

508 DUKE DRIVE

PRELIMINARY PLAT

FRANKLIN, TENNESSEE

FRANKLIN PROJECT NUMBER 6218

RESOURCE LIST

PROPERTY OWNER:

MIKE AND JENNIFER HAYES
257 MALLORY STATION RD
FRANKLIN, TN 37067
PHONE NO: (615) 861-0532
CONTACT: MIKE AND JENNIFER HAYES

ARCHITECT:

CIVIL ENGINEER:

BATSON & ASSOCIATES ENGINEERING, INC.
5150 REMINGTON DRIVE
BRENTWOOD, TN 37027
PHONE: (615) 424-4840
FAX: (615) 370-9363
CONTACT: GARRY BATSON

LAND SURVEYOR:

H AND H SURVEYING, INC.
612A FITZHUGH BOULEVARD
SMYRNA, TENNESSEE 37167
PHONE: (615) 831-0756
CONTACT: MIKE HOLMES

LANDSCAPE ARCHITECT:

UTILITY COMPANIES:

ELECTRIC:

MIDDLE TENNESSEE ELECTRIC COMPANY
P.O. BOX 681709
FRANKLIN, TN 37068-1709
(615) 794-3561
CONTACT: GARY OSBORN

WATER:

MALLORY VALLEY UTILITY DISTRICT
P.O. BOX 936
FRANKLIN, TN 37065
(615) 377-3374
CONTACT: ANSLEY COODE

SANITARY SEWER:

CITY OF FRANKLIN SEWER DEPARTMENT
109 3RD AVENUE SOUTH
FRANKLIN, TN 37064
(615) 794-4554
CONTACT: MARK HILTY

NATURAL GAS:

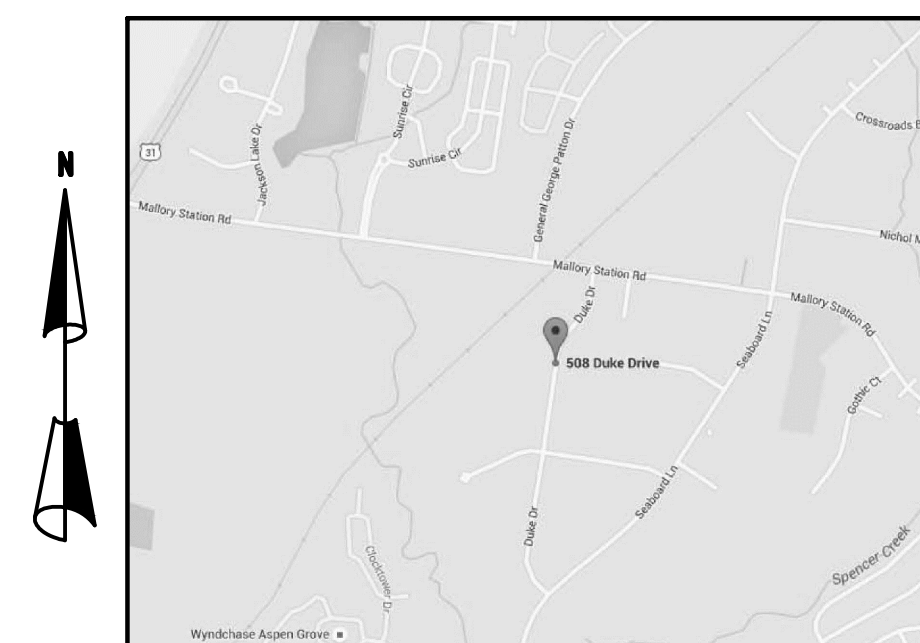
UNITED CITIES GAS COMPANY
127 2ND AVENUE NORTH
FRANKLIN, TN 37064
(615) 794-2595
CONTACT: KENNY HAYS

TELEPHONE:

AT&T
(615) 557-6000

CABLE:

COMCAST
660 MAINSTREAM DRIVE
NASHVILLE, TN 37228
(615) 244-5900



VICINITY MAP
SCALE: 1" = 1,000'

MAP: PARCEL:

SHEET INDEX

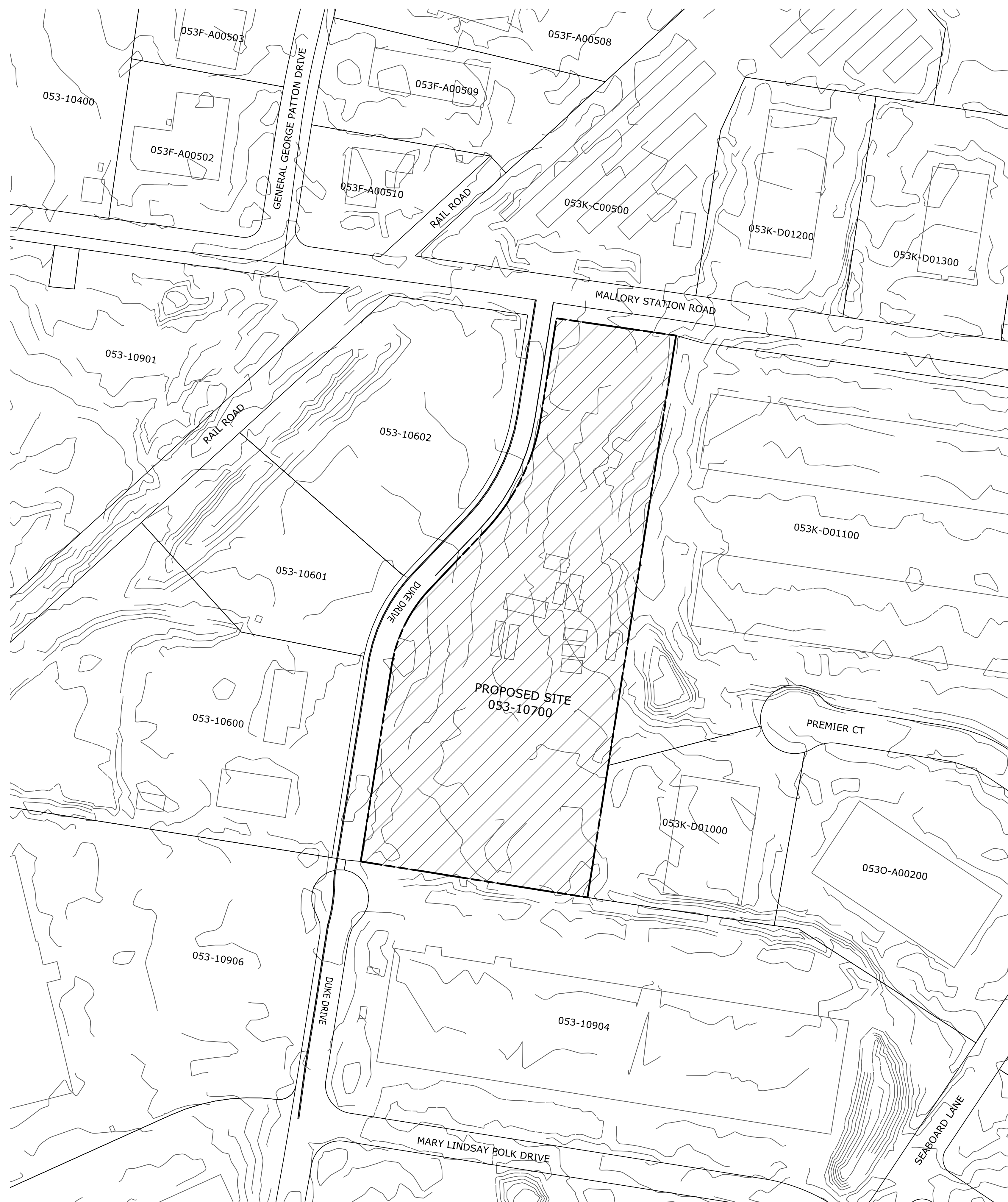
- C-1.0 PHYSICAL FEATURES PLAN
- C-1.1 EXISTING CONDITIONS PLAN
PRELIMINARY PLAT
- C-2.0 SITE AUTOTURN & ACCESS EASEMENT EXHIBIT
- C-2.1 SIGHT DISTANCE EXHIBIT
- C-2.2 SITE UTILITY EXHIBIT
- C-2.3 SITE GRADING & DRAINAGE EXHIBIT



BATSON & ASSOCIATES
Civil Engineering Consultants

5150 REMINGTON DRIVE
BRENTWOOD, TENNESSEE 37027
(615) 424-4840 • FAX (615) 370-9363

ISSUE DATE: 22 JUL 2016
REVISED: 1 SEP 2016



ADJACENT PARCELS

MAP 53K PARCEL D01100
 LAND OWNER: NWI WAREHOUSE GROUP IV LLC
 BASE ZONING DISTRICT: LIGHT INDUSTRIAL
 OVERLAY ZONING DISTRICT: NONE
 CHARACTER AREAS: McEWEN
 LAND USE: MIXED NONRESIDENTIAL
 DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 53K PARCEL D01000
 LAND OWNER: MLG ENTERPRISES LLC
 BASE ZONING DISTRICT: LIGHT INDUSTRIAL
 OVERLAY ZONING DISTRICT: NONE
 CHARACTER AREAS: McEWEN
 LAND USE: OFFICE
 DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 530 PARCEL A00200
 LAND OWNER: JAMES TOM COMPANY
 BASE ZONING DISTRICT: LIGHT INDUSTRIAL
 OVERLAY ZONING DISTRICT: NONE
 CHARACTER AREAS: McEWEN
 LAND USE: OFFICE
 DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 53 PARCEL 10904
 LAND OWNER: NWI WAREHOUSE GROUP VI
 BASE ZONING DISTRICT: LIGHT INDUSTRIAL
 OVERLAY ZONING DISTRICT: NONE
 CHARACTER AREAS: McEWEN
 LAND USE: MIXED NONRESIDENTIAL
 DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 53 PARCEL 10906
 LAND OWNER: DUKE REALTY LIMITED PTRNSHP
 BASE ZONING DISTRICT: LIGHT INDUSTRIAL
 OVERLAY ZONING DISTRICT: NONE
 CHARACTER AREAS: McEWEN
 LAND USE: OFFICE
 DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 53 PARCEL 10600
 LAND OWNER: MALLORY VALLEY UTILITY DISTRICT OF W
 BASE ZONING DISTRICT: LIGHT INDUSTRIAL
 OVERLAY ZONING DISTRICT: NONE
 CHARACTER AREAS: McEWEN
 LAND USE: UTILITIES
 DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 53 PARCEL 10601
 LAND OWNER: MALLORY VALLEY UTILITY DISTRICT OF W
 BASE ZONING DISTRICT: LIGHT INDUSTRIAL
 OVERLAY ZONING DISTRICT: NONE
 CHARACTER AREAS: McEWEN
 LAND USE: VACANT
 DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 53 PARCEL 10602
 LAND OWNER: MALLORY VALLEY UTILITY DISTRICT OF W
 BASE ZONING DISTRICT: LIGHT INDUSTRIAL
 OVERLAY ZONING DISTRICT: NONE
 CHARACTER AREAS: McEWEN
 LAND USE: VACANT
 DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 53K PARCEL D01300
 LAND OWNER: CHURCH ASPEN GROVE CHRISTIAN
 BASE ZONING DISTRICT: LIGHT INDUSTRIAL
 OVERLAY ZONING DISTRICT: NONE
 CHARACTER AREAS: McEWEN
 LAND USE: COMMERCIAL
 DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 53K PARCEL D01200
 LAND OWNER: CARPET DEN INC
 BASE ZONING DISTRICT: LIGHT INDUSTRIAL
 OVERLAY ZONING DISTRICT: NONE
 CHARACTER AREAS: McEWEN
 LAND USE: MIXED NONRESIDENTIAL
 DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 53K PARCEL C00500
 LAND OWNER: COOL SPRINGS STORAGE LLC
 BASE ZONING DISTRICT: LIGHT INDUSTRIAL
 OVERLAY ZONING DISTRICT: NONE
 CHARACTER AREAS: McEWEN
 LAND USE: INDUSTRIAL
 DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 53F PARCEL A00510
 LAND OWNER: MALLORY CROSSING
 BASE ZONING DISTRICT: LIGHT INDUSTRIAL
 OVERLAY ZONING DISTRICT: NONE
 CHARACTER AREAS: McEWEN
 LAND USE: OFFICE
 DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 53F PARCEL A00509
 LAND OWNER: CANTRELL MAYMEE MILLER
 BASE ZONING DISTRICT: LIGHT INDUSTRIAL
 OVERLAY ZONING DISTRICT: NONE
 CHARACTER AREAS: McEWEN
 LAND USE: OFFICE
 DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 53F PARCEL A00508
 LAND OWNER: RICHARDS TIMOTHY P
 BASE ZONING DISTRICT: LIGHT INDUSTRIAL
 OVERLAY ZONING DISTRICT: NONE
 CHARACTER AREAS: McEWEN
 LAND USE: CIVIC/INSTITUTIONAL
 DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 53F PARCEL A00503
 LAND OWNER: CANTRELL MAYMEE MILLER
 BASE ZONING DISTRICT: LIGHT INDUSTRIAL
 OVERLAY ZONING DISTRICT: NONE
 CHARACTER AREAS: McEWEN
 LAND USE: OFFICE
 DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 53F PARCEL A00502
 LAND OWNER: CANTRELL MAYMEE MILLER
 BASE ZONING DISTRICT: LIGHT INDUSTRIAL
 OVERLAY ZONING DISTRICT: NONE
 CHARACTER AREAS: McEWEN
 LAND USE: OFFICE
 DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 53 PARCEL 10400
 LAND OWNER: FRANKLIN RADIO ASSOC INC
 BASE ZONING DISTRICT: GENERAL OFFICE
 OVERLAY ZONING DISTRICT: NONE
 CHARACTER AREAS: BERRYS CHAPEL
 LAND USE: COMMERCIAL
 DEVELOPMENT STANDARDS: CONVENTIONAL

MAP 53 PARCEL 10901
 LAND OWNER: KITE/CUPP LEGEND GOLF DEV CO
 BASE ZONING DISTRICT: SPECIFIC DEVELOPMENT - RESIDENTIAL
 OVERLAY ZONING DISTRICT: FLOODWAY FRINGE OVERLAY
 CHARACTER AREAS: BERRYS CHAPEL
 LAND USE: RECREATION/OPEN SPACE
 DEVELOPMENT STANDARDS: CONVENTIONAL OR TRADITIONAL

PROJECT SITE

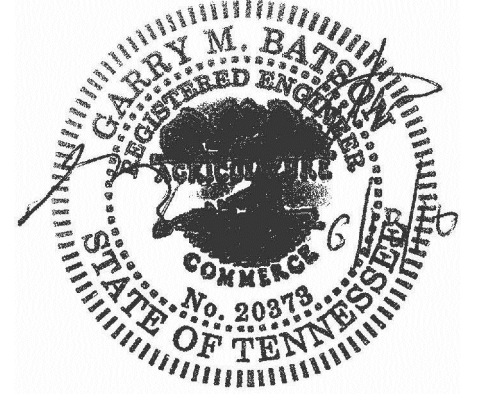
MAP 53 PARCEL 107
 BASE ZONING DISTRICT: LIGHT INDUSTRIAL
 OVERLAY ZONING DISTRICT: NONE
 CHARACTER AREAS: McEWEN
 LAND USE: RETAIL
 DEVELOPMENT STANDARDS: CONVENTIONAL

TOTAL SITE
 ACREAGE OF SITE: 7.297 ± Ac.
 SQUARE FOOTAGE OF SITE: 317,847 ± Sq. Ft.



BATSON & ASSOCIATES
 Civil Engineering Consultants

5150 REMINGTON DRIVE
 BRENTWOOD, TENNESSEE 37027
 (615) 424-4840 • FAX (615) 370-9363



PRELIMINARY PLAT

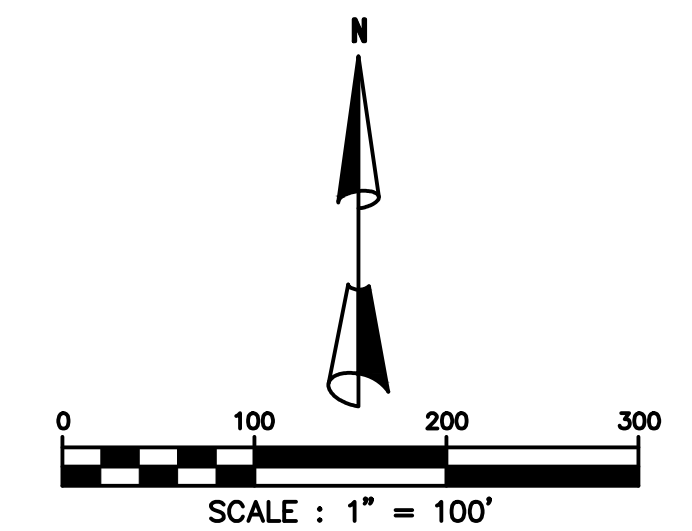
508 DUKE DRIVE
 FRANKLIN, TN

FRANKLIN PROJECT NUMBER 6218
 MAP: PARCEL:

DESCRIPTION	DATE
COMMENT 1	1 SEP 2016

PROJECT NO.	-
DATE	22 JUL 2016
DRAWN BY	NN
CHECKED BY	GMB

PHYSICAL FEATURES PLAN



C-1.0



BATSON & ASSOCIATES
Civil Engineering Consultants

5150 REMINGTON DRIVE
BRENTWOOD, TENNESSEE 37027
(615) 424-4840 • FAX (615) 370-9363



STATEMENT OF IMPACTS:

WATER:
WATER SERVICE WILL BE PROVIDED BY MILCROFTON UTILITY DISTRICT.
0.2 GPD X 58,200 SF OFFICE = 11,640 GPD
0.02 GPD X 20,400 SF WAREHOUSE = 410 GPD
ESTIMATED IRRIGATION = 8,320 GPD
TOTAL = 20,370 GPD

SEWER:
SEWER SERVICE WILL BE PROVIDED BY THE CITY OF FRANKLIN.
0.2 GPD X 58,200 SF OFFICE = 11,640 GPD
0.02 GPD X 20,400 SF WAREHOUSE = 410 GPD
TOTAL = 12,050 GPD

RECLAIMED WATER:
RECLAIMED WATER IS NOT KNOWN TO BE PRESENT AT THIS SITE. EXTENSIONS ARE NOT PROPOSED.

STREET NETWORK:
THE SITE IS LOCATED SOUTH OF MALLORY STATION ROAD WHICH IS CLASSIFIED AS A MAJOR COLLECTOR AND EAST OF DUKE DRIVE WHICH IS CLASSIFIED AS A LOCAL STREET.
TRIP GENERATION

LAND USE	SIZE	GENERATED TRAFFIC				
		DAILY TRAFFIC	AM PEAK ENTER	AM PEAK EXIT	PM PEAK ENTER	PM PEAK EXIT
GENERAL OFFICE (LUC 710)	58,200 SF	870	109	15	24	120
WAREHOUSE (LUC 150)	20,500 SF	126	28	7	6	16
NEW TRIPS	--	996	159		166	

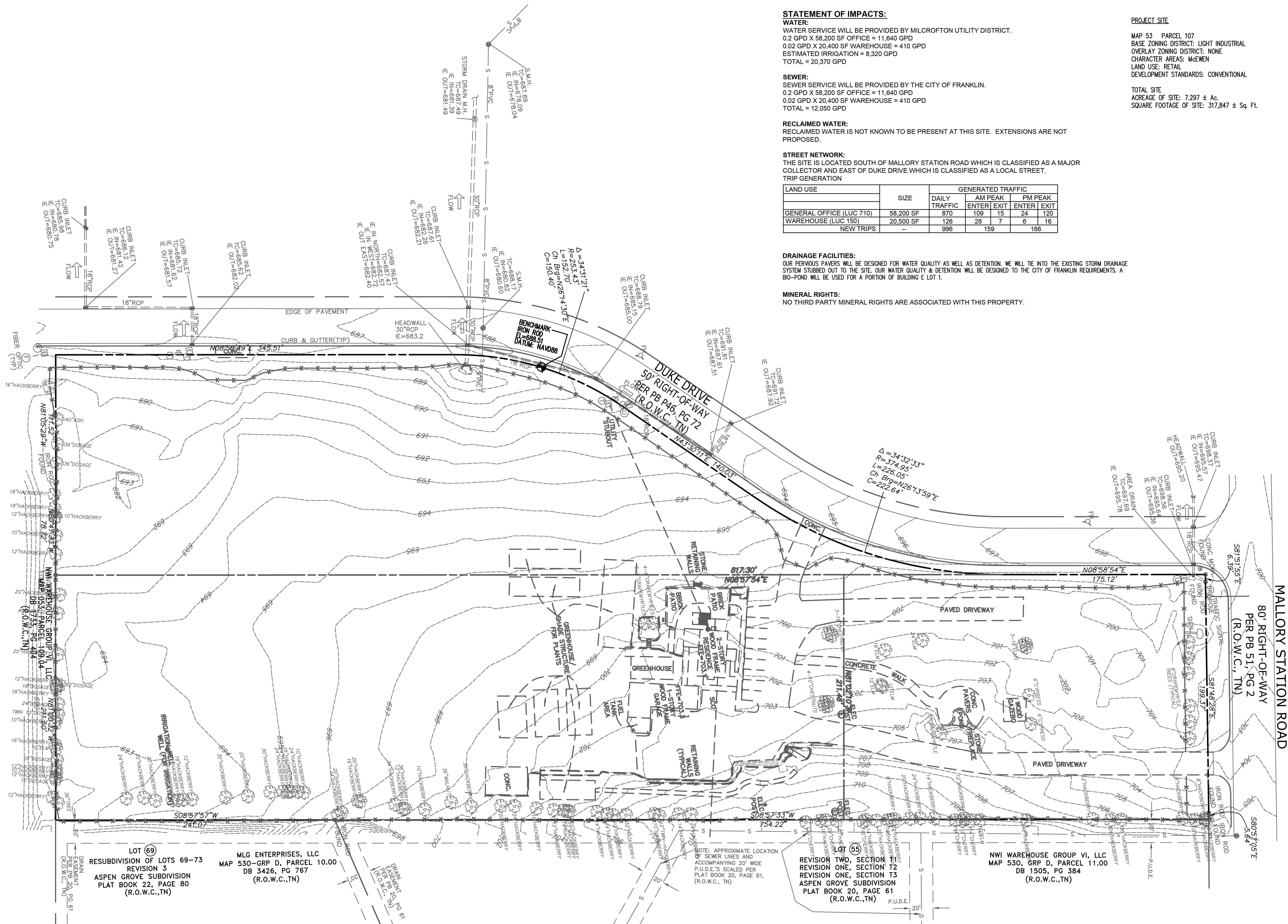
DRAINAGE FACILITIES:
OUR PERVIOUS PAVERS WILL BE DESIGNED FOR WATER QUALITY AS WELL AS DETENTION. WE WILL TIE INTO THE EXISTING STORM DRAINAGE SYSTEM STUBBED OUT TO THE SITE. OUR WATER QUALITY & DETENTION WILL BE DESIGNED TO THE CITY OF FRANKLIN REQUIREMENTS. A BIO-POND WILL BE USED FOR A PORTION OF BUILDING E LOT 1.

MINERAL RIGHTS:
NO THIRD PARTY MINERAL RIGHTS ARE ASSOCIATED WITH THIS PROPERTY.

PROJECT SITE

MAP 53 PARCEL 107
BASE ZONING DISTRICT: LIGHT INDUSTRIAL
OVERLAY ZONING DISTRICT: NONE
CHARACTER AREAS: McEMEN
LAND USE: RETAIL
DEVELOPMENT STANDARDS: CONVENTIONAL

TOTAL SITE
ACREAGE OF SITE: 7.297 ± Ac.
SQUARE FOOTAGE OF SITE: 317,847 ± Sq. Ft.



PRELIMINARY PLAT

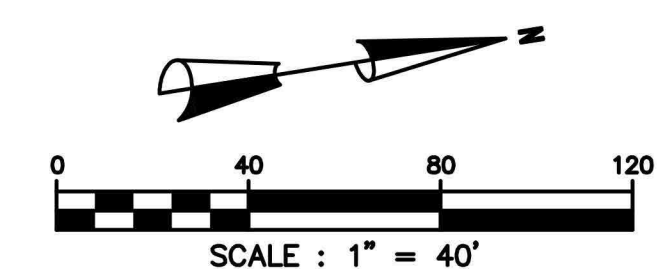
508 DUKE DRIVE
FRANKLIN, TN

FRANKLIN PROJECT NUMBER 6218
MAP: PARCEL:

DESCRIPTION	DATE
COMMENT 1	1 SEP 2016

PROJECT NO. -
DATE 22 JUL 2016
DRAWN BY NN
CHECKED BY GMB

EXISTING CONDITIONS PLAN



C-1.1

PROPERTY DESCRIPTION

BEING A PARCEL OF LAND SITUATED IN FRANKLIN, WILLIAMSON COUNTY, TENNESSEE, BEING SHOWN ON WILLIAMSON COUNTY TAX MAP 53 AS PARCELS 107.00 AND 107.01, AS OF RECORD IN DEED BOOK 4715, PAGE 256 AND DEED BOOK 1838, PAGE 133 IN THE WILLIAMSON COUNTY REGISTERS OFFICE (R.O.W.C., TN), AND BOUNDED ON THE NORTH BY THE SOUTHERLY MARGIN OF MALLORY STATION ROAD, BOUNDED ON THE EAST BY PARCEL 10.00 AND PARCEL 11.00 OF WILLIAMSON COUNTY TAX MAP 53-0, GROUP D, BOUNDED ON THE SOUTH BY PARCEL 109.04 OF WILLIAMSON COUNTY TAX MAP 53, AND BOUNDED ON THE WEST BY THE EASTERLY MARGIN OF DUKE DRIVE, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A CONCRETE MONUMENT (FOUND) AT THE INTERSECTION OF THE SOUTHERLY MARGIN OF MALLORY STATION ROAD AND THE EASTERLY MARGIN OF DUKE DRIVE, SAID CONCRETE MONUMENT (FOUND) ALSO BEING THE NORTHWEST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, WITH THE SOUTHERLY MARGIN OF MALLORY STATION ROAD, S81°51'55"E, 6.39' TO AN IRON ROD (FOUND);

THENCE, ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 16,457.35', AN ARC LENGTH OF 199.37', A CHORD BEARING OF S81°48'28"E, AND CHORD DISTANCE OF 199.37' TO AN IRON ROD (FOUND);

THENCE, CONTINUING WITH THE SOUTHERLY MARGIN OF MALLORY STATION ROAD, S80°57'05"E, 5.64' TO AN IRON ROD (FOUND), SAID IRON ROD (FOUND) BEING THE NORTHWEST CORNER OF PARCEL 11.00 OF WILLIAMSON COUNTY TAX MAP 53-0, GROUP D, AND SAID IRON ROD (FOUND) ALSO BEING THE NORTHEAST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, ALONG A COMMON LINE WITH PARCEL 11.00 OF WILLIAMSON COUNTY TAX MAP 53-0, GROUP D, S08°57'33"W, 754.22' TO AN IRON ROD (FOUND), SAID IRON ROD (FOUND) BEING THE NORTHWEST CORNER OF PARCEL 10.00 OF WILLIAMSON COUNTY TAX MAP 53-0, GROUP D;

THENCE, ALONG A COMMON LINE WITH PARCEL 10.00 OF WILLIAMSON COUNTY TAX MAP 53-0, GROUP D, S08°57'57"W, 241.07' TO AN IRON ROD (SET) ON THE NORTH LINE OF PARCEL 109.04 OF WILLIAMSON COUNTY TAX MAP 53, SAID IRON ROD (SET) BEING THE SOUTHWEST CORNER OF PARCEL 10.00 OF WILLIAMSON COUNTY TAX MAP 53-0, GROUP D, AND SAID IRON ROD (SET) ALSO BEING THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, ALONG A COMMON LINE WITH PARCEL 109.04 OF WILLIAMSON COUNTY TAX MAP 53, N81°00'32"W, 211.50' TO A CONCRETE MONUMENT (FOUND);

THENCE, CONTINUING ALONG A COMMON LINE WITH PARCEL 109.04 OF WILLIAMSON COUNTY TAX MAP 53, N80°47'33"W, 78.72' TO AN IRON ROD (FOUND);

THENCE, CONTINUING ALONG A COMMON LINE WITH PARCEL 109.04 OF WILLIAMSON COUNTY TAX MAP 53, N81°05'29"W, 111.52' TO AN IRON ROD (SET) IN THE EASTERLY MARGIN OF DUKE DRIVE, SAID IRON ROD (SET) BEING THE NORTHWEST CORNER OF PARCEL 109.04 OF WILLIAMSON COUNTY TAX MAP 53, AND SAID IRON ROD (SET) ALSO BEING THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, WITH THE EASTERLY MARGIN OF DUKE DRIVE, N08°58'49"W, 345.51' TO AN IRON ROD (SET);

THENCE, ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 253.43', AN ARC LENGTH OF 152.70', A CHORD BEARING OF N26°14'30"E, AND CHORD DISTANCE OF 150.40' TO AN IRON ROD (SET);

THENCE, CONTINUING WITH THE EASTERLY MARGIN OF DUKE DRIVE, N43°30'11"E, 140.03' TO AN IRON ROD (SET);

THENCE, ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 374.95', AN ARC LENGTH OF 226.05', A CHORD BEARING OF N26°13'59"E, AND CHORD DISTANCE OF 222.64' TO AN IRON ROD (SET);

THENCE, CONTINUING WITH THE EASTERLY MARGIN OF DUKE DRIVE, N08°58'54"E, 175.12' TO THE POINT OF BEGINNING.

CONTAINING 317,888 SQUARE FEET OR 7.30 ACRES, MORE OR LESS.

GENERAL NOTES

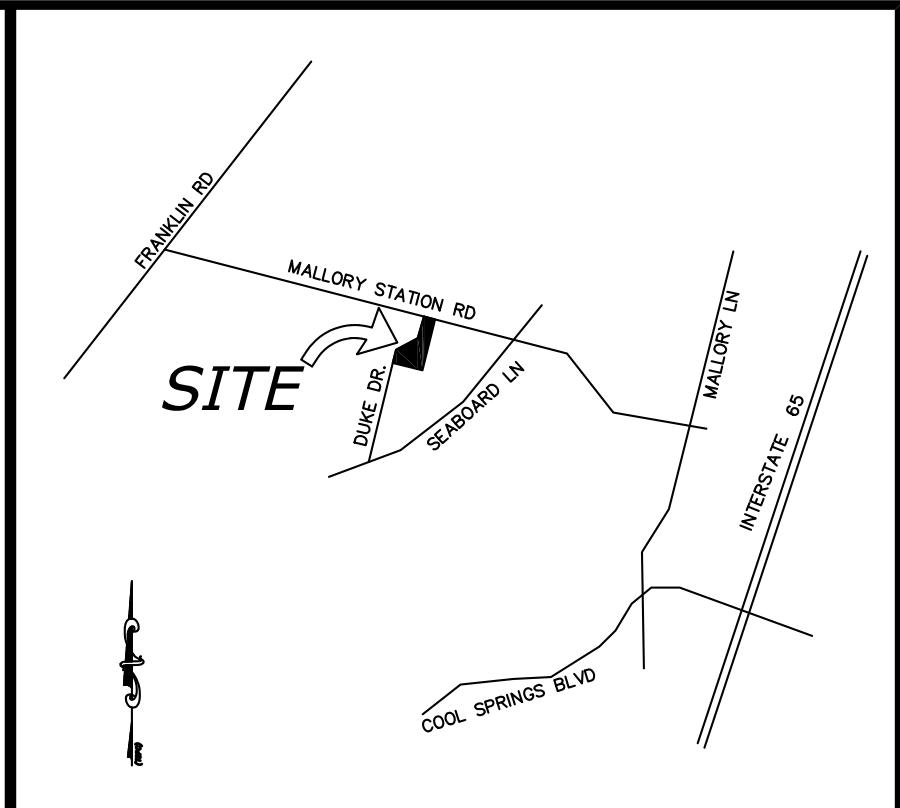
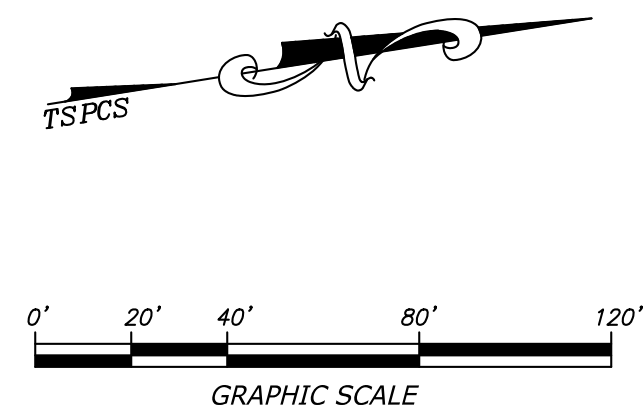
- THE HORIZONTAL LOCATION DATA SHOWN ON THIS SURVEY WAS GATHERED USING STANDARD RADIAL SURVEYING TECHNIQUES WITH AN ELECTRONIC TOTAL STATION AND DATA COLLECTOR AND IS BASED UPON A POSITIONAL SOLUTION DERIVED FROM GLOBAL POSITIONING SYSTEM (GPS) OBSERVATIONS USING THE IODT NETWORK, TENNESSEE STATE PLANE COORDINATE SYSTEM, ZONE 5301, FIPSZONE 4100; NAD83.
- SUBJECT PROPERTY IS SHOWN ON WILLIAMSON COUNTY TAX MAP 53 AS PARCELS 107.00 & 107.01. TOTAL ACRES = 7.30±.
- SITE ADDRESS**
508 DUKE DRIVE & 255 MALLORY STATION ROAD
FRANKLIN, WILLIAMSON COUNTY, TENNESSEE, 37067
8TH CIVIL DISTRICT
- SUBJECT PROPERTY IS CURRENTLY ZONED: "U" LIGHT INDUSTRIAL DISTRICT.
- THIS SURVEYOR HAS NOT PHYSICALLY LOCATED ALL UNDERGROUND UTILITIES. ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN HEREON WERE TAKEN FROM VISIBLE APPURTENANCES AT THE SITE, PUBLIC RECORDS, AND/OR MAPS PREPARED BY OTHERS. THIS SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION AS INDICATED. THEREFORE, RELIANCE UPON THE TYPE, SIZE AND LOCATION OF ALL UNDERGROUND UTILITIES SHOULD BE DONE SO WITH THIS CIRCUMSTANCE CONSIDERED. DETAILED VERIFICATION OF EXISTENCE, LOCATION AND DEPTH SHOULD ALSO BE MADE PRIOR TO ANY DECISION RELATIVE THERETO IS MADE. AVAILABILITY AND COST OF SERVICE SHOULD BE CONFIRMED WITH THE APPROPRIATE UTILITY COMPANY. TENNESSEE ONE CALL 1-800-351-1111 OR 1-615-366-1987.
- THIS SURVEYOR HAS NOT BEEN FURNISHED WITH A TITLE REPORT. THEREFORE, THIS SURVEY IS SUBJECT TO THE FINDINGS OF AN ACCURATE TITLE SEARCH.
- MINIMUM REQUIRED BUILDING SETBACKS ARE AS FOLLOWS:

EXTERIOR	INTERIOR
FRONT - 75'	FRONT - 75'
SIDES - 25'	SIDES - 5'
REAR - 25'	REAR - 25'
- PROPERTY OWNERS: MAP 53, PARCELS 107.00 & 107.01.
 CONTACT: MICHAEL EDWARD HAYES
 JENNIFER HAYES
 ADDRESS: 257 MALLORY STATION ROAD
 FRANKLIN, TN 37067
 PHONE: (615) 861-0532
 EMAIL: MIKE@MIKEHAYESLANDSCAPING.COM
- SURVEYOR: H & H LAND SURVEYING, INC.
 CONTACT: JEFF K. KIMBRO, PLS
 ADDRESS: 612A FITZHUGH BOULEVARD
 SMYRNA, TN 37167
 PHONE: (615) 831-0756
 E-MAIL: handhland@bellsouth.net
- THE WITHIN DESCRIBED TRACT OF LAND DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS EVIDENCED ON FEMA MAP NUMBER 47187C0204 F ON THE FLOOD INSURANCE RATE MAPS FOR THE CITY OF FRANKLIN, WILLIAMSON COUNTY, TENNESSEE. (MAP DATED: REVISED SEPTEMBER 29, 2006)
- ALL EXISTING STRUCTURES ARE TO BE REMOVED.

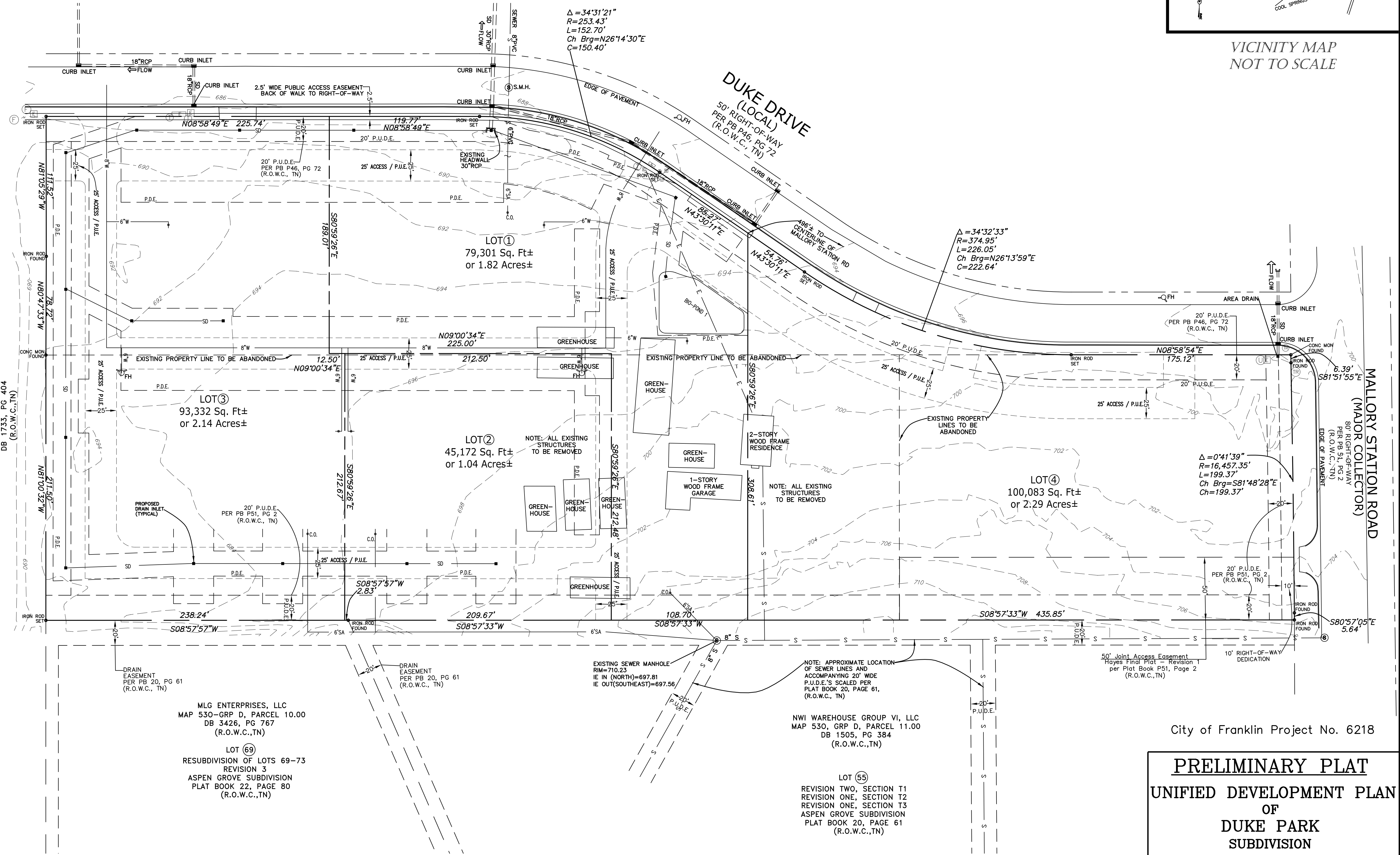
CERTIFICATE OF SURVEY
TO: MICHAEL EDWARD HAYES & JENNIFER HAYES.

I HEREBY CERTIFY THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF TENNESSEE, THE WITHIN SURVEY REPRESENTS A CATEGORY I SURVEY MADE UNDER MY SUPERVISION IN ACCORDANCE WITH T.C.A. SECTION 0820-3 AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY EXCEEDS 1:10,000. THE FIELD WORK FOR THIS SURVEY WAS COMPLETED ON MAY 4, 2016.

JEFFREY K. KIMBRO
RLS NUMBER 1756
AUGUST 30, 2016



VICINITY MAP
NOT TO SCALE



MLG ENTERPRISES, LLC
MAP 530-GRP D, PARCEL 10.00
DB 3426, PG 767
(R.O.W.C.,TN)

LOT (69)
RESUBDIVISION OF LOTS 69-73
REVISION 3
ASPEN GROVE SUBDIVISION
PLAT BOOK 22, PAGE 80
(R.O.W.C.,TN)

NWI WAREHOUSE GROUP VI, LLC
MAP 530, GRP D, PARCEL 11.00
DB 1505, PG 384
(R.O.W.C.,TN)

LOT (55)
REVISION TWO, SECTION T1
REVISION ONE, SECTION T2
REVISION ONE, SECTION T3
ASPEN GROVE SUBDIVISION
PLAT BOOK 20, PAGE 61
(R.O.W.C.,TN)

CERTIFICATION OF DESIGN

I, _____, have, to the best of my ability, designed this subdivision in accordance with the ordinances and regulations governing the subdivision of land within the City of Franklin, and with the Franklin Land Use Plan, with which I am familiar.

H & H LAND SURVEYING, INC.

612A FITZHUGH BOULEVARD
SMYRNA, TENNESSEE 37167
(615) 831-0756 (FAX) 355-6928
H & H Project No. 2016-0167

City of Franklin Project No. 6218

**PRELIMINARY PLAT
UNIFIED DEVELOPMENT PLAN
OF
DUKE PARK
SUBDIVISION**

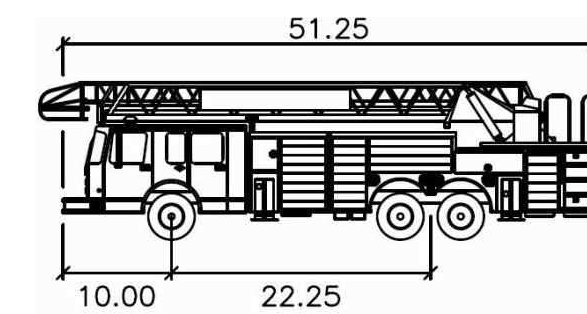
8TH CIVIL DISTRICT
FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

TOTAL ACRES: 7.30 Ac.±	TOTAL LOTS: 4
ACRES NEW STREETS: 0	FEET NEW STREETS: 0
MILES NEW STREETS: 0	CLOSURE ERROR: 1:10,000
SCALE: 1"= 40'	DATE: AUGUST 30, 2016



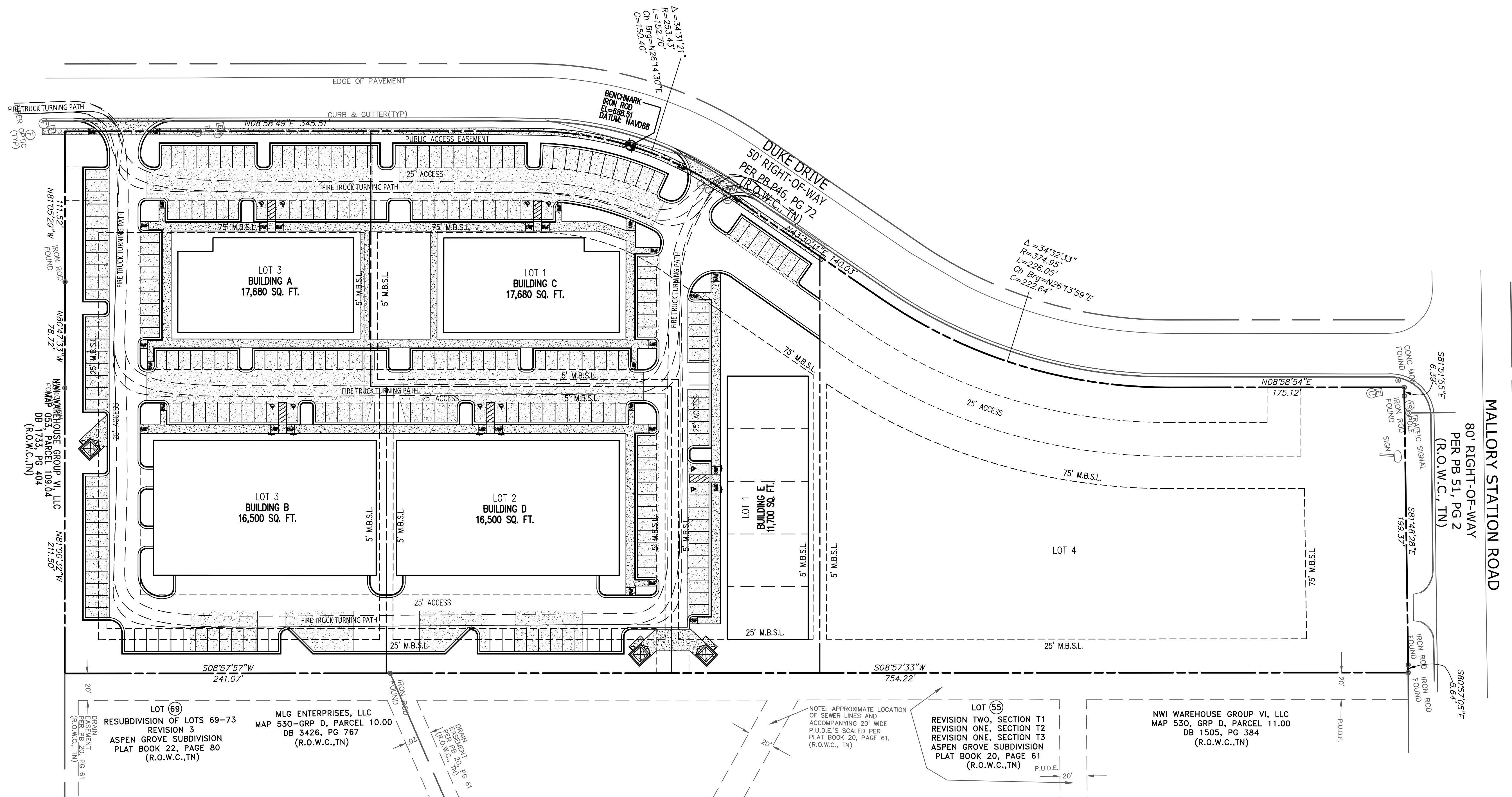
BATSON & ASSOCIATES
Civil Engineering Consultants

5150 REMINGTON DRIVE
BRENTWOOD, TENNESSEE 37027
(615) 424-4840 • FAX (615) 370-9363



T-2 SUTPHEN (Franklin)
feet
Width : 51.25
Track : 10.00
Lock to Lock Time : 22.25
Steering Angle : 42.0

FEE-IN-LIEU OF PAYMENT FOR SIDEWALKS.
SIDEWALKS WILL BE REQUIRED ALONG
MALLORY STATION RD & DUKE DRIVE.



PRELIMINARY PLAT

508 DUKE DRIVE
FRANKLIN, TN

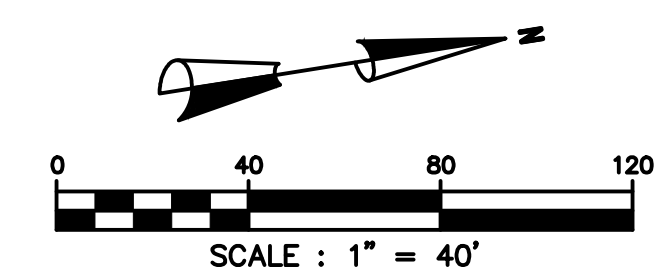
FRANKLIN PROJECT NUMBER 6218
MAP: PARCEL:

DESCRIPTION	DATE
COMMENT 1	1 SEP 2016

PROJECT NO. -
DATE 22 JUL 2016
DRAWN BY NN
CHECKED BY GMB

SITE AUTOTURN & ACCESS EASEMENT EXHIBIT

C-2.0



LOT 69
RESUBDIVISION OF LOTS 69-73
REVISION 3
ASPEN GROVE SUBDIVISION
PLAT BOOK 22, PAGE 80
(R.O.W.C., TN)

MLG ENTERPRISES, LLC
MAP 530-GRP D, PARCEL 10.00
DB 3426, PG 767
(R.O.W.C., TN)

NOTE: APPROXIMATE LOCATION
OF SEWER LINES AND
ACCOMPANYING 20' WIDE
P.U.D.E.'S SCALED PER
PLAT BOOK 20, PAGE 61,
(R.O.W.C., TN)

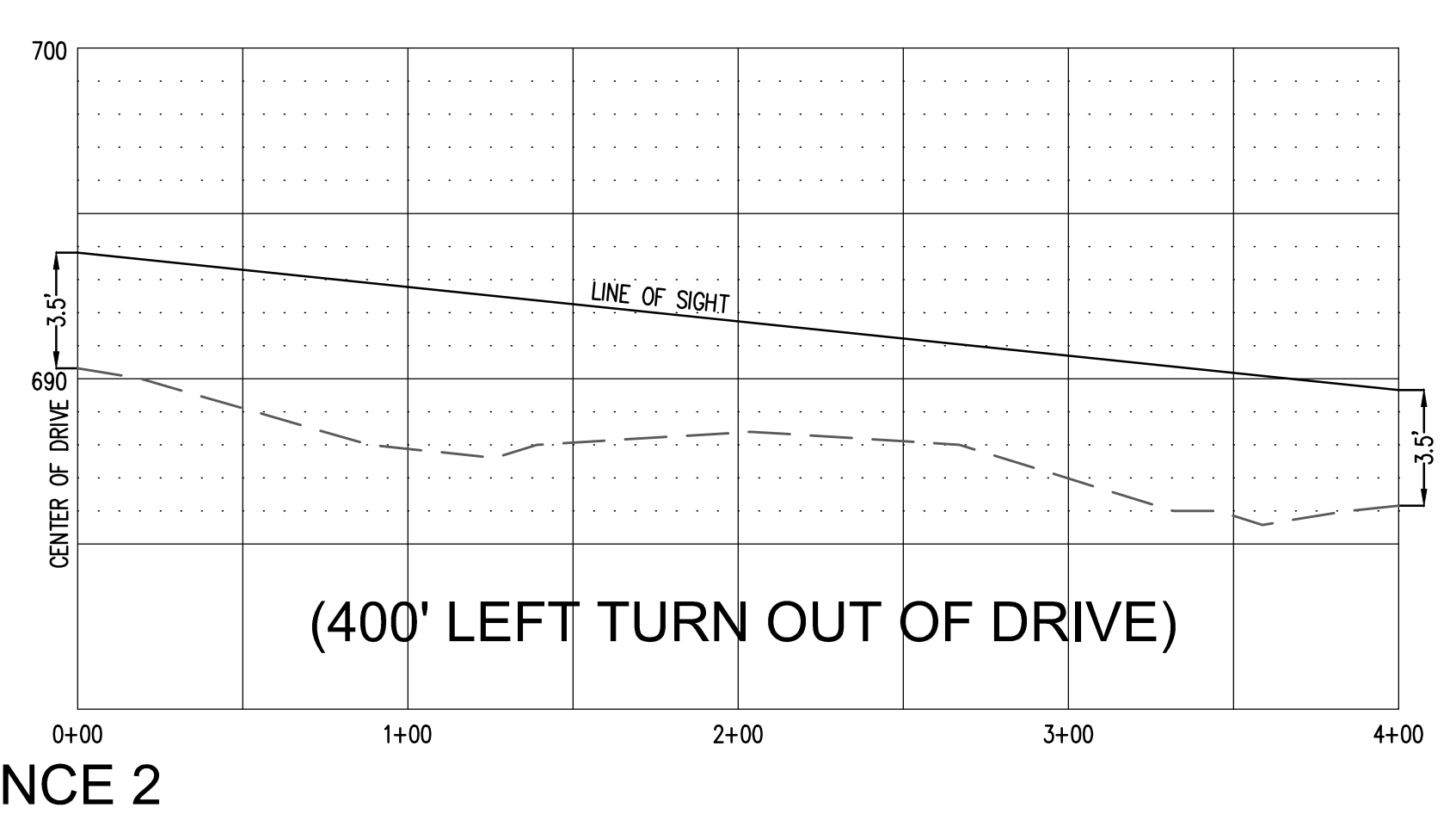
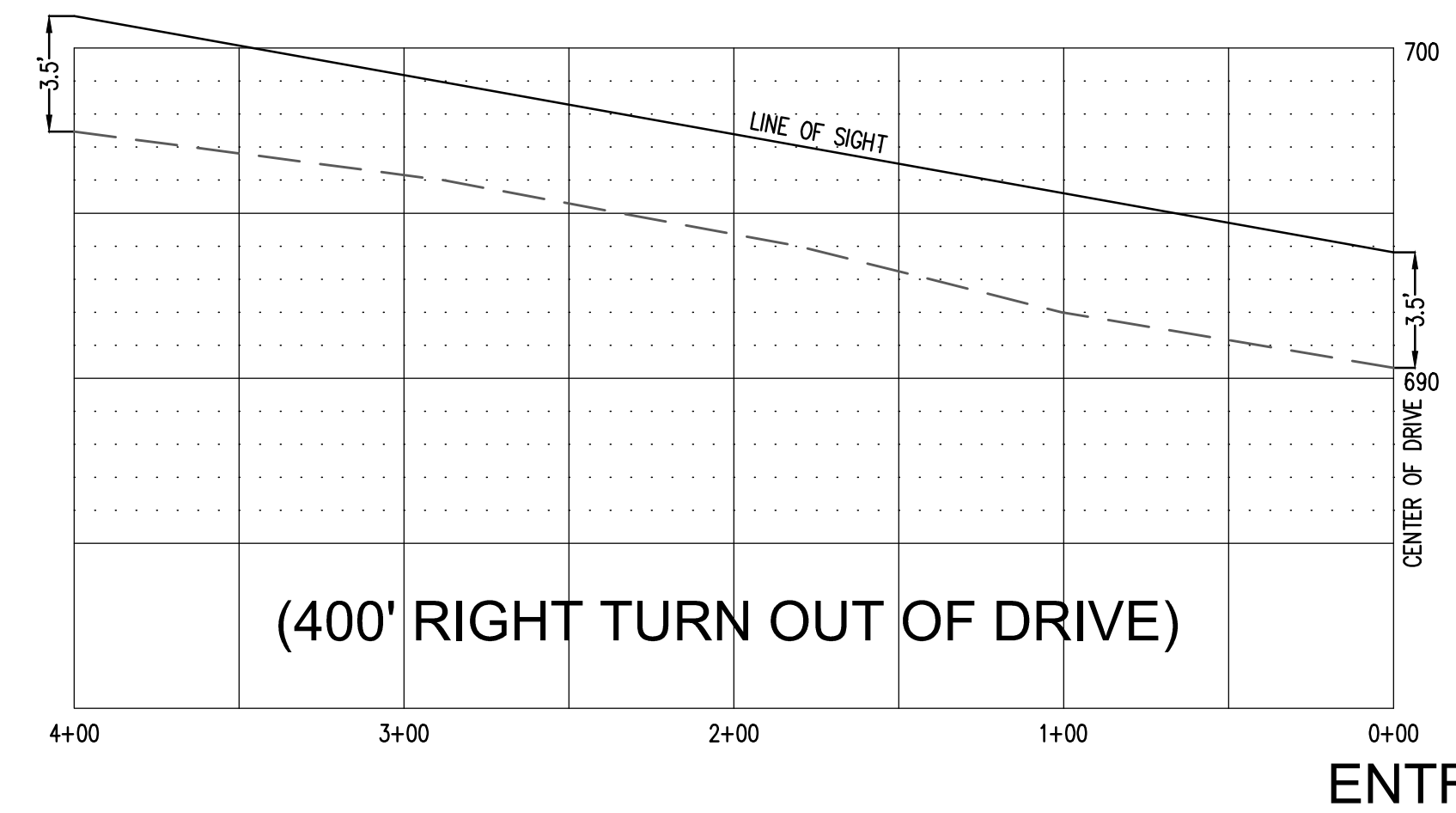
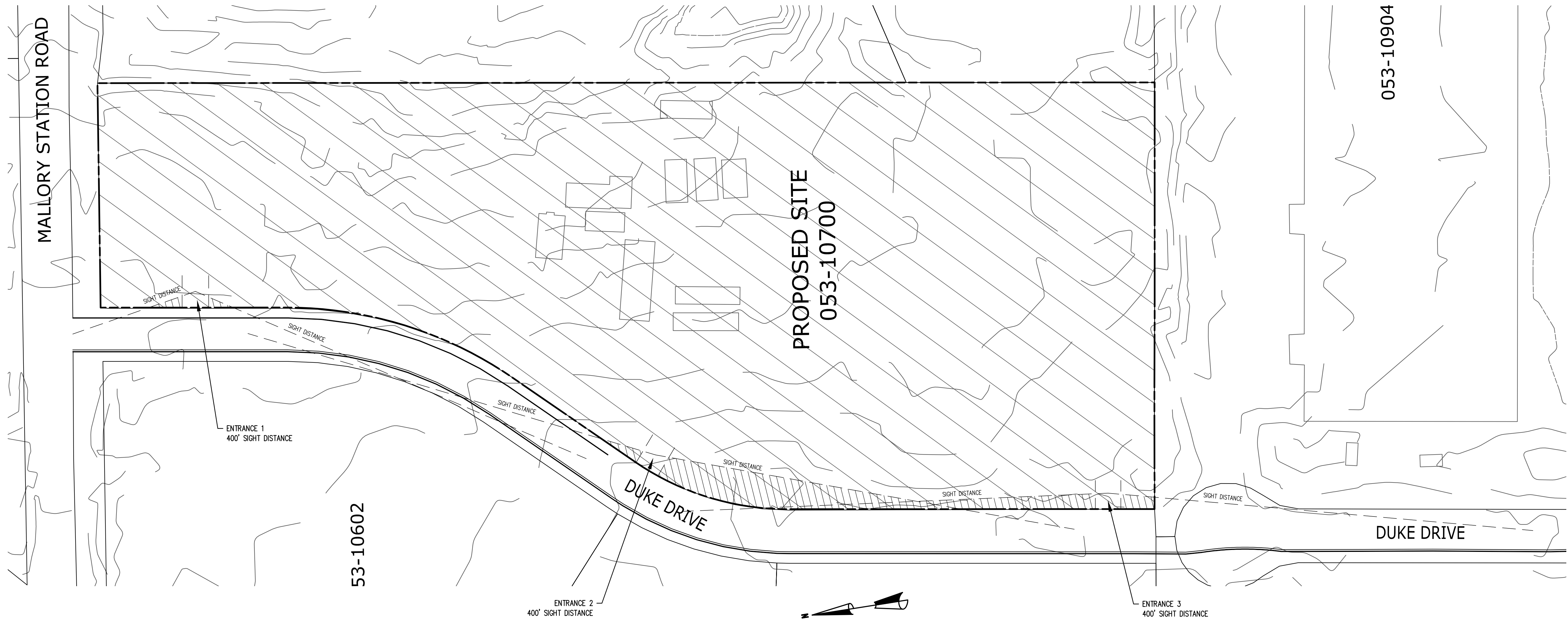
LOT 55
REVISION TWO, SECTION T1
REVISION ONE, SECTION T2
REVISION ONE, SECTION T3
ASPEN GROVE SUBDIVISION
PLAT BOOK 20, PAGE 61
(R.O.W.C., TN)

NWI WAREHOUSE GROUP VI, LLC
MAP 530, GRP D, PARCEL 11.00
DB 1505, PG 384
(R.O.W.C., TN)



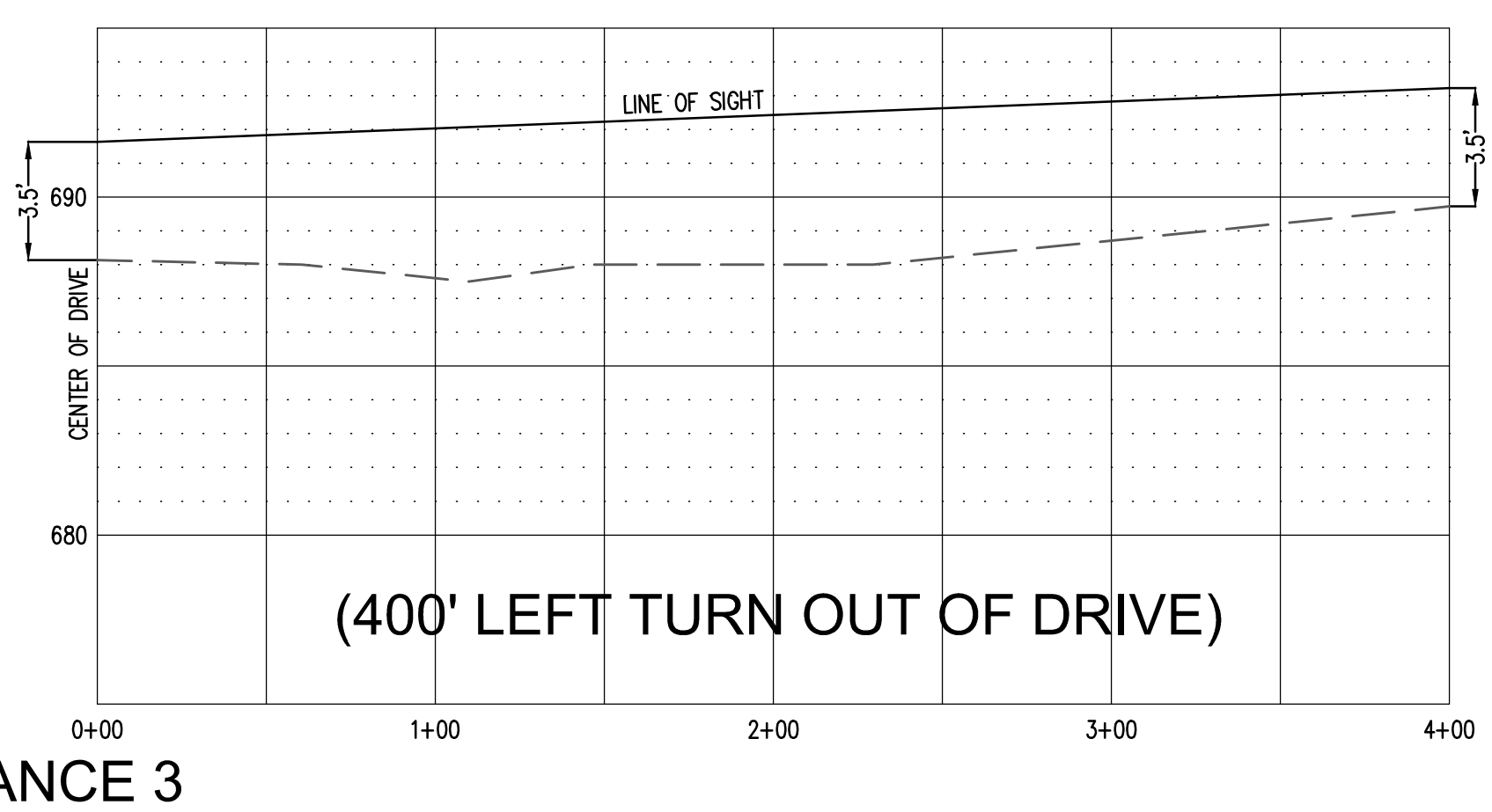
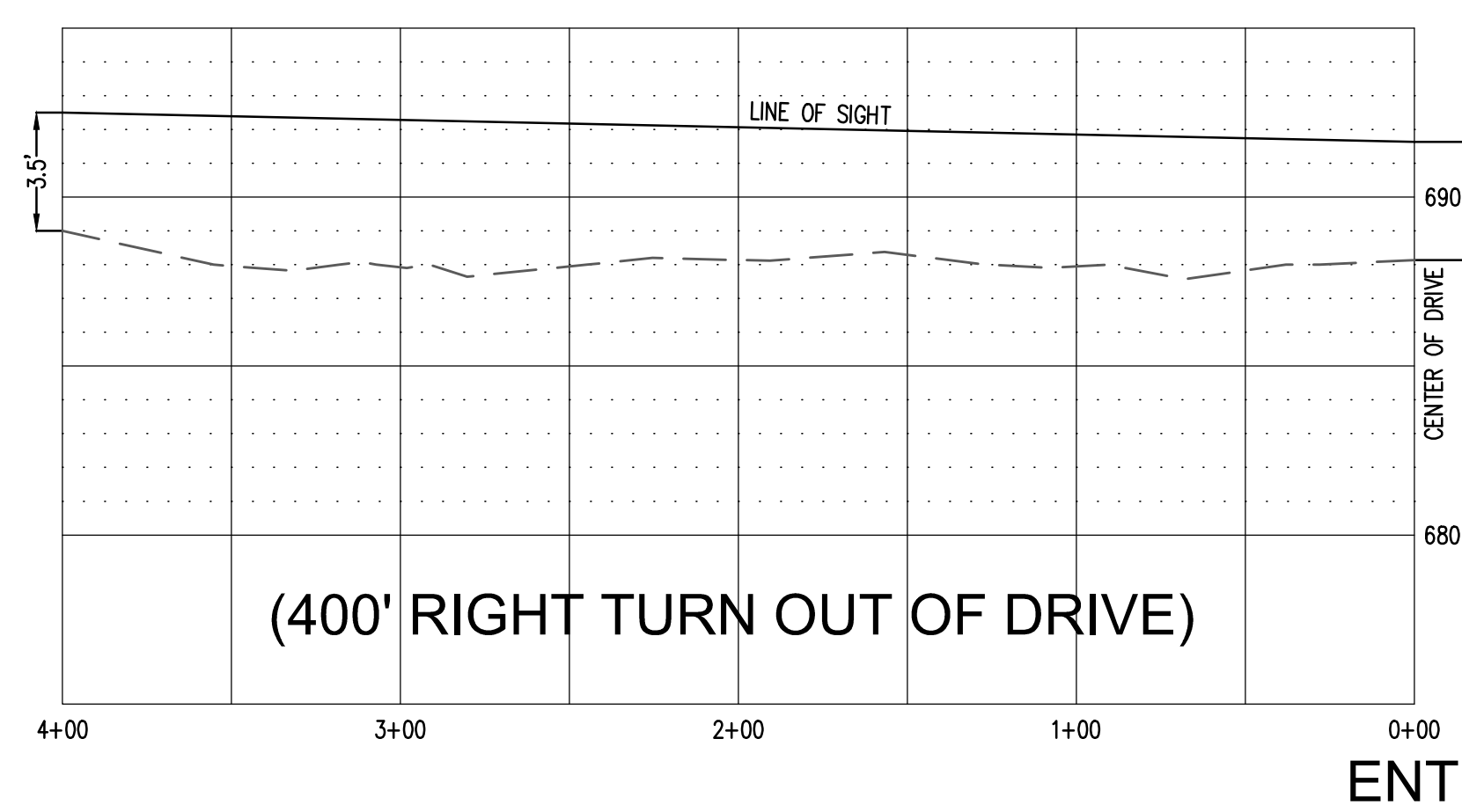
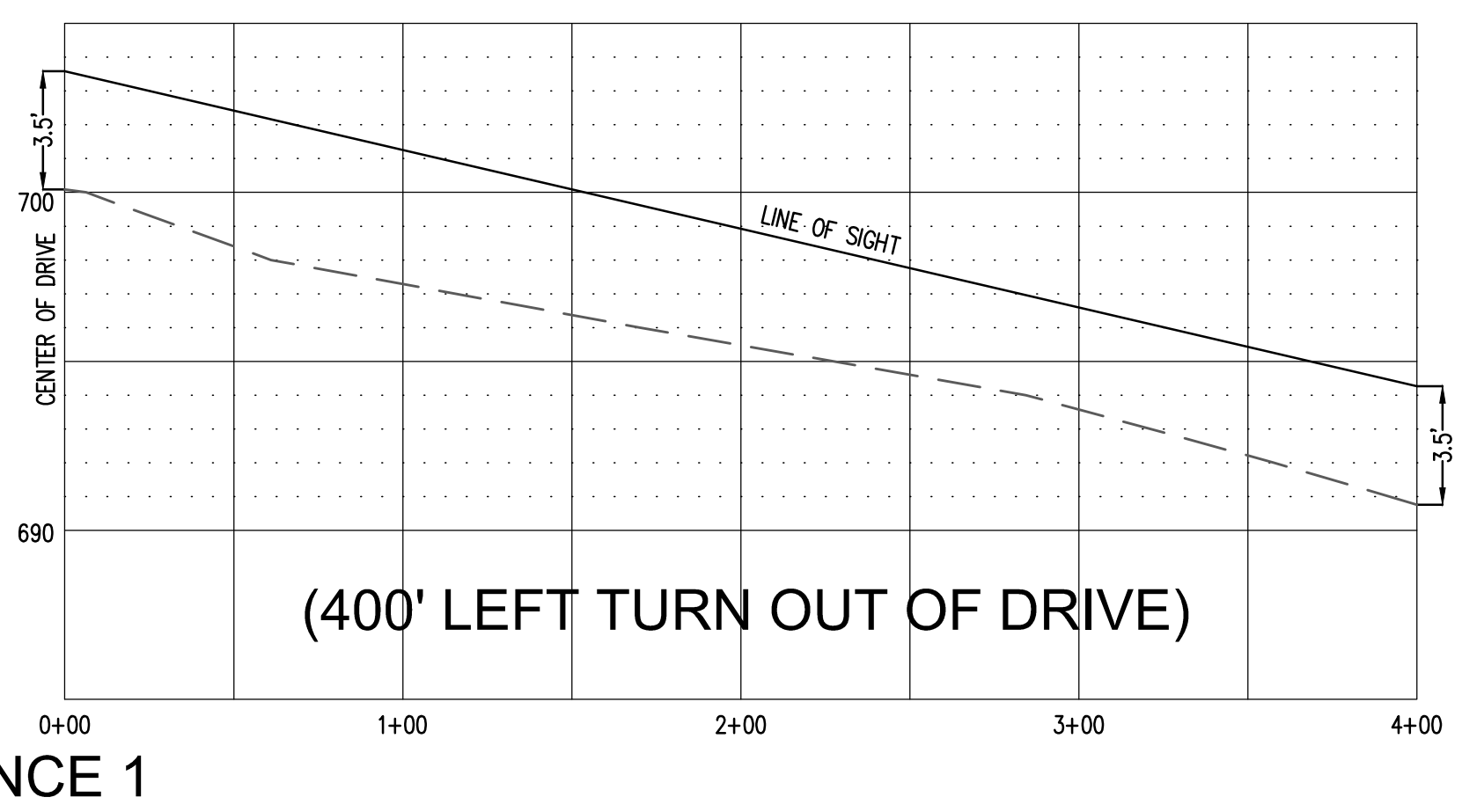
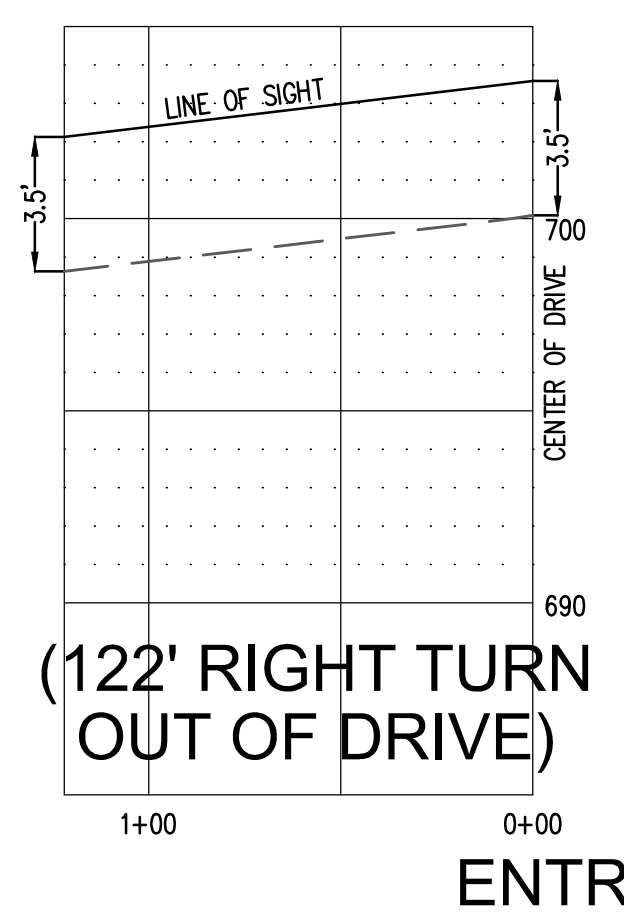
BATSON & ASSOCIATES
Civil Engineering Consultants

5150 REMINGTON DRIVE
BRENTWOOD, TENNESSEE 37027
(615) 424-4840 • FAX (615) 370-9363



SCALE:
PLAN: 1"=50'
PROFILE:
1"=50' HORIZONTALLY
1"=5' VERTICALLY

NO TREES ALLOWED IN SIGHT TRIANGLE AREA



PRELIMINARY PLAT

508 DUKE DRIVE
FRANKLIN, TN

FRANKLIN PROJECT NUMBER 6218
MAP: PARCEL:

DESCRIPTION	DATE
COMMENT 1	1 SEP 2016

PROJECT NO.	-
DATE	22 JUL 2016
DRAWN BY	NN
CHECKED BY	GMB

SIGHT DISTANCE EXHIBIT

C-2.1

UTILITY COMPANIES

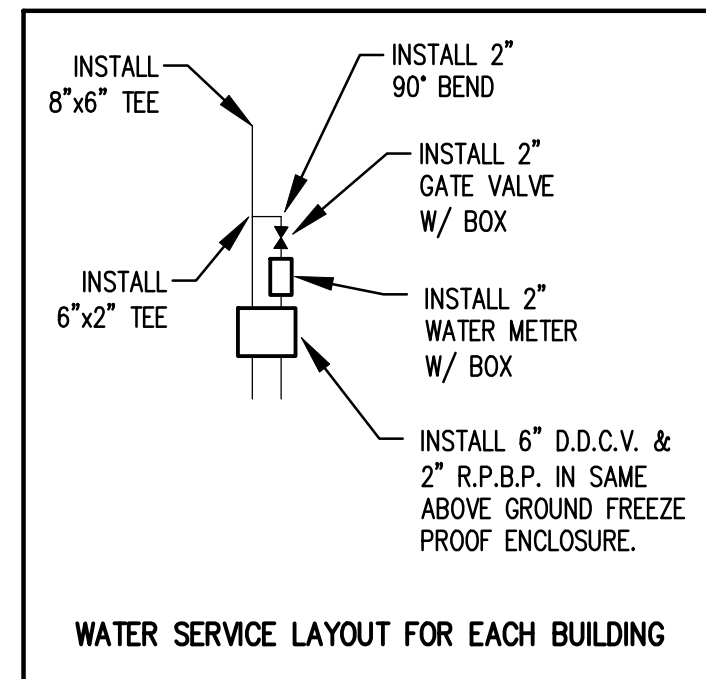
ELECTRIC:
MIDDLE TENNESSEE ELECTRIC COMPANY
P.O. BOX 681709
FRANKLIN, TN 37068-1709
(615) 794-3561
CONTACT: GARY OSBORN

WATER:
MALLORY VALLEY UTILITY DISTRICT
P.O. BOX 936
FRANKLIN, TN 37065
(615) 377-3374
CONTACT: ANSLEY COODE

SANITARY SEWER:
CITY OF FRANKLIN SEWER DEPARTMENT
124 LUMBER DR
FRANKLIN, TN 37062
(615) 794-4554
CONTACT: BEN MCNEIL

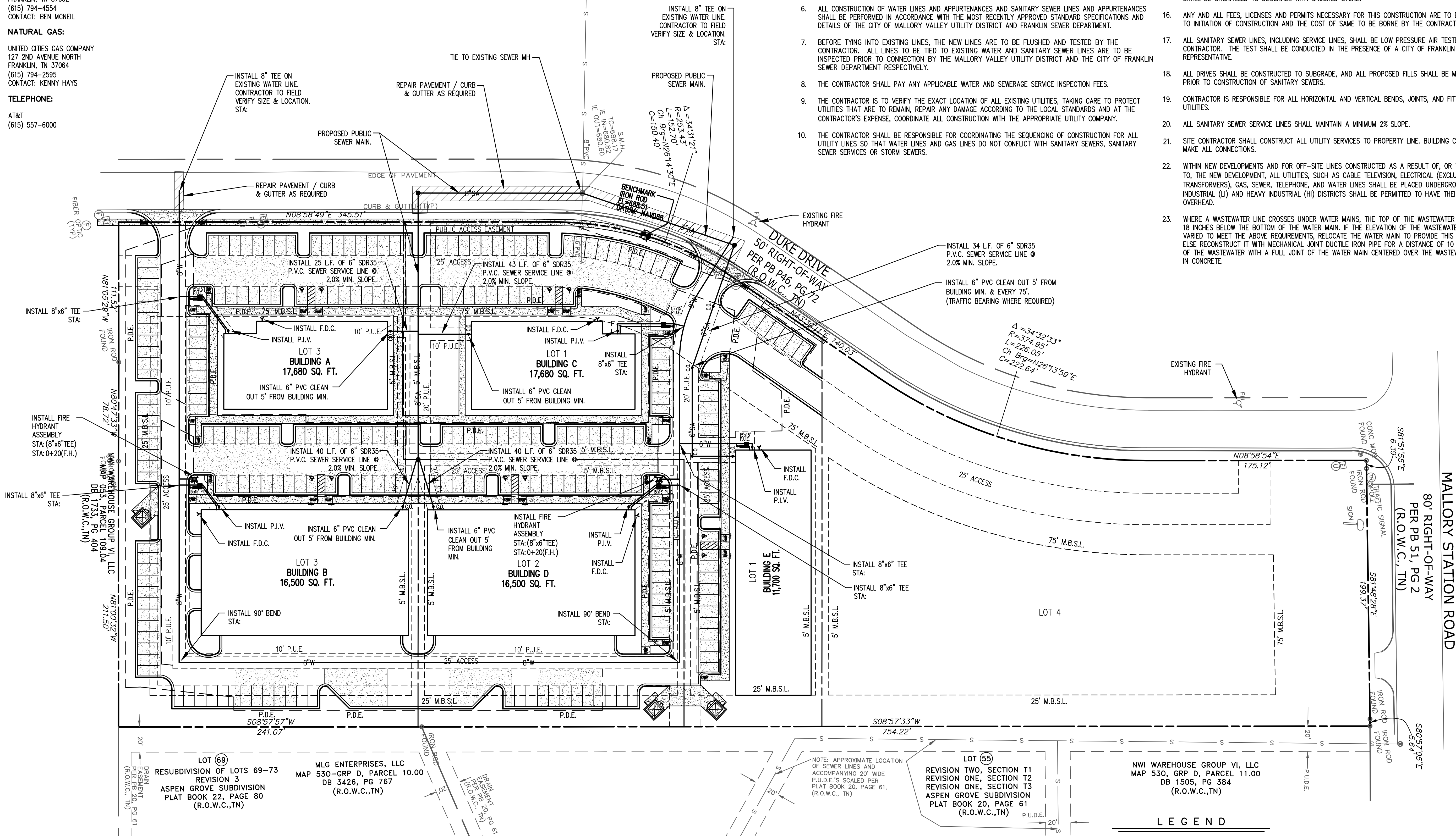
NATURAL GAS:
UNITED CITIES GAS COMPANY
127 2ND AVENUE NORTH
FRANKLIN, TN 37064
(615) 794-2595
CONTACT: KENNY HAYS

TELEPHONE:
AT&T
(615) 557-6000



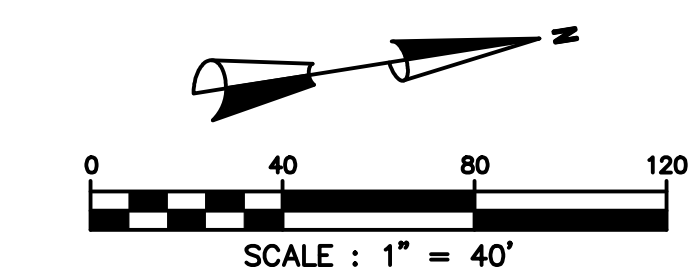
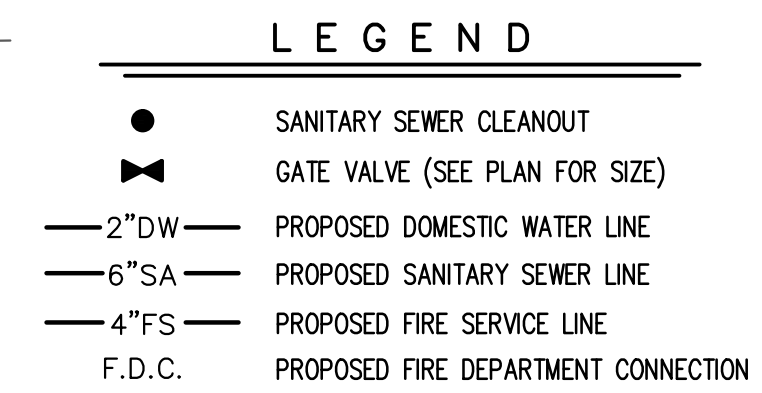
GENERAL UTILITY NOTES

- ALL GAS, ELECTRIC, AND TELEPHONE SERVICE LINES AND EXTENSIONS ARE TO BE CONSTRUCTED TO THE RESPECTIVE UTILITY COMPANY SPECIFICATIONS. UTILITY CONNECTIONS TO BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.
- THE GENERAL CONTRACTOR IS PARTICULARLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF THE EXISTING UTILITIES SHOWN HEREON ARE BASED ON UTILITY COMPANY RECORDS, AND WHERE POSSIBLE, FIELD MEASUREMENTS. THE CONTRACTOR SHALL NOT RELY UPON THIS INFORMATION AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CALL TENNESSEE ONE CALL OR THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION AND REQUEST FIELD VERIFICATION OF UTILITY LOCATIONS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO RELOCATE EXISTING UTILITIES CONFLICTING WITH IMPROVEMENTS SHOWN HEREON IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- BEFORE INSTALLATION OF STORM OR SANITARY SEWER, THE CONTRACTOR SHALL EXCAVATE AND VERIFY ALL CROSSINGS, AND INFORM THE CLIENT AND THE ENGINEER OF ANY CONFLICTS. THE ENGINEER WILL BE HELD HARMLESS IN THE EVENT HE IS NOT NOTIFIED OF DESIGN CONFLICTS PRIOR TO CONSTRUCTION.
- REFER TO ARCHITECTURAL/MECHANICAL PLANS FOR EXACT BUILDING UTILITY ENTRANCE LOCATIONS AND TO VERIFY SERVICE LINE SIZES.
- A 10-FOOT MINIMUM HORIZONTAL SEPARATION IS TO BE MAINTAINED BETWEEN WATER AND SANITARY SEWER LINES.
- ALL CONSTRUCTION OF WATER LINES AND APPURTENANCES AND SANITARY SEWER LINES AND APPURTENANCES SHALL BE PERFORMED IN ACCORDANCE WITH THE MOST RECENTLY APPROVED STANDARD SPECIFICATIONS AND DETAILS OF THE CITY OF MALLORY VALLEY UTILITY DISTRICT AND FRANKLIN SEWER DEPARTMENT.
- BEFORE TYING INTO EXISTING LINES, THE NEW LINES ARE TO BE FLUSHED AND TESTED BY THE CONTRACTOR. ALL LINES TO BE TIED TO EXISTING WATER AND SANITARY SEWER LINES ARE TO BE INSPECTED PRIOR TO CONNECTION BY THE MALLORY VALLEY UTILITY DISTRICT AND THE CITY OF FRANKLIN SEWER DEPARTMENT RESPECTIVELY.
- THE CONTRACTOR SHALL PAY ANY APPLICABLE WATER AND SEWERAGE SERVICE INSPECTION FEES.
- THE CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES, TAKING CARE TO PROTECT UTILITIES THAT ARE TO REMAIN, REPAIR ANY DAMAGE ACCORDING TO THE LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE, COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SEQUENCING OF CONSTRUCTION FOR ALL UTILITY LINES SO THAT WATER LINES AND GAS LINES DO NOT CONFLICT WITH SANITARY SEWERS, SANITARY SEWER SERVICES OR STORM SEWERS.
- THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND OVERHEAD AND UNDERGROUND ELECTRICAL WIRES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THE WORK, THE CONTRACTOR MUST WORK IN THE CLOSE PROXIMITY OF THE ABOVE-NOTED WIRES, THE ELECTRIC COMPANY SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN. A THOROUGH EXAMINATION OF THE OVERHEAD AND UNDERGROUND WIRES IN THE PROJECT AREA SHOULD BE MADE BY THE CONTRACTOR PRIOR TO THE INITIATION OF CONSTRUCTION.
- THE CONTRACTOR'S FIELD REPRESENTATIVE SHALL NOTIFY THE CITY OF FRANKLIN SEWER DEPARTMENT PRIOR TO COMMENCING ANY WORK ON THE PROPOSED SEWER IMPROVEMENTS.
- SEWER IMPROVEMENT CONSTRUCTION SHALL BE SUBJECT TO INSPECTION AND FINAL ACCEPTANCE OF THE CITY OF FRANKLIN SEWER DEPARTMENT.
- THE OWNER AND ENGINEER DO NOT ASSUME RESPONSIBILITY FOR THE POSSIBILITY THAT, DURING CONSTRUCTION UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED OR THAT THE ACTUAL LOCATION OF THOSE SHOWN MAY BE DIFFERENT FROM THE LOCATION DESIGNATED ON THE CONTRACT DRAWINGS. IN AREAS WHERE IT IS NECESSARY THAT EXACT LOCATIONS BE KNOWN OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, FURNISH ALL LABOR AND TOOLS NECESSARY TO EITHER VERIFY AND SUBSTANTIATE OR DEFINITELY ESTABLISH THE POSITION OF UNDERGROUND UTILITY LINES.
- AT LOCATIONS WHERE THE SEWER LINE OF WATER LINE IS UNDERNEATH PROPOSED PAVEMENT, THE TRENCH SHALL BE BACKFILLED TO SUBGRADE WITH CRUSHED STONE.
- ANY AND ALL FEES, LICENSES AND PERMITS NECESSARY FOR THIS CONSTRUCTION ARE TO BE OBTAINED PRIOR TO INITIATION OF CONSTRUCTION AND THE COST OF SAME TO BE BORNE BY THE CONTRACTOR.
- ALL SANITARY SEWER LINES, INCLUDING SERVICE LINES, SHALL BE LOW PRESSURE AIR TESTED BY THE CONTRACTOR. THE TEST SHALL BE CONDUCTED IN THE PRESENCE OF A CITY OF FRANKLIN SEWER DEPARTMENT REPRESENTATIVE.
- ALL DRIVES SHALL BE CONSTRUCTED TO SUBGRADE, AND ALL PROPOSED FILLS SHALL BE MADE AND COMPACTED PRIOR TO CONSTRUCTION OF SANITARY SEWERS.
- CONTRACTOR IS RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL BENDS, JOINTS, AND FITTINGS TO CONSTRUCT UTILITIES.
- ALL SANITARY SEWER SERVICE LINES SHALL MAINTAIN A MINIMUM 2% SLOPE.
- SITE CONTRACTOR SHALL CONSTRUCT ALL UTILITY SERVICES TO PROPERTY LINE. BUILDING CONTRACTOR SHALL MAKE ALL CONNECTIONS.
- WITHIN NEW DEVELOPMENTS AND FOR OFF-SITE LINES CONSTRUCTED AS A RESULT OF, OR TO PROVIDE SERVICE TO, THE NEW DEVELOPMENT, ALL UTILITIES, SUCH AS CABLE TELEVISION, ELECTRICAL (EXCLUDING TRANSFORMERS), GAS, SEWER, TELEPHONE, AND WATER LINES SHALL BE PLACED UNDERGROUND. LIGHT INDUSTRIAL (LI) AND HEAVY INDUSTRIAL (HI) DISTRICTS SHALL BE PERMITTED TO HAVE THEIR OFF-SITE LINES OVERHEAD.
- WHERE A WASTEWATER LINE CROSSES UNDER WATER MAINS, THE TOP OF THE WASTEWATER SHALL BE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN. IF THE ELEVATION OF THE WASTEWATER CAN NOT BE VARIED TO MEET THE ABOVE REQUIREMENTS, RELOCATE THE WATER MAIN TO PROVIDE THIS SEPARATION, OR ELSE RECONSTRUCT IT WITH MECHANICAL JOINT DUCTILE IRON PIPE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE WASTEWATER WITH A FULL JOINT OF THE WATER MAIN CENTERED OVER THE WASTEWATER, AND ENCASED IN CONCRETE.

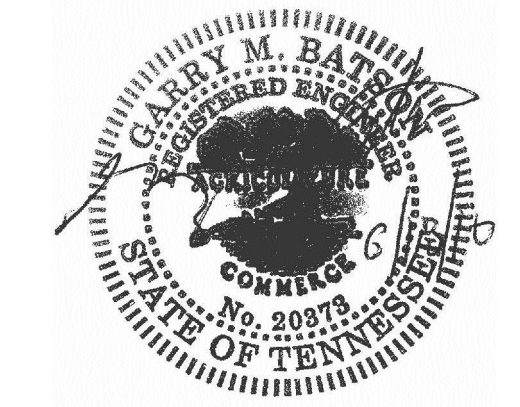


SERVICE LINE NOTE:
CONTRACTOR TO VERIFY REQUIRED SERVICE LINE SIZES WITH MECHANICAL AND PLUMBING PLANS PRIOR TO ORDERING MATERIALS.

SEE SHEET C-16 FOR WATER & SEWER DETAILS.
HVAC UNITS ARE ON THE ROOF SCREENED BY PARAPET WALL.



5150 REMINGTON DRIVE
BRENTWOOD, TENNESSEE 37027
(615) 424-4840 • FAX (615) 370-9363



PRELIMINARY PLAT

508 DUKE DRIVE
FRANKLIN, TN

FRANKLIN PROJECT NUMBER 6218
MAP: PARCEL:

DESCRIPTION	DATE
COMMENT 1	1 SEP 2016

PROJECT NO. -
DATE 22 JUL 2016
DRAWN BY NN
CHECKED BY GMB

SITE UTILITY EXHIBIT

DRAINAGE STRUCTURE TABLE											
STRUC. #	TOP	INV. IN(#)	INV. IN(#)	INV. OUT	FROM-TO	SIZE	TYPE	LENGTH	SLOPE	ACTUAL FLOW	MAX. FLOW
1	Area Drain	696.00			1 - 2	6"	RCP	67'	%	FLOW = QFS VELOCITY = FPS	CAPACITY = QFS VELOCITY = FPS
2	Area Drain	696.00	(1)		2 - 3	6"	RCP	95'	%	FLOW = QFS VELOCITY = FPS	CAPACITY = QFS VELOCITY = FPS
3	Area Drain	694.00	(2)		3 - 4	6"	RCP	67'	%	FLOW = QFS VELOCITY = FPS	CAPACITY = QFS VELOCITY = FPS
4	Area Drain	694.00	(3)		4 - 5	6"	RCP	99'	%	FLOW = QFS VELOCITY = FPS	CAPACITY = QFS VELOCITY = FPS
5	Area Drain	694.50	(4)		5 - 6	6"	RCP	100'	%	FLOW = QFS VELOCITY = FPS	CAPACITY = QFS VELOCITY = FPS
6	Area Drain	692.50	(5)		6 - 9	6"	RCP	114'	%	FLOW = QFS VELOCITY = FPS	CAPACITY = QFS VELOCITY = FPS
7	Area Drain	692.3			7 - 8	6"	RCP	89'	%	FLOW = QFS VELOCITY = FPS	CAPACITY = QFS VELOCITY = FPS
8	Area Drain	691.50	(7)		8 - 9	6"	RCP	85'	%	FLOW = QFS VELOCITY = FPS	CAPACITY = QFS VELOCITY = FPS
9	Area Drain	691.60	(8)		9 - 10	6"	RCP	105'	%	FLOW = QFS VELOCITY = FPS	CAPACITY = QFS VELOCITY = FPS
10	Area Drain	689.50	(9)		10 - 11	6"	RCP	56'	%	FLOW = QFS VELOCITY = FPS	CAPACITY = QFS VELOCITY = FPS
11	Area Drain	689.40	(10)		11 - 12	6"	RCP	78'	%	FLOW = QFS VELOCITY = FPS	CAPACITY = QFS VELOCITY = FPS
12	Area Drain	689.40	(11)		12 - 13	6"	RCP	87'	%	FLOW = QFS VELOCITY = FPS	CAPACITY = QFS VELOCITY = FPS
13	Area Drain	690.40	(12)		13 - 16	6"	RCP	106'	%	FLOW = QFS VELOCITY = FPS	CAPACITY = QFS VELOCITY = FPS
14	Outlet				14 - 15	6"	RCP	80'	%	FLOW = QFS VELOCITY = FPS	CAPACITY = QFS VELOCITY = FPS
15	Area Drain	691.50	(14)		15 - 16	6"	RCP	153'	%	FLOW = QFS VELOCITY = FPS	CAPACITY = QFS VELOCITY = FPS
16	Area Drain	690.90	(15)	683.20							

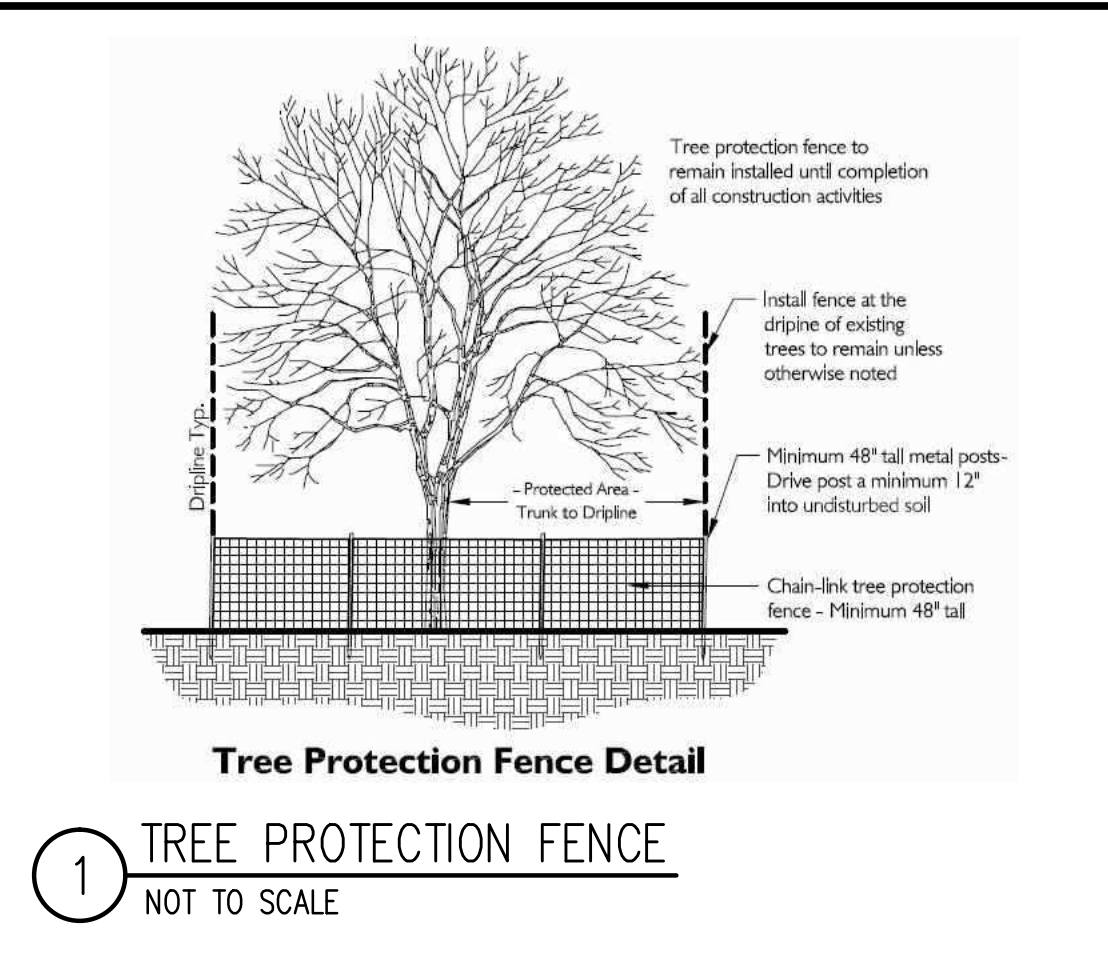
THE CITY OF FRANKLIN IS NOT A MEMBER OF TN ONE CALL. CONTRACTOR'S RESPONSIBILITY TO CONTACT FRANKLIN WATER MANAGEMENT, NO LESS THAN 72 HOURS PRIOR TO COMMENCING WORK.

FRANKLIN GRADING AND DRAINAGE NOTES SEE SHEET C-15

WATER QUALITY BMP'S SHALL NOT BE INSTALLED UNTIL BUILD OUT IS NEAR COMPLETION TO PREVENT CONSTRUCTION SEDIMENT FROM ENTERING WATER QUALITY BMP'S. WATER QUALITY AREAS SHALL NOT BE USED AS SEDIMENT BASINS DURING CONSTRUCTION. INSTALLER'S OF WATER QUALITY BMP'S SHOULD FOLLOW ALL INSTALLATION GUIDELINES SET FORTH IN THE CITY OF FRANKLIN BMP MANUAL LOCATED ON THE CITY'S WEBSITE.

OUR PERVIOUS PAVERS WILL BE DESIGNED FOR WATER QUALITY AS WELL AS DETENTION. WE WILL TIE INTO THE EXISTING STORM DRAINAGE SYSTEM STUBBED OUT TO THE SITE. OUR WATER QUALITY & DETENTION WILL BE DESIGNED TO THE CITY OF FRANKLIN REQUIREMENTS. A BIO-POND WILL BE USED FOR A PORTION OF BUILDING E LOT 1.

IMPERVIOUS SURFACE = 113,242 SQ. FT.
PERVIOUS PAVERS = 52,567 SQ. FT.
BIO-POND = 1,190 SQ. FT.



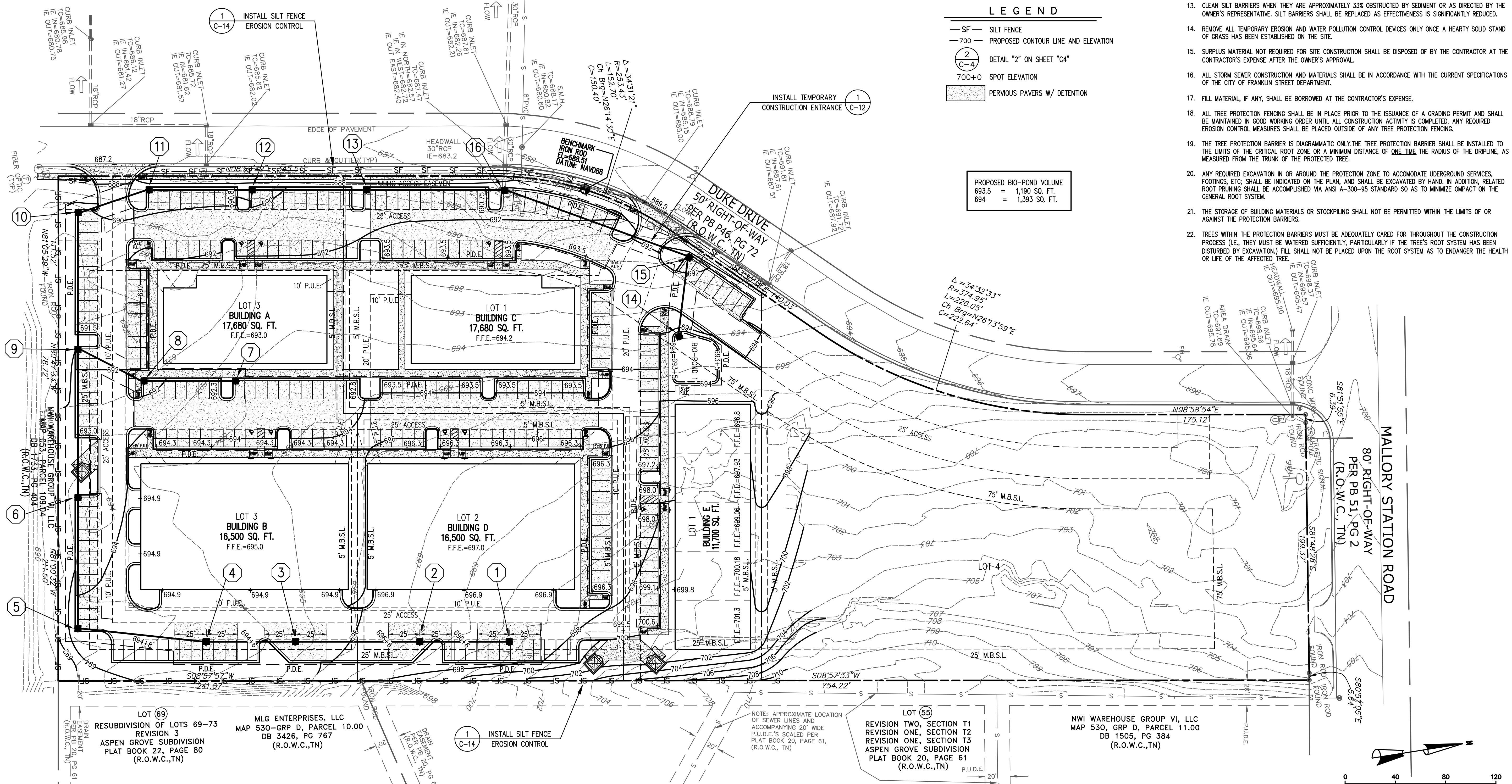
ALL TREE-PROTECTION FENCING SHALL BE IN PLACE PRIOR TO THE ISSUANCE OF A GRADING PERMIT AND SHALL BE MAINTAINED IN GOOD WORKING ORDER UNTIL ALL CONSTRUCTION ACTIVITY IS COMPLETED. ANY REQUIRED EROSION CONTROL MEASURES SHALL BE PLACED OUTSIDE OF ANY TREE PROTECTION FENCING.

- LEGEND**
- SF SILT FENCE
 - 700 PROPOSED CONTOUR LINE AND ELEVATION
 - 2 DETAIL "2" ON SHEET "C4"
 - C-4
 - 700+0 SPOT ELEVATION
 - PERVIOUS PAVERS W/ DETENTION

PROPOSED BIO-POND VOLUME
693.5 = 1,190 SQ. FT.
694 = 1,393 SQ. FT.

GENERAL GRADING AND EROSION CONTROL NOTES

- ALL SLOPES TO BE 3:1 OR FLATTER UNLESS NOTED OTHERWISE HEREON.
- THE GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO ADJACENT PROPERTIES DURING CONSTRUCTION. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO ADJACENT PROPERTIES OCCURRING DURING CONSTRUCTION OF THIS PROJECT.
- THE GENERAL CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR JOB SITE CONDITIONS, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY DURING CONSTRUCTION. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND IS NOT LIMITED TO NORMAL WORKING HOURS.
- THE LOCATION AND/OR ELEVATION OF THE EXISTING UTILITIES SHOWN HEREON IS BASED ON UTILITY COMPANY RECORDS AND WHERE POSSIBLE, FIELD MEASUREMENTS. THE CONTRACTOR SHALL NOT RELY UPON THIS INFORMATION AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CALL THE TENNESSEE ONE CALL AND/OR THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION AND REQUEST FIELD VERIFICATION OF UTILITY LOCATIONS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO RELOCATE EXISTING UTILITIES CONFLICTING WITH IMPROVEMENTS SHOWN HEREON IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- BEFORE INSTALLATION OF STORM OR SANITARY SEWER, THE CONTRACTOR SHALL EXCAVATE AND VERIFY ALL CROSSINGS AND INFORM THE CLIENT AND THE ENGINEER OF ANY CONFLICTS. THE ENGINEER WILL BE HELD HARMLESS IN THE EVENT HE IS NOT NOTIFIED OF DESIGN CONFLICTS PRIOR TO CONSTRUCTION.
- ALL CONSTRUCTION WITHIN THE RIGHT-OF-WAY SHALL BE COORDINATED WITH THE CITY OF FRANKLIN HIGHWAY DEPARTMENT MAINTENANCE ENGINEER.
- NO TREES ARE TO BE REMOVED AND/OR VEGETATION DISTURBED EXCEPT AS NECESSARY FOR GRADING PROPOSED.
- TOPSOIL IS TO BE STRIPPED FROM ALL CUT AND FILL AREAS, STOCKPILED IN LOCATIONS DESIGNATED BY THE OWNER, AND REDISTRIBUTED OVER GRADED AREAS TO A MINIMUM DEPTH OF 6". (CHECK GEOTECHNICAL STUDY)
- ALL DIMENSIONS AND LOCATIONS OF TEMPORARY SOIL EROSION AND WATER POLLUTION CONTROL DEVICES SHALL BE SUBJECT TO ADJUSTMENT AS DESIGNATED BY THE ENGINEER.
- MULCH AND SEED ALL GRADED AREAS AS SOON AS POSSIBLE AFTER GRADING IS COMPLETE.
- CONSTRUCT ALL SILT BARRIERS BEFORE BEGINNING GRADING OPERATIONS.
- REMOVE SEDIMENT FROM ALL DRAINAGE STRUCTURES PRIOR TO ACCEPTANCE BY THE OWNER.
- CLEAN SILT BARRIERS WHEN THEY ARE APPROXIMATELY 33% OBSTRUCTED BY SEDIMENT OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE. SILT BARRIERS SHALL BE REPLACED AS EFFECTIVENESS IS SIGNIFICANTLY REDUCED.
- REMOVE ALL TEMPORARY EROSION AND WATER POLLUTION CONTROL DEVICES ONLY ONCE A HEAVY SOLID STAND OF GRASS HAS BEEN ESTABLISHED ON THE SITE.
- SURPLUS MATERIAL NOT REQUIRED FOR SITE CONSTRUCTION SHALL BE DISPOSED OF BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE AFTER THE OWNER'S APPROVAL.
- ALL STORM SEWER CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT SPECIFICATIONS OF THE CITY OF FRANKLIN STREET DEPARTMENT.
- FILL MATERIAL, IF ANY, SHALL BE BORROWED AT THE CONTRACTOR'S EXPENSE.
- ALL TREE PROTECTION FENCING SHALL BE IN PLACE PRIOR TO THE ISSUANCE OF A GRADING PERMIT AND SHALL BE MAINTAINED IN GOOD WORKING ORDER UNTIL ALL CONSTRUCTION ACTIVITY IS COMPLETED. ANY REQUIRED EROSION CONTROL MEASURES SHALL BE PLACED OUTSIDE OF ANY TREE PROTECTION FENCING.
- THE TREE PROTECTION BARRIER IS DIAGRAMMATIC ONLY. THE TREE PROTECTION BARRIER SHALL BE INSTALLED TO THE LIMITS OF THE CRITICAL ROOT ZONE OR A MINIMUM DISTANCE OF ONE TIME THE RADIUS OF THE DRUPLINE, AS MEASURED FROM THE TRUNK OF THE PROTECTED TREE.
- ANY REQUIRED EXCAVATION IN OR AROUND THE PROTECTION ZONE TO ACCOMMODATE UNDERGROUND SERVICES, FOOTINGS, ETC. SHALL BE INDICATED ON THE PLAN, AND SHALL BE EXCAVATED BY HAND. IN ADDITION, RELATED ROOT PRUNING SHALL BE ACCOMPLISHED VIA ANSI A-300-95 STANDARD SO AS TO MINIMIZE IMPACT ON THE GENERAL ROOT SYSTEM.
- THE STORAGE OF BUILDING MATERIALS OR STOCKPIILING SHALL NOT BE PERMITTED WITHIN THE LIMITS OF OR AGAINST THE PROTECTION BARRIERS.
- TREES WITHIN THE PROTECTION BARRIERS MUST BE ADEQUATELY CARED FOR THROUGHOUT THE CONSTRUCTION PROCESS (I.E., THEY MUST BE WATERED SUFFICIENTLY, PARTICULARLY IF THE TREE'S ROOT SYSTEM HAS BEEN DISTURBED BY EXCAVATION.) FILL SHALL NOT BE PLACED UPON THE ROOT SYSTEM AS TO ENDANGER THE HEALTH OR LIFE OF THE AFFECTED TREE.



5150 REMINGTON DRIVE
BRENTWOOD, TENNESSEE 37027
(615) 424-4840 • FAX (615) 370-9363



PRELIMINARY PLAT

508 DUKE DRIVE
FRANKLIN, TN

FRANKLIN PROJECT NUMBER 6218
MAP: PARCEL:

DESCRIPTION	DATE
COMMENT 1	1 SEP 2016

PROJECT NO. -
DATE 22 JUL 2016
DRAWN BY NN
CHECKED BY GMB

SITE GRADING & DRAINAGE EXHIBIT

C-2.3
SHEET 7 OF 7