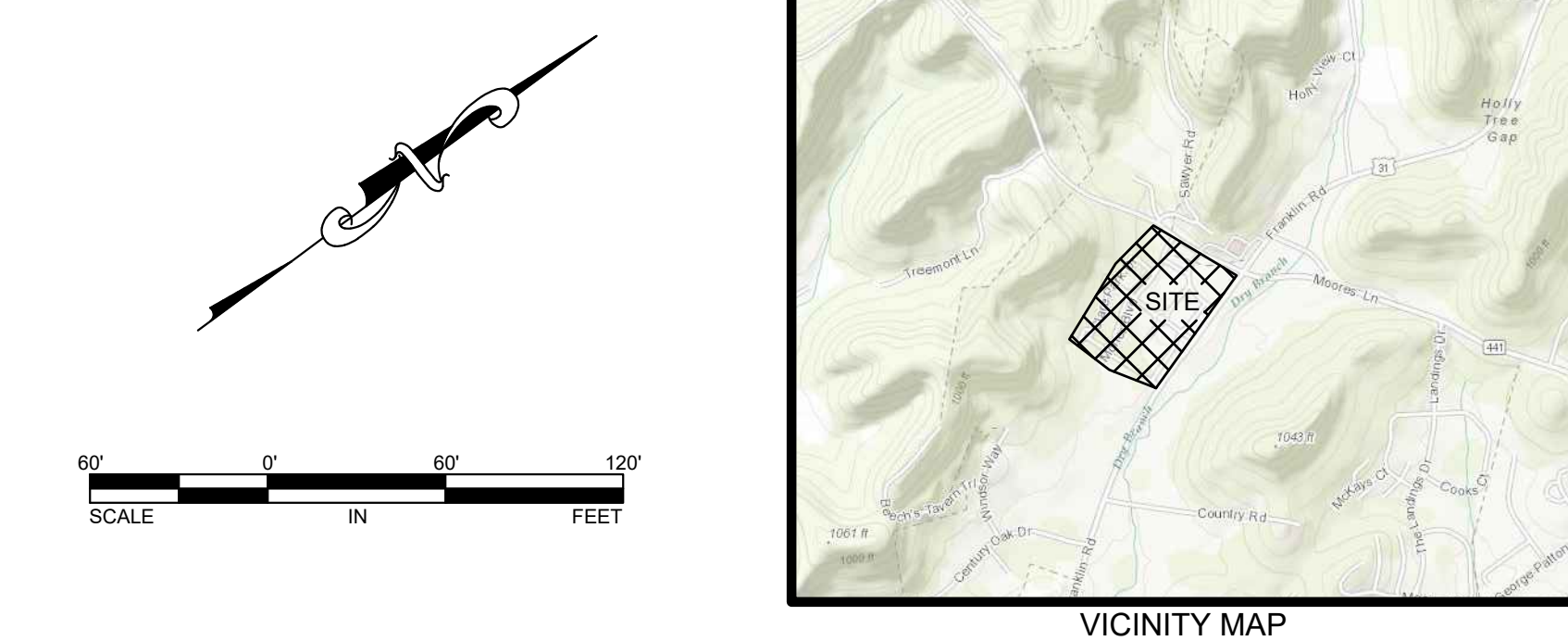
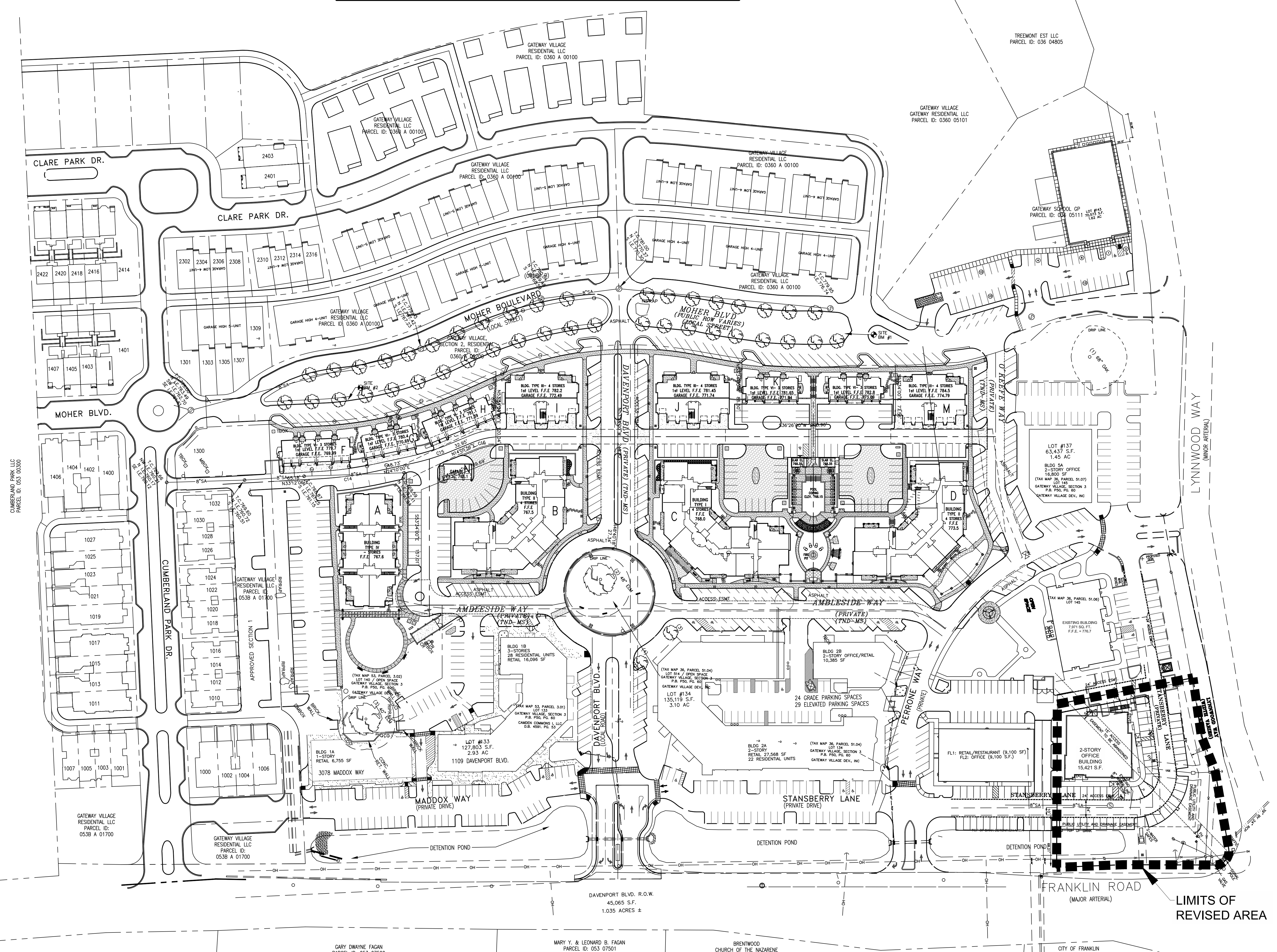


THIS ENTIRE AREA IS "TRADITIONAL" NEIGHBORHOOD - BCCO-4



LAND USE TABULATIONS:

APPROVED ZONING	PLANNED COMMERCIAL (PC 6.93)
PROPOSED ZONING	PLANNED COMMERCIAL (PC 6.64)
GROSS SITE AREA	± 60.50 ACRES
TOTAL RESIDENTIAL UNITS	402 DWELLING UNITS (SECTION 2)
SINGLE FAMILY LOTS	113 DWELLING UNITS (APPROVED SECTIONS 1 & 2)
TOWNHOUSES/CONDOMINIUMS	6 DWELLING UNITS (APPROVED SECTION 4)
CONDOMINIUMS/LOFTS	214 DWELLING UNITS (SECTION 3, REV. 1)
	LOT 135 - 28, LOT 136 - 186
GROSS DENSITY	6.64 D.U./AC.
TOTAL SF OF RETAIL/RESTAURANTS	79,082 SF
TOTAL SF OF OFFICE	78,997 SF
TOTAL RETAIL/OFFICE/RESTAURANT	158,079 SF
PROPOSED FLOOR AREA RATIO	0.059
MAXIMUM FLOOR AREA RATIO	0.60

MINIMUM OPEN SPACE REQUIREMENTS FOR RESIDENTIAL OPEN SPACE:

5% OF DEVELOPABLE AREA REQUIRED FOR FORMAL OPEN SPACE
TOTAL DEVELOPABLE = 41.82 ACRES
5% OF 41.82 = 91,040 SF (2.09 ACRES)

KEY	TYPE	APPROVED AREA OF OPEN SPACE	APPROVED MAXIMUM 25% PAVED AREA	PROPOSED AREA OF OPEN SPACE	PROPOSED MAXIMUM 25% PAVED AREA
AREA F-1	SECTION 1 MEDIAN/CIRCLE	9,996 SF	2,499 SF	9,170 SF	2,292 SF
AREA F-2	SECTION 1 MEDIAN/GREEN	6,624 SF	1,656 SF	3,881 SF	995 SF
AREA F-3	SECTION 2 PARK	11,623 SF	2,906 SF	7,150 SF	1,787 SF
AREA F-4	NEIGHBORHOOD PARK	42,111 SF	10,527 SF	42,334 SF	10,583 SF
AREA F-5 (LOT 136)	GATEWAY MONUMENT	14,908 SF	3,727 SF	13,041 SF	3,260 SF
AREA F-6 (LOT 135)	FOCAL POINT	5,059 SF	1,264 SF	5,059 SF	1,264 SF
AREA F-6 (LOT 138)	FOCAL POINT	12,073 SF	3,018 SF	7,491 SF	1,872 SF
AREA F-6 (LOT 145)	FOCAL POINT	1,225 SF	306 SF	1,225 SF	306 SF
AREA F-7	TRAFFIC CIRCLE	8,659 SF	2,165 SF	11,804 SF	2,951 SF
AREA F-8	PLAZA	19,528 SF	4,882 SF	24,115 SF	6,028 SF
AREA F-9	PARK	16,076 SF	4,019 SF	17,495 SF	4,029 SF
AREA F-10	PARK	7,852 SF	1,963 SF	12,453 SF	3,113 SF
AREA F-11 (LOT 135)	PLAZA	482 SF	120 SF	482 SF	120 SF
AREA F-11 (LOT 136)	PLAZA	12,701 SF	3,175 SF	2,615 SF	100 SF
AREA F-11 (LOT 145)	PLAZA	8,770 SF	2,192 SF	8,770 SF	2,192 SF
TOTAL		162,211 SF (3.77 ACRES)	40,955 SF (0.93 ACRES)	167,195 SF (3.86 ACRES)	41,820 SF (0.95 ACRES)

5% OF DEVELOPABLE AREA REQUIRED FOR FORMAL OPEN SPACE
NOTE: PLANNING COMMISSION APPROVED MINIMUM 160,533 SF
TOTAL DEVELOPABLE AREA = 41.82 ACRES, 5% OF 41.82 ACRES = 91,040 SF (2.09 ACRES)
CONCEPT - STAFF COMMENTS - EXPAND FORMAL OPEN SPACE

INFORMAL OPEN SPACE:

10% OF DEVELOPABLE AREA REQUIRED FOR INFORMAL OPEN SPACE
TOTAL DEVELOPABLE = 41.82 ACRES
10% OF 41.82 = 182,081 SF (4.18 ACRES)

KEY	CLASSIFICATION	TYPE	AREA OF OPEN SPACE	PAVED AREA
AREA I-1	INFORMAL	HILLSIDE	1,017,610 SF	-

DEVELOPMENT	FMPD APPROVAL DATE	PC ZONED ACRES	TOTAL DWELLING UNITS	RETAIL OFFICE SF
CONCEPT PLAN	6/3/03	60.50	419	142,258
"CONCEPT PLAN REV 3"	5/22/08	60.50	402	144,258
SECTION 1	6/8/04	4.83	33	-
SECTION 2	3/24/05	11.42	95	-
SECTION 6	7/27/06	4.44	30	-
SECTION 6 LOT 141 (REV. 6)	8/23/10	0.18	6	-
APPROVED SECTION 3	9/27/07	2.93	28	22,851
LOT 133	11/20/08	1.92	10,276	7,871
LOT 134	11/4/10	-	-	-
LOT 145	9/23/10	7.74	186	N/A (6,500 SF LEASING CTR.)
SECTION 3 LOTS 138, 140, & 144 (REV. 6)	PENDING	1.161	-	15,421 SF (OFFICE)
LOT 136				

*ONLY LOTS 133 & 143 WERE DEVELOPED FROM 9/27/07 APPROVAL. THE SITE PLAN HAS EXPIRED FOR LOTS 134 & 154.

NOTE: LATEST TAKEDOWN CHART INDICATING FMPD APPROVED TAKEDOWN CHART WAS FOUND ON A PLAN PREPARED FOR LOTS 135, 136 AND 145 BY DESIGN AND ENGINEERING, INC. FOR APOLLO BURGER (RESTAURANT) DATED 11/10/14 INCLUSIVE OF REVISION 2, DATED 03/05/15. FOR LATEST TAKEDOWN INFORMATION REGARDING PARKING REQUIREMENTS, NUMBER OF PROVIDED SPACES, RESIDENTIAL UNIT COUNT, AND COMMERCIAL SQUARE FOOTAGES IN SECTION 3, REFER TO THE ADJUSTED DETAILED PARKING ANALYSIS ON THIS PLAN THAT WAS ORIGINALLY PREPARED FOR COF PROJECT #6166 (LOT 135) PREPARED BY LUMENS ENGINEERING CONSULTANTS, DATED 07/07/16. DIRECTION WAS GIVEN AT PRE-APPROVAL MEETING TO FOLLOW FORMAT USED IN COF PROJECT #6166.

STORMWATER NOTES:

- THIS SITE WILL PROVIDE ADEQUATE ON SITE DETENTION FOR PRE AND POST DEVELOPMENT RUNOFF.
- NO PORTION OF THIS SITE LIES WITHIN A FLOODWAY (FW) OR FLOODWAY FRINGE (FF) BOUNDARY. MAP# 47187C0205F
- THE STORM WATER DETENTION FACILITIES WILL MINIMIZE IMPACTS OF INCREASED RUNOFF ON DOWNSTREAM PROPERTIES. THE EXISTING DETENTION AREAS WILL BE USED FOR ALL DETENTION AND WATER QUALITY REQUIREMENTS FOR 2-100 YEAR STORMS. WATER QUALITY WILL PROVIDE A MINIMUM OF 80% TSS/TOTAL SUSPENDED SOLIDS) REMOVAL.
- REFER TO PLAN FOR APPROXIMATE LOCATIONS OF BIOTRETION. THIS IS SHOWN IN CONCEPT ONLY. FINAL SIZES AND LOCATION TO BE DETERMINED WITH SITE PLAN DEVELOPMENT.
- EXPECTED POLLUTANT REMOVAL EFFICIENCY TAKEN FROM CITY OF FRANKLIN STORMWATER MANAGEMENT PLAN.
- ALL WATER QUALITY DEVICES EAST OF THE WATER QUALITY CELL ON WATER SHALL DRAIN TOWARD THE EXISTING DETENTION FACILITIES.
- STRUCTURAL TREATMENT SHALL BE CITY OF FRANKLIN APPROVED DEVICES.
- RECALCULATIONS OF STORM WATER STUDY NOT REQUIRED/PRE-APPROVAL MEETING.

GENERAL NOTES:

- SECTIONS 1, 2, AND 6 OF GATEWAY VILLAGE DESIGNED BY LANDDESIGN, INC. THE REVISED COMMERCIAL VILLAGE DESIGNED BY KSA/CDOA COMPANIES. SECTION 3 AND A PORTION OF SECTION 6 DESIGNED BY LITTLEJOHN ENGINEERING ASSOCIATES.
- THREE EXISTING TREES WITHIN THE COMMERCIAL VILLAGE SHALL BE PRESERVED.
- ALL TREE PROTECTION FENCING SHALL BE IN PLACE PRIOR TO THE ISSUANCE OF A GRADING PERMIT AND SHALL BE MAINTAINED IN GOOD WORKING ORDER UNTIL REQUIRED EROSION CONTROL MEASURES SHALL BE PLACED OUTSIDE OF ANY TREE PROTECTION FENCING.
- THE PLANT MATERIAL PROPOSED FOR THE BIOTRETION AREAS SHALL BE SHOWN ON THE PLAN AND INCLUDED IN A PLANT SCHEDULE AT THE SITE PLAN STAGE. MAINTENANCE GUIDELINES FOR THESE AREAS SHALL BE PROVIDED.
- SITE CONCEPT PLAN INCLUDED HAS BEEN PROVIDED BY KYLE SWINNEY ARCHITECTS AND HAS BEEN EDITED BY LANDDESIGN TO INCLUDE THE ADDITION OF SINGLE FAMILY LOTS WITHIN SECTION 1 AND THE REDESIGN OF THE TOWNHOUSES IN SECTION 3 AND THE ASSOCIATED TABULATED CALCULATIONS AS CLOUSED ON THIS DATE.
- PROPOSED REVISIONS TO THE PARKING EXHIBIT AND CONCEPT PLAN FOR LOT 136 HAVE BEEN REVISIED BY MORELOCK ENGINEERING, LLC AND THE ASSOCIATED TABULATIONS ARE PROVIDED. UPDATES WERE MADE TO THE LATEST KNOWN APPROVED PARKING EXHIBIT AND CONCEPT PLAN, DATED NOVEMBER 10, 2014, INCLUDING LATEST REVISION 5, DATED MARCH 5, 2015.

GATEWAY VILLAGE SECTION III - DETAILED ANALYSIS "TRADITIONAL"

PREVIOUSLY APPROVED BY FMPD JULY 28, 2014.
APPROVAL REQUESTED FOR FINAL PLAN SECTION III FOR REVISIONS TO LOT 136 PROPOSED REVISION DATE: FEBRUARY 27, 2017
SHARED PARKING ALLOWS 0.85 MULTIPLIER OF REQUIRED PARKING PER CITY.

LOT #	AREA	DESCRIPTION	# OF UNITS OR SQUARE FOOTAGE	PARKING REQMT FACTOR	REQUIRED PARKING SPACES	SUB-TOTAL	0.85 MULTIPLIER	ACTUAL PARKING SHOWN
133	CAMDEN COMMONS I APARTMENTS	STUDIO ONE BED	15	1	15	15	12.75	191
		TWO BED	25	2	50			
		THREE BED	14	2.5	35			
		FOUR BED	14	2.5	35			
SUB-TOTAL			15,861	3.33/1000	52.82	194.18	165.05	188
135	COMMERCIAL	RESTAURANT	6,700 SF	2.5/1000	16.8	16.8	14.28	45
		RESTAURANT EMPLOYEES	2,400 SF	7.5/1000+0.75 EMP	184.5+22.5			
		OFFICE	4,772 SF	2.85/1000	13.6			
		OFFICE BUILDING	15,421 SF	2.85/1000	44			
SUB-TOTAL			21,000 SF	2.85/1000	60	60	51	52
137	BELL APARTMENTS	ONE BED	87	2	174	174	147.6	487
		TWO BED	77	2.5	192.5			
		THREE BED	22	3	66			
		FOUR BED	22	3	66			
SUB-TOTAL			7,971 SF	1/250	32	32	28	38
TOTAL					1,125.76	958.32	1,112	

LOT #	AREA	DESCRIPTION	# OF UNITS OR SQUARE FOOTAGE	PARKING REQMT FACTOR	REQUIRED PARKING SPACES	SUB-TOTAL	0.85 MULTIPLIER	ACTUAL PARKING SHOWN
134	RESIDENTIAL	STUDIO ONE BED	15	1	15	15	12.75	191
		TWO BED	25	2	50			
		THREE BED	14	2.5	35			
		FOUR BED	14	2.5	35			
SUB-TOTAL			15,861	3.33/1000	52.82	194.18	165.05	188
135	COMMERCIAL	RESTAURANT	6,700 SF	2.5/1000	16.8	16.8	14.28	45
		RESTAURANT EMPLOYEES	2,400 SF	7.5/1000+0.75 EMP	184.5+22.5			
		OFFICE	4,772 SF	2.85/1000	13.6			
		OFFICE BUILDING	15,421 SF	2.85/1000	44			
SUB-TOTAL			21,000 SF	2.85/1000	60	60	51	52
137	BELL APARTMENTS	ONE BED	87	2	174	174	147.6	487
		TWO BED	77	2.5	192.5			
		THREE BED	22	3	66			
		FOUR BED	22	3	66			
SUB-TOTAL			7,971 SF	1/250	32	32	28	38
TOTAL					1,125.76	958.32	1,112	

TREES TO BE SAVED/PROTECTED

ID#	SIZE	TYPE	CONDITION
#1	68" CALIPER	OAK	FAIR
#2	48" CALIPER	ELM	GOOD
#3	40" CALIPER	ELM	GOOD

GATEWAY VILLAGE TAKEDOWN CHART

SITE SPECIMEN TREE REPLACEMENT REQUIRED

TOTAL SITE INCHES TO BE REPLACED	1,341
TOTAL REPLACEMENT CALIPER INCHES FROM SECTION 1	189
TOTAL REPLACEMENT CALIPER INCHES FROM SECTION 2	354
TOTAL REPLACEMENT CALIPER INCHES FROM SECTION 6	17.5
TOTAL REPLACEMENT CALIPER INCHES FROM SECTION 3 LOTS 133 & 134	214.90
TOTAL REPLACEMENT CALIPER INCHES FROM SECTION 3 LOT 143	55.0
TOTAL REPLACEMENT CALIPER INCHES FROM SECTION 3 & 6	198.0
REMAINING SPECIMEN CALIPER INCHES TO BE REPLACED PER FUTURE SECTIONS	510.35

GATEWAY VILLAGE SECTION III - PARKING SUMMARY "TRADITIONAL"

PREVIOUSLY APPROVED BY FMPD MARCH 26, 2015

SECTION III LOT NUMBER	USER OR AREA DESCRIPTION	REQUIRED PARKING SPACES	0.85 MULTIPLIER	ACTUAL PARKING SHOWN
133	CAMDEN COMMONS I	228.08	193.87	191
134	PROPOSED CC II	194.18	165.05	188
135	RETAIL/RESTAURANT/OFFICE	53	45	45
136	OFFICE BUILDING	44	37	49
137	TOUCHSTONE OFFICE	60	51	52
143	GODDARD SCHOOL	51	43.35	46
145	CAMDEN MEDICAL PLAZA	32	27	44
140	FORMAL OPEN SPACE	21	17.85	21
138				
139				
141				
142	BELL APARTMENTS	432.5	367.6	467
TOTALS		1,115.76	948.4	1,103

NOTE:
PREVIOUSLY SHOWN ENTITLEMENTS FOR LOT 134 DO NOT NECESSARILY APPLY. ENTITLEMENTS FOR THIS LOT WILL BE DICTATED BY AVAILABLE PARKING AND REMAINING ENTITLEMENTS FOR THE OVERALL GATEWAY VILLAGE PUD SUBDIVISION AT THE TIME OF THE LOT 134 SITE PLAN SUBMITTAL.

NOTE:
THIS CONCEPT PLAN INFORMATION SHOWN WAS TAKEN FROM AVAILABLE PUBLIC INFORMATION PROVIDED BY THE CITY OF FRANKLIN. MORELOCK ENGINEERING, LLC ACCEPTS NO LIABILITY OF THE EXACTNESS OF THE DEVELOPMENT OF THE PROPOSED PLAN SHOWN.

