

CONCEPTUAL DEVELOPMENT PLAN CHICKASAW PLANNED UNIT DEVELOPMENT

FRANKLIN HOUSING AUTHORITY CHICKASAW PLACE @ SHAWNEE DRIVE FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

STATEMENT OF IMPACT

STREET NETWORK - THOROUGHFARE PLAN

THE CONNECT FRANKLIN - A COMPREHENSIVE TRANSPORTATION NETWORK PLAN - AUGUST 2016, DESCRIBES THE EXISTING ROADWAY NETWORK FUNCTIONAL CLASSIFICATIONS. THE EXISTING ROADWAY NETWORK DIRECTLY CONNECTING THE PROPOSED DEVELOPMENT CONSISTS OF CHICKASAW PLACE, CHEROKEE PLACE, AND SHAWNEE DR./CULBERSON BLVD. ALL OF WHICH ARE CLASSIFIED AS LOCAL STREETS. CULBERSON BLVD. CONTIGUES TO THE NORTH AND CONNECTS WITH BOYD MILL AVE. WHICH IS CLASSIFIED AS A MINOR COLLECTOR. THE STUDY INCLUDES PROPOSED TRANSPORTATION NETWORK IMPROVEMENTS WHICH DO NOT IMPACT THE IMMEDIATE ROADWAY NETWORK. THE PROPOSED PROJECTS THAT ARE WITHIN THE VICINITY OF THE DEVELOPMENT WILL IMPACT SR 96, DOWNS BLVD AND W. MAIN STREET. THE STUDY INDICATES SHAWNEE DR./CULBERSON BLVD OPERATES AT LOS "A" UNDER EXISTING AND PROPOSED CONDITIONS WHICH PROJECT TO 2040.

BASED ON THE PROPOSED SIZE AND USE, SENIOR LIVING FACILITY, THE TRAFFIC THAT WILL BE GENERATED BY THE PROPOSED DEVELOPMENT WILL NOT HAVE A SIGNIFICANT IMPACT TO THE ROADWAY NETWORK AND ASSOCIATED LOS. THE CONNECTIVITY ALSO INCLUDES CONNECTION OF THE RESIDENTIAL USE WITH THE LOCAL JIM WARREN PARK VIA AN ACCESSIBLE SIDEWALK. THE PROPOSED DEVELOPMENT HAS BEEN DESIGNED TO PROMOTE CONNECTIVITY WITHIN THE EXISTING STREET AND SIDEWALK NETWORK WHICH IS CONSISTENT WITH THE GOALS OF THE COMPREHENSIVE TRANSPORTATION NETWORK PLAN. BASED ON THESE FACTORS THE IMPACT TO THE STREET NETWORK AS A RESULT OF THIS RE-ZONING IS EXPECTED TO BE INCONSEQUENTIAL.

WATER

EXISTING WATER SERVICE PROVIDED BY CITY OF FRANKLIN. THE PLANNED SENIOR LIVING FACILITY CONSISTS OF 43 ONE-BEDROOM AND 5 TWO-BEDROOM UNITS. OFFICE SPACE FOR APPROXIMATELY 5 EMPLOYEES IS PROVIDED ON THE FIRST FLOOR. WATER DEMAND FOR THIS FACILITY IS ESTIMATED A 1800 GPD.

SANITARY SEWER

EXISTING SANITARY SEWER IS PROVIDED BY THE CITY OF FRANKLIN. WASTEWATER FLOW RATES FOR THE SENIOR LIVING FACILITY IS ESTIMATED TO BE EQUAL TO THE WATER DEMAND OF 1800 GPD.

RECLAIMED WATER FACILITIES

THERE DOES NOT APPEAR TO BE A RECLAIMED WATER SYSTEM IN THE VICINITY OF THIS REZONING AND NO SIGNIFICANT IMPACTS TO UTILITIES ARE EXPECTED.

DRAINAGE

PROPERTY DRAINS GENERALLY FOR SOUTH TO NORTH TO SHARPS BRANCH LOCATED IN JIM WARREN PARK. STORM WATER FROM ADJACENT PROPERTIES TO THE SOUTH DRAIN TO SHARPS BRANCH ALSO, A PORTION OF WHICH IS FLOWS THROUGH AN EXISTING 18" CMP. THE EXISTING 18" CMP WILL BE REPLACED WITH AN 18" RCP AND THE EXISTING DRAINAGE PATTERN WILL BE MAINTAINED. OFF SITE DRAINAGE FROM THE SOUTH WILL BE COLLECTED AND DIVERTED AROUND THE NEW DEVELOPMENT. THE PROPOSED DEVELOPMENT WILL RESULT IN AN IMPERVIOUS SURFACE INCREASE OF APPROXIMATELY 91,000 S.F. OR 2.09 AC. THE PROPOSED STORMWATER MANAGEMENT SYSTEM WILL BE DESIGNED IN ACCORDANCE WITH CITY OF FRANKLIN STORMWATER REGULATIONS AND WILL INCLUDE A SYSTEM OF DITCHES, SWALES, AND STORMWATER PIPING TO A NETWORK OF BIORETENTION PONDS. ADDITIONAL CONSIDERATION INCLUDES IMPLEMENTATION OF PERVIOUS PAVERS IN PARKING STALL AREAS AS A MEANS TO REDUCE IMPERVIOUS SURFACE AND FACILITATE RUNOFF REDUCTION.

POLICE/FIRE

FRANKLIN FIRE DEPARTMENT IS LOCATED AT 109 3RD AVE SOUTH APPROXIMATELY 1.4 MILES FROM THE SITE. FRANKLIN POLICE DEPARTMENT IS LOCATED AT 900 COLUMBIA AVENUE APPROXIMATELY 1.2 MILES FROM THE SITE.

REFUSE

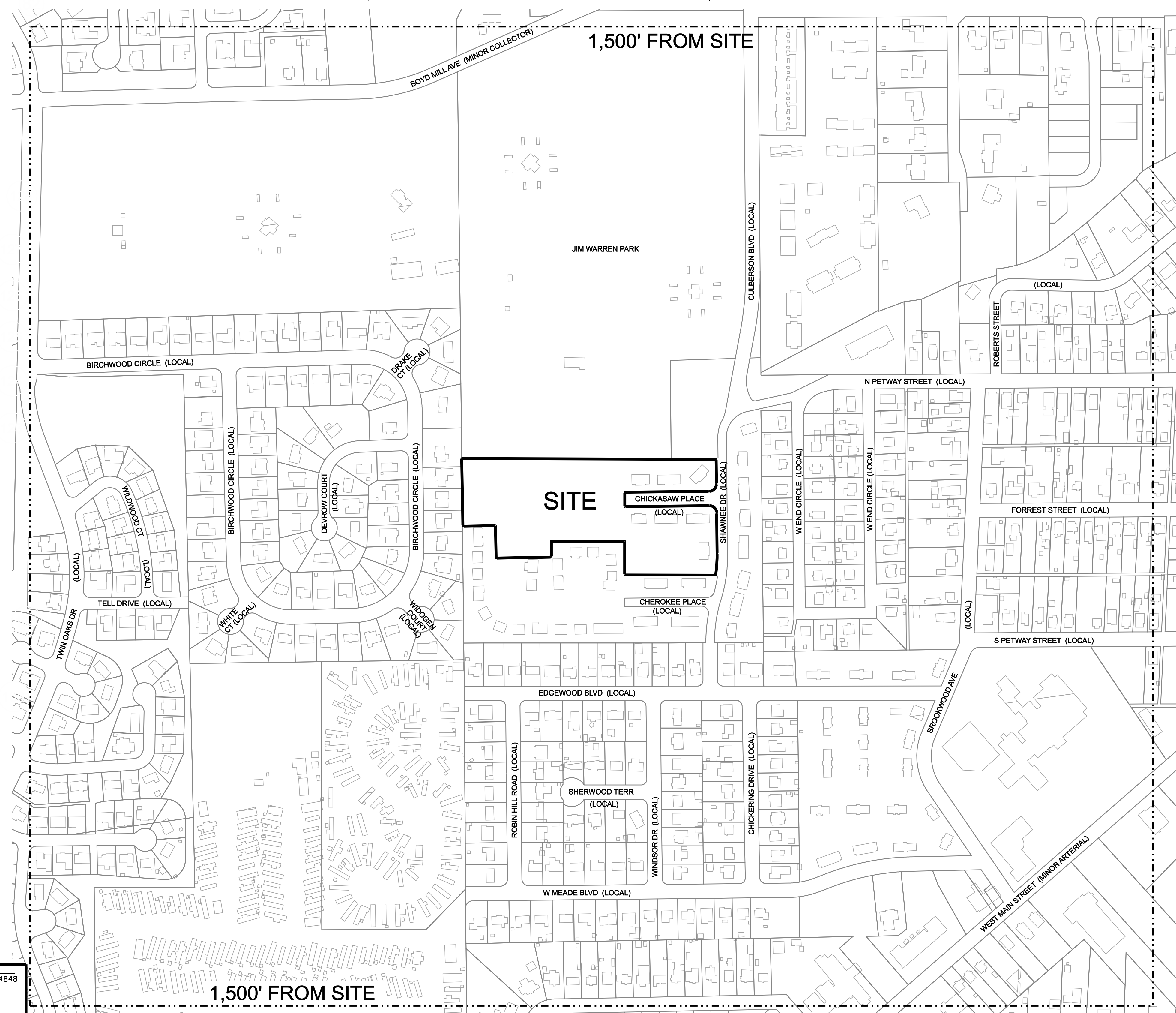
EXISTING REFUSE COLLECTION SERVICE PROVIDED BY THE CITY OF FRANKLIN.

RESTRICTIVE COVENANTS

THERE ARE NO RESTRICTIVE COVENANTS ASSOCIATED WITH THIS PARCEL.

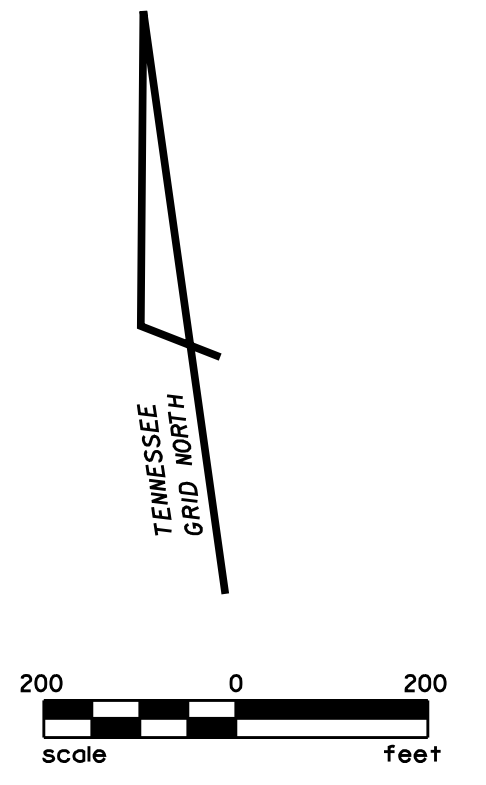
MINERAL RIGHTS

THERE ARE NO THIRD PARTY MINERAL RIGHTS ASSOCIATED WITH THIS PARCEL.



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TOTAL SITE ACREAGE	6.38 ACRES
OPEN SPACE SET-ASIDE (5%)	0.32 ACRE
FORMAL OPEN SPACE	0.40 ACRE
TREE PROTECTION	1.01 ACRES

PARKS ORDINANCE - 5.5.4

48 UNITS TOTAL

35 UNITS AT 1,200 SF = 42,000 SF

13 UNITS AT 600 SF = 7,800 SF

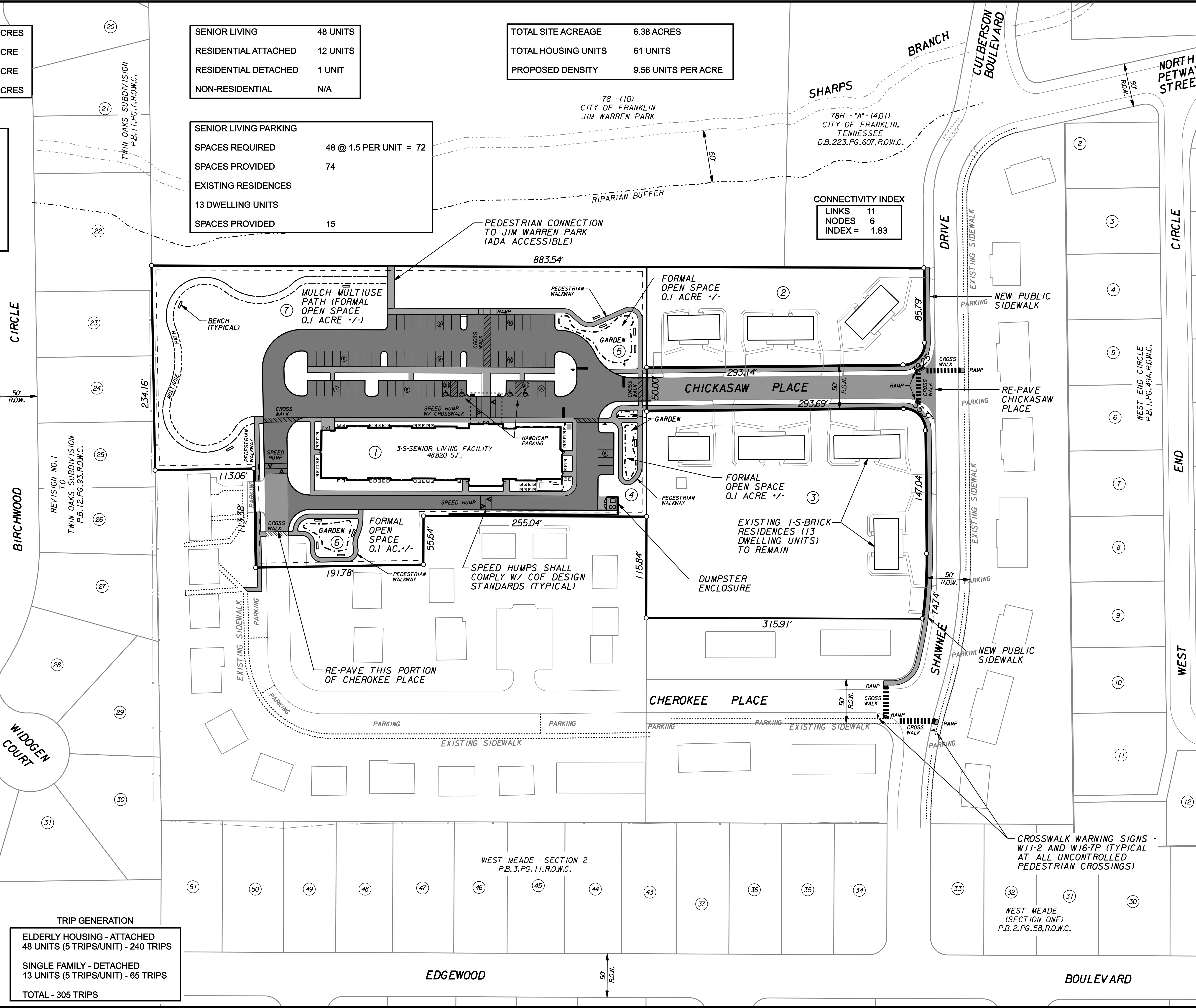
TOTAL SQUARE FOOTAGE NEEDED TO MEET ORDINANCE IS 49,800 SF. (FEES SHALL BE PAID AT OR BEFORE THE FINAL PLAT CAN BE RECORDED)

SENIOR LIVING	48 UNITS
RESIDENTIAL ATTACHED	12 UNITS
RESIDENTIAL DETACHED	1 UNIT
NON-RESIDENTIAL	N/A

SENIOR LIVING PARKING	
SPACES REQUIRED	48 @ 1.5 PER UNIT = 72
SPACES PROVIDED	74
EXISTING RESIDENCES	
13 DWELLING UNITS	
SPACES PROVIDED	15

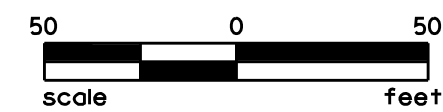
TOTAL SITE ACREAGE	6.38 ACRES
TOTAL HOUSING UNITS	61 UNITS
PROPOSED DENSITY	9.56 UNITS PER ACRE

CONNECTIVITY INDEX	
LINKS	11
NODES	6
INDEX =	1.83



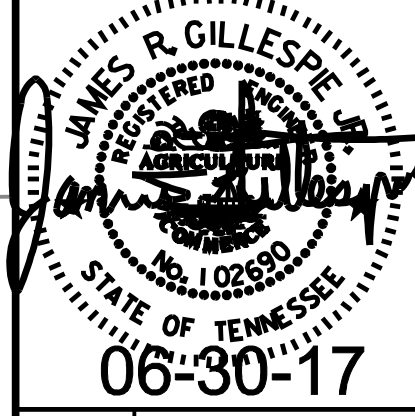
TRIP GENERATION

ELDERLY HOUSING - ATTACHED	48 UNITS (5 TRIPS/UNIT) - 240 TRIPS
SINGLE FAMILY - DETACHED	13 UNITS (5 TRIPS/UNIT) - 65 TRIPS
TOTAL	305 TRIPS



One Vantage Way, Suite E228 Nashville, Tennessee 37228-9416 615-756-1848

JAMES R. GILLESPIE
Engineers and Planners and Computer Applications
JAMES + ASSOCIATES, INC.



DEVELOPMENT PLAN

CONCEPTUAL DEVELOPMENT PLAN

CHICKASAW PLANNED UNIT DEVELOPMENT

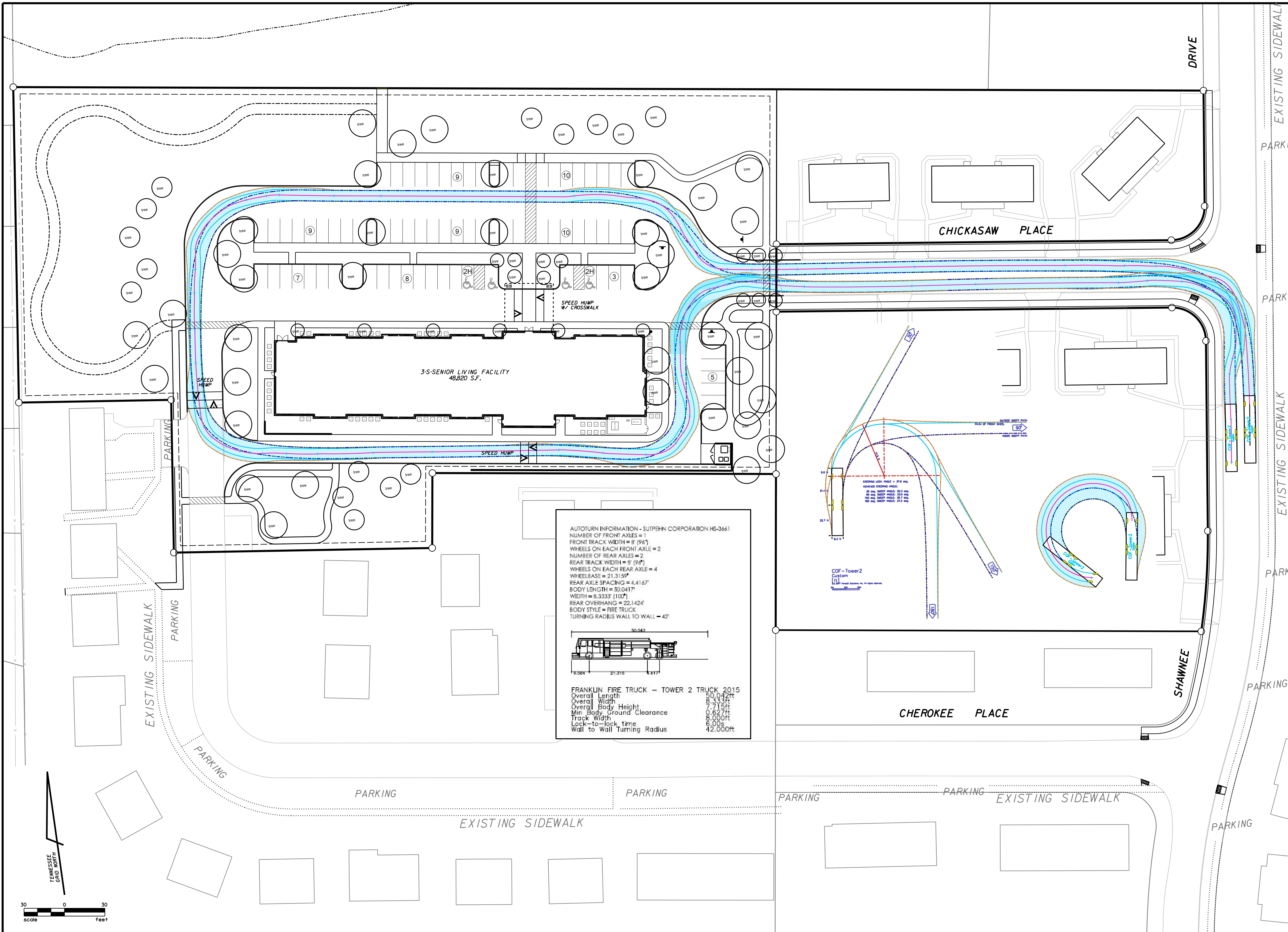
CHICKASAW PLACE @ SHAWNEE DRIVE

FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

DR.	CHK.	DATE	DESCRIPTION
JMD	RDJ	06.01.17	PRE-APPLICATION
JMD	JRC	06.09.17	FMPC SUBMITTAL
JMD	JRC	06.30.17	FMPC RESUBMITTAL

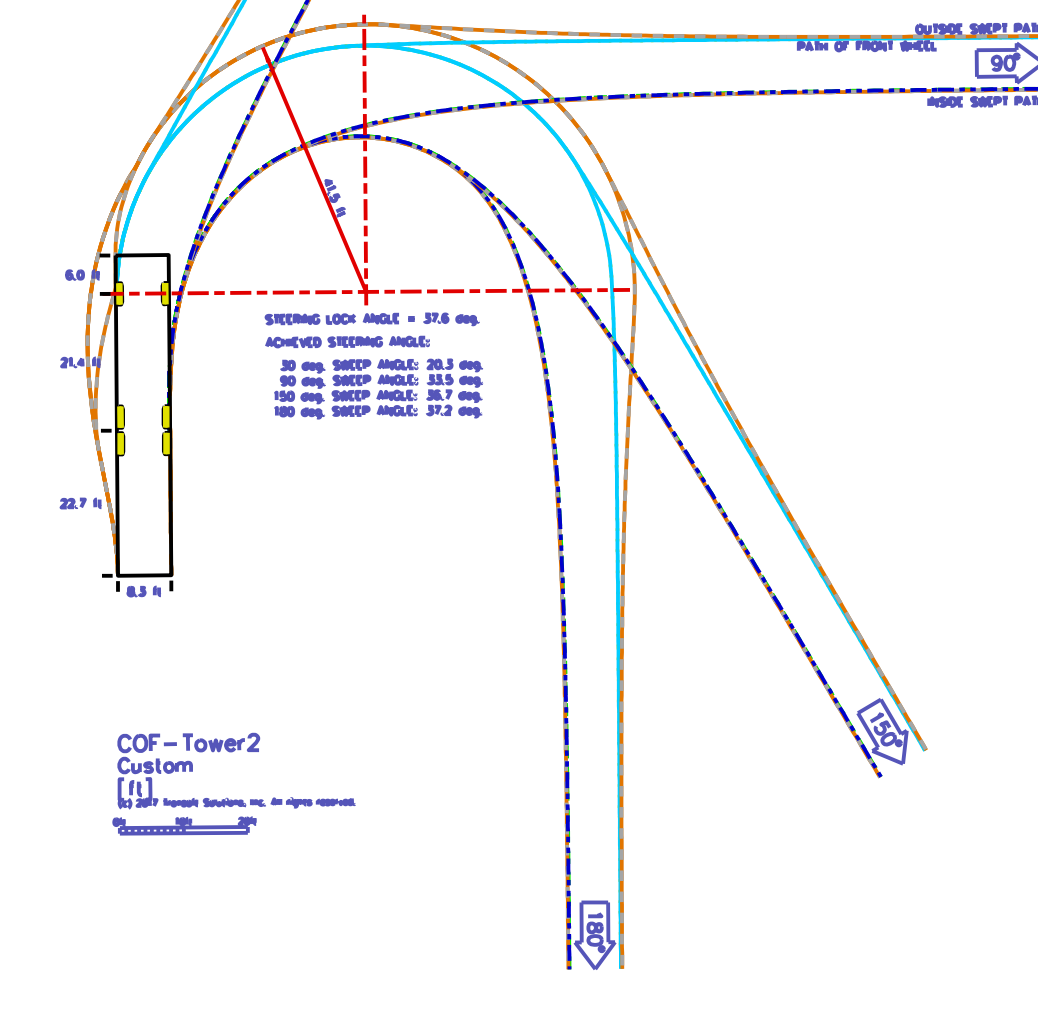
C2.0

COF PROJECT No. 6476
J+A PROJECT No. 1716-07



AUTOTURN INFORMATION - SUTPEHN CORPORATION HS-3661
 NUMBER OF FRONT AXLES = 1
 FRONT TRACK WIDTH = 8' (96")
 WHEELS ON EACH FRONT AXLE = 2
 NUMBER OF REAR AXLES = 2
 REAR TRACK WIDTH = 8' (96")
 WHEELS ON EACH REAR AXLE = 4
 WHEELBASE = 21.3156'
 REAR AXLE SPACING = 4.4167'
 BODY LENGTH = 50.0417'
 WIDTH = 8.3333' (110")
 REAR OVERHANG = 22.1424'
 BODY STYLE = FIRE TRUCK
 TURNING RADIUS WALL TO WALL = 42'

FRANKLIN FIRE TRUCK - TOWER 2 TRUCK 2015
 Overall Length 50.042ft
 Overall Width 8.333ft
 Overall Body Height 7.715ft
 Min Body Ground Clearance 0.627ft
 Track Width 8.000ft
 Lock-to-lock time 6.00s
 Wall to Wall Turning Radius 42.000ft



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J+A Engineers and Planners and Computer Applications
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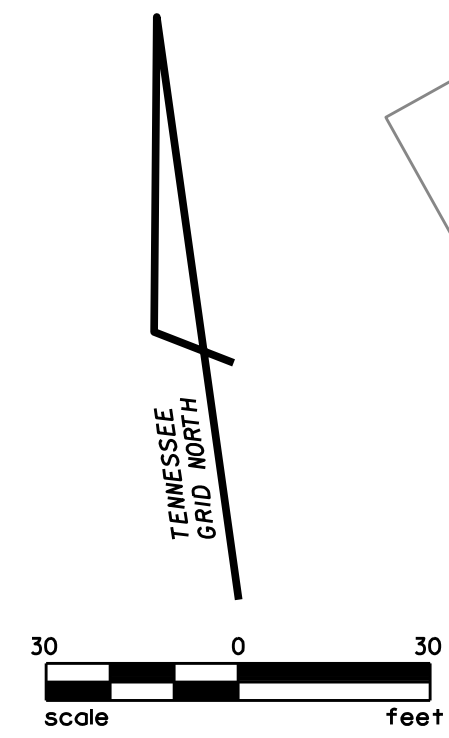
JAMES R. GILLESPIE
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF TENNESSEE
 No. 102690
 06-30-17

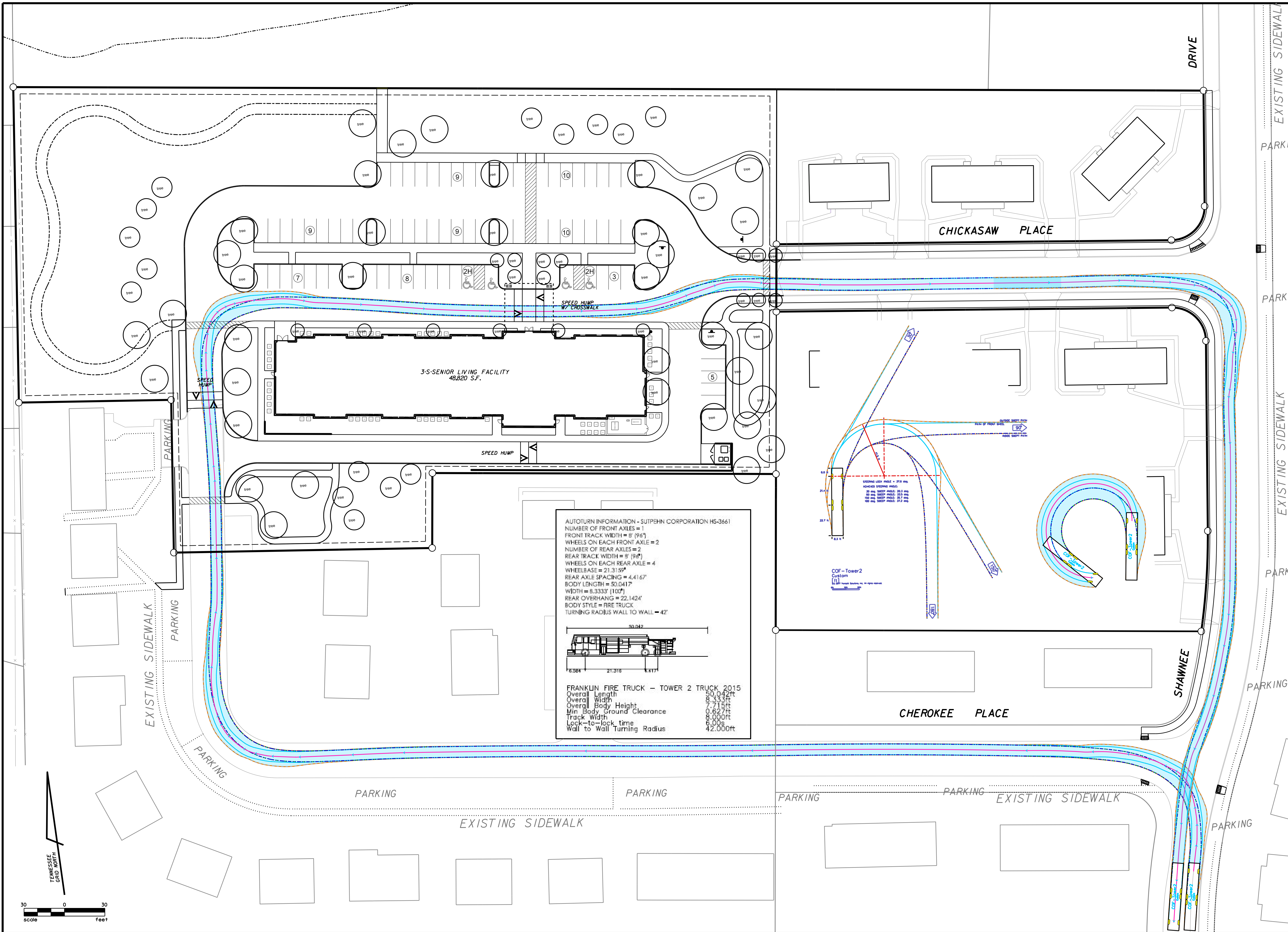
AUTOTURN PLAN - SHEET 1 OF 3
CONCEPTUAL DEVELOPMENT PLAN
CHICKASAW PLANNED UNIT DEVELOPMENT
CHICKASAW PLACE @ SHAWNEE DRIVE
FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

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JMD	JRC	06.30.17	FMPC RESUBMITTAL

C2.1

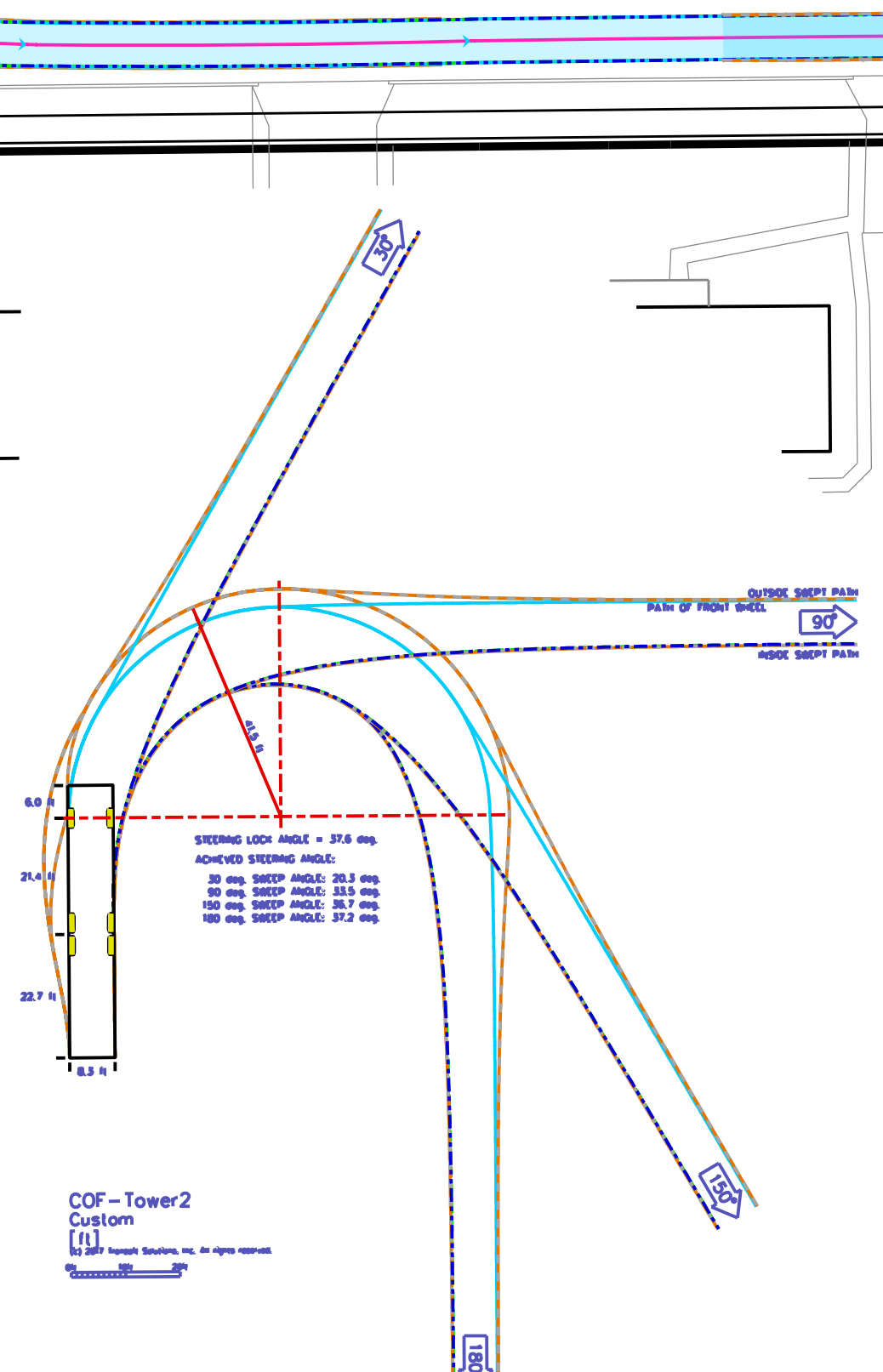
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 NUMBER OF REAR AXLES = 2
 REAR TRACK WIDTH = 8' (96")
 WHEELS ON EACH REAR AXLE = 4
 WHEELBASE = 21.3159'
 REAR AXLE SPACING = 4.4167'
 BODY LENGTH = 50.0417'
 WIDTH = 8.3333' (100")
 REAR OVERHANG = 22.1424'
 BODY STYLE = FIRE TRUCK
 TURNING RADIUS WALL TO WALL = 42'

FRANKLIN FIRE TRUCK - TOWER 2 TRUCK 2015
 Overall Length 50.042ft
 Overall Width 8.333ft
 Overall Body Height 7.715ft
 Min. Body Ground Clearance 0.622ft
 Track Width 8.000ft
 Lock-to-lock time 6.00s
 Wall to Wall Turning Radius 42.000ft



One Vantage Way, Suite E228 Nashville, Tennessee 37228-541 65-726-1848
JA Engineers and Planners and Computer Applications
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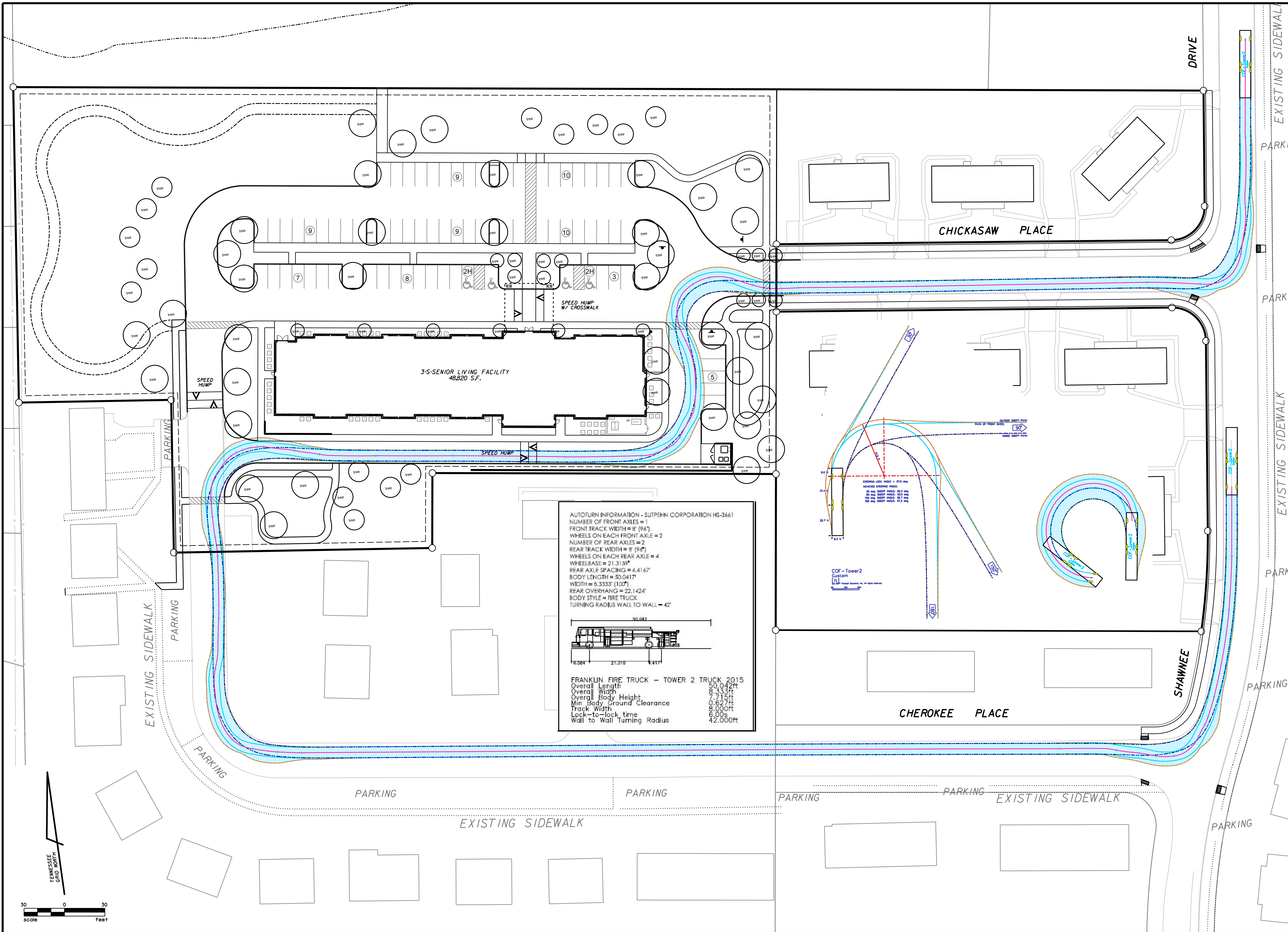
STATE OF TENNESSEE
 JAMES R. GILLESPIE
 No. 102690
 06-30-17

AUTOTURN PLAN - SHEET 2 OF 3
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 CHICKASAW PLACE @ SHAWNEE DRIVE
 FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

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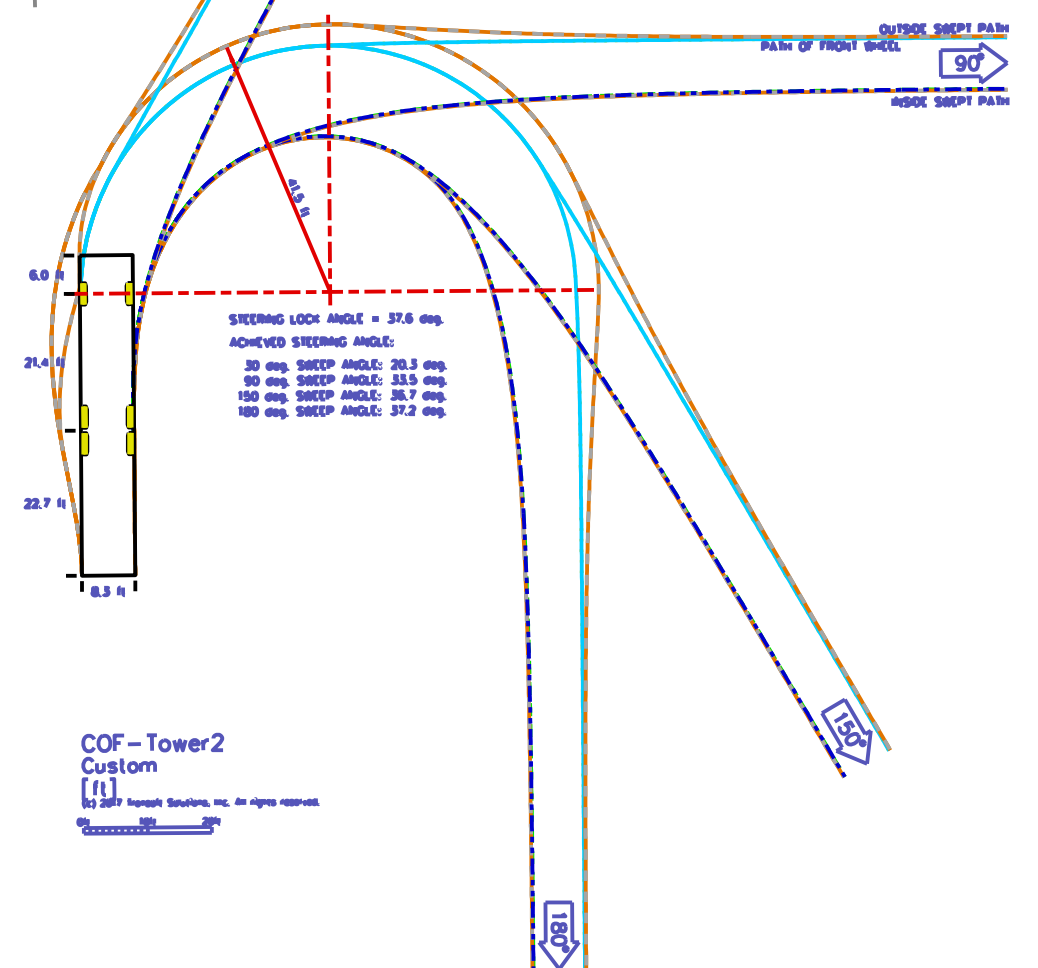
C2.2

COF PROJECT No. 6476
 JA PROJECT No. 1716-07



AUTOTURN INFORMATION - SUTPEHN CORPORATION HS-3661
 NUMBER OF FRONT AXLES = 1
 FRONT TRACK WIDTH = 9' (96")
 WHEELS ON EACH FRONT AXLE = 2
 NUMBER OF REAR AXLES = 2
 REAR TRACK WIDTH = 8' (96")
 WHEELS ON EACH REAR AXLE = 4
 WHEELBASE = 21.315'
 REAR AXLE SPACING = 4.4167'
 BODY LENGTH = 50.0417'
 WIDTH = 8.3333' (100")
 REAR OVERHANG = 22.1424'
 BODY STYLE = FIRE TRUCK
 TURNING RADIUS WALL TO WALL = 42'

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 Wall to Wall Turning Radius 42.000ft



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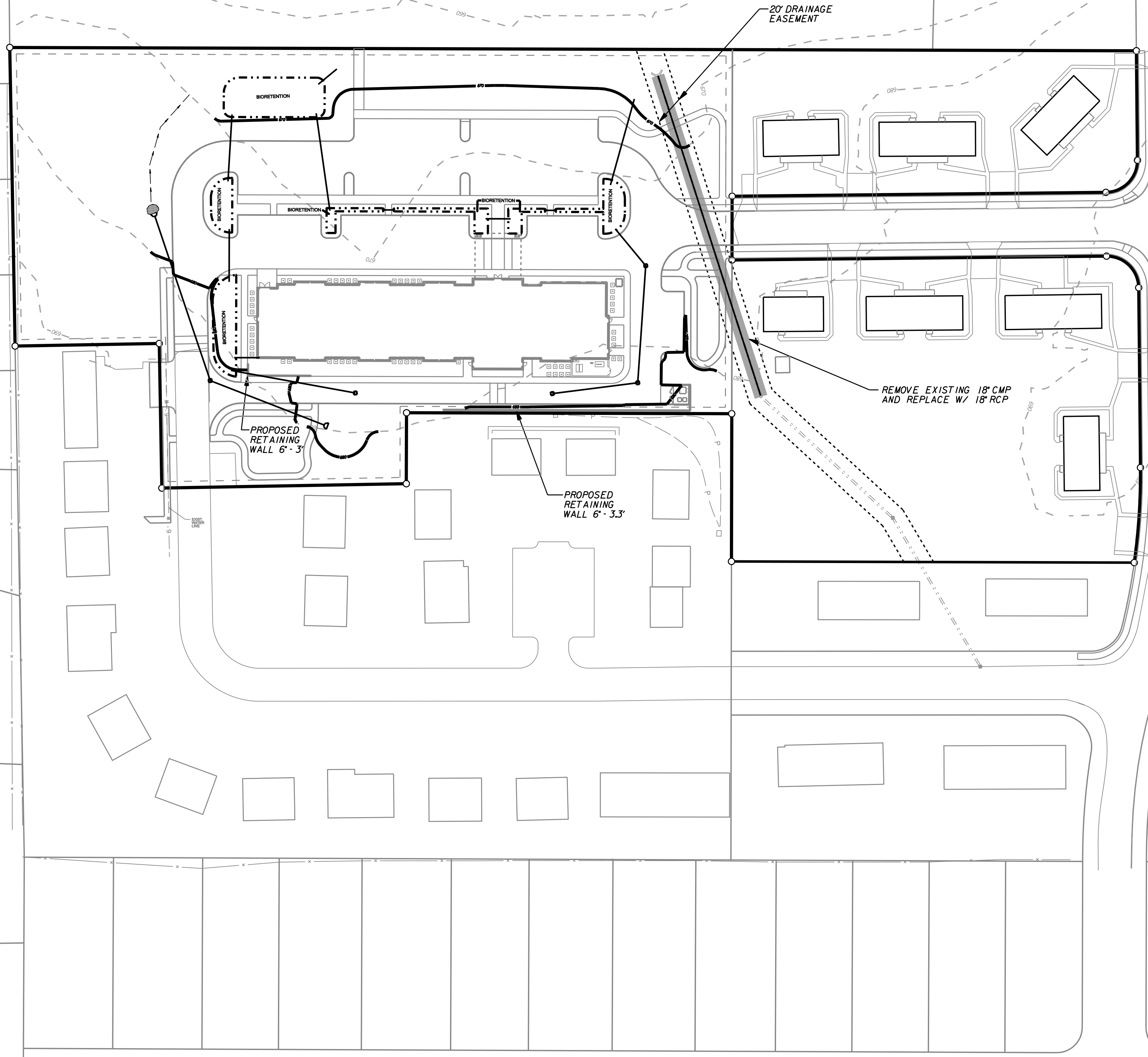
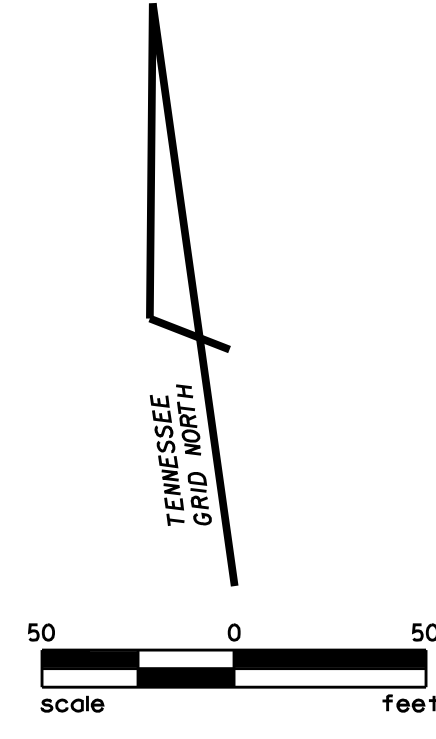
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 No. 102690
 06-30-17

AUTOTURN PLAN - SHEET 3 OF 3
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 CHICKASAW PLANNED UNIT DEVELOPMENT
 CHICKASAW PLACE @ SHAWNEE DRIVE
 FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

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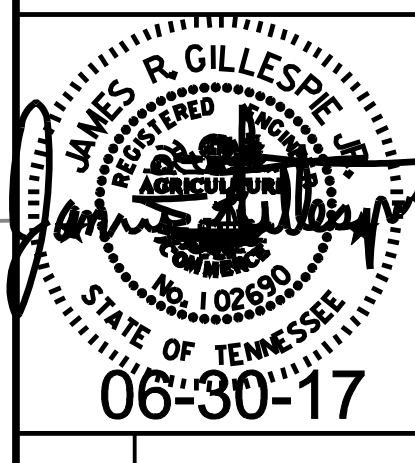
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 J+A PROJECT No. 1716-07



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JMD	JRC	06.30.17	FMPC RESUBMITTAL

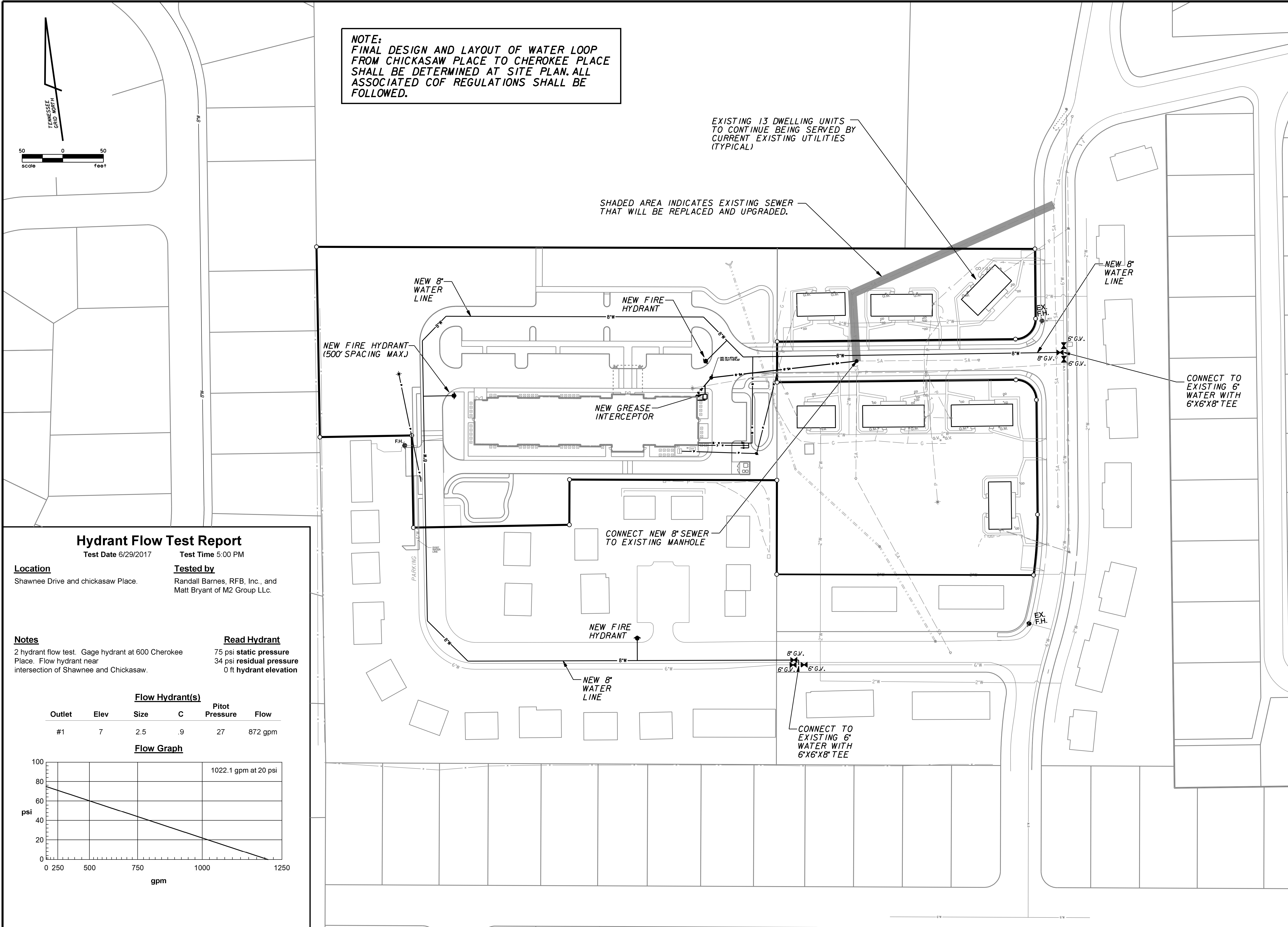
GRADING AND DRAINAGE PLAN
CONCEPTUAL DEVELOPMENT PLAN
CHICKASAW PLANNED UNIT DEVELOPMENT
CHICKASAW PLACE @ SHAWNEE DRIVE
FRANKLIN, WILLIAMSON COUNTY, TENNESSEE



JAMES R. GILLESPIE
 ENGINEER
 STATE OF TENNESSEE
 No. 102690
 06-30-17

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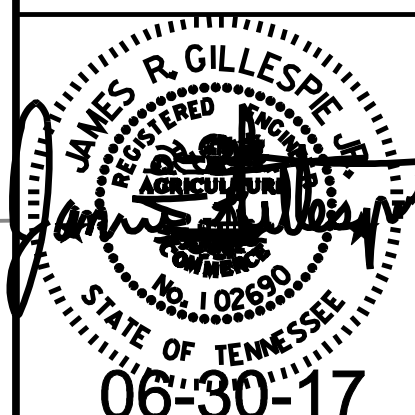
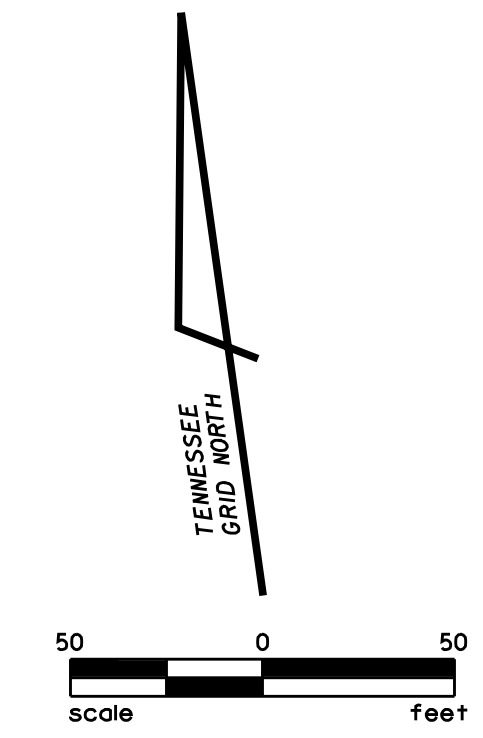
C3.0
 COF PROJECT No. 6476
 J+A PROJECT No. 1716-07



NOTE:
 FINAL DESIGN AND LAYOUT OF WATER LOOP FROM CHICKASAW PLACE TO CHEROKEE PLACE SHALL BE DETERMINED AT SITE PLAN. ALL ASSOCIATED COF REGULATIONS SHALL BE FOLLOWED.

EXISTING 13 DWELLING UNITS TO CONTINUE BEING SERVED BY CURRENT EXISTING UTILITIES (TYPICAL)

SHADED AREA INDICATES EXISTING SEWER THAT WILL BE REPLACED AND UPGRADED.



UTILITY PLAN
 CONCEPTUAL DEVELOPMENT PLAN
 CHICKASAW PLANNED UNIT DEVELOPMENT
 CHICKASAW PLACE @ SHAWNEE DRIVE
 FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

DR.	CHK.	DATE	DESCRIPTION
JMD	RDJ	06.09.17	PRE-APPLICATION
JMD	JRC	06.09.17	FMPC SUBMITTAL
JMD	JRC	06.30.17	FMPC RESUBMITTAL

C4.0
 COF PROJECT No. 6476
 J+A PROJECT No. 1716-07

Hydrant Flow Test Report

Test Date 6/29/2017 Test Time 5:00 PM

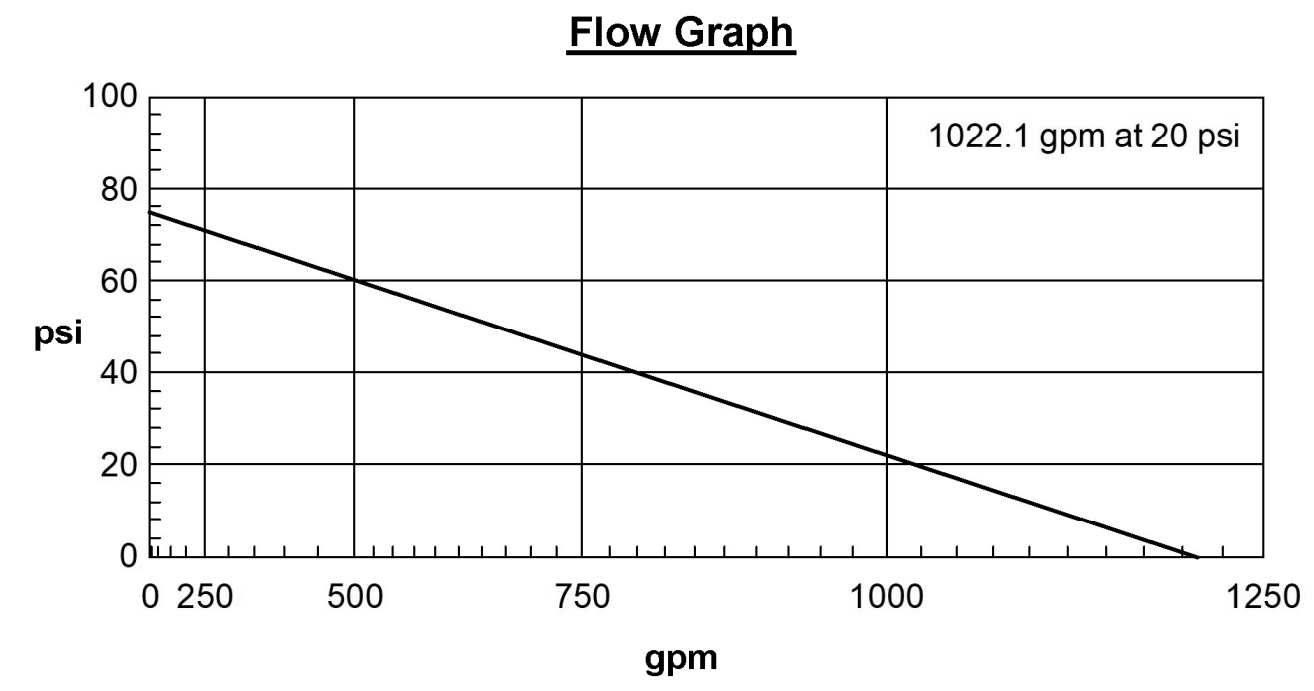
Location
 Shawnee Drive and Chickasaw Place.

Tested by
 Randall Barnes, RFB, Inc., and Matt Bryant of M2 Group LLC.

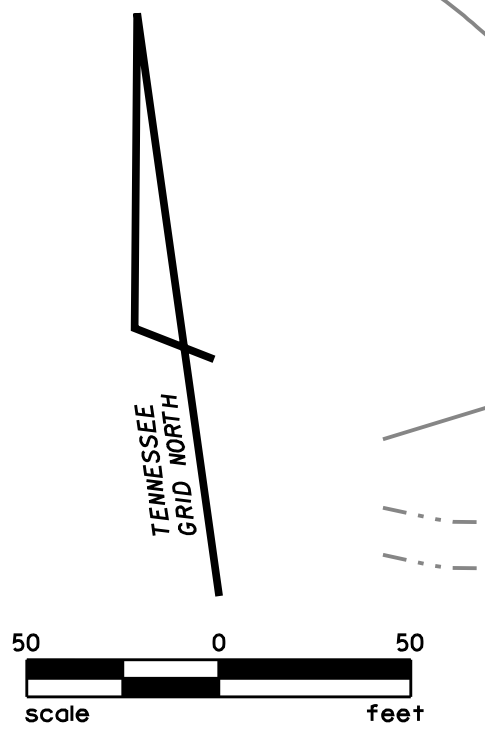
Notes
 2 hydrant flow test. Gage hydrant at 600 Cherokee Place. Flow hydrant near intersection of Shawnee and Chickasaw.

Read Hydrant
 75 psi static pressure
 34 psi residual pressure
 0 ft hydrant elevation

Flow Hydrant(s)					
Outlet	Elev	Size	C	Pitot Pressure	Flow
#1	7	2.5	.9	27	872 gpm



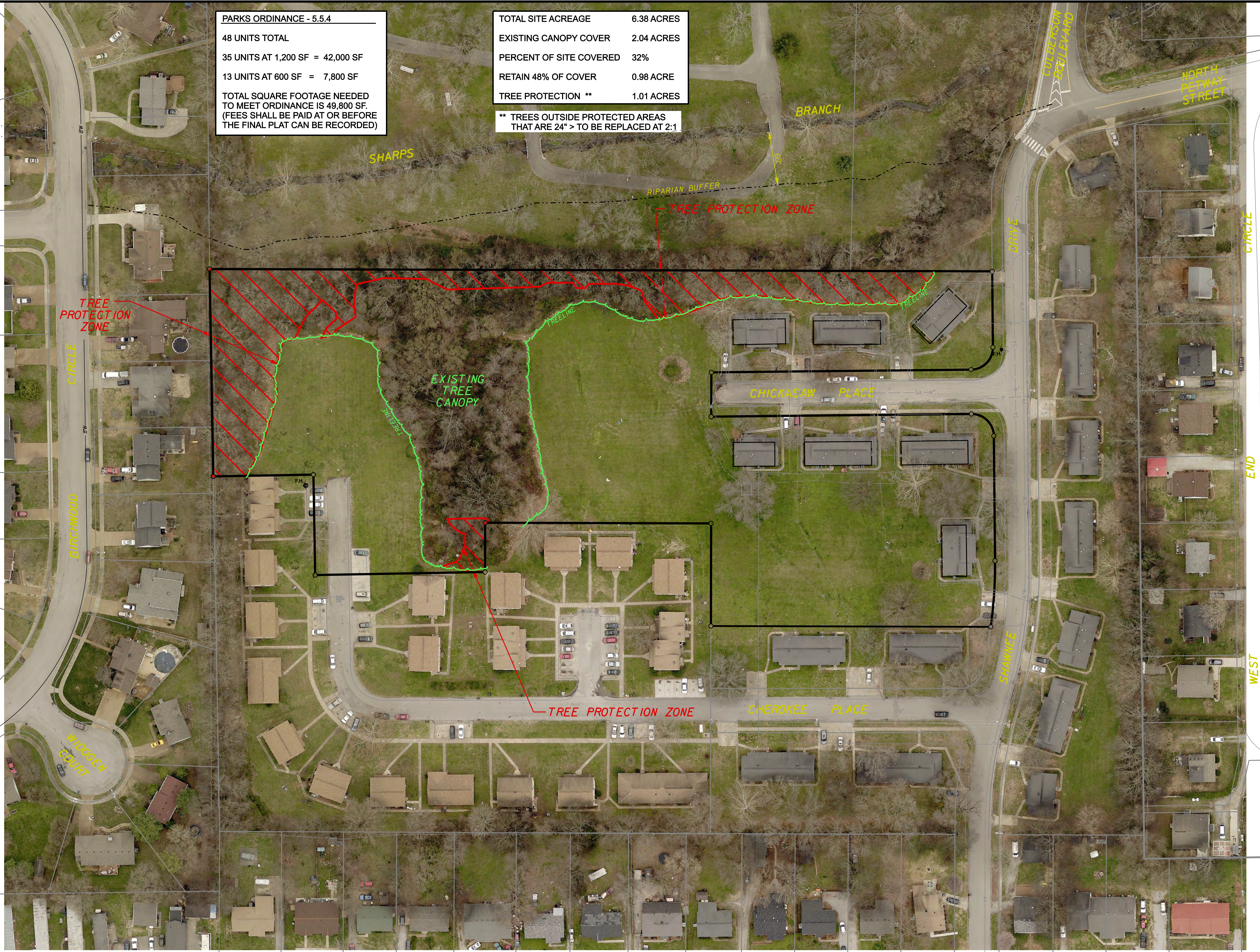
Created with the free hydrant flow test program from www.igneusinc.com



PARKS ORDINANCE - 5.5.4
 48 UNITS TOTAL
 35 UNITS AT 1,200 SF = 42,000 SF
 13 UNITS AT 600 SF = 7,800 SF
 TOTAL SQUARE FOOTAGE NEEDED TO MEET ORDINANCE IS 49,800 SF.
 (FEES SHALL BE PAID AT OR BEFORE THE FINAL PLAT CAN BE RECORDED)

TOTAL SITE ACREAGE 6.38 ACRES
 EXISTING CANOPY COVER 2.04 ACRES
 PERCENT OF SITE COVERED 32%
 RETAIN 48% OF COVER 0.98 ACRE
 TREE PROTECTION ** 1.01 ACRES

** TREES OUTSIDE PROTECTED AREAS THAT ARE 24" > TO BE REPLACED AT 2:1



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JMD	JRC	06.30.17	FWPC RESUBMITTAL

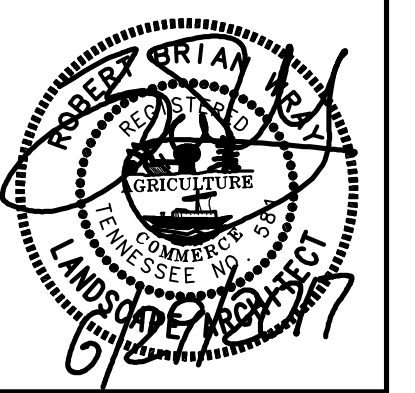
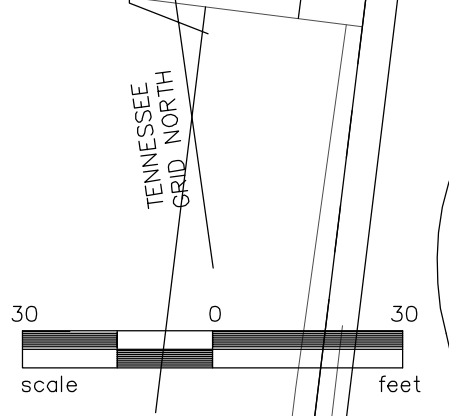
TREE PROTECTION PLAN
CONCEPTUAL DEVELOPMENT PLAN
CHICKASAW PLANNED UNIT DEVELOPMENT
CHICKASAW PLACE @ SHAWNEE DRIVE
FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

06-30-17

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C5.0
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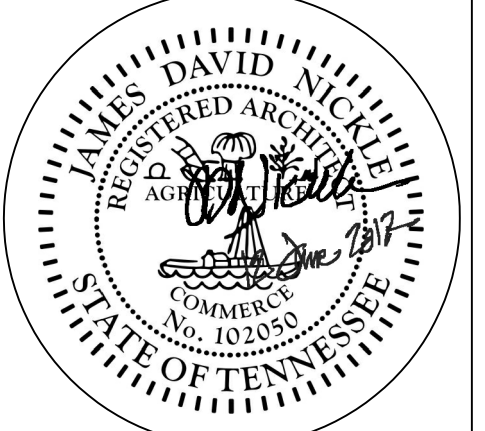


OPEN SPACE / PARKLAND
CONCEPTUAL DEVELOPMENT PLAN
CHICKASAW PLANNED UNIT DEVELOPMENT
CHICKASAW PLACE @ SHAWNEE DRIVE
FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

REQUIREMENTS:	QUANTITY PROVIDED			INCHES PROVIDED CALIPER INCHES
	EXISTING TREES	PROPOSED	TOTAL PROVIDED	
PROJECT ZONING: PUD				
ADJACENT ZONING: XXX				
DEVELOPMENT TYPE: TRADITIONAL				
SITE AREA: 3.80				
LSR REQUIRED: .20				
LSR PROVIDED: .40				
EXISTING CANOPY COVER: 80,000 SF (48.0%)				
PROPOSED CANOPY COVER: 43,560 SF (26.0%)				
MINIMUM ACI REQUIREMENTS:				
CANOPY TREES: 82 X 3.80 = 312 INCHES				
UNDERSTORY TREES: 21 X 3.80 = 80 INCHES				
SHRUBS: 96 X 3.80 = 365 SHRUBS				
	EXISTING TREES=14":	0	0	0.0
	EXISTING TREES:	0	0	0.0
	4" CALIPER CANOPY TREES:	0	0	0.0
	3" CALIPER CANOPY TREES:	0	0	0.0
	2" CALIPER CANOPY TREES:	0	0	0.0
	AGGREGATE CANOPY CALIPER INCHES PROVIDED:			0.0
	AGGREGATE CANOPY CALIPER INCHES REQUIRED:			0.0
	2" CALIPER UNDERSTORY TREES:	0	0	0.0
	1.5" CALIPER UNDERSTORY TREES:	0	0	0.0
	AGGREGATE UNDERSTORY CALIPER INCHES PROVIDED:			0.0
	AGGREGATE UNDERSTORY CALIPER INCHES REQUIRED:			0.0
	MIN.18" HIGH SHRUBS:			0.0
	MIN.30" HIGH SHRUBS:			0.0
	TOTAL SHRUBS PROVIDED:			0.0
	TOTAL SHRUBS REQUIRED:			0.0

FORMAL OPEN SPACE REQUIREMENTS
 TO BE DETERMINED

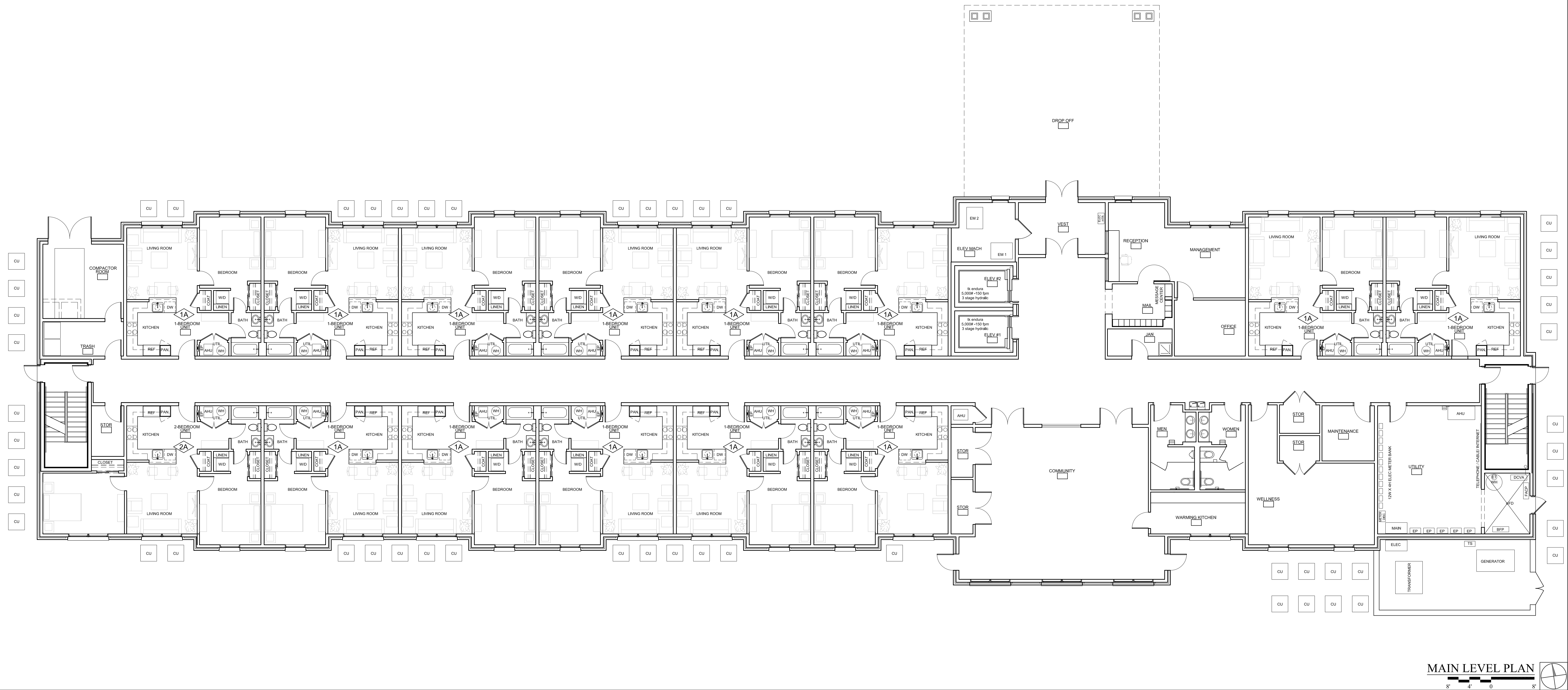
DR.	CHK.	DATE	DESCRIPTION
JMD	RDJ	05.22.17	PRE-APPLICATION
JMD	RDJ	06.22.17	JOINT FMPC/BOMA
		06.30.17	FMPC RESUBMITTAL



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**CONCEPTUAL DEVELOPMENT PLAN
CHICKASAW PLANNED UNIT DEVELOPMENT
CHICKASAW PLACE AND SHAWNEE DRIVE
FRANKLIN, WILLIAMSON COUNTY, TENNESSEE**



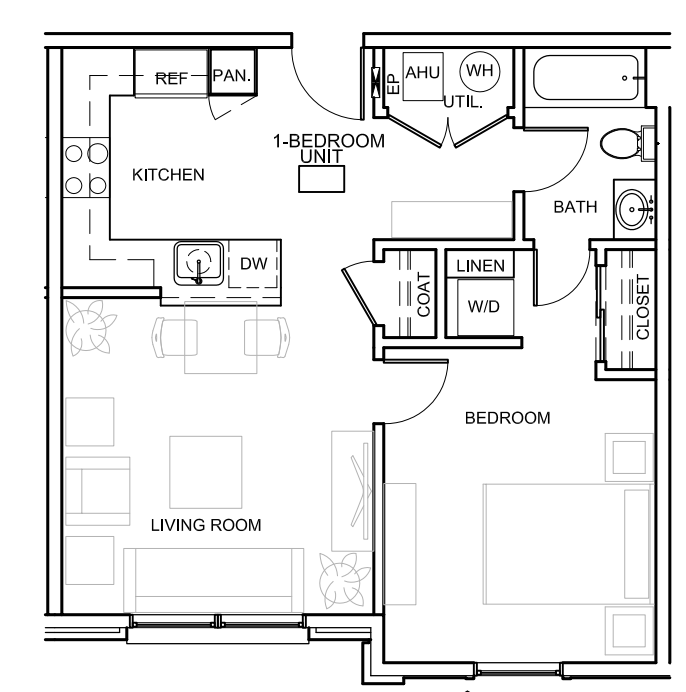
MAIN LEVEL PLAN
8' 4' 0' 8'

GENERAL NOTES

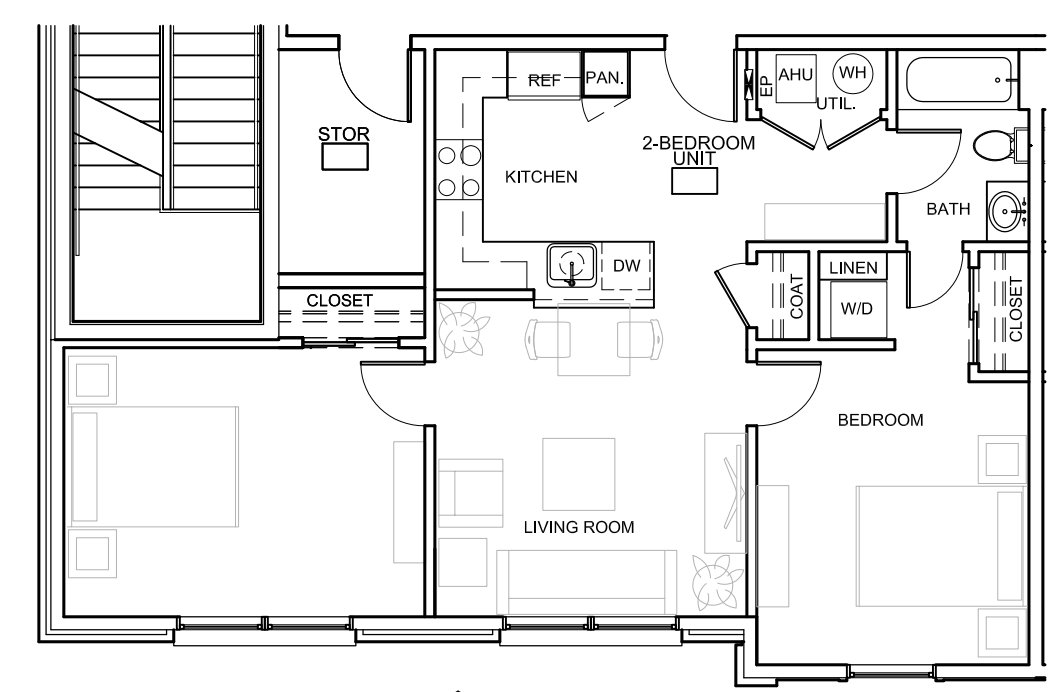
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DIMENSION NOTES

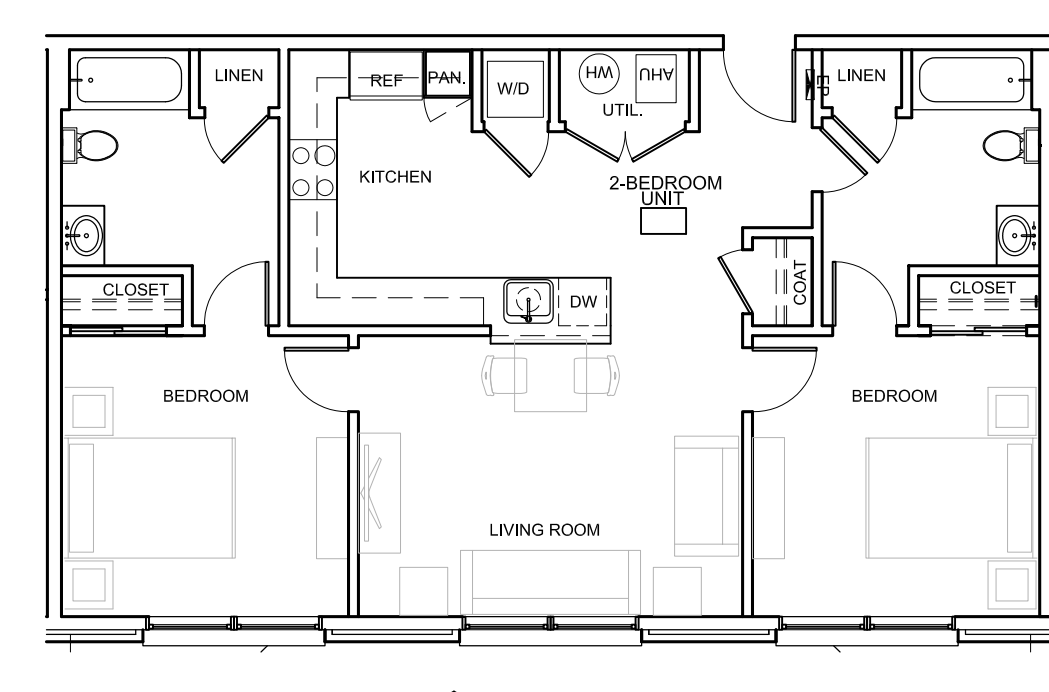
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CONCRETE - FROM F.O. CONC. TO F.O. CONC.
MASONRY - FROM F.O. MASONRY TO F.O. MASONRY
EXTERIOR WALL - FROM EXT. F.O. WALL TO INT. F.O. FINISH
INTERIOR ELEVATION - FROM FIN. FLR. TO FIN. CEILING
ALL ROUGH OPENING DIMENSIONS FOR WINDOWS AND DOORS SHALL BE FIELD VERIFIED PRIOR TO UNIT FABRICATION OR INSTALLATION.
CASEWORK DIMENSIONS SHALL BE FIELD VERIFIED BEFORE UNIT FABRICATION OR INSTALLATION.
ALL FLOOR TO FLOOR AND CEILING HEIGHTS ARE DIMENSIONED FROM FINISHED FLOOR.
REFERENCE CIVIL AND LANDSCAPE SITE PLANS TO COORDINATE EXTERIOR SPOT ELEVATIONS AT EGRESS.
ALL ROOF OVERHANG DIMENSIONS ARE TYPICAL UNLESS NOTED OTHERWISE
DOORS ARE TO BE INSTALLED 4" FROM HINGE EDGE TO NEAREST INTERSECTING WALL - TYPICAL, U.N.O.



UNIT TYPE 1A 1A
660 SF
(43) UNITS TOTAL



UNIT TYPE 2A 2A
880 SF
(3) UNITS TOTAL



UNIT TYPE 2B 2B
1040 SF
(2) UNITS TOTAL

MAIN FLOOR F.F.E.	0'-0"
AREA:	17,050 GSF
1 BR UNITS:	13
2 BR UNITS:	1

MAIN LEVEL:	17,050 GSF
SECOND LEVEL:	15,885 GSF
THIRD LEVEL:	15,885 GSF
TOTAL AREA:	48,820 GSF

PER SECTION 5.3.5 OF THE ZONING ORDINANCE, ALL SIDES OF AN ATTACHED RESIDENTIAL BUILDING VISIBLE FROM LANDS OCCUPIED OR DESIGNATED FOR DETACHED RESIDENTIAL USES, AN EXISTING PUBLIC STREET ROW, OR OTHER PUBLIC LANDS SHALL DISPLAY A SIMILAR LEVEL OF QUALITY AND ARCHITECTURAL DETAILING.
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FMPC SUBMITTAL

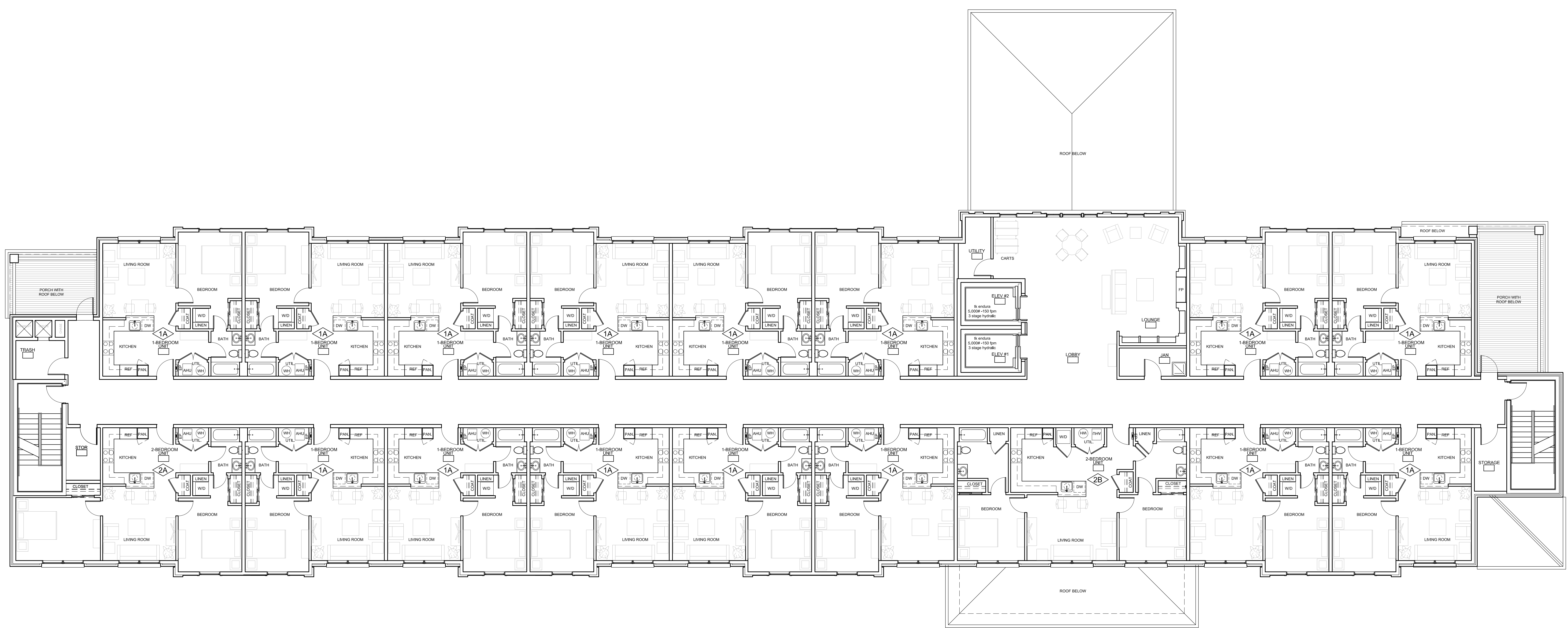
ISSUED 09 JUN 2017
PROJECT # 16048.01
COF # 6476



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**CONCEPTUAL DEVELOPMENT PLAN
CHICKASAW PLANNED UNIT DEVELOPMENT
CHICKASAW PLACE AND SHAWNEE DRIVE
FRANKLIN, WILLIAMSON COUNTY, TENNESSEE**



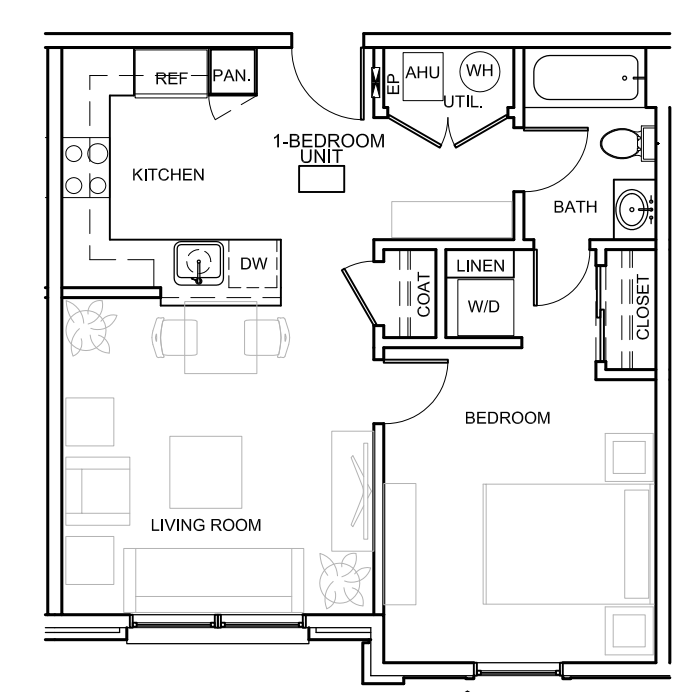
SECOND AND THIRD LEVEL PLAN
8" 4" 0" 8"

GENERAL NOTES

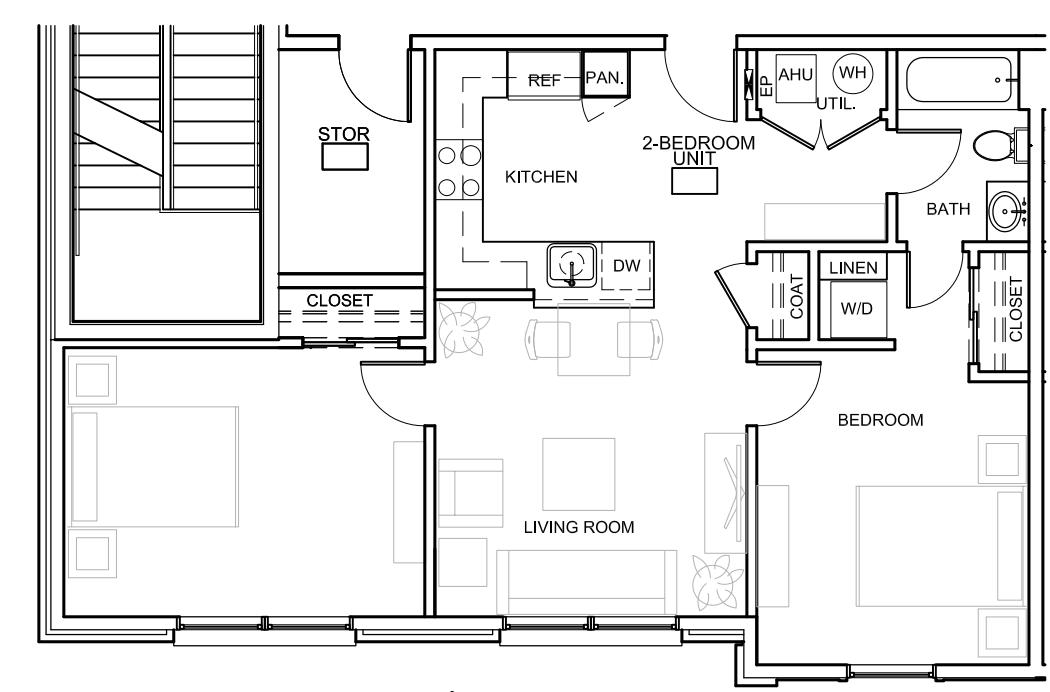
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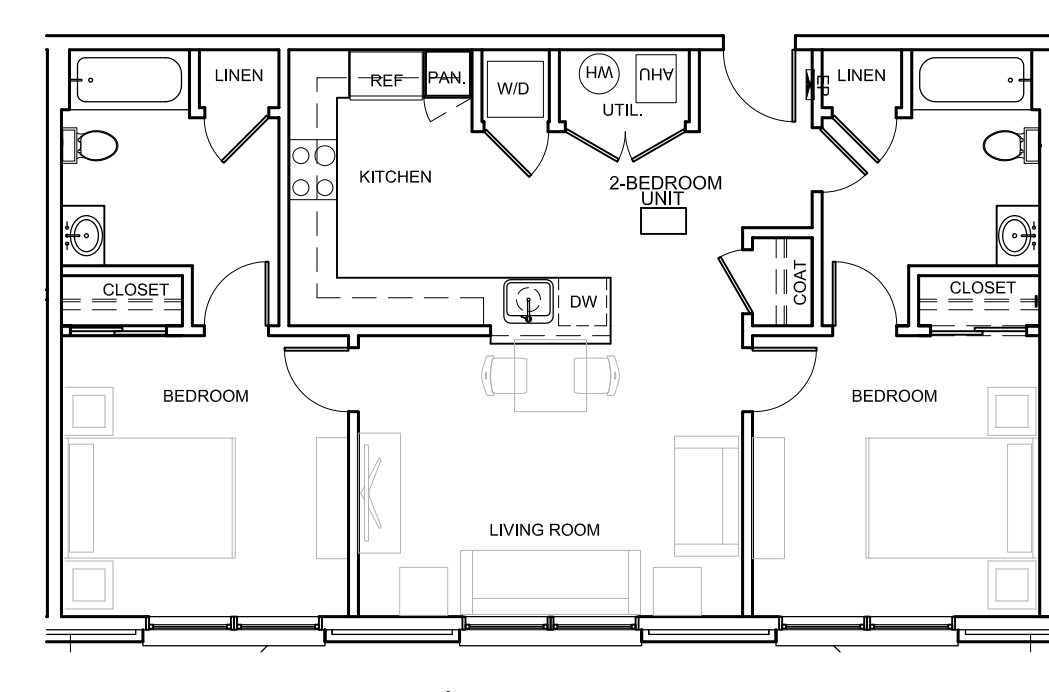
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680 SF
(43) UNITS TOTAL



UNIT TYPE 2A 2A
880 SF
(3) UNITS TOTAL



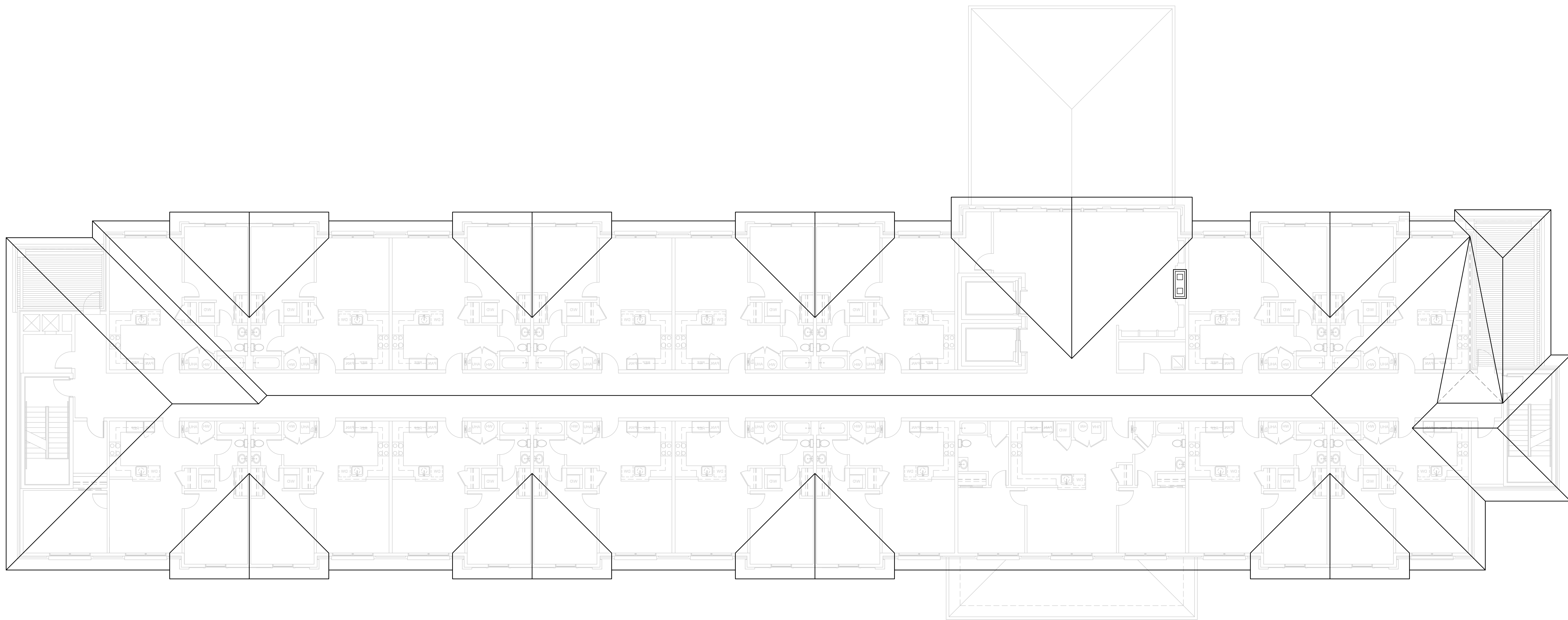
UNIT TYPE 2B 2B
1040 SF
(2) UNITS TOTAL

SECOND FLOOR F.F.E.	+10'-9 3/4"
AREA:	15,885 GSF
1 BR UNITS:	15
2 BR UNITS:	2
THIRD FLOOR F.F.E.	+20'-7 1/2"
AREA:	15,885 GSF
1 BR UNITS:	15
2 BR UNITS:	2

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FMPC SUBMITTAL

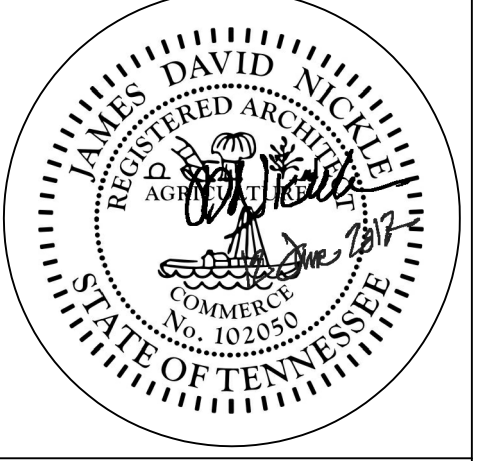
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ROOF PLAN

ESTABLISHED
— 1891 —
**SMALLWOOD
NICKLE**
ARCHITECTS
— PLLC —

1612 Seventeenth Avenue South
Nashville, Tennessee 37212



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FAX: 615.441.6676

**CONCEPTUAL DEVELOPMENT PLAN
CHICKASAW PLANNED UNIT DEVELOPMENT
CHICKASAW PLACE AND SHAWNEE DRIVE**

FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

PER SECTION 5.3.5 OF THE ZONING ORDINANCE, ALL SIDES OF AN ATTACHED RESIDENTIAL BUILDING VISIBLE FROM LANDS OCCUPIED OR DESIGNATED FOR DETACHED RESIDENTIAL USES, AN EXISTING PUBLIC STREET ROW, OR OTHER PUBLIC LANDS SHALL DISPLAY A SIMILAR LEVEL OF QUALITY AND ARCHITECTURAL DETAILING.

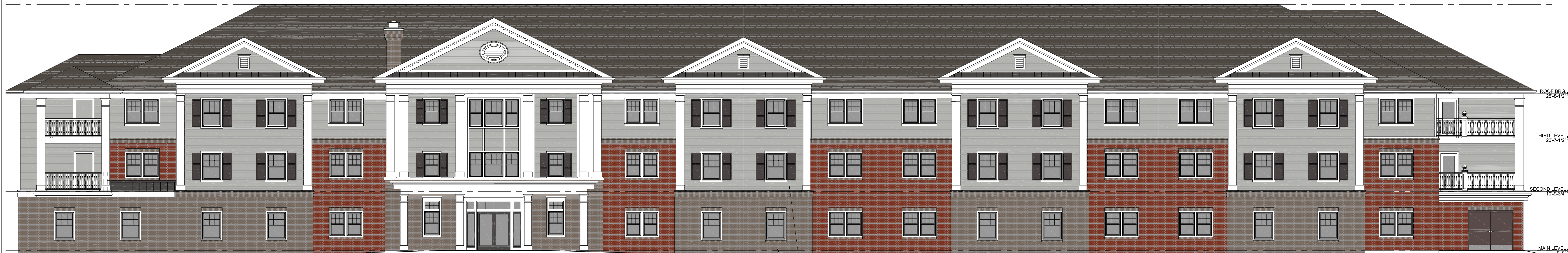
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1.3

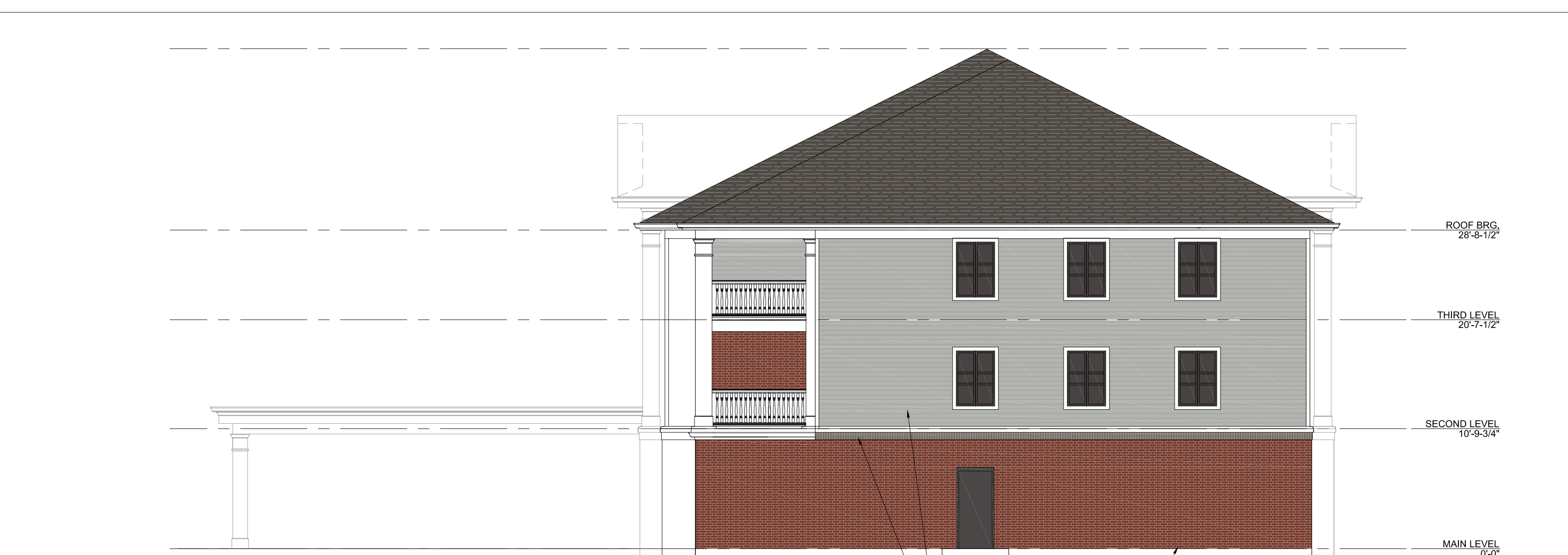
ROOF PLAN



NORTH ELEVATION	SURFACE AREA	PERCENT OF NET*
GROSS OF WALL	11,995 SF	N/A
NET OF WALL	5512 SF	N/A
NET BRICK VENEER #1	1550 SF	28 %
NET BRICK VENEER #2	1750 SF	32 %
NET CEMENT SIDING	2212 SF	40 %

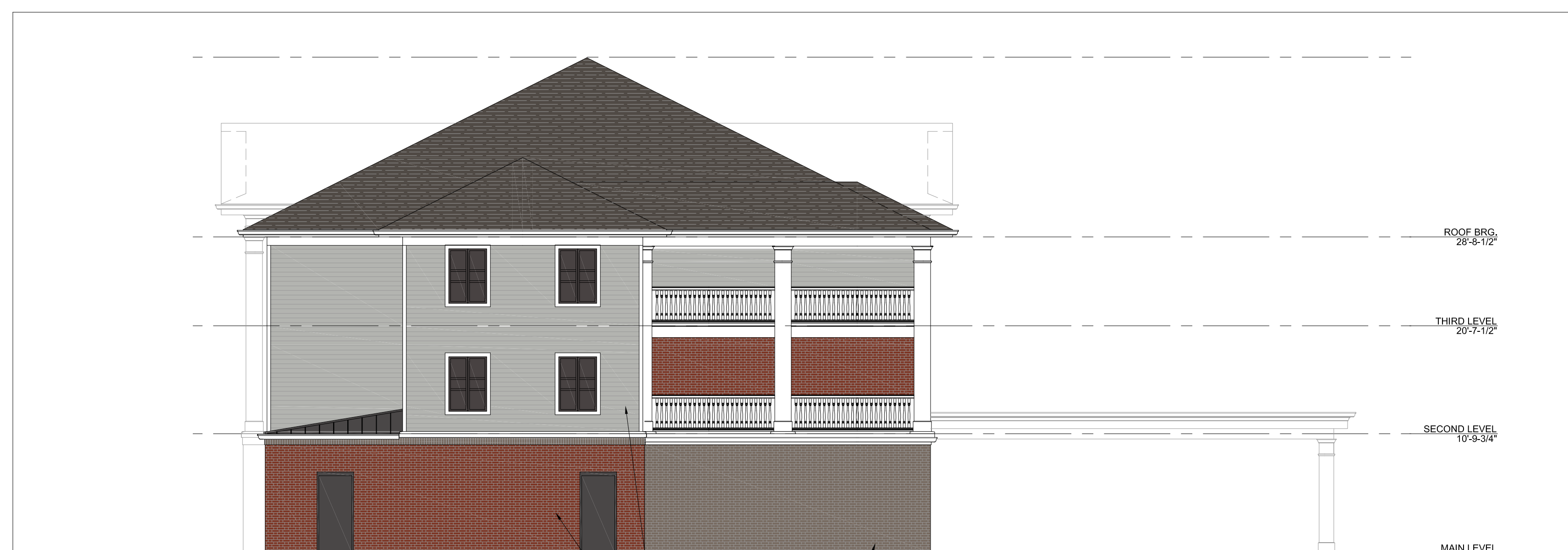
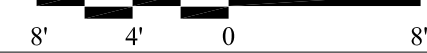
OVERALL BUILDING MATL	SURFACE AREA	PERCENT OF NET*
GROSS OF WALL	28,500 SF	N/A
NET OF WALL	14,590 SF	N/A
NET BRICK VENEER #1	4480 SF	31 %
NET BRICK VENEER #2	4056 SF	28 %
NET CEMENT SIDING	6054 SF	41 %

FRONT (NORTH) ELEVATION 1



NORTH ELEVATION	SURFACE AREA	PERCENT OF NET*
GROSS OF WALL	2,162 SF	N/A
NET OF WALL	1365 SF	N/A
NET BRICK VENEER #1	651 SF	48 %
NET BRICK VENEER #2	30 SF	2 %
NET CEMENT SIDING	684 SF	50 %

SIDE (WEST) ELEVATION 2



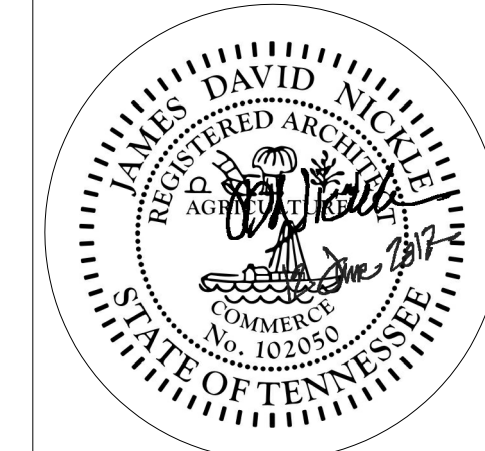
NORTH ELEVATION	SURFACE AREA	PERCENT OF NET*
GROSS OF WALL	2317 SF	N/A
NET OF WALL	1454 SF	N/A
NET BRICK VENEER #1	521 SF	36 %
NET BRICK VENEER #2	295 SF	20 %
NET CEMENT SIDING	638 SF	44 %

SIDE (EAST) ELEVATION 3



NORTH ELEVATION	SURFACE AREA	PERCENT OF NET*
GROSS OF WALL	12,026 SF	N/A
NET OF WALL	6259 SF	N/A
NET BRICK VENEER #1	1758 SF	28 %
NET BRICK VENEER #2	1981 SF	32 %
NET CEMENT SIDING	2520 SF	40 %

REAR (SOUTH) ELEVATION 4



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A
2.0
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