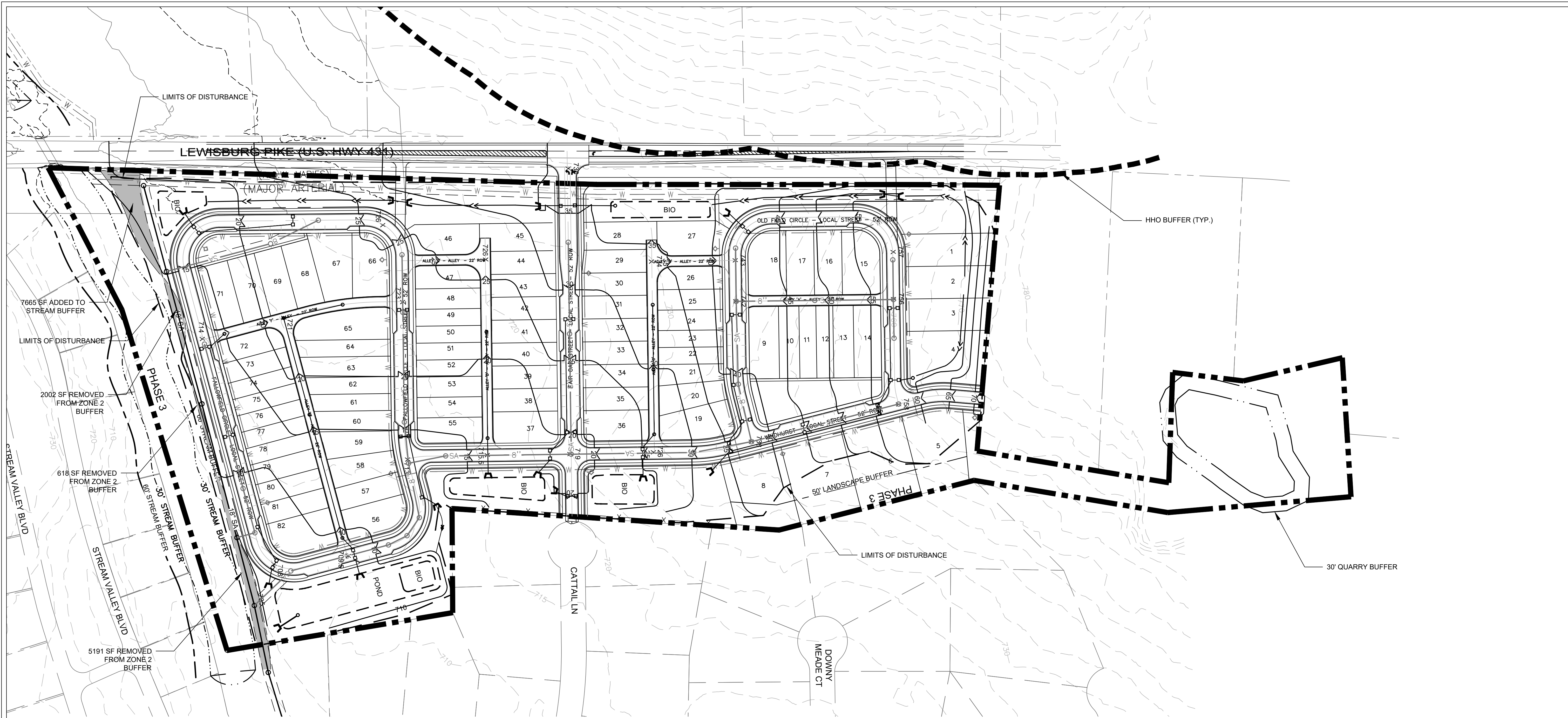
SOUTHBROOKE DEVELOPMENT PLAN
FRANKLIN PROJECT #7110
 MAP 117, PARCELS 12.00, 13.00, 14.00, 19.01 AND 19.02
 MAP 118, PARCELS 49.00, 49.01 AND 50.01
 MAP 133, PARCEL 1.00
 0 LEWISBURG PIKE
 FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

ISSUANCE/REVISION NOTES:
 - PLAN DATE MM DD, 2017

- A NONE
- B NONE
- C NONE
- D NONE



OVERALL GRADING & DRAINAGE PLAN
C3.0
 LSC 18008



GRADING & DRAINAGE GENERAL NOTES

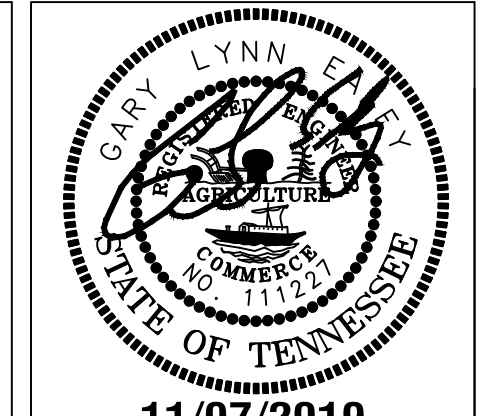
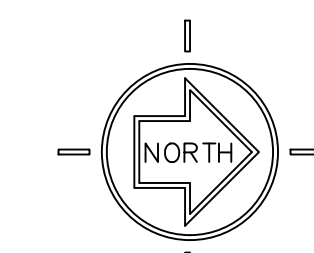
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GRADING & DRAINAGE GENERAL NOTES CONT.

POST-TREATMENT STORMWATER NARRATIVE
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11/07/2019

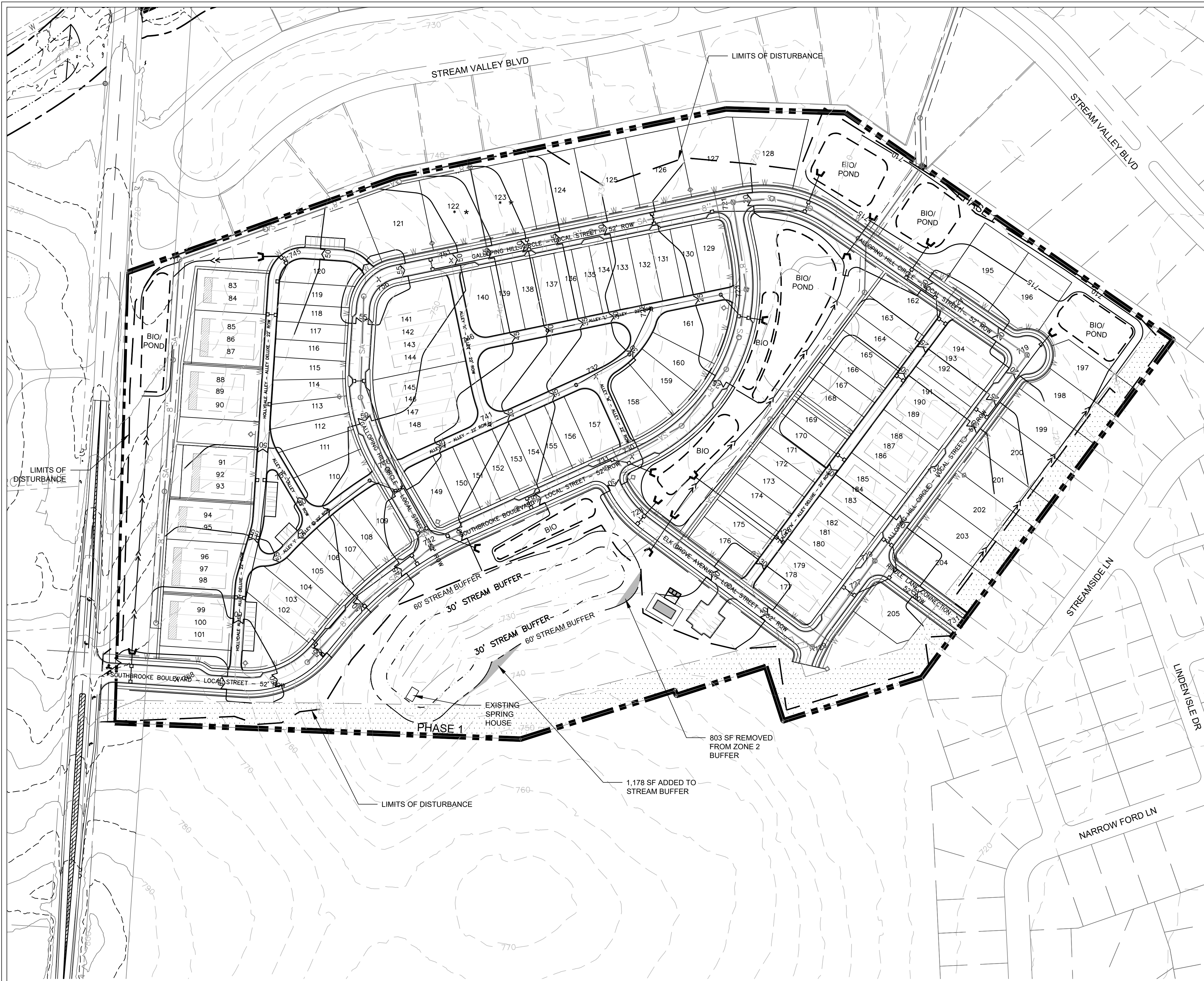


SOUTHBROOKE DEVELOPMENT PLAN
FRANKLIN PROJECT #7110
 MAP 117, PARCELS 12.00, 13.00, 14.00, 19.01 AND 19.02
 MAP 118, PARCELS 49.00, 49.01 AND 50.01
 MAP 133, PARCEL 1.00
 0 LEWISBURG PIKE
 FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

ISSUANCE/REVISION NOTES:
 - PLAN DATE: MM DD, 2017

1	NONE
2	NONE
3	NONE
4	NONE

THE MEADOWS
 ENLARGED
 GRADING &
 DRAINAGE PLAN
C3.1
 LSC 18008



GRADING & DRAINAGE GENERAL NOTES

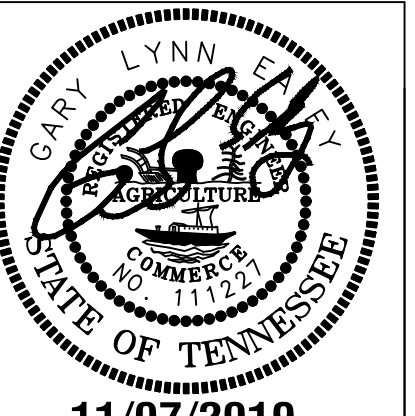
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* CRITICAL LOTS



11/07/2019



**SOUTHBROOKE DEVELOPMENT PLAN
 FRANKLIN PROJECT #7110**

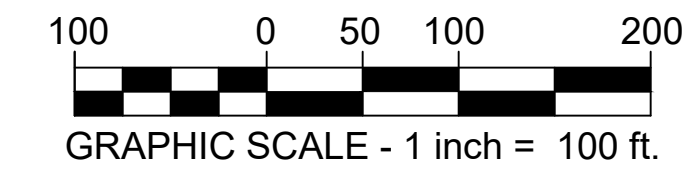
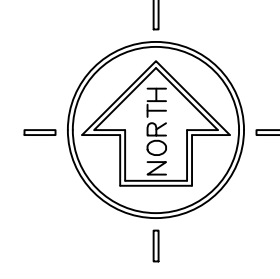
MAP 117, PARCELS 12.00, 13.00, 14.00, 19.01 AND 19.02
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 O LEWISBURG PIKE

FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

ISSUANCE/REVISION NOTES:

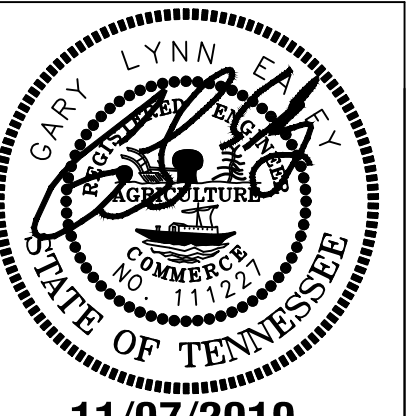
- PLAN DATE MM DD, 2017

- NONE
- NONE
- NONE
- NONE



**THE VILLAGES ENLARGED
 GRADING &
 DRAINAGE PLAN
 C3.2**

LSC 18008



11/07/2019



2925 Berry Hill Drive, Nashville, TN 37204

SOUTHBROOKE DEVELOPMENT PLAN
FRANKLIN PROJECT #7110

MAP 117, PARCELS 12.00, 13.00, 14.00, 19.01 AND 19.02
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MAP 133, PARCEL 1.00
O LEWISBURG PIKE

FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

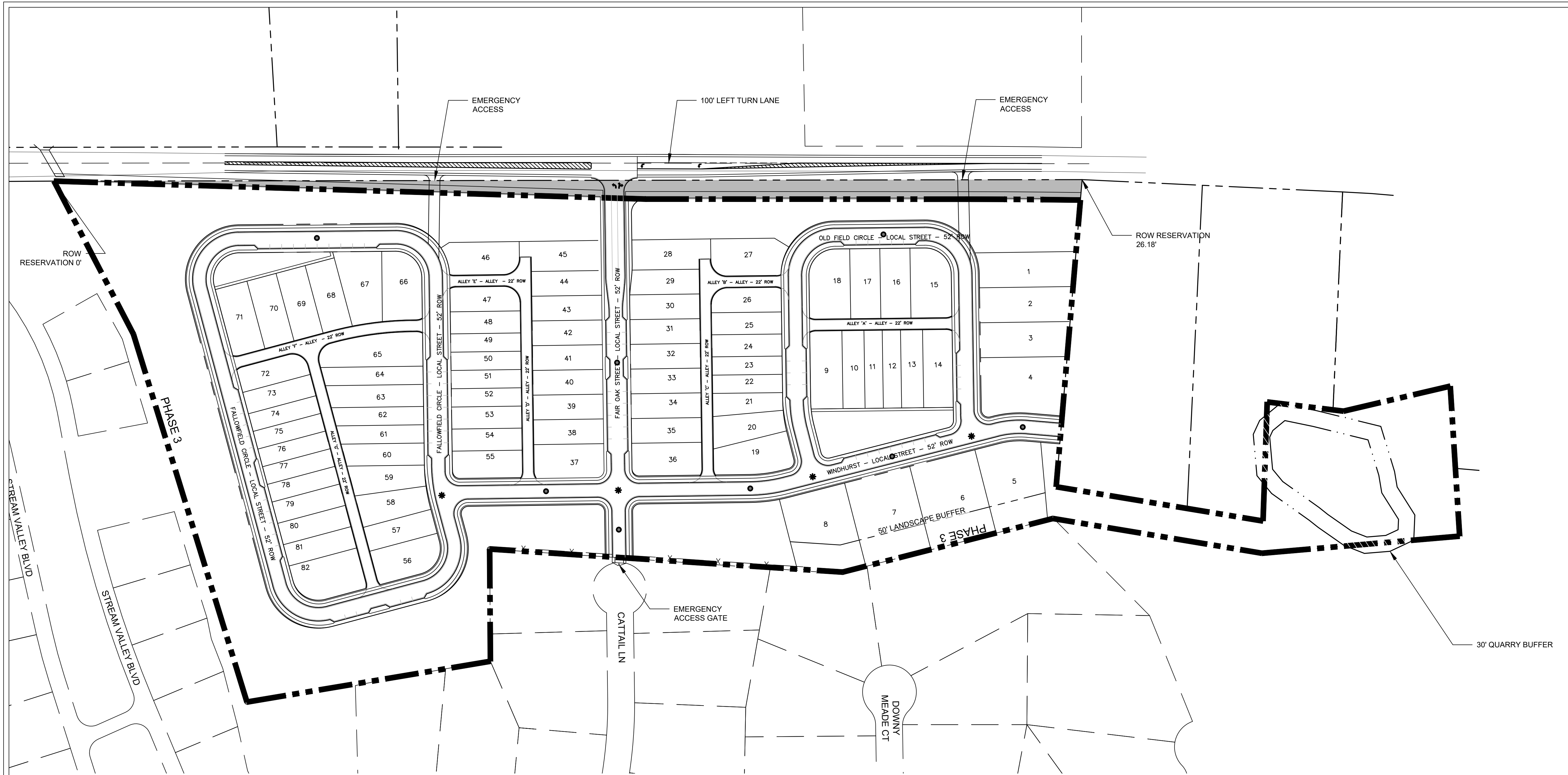
ISSUANCE/REVISION NOTES:
- PLAN DATE MM DD, 2017

- NONE
- NONE
- NONE
- NONE

THE MEADOWS
ROW & ACCESS
PLAN

C4.1

LSC 18008



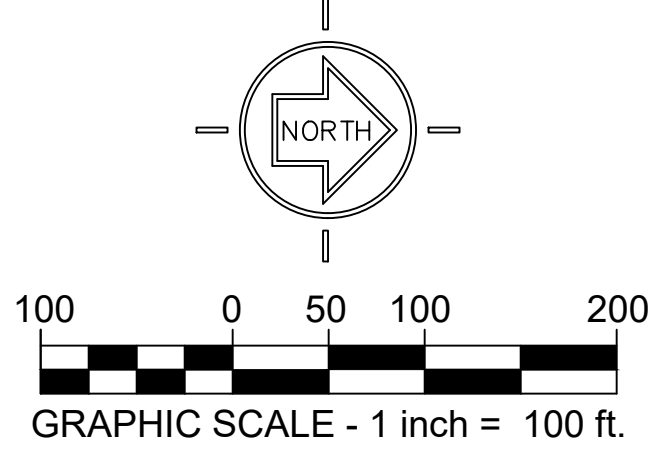
STATEMENT OF IMPACTS
THE MAJOR THOROUGHFARE PLAN INDICATES LEWISBURG PIKE AS A MAJOR ARTERIAL. THIS ROAD IS THE MAIN ACCESS TO THE DEVELOPMENT AND EXTENDS NORTH-SOUTH THROUGH THE DEVELOPMENT CONNECTING AT GOOSE CREEK BYPASS TO THE NORTH AND I-840 TO THE SOUTH.

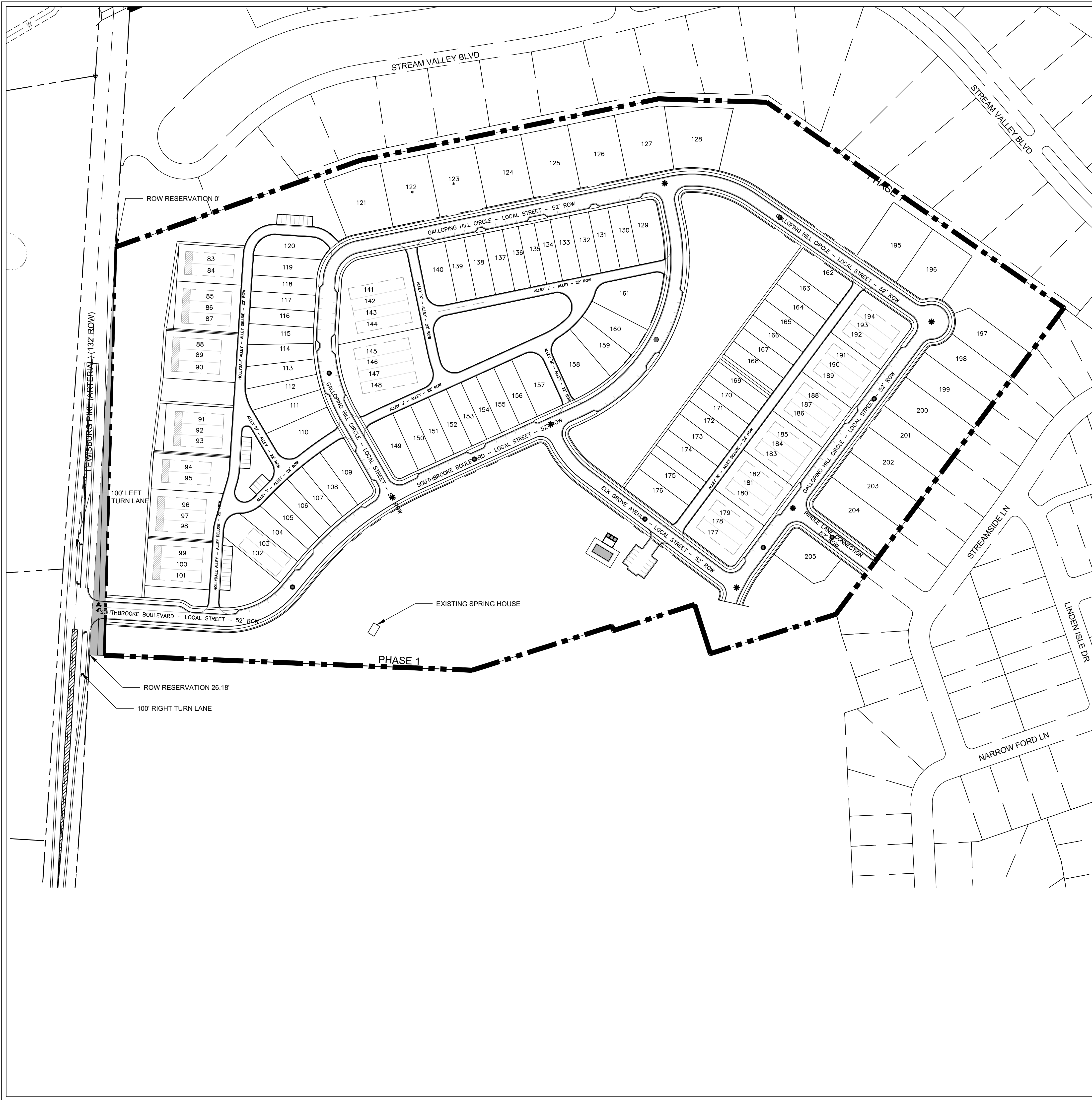
- R.O.W. & ACCESS GENERAL NOTES**
- PRIOR TO BEGINNING ANY CONSTRUCTION, THE DEVELOPER AND/OR CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AS REQUIRED BY LAW. SUCH PERMITS MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE REQUIRED BY STATE OF TENNESSEE, WILLIAMSON COUNTY AND OTHER CITY OF FRANKLIN AGENCIES.
 - ALL OFF-SITE WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE AN APPROVED TRAFFIC CONTROL PLAN WHICH COMPLIES WITH THE MUTCD. NO OFF-SITE EXCAVATION MAY BE UNDERTAKEN IN ANY STREET, ROAD, ALLEY OR RIGHT-OF-WAY OF ANY UTILITY OR TEMPORARY CONSTRUCTION EASEMENT OF THE CITY OF FRANKLIN BY ANY ENTITY UNLESS 72-HOUR NOTICE HAS BEEN GIVEN TO THE CITY OF FRANKLIN TRAFFIC OPERATIONS CENTER. THE CONTRACTOR SHALL HAVE AN APPROVED TRAFFIC CONTROL PLAN ONSITE DURING CONSTRUCTION.
 - CONSTRUCTION MATERIALS SHALL BE FULLY TESTED IN ACCORDANCE WITH THE DESIGNATIONS AND REQUIREMENTS WITHIN THE REFERENCED "TDOT STANDARD SPECIFICATIONS" SECTIONS, UNLESS OTHERWISE NOTED WITHIN THE "STANDARD SPECIFICATIONS" SECTION OF THE CITY OF FRANKLIN TRANSPORTATION & STREET TECHNICAL STANDARDS.
 - AN AUTHORIZED REPRESENTATIVE OF THE CITY SHALL MAKE A FINAL INSPECTION OF THE PROJECT AFTER COMPLETION TO DETERMINE ACCEPTABILITY OF THE WORK AND FOR RELEASE OF PERFORMANCE BONDS IF REQUIRED. BEFORE THIS FINAL INSPECTION CAN BE MADE, THE ENGINEER RESPONSIBLE FOR THE PROJECT SHALL CERTIFY IN WRITING TO THE CITY ENGINEER THAT THE WORK HAS BEEN COMPLETED IN ACCORDANCE WITH APPROVED PLANS AND SPECIFICATIONS.
 - LOCATING AND COORDINATION FOR THE RELOCATION OF EXISTING UTILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR. TENNESSEE'S ONE-CALL AND THE CITY OF FRANKLIN UTILITY LOCATION SERVICE SHALL BE UTILIZED IN ADDITION TO COORDINATION WITH LOCAL UTILITY OWNERS. THE CONTRACTOR SHALL AT ALL TIMES PROTECT EXISTING UTILITIES AND WILL BE RESPONSIBLE FOR COSTS DUE TO DAMAGE CAUSED TO ANY UTILITY LINES.

- R.O.W. & ACCESS GENERAL NOTES (CONTINUED)**
- ALL TEMPORARY STRIPING SHALL CONFORM TO "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" PUBLISHED BY TDOT, THE LATEST REVISION EXCEPT AS HEREIN AMENDED. WHEN APPROVED, TEMPORARY STRIPING SHALL BE REQUIRED PRIOR TO THE OPENING OF A STREET FOR TRAVEL WHERE PAVEMENT AND/OR PERMANENT STRIPING CANNOT BE COMPLETED DUE TO WEATHER AND/OR TIME CONSTRAINTS.
 - THERMOPLASTIC PAVEMENT MARKINGS SHOULD BE USED ON ALL PUBLIC AND PRIVATE CITY STREET PROJECTS. THERMOPLASTIC TRAFFIC STRIPING AND PAVEMENT MARKINGS SHALL CONFORM TO SECTION 716.03 "THERMOPLASTIC PAVEMENT MARKINGS", OF THE TENNESSEE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS (TDOT), AND TO THE CITY OF FRANKLIN TRANSPORTATION & STREET TECHNICAL STANDARDS.

CONNECTIVITY INDEX: 1.70
LINKS (●): 17
NODES (*): 10
17/10 = 1.70

SOUTHBROOKE R.O.W. & ACCESS DATA CHART
DAILY TRIP GENERATION: 1,836 VEH PER DAY
PEAK HOUR TRIP GENERATION: 183 VEH PER HOUR
TRAFFIC IMPACT STUDY REQUIRED: YES
CIRCULATION PLAN REQUIRED: NO





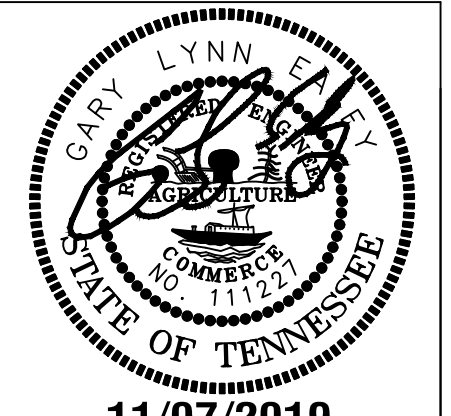
STATEMENT OF IMPACTS
 THE MAJOR THOROUGHFARE PLAN INDICATES LEWISBURG PIKE AS A MAJOR ARTERIAL. THIS ROAD IS THE MAIN ACCESS TO THE DEVELOPMENT AND EXTENDS NORTH-SOUTH THROUGH THE DEVELOPMENT CONNECTING AT GOOSE CREEK BYPASS TO THE NORTH AND I-840 TO THE SOUTH.

R.O.W & ACCESS GENERAL NOTES

1. PRIOR TO BEGINNING ANY CONSTRUCTION, THE DEVELOPER AND/OR CONTRACTOR, SHALL OBTAIN ALL NECESSARY PERMITS AS REQUIRED BY LAW. SUCH PERMITS MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE REQUIRED BY STATE OF TENNESSEE, WILLIAMSON COUNTY AND OTHER CITY OF FRANKLIN AGENCIES.
2. ALL OFF-SITE WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE AN APPROVED TRAFFIC CONTROL PLAN WHICH COMPLIES WITH THE MUTCD. NO OFF-SITE EXCAVATION MAY BE UNDERTAKEN IN ANY STREET, ROAD, ALLEY OR RIGHT-OF-WAY OF ANY UTILITY OR TEMPORARY CONSTRUCTION EASEMENT OF THE CITY OF FRANKLIN BY ANY ENTITY UNLESS 72-HOUR NOTICE HAS BEEN GIVEN TO THE CITY OF FRANKLIN TRAFFIC OPERATIONS CENTER. THE CONTRACTOR SHALL HAVE AN APPROVED TRAFFIC CONTROL PLAN ON-SITE DURING CONSTRUCTION.
3. CONSTRUCTION MATERIALS SHALL BE FULLY TESTED IN ACCORDANCE WITH THE DESIGNATIONS AND REQUIREMENTS WITHIN THE REFERENCED "TDOT STANDARD SPECIFICATIONS" SECTIONS, UNLESS OTHERWISE NOTED WITHIN THE "STANDARD SPECIFICATIONS" SECTION OF THE CITY OF FRANKLIN TRANSPORTATION & STREET TECHNICAL STANDARDS.
4. AN AUTHORIZED REPRESENTATIVE OF THE CITY SHALL MAKE A FINAL INSPECTION OF THE PROJECT AFTER COMPLETION TO DETERMINE ACCEPTABILITY OF THE WORK AND FOR RELEASE OF PERFORMANCE BONDS IF REQUIRED. BEFORE THIS FINAL INSPECTION CAN BE MADE, THE ENGINEER RESPONSIBLE FOR THE PROJECT SHALL CERTIFY IN WRITING TO THE CITY ENGINEER THAT THE WORK HAS BEEN COMPLETED IN ACCORDANCE WITH APPROVED PLANS AND SPECIFICATIONS.
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CONNECTIVITY INDEX: 1.70
 LINKS (●): 17
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 DAILY TRIP GENERATION: 1,836 VEH PER DAY
 PEAK HOUR TRIP GENERATION: 183 VEH PER HOUR
 TRAFFIC IMPACT STUDY REQUIRED: YES
 CIRCULATION PLAN REQUIRED: NO



11/07/2019



2925 Berry Hill Drive, Nashville, TN 37204

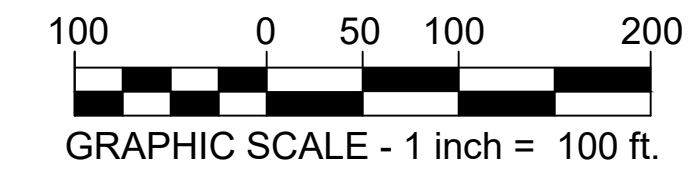
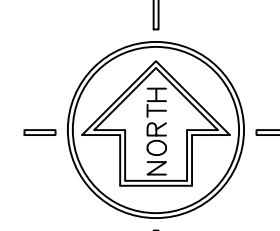
**SOUTH BROOKE DEVELOPMENT PLAN
 FRANKLIN PROJECT #7110**

MAP 117, PARCELS 12.00, 13.00, 14.00, 19.01 AND 19.02
 MAP 118, PARCELS 49.00, 49.01 AND 50.01
 MAP 133, PARCEL 1.00
 0 LEWISBURG PIKE

FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

ISSUANCE/REVISION NOTES:
 - PLAN DATE: MM DD, 2017

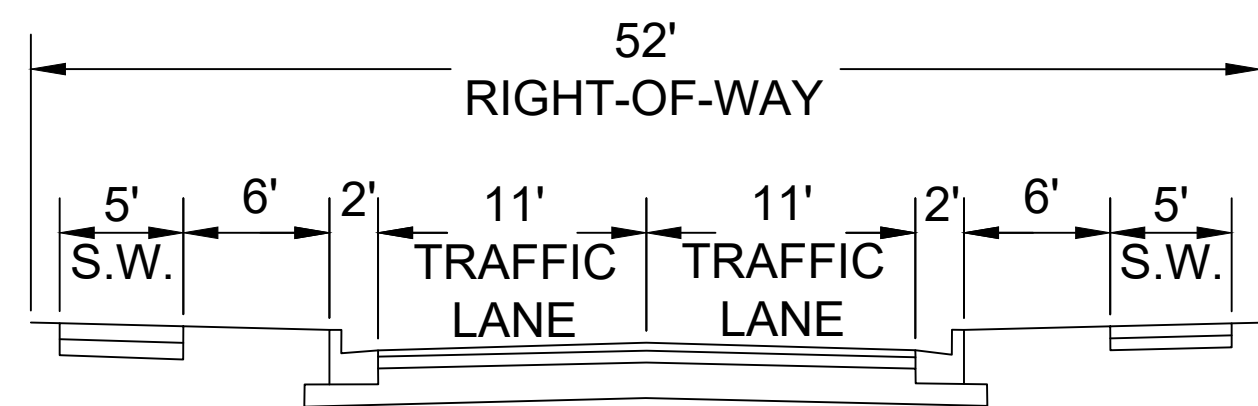
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- ☐ NONE
- ☐ NONE
- ☐ NONE



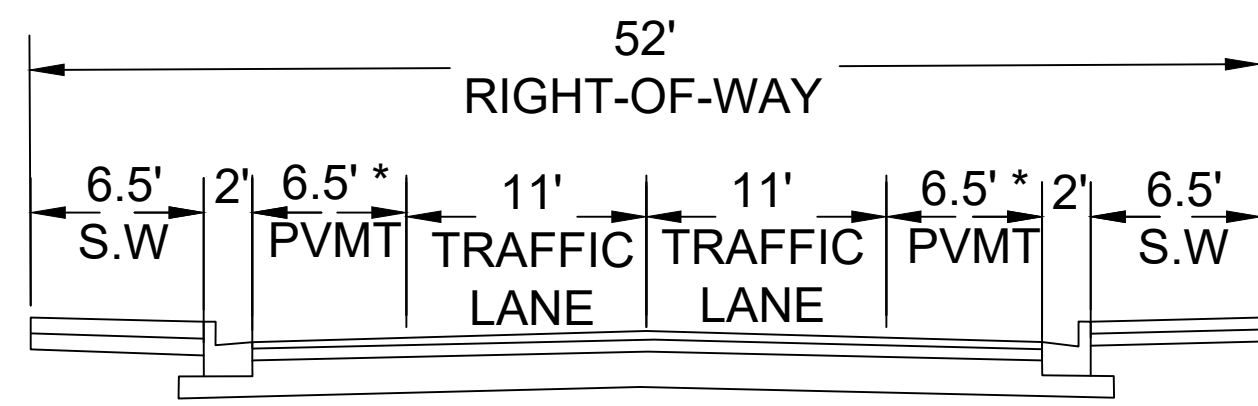
THE VILLAGES
 ROW & ACCESS
 PLAN

C4.2

LSC 18008

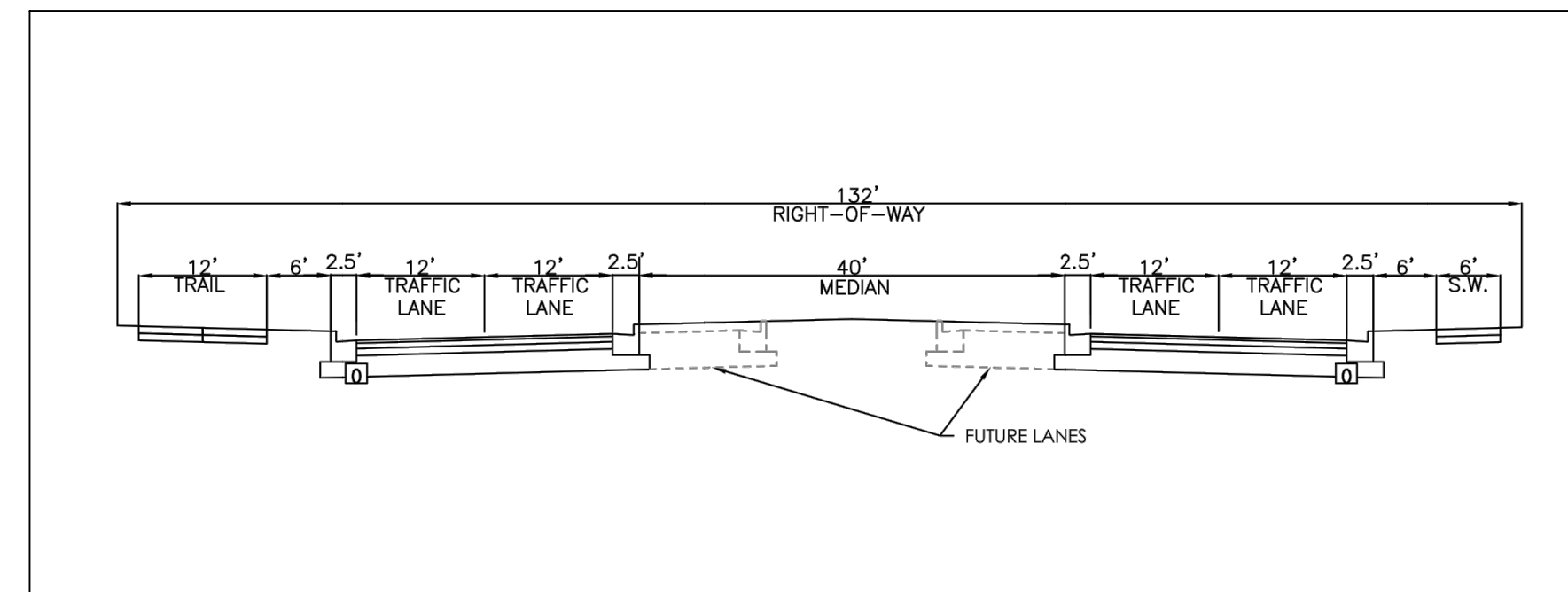


2-LANE INTERMEDIATE AND LOW VOLUME STREET



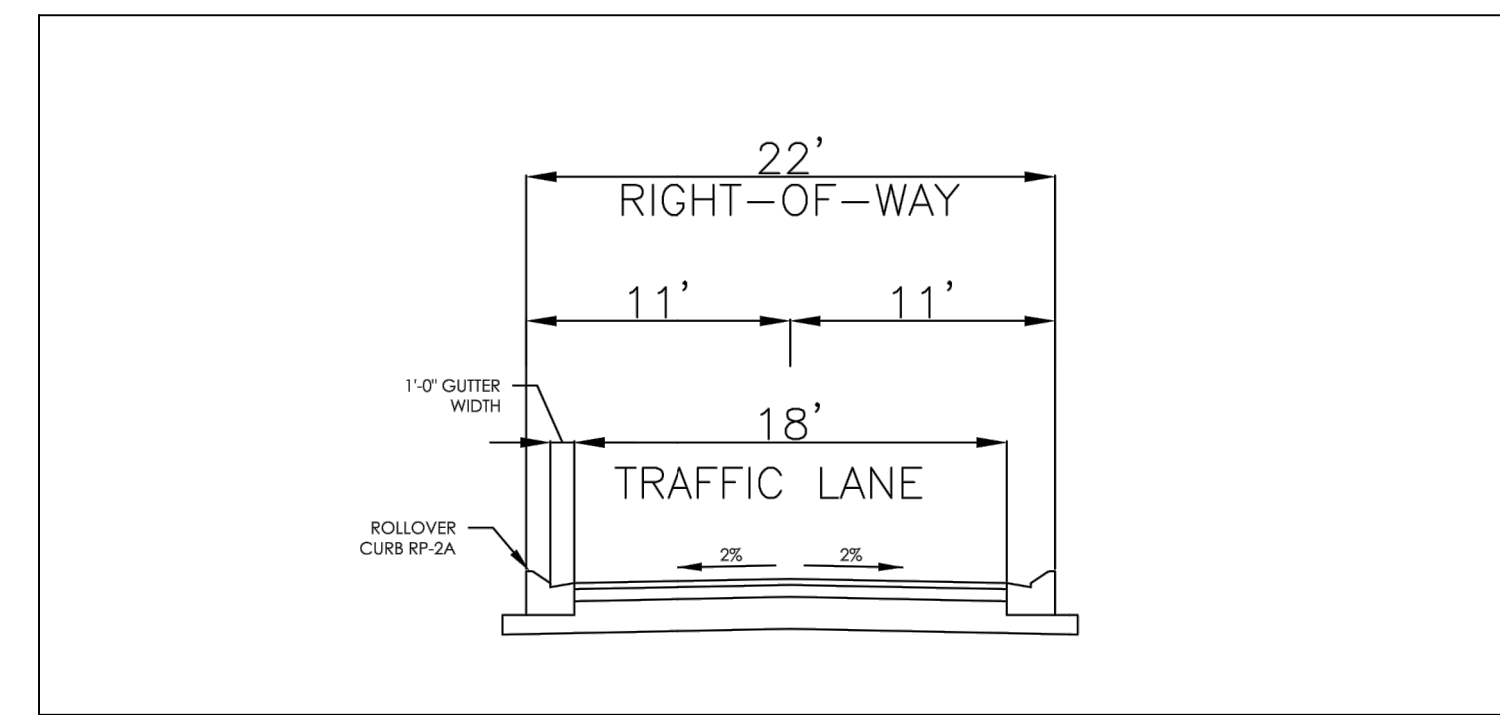
*ADDITIONAL ASPHALT FOR PARALLEL PARKING, WHERE SHOWN

2-LANE INTERMEDIATE AND LOW VOLUME STREET (WITH ON STREET PARKING)

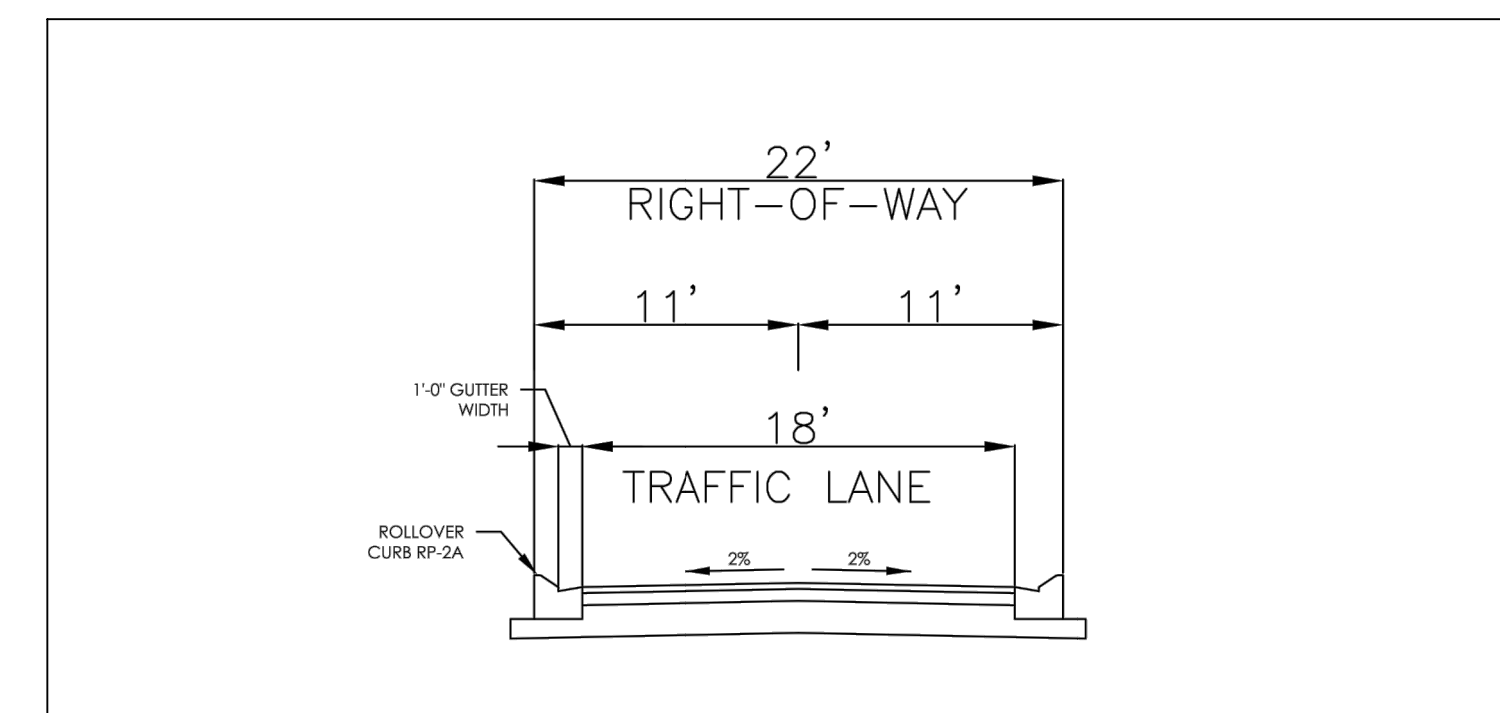


FUTURE ARTERIAL STREET (LEWISBURG PIKE)

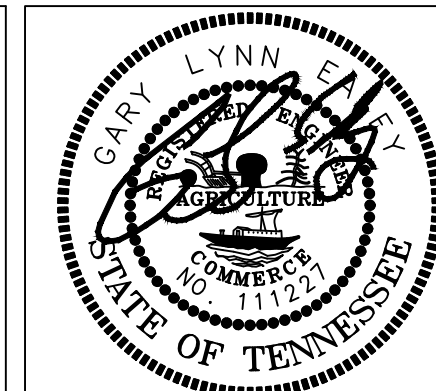
NOTE: LEWISBURG PIKE SECTION SHOWN FOR R.O.W. DEDICATION PLANNING PURPOSES AND CONSTRUCTION OF ROAD IS NOT PART OF THIS PLAN.



ALLEY DELUXE



ALLEY



11/07/2019



SOUTHBROOKE DEVELOPMENT PLAN

FRANKLIN PROJECT #7110

MAP 117, PARCELS 12.00, 13.00, 14.00, 19.01 AND 19.02
 MAP 118, PARCELS 49.00, 49.01 AND 50.01
 MAP 133, PARCEL 1.00
 0 LEWISBURG PIKE

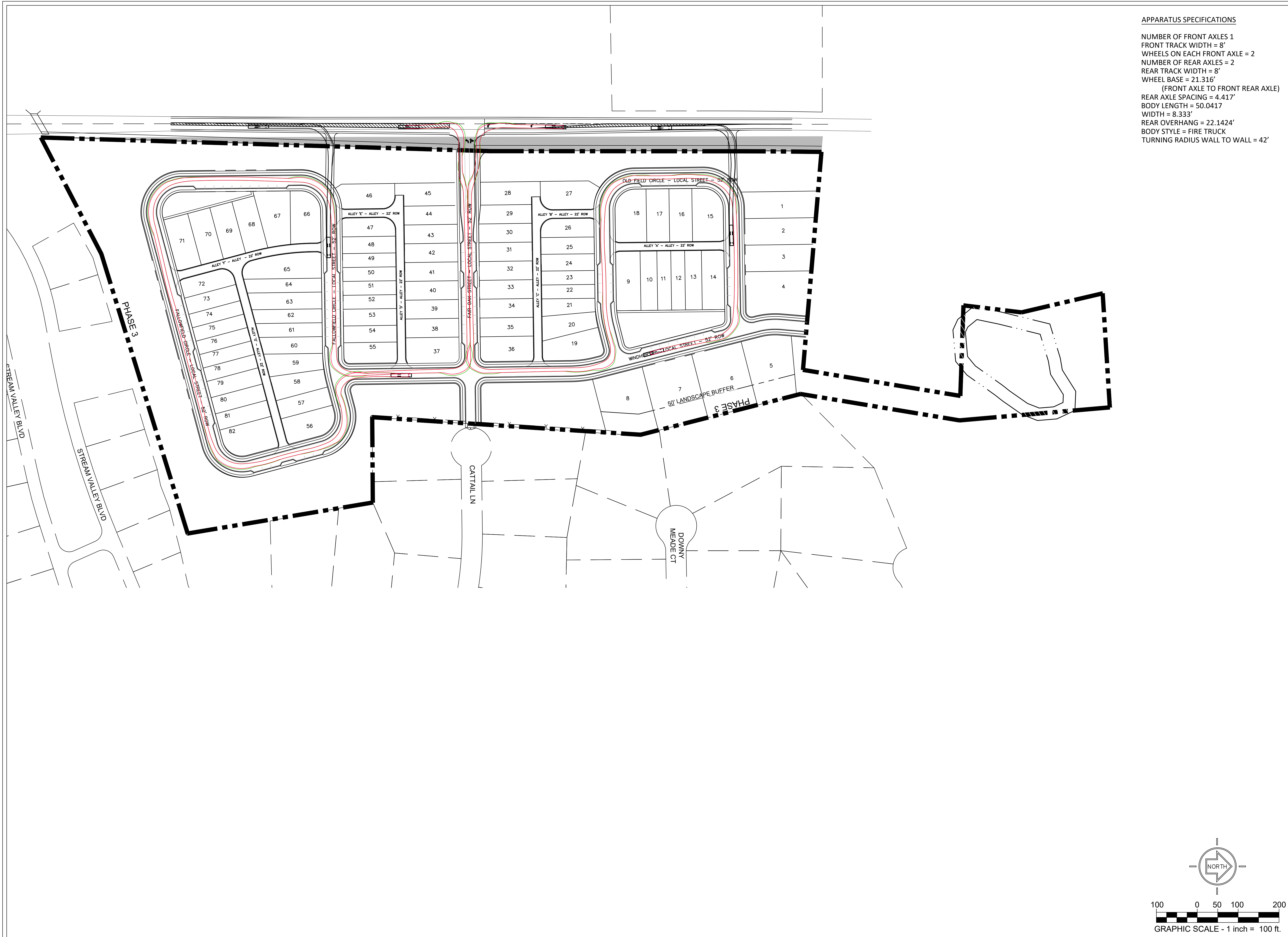
FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

ISSUANCE/REVISION NOTES:
 - PLAN DATE MM DD, 2017

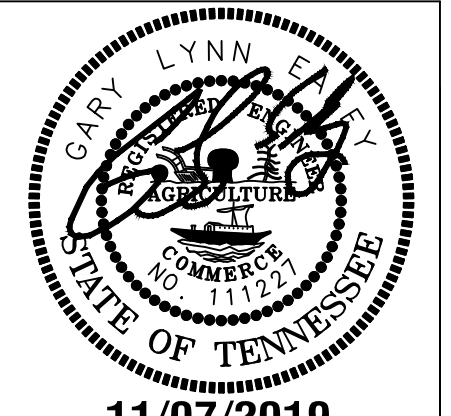
- NONE
- NONE
- NONE
- NONE

ROADWAY
 TYPICAL
 SECTIONS

C4.3



APPARATUS SPECIFICATIONS
 NUMBER OF FRONT AXLES 1
 FRONT TRACK WIDTH = 8'
 WHEELS ON EACH FRONT AXLE = 2
 NUMBER OF REAR AXLES = 2
 REAR TRACK WIDTH = 8'
 WHEEL BASE = 21.316'
 (FRONT AXLE TO FRONT REAR AXLE)
 REAR AXLE SPACING = 4.417'
 BODY LENGTH = 50.0417'
 WIDTH = 8.333'
 REAR OVERHANG = 22.1424'
 BODY STYLE = FIRE TRUCK
 TURNING RADIUS WALL TO WALL = 42'



11/07/2019

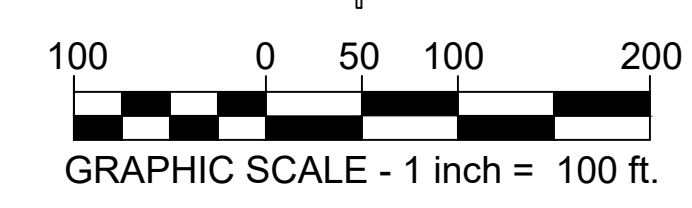
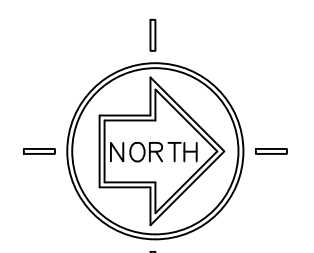


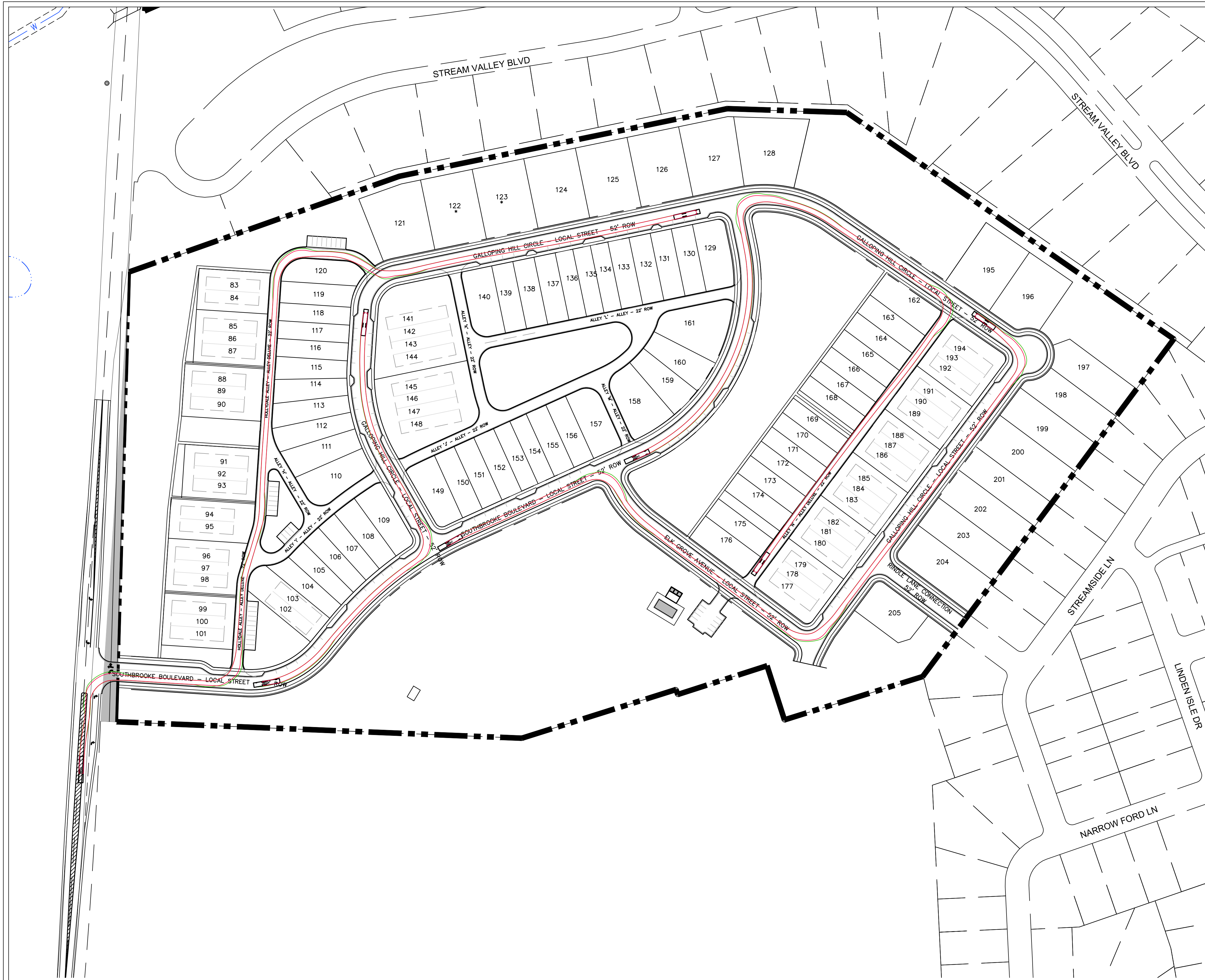
SOUTHBROOKE DEVELOPMENT PLAN
FRANKLIN PROJECT #7110
 MAP 117, PARCELS 12.00, 13.00, 14.00, 19.01 AND 19.02
 MAP 118, PARCELS 49.00, 49.01 AND 50.01
 MAP 133, PARCEL 1.00
 0 LEWISBURG PIKE
 FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

ISSUANCE/REVISION NOTES:
 - PLAN DATE 11/07/2019

- NONE
- NONE
- NONE
- NONE

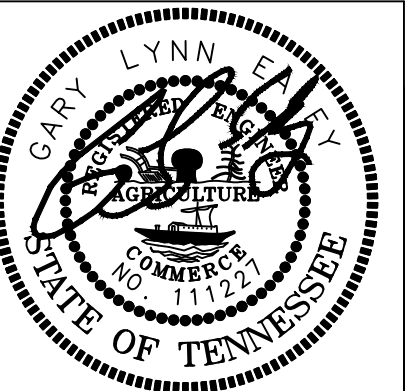
THE MEADOWS
AUTO TURN
PLAN
C4.4
 LSC 18008





APPARATUS SPECIFICATIONS

NUMBER OF FRONT AXLES 1
 FRONT TRACK WIDTH = 8'
 WHEELS ON EACH FRONT AXLE = 2
 NUMBER OF REAR AXLES = 2
 REAR TRACK WIDTH = 8'
 WHEEL BASE = 21.316'
 (FRONT AXLE TO FRONT REAR AXLE)
 REAR AXLE SPACING = 4.417'
 BODY LENGTH = 50.0417'
 WIDTH = 8.333'
 REAR OVERHANG = 22.1424'
 BODY STYLE = FIRE TRUCK
 TURNING RADIUS WALL TO WALL = 42'



11/07/2019

ISLAND SOLUTIONS
 2925 Berry Hill Drive, Nashville, TN 37204

**SOUTHBROOKE DEVELOPMENT PLAN
 FRANKLIN PROJECT #7110**

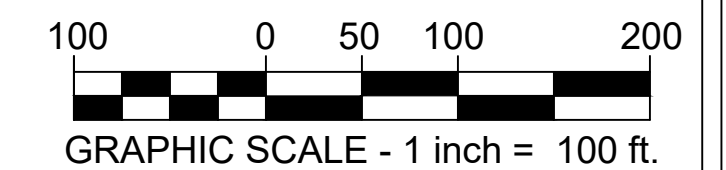
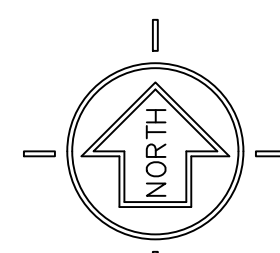
MAP 117, PARCELS 12.00, 13.00, 14.00, 19.01 AND 19.02
 MAP 118, PARCELS 49.00, 49.01 AND 50.01
 MAP 133, PARCEL 1.00
 0 LEWISBURG PIKE

FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

ISSUANCE/REVISION NOTES:

- PLAN DATE: 11/07/2019

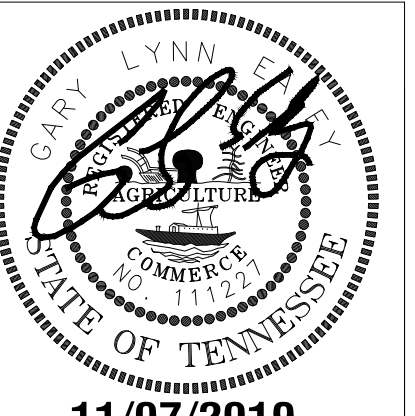
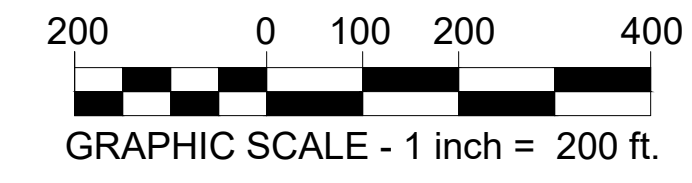
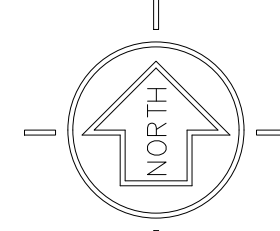
- NONE
- NONE
- NONE
- NONE



THE VILLAGES
 AUTO TURN
 PLAN

C4.5

LSC 18008



11/07/2019

ISLAND SOLUTIONS
 2925 Berry Hill Drive, Nashville, TN 37204

SOUTHBROOKE DEVELOPMENT PLAN
FRANKLIN PROJECT #7110
 MAP 117, PARCELS 12.00, 13.00, 14.00, 19.01 AND 19.02
 MAP 118, PARCELS 49.00, 49.01 AND 50.01
 MAP 133, PARCEL 1.00
 O LEWISBURG PIKE
 FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

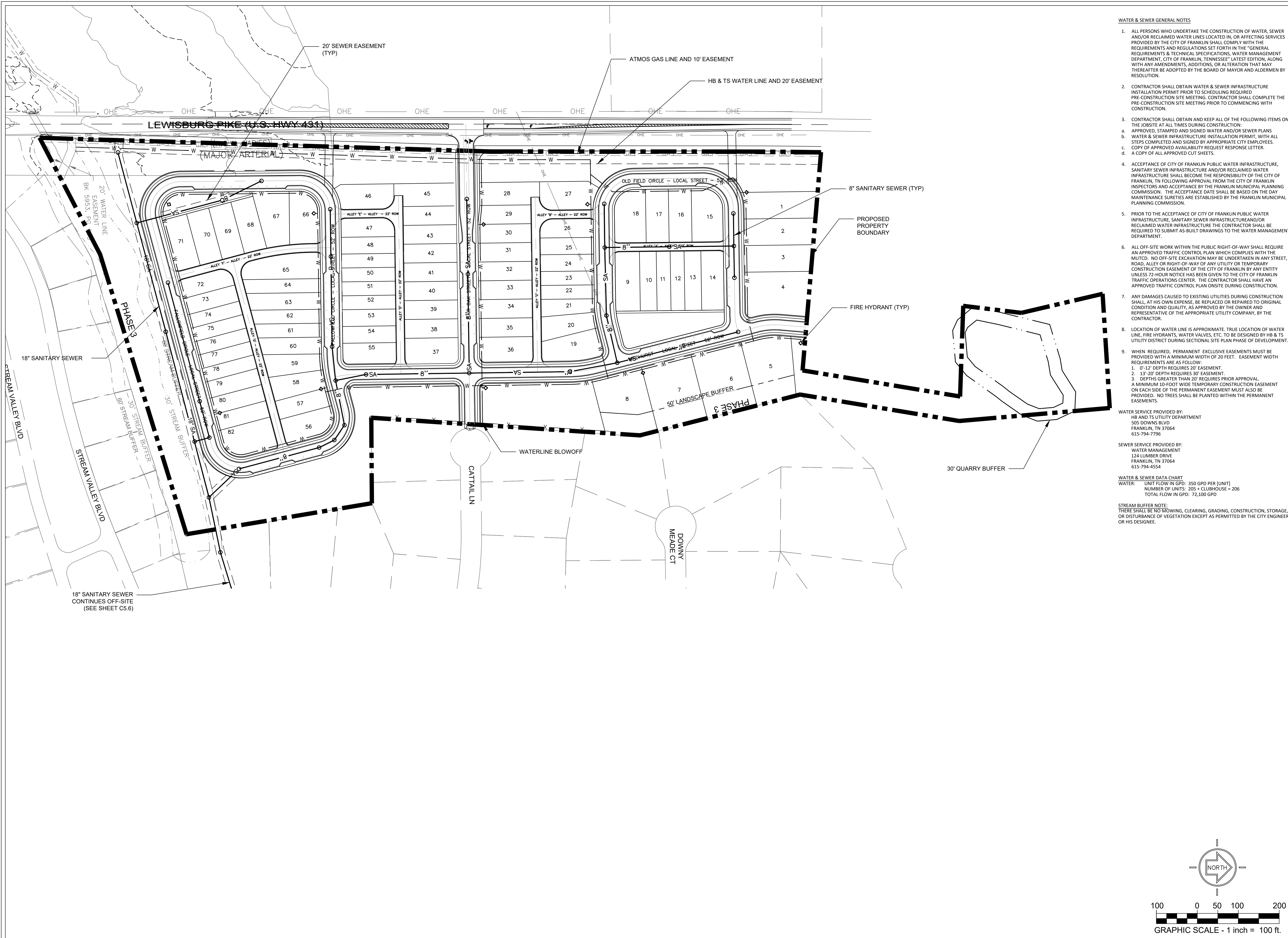
ISSUANCE/REVISION NOTES:
 - PLAN DATE MM DD, 2017

- NONE
- NONE
- NONE
- NONE

OVERALL SITE
 UTILITY PLAN

C5.0

LSC 18008



- WATER & SEWER GENERAL NOTES**
- ALL PERSONS WHO UNDERTAKE THE CONSTRUCTION OF WATER, SEWER AND/OR RECLAIMED WATER LINES LOCATED IN, OR AFFECTING SERVICES PROVIDED BY THE CITY OF FRANKLIN SHALL COMPLY WITH THE REQUIREMENTS AND REGULATIONS SET FORTH IN THE "GENERAL REQUIREMENTS & TECHNICAL SPECIFICATIONS, WATER MANAGEMENT DEPARTMENT, CITY OF FRANKLIN, TENNESSEE" LATEST EDITION, ALONG WITH ANY AMENDMENTS, ADDITIONS, OR ALTERATION THAT MAY THEREAFTER BE ADOPTED BY THE BOARD OF MAYOR AND ALDERMEN BY RESOLUTION.
 - CONTRACTOR SHALL OBTAIN WATER & SEWER INFRASTRUCTURE INSTALLATION PERMIT PRIOR TO SCHEDULING REQUIRED PRE-CONSTRUCTION SITE MEETING. CONTRACTOR SHALL COMPLETE THE PRE-CONSTRUCTION SITE MEETING PRIOR TO COMMENCING WITH CONSTRUCTION.
 - CONTRACTOR SHALL OBTAIN AND KEEP ALL OF THE FOLLOWING ITEMS ON THE JOBSITE AT ALL TIMES DURING CONSTRUCTION:
 - APPROVED, STAMPED AND SIGNED WATER AND/OR SEWER PLANS
 - WATER & SEWER INFRASTRUCTURE INSTALLATION PERMIT, WITH ALL STEPS COMPLETED AND SIGNED BY APPROPRIATE CITY EMPLOYEES.
 - COPY OF APPROVED AVAILABILITY REQUEST RESPONSE LETTER.
 - A COPY OF ALL APPROVED CUT SHEETS.
 - ACCEPTANCE OF CITY OF FRANKLIN PUBLIC WATER INFRASTRUCTURE, SANITARY SEWER INFRASTRUCTURE AND/OR RECLAIMED WATER INFRASTRUCTURE SHALL BECOME THE RESPONSIBILITY OF THE CITY OF FRANKLIN, TN FOLLOWING APPROVAL FROM THE CITY OF FRANKLIN INSPECTORS AND ACCEPTANCE BY THE FRANKLIN MUNICIPAL PLANNING COMMISSION. THE ACCEPTANCE DATE SHALL BE BASED ON THE DAY MAINTENANCE SURETIES ARE ESTABLISHED BY THE FRANKLIN MUNICIPAL PLANNING COMMISSION.
 - PRIOR TO THE ACCEPTANCE OF CITY OF FRANKLIN PUBLIC WATER INFRASTRUCTURE, SANITARY SEWER INFRASTRUCTURE AND/OR RECLAIMED WATER INFRASTRUCTURE THE CONTRACTOR SHALL BE REQUIRED TO SUBMIT AS-BUILT DRAWINGS TO THE WATER MANAGEMENT DEPARTMENT.
 - ALL OFF-SITE WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE AN APPROVED TRAFFIC CONTROL PLAN WHICH COMPLIES WITH THE MUTCD. NO OFF-SITE EXCAVATION MAY BE UNDERTAKEN IN ANY STREET, ROAD, ALLEY OR RIGHT-OF-WAY OF ANY UTILITY OR TEMPORARY CONSTRUCTION EASEMENT OF THE CITY OF FRANKLIN BY ANY ENTITY UNLESS 72-HOUR NOTICE HAS BEEN GIVEN TO THE CITY OF FRANKLIN TRAFFIC OPERATIONS CENTER. THE CONTRACTOR SHALL HAVE AN APPROVED TRAFFIC CONTROL PLAN ON-SITE DURING CONSTRUCTION.
 - ANY DAMAGES CAUSED TO EXISTING UTILITIES DURING CONSTRUCTION SHALL, AT HIS OWN EXPENSE, BE REPLACED OR REPAIRED TO ORIGINAL CONDITION AND QUALITY, AS APPROVED BY THE OWNER AND REPRESENTATIVE OF THE APPROPRIATE UTILITY COMPANY, BY THE CONTRACTOR.
 - LOCATION OF WATER LINE IS APPROXIMATE. TRUE LOCATION OF WATER LINE, FIRE HYDRANTS, WATER VALVES, ETC. TO BE DESIGNED BY HB & TS UTILITY DISTRICT DURING SECTIONAL SITE PLAN PHASE OF DEVELOPMENT.
 - WHEN REQUIRED, PERMANENT EXCLUSIVE EASEMENTS MUST BE PROVIDED WITH A MINIMUM WIDTH OF 20 FEET. EASEMENT WIDTH REQUIREMENTS ARE AS FOLLOWS:
 - 0'-12' DEPTH REQUIRES 20' EASEMENT.
 - 13'-20' DEPTH REQUIRES 30' EASEMENT.
 - DEPTHS GREATER THAN 20' REQUIRES PRIOR APPROVAL. A MINIMUM 10-FOOT WIDE TEMPORARY CONSTRUCTION EASEMENT ON EACH SIDE OF THE PERMANENT EASEMENT MUST ALSO BE PROVIDED. NO TREES SHALL BE PLANTED WITHIN THE PERMANENT EASEMENTS.

WATER SERVICE PROVIDED BY:
 HB AND TS UTILITY DEPARTMENT
 505 DOWNS BLVD
 FRANKLIN, TN 37064
 615-794-7796

SEWER SERVICE PROVIDED BY:
 WATER MANAGEMENT
 124 LUMBER DRIVE
 FRANKLIN, TN 37064
 615-794-4554

WATER & SEWER DATA CHART
 WATER: UNIT FLOW IN GPD: 350 GPD PER [UNIT]
 NUMBER OF UNITS: 205 + CLUBHOUSE = 206
 TOTAL FLOW IN GPD: 72,100 GPD

STREAM BUFFER NOTE:
 THERE SHALL BE NO MOWING, CLEANING, GRADING, CONSTRUCTION, STORAGE, OR DISTURBANCE OF VEGETATION EXCEPT AS PERMITTED BY THE CITY ENGINEER, OR HIS DESIGNEE.

GARY LYNN
 COMMERCIAL
 1117
 STATE OF TENNESSEE

11/07/2019

ISLAND SOLUTIONS
 2925 Berry Hill Drive, Nashville, TN 37204

SOUTHBROOKE DEVELOPMENT PLAN
FRANKLIN PROJECT #7110
 MAP 117, PARCELS 12.00, 13.00, 14.00, 19.01 AND 19.02
 MAP 118, PARCELS 49.00, 49.01 AND 50.01
 MAP 133, PARCEL 1.00
 0 LEWISBURG PIKE
 FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

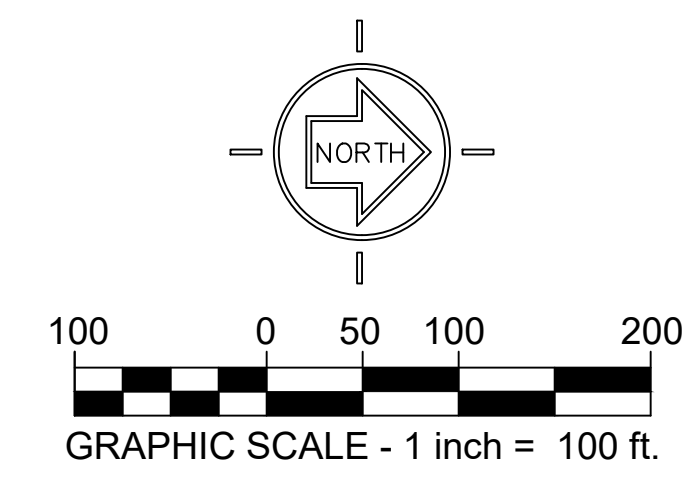
ISSUANCE/REVISION NOTES:
 - PLAN DATE MM DD, 2017

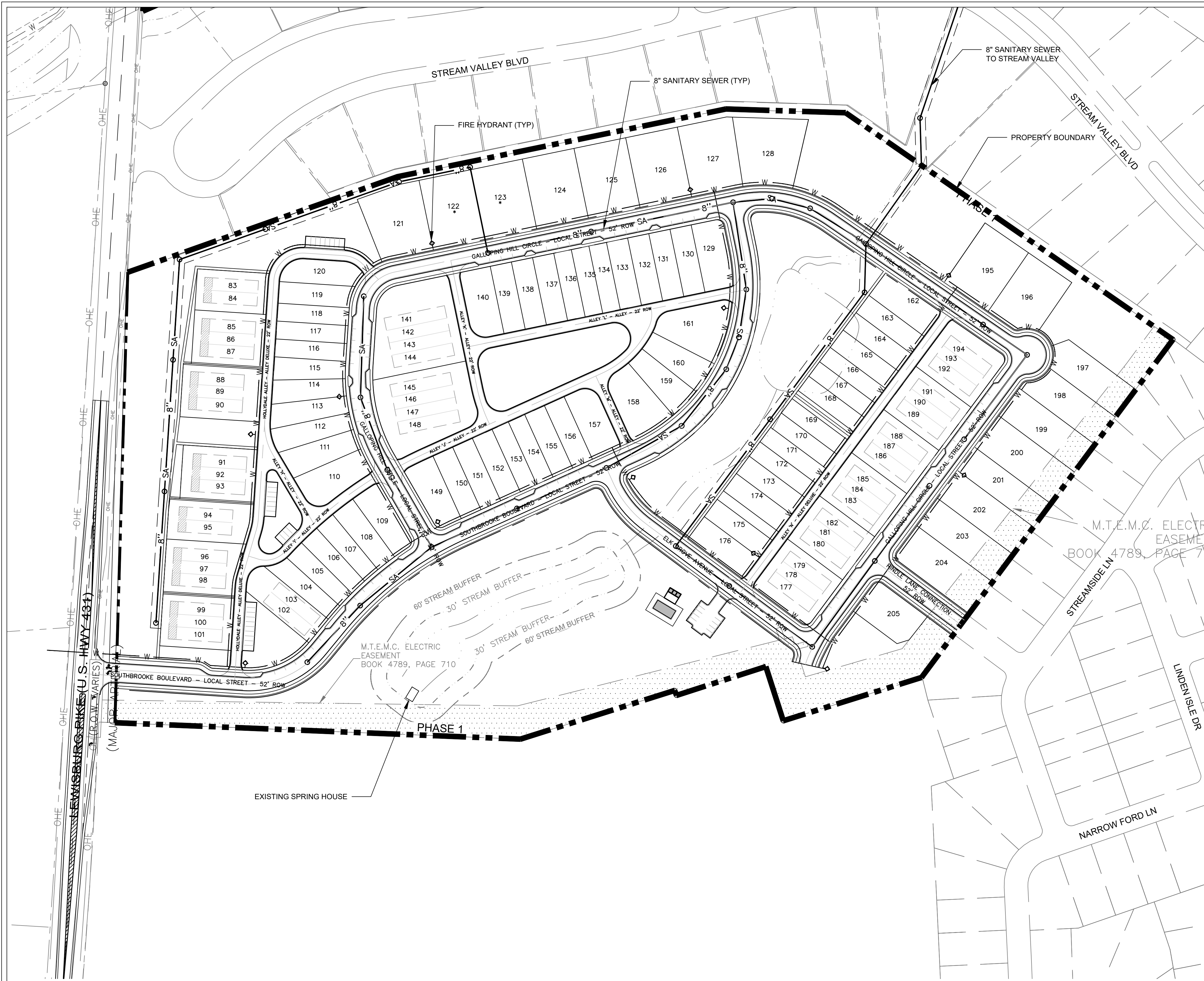
NONE
 NONE
 NONE
 NONE

THE MEADOWS ENLARGED SITE UTILITY PLAN

C5.1

LSC 18008





WATER & SEWER GENERAL NOTES

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 A MINIMUM 10-FOOT WIDE TEMPORARY CONSTRUCTION EASEMENT ON EACH SIDE OF THE PERMANENT EASEMENT MUST ALSO BE PROVIDED. NO TREES SHALL BE PLANTED WITHIN THE PERMANENT EASEMENTS.

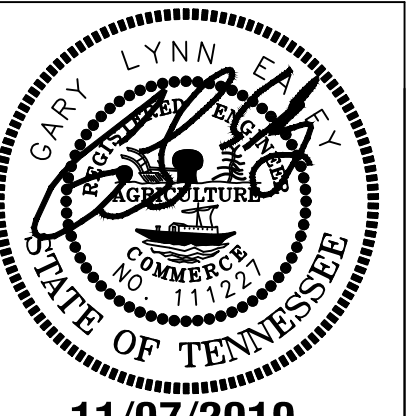
WATER SERVICE PROVIDED BY:
 HB AND TS UTILITY DEPARTMENT
 505 DOWNS BLVD
 FRANKLIN, TN 37064
 615-794-7796

SEWER SERVICE PROVIDED BY:
 WATER MANAGEMENT
 124 LUMBER DRIVE
 FRANKLIN, TN 37064
 615-794-4554

WATER & SEWER DATA CHART
 WATER: UNIT FLOW IN GPD: 350 GPD PER [UNIT]
 NUMBER OF UNITS: 205 + CLUBHOUSE = 206
 TOTAL FLOW IN GPD: 72,100 GPD

STREAM BUFFER NOTE:
 THERE SHALL BE NO MOWING, CLEARING, GRADING, CONSTRUCTION, STORAGE, OR DISTURBANCE OF VEGETATION EXCEPT AS PERMITTED BY THE CITY ENGINEER, OR HIS DESIGNEE.

* DENOTES CRITICAL LOT FOR SEWER LINE



11/07/2019



2925 Berry Hill Drive, Nashville, TN 37204

**SOUTHBROOKE DEVELOPMENT PLAN
 FRANKLIN PROJECT #7110**

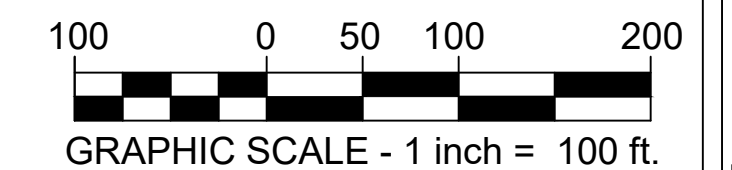
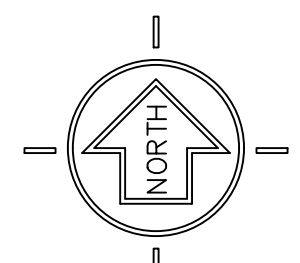
MAP 117, PARCELS 12.00, 13.00, 14.00, 19.01 AND 19.02
 MAP 118, PARCELS 49.00, 49.01 AND 50.01
 MAP 133, PARCEL 1.00
 O LEWISBURG PIKE

FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

ISSUANCE/REVISION NOTES:

- PLAN DATE MM DD, 2017

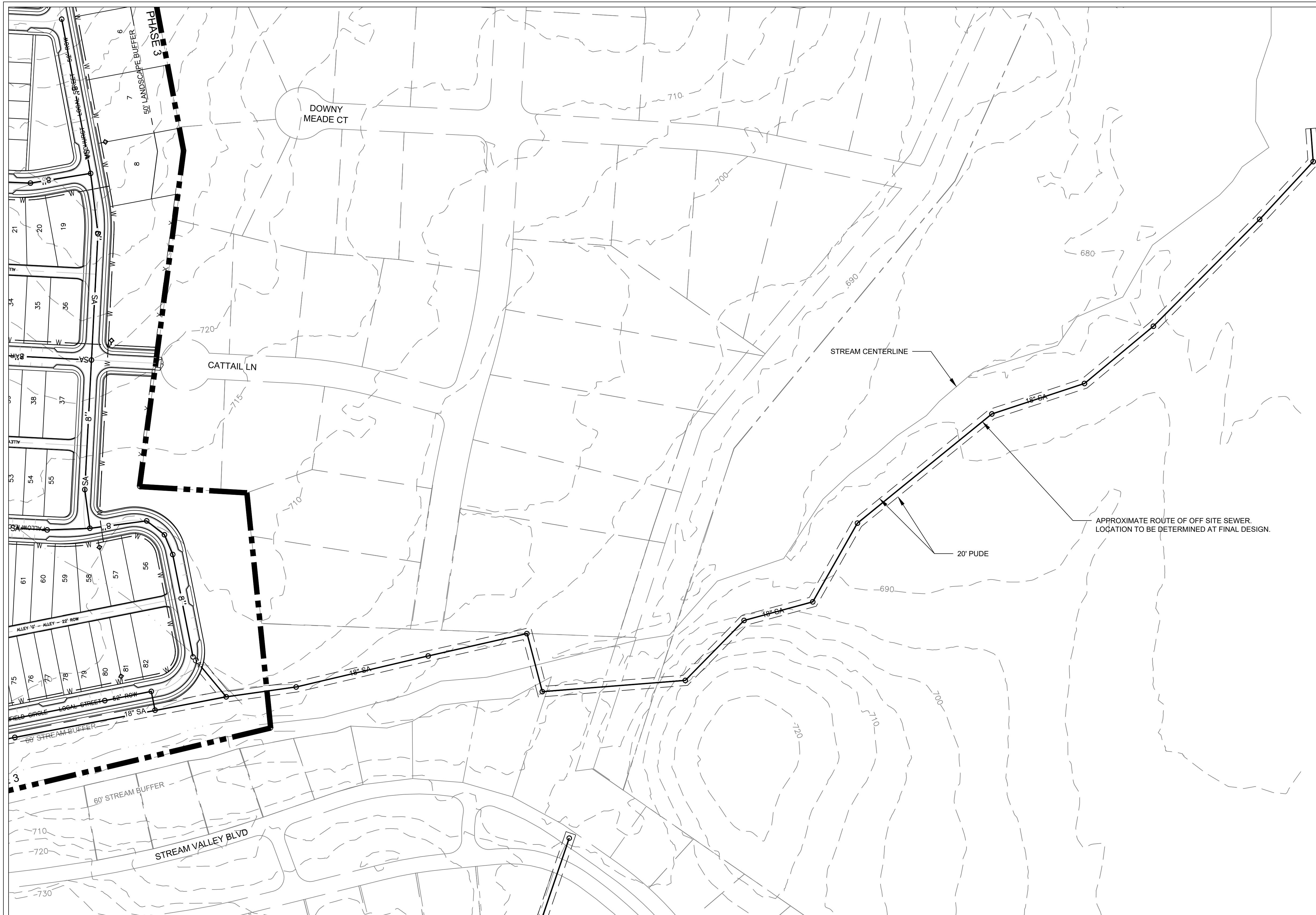
- NONE
- NONE
- NONE
- NONE



THE VILLAGES
 ENLARGED SITE
 UTILITY PLAN

C5.2

LSC 18008



WATER & SEWER GENERAL NOTES

1. ALL PERSONS WHO UNDERTAKE THE CONSTRUCTION OF WATER, SEWER AND/OR RECLAIMED WATER LINES LOCATED IN, OR AFFECTING SERVICES PROVIDED BY THE CITY OF FRANKLIN SHALL COMPLY WITH THE REQUIREMENTS AND REGULATIONS SET FORTH IN THE "GENERAL REQUIREMENTS & TECHNICAL SPECIFICATIONS, WATER MANAGEMENT DEPARTMENT, CITY OF FRANKLIN, TENNESSEE" LATEST EDITION, ALONG WITH ANY AMENDMENTS, ADDITIONS, OR ALTERATION THAT MAY THEREAFTER BE ADOPTED BY THE BOARD OF MAYOR AND ALDERMEN BY RESOLUTION.
2. CONTRACTOR SHALL OBTAIN WATER & SEWER INFRASTRUCTURE INSTALLATION PERMIT PRIOR TO SCHEDULING REQUIRED PRE-CONSTRUCTION SITE MEETING. CONTRACTOR SHALL COMPLETE THE PRE-CONSTRUCTION SITE MEETING PRIOR TO COMMENCING WITH CONSTRUCTION.
3. CONTRACTOR SHALL OBTAIN AND KEEP ALL OF THE FOLLOWING ITEMS ON THE JOBSITE AT ALL TIMES DURING CONSTRUCTION:
 - a. APPROVED, STAMPED AND SIGNED WATER AND/OR SEWER PLANS
 - b. WATER & SEWER INFRASTRUCTURE INSTALLATION PERMIT, WITH ALL STEPS COMPLETED AND SIGNED BY APPROPRIATE CITY EMPLOYEES.
 - c. COPY OF APPROVED AVAILABILITY REQUEST RESPONSE LETTER.
 - d. A COPY OF ALL APPROVED CUT SHEETS.
4. ACCEPTANCE OF CITY OF FRANKLIN PUBLIC WATER INFRASTRUCTURE, SANITARY SEWER INFRASTRUCTURE AND/OR RECLAIMED WATER INFRASTRUCTURE SHALL BECOME THE RESPONSIBILITY OF THE CITY OF FRANKLIN, TN FOLLOWING APPROVAL FROM THE CITY OF FRANKLIN INSPECTORS AND ACCEPTANCE BY THE FRANKLIN MUNICIPAL PLANNING COMMISSION. THE ACCEPTANCE DATE SHALL BE BASED ON THE DAY MAINTENANCE SURETIES ARE ESTABLISHED BY THE FRANKLIN MUNICIPAL PLANNING COMMISSION.
5. PRIOR TO THE ACCEPTANCE OF CITY OF FRANKLIN PUBLIC WATER INFRASTRUCTURE, SANITARY SEWER INFRASTRUCTURE AND/OR RECLAIMED WATER INFRASTRUCTURE THE CONTRACTOR SHALL BE REQUIRED TO SUBMIT AS-BUILT DRAWINGS TO THE WATER MANAGEMENT DEPARTMENT.
6. ALL OFF-SITE WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE AN APPROVED TRAFFIC CONTROL PLAN WHICH COMPLIES WITH THE MUTCD. NO OFF-SITE EXCAVATION MAY BE UNDERTAKEN IN ANY STREET, ROAD, ALLEY OR RIGHT-OF-WAY OF ANY UTILITY OR TEMPORARY CONSTRUCTION EASEMENT OF THE CITY OF FRANKLIN BY ANY ENTITY UNLESS 72-HOUR NOTICE HAS BEEN GIVEN TO THE CITY OF FRANKLIN TRAFFIC OPERATIONS CENTER. THE CONTRACTOR SHALL HAVE AN APPROVED TRAFFIC CONTROL PLAN ONSITE DURING CONSTRUCTION.
7. ANY DAMAGES CAUSED TO EXISTING UTILITIES DURING CONSTRUCTION SHALL, AT HIS OWN EXPENSE, BE REPLACED OR REPAIRED TO ORIGINAL CONDITION AND QUALITY, AS APPROVED BY THE OWNER AND REPRESENTATIVE OF THE APPROPRIATE UTILITY COMPANY, BY THE CONTRACTOR.
8. LOCATION OF WATER LINE IS APPROXIMATE. TRUE LOCATION OF WATER LINE, FIRE HYDRANTS, WATER VALVES, ETC. TO BE DESIGNED BY HB & TS UTILITY DISTRICT DURING SECTIONAL SITE PLAN PHASE OF DEVELOPMENT.
9. WHEN REQUIRED, PERMANENT EXCLUSIVE EASEMENTS MUST BE PROVIDED WITH A MINIMUM WIDTH OF 20 FEET. EASEMENT WIDTH REQUIREMENTS ARE AS FOLLOWS:
 1. 0'-12' DEPTH REQUIRES 20' EASEMENT.
 2. 13'-20' DEPTH REQUIRES 30' EASEMENT.
 3. DEPTHS GREATER THAN 20' REQUIRES PRIOR APPROVAL. A MINIMUM 10-FOOT WIDE TEMPORARY CONSTRUCTION EASEMENT ON EACH SIDE OF THE PERMANENT EASEMENT MUST ALSO BE PROVIDED. NO TREES SHALL BE PLANTED WITHIN THE PERMANENT EASEMENTS.

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APPROXIMATE ROUTE OF OFF SITE SEWER.
 LOCATION TO BE DETERMINED AT FINAL DESIGN.

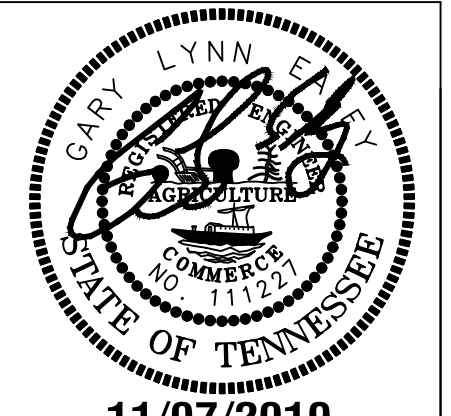
20' PUDE

STREAM CENTERLINE

CATTAIL LN

DOWNY MEADE CT

STREAM VALLEY BLVD



11/07/2019



**SOUTHBROOKE DEVELOPMENT PLAN
 FRANKLIN PROJECT #7110**

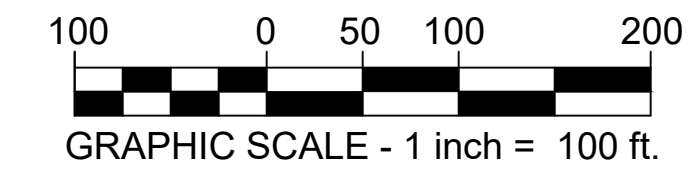
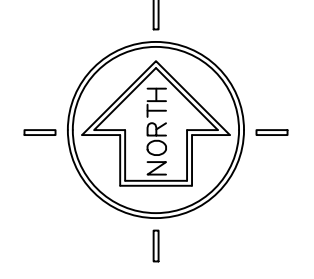
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 O LEWISBURG PIKE

FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

ISSUANCE/REVISION NOTES:

- PLAN DATE MM DD, 2017

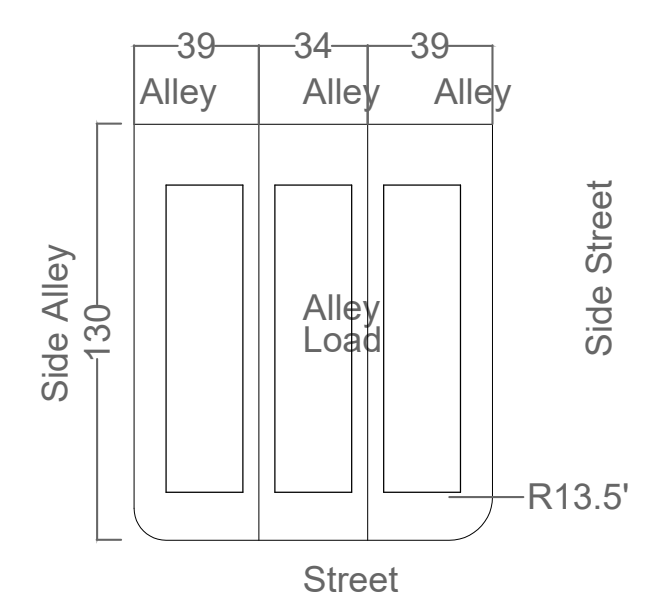
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- NONE



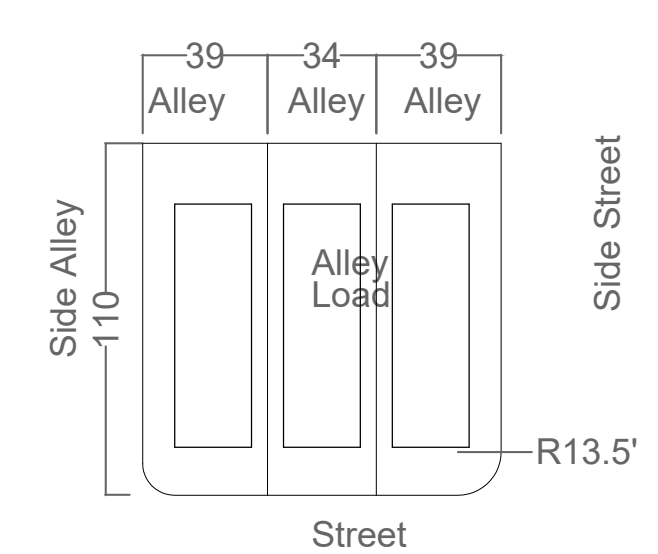
OFFSITE SEWER

C5.3

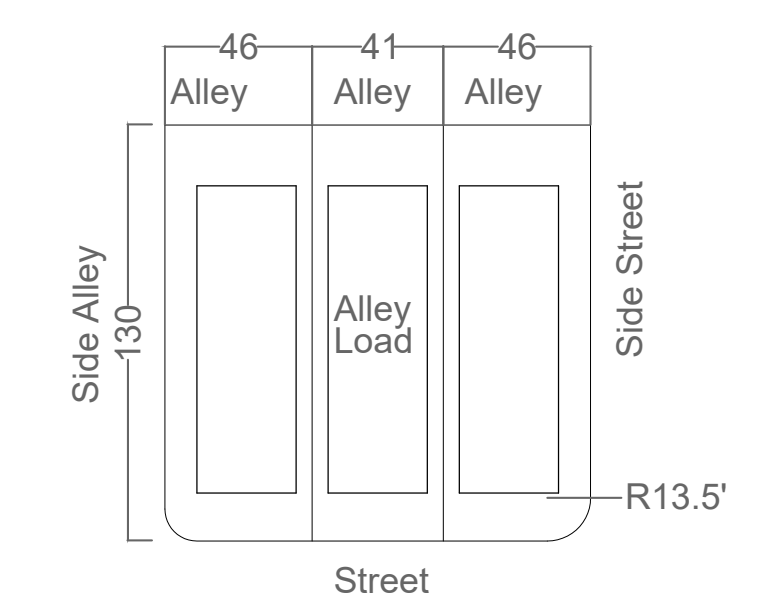
LSC 18008



Front Setback: 15'
Rear Setback: 5'
Side Setback: 5'
Street Setback: 10'
Alley Setback: 10'



Front Setback: 15'
Rear Setback: 5'
Side Setback: 5'
Street Setback: 10'
Alley Setback: 10'



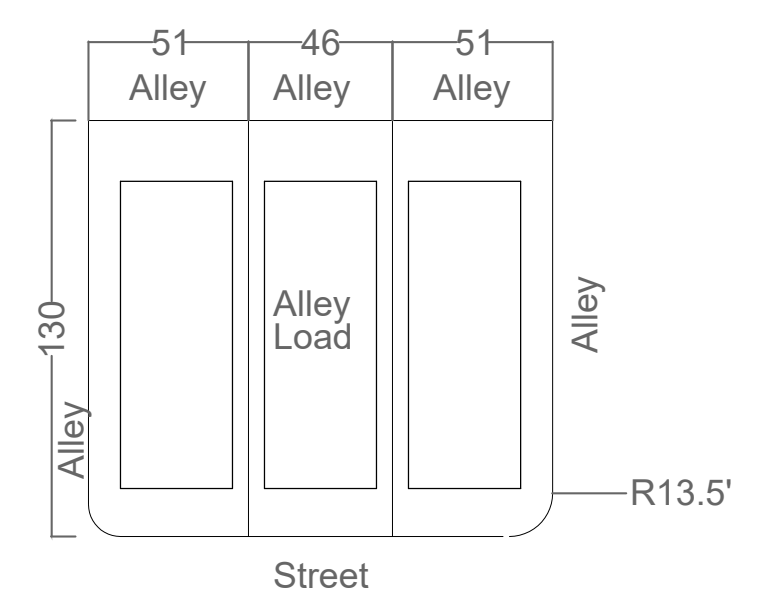
Front Setback: 15'
Rear Setback: 5'
Side Setback: 5'
Street Setback: 10'
Alley Setback: 10'

1
A1.0 **34' DETACHED**
PLAN & ELEVATION

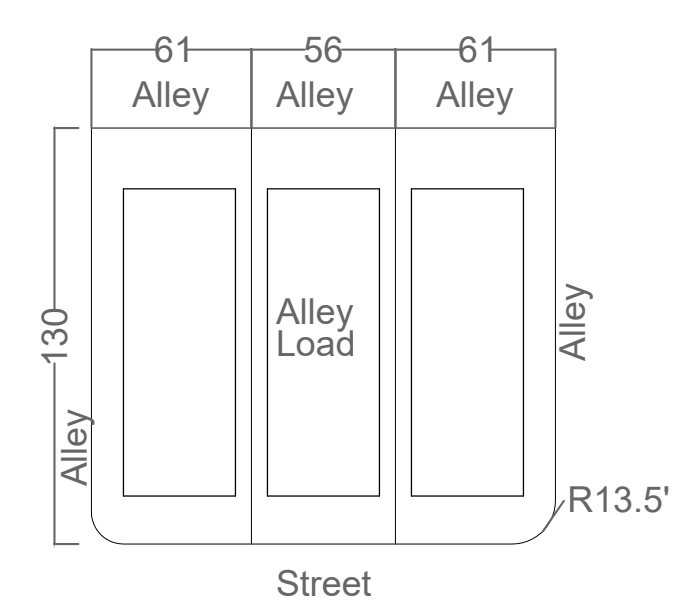
N.T.S.

2
A1.0 **41' DETACHED**
PLAN & ELEVATION

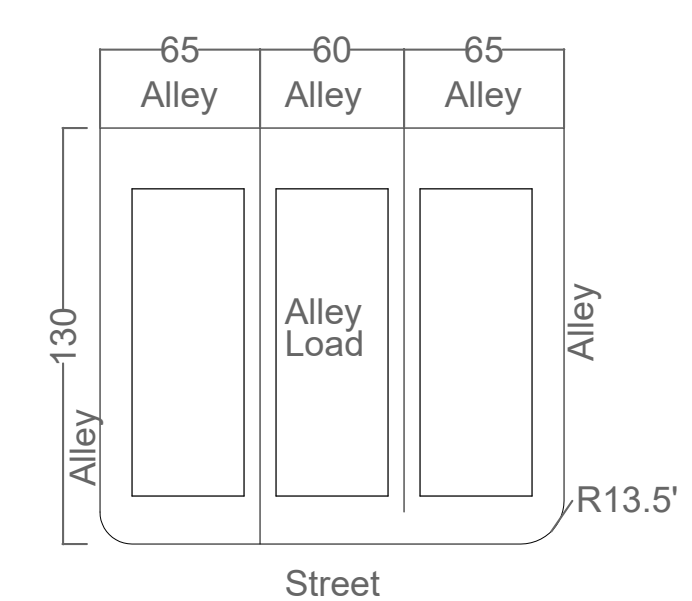
N.T.S.



Front Setback: 15'
Rear Setback: 5'
Side Setback: 5'
Street Setback: 10'
Alley Setback: 10'



Front Setback: 15'
Rear Setback: 5'
Side Setback: 5'
Street Setback: 10'
Alley Setback: 10'



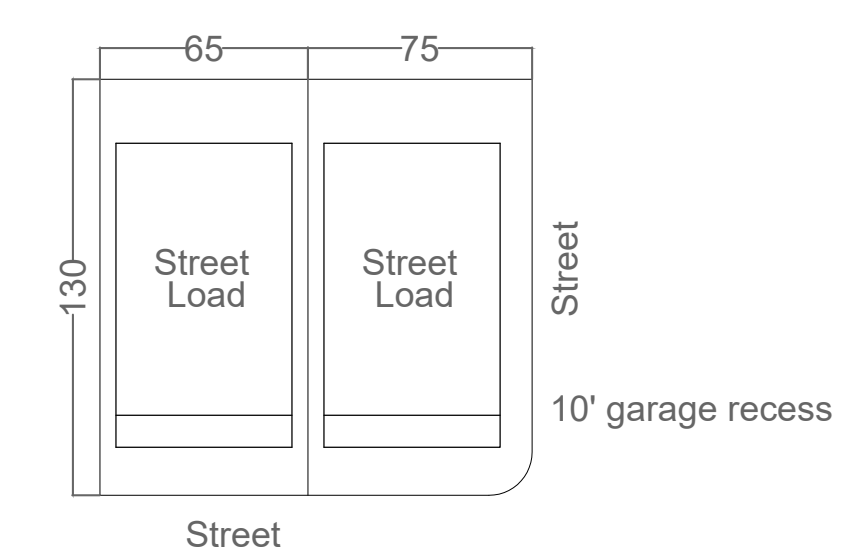
Front Setback: 15'
Rear Setback: 5'
Side Setback: 5'
Street Setback: 10'
Alley Setback: 10'

3
A1.0 **46' DETACHED**
PLAN & ELEVATION

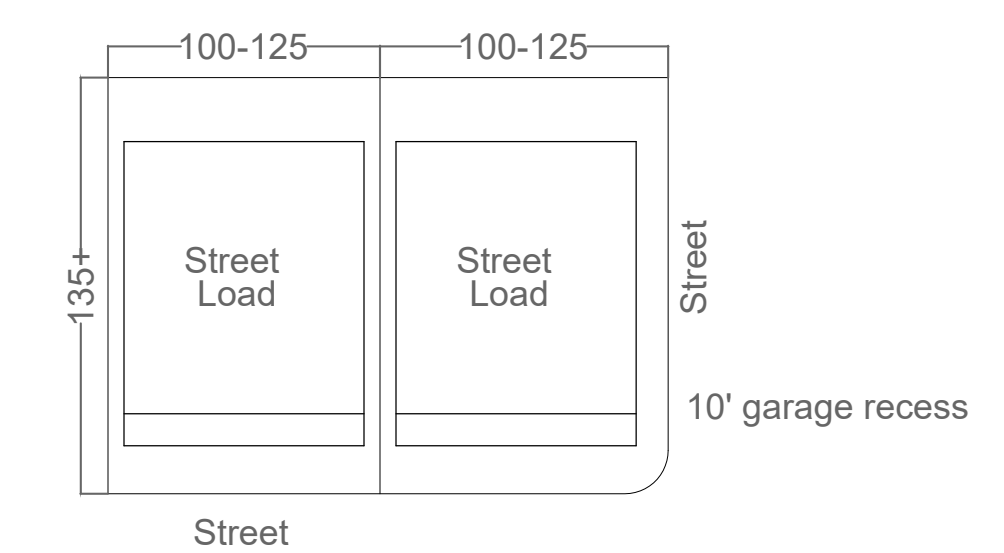
N.T.S.

4
A1.0 **56' & 60' DETACHED**
PLAN & ELEVATION

N.T.S.



Front Setback: 15'
Rear Setback: 20'
Side Setback: 5'
Side Street Setback: 10'
Side Alley Setback: 10'



Front Setback: 15'
Rear Setback: 20'
Side Setback: 5'
Side Street Setback: 10'
Side Alley Setback: 10'

5
A1.0 **65' - 85' DETACHED**
PLAN & ELEVATION

N.T.S.

5
A1.0 **100'-125' DETACHED**
PLAN & ELEVATION

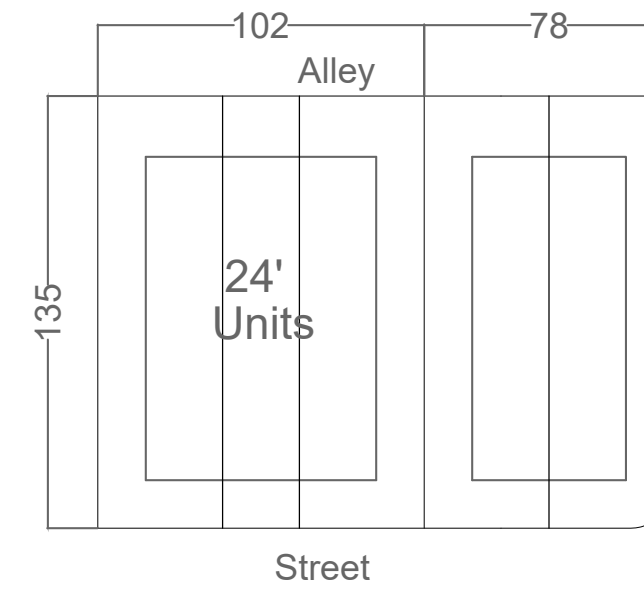
N.T.S.

The home elevations shown here are representative of the homes planned for Southbrooke. They are the basis for design review by the City of Franklin at the time of Site Plan Submittal. Based on my professional experience, the plans presented meet or exceed the design standards set forth by the City of Franklin.

Greg Gamble, Registered Landscape Architect.

Revision Date

△	_____
△	_____
△	_____
△	_____



Front Setback: 15'
 Rear Setback: 5' (18' for Parking)
 Side Setback: 15'
 Street Setback: 15'
 Alley Setback: 10'

3 UNIT

2 UNIT

1 24' ATTACHED
 A1.1 PLAN & ELEVATION

N.T.S.

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Greg Gamble, Registered Landscape Architect.

Revision	Date
△	_____
△	_____
△	_____
△	_____