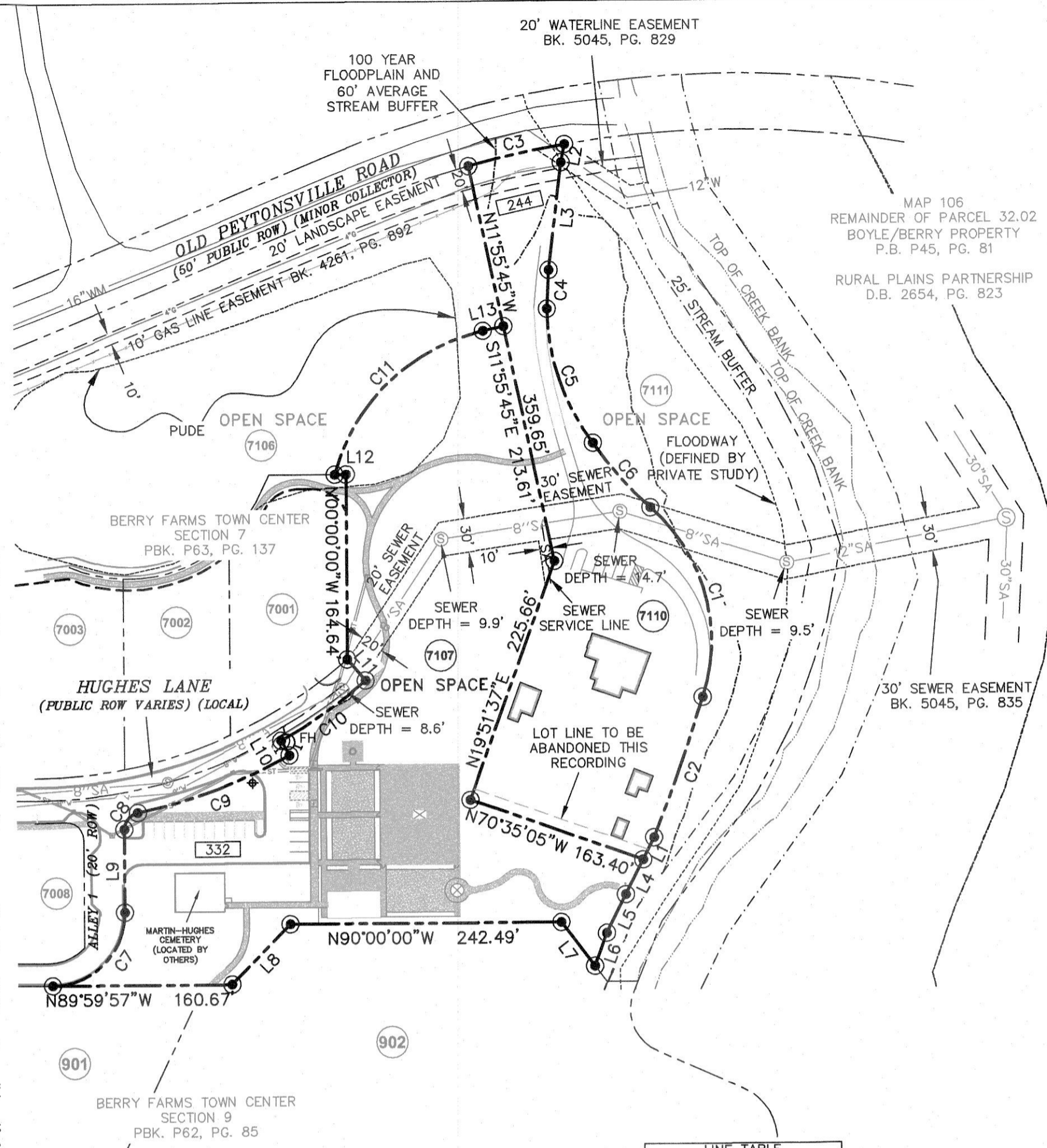


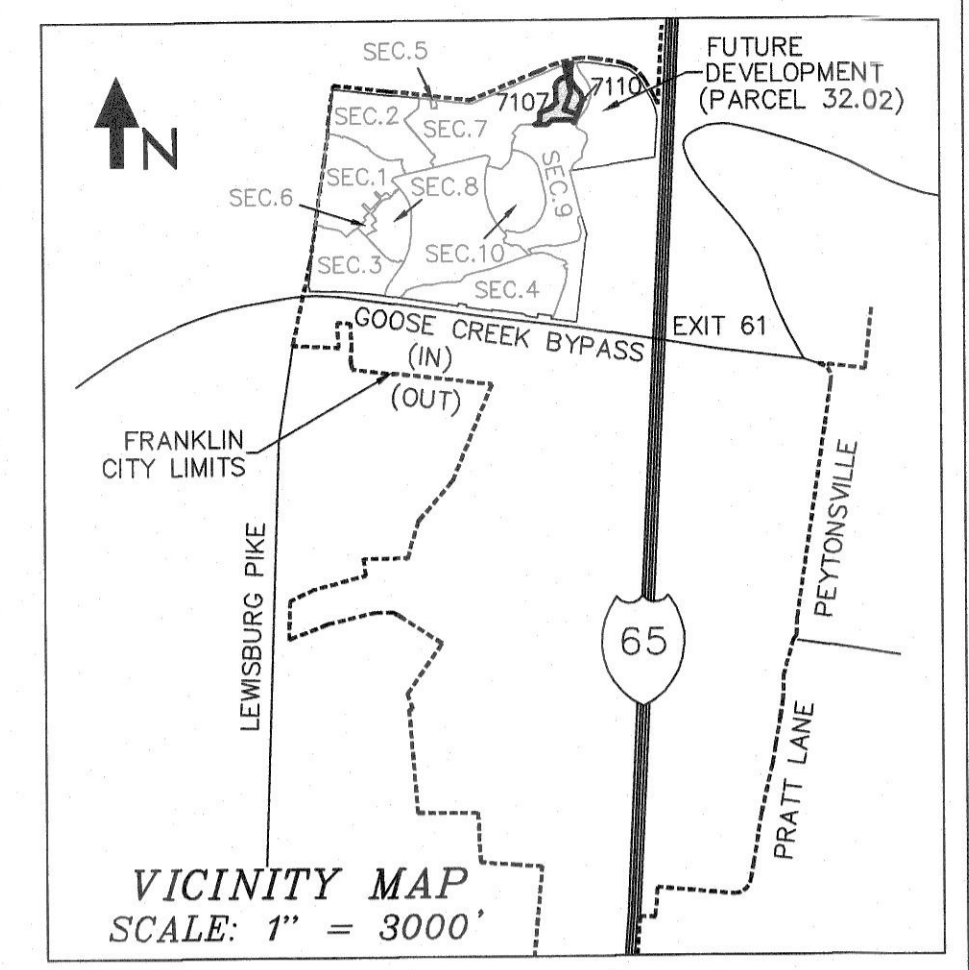
NOTES

- THE PURPOSE OF THIS PLAT IS TO RESUBDIVIDE TWO LOTS.
- EXISTING BASE ZONING: SD-X (SPECIFIC DEVELOPMENT-VARIETY)
CHARACTER AREA OVERLAY: GCCO-3
OVERLAY DISTRICT: FWO
DEVELOPMENT AREA STANDARD: TRADITIONAL
(SUBJECT TO THE STANDARDS ESTABLISHED IN THE BOMA APPROVED CONCEPT PLAN AND PATTERN BOOK)
- A PORTION OF THE PROPERTY DOES LIE WITHIN THE 100 YEAR FLOOD PLAIN AND IS DETERMINED TO BE IN ZONE "AE" AS PER FEDERAL EMERGENCY MANAGEMENT AGENCY FIRM PANEL NUMBER 47187C0355F, DATED SEPTEMBER 29, 2006.
NOTE THE 100 YEAR FLOOD LIMITS SHOWN ARE DEFINED BY A PRIVATE STUDY.
- THIS PROPERTY CAN BE FOUND ON WILLIAMSON COUNTY TAX MAP 106J, GROUP A AND IS KNOWN AS PARCELS 107.00 & 110.00.
- OWNER/ SUBDIVIDER: RURAL PLAINS PARTNERSHIP C/O BNB-WCO INVESTORS, LLC
ADDRESS: 2000 MERIDIAN BOULEVARD SUITE 250
FRANKLIN, TENNESSEE 37067
PHONE NO.: 615-550-5580
P.O.C.: PHIL FAWCETT (pfawcett@boyle.com)
- SURVEYOR: LITTLEJOHN ENGINEERING ASSOCIATES, INC.
ADDRESS: 1935 21ST AVE. SOUTH
NASHVILLE, TENNESSEE 37212
PHONE NO.: OFFICE: 615-385-4144 FAX: 615-385-4020
P.O.C.: ROBERT SEARSON (rsearson@leainc.com)
- WITHIN NEW DEVELOPMENTS AND FOR OFF-SITE LINES CONSTRUCTED AS A RESULT OF, OR TO PROVIDE SERVICE TO, THE NEW DEVELOPMENT, ALL UTILITIES, SUCH AS CABLE TELEVISION, ELECTRICAL (EXCLUDING TRANSFORMERS), GAS, SEWER, TELEPHONE, AND WATER LINES SHALL BE PLACED UNDERGROUND.
- UTILITY AND OTHER PRIVATE EASEMENTS SHOWN MAY BE MODIFIED BY SEPARATE INSTRUMENT WITHOUT RE-RECORDING OF THE FINAL PLAT.
- ALL STREET LIGHT LOCATIONS AND QUANTITIES ARE APPROXIMATE. FINAL POSITIONING AND QUANTITY SHALL BE AT THE DIRECTION OF M.T.E.M.C.
- ALL SIDEWALKS, TRAILS, PATHS, ETC., LYING OUTSIDE OF PUBLIC RIGHT OF WAY SHALL BE PUBLIC ACCESS EASEMENTS AND SHALL BE MAINTAINED BY THE PROPERTY OWNERS' ASSOCIATION OR ASSIGNS, INCLUDING INDIVIDUAL PROPERTY OWNERS. SIDEWALK LOCATIONS WILL BE PROVIDED WITH THE SITE PLAN FOR EACH LOT.
- THERE SHALL BE NO MOWING, CLEARING, GRADING, CONSTRUCTION, STORAGE, OR DISTURBANCE OF VEGETATION IN RIPARIAN BUFFERS EXCEPT AS PERMITTED BY THE CITY ENGINEER AND APPROPRIATE FEDERAL AND STATE PERMITS.
- PRIVATE DRIVES SHALL ALSO SERVE AS PUBLIC UTILITY AND DRAINAGE EASEMENT.
- THE OWNER/SUBDIVIDER, RURAL PLAINS PARTNERSHIP, ATTESTS THAT NO ONE OTHER THAN THE OWNER HOLDS MINERAL RIGHTS TO THE PROPERTY. NO DOCUMENTATION HAS BEEN FOUND.
- RURAL PLAINS ASSOCIATION OF OWNERS, INC., OR ASSIGNS, INCLUDING INDIVIDUAL PROPERTY OWNERS WILL BE RESPONSIBLE FOR THE MAINTENANCE OF DRAINAGE EASEMENTS AND STORMWATER MANAGEMENT FEATURES.
- PROJECT GEODETIC REFERENCE NETWORK BASED ON: COORDINATE SYSTEM U.S. STATE PLANE 1983, ZONE 4100; PROJECT DATUM NAD 1983 (CONUS); VERTICAL DATUM NAVD 88; COMBINED FACTOR = 0.99991825; CONVERGENCE ANGLE = 00°29'18.14463".
- ALL BRICK PAVER CROSSWALKS, INSIDE OR OUTSIDE OF THE ROW, SHALL BE MAINTAINED BY THE POA/HOA.
- MINIMUM REQUIRED SETBACK LINES:
FRONT YARD: * ARTERIAL: *
SIDE YARD: *
REAR YARD: *
* SEE RURAL PLAINS DESIGN GUIDELINES PATTERN BOOK FOR VARIANCES TO SETBACK LINES BASED UPON BUILDING ORIENTATIONS IN THE GUIDELINES FOR THE OVERALL PUD.
- ALL OFF-STREET PARKING AREAS SHALL BE MAINTAINED BY THE PROPERTY OWNER'S ASSOCIATION.
- NO OBSTRUCTIONS OR ENCROACHMENTS WHICH IMPEDE THE FLOW OF STORMWATER SHALL BE PERMITTED WITHIN PUBLIC DRAINAGE EASEMENTS BETWEEN LOTS. THE CITY OF FRANKLIN IS NOT RESPONSIBLE FOR REPAIR OR REPLACEMENT OF ANY ENCROACHMENTS THAT ARE DAMAGED OR REMOVED IN THE COURSE OF MAINTENANCE ACTIVITY WITHIN EASEMENTS.
- ALL OPEN SPACE SHALL BE MAINTAINED BY THE PROPERTY OWNERS' ASSOCIATION, OR ASSIGNS, AND SHALL BE PUBLIC UTILITY, DRAINAGE AND ACCESS EASEMENTS.
- LOT 7110, CONTAINING THE HISTORIC HOME AND ITS ASSOCIATED OUTBUILDINGS, SHALL REZONE BY THE APPLICANT UPON RECORDATION OF THE FINAL PLAT, IN ACCORDANCE WITH THE CONDITIONS OF APPROVAL OF THE DEVELOPMENT PLAN.
- WHERE SANITARY SEWER LINES ENTER PRIVATE PROPERTY, PERMANENT EXCLUSIVE EASEMENTS SHALL BE PROVIDED BASED ON THE DEPTH OF THE SEWER MAIN. 0'-12" DEPTH REQUIRES A 20' EASEMENT AND 13'-20" DEPTH REQUIRES A 30' EASEMENT. IN ADDITION, A MINIMUM 10' WIDE TEMPORARY CONSTRUCTION EASEMENT ON EACH SIDE OF THE PERMANENT EASEMENT MUST BE PROVIDED UNTIL THE SEWER MAIN IS CONSTRUCTED AND ACCEPTED BY THE CITY OF FRANKLIN.
- SURVEY FIELD DATA COLLECTED ON 4-9-2015.
- THE RECORDING OF THIS PLAT VOIDS, VACATES & SUPERCEDES LOTS 7107 AND 7110 OF BERRY FARMS TOWN CENTER PUD SUBDIVISION, SECTION 7 AS RECORDED IN PLAT BOOK P63, PAGE 137, REGISTER'S OFFICE OF WILLIAMSON COUNTY, TENNESSEE.
- NO IMPROVEMENTS SHALL BE PERMITTED WITHIN THE CITY OF FRANKLIN UTILITY EASEMENT THAT MAY DESTROY, WEAKEN OR DAMAGE THE INFRASTRUCTURE OR INTERFERE WITH THE OPERATION OR MAINTENANCE OF SAID INFRASTRUCTURE. THESE IMPROVEMENTS INCLUDE BUT MAY NOT BE LIMITED TO GRADE CUT OR FILL, PERMANENT STRUCTURES, OR VEGETATION THAT MAY IMPEDE OPERATIONS OR AFFECT UNDERGROUND INFRASTRUCTURE. THE CITY OF FRANKLIN RESERVES THE RIGHT TO PERMANENTLY REMOVE ANY IMPROVEMENTS THAT MAY IMPACT EXISTING AND FUTURE INFRASTRUCTURE WITHIN THE EASEMENT. THE CITY OF FRANKLIN SHALL RESTORE THE SITE TO AN ACCEPTABLE CONDITION AS APPROVED BY THE DIRECTOR OF WATER MANAGEMENT DEPARTMENT.



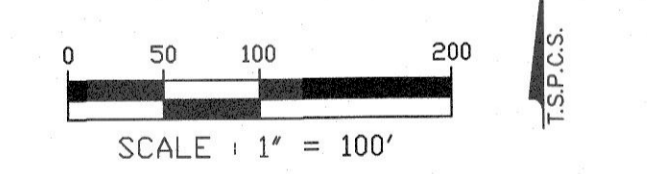
CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	TANGENT	CHORD BEARING	CHORD LENGTH
C1	185.62	157.37	67°34'45"	105.31	S15°03'22"E	175.05
C2	132.59	1527.03	4°58'29"	66.34	S19°32'49"W	132.55
C3	88.02	895.00	5°38'06"	44.05	N77°41'40"E	87.99
C4	34.66	426.21	4°39'33"	17.34	S03°05'36"W	34.65
C5	128.34	202.29	36°20'59"	66.41	S18°38'13"E	126.20
C6	77.27	300.00	14°45'24"	38.85	S41°28'05"E	77.05
C7	102.10	65.00	90°00'03"	65.00	N45°00'01"E	91.92
C8	20.61	15.00	78°43'37"	12.31	N39°21'48"E	19.03
C9	145.50	470.00	17°44'15"	73.34	N69°51'29"E	144.92
C10	92.84	455.00	11°41'28"	46.58	N55°08'38"E	92.68
C11	193.73	177.47	62°32'40"	107.79	N46°28'47"E	184.25

LOT	SQ. FT.	ACRES
7107	120,350	2.76
7110	63,425	1.46
TOTAL	183,775	4.22



LEGEND

PARCEL NO.	()	PROPOSED FIRE HYDRANT	⊕ FH
LOT NUMBER	(00)	PROPOSED WATER VALVE	⊕
STREET ADDRESS	[000]	PROPOSED STORM STRUCTURE	■
IRON ROD (SET)	⊙	PROPOSED MANHOLE	⊙
CONC MON (SET)	⊠	PROPOSED TRANSFORMER	⊠
PROPERTY LINE	---	PROPOSED SECTOR PAD	⊠
CORPORATE LIMIT LINE	-----	PROPOSED ELECTRIC MANHOLE	⊠
WATER VALVE	⊕	PROPOSED ELECTRIC PULL BOX	⊠
GUY WIRE	—	PROPOSED SANITARY SEWER LINE	—8"SA—
LIGHT POLE	⊙	PROPOSED STORM SEWER LINE	—15"RCP—
ELECTRIC POLE	⊙	PROPOSED WATER LINE	—8"W—
FENCE	—x—x—x—	PROPOSED RECLAIMED WATER LINE	—4"RCW—
GAS LINE	—G—	PROPOSED UNDERGROUND ELECTRIC LINE	—UGC—
UNDERGROUND TELEPHONE LINE	—T—	PROPOSED OVERHEAD ELECTRIC LINE	—OH—
PROPOSED STREET LIGHT	⊕		
PROPOSED CONCRETE	⊠		



CERTIFICATE OF APPROVAL OF WATER AND SEWER SYSTEMS
I hereby certify that:
(1) the water and sewer systems designated in "Berry Farms Town Center PUD Subdivision Final Plat, Section 7, Revision 2" Subdivision have been installed in accordance with City specifications, or
(2) a performance agreement and surety in the amount of \$_____ for the water system and \$_____ for the sewer system has been posted with the City of Franklin, Tennessee, to assure completion of such systems.

Date _____
Director Water Management Department
City of Franklin

Date _____
Middle Tennessee Electric Membership Corporation

CERTIFICATE OF APPROVAL FOR RECORDING
Approved by the Franklin Municipal Planning Commission, Franklin, Williamson County, Tennessee, with the exception of such conditions, if any, as are noted in the Planning Commission minutes for the _____ day of _____, 2017, and this plat has been approved for recording in the Registers Office of Williamson County.

Date _____
Secretary
Franklin Municipal Planning Commission

CERTIFICATE OF APPROVAL OF SUBDIVISION NAME, STREET NAMES, AND ADDRESSING
Subdivision name and street names approved by the Williamson County Emergency Management Agency.

Date _____
Williamson County Emergency Management Agency

Date _____
City of Franklin

CERTIFICATE OF APPROVAL OF STREETS, DRAINAGE, AND SIDEWALKS
I hereby certify that:
(1) the streets, drainage, and sidewalks designated in "Berry Farms Town Center PUD Subdivision Final Plat, Section 7, Revision 2" Subdivision have been installed in accordance with City specifications, or
(2) a performance agreement and surety in the amount of \$_____ for streets, \$_____ for drainage, and \$_____ for sidewalks has been posted with the City of Franklin, Tennessee, to assure completion of such improvements.

Date _____
Director, Streets Department
City of Franklin, Tennessee

CERTIFICATE OF SURVEY
I (we) hereby certify that the subdivision plat as shown hereon is correct and that all of the monuments shown hereon have been or will be placed as indicated. This subdivision plat correctly represents a survey made under my supervision on the 9th day of April, 2015.

Date 6/30/17
Robert M. Searson, Tenn. License No. 1666

CERTIFICATE OF OWNERSHIP
I (we) hereby certify that I am (we are) the owner(s) of the property shown hereon as of record in Book 2654, Page 823, R.O.W.C., Tennessee, and adopt the plan of subdivision of the property as shown hereon and dedicate all public ways and easements as noted. No lot(s) as shown hereon shall again be subdivided, resubdivided, altered or changed so as to produce less area than is hereby established until otherwise approved by the Franklin Municipal Planning Commission, and under no condition shall such lot(s) be made to produce less area than is prescribed by the restrictive covenants as of record in Book _____, Page _____, R.O.W.C., Tennessee, running with the title to the property. I (we) further certify that there are no liens on this property, except as follows: Book _____, Page _____, R.O.W.C.

Date _____
Rural Plains Partnership
Owner

1935 21st Avenue South, NASHVILLE, TENNESSEE 37212
T 615.385.4144 F 615.385.4020 www.smeinc.com
ENGINEERING FIRM LICENSE NUMBER: F-0176

BERRY FARMS TOWN CENTER
PUD SUBDIVISION
FINAL PLAT
SECTION 7, REVISION 2
RESUBDIVISION OF LOTS 7107 & 7110
C.O.F. NO. 6468
FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

TOTAL ACRES: 4.22	TOTAL LOTS: 2
ACRES NEW PUBLIC STREETS: ±0.00	DISTRICT: 8TH
LFT NEW PUBLIC STREETS: ±0	CLOSURE ERROR: 1:10000

DATE: 06-12-17
REV: 06-30-17

PROJECT #554716002 SHEET 1 OF 1

L:\Projects\2016\554716002\dwg\554716002_2017-06-12-Berry Farms - Section 7 - Revision 11_Final Plat.dwg - SHEET 1 Jun 29, 2017 - 4:54pm z.davis