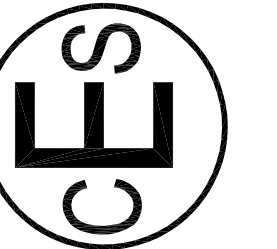


LOCATED AT
3020 STANSBERRY LANE
LOT 136 CAMDEN COMMONS
CITY OF FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

RAY FLAKE
CIVIL ENGINEERING SERVICES
P.O. BOX 1302
FAIRVIEW, TN 37062
615-533-0401



SHEET	DESCRIPTION
COV	COVER SHEET
CO.0	EXISTING CONDITIONS
C1.0	SITE PLAN
C2.0	UTILITY PLAN
C4.0	ELEVATION
C4.1	ELEVATION



INITIAL DATE:
DRAWN BY: YWH
CHECKED BY: RGF
APPROVED BY:

SHEET NO.
C0.0
JOB NO.: 2012-1016

NO PORTION OF THIS PROPERTY LIES WITHIN AN AREA DESIGNATED AS A PORTION OF THE 100 YEAR FLOOD ZONE IN ACCORDANCE WITH FEMA PANEL NUMBER 4718C 0212F, DATED: SEPTEMBER 29, 2006.

NOTE:
CITY OF FRANKLIN IS NOT A MEMBER OF
TENNESSEE ONE CALL. G.C. TO CONTACT:
COF WATER MANAGEMENT DEPARTMENT
ATTN: UTILITY INSPECTOR
124 LUMBER DR, FRANKLIN, TN
(615)794-4554



PRELIMINARY

EXISTING CONDITIONS NOTE:
EXISTING BASE IS COMPILED OF EXISTING
SURVEYS AND PROPOSED BASES. A FINAL
SURVEY WILL BE REQUIRED TO CONFIRM EXISTING
CONDITIONS.

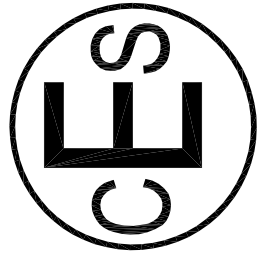


APOLLO BURGER
Brian Kubricky
Vineyard Productions
2140 Albany Dr. Franklin,
TN 37067
PH# (801) 891-4399

Civil Engineering Services, PC

7705 Spicer Farm Lane
Fairview, Tennessee
37062
phone: (615) 533-0401
fax: (615) 523-8865
e-mail: ray@civilengineering-services.net

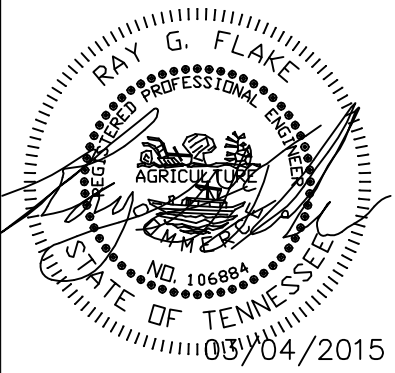
Engineering, Land Planning



REVISIONS

DATE

NO.



INITIAL DATE:

DRAWN BY: YWH

CHECKED BY: RGF

APPROVED BY:

EXISTING CONDITIONS

APOLLO BURGER
3020 STANSBERRY LANE
LOT 136 CAMDEN COMMONS
FRANKLIN, TENNESSEE

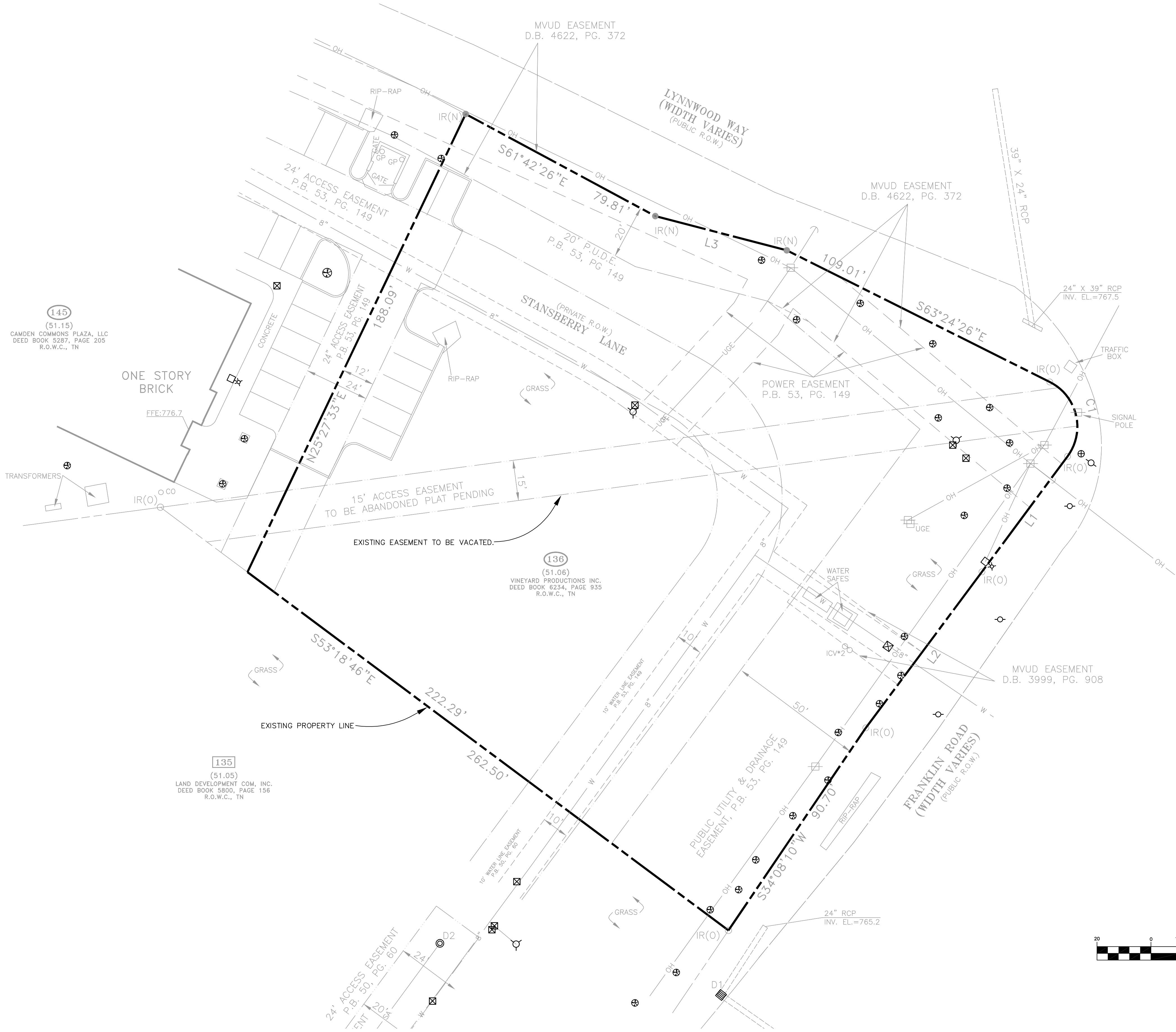
SHEET NO.

C0.0

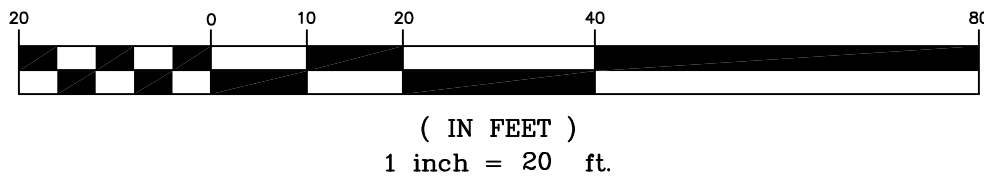
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GRAPHIC SCALE



FLOOD STATEMENT

NO PORTION OF THIS PROPERTY LIES WITHIN AN AREA DESIGNATED AS
A PORTION OF THE 100 YEAR FLOOD ZONE IN ACCORDANCE WITH FEMA
PANEL NUMBER 4718C 0212F, DATED: SEPTEMBER 29, 2006.

PROPOSED SITE LEGEND

- ⑧ PARKING STALL COUNT - SEE PLANS
LIGHT DUTY CONCRETE PAVING - SEE DETAIL SHEET FOR SECTION
CONCRETE SIDEWALK - SEE DETAIL SHEET
HEAVY DUTY CONCRETE PAVING - SEE DETAIL SHEET FOR SECTION
HANDICAP PARKING
DIRECTIONAL ARROWS

SITE DATA
FRANKLIN PROJECT #5739
SUBDIVISION/DEVELOPMENT: GATEWAY VILLAGE MIXED USE:
PROJECT NO. TBD
LOT NUMBER: 136
SOUTHWEST CORNER FRANKLIN ROAD AND LYNNWOOD WAY
CITY: FRANKLIN
COUNTY: WILLIAMSON
STATE: TENNESSEE
CIVIL DISTRICT: 8th
MAP, PARCEL NUMBER: PARCEL 48.01, 49, 50 AND 51 OF MAP 36
EXISTING ZONING/AREA DESIGNATION: PC6.93/MIXED USE CENTER
COMMERCIAL LOTS TO BE ADDRESSED OFF OF TOWN CENTER CIRCLE

ACREAGE OF SITE +/- 60.50 ACRES
SECTION 3, LOT 136: +/- 1.16 ACRES
SQUARE FOOTAGE OF SITE +/- 2,635,380 SF
SECTION 3, LOT 136: +/- 50,591 SF

OWNER: APOLLO BURGER
ADDRESS: 2140 ALBANY DRIVE
FRANKLIN, TENNESSEE 37067
PHONE NO: (801) 891-4399
FAX NO: (615) 371-0686
CONTACT: BRIAN KUBRICKY

APPLICANT: CIVIL ENGINEERING SERVICES, PC
ADDRESS: 7705 SPICER FARM LANE
FAIRVIEW, TN 37062
PHONE NO: (615) 533-0401
EMAIL: RAY@CIVILENGINEERINGSERVICES.NET
CONTACT: RAY G. FLAKE, PE

BUILDING SQUARE FOOTAGE: 3,894 S.F.

MAXIMUM BUILDING HEIGHT: 25'-0" ON FRANKLIN ROAD,
30'-0" ALL OTHER AREAS
MAXIMUM FLOOR AREA RATIO: 0.60
FLOOR AREA RATIO OF SITE: 0.05

MINIMUM PARKING REQUIREMENT: 54
MAXIMUM PARKING REQUIREMENT: 70
PARKING PROVIDED: 58
EXISTING ZONING & AREA DESIGNATION:
ZONING = ML
ACREAGE OF SITE: 1.16 ACRES
DISTURBED ACRES = 1.16 ACRES
IMPERVIOUS AREA = 0.81 ACRES

MINIMUM REQUIRED SETBACK LINES:
FRONT YARD = 3' FROM PROP. LINE
SIDE STREET = 10' FROM PROP. LINE
REAR YARD = 10' FROM PROP. LINE

OF PARKING STALLS = 58 STALLS

EIGHTH CIVIL DISTRICT, WILLIAMSON COUNTY,
TENNESSEE; TAX MAP 36, PARCEL 51.06, LOT
136 1.16 ACRES ±. THIS PROPERTY IS
CURRENTLY ZONED "SD-X6.64/144258".

NOTE:
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TENNESSEE ONE CALL. G.C. TO CONTACT:
COF WATER MANAGEMENT DEPARTMENT
ATTN: UTILITY INSPECTOR
124 LUMBER DR, FRANKLIN, TN
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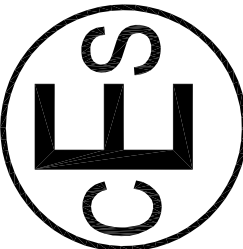


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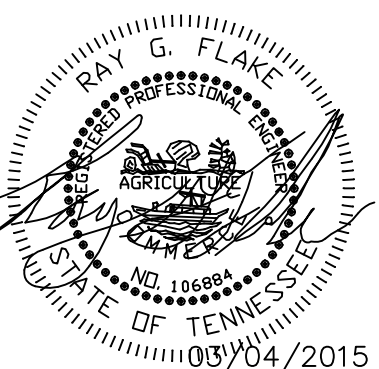
Engineering, Land Planning



REVISIONS

DATE

NO.



INITIAL DATE:

DRAWN BY: YWH

CHECKED BY: RGF

APPROVED BY:

DEVELOPMENT PLAN

APOLLO BURGER
3020 STANSBERRY LANE
LOT 136 CAMDEN COMMONS
FRANKLIN, TENNESSEE

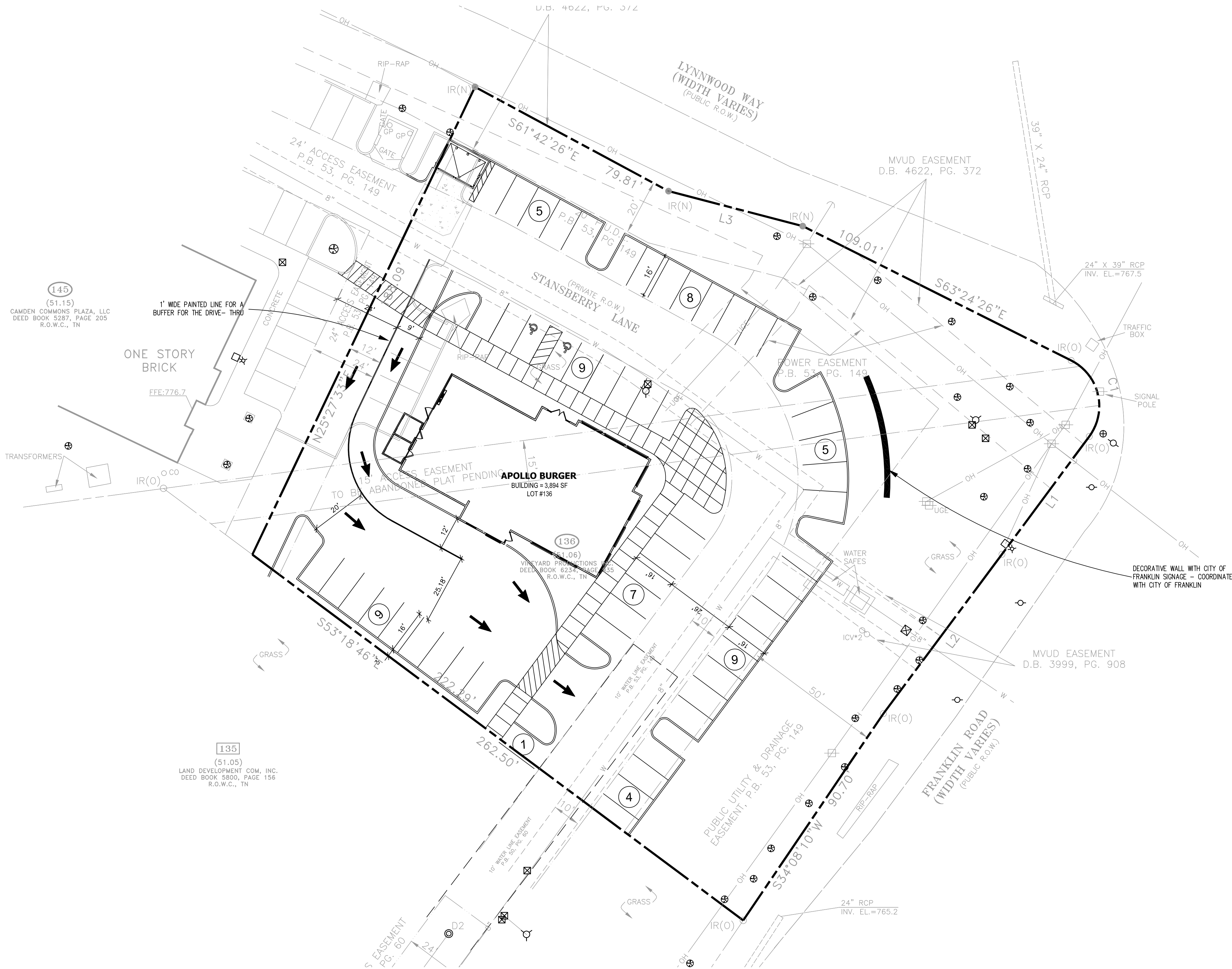
SHEET NO.

C1.0

JOB NO.: 2012-1016

FLOOD STATEMENT

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PANEL NUMBER 4718C 0212F, DATED: SEPTEMBER 29, 2006.



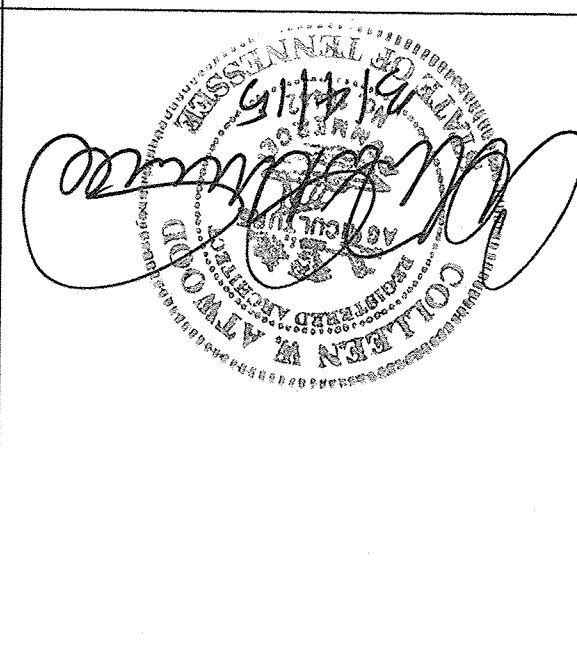
GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

DESIGN
and
ENGINEERING
INC

ARCHITECTS
STRUCTURAL AND CIVIL ENGINEERS
1645 Westgate Circle
Brentwood, Tennessee 37027
615-370-1779 fax: 370-9108
www.dandinc.us



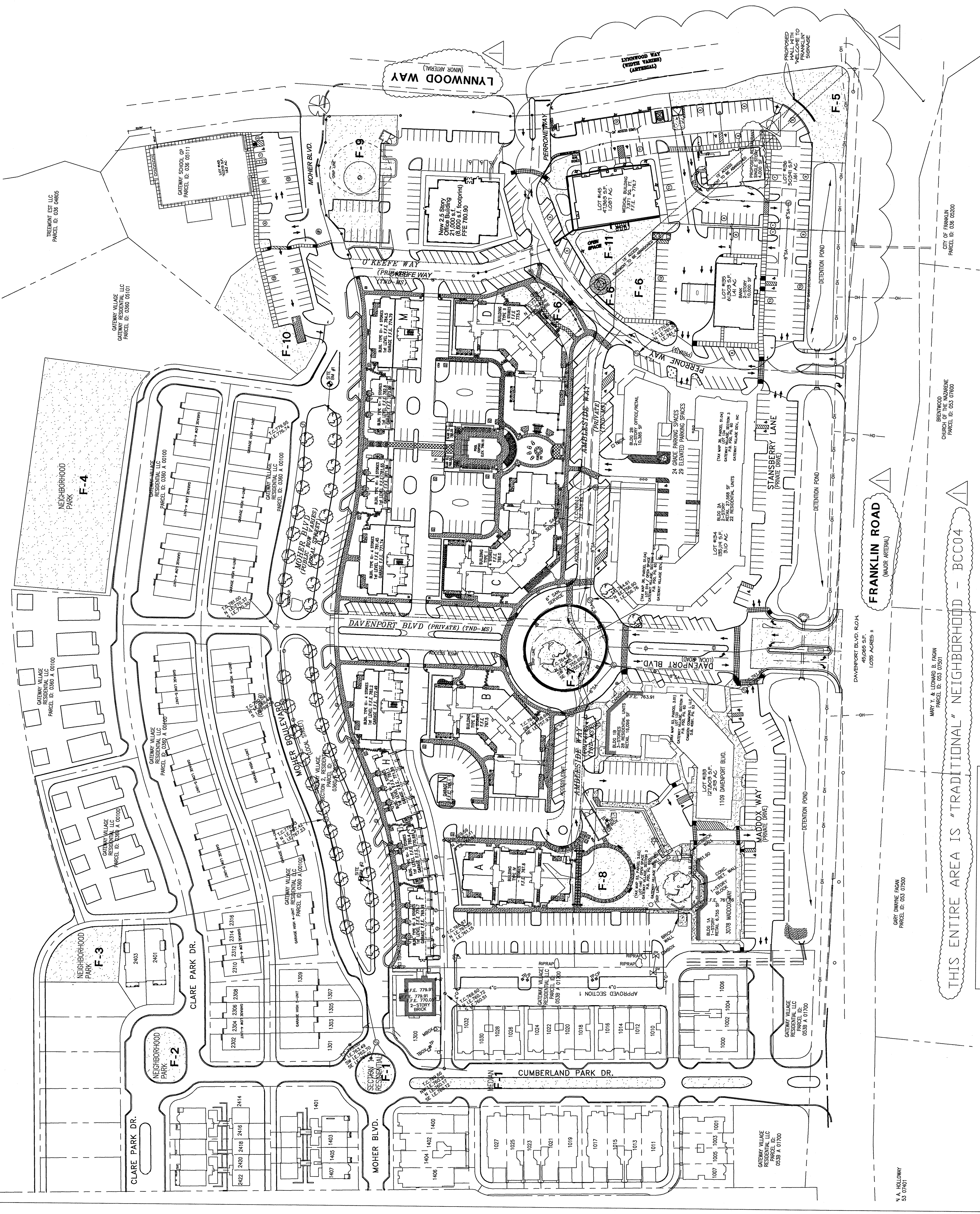
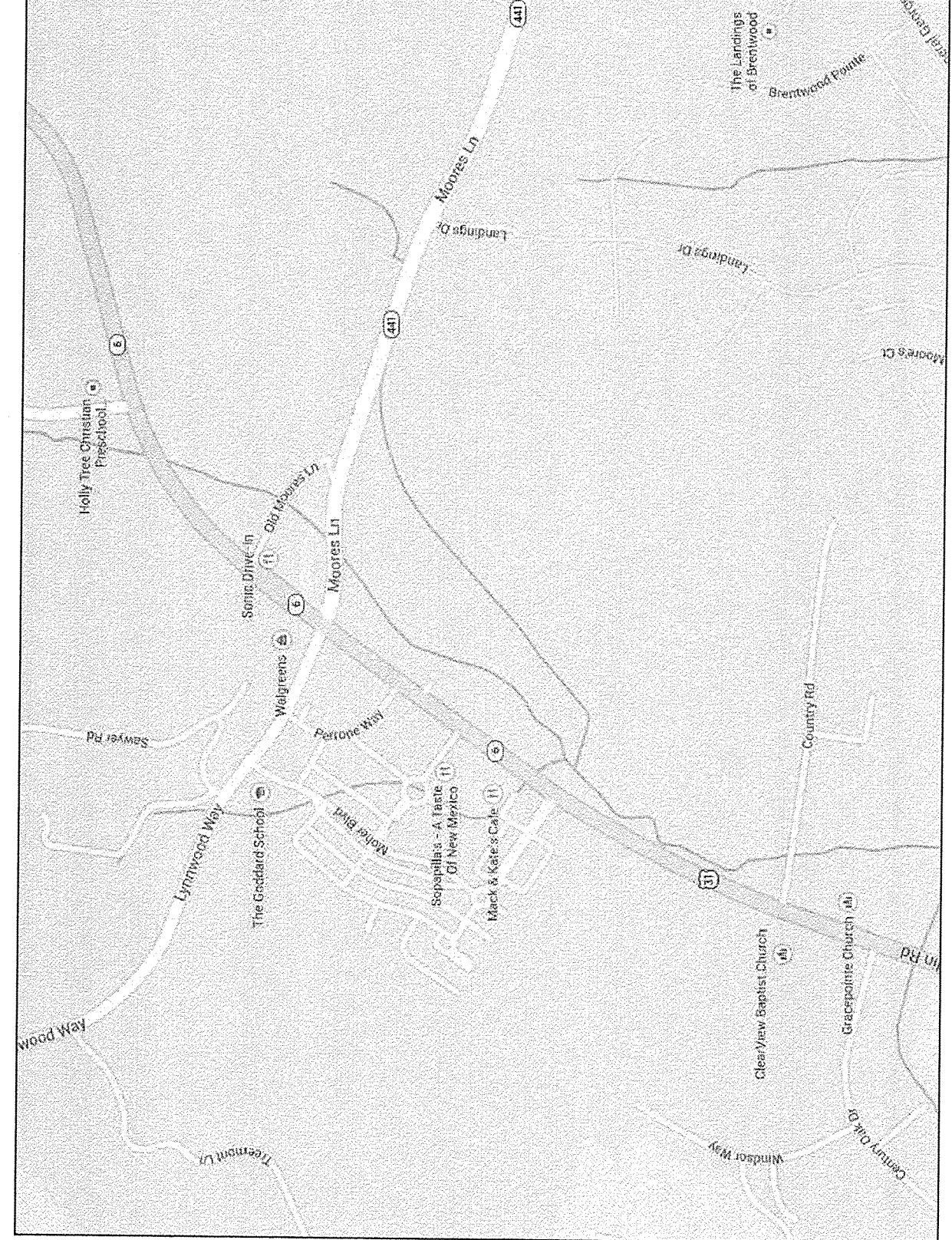
REVISED PARKING EXHIBIT AND SITE CONCEPT PLAN

GATEWAY VILLAGE
REVISIONS TO LOTS #135, 136, AND 145

3020 STANSBERRY LANE
FRANKLIN, TENNESSEE

Job Number: COF 51394
DandE #24-002
Revisions:
△ REVISION
△ 5/5/15 DEVELOPMENT PLAN
△ COF COMMENTS

NOVEMBER 10, 2014
PUD DEVELOPMENT
PLAN SHEET



11/10/14 DOCUMENT

LANDUSE TABULATIONS

APPROVED ZONING	PROPOSED ZONING	PROPOSED LOT AREA (SQ FT)	PROPOSED LOT AREA (ACRES)	PROPOSED LOT AREA (SQ FT)	PROPOSED LOT AREA (ACRES)
RESIDENTIAL	RESIDENTIAL	1,000,000	23.0	1,000,000	23.0
COMMERCIAL	COMMERCIAL	1,000,000	23.0	1,000,000	23.0
INDUSTRIAL	INDUSTRIAL	1,000,000	23.0	1,000,000	23.0
...	...	...	...	...	...

INFORMAL OPEN SPACE

LOT	CLASSIFICATION	TYPE	AREA OF OPEN SPACE (SQ FT)	AREA OF OPEN SPACE (ACRES)
135	INFORMAL	THESURE	1,072,610	24.5
136	INFORMAL	THESURE	1,072,610	24.5
145	INFORMAL	THESURE	1,072,610	24.5

NOTE:
THIS CONCEPT PLAN
INFORMATION SHOWN WAS
TAKEN FROM AVAILABLE
PUBLIC INFORMATION
PROVIDED BY THE CITY OF
FRANKLIN. DESIGN AND
ENGINEERING, INC. AND
THIS ARCHITECT ACCEPT
NO LIABILITY AS THE
EXACTNESS OF THE
DEVELOPMENT OUTSIDE OF
THE PROPOSED PLAN
SHOWN.

- GENERAL NOTES:
- SECTIONS 1, 2, AND 6 OF GATEWAY VILLAGE DESIGNED BY LANDSCAPE, INC. THE REVISION COMMERCIAL VILLAGE DESIGNED BY LANDSCAPE, INC. SECTION 3 AND POSITION OF SECTION 6 DESIGNED BY LITTLEJOHN ENGINEERING ASSOCIATES.
 - THREE EXISTING TREES WITHIN THE COMMERCIAL VILLAGE SHALL BE PRESERVED.
 - ALL TREE PROTECTION FENCING SHALL BE IN PLACE PRIOR TO THE ISSUANCE OF A GRADING PERMIT AND SHALL BE MAINTAINED IN GOOD WORKING ORDER UNTIL PROTECTION FENCING CONTROL MEASURES SHALL BE PLACED OUTSIDE OF ANY TREE PROTECTION FENCING.
 - THE PLANT MATERIAL PROPOSED FOR THE BOREDETION AREAS SHALL BE SHOWN ON THE PLAN AND INCLUDED IN A PLANT SCHEDULE AT THE SITE PLAN STAGE.
 - MAINTENANCE GUIDELINES FOR THE PLANT MATERIAL SHALL BE PROVIDED BY THE CITY OF FRANKLIN.
 - SITE CONCEPT PLAN INCLUDED HAS BEEN PROVIDED BY KIM SWINERY ARCHITECTS AND HAS BEEN EDITED BY LANDSCAPE, INC. TO INCLUDE THE ADDITION OF SINGLE FAMILY LOTS WITHIN THE SECTION 1 AND THE REVISION OF LOTS 135, 136, AND 145.
 - DATE: 11/10/14
- PROPOSED REVISIONS TO THE CONCEPT PLAN AND PARKING EXHIBIT FOR LOTS 135, 136, AND 145 HAVE BEEN REVISED BY DESIGN AND ENGINEERING, INC. AND THE ASSOCIATED TABULATIONS ARE PROVIDED. UPDATES WERE MADE TO THE LATEST KNOWN APPROVED CONCEPT PLAN AND PARKING EXHIBIT DATED OCTOBER 12, 2010 INCLUDING LATEST REVISION 3, DATED FEBRUARY 16, 2011.

- STORMWATER NOTES:
- THIS SITE WILL PROVIDE ADEQUATE ON SITE DETENTION FOR PRE AND POST DEVELOPMENT.
 - NO PORTION OF THIS SITE LIES WITHIN A FLOODWAY (FW) OR FLOODWAY FRINGE (FF) BOUNDARY. MAP #47 67020205F.
 - THE STORM WATER DETENTION FACILITIES WILL MINIMIZE IMPACTS OF INCREASED FLOODING ON DOWNSTREAM PROPERTIES. THE EXISTING DETENTION AREAS WILL BE MAINTAINED AND IMPROVED TO PROVIDE A MINIMUM OF 24 HOURS OF DETENTION. STORMWATER QUALITY WILL PROVIDE A MINIMUM OF 80% TSS (TOTAL SUSPENDED SOLIDS) REMOVAL.
 - REFER TO PLAN FOR APPROXIMATE LOCATIONS FOR DETENTION. THIS IS SHOWN FOR INFORMATION ONLY. FINAL SIZES AND LOCATIONS TO BE DETERMINED WITH SITE PLAN DEVELOPMENT.
 - EXPECTED POLLUTANT REMOVAL EFFICIENCY TAKEN FROM CITY OF FRANKLIN STORMWATER MANAGEMENT PLAN.
 - ALL WATER QUALITY DEVICES EAST OF THE WATER QUALITY CELL ON WATER SHALL BE MAINTAINED AND IMPROVED TO PROVIDE A MINIMUM OF 24 HOURS OF DETENTION.
 - STRUCTURAL TREATMENT SHALL BE PROVIDED FOR APPROVED DRAINAGES.
 - RECALCULATIONS OF STORM WATER STUDY NOT REQUIRED PRE-APPLICATION MEETING.

NOTES:

1. THE ENTIRE AREA IS "TRADITIONAL" NEIGHBORHOOD - BCC04

2. THE ENTIRE AREA IS "TRADITIONAL" NEIGHBORHOOD - BCC04

3. THE ENTIRE AREA IS "TRADITIONAL" NEIGHBORHOOD - BCC04

4. THE ENTIRE AREA IS "TRADITIONAL" NEIGHBORHOOD - BCC04

5. THE ENTIRE AREA IS "TRADITIONAL" NEIGHBORHOOD - BCC04

6. THE ENTIRE AREA IS "TRADITIONAL" NEIGHBORHOOD - BCC04

7. THE ENTIRE AREA IS "TRADITIONAL" NEIGHBORHOOD - BCC04

8. THE ENTIRE AREA IS "TRADITIONAL" NEIGHBORHOOD - BCC04

9. THE ENTIRE AREA IS "TRADITIONAL" NEIGHBORHOOD - BCC04

10. THE ENTIRE AREA IS "TRADITIONAL" NEIGHBORHOOD - BCC04

SECTION 1 - LOT 135, 136, AND 145

SECTION	LOT	AREA (SQ FT)	AREA (ACRES)	AREA (SQ FT)	AREA (ACRES)
135	135	1,000,000	23.0	1,000,000	23.0
136	136	1,000,000	23.0	1,000,000	23.0
145	145	1,000,000	23.0	1,000,000	23.0

SECTION 2 - LOT 135, 136, AND 145

SECTION	LOT	AREA (SQ FT)	AREA (ACRES)	AREA (SQ FT)	AREA (ACRES)
135	135	1,000,000	23.0	1,000,000	23.0
136	136	1,000,000	23.0	1,000,000	23.0
145	145	1,000,000	23.0	1,000,000	23.0



102 Hazel Path, Ste. 6, Office F • Hendersonville, TN 37075
Office 615.348.8282 Fax 615.447.5314
Visit us at www.gam-engineering.com

February 10, 2015

Mr. Ray Flake, P.E.
Civil Engineering Services, PC
P.O. Box 1302
Fairview, TN. 37062

**RE: Fire Hydrant Flow Test
Gateway Village Section 3 – Lot 136
GAM Project No. 15-041**

Dear Mr. Flake:

A two hydrant fire flow test was performed on February 10, 2015. The fire hydrant flowed was located on the southerly side of the proposed Stansberry Lane. The pressure readings were taken at the fire hydrant located on the easterly side of Stanberry Lane. The fire hydrants are installed on a private water line that serves this project; see the attached map for hydrant locations. The following are the results of the test:

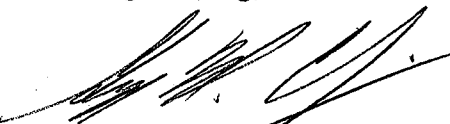
Fire Hydrant Test Results

Flowed Hydrant
Water Main - 8" Ductile Iron
Flow – 1,200 ± gpm
Time of Test: 8:22 A.M.

Pressure Hydrant
Static Pressure – 68± psi
Residual Pressure – 58± psi

If you have any questions or need additional information, please feel free to contact me.

Sincerely,
GAM Engineering, Inc.



Gregg M. Clingerman, P.E.

SITE GENERAL NOTES:

1. TOTAL AREA OF SITE: 1.16 ACRES
2. ALL GAS, ELECTRIC, AND TELEPHONE SERVICE LINES AND EXTENSIONS ARE TO BE CONSTRUCTED TO THE RESPECTIVE UTILITY COMPANY SPECIFICATIONS. UTILITY DISCONNECTIONS TO BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.
3. THE GENERAL CONTRACTOR IS PARTICULARLY CAUTIONED THAT LOCATION AND/OR ELEVATION OF THE EXISTING UTILITIES SHOWN HEREON IS BASED ON UTILITY COMPANY RECORDS, AND WHERE POSSIBLE, FIELD MEASUREMENTS. THE CONTRACTOR SHALL NOT RELY UPON THIS INFORMATION AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION AND REQUEST FIELD VERIFICATION OF UTILITY LOCATIONS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO RELOCATE EXISTING UTILITIES CONFLICTING WITH

4. BEFORE INSTALLATION OF WATER LINES, STORM SEWERS OR SANITARY SEWERS, THE CONTRACTOR SHALL EXCAVATE AND VERIFY ALL CROSSINGS AND INFORM THE OWNER AND THE ENGINEER OF ANY CONFLICTS. THE ENGINEER WILL BE HELD HARMLESS IN THE EVENT HE IS NOT NOTIFIED OF DESIGN CONFLICTS PRIOR TO CONSTRUCTION.
5. ALL WATER CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE WATER DISTRICT'S SPECIFICATIONS AND DETAILS, LATEST REVISIONS, AS WELL AS ALL SEWER CONSTRUCTION SHALL CONFORM TO THE COUNTIES SPECIFICATIONS AND DETAILS.
6. BEFORE CONNECTING TO EXISTING UTILITIES, THE NEW LINES ARE TO BE FLUSHED AND TESTED BY THE CONTRACTOR. ALL LINES TO BE TIED INTO EXISTING UTILITIES ARE TO BE INSPECTED BY THE CITY BEFORE EACH TIE-IN IS MADE.

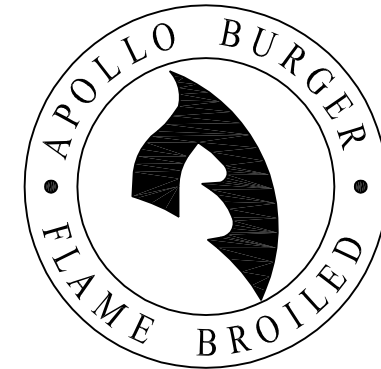
7. ALL SEWER LINES, INCLUDING SERVICE LINES, SHALL BE TESTED BY THE CONTRACTOR. THE TEST SHALL BE CONDUCTED IN THE PRESENCE OF A COUNTIES SEWER AND WATER REPRESENTATIVE.
8. THE CONTRACTOR SHALL PAY ANY APPLICABLE WATER AND SEWERAGE SERVICES INSPECTION FEES.
9. MAINTAIN 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER AND WATER LINES WHERE POSSIBLE.
10. THE CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN, REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE, AND COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SEQUENCING OF CONSTRUCTION FOR ALL UTILITY LINES SO THAT WATER LINES AND GAS LINES DO NOT CONFLICT WITH SANITARY SEWERS, SANITARY SEWER SERVICES

- OR STORM SEWERS.
12. SEWER SERVICES SHALL BE 4" DIAMETER PVC (SDR 35) AND INSTALLED IN THE LOCATIONS SHOWN HEREON.
13. CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND OVERHEAD AND UNDERGROUND ELECTRICAL WIRES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK THE CONTRACTOR MUST WORK IN THE CLOSE PROXIMITY OF THE ABOVE-NOTED WIRES, THE ELECTRIC COMPANY SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN. A THOROUGH EXAMINATION OF THE OVERHEAD AND UNDERGROUND WIRES IN THE PROJECT AREA SHOULD BE MADE BY THE CONTRACTOR PRIOR TO THE INITIATION OF CONSTRUCTION. ETC.
14. THE OWNER AND ENGINEER DO NOT ASSUME RESPONSIBILITY FOR THE POSSIBILITY THAT, DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED OR THAT ACTUAL LOCATIONS OF THOSE SHOWN

- MAY BE DIFFERENT FROM LOCATIONS DESIGNATED ON THE CONTRACT DRAWINGS. IN AREAS WHERE IT IS NECESSARY THAT EXACT LOCATIONS BE KNOWN OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, FURNISH ALL LABOR AND TOOLS NECESSARY TO EITHER VERIFY OR SUBSTANTIATE OR DEFINITELY ESTABLISH THE POSITION OF UNDERGROUND UTILITY LINES.
15. AT LOCATIONS WHERE UTILITY LINES OR SERVICES ARE UNDERNEATH PROPOSED PAVEMENT, THE TRENCH SHALL BE BACKFILLED TO SUBGRADE WITH CRUSHED STONE.
16. DEVELOPER IS TO SCHEDULE A PRE-CONSTRUCTION CONFERENCE WITH THE CONTRACTOR, THE DEVELOPER'S ENGINEER, THE COUNTIES REPRESENTATIVE AND THE COUNTIES ENGINEER.
17. DO NOT SCALE THIS DRAWING AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
18. REMOVE ALL FOUNDATIONS, UNDERGROUND TANKS, PAVING, BASE ETC. IF REMAINING, BEFORE BEGINNING CONSTRUCTION.
19. FILL ALL PLANTERS/ISLANDS TO TOP OF CONCRETE CURB WITH TOPSOIL. TOPSOIL TO BE CLEAN AND FREE OF DEBRIS,

PROPOSED SITE LEGEND

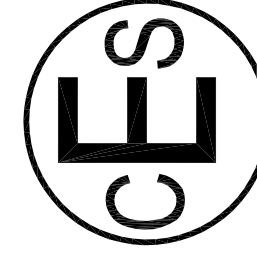
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- CONCRETE SIDEWALK - SEE DETAIL SHEET
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- HANDICAP PARKING
- DIRECTIONAL ARROWS



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fax: (615) 523-8865
e-mail: ray@civilengineering.com
Engineering, Land Planning



INITIAL DATE:
DRAWN BY: YWH
CHECKED BY: RGF
APPROVED BY:

UTILITY
DEVELOPMENT PLAN

APOLLO BURGER
3020 STANSBERRY LANE
LOT 136 CAMDEN COMMONS
FRANKLIN, TENNESSEE

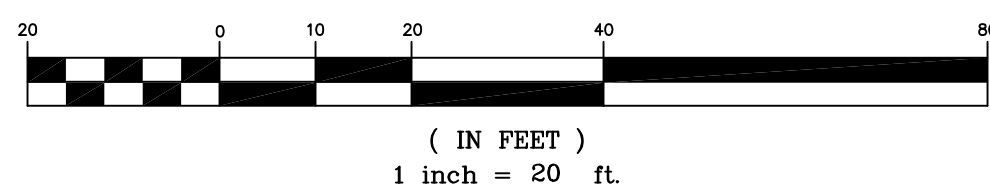
SHEET NO.
C2.0
JOB NO.: 2012-1016

PRELIMINARY

FLOOD STATEMENT

NO PORTION OF THIS PROPERTY LIES WITHIN AN AREA DESIGNATED AS A PORTION OF THE 100 YEAR FLOOD ZONE IN ACCORDANCE WITH FEMA PANEL NUMBER 4718C 0212F, DATED: SEPTEMBER 29, 2006.

GRAPHIC SCALE



INSTALL (2) 4" PVC CONDUITS UNDER DRIVES FOR IRRIGATION AT ALL PAVEMENT CROSSINGS TO LANDSCAPE ISLANDS - PROVIDE 2" MINIMUM COVER - CAP OFF AND MARK - COORDINATE WITH IRRIGATION CONTRACTOR PRIOR TO ANY WORK DONE

WITHIN NEW DEVELOPMENTS AND FOR ALL OFF-SITE LINES CONSTRUCTED AS A RESULT OF, OR TO PROVIDE SERVICE TO THE NEW DEVELOPMENT, ALL UTILITIES SUCH AS CABLE, ELECTRICAL, EXCLUDING TRANSFORMERS), GAS, SEWER, TELEPHONE, AND WATER SHALL BE PLACED UNDERGROUND.

NOTE:
CITY OF FRANKLIN IS NOT A MEMBER OF TENNESSEE ONE CALL. G.C. TO CONTACT: COF WATER MANAGEMENT DEPARTMENT
ATTN: UTILITY INSPECTOR
124 LUMBER DR, FRANKLIN, TN
(615)794-4554



IMPACT STATEMENTS:

1. GENERATED TRAFFIC DOES NOT DEVIATE FROM THE ORIGINAL TRAFFIC STUDY.
2. IMPACT ON WATER, SEWER, RE-CLAIMED WATER, AND DRAINAGE FACILITIES DOES NOT DEVIATE FROM THE ORIGINAL DESIGN OF THIS OVERALL PROJECT.
3. EXPECTED WATER AND SEWER FLOWS ARE APPROXIMATELY 4,000 GPD.

SITE INFORMATION:

CITY OF FRANKLIN PROJECT NUMBER: 5739
EXISTING ZONING & AREA DESIGNATION:
ZONING = SD-X
ACREAGE OF SITE: 1.16 ACRES
DISTURBED ACRES = 1.16 ACRES
IMPERVIOUS AREA = 0.81 ACRES

MINIMUM REQUIRED SETBACK LINES:
FRONT YARD = 3' FROM PROP. LINE
SIDE STREET = 10' FROM PROP. LINE
REAR YARD = 10' FROM PROP. LINE

OF PARKING STALLS = 58 STALLS

EIGHTH CIVIL DISTRICT, WILLIAMSON COUNTY, TENNESSEE; TAX MAP 36, PARCEL 51.06, LOT 136 1.16 ACRES ±. THIS PROPERTY IS CURRENTLY ZONED "SD-X6.64/144258".

24'-0"
T.O. ROOF

20'-0"
T.O. PARAPET

14'-6"
T.O. ROOF

0'-0"
T.O. FINISHED FLOOR

NOTE: F.F.E. IS 31.74. SEE CIVIL PLANS.

1 NORTH ELEVATION

SCALE: 1/4" = 1'-0"

24'-0"
T.O. ROOF

20'-0"
T.O. PARAPET

14'-6"
T.O. ROOF

0'-0"
T.O. FINISHED FLOOR

LINE OF ROOF
BEYOND (TYP.)

METAL REVEAL IN
CEMENTITIOUS PANEL, TYP.

BLACK METAL
AWNING AND
SUPPORT
HARDWARE

BLACK ALUMINUM
FRAME STOREFRONT
SYSTEM

SCENCE LIGHTING
SEE ELECTRICAL

NOTE: F.F.E. IS 31.74. SEE CIVIL PLANS.

2 EAST ELEVATION

SCALE: 1/4" = 1'-0"

BUILDING (CONDITIONED) 3686 SQ. FT.
COOLER/FREEZER 152 SQ. FT.
TOTAL FOOTPRINT 3838 SQ. FT.
*CALCULATIONS BASED ON AREA TO OUTSIDE FACE OF EXTERIOR STUD WALL.

HVAC UNITS, COOLING, AND/OR MECHANICAL UNITS ARE LOCATED ON THE:

(X) ROOFTOP
() GROUND
() NONE PROVIDED

METAL REVEAL IN
CEMENTITIOUS PANEL, TYP.

2'-7"

3'-5"

30'-11"

18'-3 1/2"

2'-3 1/4"

23'-4 1/2"

2'-7"

8'-0 1/4"

91'-5 1/4"

12'-0"
T.O. ROOF

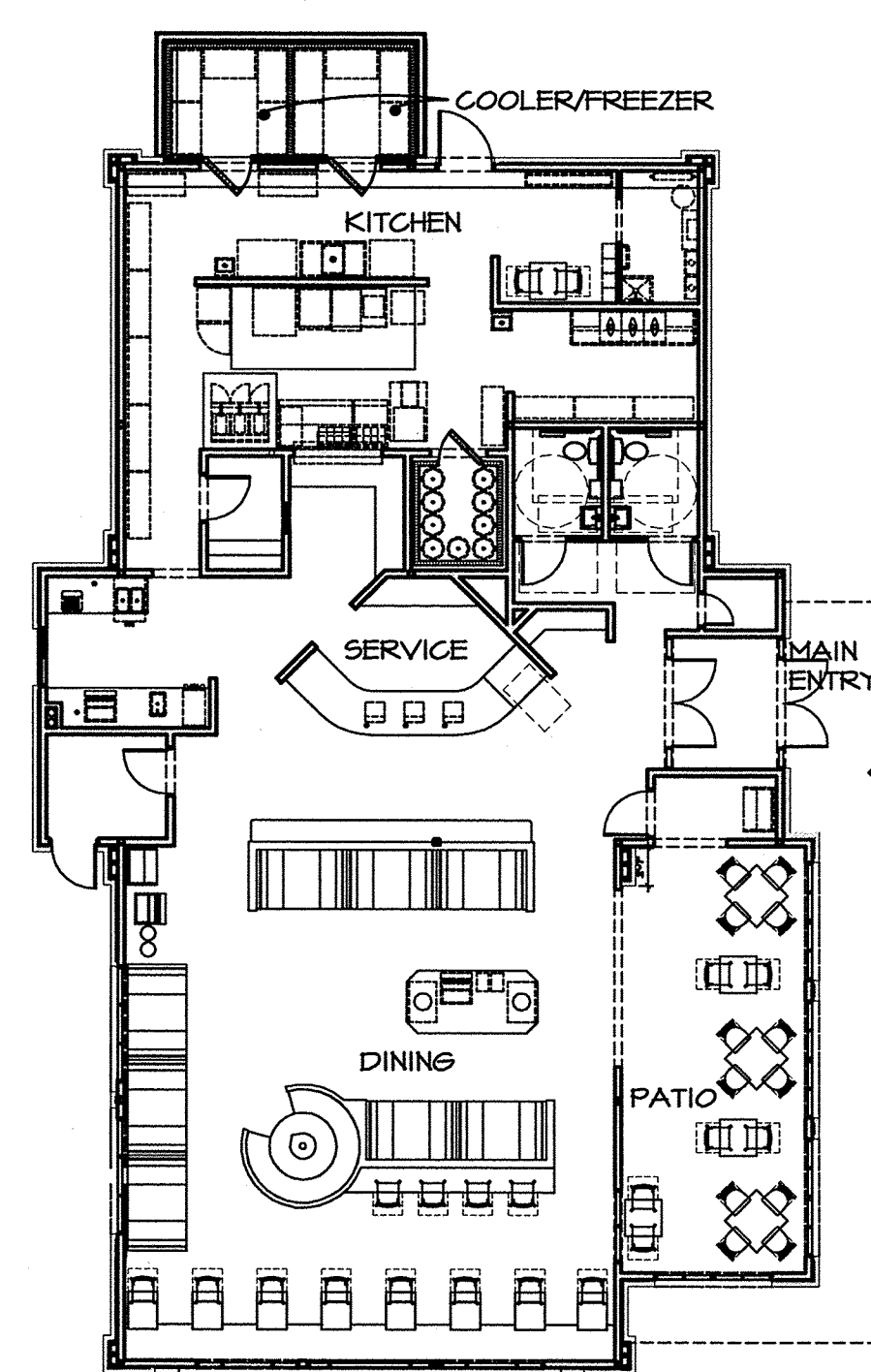
SCENCE LIGHTING
SEE ELECTRICAL

8" DEEP PILASTER (TYP.)

4" DEEP CORNICE (TYP.)

LINE OF H.V.A.C. BEYOND
(TYP.)

LINE OF ROOF
BEYOND (TYP.)



KEY PLAN

EAST ELEVATION

	SURFACE AREA (SQ. FOOTAGE)	PERCENT OF NET
GROSS OF WALL	1874	N/A
NET* OF WALL	1294	N/A
NET* BRICK (LIGHT GRAY)	745	75%
NET* BRICK (DARK GRAY)	184	19%
NET* BRICK (WHITE)	58	6%
NET* BRICK (TOTAL)	987	76%
NET* CEMENTITIOUS BOARD	307	24%

EXTERIOR FINISHES

A	LIGHT BRICK PALMETTO BRICK COMPANY COLOR: 125 GREYSTONE (LIGHT GRAY)
B	DARK BRICK KANSAS BRICK AND TILE CO. COLOR: 500 CHARCOAL MODULAR (DARK GRAY)
C	CEMENTITIOUS PANEL NICHHA COLOR: VINTAGE WOOD/CEDAR (WOOD SIMULATED)
D	BRICK ROWLOCK OR SOLDIER COURSE, WHITE PALMETTO BRICK COMPANY COLOR: WHITESTONE (WHITE)
E	PAINT, DARK GRAY SHERVIN WILLIAMS COLOR: MANOR HOUSE SNT505
F	PRE-FINISHED BLACK METAL CORNICE AND COPING - 4" DEEP PROFILE UNA-CLAD COLOR: KYNAR 500/MATTE BLACK
G	PRE-FINISHED WHITE METAL CORNICE AND COPING - 4" DEEP PROFILE UNA-CLAD COLOR: KYNAR 500/BONE WHITE

SOUTH ELEVATION

	SURFACE AREA (SQ. FOOTAGE)	PERCENT OF NET
GROSS OF WALL	425	N/A
NET* OF WALL	542	N/A
NET* BRICK (LIGHT GRAY)	301	55%
NET* BRICK (DARK GRAY)	214	40%
NET* BRICK (WHITE)	27	5%
NET* BRICK (TOTAL)	542	100%
NET* CEMENTITIOUS BOARD	N/A	N/A

GENERAL NOTES

- THESE ELEVATIONS HAVE BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE CITY OF FRANKLIN'S ARCHITECTURAL DESIGN STANDARDS AND THE APPROVAL OF THE PLANNING COMMISSION/CITY OF FRANKLIN. CHANGES SHALL NOT BE MADE TO THE APPROVED ELEVATIONS UNLESS APPROVED BY EITHER THE CODES DIRECTOR OR THE PLANNING COMMISSION.
- CONTRACTOR TO CONSTRUCT A MOCK-UP PANEL OF THE EXTERIOR MATERIALS FOR THE OWNER TO REVIEW & APPROVE BEFORE ORDERING ALL MATERIAL.
- COORDINATE WITH MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ALL PENETRATIONS IN THE EXTERIOR FACADES.
- SEE SHEET A-11 FOR WINDOW AND DOOR TYPES.



REVISIONS TO LOTS #135, 136, AND 145

GATEWAY VILLAGE

PUD SUBDIVISION, DEVELOPMENT PLAN, REVISION 5 (APOLLO)

3020 STANBERRY LANE
FRANKLIN, TENNESSEE



Job Number: 24-0002
COF no 5739
Revisions:
2/4/15 DEVELOPMENT PLAN
RESUBMITTAL
3/5/15 DEVELOPMENT PLAN
COF COMMENTS

11-10-14

A-4
EXTERIOR ELEVATIONS

DESIGN
and
ENGINEERING

ARCHITECTS

STRUCTURAL AND CIVIL ENGINEERS

1845 Westgate Circle
Memphis, Tennessee 38127
615-478-1779 fax: 370-9108
www.dandeng.com

APOLLO BURNER

Job Number: 24-0002

COF no 5739

Revisions:

2/4/15 DEVELOPMENT PLAN

3/5/15 DEVELOPMENT PLAN

COF COMMENTS

REVISIONS TO LOTS #135, 136, AND 145

GATEWAY VILLAGE

PUD SUBDIVISION, DEVELOPMENT PLAN, REVISION 5 (APOLLO)

3020 STANBERRY LANE

FRANKLIN, TENNESSEE



1

NORTH ELEVATION

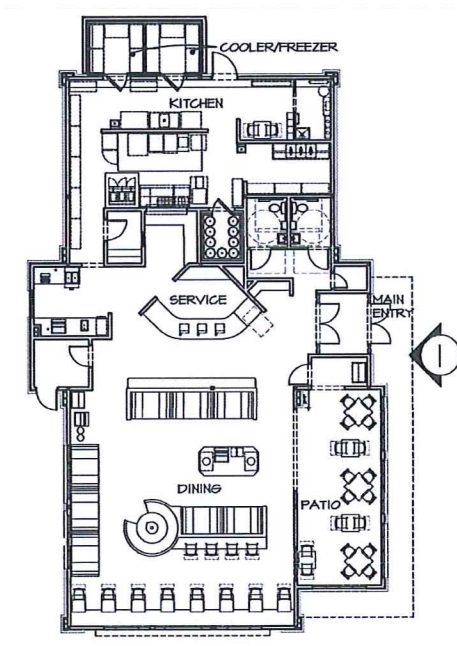
SCALE: 1/4" = 1'-0"



2

EAST ELEVATION

SCALE: 1/4" = 1'-0"



KEY PLAN

EAST ELEVATION

	SURFACE AREA (SQ. FOOTAGE)	PERCENT OF NET
GROSS OF WALL	1874	N/A
NET* OF WALL	1294	N/A
NET* BRICK (LIGHT GRAY)	745	75%
NET* BRICK (DARK GRAY)	184	14%
NET* BRICK (WHITE)	50	6%
NET* BRICK (TOTAL)	987	16%
NET* CEMENTITIOUS BOARD	307	24%

EXTERIOR FINISHES

A	LIGHT BRICK PALMETTO BRICK COMPANY COLOR: 125 GREYSTONE (LIGHT GRAY)
B	DARK BRICK KANSAS BRICK AND TILE CO. COLOR: 500 CHARCOAL MODULAR (DARK GRAY)
C	CEMENTITIOUS PANEL NICHIA COLOR: VINTAGE WOOD/CEDAR (WOOD SIMULATED)
D	BRICK ROWLOCK OR SOLDIER COURSE, WHITE PALMETTO BRICK COMPANY COLOR: WHITESTONE (WHITE)
E	PAINT, DARK GRAY SHERWIN WILLIAMS COLOR: MANOR HOUSE SNT505
F	FRE-FINISHED BLACK METAL CORNICE AND COPING - 4" DEEP PROFILE UNA-CLAD COLOR: KYNAR 500/MATTE BLACK
G	FRE-FINISHED WHITE METAL CORNICE AND COPING - 4" DEEP PROFILE UNA-CLAD COLOR: KYNAR 500/BONE WHITE

SOUTH ELEVATION

	SURFACE AREA (SQ. FOOTAGE)	PERCENT OF NET
GROSS OF WALL	425	N/A
NET* OF WALL	542	N/A
NET* BRICK (LIGHT GRAY)	301	55%
NET* BRICK (DARK GRAY)	214	40%
NET* BRICK (WHITE)	27	5%
NET* BRICK (TOTAL)	542	100%
NET* CEMENTITIOUS BOARD	N/A	N/A

- GENERAL NOTES
- THESE ELEVATIONS HAVE BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE CITY OF FRANKLIN'S ARCHITECTURAL DESIGN STANDARDS AND THE APPROVAL OF THE PLANNING COMMISSION/CITY OF FRANKLIN. CHANGES SHALL NOT BE MADE TO THE APPROVED ELEVATIONS UNLESS APPROVED BY EITHER THE CODES DIRECTOR OR THE PLANNING COMMISSION.
 - CONTRACTOR TO CONSTRUCT A MOCK-UP PANEL OF THE EXTERIOR MATERIALS FOR THE OWNER TO REVIEW & APPROVE BEFORE ORDERING ALL MATERIAL.
 - COORDINATE WITH MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ALL PENETRATIONS IN THE EXTERIOR FACADES.
 - SEE SHEET A-11 FOR WINDOW AND DOOR TYPES.

BUILDING (CONDITIONED) 3686 SQ. FT.

COOLER/FREEZER 152 SQ. FT.

TOTAL FOOTPRINT 3838 SQ. FT.

*CALCULATIONS BASED ON AREA TO OUTSIDE FACE OF EXTERIOR STUD WALL

HVAC UNITS, COOLING, AND/OR MECHANICAL UNITS ARE LOCATED ON THE:

(X) ROOFTOP

() GROUND

() NONE PROVIDED

11-10-14

A-4

EXTERIOR ELEVATIONS



REVISIONS TO LOTS #135, 136, AND 145
GATEWAY VILLAGE
 PUD SUBDIVISION, DEVELOPMENT PLAN, REVISION 5 (APOLLO)
 3020 STANSBERRY LANE
 FRANKLIN, TENNESSEE

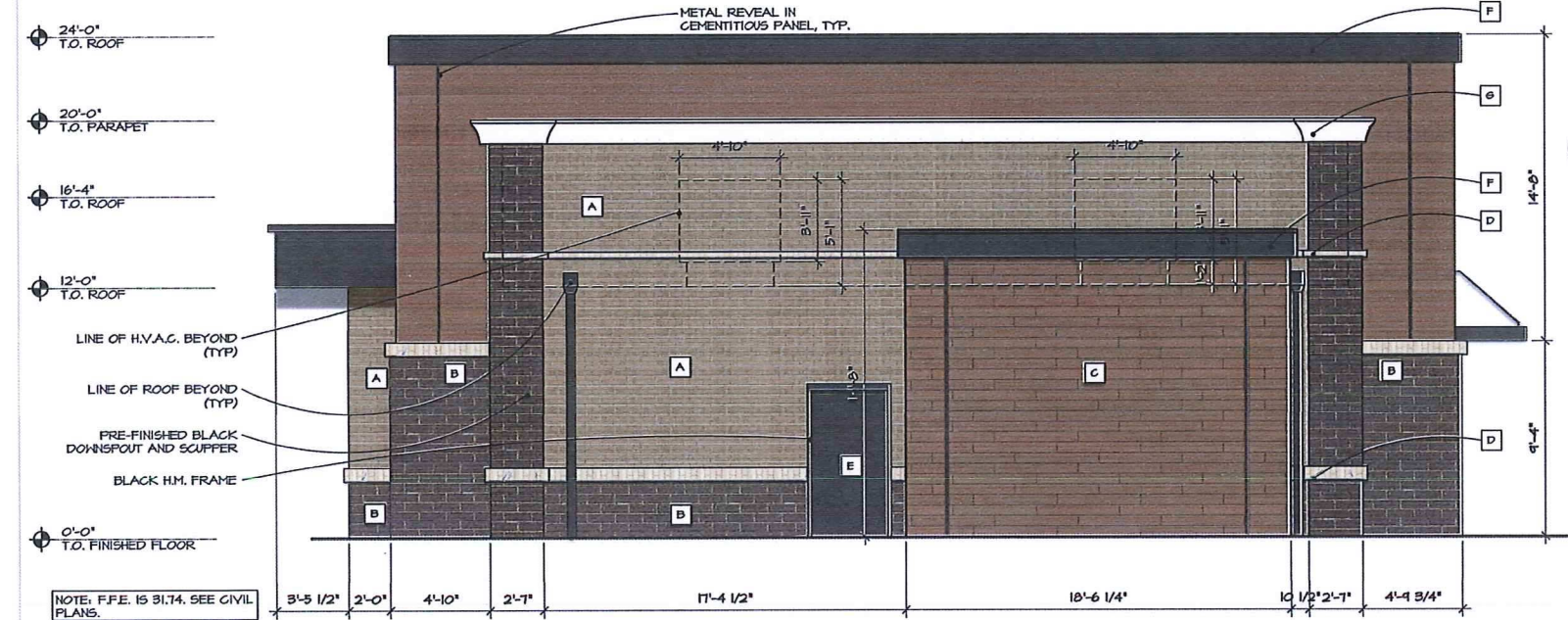


Job Number: 24-0002
 COF no 5739
 Revisions:
 2/4/15 DEVELOPMENT PLAN
 RESUBMITTAL
 3/5/15 DEVELOPMENT PLAN
 COF COMMENTS

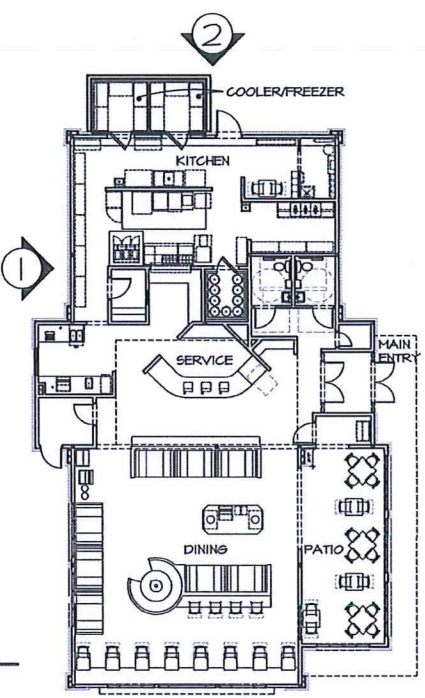
11-10-14
A-4.1
 EXTERIOR ELEVATIONS



1 SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
 SCALE: 1/4" = 1'-0"



KEY PLAN

WEST ELEVATION

	SURFACE AREA (SQ. FOOTAGE)	PERCENT OF NET
GROSS OF WALL	1870	N/A
NET* OF WALL	1543	N/A
NET* BRICK (LIGHT GRAY)	440	28%
NET* BRICK (DARK GRAY)	173	11%
NET* BRICK (WHITE)	63	4%
NET* BRICK (TOTAL)	1226	79%
NET* CEMENTITIOUS BOARD	367	23%

EXTERIOR FINISHES

A	LIGHT BRICK PALMETTO BRICK COMPANY COLOR: 125 GREYSTONE (LIGHT GRAY)
B	DARK BRICK KANSAS BRICK AND TILE CO. COLOR: 500 CHARCOAL MODULAR (DARK GRAY)
C	CEMENTITIOUS PANEL NICHHA COLOR: VINTAGE WOOD/CEDAR (WOOD SIMULATED)
D	BRICK ROWLOCK OR SOLDIER COURSE, WHITE PALMETTO BRICK COMPANY COLOR: WHITESTONE (WHITE)
E	PAINT, DARK GRAY SHERWIN WILLIAMS COLOR: MANOR HOUSE SWT505
F	PRE-FINISHED BLACK METAL CORNICE AND COPING - 4" DEEP PROFILE UNA-CLAD COLOR: KYMAR 500/MATTE BLACK
G	PRE-FINISHED WHITE METAL CORNICE AND COPING - 4" DEEP PROFILE UNA-CLAD COLOR: KYMAR 500/BONE WHITE

NORTH ELEVATION

	SURFACE AREA (SQ. FOOTAGE)	PERCENT OF NET
GROSS OF WALL	840	N/A
NET* OF WALL	732	N/A
NET* BRICK (LIGHT GRAY)	328	45%
NET* BRICK (DARK GRAY)	121	16%
NET* BRICK (WHITE)	30	4%
NET* BRICK (TOTAL)	489	67%
NET* CEMENTITIOUS BOARD	245	33%

- GENERAL NOTES**
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 - CONTRACTOR TO CONSTRUCT A MOCK-UP PANEL OF THE EXTERIOR MATERIALS FOR THE OWNER TO REVIEW & APPROVE BEFORE ORDERING ALL MATERIAL.
 - COORDINATE WITH MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ALL PENETRATIONS IN THE EXTERIOR FACADES.
 - SEE SHEET A-II FOR WINDOW AND DOOR TYPES.

BUILDING (CONDITIONED) 3,686 SQ. FT.
 COOLER/FREEZER 152 SQ. FT.
 TOTAL FOOTPRINT 3,838 SQ. FT.
 *CALCULATIONS BASED ON AREA TO OUTSIDE FACE OF EXTERIOR STUD WALL

HVAC UNITS, COOLING, AND/OR MECHANICAL UNITS ARE LOCATED ON THE:

(X) ROOFTOP
 () GROUND
 () NONE PROVIDED