

VICINITY MAP

CITY OF FRANKLIN PROJECT NO. 5887  
 SITE PLAN SUBMITTAL  
**BERRY FARMS PUD SUBDIVISION**  
 SECTION 4, LOT 199, REVISION I (HAMPTON INN & SUITES)  
 FRANKLIN, TENNESSEE

BNB-WCO INVESTORS, LLC  
 ON BEHALF OF RURAL PLAINS PARTNERSHIP  
 2000 Meridian Boulevard Suite 250  
 Franklin, TN 37067  
 615.590.5580

DATE	REVISIONS
2015.07.13	20141520

DATE	COF COMMENTS
08.06.15	COF COMMENTS

**STREAM BUFFER EXHIBIT**

G:\Projects\2014\20141520\Construction\20141520 STREAM BUFFER EXHIBIT.dwg - C4.0 Aug. 06, 2015 - 11:21 am pwilliams

SITE BM:  
 BUILT ON FIRE HYDRANT BETWEEN "ALBERT" AND "VILLE" ON THE SOUTH SIDE OF FIVE MILE CROSSING 61' SOUTHWEST OF THE INTERSECTION OF FIVE MILE AND BERRY FARMS CROSSING  
 ELEV: 675.19  
 PROJECT BM:  
 NAVD 88 (GPS DERIVED)



# SITE PLAN SUBMITTAL

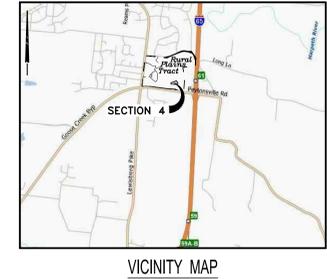
# BERRY FARMS PUD SUBDIVISION

## SECTION 4, LOT 199, REVISION 1 (HAMPTON INN & SUITES)

### PLANNED RESIDENTIAL / PLANNED COMMERCIAL

### FRANKLIN, TENNESSEE

### CITY OF FRANKLIN PROJECT #5887



July 13, 2015  
Revised: August 6, 2015

#### SITE DATA (SECTION 4)

**PROJECT NAME:** BERRY FARMS PUD SUBDIVISION SECTION 4, LOT 199, REVISION 1 (HAMPTON INN & SUITES)

**PROJECT NO.:** COF NO. 5887

**SUBVISION:** BERRY FARMS TOWN CENTER

**ADDRESS:** 7101 BERRY FARMS CROSSING

**CITY:** FRANKLIN

**COUNTY:** WILLIAMSON

**STATE:** TENNESSEE

**CIVIL DISTRICT:** 10TH

**MAP AND PARCEL:** MAP 117A GROUP B, PARCELS 7 & 13

**EXISTING ZONING:** SD-X (SPECIFIC DEVELOPMENT-VARIETY)

**CHARACTER AREA OVERLAY:** C200-3

**OTHER APPLICABLE OVERLAYS:** FFO (FLOODWAY FRINGE OVERLAY DISTRICT)

**APPLICABLE DEVELOPMENT STANDARD:** TRADITIONAL

**SITE ACREAGE:** 2.82 Ac. (123,049 S.F.)

**DEVELOPABLE SITE:** 2.82 Ac. (123,049 S.F.)

**MINIMUM REQUIRED SETBACK LINES:** 12' (SEE PATTERN BOOK)

**YARD FRONTING ON ANY STREET:** 3 FEET

**YARD FRONTING SERVICE DRIVE OR PARKING:** 3 FEET

**OWNER:** BNB-WCO INVESTORS, LLC ON BEHALF OF RURAL PLAINS PARTNERSHIP

**ADDRESS:** 2000 MERIDIAN BOULEVARD, SUITE 250 FRANKLIN, TN 37067

**PHONE NO.:** (615) 550-5580

**FAX NO.:** (615) 550-5576

**E-MAIL ADDRESS:** pfowen@boyle.com

**CONTACT NAME:** Mr. Phil Cowart

**APPLICANT:** LITTLEJOHN ENGINEERING ASSOCIATES

**ADDRESS:** 1935 21ST AVE. SOUTH NASHVILLE, TN 37212

**PHONE NO.:** (615) 385-4144

**FAX NO.:** (615) 385-4020

**E-MAIL ADDRESS:** lparker@leinc.com

**CONTACT NAME:** Mr. Jock Parker

**BUILDING SQUARE FOOTAGE SECTION 4:** 74,873 S.F.

**HOTEL (4 STORIES):** 74,873 S.F.

**TOTAL BUILDING SQ. FT.:** 74,873 S.F.

**BUILDING HEIGHT:** 40'-3"

**LANDSCAPE SURFACE RATIO:** 0.24

**MINIMUM LANDSCAPE SURFACE RATIO:** 0.20

**INCOMPATIBLE-USE BUFFER REQUIRED:** NONE

**MINIMUM REQUIRED PARKING (PER APPROVED BFTC PATTERN BOOK):**

**HOTEL (1 SP./ROOM):** 123 SPACES

**REQUIRED PARKING WITHOUT SHARING FACTOR:** 123 SPACES

**1.7 SHARING FACTOR PER BFTC PATTERN BOOK:** 50 SPACES

**TOTAL REQUIRED PARKING:** 73 SPACES

**PARKING PROVIDED:** 119 SPACES

**TYPICAL PARKING:** 5 SPACES

**ADA ACCESSIBLE PARKING:** 5 SPACES

**TOTAL PARKING PROVIDED:** 124 SPACES

**BICYCLE PARKING REQUIRED:** 7 SPACES

**(1/20 SURFACE SPACES = 126/20)**

**BICYCLE PARKING PROVIDED:** 8 SPACES

**RESIDENTIAL DENSITY:** N/A

**TREE CANOPY:** N/A

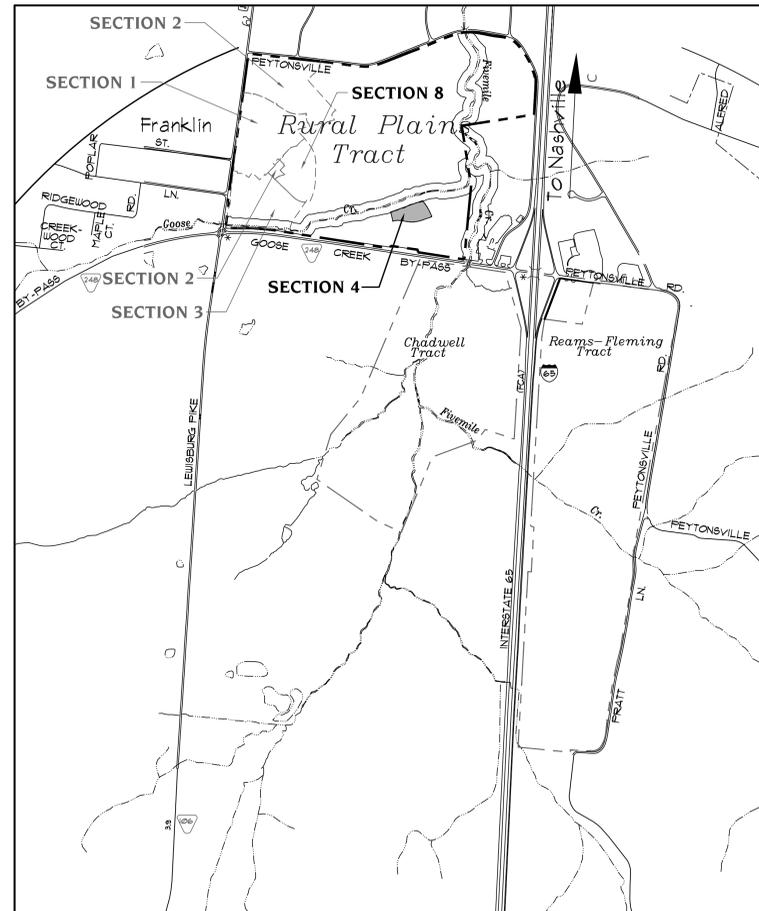
**PARKLAND:** N/A

**OPEN SPACE:** 6,153 S.F. (5% OF GROSS DEV.)

**MIN. FORMAL OPEN SPACE REQUIRED:** 7,707 S.F. (REFER TO TABLE TRACKING OPEN SPACE FOR RURAL PLAINS)

**FORMAL OPEN SPACE PROVIDED:** 7,707 S.F.

**TOTAL FORMAL OPEN SPACE PROVIDED:** 7,707 S.F.



**SITE LOCATION MAP**  
1" = 1000'

#### INDEX OF SHEETS

SHT. #	TITLE
C0.0	COVER SHEET
C1.0	EXISTING CONDITIONS
C2.0	CURRENT CONCEPT PLAN
C2.1	BOMA APPROVED CONCEPT PLAN
C3.0	SITE NOTES
C4.0	INITIAL EROSION PROTECTION SEDIMENT CONTROL
C4.1	FINAL EROSION PROTECTION SEDIMENT CONTROL
C4.2	EROSION PROTECTION SEDIMENT CONTROL DETAILS
C5.0	OVERALL SITE LAYOUT
C5.1	SITE LAYOUT
C6.0	SITE GRADING AND DRAINAGE
C6.1	SITE GRADING AND DRAINAGE
C6.2	STORMWATER MANAGEMENT
C7.0	SITE UTILITIES
C8.0	SITE DETAILS
C8.1	SITE DETAILS
L-1	SITE LANDSCAPE PLAN
L-2	PLANT LIST & DETAILS
L-3	AMENITY AREA ENLARGEMENTS
E100	SITE PHOTOMETRICS
A 103	DUMPSTER ENCLOSURE DETAILS
A 201	GROUND FLOOR PLAN
A 301	EXTERIOR ELEVATIONS
A 302	EXTERIOR ELEVATIONS

#### OPEN SPACE REQUIREMENT CHART (SECTION 4)

LOT NO.	CLASSIFICATION	TYPE	SQ. FT. OF OPEN SPACE	AC. OF OPEN SPACE	PAVED AREA	PERCENT PAVED
AREA 'A' <td>AMENITY AREA</td> <td>FORMAL</td> <td>7,707 S.F.</td> <td>0.18 Ac.</td> <td>5,630 S.F.</td> <td>73 %</td>	AMENITY AREA	FORMAL	7,707 S.F.	0.18 Ac.	5,630 S.F.	73 %
TOTAL			7,707 S.F.	0.18 Ac.		

#### OPEN SPACE TAKE DOWN CHART

DEVELOPMENT	MIN. REQ'D. ACRES INFORMAL	PROPOSED ACRES INFORMAL	MIN. REQ'D. ACRES FORMAL	PROPOSED ACRES FORMAL	MIN. REQ'D. ACRES TOTAL	PROPOSED OPEN SPACE TOTAL	REMAINING ACRES
CONCEPT PLAN	19.65	52.1	9.83	12.12	29.48	64.21	
SECTION 1	0	1.73	0.69	1.34	2.77	3.07	61.14
SECTION 2	0	3.07	0.91	0	3.68	3.07	58.07
SECTION 3	1.50	4.68	0.75	0	3.01	6.68	53.39
SECTION 6	0.16	0.25	0.0	0	0.16	0.25	53.14
SECTION 7	0	6.04	0.0	4.89	0.0	10.93	42.21
SECTION 8	0.0	0.0	0.0	0	0.0	0.0	42.21
SECTION 9	0.0	0.21	0.0	0	0.0	0.21	42.00
SECTION 4, LOT 199	0.0	0.0	0.14	0.18	0.14	0.18	41.82

#### RURAL PLAINS RESIDENTIAL LAND USE DATA SECTION 4

DEVELOPMENT	APPROVAL DATE	PR ZONED ACRES	SINGLE FAMILY DWELLING UNITS	MULTI-FAMILY TOWNHOME DWELLING UNITS	TOTAL DWELLING UNITS	LOT NUMBERS OF BUILDABLE LOTS	LOT NUMBERS OF OPEN SPACE LOTS	REMAINING ACRES	REMAINING DWELLINGS
CONCEPT PLAN	02.24.2005	* 223.0	143	503	646			* 223.0	646
SECTION 1		19.03	51	41	92	27-10, 14-33, 38-40, 42-60, 66-88, 91-106	1, 11-13, 34-35, 41, 61-65, 89-90	203.97	554
SECTION 2		18.29	51	15	66	108-120, 122-128, 131, 140, 148-159, 161-175	121, 129, 130, 147, 160 & 176	185.68	488
SECTION 3	09.14.2011	16.40	0	48	48	304, 305	300, 309, 312 & 313	169.28	440
SECTION 6		0.81	0	5	5	1-5	6-8	168.47	435
SECTION 7		34.41	64	32	96	7001-7099	7102-7108, 7110-7112	134.06	339
SECTION 4		2.82	0	0	0	199, 205	-	134.06	339

NOTES:  
1. IN ADDITION TO THE APPROVED ENTITLEMENTS ABOVE, 25 ADDITIONAL RESIDENTIAL UNITS MAY BE ADDED TO THE TOTAL LISTED IN THE MATRIX ABOVE FOR LIVE/WORK SCENARIOS, ACCORDING TO THE ORIGINAL PUD, SHEET L-2.  
2. LOT NUMBERS 7097, 7098, 7099, 7107 AND 7110 WILL REQUIRE A SEPARATE SITE PLAN SUBMITTAL PRIOR TO BUILDING PERMIT.

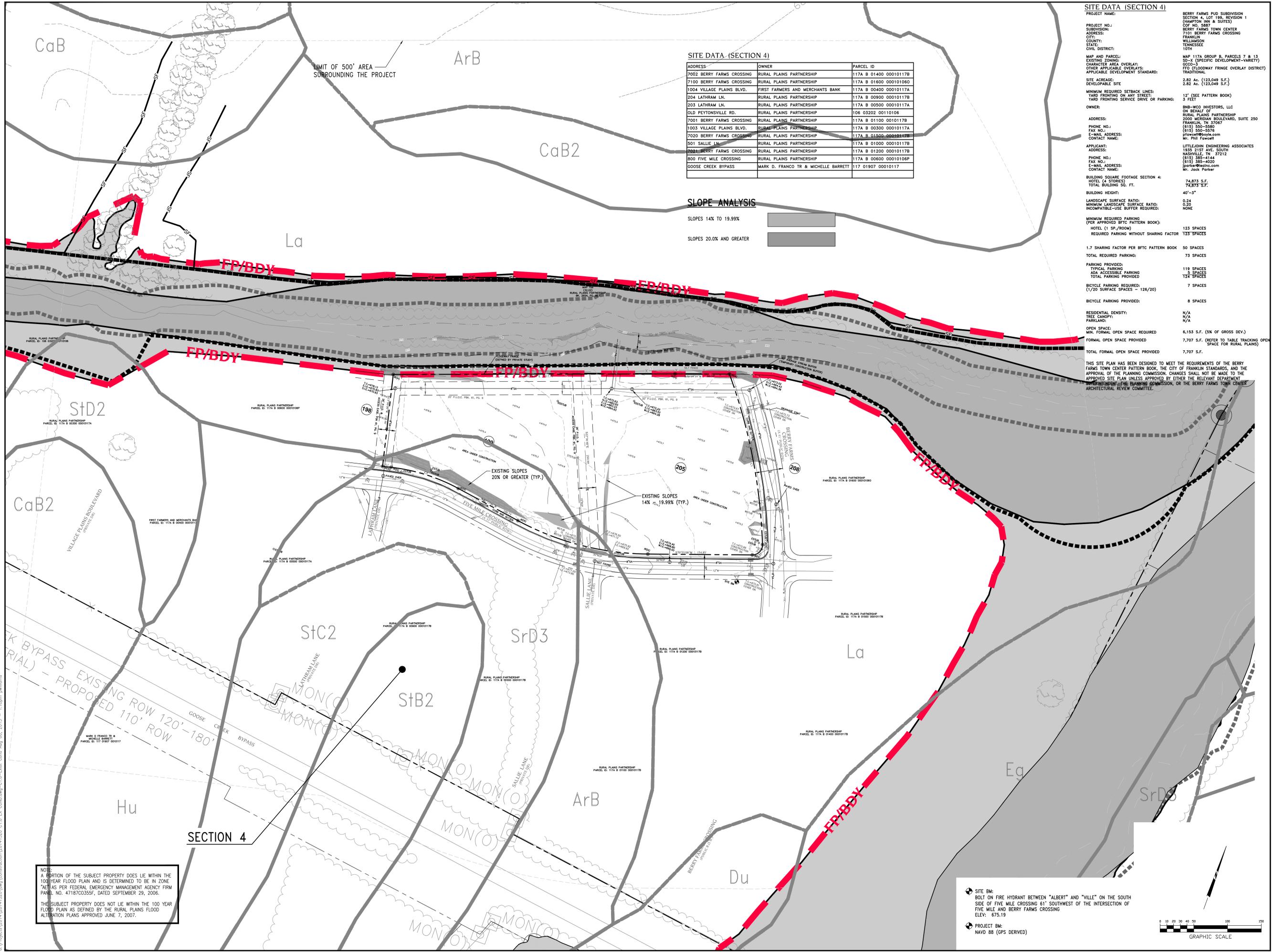
#### RURAL PLAINS COMMERCIAL LAND USE DATA SECTION 4

DEVELOPMENT	APPROVAL DATE	COMMERCIAL ZONED ACRES	USE	LOT NUMBERS OF BUILDABLE LOTS	COMMERCIAL SQ. FT.	CIVIC USE SQ. FT.	LOT NUMBERS OF OPEN SPACE LOTS	REMAINING ACRES	COMMERCIAL SQ. FT. REMAINING	CIVIC USE TOTAL SQ. FT.
CONCEPT PLAN	02.24.2005	* 142z			1,134,625	-		* 142z	1,134,625	-
SECTION 1			AMENITY CENTER			774			1,134,625	774
SECTION 2									1,134,625	
SECTION 3	09.14.2011	16.40	RETAIL & RESTAURANT	301-303, 306, 307	59,820		300, 303, 312 & 313	125.6	1,074,805	774
SECTION 6		0.81	RETAIL	1-5	1,957		6-8	124.8	1,072,848	
SECTION 8		7.90	RETAIL	1	66,697			116.9	1,006,151	
SECTION 4		2.82	HOTEL	199, 205	74,873			114.08	931,278	

PREPARED FOR:  
**BNB-WCO INVESTORS, LLC**  
ON BEHALF OF  
**RURAL PLAINS PARTNERSHIP**  
2000 MERIDIAN BOULEVARD, SUITE 250  
FRANKLIN, TENNESSEE 37067  
Phone: (615) 550-5580

PREPARED BY:





**SITE DATA - (SECTION 4)**

ADDRESS	OWNER	PARCEL ID
7003 BERRY FARMS CROSSING	RURAL PLAINS PARTNERSHIP	117A B 01400 00010117B
7100 BERRY FARMS CROSSING	RURAL PLAINS PARTNERSHIP	117A B 01600 000101060
1004 VILLAGE PLAINS BLVD.	FIRST FARMERS AND MERCHANTS BANK	117A B 00400 00010117A
204 LATHRAM LN.	RURAL PLAINS PARTNERSHIP	117A B 00900 00010117B
203 LATHRAM LN.	RURAL PLAINS PARTNERSHIP	117A B 00500 00010117A
OLD PEYTONVILLE RD.	RURAL PLAINS PARTNERSHIP	106 03202 00110106
7001 BERRY FARMS CROSSING	RURAL PLAINS PARTNERSHIP	117A B 01100 00010117B
1003 VILLAGE PLAINS BLVD.	RURAL PLAINS PARTNERSHIP	117A B 00300 00010117A
7020 BERRY FARMS CROSSING	RURAL PLAINS PARTNERSHIP	117A B 01500 00010117B
501 SALLIE LN.	RURAL PLAINS PARTNERSHIP	117A B 01000 00010117B
7021 BERRY FARMS CROSSING	RURAL PLAINS PARTNERSHIP	117A B 01200 00010117B
800 FIVE MILE CROSSING	RURAL PLAINS PARTNERSHIP	117A B 00600 00010106P
GOOSE CREEK BYPASS	MARK D. FRANCO TR & MICHELLE BARRETT	117 01907 00010117

**SLOPE ANALYSIS**

SLOPES 14% TO 19.99%

SLOPES 20.0% AND GREATER

**SITE DATA (SECTION 4)**

**PROJECT NAME:** BERRY FARMS PUD SUBDIVISION SECTION 4, LOT 199, REVISION 1 (HAMPTON INN & SUITES)

**PROJECT NO.:** 20141520

**SUBDIVISION:** BERRY FARMS TOWN CENTER

**ADDRESS:** 7101 BERRY FARMS CROSSING

**CITY:** FRANKLIN

**COUNTY:** WILLIAMSON

**STATE:** TENNESSEE

**CIVIC DISTRICT:** 107H

**MAP AND PARCEL:** MAP 117A GROUP B, PARCELS 7 & 13

**EXISTING ZONING:** SD-2 (SPECIFIC DEVELOPMENT-VARIETY)

**CHARACTER AREA OVERLAY:** FFD (FLOODWAY FRINGE OVERLAY DISTRICT)

**OTHER APPLICABLE OVERLAYS:** TRADITIONAL

**APPLICABLE DEVELOPMENT STANDARD:** 2.82 Ac. (123,049 S.F.)

**SITE ACRES:** 2.82 Ac. (123,049 S.F.)

**DEVELOPABLE SITE:** 2.82 Ac. (123,049 S.F.)

**MINIMUM REQUIRED SETBACK LINES:** 12' (SEE PATTERN BOOK)

**YARD FRONTING ON ANY STREET:** 3 FEET

**YARD FRONTING SERVICE DRIVE OR PARKING:** 3 FEET

**OWNER:** BNB-WCO INVESTORS, LLC ON BEHALF OF RURAL PLAINS PARTNERSHIP

**ADDRESS:** 2000 MERIDIAN BOULEVARD, SUITE 250 FRANKLIN, TN 37067

**PHONE NO.:** (615) 550-5586

**FAX NO.:** (615) 550-5576

**E-MAIL ADDRESS:** sfowatt@bnb-wco.com

**CONTACT NAME:** Mr. Phil Fewell

**APPLICANT:** LITTLEJOHN ENGINEERING ASSOCIATES

**ADDRESS:** 1935 21st AVE. SOUTH NASHVILLE, TN 37212

**PHONE NO.:** (615) 385-1444

**FAX NO.:** (615) 385-4020

**E-MAIL ADDRESS:** jforan@littlejohn.com

**CONTACT NAME:** Mr. Jack Porter

**BUILDING SQUARE FOOTAGE SECTION 4:** 74,873 S.F.

**HOTEL (4 STORES):** 72,873 S.F.

**TOTAL BUILDING SQ. FT.:** 72,873 S.F.

**BUILDING HEIGHT:** 40'-3"

**LANDSCAPE SURFACE RATIO:** 0.24

**MINIMUM LANDSCAPE SURFACE RATIO:** 0.20

**INCOMPATIBLE-USE BUFFER REQUIRED:** NONE

**MINIMUM REQUIRED PARKING (PER APPROVED BTC PATTERN BOOK):** 123 SPACES

**HOTEL (1 SP./ROOM):** 123 SPACES

**REQUIRED PARKING WITHOUT SHARING FACTOR:** 123 SPACES

**1.7 SHARING FACTOR PER BTC PATTERN BOOK:** 50 SPACES

**TOTAL REQUIRED PARKING:** 73 SPACES

**PARKING PROVIDED:** 119 SPACES

**TYPICAL PARKING:** 122 SPACES

**ADA ACCESSIBLE PARKING:** 122 SPACES

**TOTAL PARKING PROVIDED:** 122 SPACES

**BICYCLE PARKING REQUIRED: (1/20 SURFACE SPACES = 126/20)** 7 SPACES

**BICYCLE PARKING PROVIDED:** 8 SPACES

**RESIDENTIAL DENSITY:** N/A

**TREE CANOPY:** N/A

**PARKLAND:** N/A

**OPEN SPACE:** 6,153 S.F. (5% OF GROSS DEV.)

**MIN. FORMAL OPEN SPACE REQUIRED:** 7,707 S.F. (REFER TO TABLE TRACKING OPEN SPACE FOR RURAL PLAINS)

**FORMAL OPEN SPACE PROVIDED:** 7,707 S.F.

**TOTAL FORMAL OPEN SPACE PROVIDED:** 7,707 S.F.

THIS SITE PLAN HAS BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE BERRY FARMS TOWN CENTER PATTERN BOOK, THE CITY OF FRANKLIN STANDARDS, AND THE APPROVAL OF THE PLANNING COMMISSION. CHANGES SHALL NOT BE MADE TO THE APPROVED SITE PLAN UNLESS APPROVED BY EITHER THE RELEVANT DEPARTMENT OR THE PLANNING COMMISSION, OR THE BERRY FARMS TOWN CENTER ARCHITECTURAL REVIEW COMMITTEE.



CITY OF FRANKLIN PROJECT NO. 5887  
 SITE PLAN SUBMITTAL  
**BERRY FARMS PUD SUBDIVISION**  
 SECTION 4, LOT 199, REVISION 1 (HAMPTON INN & SUITES)  
 FRANKLIN, TENNESSEE

BNB-WCO INVESTORS, LLC  
 ON BEHALF OF RURAL PLAINS PARTNERSHIP  
 2000 Meridian Boulevard  
 Suite 250  
 Franklin, TN 37067  
 615.550.5580



DATE	REVISIONS
08.06.15	COF COMMENTS
2015.07.13	20141520

**C1.0**  
 EXISTING CONDITIONS

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**NOTE:**  
 A PORTION OF THE SUBJECT PROPERTY DOES LIE WITHIN THE 100 YEAR FLOOD PLAIN AND IS DETERMINED TO BE IN ZONE FAC AS PER FEDERAL EMERGENCY MANAGEMENT AGENCY FIRM PANEL NO. 471870335F, DATED SEPTEMBER 23, 2006.  
 THE SUBJECT PROPERTY DOES NOT LIE WITHIN THE 100 YEAR FLOOD PLAIN AS DEFINED BY THE RURAL PLAINS FLOOD ALTERATION PLANS APPROVED JUNE 7, 2007.

RURAL PLAINS RESIDENTIAL LAND USE DATA SECTION 4

DEVELOPMENT	APPROVAL DATE	ACRES	SINGLE-FAMILY DWELLING UNITS	MULTI-FAMILY DWELLING UNITS	TOTAL DWELLING UNITS	LOT NUMBERS OF BUILDABLE LOTS	LOT NUMBERS OF OPEN SPACE LOTS	REMAINING ACRES	REMAINING DWELLINGS
CONCEPT PLAN	02.24.2005	* 223.0	143	503	646	2-10, 14-33, 38-49, 47-60, 66-89, 91-109	1-11-13, 34-35, 41, 61-65, 89-90	* 223.0	646
SECTION 1		19.03	51	41	92			203.97	554
SECTION 2		18.29	51	15	66			185.68	488
SECTION 3	08.14.2011	16.40	0	48	48	304, 305	300, 306, 312 & 313	169.28	440
SECTION 6		0.81	0	0	0	1-5	6-8	198.47	435
SECTION 7		34.41	64	32	96	7001-7006	7102-7108, 7110-7112	134.06	339
SECTION 4		2.82	0	0	0	199, 205	-	134.06	339

NOTES:  
 1. IN ADDITION TO THE APPROVED ENTITLEMENTS ABOVE, 25 ADDITIONAL RESIDENTIAL UNITS MAY BE ADDED TO THE TOTAL LISTED IN THE MATRIX ABOVE FOR LIVEWORK SCENARIOS, ACCORDING TO THE ORIGINAL PUD, SHEET L-2.  
 2. LOT NUMBERS 7097, 7098, 7099, 7107 AND 7110 WILL REQUIRE A SEPARATE SITE PLAN SUBMITTAL PRIOR TO BUILDING PERMIT.

RURAL PLAINS COMMERCIAL LAND USE DATA SECTION 4

DEVELOPMENT	APPROVAL DATE	COMMERCIAL ZONED ACRES	USE	LOT NUMBERS OF BUILDABLE LOTS	COMMERCIAL SQ. FT.	CIVIC USE SQ. FT.	LOT NUMBERS OF OPEN SPACE LOTS	REMAINING ACRES	COMMERCIAL SQ. FT. REMAINING	CIVIC USE TOTAL SQ. FT.
CONCEPT PLAN	02.24.2005	* 142z			1,134,625			* 142z	1,134,625	
SECTION 1			AMENITY CENTER			774				774
SECTION 2					1,134,625					
SECTION 3	08.14.2011	16.40	RETAIL & RESTAURANT	301-303, 306, 307	59,630		300, 303, 312 & 313	124.8	1,074,895	774
SECTION 6		0.81	RETAIL	1-5	1,207		6-8	124.8	1,074,895	774
SECTION 8		2.90	RETAIL	1-5	86,897			114.08	1,008,151	
SECTION 4, LOT 199				199, 205	74,873				931,278	



OPEN SPACE REQUIREMENT CHART (SECTION 4)

MINIMUM OPEN SPACE REQUIREMENT: SIX REQUIRED  
 SITE ACREAGE: 2.82 ACRES (2.82 DEVELOPABLE); OPEN SPACE ACREAGE REQUIRED: 0.14 ACRES  
 FORMAL OPEN SPACE (5% OF GROSS DEVELOPMENT AREA): 6,153 SQ. FT.  
 INFORMAL OPEN SPACE (10% OF GROSS DEVELOPMENT AREA): N/A

LOT NO.	CLASSIFICATION	TYPE	SQ. FT. OF OPEN SPACE	AC. OF OPEN SPACE	PAVED AREA	PERCENT PAVED
AREA 14	AMENITY AREA	FORMAL	7,707 S.F.	0.18 Ac.	5,630 S.F.	73 %
TOTAL			7,707 S.F.	0.18 Ac.		

OPEN SPACE TAKE DOWN CHART RURAL PLAINS MINIMUM COMMON OPEN SPACE:

DEVELOPMENT	MIN. REQ. ACRES INFORMAL	PROPOSED ACRES INFORMAL	MIN. REQ. ACRES FORMAL	PROPOSED ACRES FORMAL	MIN. REQ. ACRES TOTAL	PROPOSED ACRES TOTAL	REMAINING ACRES
CONCEPT PLAN	19.85	52.1	9.83	12.12	29.68	64.21	34.53
SECTION 1	0	3.07	0.31	1.34	3.38	3.07	0.31
SECTION 2	1.50	4.89	0.75	1.01	2.25	5.90	3.65
SECTION 3	0.18	0.25	0.0	0.0	0.18	0.25	0.07
SECTION 6	0	0.54	0.0	0.0	0.54	0.54	0.0
SECTION 8	0.0	0.0	0.0	0.0	0.0	0.0	0.0
SECTION 9	0.0	0.21	0.0	0.0	0.21	0.21	0.0
SECTION 4, LOT 199	0.0	0.0	0.14	0.18	0.14	0.18	0.02

TRANSECT TABULATIONS

TRANSECT DATA	CLASSIFICATION	GROSS ACRES	DWELLING UNITS	FLOOR AREA SQ.FT.	F.A.R.	GROSS DENSITY	NET DENSITY
VILLAGE CORE		15.4	164	114,253	0.17	10.65	30.76
VILLAGE CENTER		126.6	266	945,372	0.18	2.29	15.98
VILLAGE EDGE		81.0	222	-	-	2.75	6.77



**Littlejohn**  
 1935 21st Avenue South, NASHVILLE, TENNESSEE 37212  
 T 615.985.4144 F 615.985.4020 www.littlejohn.com  
 Nashville | Chattanooga | Decatur | Huntsville | Knoxville | Orlando | Tampa | Tallahassee

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 SECTION 4, LOT 199, REVISION I (HAMPTON INN & SUITES)  
 FRANKLIN, TENNESSEE

BNB-WCO INVESTORS, LLC  
 ON BEHALF OF RURAL PLAINS PARTNERSHIP  
 2000 Meridian Boulevard  
 Suite 250  
 Franklin, TN 37067  
 615.550.5580



DATE	REVISIONS
08.06.15	CDP COMMENTS
2015.07.13	20141520

**C2.0**  
 CURRENT CONCEPT PLAN

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**PLANTING NOTES:**

- 1. BASE INFORMATION WAS TAKEN FROM A BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED BY LITTLEJOHN ENGINEERING, DESIGN DOCUMENTS PREPARED BY LITTLEJOHN ENGINEERING FOR SECTIONS 1, 3 AND 6 AND FROM AN AERIAL TOPOGRAPHIC SURVEY PREPARED BY THE CITY OF FRANKLIN.
2. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO CONTROL ALL MATERIAL QUANTITIES. IN THE EVENT OF A DISCREPANCY THE QUANTITIES SHOWN ON THE PLAN SHALL TAKE PRECEDENCE OVER THE MATERIAL SCHEDULE.
3. NO SUBSTITUTIONS AS TO TYPE, SIZE, OR SPACING OF PLANT MATERIALS SPECIFIED ON THIS PLAN MAY BE MADE WITHOUT THE APPROVAL OF THE OWNER'S REPRESENTATIVE.
4. THE CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AND AT CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
5. ALL PLANTING BEDS TO RECEIVE "CHANKELLO" HARDWOOD MULCH. MULCH TO BE INSTALLED TO 4" DEPTH UNLESS OTHERWISE INDICATED ON THE PLANTING DETAILS.
6. NEW TREE PLANTINGS TO BE STAKED PER PLANTING DETAILS.
7. DIMENSIONS LISTED FOR HEIGHTS, SPREADS AND TRUNK SPECIFICATIONS ON THE PLANT MATERIAL SCHEDULE ARE GENERAL GUIDE FOR THE MINIMUM REQUIRED SIZE OF EACH PLANT.
8. PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL PLANTING BEDS IMMEDIATELY PRIOR TO PLACEMENT OF MULCH FOR WEED CONTROL.
9. ALL DISTURBED AREAS OF THE SITE ARE TO BE SEEDED AND/OR SOODED IN ACCORDANCE WITH THE SPECIFICATIONS.
10. NO DIGRATION OR PLANTING PIT SHALL BE LEFT OPEN OVERNIGHT.
11. THE LANDSCAPE CONTRACTOR SHALL OBTAIN ANY NECESSARY PERMITS, LICENSES, ETC. AND SHALL GIVE ALL NOTICES AND COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, CODES, RULES AND REGULATIONS DURING THE COURSE OF THE INSTALLATION OF THIS PROJECT.
12. ALL PLANT MATERIALS TO BE NURSERY GROWN AND TO COMPLY WITH THE AMERICAN STANDARD FOR NURSERY STOCK FOR SIZE AND QUALITY.
13. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REFUSE ANY PLANT MATERIAL OR ANY DEFECTIVE WORKMANSHIP.
14. ALL PLANTS SHALL HAVE A WELL-FORMED HEAD WITH MINIMUM CALIPER, HEIGHT AND SPREAD OF THE SIDE BRANCHES AS SHOWN ON THE PLANT LIST. TRUNKS SHALL BE UNDAUNED AND SHAPE SHALL BE TYPICAL OF THE SPECIES.
15. MEASUREMENT OF CONEER HEIGHT SHALL INCLUDE NOT MORE THAN FIFTY PERCENT (50%) OF THIS YEARS VERTICAL GROWTH (TOP CANE).
16. THE LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE FOR STAKING AND LAYOUT OF PLANTINGS ON THIS PROJECT. THE LANDSCAPE ARCHITECT OR OWNER SHALL BE ADVISED WHEN STAKES ARE READY FOR INSPECTION ON VARIOUS PLANTING AREAS. ALL LAYOUT WORK SHALL BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER PRIOR TO OPENING ANY PLANT PITS.
17. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO VERIFY THAT EACH EXCAVATED TREE OR SHRUB PIT WILL PERCOLATE (DRAIN) PRIOR TO MOVING TOPSOIL AND INSTALLING TREES OR SHRUBS. THE CONTRACTOR SHALL FILL THE BOTTOM OF SELECTED HOLES WITH SIX INCHES OF WATER. THIS WATER SHOULD PERCOLATE UNTIL WITHIN A 24-HOUR PERIOD. THE OWNER OR LANDSCAPE ARCHITECT SHALL VERIFY ACCURACY AND EFFECT OF PERCOLATION TESTING. IF THE SOIL AT A GIVEN AREA DOES NOT DRAIN PROPERLY, A PVC DRAIN OR GRAVEL SUMP SHALL BE INSTALLED ON THE PLANTING RELOCATED.
18. SHOULD THE LANDSCAPE CONTRACTOR ENCOUNTER UNSATISFACTORY SURFACE OR OTHER SUBSURFACE DRAINAGE CONDITIONS, SOIL DEPTH, LATENT SOILS, HARD PAN, STEAM OF OTHER UTILITY LINES OR OTHER CONDITIONS THAT WILL AFFECT THE HEALTH AND GROWTH OF THE PLANTS, HE MUST ADVISE THE LANDSCAPE ARCHITECT IN WRITING OF THE CONDITIONS PRIOR TO INSTALLING THE PLANTS. OTHERWISE THE LANDSCAPE CONTRACTOR WARRANTS THAT THE PLANTING AREAS ARE SUITABLE PROPER GROWTH AND DEVELOPMENT OF THE PLANTS TO BE INSTALLED.
19. NO MATERIAL SHALL BE PLANTED BEFORE FINISH GRADING HAS BEEN COMPLETED.
20. EXISTING TREES TO BE PRESERVED ARE TO BE BARBED BEFORE BEGINNING CONSTRUCTION. IN ACCORDANCE WITH THE TREE PRESERVATION NOTES AND DETAILS ON THE LANDSCAPE PLAN.
21. SELECTIVE CLEARING CONSISTING OF REMOVAL OF VINES, SAPLINGS UNDER 1" DIAMETER AND UNDERBRUSH SHALL BE PERFORMED IN TREE PRESERVATION AREAS INTERNAL TO THE PROJECT AND NOTED ON PLANS.
22. PLANTS IDENTIFIED IN ALTERNATE AREAS ARE TO BE BID SEPARATELY.
23. ALL BEDS ARE TO BE TILLED TO A DEPTH OF 8" WITH THE ADDITION OF: (1) 6 CU. FT. BALE OR SPAGNUM PEAT MOSS PER 40 SQ. FT. OF BED AREA (25%) 10-10-10 FERTILIZER PER 1000 SQ. FT., IF AVAILABLE, RECOMMENDATIONS OR PERMS ARE USED, ADD 13 CU. FT. FINELY GRADED "TWO" BARK MULCH PER 25 SQ. FT. OF BED AREA. ALL ADDITIONS ARE TO BE SPREAD AND TILLED INTO THE SOIL UNIFORMLY.
24. CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT WHEN THE PLANT MATERIALS ARE AVAILABLE AT THE JOB SITE FOR REVIEW BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

**IRRIGATION NOTES:**

- 1. LANDSCAPE CONTRACTOR TO PROVIDE IRRIGATION SYSTEM ON A DESIGN/ BUILD ARRANGEMENT FOR AREA NOTED ON THE PLAN. CONTRACTOR TO PREPARE DESIGN DRAWINGS IN ACCORDANCE WITH PERFORMANCE SPECIFICATIONS CONTAINED IN THE PROJECT MANUAL AND SUBMIT SAME FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
2. CONTRACTOR TO CONFIRM ADEQUATE PRESSURE EXISTS TO OPERATE SYSTEM PRIOR TO INSTALLATION.
3. IRRIGATION SPRINKLER HEADS SHALL BE MANUFACTURED BY EITHER TROTT OR RANBERG. IRRIGATION CONTROLLER SHALL BE TROTT NOSH 8 MODEL OR APPROVED EQUAL.
4. MAIN LINE TO BE CLASS 200 PVC PIPE. LATERAL LINES TO BE CLASS 150 PVC.
5. IRRIGATION SYSTEM TO BE OPERATIONAL BEFORE PLANTING MATERIALS MAY BE INSTALLED IN PLANTING BEDS.
6. INSTALL SPRINKLER HEADS ACCORDING TO MANUFACTURERS SPECIFICATIONS. FLUSH ALL LINES BEFORE INSTALLING NOZZLES.
7. WIRE CONNECTIONS TO BE MADE BY USING RANBERG MODEL ST-103/PT-ST SNAP-TITE CONNECTIONS.
8. LEAVE 18 INCHES OF ADDITIONAL WIRE AT EACH VALVE LOCATION. ROLL WIRE INTO COIL AT EACH LOCATION.
9. ALL VALVES SHALL BE LOCATED IN MAXIMUM 10 INCH CIRCULAR VALVE BOXES WITH COVER, OR EQUAL. 10. IRRIGATION CONTRACTOR TO COORDINATE PLACEMENT OF REQUIRED DEVICES WITH GENERAL CONTRACTOR PRIOR TO PAVING AND CONCRETE INSTALLATION BEING COMPLETED.

**CITY OF FRANKLIN LANDSCAPE NOTES:**

- 1. ANY PLANT MATERIAL THAT DIES, TURNS BROWN OR DEFOLIATES SHALL BE REPLACED WITHIN ONE YEAR OR BY THE NEXT GROWING SEASON, WHICH EVER COMES FIRST. OTHER DEFECTIVE LANDSCAPE MATERIAL SHALL BE REPLACED WITHIN THREE MONTHS.
2. ALL TREES SHALL BE STRAIGHT TRUNKED, FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED. ALL TREES AND SHRUBS MUST BE CONTAINER GROWN OR BALLED AND BURLAPPED WITH SIZES INDICATED IN THE PLANT SCHEDULE ON THE APPROVED PLAN. ALL PLANTS SHALL BE HEALTHY, WITHOUT MATERIAL, FREE OF PEST AND DISEASE. ALL ROOTBALLS, CONTAINERS AND HEIGHT TO WIDTH RATIOS SHALL CONFORM TO THE SIZE STANDARDS SET FORTH IN THE AMERICAN STANDARDS FOR NURSERY STOCK, CURRENT EDITION.
3. ALL REQUIRED TREES AND SHRUBS SHALL MEET THE MINIMUM SIZE STANDARDS AS LISTED IN THE PLANT SCHEDULE.
4. PLANT MATERIAL SHALL NOT OBSCURE TRAFFIC OR PARKING SIGNS/SIGNALS OR VEHICULAR SIGHT LINES.
5. TREE TOPPING IS NOT PERMITTED.
6. ADDITIONAL SEEDING MAY BE REQUIRED IF THE INSPECTION FOR THE RELEASE OF THE PERFORMANCE BOND REVEALS THAT THE REQUIRED SEEDING IS NOT EFFECTIVE.
7. ALL REQUIRED TREE PROTECTION FENCING MUST BE INSTALLED PRIOR TO LAND DISTURBING ACTIVITIES AND MUST BE MAINTAINED IN GOOD WORKING ORDER UNTIL ALL CONSTRUCTION ACTIVITY IS COMPLETED. ANY REQUIRED EROSION CONTROL MEASURES SHALL BE PLACED OUTSIDE OF ANY TREE PROTECTION FENCING.
8. ANY SITE LANDSCAPE CHANGES (INCLUDING BUT NOT LIMITED TO A CHANGE IN DESIGN, A REDUCTION IN SIZE OR NUMBER OF PLANT MATERIAL, OR THE RELOCATION OF OVERHEAD OR UNDERGROUND UTILITIES) WILL REQUIRE A REVISED LANDSCAPE PLAN TO BE SUBMITTED AND APPROVED PRIOR TO THE LANDSCAPE INSTALLATION.
9. THE OWNER ACKNOWLEDGES THAT LANDSCAPING IN A DEDICATED EASEMENT DOES NOT WAIVE OR MODIFY THE CITY OF FRANKLIN'S RIGHTS AS THE EASEMENT HOLDER. THE OWNER UNDERSTANDS THAT THE CITY OF FRANKLIN, ITS AUTHORIZED CONTRACTOR OR APPLICABLE PRIVATE UTILITY SHALL HAVE NO LIABILITY TO THE OWNER FOR ANY DAMAGE TO THE LANDSCAPING IN THE EASEMENT WHEN SAID DAMAGE IS DUE TO WORK WITHIN THE EASEMENT. THE OWNER MAY BE HELD RESPONSIBLE FOR THE REMOVAL OF THE LANDSCAPING. TO ENABLE WORK TO BE DONE, THE OWNER SHALL BE SOLELY RESPONSIBLE FOR ANY COSTS INCURRED IN REPAIRING AND/OR REPLACING THE REQUIRED LANDSCAPING.
10. EXISTING TREES ACCEPTED IN PARTIAL COMPLIANCE OF THE LANDSCAPE REQUIREMENTS FOR THIS SITE SHALL BE ACCESSIBLE AND FLAGGED PRIOR TO ALL LANDSCAPE INSPECTIONS.
11. ANY EXISTING TREE, SHOWN AS BEING PRESERVED ON APPROVED PLANS, WHETHER FOR CREDIT OR NOT, THAT IS REMOVED, DIES OR IS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED WITH THE EQUIVALENT NUMBER OF CALIPER INCHES OF A SIMILAR SPECIES IN AN APPROVED LOCATION.
12. FRANKLIN MUNICIPAL CODE 7-231 PROHIBITS THE USE OF COMBUSTIBLE MULCH AROUND THE ENTIRE EXTERIOR PERIMETER OF A BUILDING EXCEPT FOR ONE- AND TWO-FAMILY DWELLINGS OR BUILDINGS THAT ARE BUILT WITH EXTERIOR WALLS AND EXTERIOR WALL COVERINGS MADE OF NONCOMBUSTIBLE MATERIALS.

**SITE UTILITY NOTES**

- 1. THE PROJECT SITE IS SHOWN ON TAX MAP 117 PARCELS 20, 25 AND 30 AND TAX MAP 106 PARCEL 3202.
2. THE SANITARY SEWER SHALL BE OF THE MATERIAL INDICATED ON THE SEWER PLAN AND PROFILE SHEETS. POLYVINYL CHLORIDE (PVC) SHALL BE (SDR 35). DUCTILE IRON PIPE (D.I.P.) SHALL BE CLASS 52.
3. ALL WATER LINES, SEWER LINES, AND APPURTENANCES SHALL BE OF MATERIALS AND CONSTRUCTION THAT CONFORM TO THE FRANKLIN DEPARTMENT OF WATER AND SEWERAGE SERVICES REQUIREMENTS AND SPECIFICATIONS.
4. PROVIDE A MINIMUM 36" OF COVER OVER ALL WATER LINES.
5. LAY WASTEWATER AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAIN. IF THIS IS NOT PRACTICAL, THE WASTEWATER MAY BE LAID CLOSER THAN 10 FEET TO A WATER MAIN PROVIDED IT IS LAID IN A SEPARATE TRENCH AND THE ELEVATION ON THE TOP OF THE WASTEWATER IS AT LEAST 18" BELOW THE BOTTOM OF THE WATER MAIN.
6. WHERE A WASTEWATER LINE CROSSES UNDER WATER MAINS, THE TOP OF THE WASTEWATER SHALL BE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN. IF THE ELEVATION OF THE WASTEWATER CANNOT BE MAINTAINED TO MEET THE ABOVE REQUIREMENTS, RELOCATE THE WATER MAIN TO PROVIDE THIS SEPARATION, OR ELSE RECONSTRUCT IT WITH MECHANICAL JOINT DUCTILE IRON PIPE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE WASTEWATER WITH A FULL JOINT OF THE WATER MAIN COVERED OVER THE WASTEWATER, AND ENCASED IN CONCRETE.
7. IF IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL AND VERTICAL SEPARATION AS STIPULATED ABOVE, CONSTRUCT BOTH THE WATER MAIN AND THE WASTEWATER OF MECHANICAL JOINT DUCTILE IRON PIPE, AND PRESSURE TEST EACH.
8. THE CONTRACTOR SHALL FIELD VERIFY THE EXACT HORIZONTAL AND VERTICAL LOCATION OF EXISTING MANHOLES OR SANITARY SEWER LINES AT THE POINT OF CONNECTION PRIOR TO THE COMMENCEMENT OF ORDERING OF MATERIALS, CONSTRUCTION OR REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
9. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL CHARGED AND UNCHARGED UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SEQUENCING OF CONSTRUCTION FOR ALL UTILITY LINES SO THAT WATER LINES DO NOT CONFLICT WITH SANITARY SEWERS, SANITARY SEWER SERVICES, STORM SEWERS, OR ANY OTHER UTILITY OR STRUCTURE, EXISTING OR PROPOSED.
11. THE LOCATION OF EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL NOTIFY EACH INDIVIDUAL UTILITY OWNER OF HIS PLAN OF OPERATION IN THE AREA OF THE UTILITIES. PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL CONTACT THE UTILITY OWNERS AND REQUEST THEM TO PROPERLY LOCATE THEIR RESPECTIVE UTILITY ON THE GROUND. THIS NOTIFICATION SHALL BE GIVEN AT LEAST THREE (3) BUSINESS DAYS PRIOR TO COMMENCEMENT OF OPERATIONS AROUND THE UTILITY.
12. BEFORE CONNECTIONS ARE MADE INTO EXISTING UTILITIES, THE NEW LINES ARE TO BE FLUSHED AND TESTED BY THE CONTRACTOR IN ACCORDANCE WITH THE FRANKLIN WATER AND SEWER DEPARTMENT SPECIFICATIONS.
13. ALL TRENCHES CUT IN EXISTING ROADS OR DRIVES SHALL UTILIZE A CLEAN SAW CUT AND SHALL BE BACKFILLED (100%) TO FINAL SUBGRADE WITH #57 STONE. REPAIR ROADS PER CITY OF FRANKLIN REQUIREMENTS.
14. REPAIR ALL DAMAGE TO EXISTING FEATURES (i.e. DRIVES, ROADS, YARDS, WARD, LANDSCAPING, ETC.) TO PRE-CONSTRUCTION CONDITION.
15. THE CONTRACTOR SHALL PROVIDE ALL HORIZONTAL AND VERTICAL BENDS TO ATTAIN THE ALIGNMENT INDICATED ON THE PLANS. PROVIDE VERTICAL BENDS WHERE NECESSARY TO ALLOW WATER LINES TO FLARE OVER OR OTHER UTILITY LINES. (ALL BENDS AND BENDS NEEDED MAY NOT BE ACTUALLY SHOWN). PROVIDE BRACING AND/OR ROOFING AT ALL BENDS AND TEES AS REQUIRED BY WATER DEPARTMENT.
16. THE CONTRACTOR SHALL VERIFY REQUIRED PIPE LENGTHS, EXISTING PIPE MATERIAL AND SIZES AS SHOWN ON PLANS.
17. REPAIR EXISTING PAVEMENT, CURBS, WALKS, LANDSCAPING, ETC. THAT ARE DAMAGED BY CONSTRUCTION ACTIVITIES TO A LIKE NEW CONDITION AT NO ADDITIONAL COST TO THE OWNER.
18. THE PROPOSED GAS LINE CONSTRUCTION AND INSTALLATION SHALL BE COORDINATED WITH THE LOCAL GAS COMPANY BY THE CONTRACTOR.
19. THE PROPOSED ELECTRIC LINE CONSTRUCTION AND INSTALLATION SHALL BE COORDINATED WITH THE LOCAL ELECTRIC COMPANY BY THE CONTRACTOR.
20. THE PROPOSED TELEPHONE LINE CONSTRUCTION AND INSTALLATION SHALL BE COORDINATED WITH THE LOCAL TELEPHONE COMPANY BY THE CONTRACTOR.
21. WHERE DRAINAGE OR UTILITY LINES OCCUR IN PROPOSED FILL AREAS, THE FILL MATERIAL IS TO BE PLACED AND COMPACTED TO (95%) OF MAXIMUM DRY DENSITY ACCORDING TO ASTM (D-1557) PRIOR TO INSTALLATION OF DRAINAGE OR UTILITY LINES. FILL IS TO BE INSPECTED BY A PROFESSIONAL GEOTECHNICAL ENGINEER TESTING FIRM EMPLOYED BY THE OWNER. RESULTS OF THE TEST SHALL BE FURNISHED TO THE OWNER'S REPRESENTATIVE. CONTRACTOR TO PAY FOR ANY RETESTING.
22. THE CONTRACTOR SHALL ADJUST THE ALIGNMENT OF THE WATER LINES (HORIZONTALLY AND/OR VERTICALLY) TO ALLOW THE REQUIRED BRACING AT BENDS AND TEES.
23. EXISTING MANHOLES LOCATED IN FILL/CUT AREAS SHALL BE ADJUSTED TO ENSURE THAT THE TOP OF CASTING IS FLUSH WITH THE FINISHED GRADE.
24. WATER SERVICES SHALL BE 1" TYPE K COPPER AND SHALL INCLUDE CORPORATION STOPS, CURB STOPS, PRESENT METER BOX AND ALL OTHER FITTINGS AS REQUIRED BY WATER DEPARTMENT.
25. ALL WATER LINE SERVICES SHALL TERMINATE AT A METER BOX LOCATED 10 FEET FROM THE R.O.W. LINE.
26. THE OUTSIDE OF ALL MANHOLES SHALL BE COATED WITH BITUMINOUS PAINT.
27. ALL CONNECTIONS TO EXISTING MANHOLES SHALL BE BY THE CORING AND RESILIENT SEAL METHOD.
28. ALL SANITARY SEWER SERVICES SHALL BE 6" DIAMETER AND EXTEND 2 FEET BEYOND THE PROPERTY LINE.
29. CONTRACTOR SHALL MARK THE LOCATION OF ALL NEW PVC LINES WITH #8 WIRE.
30. THE HOME BUILDER SHALL VERIFY THE SANITARY SEWER SERVICE ELEVATION PRIOR TO SETTING THE FINISHED FLOOR ELEVATIONS FOR ALL LOTS. THE SANITARY SEWER MAIN AND SERVICES WERE DESIGNED BASED ON SETTING MINIMUM FINISHED FLOOR ELEVATIONS ON A NUMBER OF CRITICAL LOTS. THE HOME BUILDER SHALL ADHERE TO THE MINIMUM FINISHED FLOOR ELEVATIONS LISTED ON THE SANITARY SEWER SHEETS.
31. FIRE HYDRANT ASSEMBLIES INCLUDING THE APPROPRIATE SIZED TEE (WITH KICKER), 4" LINE TO HYDRANT, 4" GATE VALVE (WITH VALVE BOX), AND FIRE HYDRANT (WITH KICKER). HYDRANTS SHALL BE INSTALLED AT LOCATIONS SHOWN ON THE PLANS.
32. THE CONCRETE CAPS AND ENCASEMENTS ON WATER AND SEWER LINES SHALL BE A MINIMUM OF 6" THICK USE 3000 PSI CONCRETE.
33. ALL PROPOSED LOT CORNERS SHALL BE FIELD STAKED PRIOR TO CONSTRUCTION OF SANITARY SEWERS. CONTROL POINTS ARE AS SHOWN ON THE SITE LAYOUT PLAN.
34. THE CONTRACTOR WILL PROVIDE ALL NECESSARY PROTECTIVE MEASURES TO SAFE GUARD EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION OF THIS PROJECT. IN THE EVENT THAT SPECIAL EQUIPMENT IS REQUIRED TO WORK OVER AND AROUND THE UTILITIES, THE CONTRACTOR WILL BE REQUIRED TO FURNISH SUCH EQUIPMENT AT NO ADDITIONAL COST TO THE OWNER.
35. PRIOR TO SUBMITTING HIS BID, THE CONTRACTOR WILL BE SOLELY RESPONSIBLE FOR CONTACTING OWNERS OF ALL AFFECTED UTILITIES IN ORDER TO DETERMINE THE EXTENT TO WHICH UTILITY RELOCATION(S) AND/OR ADJUSTMENTS WILL HAVE UPON THE SCHEDULE OF WORK FOR THE PROJECT. WHILE SOME WORK MAY BE REQUIRED AROUND UTILITY FACILITIES THAT WILL REMAIN IN PLACE, OTHERS UTILITY FACILITIES MAY NEED TO BE ADJUSTED CONCURRENTLY WITH THE CONTRACTOR'S OPERATIONS.

**GENERAL NOTES**

- 1. THE SITE LAYOUT IS BASED ON REFERENCE POINTS AS NOTED.
2. THE CONTRACTOR SHALL CHECK ALL EXISTING CONDITIONS, (i.e. INVENTS, UTILITY ROUTINGS, UTILITY CROSSINGS, AND DIMENSIONS) IN THE FIELD PRIOR TO COMMENCEMENT OF UTILITY WORK. REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE.
3. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
4. THE CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES AND RECEIVE APPROVAL WHERE NECESSARY BEFORE CONSTRUCTION.
5. PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. SLIGHT FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY. STROW MULCH WITH MINIMUM 36" COVER OVER ALL WATER LINES.
6. DIMENSIONS ARE TO FACE OF CURB AND/OR EXTERIOR FACE OF BUILDING UNLESS OTHERWISE NOTED.
7. CONCRETE FOR CURBS AND SIDEWALKS SHALL BE 3000 PSI CONCRETE.
8. ANY WORK UNACCEPTABLE TO THE OWNER'S REPRESENTATIVE OR TO THE LOCAL GOVERNING AUTHORITY SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
9. HANDICAP RAMPS SHALL HAVE A MAXIMUM SLOPE OF 1:12.
10. THE CONTRACTOR SHALL PAVE IN THE DIRECTION OF TRAFFIC.
11. THE CONTRACTOR SHALL CURE PLANE IN THE DIRECTION OF TRAFFIC.
12. CURBS SHALL BE PARALLEL TO THE CENTRELINES OF DRIVES. THE CURB SHALL BE PLACED ONLY AFTER HAVING ALL BREAK POINTS (PC & PT OF CURVES) LOCATED AT THE FACE OF CURB OR AT A CONSISTENT OFFSET BY A REGISTERED LAND SURVEYOR.
13. THE CONTRACTOR WILL BE REQUIRED TO ADJUST GRADES OF INTERSECTING STREETS, ALLEYS, PUBLIC ENTRANCES AND PRIVATE DRIVES AS DIRECTED BY THE ENGINEER.
14. ALL ROADWAY AND SIDEWALK CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF LOCAL GOVERNING AGENCY.
15. ALL CONSTRUCTION MATERIALS AND INSTALLATION SHALL CONFORM TO LOCAL GOVERNING AGENCY REGULATIONS AND SPECIFICATIONS.
16. ALL PAVEMENT MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE LOCAL GOVERNING AGENCY AND STATE DOT, STANDARDS AND SPECIFICATIONS.
17. ALL CURBING WILL BE REQUIRED TO ADJUST TO THE GRADES OF INTERSECTING STREETS, ALLEYS, PUBLIC ENTRANCES, AND PRIVATE DRIVES AS DIRECTED BY THE ENGINEER.

**SITE GRADING & EROSION CONTROL NOTES**

- 1. BASE INFORMATION WAS TAKEN FROM A BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED BY LITTLEJOHN ENGINEERING, DESIGN DOCUMENTS PREPARED BY LITTLEJOHN ENGINEERING FOR SECTIONS 1, 3 AND 6 AND FROM AN AERIAL TOPOGRAPHIC SURVEY PREPARED BY THE CITY OF FRANKLIN.
2. THE PROJECT SITE IS SHOWN ON TAX MAP 117 AS PARCELS 20, 25 AND 30 AND TAX MAP 106 3202, SEC. 3.
3. THE DISTURBED AREA FOR THIS PROJECT IS APPROXIMATELY 415.0 ACRES.
4. NO PORTION OF THE PROPERTY SHOWN IN SECTION 1 LIES WITHIN A 100 YEAR FLOOD HAZARD AREA AS PER THE FEDERAL EMERGENCY MANAGEMENT AGENCY, (FEMA) MAP NUMBER 471670190E, DATED JANUARY 16, 2003.
5. CONSTRUCT SILT BARRIERS BEFORE BEGINNING GRADING OPERATIONS.
6. MULCH AND SEED ALL DISTURBED AREAS AS SOON AS POSSIBLE AFTER FINAL GRADING IS COMPLETED, UNLESS OTHERWISE INDICATED. CONTRACTOR SHALL TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
7. REMOVE SEDIMENT FROM ALL DRAINAGE STRUCTURES BEFORE ACCEPTANCE BY LOCAL GOVERNING AGENCY, OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
8. CLEAN SILT BARRIERS WHEN THEY ARE APPROXIMATELY 33% FILLED WITH SEDIMENT OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE. SILT BARRIERS SHALL BE REPLACED AS EFFECTIVENESS IS SIGNIFICANTLY REDUCED, OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
9. REMOVE THE TEMPORARY EROSION AND WATER POLLUTION CONTROL DEVICES ONLY AFTER A SOLID STAND OF GRASS HAS BEEN ESTABLISHED ON GRADED AREAS AND WHEN IN THE OPINION OF THE OWNER'S REPRESENTATIVE, THEY ARE NO LONGER NEEDED.
10. THE CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
11. PROVIDE TEMPORARY CONSTRUCTION ACCESS(ES) AT THE POINT(S) WHERE CONSTRUCTION VEHICLES EXIT THE CONSTRUCTION AREA. MAINTAIN PUBLIC ROADWAYS FREE OF TRACKED MUD AND DIRT.
12. THE CONTRACTOR SHALL CHECK ALL EXISTING GRADES AND DIMENSIONS IN THE FIELD PRIOR TO BEGINNING WORK AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
13. THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE MANUAL OF ACCIDENT PREVENTION AND CONSTRUCTION ISSUED BY AGC OF AMERICA, INC. AND THE SAFETY AND HEALTH REGULATIONS OF CONSTRUCTION ISSUED BY THE U.S. DEPARTMENT OF LABOR.
14. PROPOSED CONTOUR LINES AND SPOT ELEVATIONS ARE THE RESULT OF AN ENGINEERED GRADING DESIGN AND REFLECT A PLANNED INTENT WITH REGARD TO DRAINAGE AND MOVEMENT OF MATERIALS. SHOULD THE CONTRACTOR HAVE ANY QUESTION OF THE INTENT OR ANY PROBLEM WITH THE CONTINUITY OF GRADES, THE ENGINEER SHALL BE CONTACTED IMMEDIATELY.
15. THE CONTRACTOR SHALL CALL "ONE CALL" (811) 72 HOURS PRIOR TO PROCEEDING WITH ANY EXCAVATION.
16. ALL CUT AND FILL SLOPES SHALL BE 3 HORIZONTAL TO 1 VERTICAL OR FLATTER UNLESS OTHERWISE INDICATED ON THE PLANS.
17. ALL PIPES UNDER EXISTING PAVED AREAS SHALL BE BACKFILLED TO THE TOP OF SUBGRADE WITH CRUSHED STONE.
18. MINIMUM GRADE ON ASPHALT OR CONCRETE PAVING SHALL BE 1:02.
19. CONTRACTOR SHALL CONFORM TO ALL APPLICABLE CODES AND OBTAIN APPROVAL AS NECESSARY BEFORE BEGINNING CONSTRUCTION.
20. ALL EARTHWORK, INCLUDING THE EXCAVATED SUBGRADE AND EACH LAYER OF FILL, SHALL BE MONITORED AND APPROVED BY A QUALIFIED GEOTECHNICAL ENGINEER, OR HIS REPRESENTATIVE.
21. IF ANY SPRINGS OR UNDERGROUND STREAMS ARE EXPOSED DURING CONSTRUCTION, PERMANENT FRENCH DRAINS MAY BE REQUIRED. THE DRAINS SHALL BE SPECIFIED AND LOCATED DURING CONSTRUCTION AS REQUIRED BY THE CONDITIONS WHICH ARE ENCOUNTERED, AND SHALL BE APPROVED BY THE ENGINEER.
22. THIS GRADING & DRAINAGE PLAN IS NOT A DETERMINATION OR QUANTIFICATION OF THE SUITABILITY OF THE SUBSURFACE CONDITIONS FOR THE WORK INDICATED. A GEOTECHNICAL SOILS REPORT HAS BEEN PREPARED AND IS AVAILABLE FROM THE OWNER. DETERMINATION OF THE SUBSURFACE CONDITION FOR THE WORK INDICATED IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
23. THE CONTRACTOR SHALL TAKE SPECIAL CARE TO COMPACT FILL SUFFICIENTLY AROUND AND OVER ALL PIPES, STRUCTURES, VALVE STEMS, ETC., INSIDE THE PROPOSED PAVED AREAS TO AVOID SETTLEMENT. ANY SETTLEMENT DURING THE WARRANTY PERIOD SHALL BE RESTORED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
24. IN NO CASE SHALL SLOPE, HEIGHT, SLOPE INCULCATION, OR EXCAVATION DEPTH, INCLUDING TRENCH CONSTRUCTION, EXCEED THOSE SPECIFIED IN LOCAL, STATE AND FEDERAL REGULATIONS, SPECIFICALLY THE CURRENT OSHA HEALTH AND SAFETY STANDARDS FOR EXCAVATIONS (29 CFR PART 1926) SHALL BE FOLLOWED.
25. DO NOT DISTURB VEGETATION OR REMOVE TREES EXCEPT WHEN NECESSARY FOR GRADING PURPOSES.
26. STRIP TOPSOIL FROM ALL CUT AND FILL AREAS AND STORE IT PROMPTLY UPON COMPLETION OF GENERAL GRADING OVER ALL DISTURBED AREAS, TO A MINIMUM DEPTH OF 6". CONTRACTOR SHALL SUPPLY ADDITIONAL TOP SOIL IF INSUFFICIENT QUANTITIES EXIST ON SITE.
27. TOP OF GRADE ELEVATIONS AND LOCATION OF COORDINATES FOR DRAINAGE STRUCTURES SHALL BE AS SHOWN ON THE DETAIL, UNLESS NOTED OTHERWISE. THE GRADES SHALL SLOPE LONGITUDINALLY WITH THE PAVEMENT GRADES.
28. ALL DRAINAGE CONSTRUCTION MATERIALS AND INSTALLATION SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE LOCAL GOVERNING AGENCY.
29. RELOCATION OF EXISTING PLANT MATERIALS SHALL BE COORDINATED WITH THE OWNER AND RELOCATED TO A DESIGNATED AREA ON SITE.
30. POSITIVE DRAINAGE SHALL BE ESTABLISHED AS THE FIRST ORDER OF WORK AND SHALL BE MAINTAINED AT ALL TIMES DURING AND AFTER CONSTRUCTION. SOIL SOFTENED BY PERCHED WATER IN FOUNDATION AND PAVEMENT AREAS MUST BE UNDERCUT AND REPLACED WITH SUITABLE FILL MATERIALS APPROVED BY THE GEOTECHNICAL ENGINEER. GROUNDWATER INFILTRATION INTO EXCAVATIONS SHOULD BE EXPECTED, AND THE WATER SHALL BE REMOVED USING GRAVITY DRAINAGE OR PUMPING.
31. REINFORCED CONCRETE STORM DRAINAGE PIPE SHALL BE CLASS III.
32. THE LOCATION OF ALL DIVERSION SWALES AND DITCHES SHALL BE FIELD ADJUSTED TO AVOID TREES AS POSSIBLE. THE CONTRACTOR SHALL WALK THE ALIGNMENT OF THESE SWALES AND DITCHES IN THE FIELD TO VERIFY AVOIDANCE OF TREES.
33. SEDIMENT REMOVED FROM SEDIMENT CONTROL STRUCTURES IS TO BE PLACED AT A SITE APPROVED BY THE ENGINEER. IT SHALL BE TREATED IN A MANNER SO THAT THE AREA AROUND THE DISPOSAL SITE WILL NOT BE CONTAMINATED OR DAMAGED BY THE SEDIMENT IN THE RUN-OFF. COST FOR THIS TREATMENT IS TO BE INCLUDED IN PRICE BID FOR EARTHWORK. THE CONTRACTOR SHALL OBTAIN THE DISPOSAL SITE AS PART OF THIS WORK.
34. ANY SITE USED FOR DISPOSAL AND/OR STOCKPILE OF ANY MATERIAL SHALL BE PROPERLY PERMITTED FOR SUCH ACTIVITY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SEE THAT ALL REQUIRED PERMITS ARE SECURED FOR EACH PROPERTY UTILIZED. A COPY OF THE APPROVED PERMIT MUST BE PROVIDED TO THE INSPECTOR PRIOR TO COMMENCEMENT OF WORK ON ANY PROPERTY. FAILURE TO DO SO MAY RESULT IN THE CONTRACTOR REMOVING ANY ILLEGALLY PLACED MATERIAL AT HIS OWN EXPENSE.
35. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO WASTE EXCESS EARTH MATERIAL OFF SITE AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL FIRST OFFER THE EXCESS MATERIAL TO THE OWNER. IF NOT ACCEPTED BY THE OWNER, THE CONTRACTOR SHALL DISPOSE OF EARTH MATERIAL OFF SITE. IT SHALL ALSO BE THE CONTRACTOR'S RESPONSIBILITY TO MARK SUITABLE MATERIAL (AT NO ADDITIONAL COST TO THE OWNER) FOR EARTHWORK OPERATIONS IF SUFFICIENT AMOUNTS OF EARTH MATERIAL ARE NOT AVAILABLE ON SITE.
36. STOCKPILED TOPSOIL OR FILL MATERIAL IS TO BE TREATED SO THE SEDIMENT RUN-OFF WILL NOT CONTAMINATE SURROUNDING AREAS OR ENTER NEARBY STREAMS.
37. THE CONTRACTOR SHALL PROVIDE AS-BUILT SURVEYS OF THE DETENTION POND'S VERIFYING THE REQUIRED VOLUME HAS BEEN PROVIDED AND THAT THE OUTLET CONTROL STRUCTURES MEET THE DESIGN REQUIREMENTS. THE SURVEYS SHALL BE CONDUCTED BY A SURVEYOR LICENSED IN THE STATE OF TENNESSEE.

**STORMWATER DRAINAGE AND GRADING NOTES:**

- Erosion and sediment control measures shall be designed to control the rainfall and runoff from a 2 year, 24 hour storm, as a minimum.
• Erosion prevention and sediment controls must be inspected twice a week and 24 hours before a rain event after construction commences and documented on the inspection site checklist.
• Sediment that has escaped the construction site and has collected in the street or drainage structures must immediately be removed.
• Sediment measures must be performed within seven (7) days in portions of the site where construction activities have temporarily or permanently ceased, and within fifteen (15) days after final grading. This is a control step with at least 75% coverage through the application of seed, seed and anchored strow mulch, or other approved stabilization measures.
• During non-germinating periods, mulch must be applied at the specified rates.
Temporary Stabilization & Permanent Stabilization
• Strow mulch must be applied at 3.0 tons per acre.
• Strow mulch will result in a minimum erosion control blankets must be installed on all slopes 3:1 and steeper."
• Show mulch shall be applied in long strands, not chopped or finely broken.
• Excavated topsoil to be reused must be stockpiled and encircled with silt fencing. Stockpile heights must not exceed 35 feet. Stockpile slopes must be 2:1 or flatter. Stockpiles which have not been covered for 14 consecutive days shall be stabilized through the application of seed, seed and anchored strow mulch, or other approved stabilization measures.
• A 25 foot x 25 foot borrow areas must have approved sediment control plans.
• Sedimentation measures must be performed within seven (7) days in portions of the site where construction activities have temporarily or permanently ceased, and within fifteen (15) days after final grading. This is a control step with at least 75% coverage through the application of seed, seed and anchored strow mulch, or other approved stabilization measures.
• A 25 foot x 25 foot borrow areas must have approved sediment control plans.
• Sedimentation measures must be performed within seven (7) days in portions of the site where construction activities have temporarily or permanently ceased, and within fifteen (15) days after final grading. This is a control step with at least 75% coverage through the application of seed, seed and anchored strow mulch, or other approved stabilization measures.
• All sediment basins, trap embankments, swales, perimeter dikes, and permanent slopes steeper or equal to 3:1 shall be stabilized with seed, seed and anchored strow mulch or other approved stabilization measures, within seven (7) calendar days of establishment. All areas disturbed outside of the perimeter sediment control system must be minimized and stabilized immediately. Maintenance measures are necessary to ensure circumstances posing the potential for accelerated erosion and/or sediment pollution, the operator shall implement appropriate best management practices to eliminate the potential for accelerated erosion and/or sediment pollution.
• Contract and stabilize Sedimentation. Equal soil conditions.
Stabilize meadows:
a. Uniformly (e.g., evenly distributed, without large bare areas) perennial vegetative cover with a density of a minimum of 75 percent of the native background vegetative cover for the area established on all unpaved areas and areas not covered by permanent structures, or equivalent permanent stabilization measures (such as the use of grass, gabions, or geotextile) have been employed with a density sufficient to resist accelerated surface erosion and subsurface characteristics suitable for the intended use.
• If there is a gravel envelope in front of the outlet orifice, it will be removed as soon as the site is stabilized and before ponds are released.
• Include a foraboe to facilitate maintenance.
• With earthen walls, place an onsteep collar (or collars) around the outlet pipe.
• The maximum slope perpendicular to the fence line should be 1:1.
• No more than 0.25 acre (0.1 ha) per 100 ft. (31.4 m), or 0.5 cfs (0.14 x 10-2 m3/s) of concentrated flow should drain to any point along the silt fence.
• Turn ends of fence uphill to prevent scour from wash around. Internormantly, turn fence uphill.
• Provide area behind the fence for runoff to pond and sediment to settle (Approx. 1200 sq. ft. (111.5 m2) per acre (0.4 ha) draining to the silt fence.
• Select filter fabric that retains 85% of the soil, by weight, based on sieve analysis, but is not finer than an equivalent opening size of 70.
• Strow/Hay Bales (ARE NOT RECOMMENDED) Silt fences, sand bag barriers, and rock filters (especially continuous barriers) are preferred over strow/hay bales because sediment removal efficiencies, durability, and maintenance requirements are far less desirable in strow/hay bales.
• Stormwater Silt Protection: Where applicable, protection for near-storm sewer curb and drop inlets have been installed.
• Sand bag barrier: Used to create a small sediment trap upstream of inlets on sloped, paved streets.
• Excavated Drop Inlet Sediment Trap: An excavated area around the inlet to trap.
• Gutter/bay type protection: Used to create a small water ponding area to settle sediment out before waters storm drain.
• Sediment Catch Basin Inlets: such as DowgCatcher Protection, StreamGuard™, and Ultra DrainGuard™.
• Sediment must be removed from storm drain inlet protection after each runoff event.
• Sediment must be removed from sediment barriers, ponds and other sediment controls when design capacity had been reduced by 33%. All EP&SC devices are to remain in place until the site has been stabilized and a good stand of grass has been established.
• Erosions prevention and sediment control devices, EP&SC, shall be maintained throughout the construction period, generally considered to be through the completion of restoration until site is stable. A copy of your EP&SC plan along with an inspection checklist and Stormwater Permit, if applicable, must be at the project site at all times. The inspection checklist shall have a record of dates EP&SC devices are inspected and any correction action taken or major observations.
• Construction Entrance: This site shall contain a temporary erosion construction entrance that conforms to the City of Franklin's Stormwater Ordinance and Best Management Practice Manual. It must be installed within 24 hours of grading or the permit will be revoked. The use of filter cloth beneath construction entrances is required. Stones should be 3 inch crushed, clean, and well graded rock to at least a 2-inch (15.2) deep and shall be kept clean by adding stone as needed. It shall be 20 feet wide. See detail TCD-03 for specific construction entrance details.
• EP&SC and stormwater controls shall be installed and maintained according to Franklin's BMP Manual.
• Stormwater detention/retention and sediment ponds will be installed at the beginning of the project. For common drainage locations that serve an area with 10 or more acres disturbed at one time, a temporary (or permanent) sediment basin that provides storage for a calculated volume of runoff from a 2 year, 24 hour storm and runoff coefficient from each disturbed acre drained, or equivalent control measures, shall be provided until final stabilization of the site. Where no such calculation has been performed, a temporary (or permanent) sediment basin providing 3,600 cubic feet of storage per acre drained, or equivalent control measures, shall be provided until final stabilization of the site.
• Construction sites near 50 acres must be built in phases and a Phase Construction Plan must be submitted and approved.

**Detouring:**

- Sediment trap/basin dewatering for cleanout or repair may only be done with the City of Franklin Inspector's permission. The Inspector must approve the dewatering method for each application. The following methods may be considered:
A. Pump discharge may be directed to another on-site sediment trap or basin, provided it is of sufficient volume and the pump intake is floated to prevent agitation or suction of deposited sediments; or
B. the pump intake may utilize a Removable Pumping Station and must discharge into an undisturbed area through a non-erosive outlet; or
C. the pump intake may be floated and discharge into a Dirt Bag (12 oz. non-woven fabric), or approved equivalent, located in an undisturbed buffer area.
D. All pumping of sediment laden water shall be through a sediment control BMP, such as a pumped water filter bag or equivalent sediment removal facility, over undisturbed vegetated areas.
• Any request for change to the approved sediment control plan or sequence of construction must be submitted to the Sediment Control Inspector and approved before implementing changes. Major changes will require a plan revision.
• The Permittees shall protect all points of construction ingress and egress to prevent the deposition of materials onto traversed public thoroughfare(s). All materials deposited onto public thoroughfare(s) shall be removed immediately.
• Obtaining of any permits is the responsibility of the stormwater management permit holder or developer.
• Permittees shall maintain a rain gauge and daily rainfall records at the site, or use a reference site for a record of daily amount of precipitation.
• Stormwater infrastructure "As built": Franklin Code Section 16-706 (2)(gg). As new development construction is completed, an "as-built" plan, certified by a licensed professional engineer, must be submitted upon completion of the stormwater management facilities included in the approved construction plans. The licensed professional shall certify that: the facilities have been constructed as shown on the "as-built" plan, and facilities meet the approved stormwater management plan and specifications, or achieve the function for which they were designed. Coordinate data shall be presented in the State of Tennessee Plane system with the North American Datum 1983 (NAD83) and North American Vertical Datum (NAVD) of 1988. Electronic and paper copies (per city requirements) are required. (See web site http://www.franklin-tn.gov/pdf/pub/pubrequirements.pdf)



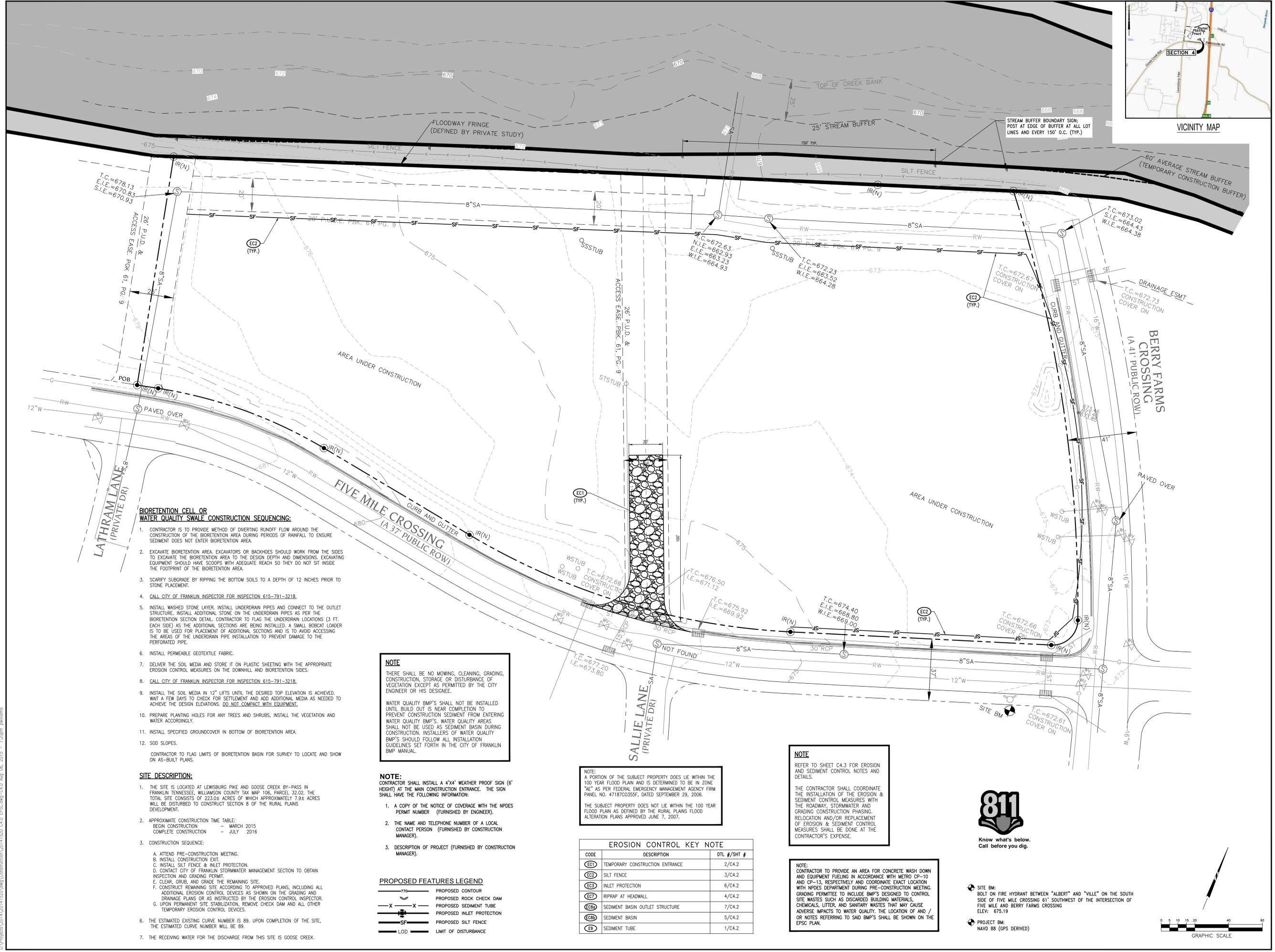
CITY OF FRANKLIN PROJECT NO. 5887 SITE PLAN SUBMITTAL BERRY FARMS PUD SUBDIVISION SECTION 4, LOT 199, REVISION I (HAMPTON INN & SUITES) FRANKLIN, TENNESSEE

BNB-WCO INVESTORS, LLC ON BEHALF OF RURAL PLAINS PARTNERSHIP 2000 Meridian Boulevard Suite 250 Franklin, TN 37067 615.550.5580



DATE	REVISONS
08.06.15	COF COMMENTS
2015.07.13	20141520

C3.0 SITE NOTES



**BIORETENTION CELL OR WATER QUALITY SWALE CONSTRUCTION SEQUENCING:**

- CONTRACTOR IS TO PROVIDE METHOD OF DIVERTING RUNOFF FLOW AROUND THE CONSTRUCTION OF THE BIORETENTION AREA DURING PERIODS OF RAINFALL TO ENSURE SEDIMENT DOES NOT ENTER BIORETENTION AREA.
  - EXCAVATE BIORETENTION AREA. EXCAVATORS OR BACKHOES SHOULD WORK FROM THE SIDES TO EXCAVATE THE BIORETENTION AREA TO THE DESIGN DEPTH AND DIMENSIONS. EXCAVATING EQUIPMENT SHOULD HAVE SCOOPS WITH ADEQUATE REACH SO THEY DO NOT SIT INSIDE THE FOOTPRINT OF THE BIORETENTION AREA.
  - SCARIFY SUBGRADE BY RIPPING THE BOTTOM SOILS TO A DEPTH OF 12 INCHES PRIOR TO STONE PLACEMENT.
  - CALL CITY OF FRANKLIN INSPECTOR FOR INSPECTION 615-791-3218.
  - INSTALL WASHED STONE LAYER. INSTALL UNDERDRAIN PIPES AND CONNECT TO THE OUTLET STRUCTURE. INSTALL ADDITIONAL STONE ON THE UNDERDRAIN PIPES AS PER THE BIORETENTION SECTION DETAIL. CONTRACTOR TO FLAG THE UNDERDRAIN LOCATIONS (3 FT. EACH SIDE) AS THE ADDITIONAL SECTIONS ARE BEING INSTALLED. A SMALL BOBCAT LOADER IS TO BE USED FOR PLACEMENT OF ADDITIONAL SECTIONS AND IS TO AVOID ACCESSING THE AREAS OF THE UNDERDRAIN PIPE INSTALLATION TO PREVENT DAMAGE TO THE PERFORATED PIPE.
  - INSTALL PERMEABLE GEOTEXTILE FABRIC.
  - DELIVER THE SOIL MEDIA AND STORE IT ON PLASTIC SHEETING WITH THE APPROPRIATE EROSION CONTROL MEASURES ON THE DOWNHILL AND BIORETENTION SIDES.
  - CALL CITY OF FRANKLIN INSPECTOR FOR INSPECTION 615-791-3218.
  - INSTALL THE SOIL MEDIA IN 12" LIFTS UNTIL THE DESIRED TOP ELEVATION IS ACHIEVED. WAIT A FEW DAYS TO CHECK FOR SETTLEMENT AND ADD ADDITIONAL MEDIA AS NEEDED TO ACHIEVE THE DESIGN ELEVATIONS. DO NOT COMPACT WITH EQUIPMENT.
  - PREPARE PLANTING HOLES FOR ANY TREES AND SHRUBS. INSTALL THE VEGETATION AND WATER ACCORDINGLY.
  - INSTALL SPECIFIED GROUND COVER IN BOTTOM OF BIORETENTION AREA.
  - SOD SLOPES.
- CONTRACTOR TO FLAG LIMITS OF BIORETENTION BASIN FOR SURVEY TO LOCATE AND SHOW ON AS-BUILT PLANS.

**SITE DESCRIPTION:**

- THE SITE IS LOCATED AT LEWISBURG PIKE AND GOOSE CREEK BY-PASS IN FRANKLIN TENNESSEE. WILLIAMSON COUNTY TAX MAP 106, PARCEL 32.02. THE TOTAL SITE CONSISTS OF 223.0± ACRES OF WHICH APPROXIMATELY 7.9± ACRES WILL BE DISTURBED TO CONSTRUCT SECTION 8 OF THE RURAL PLAINS DEVELOPMENT.
- APPROXIMATE CONSTRUCTION TIME TABLE:  
BEGIN CONSTRUCTION - MARCH 2015  
COMPLETE CONSTRUCTION - JULY 2016
- CONSTRUCTION SEQUENCE:  
A. ATTEND PRE-CONSTRUCTION MEETING.  
B. INSTALL CONSTRUCTION EXIT.  
C. INSTALL SILT FENCE & INLET PROTECTION.  
D. CONTACT CITY OF FRANKLIN STORMWATER MANAGEMENT SECTION TO OBTAIN INSPECTION AND GRADING PERMIT.  
E. CLEAR, GRUB, AND GRADE THE REMAINING SITE.  
F. CONSTRUCT REMAINING SITE ACCORDING TO APPROVED PLANS, INCLUDING ALL ADDITIONAL EROSION CONTROL DEVICES AS SHOWN ON THE GRADING AND DRAINAGE PLANS OR AS INSTRUCTED BY THE EROSION CONTROL INSPECTOR.  
G. UPON PERMANENT SITE STABILIZATION, REMOVE CHECK DAM AND ALL OTHER TEMPORARY EROSION CONTROL DEVICES.
- THE ESTIMATED EXISTING CURVE NUMBER IS 89. UPON COMPLETION OF THE SITE, THE ESTIMATED CURVE NUMBER WILL BE 89.
- THE RECEIVING WATER FOR THE DISCHARGE FROM THIS SITE IS GOOSE CREEK.

**NOTE**  
THERE SHALL BE NO MOWING, CLEANING, GRADING, CONSTRUCTION, STORAGE OR DISTURBANCE OF VEGETATION EXCEPT AS PERMITTED BY THE CITY ENGINEER OR HIS DESIGNEE.

WATER QUALITY BMP'S SHALL NOT BE INSTALLED UNTIL BUILD OUT IS NEAR COMPLETION TO PREVENT CONSTRUCTION SEDIMENT FROM ENTERING WATER QUALITY BMP'S. WATER QUALITY AREAS SHALL NOT BE USED AS SEDIMENT BASIN DURING CONSTRUCTION. INSTALLERS OF WATER QUALITY BMP'S SHOULD FOLLOW ALL INSTALLATION GUIDELINES SET FORTH IN THE CITY OF FRANKLIN BMP MANUAL.

- NOTE:**  
CONTRACTOR SHALL INSTALL A 4'X4' WEATHER PROOF SIGN (6" HEIGHT) AT THE MAIN CONSTRUCTION ENTRANCE. THE SIGN SHALL HAVE THE FOLLOWING INFORMATION:
- A COPY OF THE NOTICE OF COVERAGE WITH THE NPDES PERMIT NUMBER (FURNISHED BY ENGINEER).
  - THE NAME AND TELEPHONE NUMBER OF A LOCAL CONTACT PERSON (FURNISHED BY CONSTRUCTION MANAGER).
  - DESCRIPTION OF PROJECT (FURNISHED BY CONSTRUCTION MANAGER).

**PROPOSED FEATURES LEGEND**

	PROPOSED CONTOUR
	PROPOSED ROCK CHECK DAM
	PROPOSED SEDIMENT TUBE
	PROPOSED SILT FENCE
	LIMIT OF DISTURBANCE

**NOTE:**  
A PORTION OF THE SUBJECT PROPERTY DOES LIE WITHIN THE 100 YEAR FLOOD PLAIN AND IS DETERMINED TO BE IN ZONE "AE" AS PER FEDERAL EMERGENCY MANAGEMENT AGENCY FIRM PANEL NO. 47187C0355F, DATED SEPTEMBER 29, 2006.

THE SUBJECT PROPERTY DOES NOT LIE WITHIN THE 100 YEAR FLOOD PLAIN AS DEFINED BY THE RURAL PLAINS FLOOD ALTERATION PLANS APPROVED JUNE 7, 2007.

**EROSION CONTROL KEY NOTE**

CODE	DESCRIPTION	DTL #/SHT #
EC1	TEMPORARY CONSTRUCTION ENTRANCE	2/C4.2
EC2	SILT FENCE	3/C4.2
EC3	INLET PROTECTION	6/C4.2
EC7	RRIPRAP AT HEADWALL	4/C4.2
EC8	SEDIMENT BASIN OUTLET STRUCTURE	7/C4.2
EC9	SEDIMENT BASIN	5/C4.2
EC	SEDIMENT TUBE	1/C4.2

**NOTE**  
REFER TO SHEET C4.3 FOR EROSION AND SEDIMENT CONTROL NOTES AND DETAILS.

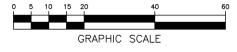
THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE EROSION & SEDIMENT CONTROL MEASURES WITH THE ROADWAY, STORMWATER AND GRADING CONSTRUCTION PHASING, RELOCATION AND/OR REPLACEMENT OF EROSION & SEDIMENT CONTROL MEASURES SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.

**NOTE:**  
CONTRACTOR TO PROVIDE AN AREA FOR CONCRETE WASH DOWN AND EQUIPMENT FUELING IN ACCORDANCE WITH METRO CP-10 AND CP-13, RESPECTIVELY AND COORDINATE EXACT LOCATION WITH NPDES DEPARTMENT DURING PRE-CONSTRUCTION MEETING. GRADING PERMITTEE TO INCLUDE BMP'S DESIGNED TO CONTROL SITE WASTES SUCH AS DISCARDED BUILDING MATERIALS, CHEMICALS, LITTER, AND SANITARY WASTES THAT MAY CAUSE ADVERSE IMPACTS TO WATER QUALITY. THE LOCATION OF AND / OR NOTES REFERRING TO SAID BMP'S SHALL BE SHOWN ON THE EPC PLAN.



Know what's below. Call before you dig.

- SITE BM:** BOLT ON FIRE HYDRANT BETWEEN "ALBERT" AND "VILLE" ON THE SOUTH SIDE OF FIVE MILE CROSSING 61' SOUTHWEST OF THE INTERSECTION OF FIVE MILE AND BERRY FARMS CROSSING. ELEV: 675.19
- PROJECT BM:** NAVD 88 (GPS DERIVED)



**Littlejohn**  
1935 21st Avenue South, NASHVILLE, TENNESSEE 37212  
T 615.385.4144 F 615.385.4020 www.littlejohn.com  
Nashville | Chattanooga | Decatur | Huntsville | Knoxville | Orlando | Phoenix | Tri-Cities

CITY OF FRANKLIN PROJECT NO. 5887  
SITE PLAN SUBMITTAL  
**BERRY FARMS PUD SUBDIVISION**  
SECTION 4, LOT 199, REVISION 1 (HAMPTON INN & SUITES)  
FRANKLIN, TENNESSEE

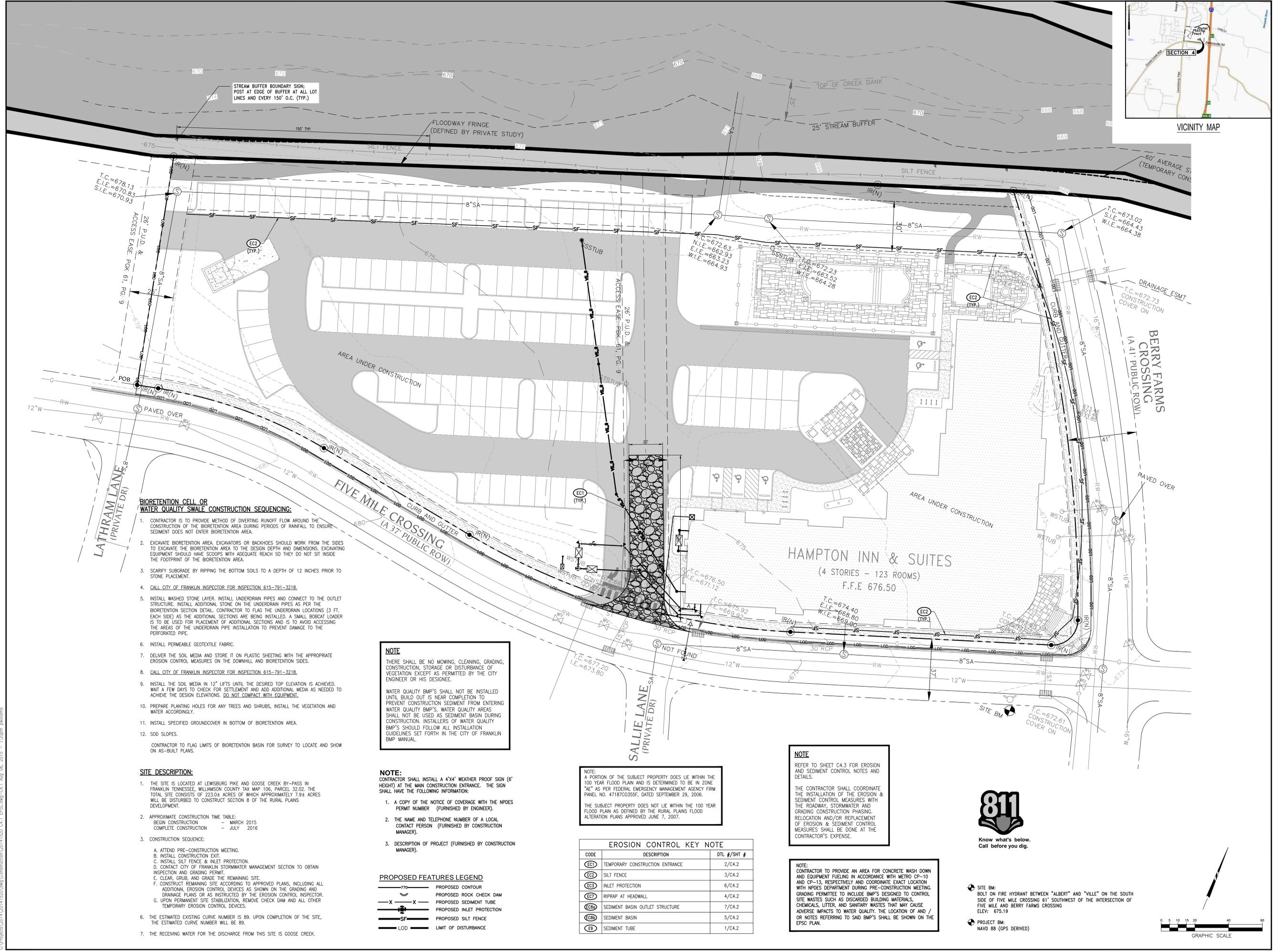
**BNB-WCO INVESTORS, LLC**  
ON BEHALF OF  
**RURAL PLAINS PARTNERSHIP**  
2000 Meridian Boulevard  
Suite 250  
Franklin, TN 37067  
615.550.5580



DATE	REVISIONS
08.06.15	CDP COMMENTS
2015.07.13	2014.1520

**C4.0**  
INITIAL  
EROSION PROTECTION & SEDIMENT CONTROL

G:\Projects\2014\20141520\Drawings\Construction\20141520 C4.0 EPC.dwg--C4.0 Aug. 06, 2015 -- 1:20pm pwilkins



STREAM BUFFER BOUNDARY SIGN;  
POST AT EDGE OF BUFFER AT ALL LOT  
LINES AND EVERY 150' O.C. (TYP.)

FLOODWAY FRINGE  
(DEFINED BY PRIVATE STUDY)

TOP OF CREEK BANK

25' STREAM BUFFER

VICINITY MAP

60' AVERAGE S...  
(TEMPORARY CON...

T.C.=673.02  
S.I.E.=664.43  
W.I.E.=664.38

T.C.=672.73  
CONSTRUCTION  
COVER ON

BERRY FARMS  
CROSSING  
(A 41' PUBLIC ROW)

PAVED OVER

**BIORETENTION CELL OR  
WATER QUALITY SWALE CONSTRUCTION SEQUENCING:**

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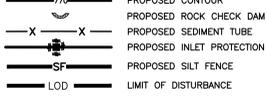
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E. CLEAR, GRUB, AND GRADE THE REMAINING SITE.  
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G. UPON PERMANENT SITE STABILIZATION, REMOVE CHECK DAM AND ALL OTHER TEMPORARY EROSION CONTROL DEVICES.
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- THE RECEIVING WATER FOR THE DISCHARGE FROM THIS SITE IS GOOSE CREEK.

**NOTE**  
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**PROPOSED FEATURES LEGEND**



**NOTE:**  
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**EROSION CONTROL KEY NOTE**

CODE	DESCRIPTION	DTL #/SHT #
EC01	TEMPORARY CONSTRUCTION ENTRANCE	2/C4.2
EC02	SILT FENCE	3/C4.2
EC03	INLET PROTECTION	6/C4.2
EC07	RIPRAP AT HEADWALL	4/C4.2
EC08	SEDIMENT BASIN OUTLET STRUCTURE	7/C4.2
EC09	SEDIMENT BASIN	5/C4.2
EC10	SEDIMENT TUBE	1/C4.2

**NOTE**  
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THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE EROSION & SEDIMENT CONTROL MEASURES WITH THE ROADWAY, STORMWATER AND GRADING CONSTRUCTION PHASING, RELOCATION AND/OR REPLACEMENT OF EROSION & SEDIMENT CONTROL MEASURES SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.

**NOTE:**  
CONTRACTOR TO PROVIDE AN AREA FOR CONCRETE WASH DOWN AND EQUIPMENT FUELING IN ACCORDANCE WITH METRO CP-10 AND CP-13, RESPECTIVELY AND COORDINATE EXACT LOCATION WITH NPDES DEPARTMENT DURING PRE-CONSTRUCTION MEETING. GRADING PERMITTEE TO INCLUDE BMP'S DESIGNED TO CONTROL SITE WASTES SUCH AS DISCARDED BUILDING MATERIALS, CHEMICALS, LITTER, AND SANITARY WASTES THAT MAY CAUSE ADVERSE IMPACTS TO WATER QUALITY. THE LOCATION OF AND / OR NOTES REFERRING TO SAID BMP'S SHALL BE SHOWN ON THE EPC PLAN.



**SITE BM:**  
BOLT ON FIRE HYDRANT BETWEEN "ALBERT" AND "VILLE" ON THE SOUTH SIDE OF FIVE MILE CROSSING 61' SOUTHWEST OF THE INTERSECTION OF FIVE MILE AND BERRY FARMS CROSSING  
ELEV: 675.19

**PROJECT BM:**  
NAVD 88 (GPS DERIVED)



**Littlejohn**  
1935 21st Avenue South, NASHVILLE, TENNESSEE 37212  
T 615.385.4144 F 615.385.4020 www.littlejohn.com  
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CITY OF FRANKLIN PROJECT NO. 5887  
SITE PLAN SUBMITTAL  
**BERRY FARMS PUD SUBDIVISION**  
SECTION 4, LOT 199, REVISION 1 (HAMPTON INN & SUITES)  
FRANKLIN, TENNESSEE

BNB-WCO INVESTORS, LLC  
ON BEHALF OF  
RURAL PLAINS PARTNERSHIP  
2000 Meridian Boulevard  
Suite 250  
Franklin, TN 37067  
615.550.5580



DATE	REVISIONS
08.06.15	CDP COMMENTS
2015.07.13	20141520

**C4.1**  
FINAL  
EROSION PROTECTION  
& SEDIMENT CONTROL

G:\Projects\2014\20141520\Views\Construction\20141520 C4.1 EPC.dwg-C4.1 Aug. 06, 2015 - 1:20pm pwilkins

**SCHEDULE OF INSPECTIONS AND MAINTENANCE NOTES**

- INSPECTIONS DESCRIBED IN PARAGRAPHS 2, 3 AND 4 BELOW, SHALL BE PERFORMED AT LEAST TWICE EVERY CALENDAR WEEK. INSPECTIONS SHALL BE PERFORMED AT LEAST 72 HOURS APART. WHERE SITES OR PORTION(S) OF CONSTRUCTION SITES HAVE BEEN TEMPORARILY STABILIZED, OR RUNOFF IS UNLIKELY DUE TO WINTER CONDITIONS (E.G., SITE COVERED WITH SNOW OR ICE) OR DUE TO EXTREME DROUGHT, SUCH INSPECTION ONLY HAS TO BE CONDUCTED ONCE PER MONTH UNTIL THAWING OR PRECIPITATION RESULTS IN RUNOFF OR CONSTRUCTION ACTIVITY RESUMES. INSPECTION REQUIREMENTS DO NOT APPLY TO DESTABILIZED AREAS THAT HAVE BEEN FINALLY STABILIZED. WRITTEN NOTIFICATION OF THE INTENT TO CHANGE THE INSPECTION FREQUENCY AND THE JUSTIFICATION FOR SUCH REQUEST MUST BE SUBMITTED TO THE LOCAL ENVIRONMENTAL FIELD OFFICE, OR THE DIVISION'S NASHVILLE CENTRAL OFFICE FOR PROJECTS OF THE TENNESSEE DEPARTMENT OF TRANSPORTATION (TDOT) AND THE TENNESSEE VALLEY AUTHORITY (TVA). SHOULD TDOD DISCOVER THAT MONTHLY INSPECTIONS OF THE SITE ARE NOT APPROPRIATE DUE TO INSUFFICIENT NOTIFICATION MEASURES OR OTHERWISE, TWICE WEEKLY INSPECTIONS SHALL RESUME. IDEC MAY INSPECT THE SITE TO CONFIRM OR DENY THE NOTIFICATION TO CONDUCT MONTHLY INSPECTIONS.
- QUALIFIED PERSONNEL (PROVIDED BY THE PERMITTEE OR COOPERATIVELY BY MULTIPLE PERMITTEES) SHALL INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED. AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION, STRUCTURAL CONTROL MEASURES, LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE, AND EACH OUTFALL.
- DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE SITE'S DRAINAGE SYSTEM. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY.
- OUTFALL POINTS (WHERE DISCHARGES LEAVE THE SITE AND/OR ENTER WATERS OF THE STATE) SHALL BE INSPECTED TO DETERMINE WHETHER EROSION PREVENTION AND SEDIMENT CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATERS. WHERE DISCHARGE LOCATIONS ARE INACCESSIBLE, NEARBY DOWNSTREAM LOCATIONS SHALL BE INSPECTED. LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE SHALL BE INSPECTED FOR EVIDENCE OF OFFSITE SEDIMENT TRACKING.
- BASED ON THE RESULTS OF THE INSPECTION, ANY INADEQUATE CONTROL MEASURES OR CONTROL MEASURES IN DISREPAIR SHALL BE REPLACED OR MODIFIED, OR REPAIRED AS NECESSARY, BEFORE THE NEXT RAIN EVENT, BUT IN NO CASE MORE THAN 7 DAYS AFTER THE NEED IS IDENTIFIED.
- BASED ON THE RESULTS OF THE INSPECTION, THE SITE DESCRIPTION AND POLLUTION PREVENTION MEASURES IDENTIFIED IN THIS SWPPP SHALL BE REVISED AS APPROPRIATE, BUT IN NO CASE LATER THAN 7 DAYS FOLLOWING THE INSPECTION. SUCH MODIFICATIONS SHALL PROVIDE FOR TIMELY IMPLEMENTATION OF ANY CHANGES TO THE SWPPP, BUT IN NO CASE LATER THAN 14 DAYS FOLLOWING THE INSPECTION.
- ALL INSPECTIONS SHALL BE DOCUMENTED ON THE CONSTRUCTION STORMWATER INSPECTION CERTIFICATION FORM PROVIDED IN APPENDIX D OF THE SWPPP REPORT FOR ALL CONSTRUCTION SITES. INSPECTION DOCUMENTATION WILL BE MAINTAINED ON SITE AND MADE AVAILABLE TO TDOD UPON REQUEST. INSPECTION REPORTS MUST BE SUBMITTED TO TDOD WITHIN 10 DAYS OF THE REQUEST. IF TDOD REQUESTS THE CONSTRUCTION STORMWATER INSPECTION CERTIFICATION FORM TO BE SUBMITTED, THE SUBMITTED FORM MUST CONTAIN THE PRINTED NAME AND SIGNATURE OF THE TRAINED CERTIFIED INSPECTOR AND THE PERSON WHO MEETS THE SIGNATORY REQUIREMENTS OF SECTION 7.7.2 OF THE NPDES GENERAL PERMIT.
- TRAINED CERTIFIED INSPECTORS SHALL COMPLETE INSPECTION DOCUMENTATION TO THE BEST OF THEIR ABILITY. FALSIFYING INSPECTION RECORDS OR OTHER DOCUMENTATION OR FAILURE TO COMPLETE INSPECTION DOCUMENTATION SHALL RESULT IN A VIOLATION OF THIS PERMIT AND ANY OTHER APPLICABLE ACTS OR RULES.
- SUBSEQUENT OPERATOR(S) (PRIMARY PERMITTEES) WHO HAVE OBTAINED COVERAGE UNDER THE NPDES GENERAL PERMIT SHOULD CONDUCT TWICE WEEKLY INSPECTIONS, UNLESS THEIR PORTION(S) OF THE SITE HAS BEEN TEMPORARILY STABILIZED, OR RUNOFF IS UNLIKELY DUE TO WINTER CONDITIONS OR DUE TO EXTREME DROUGHT AS STATED IN PARAGRAPH A) ABOVE. THE PRIMARY PERMITTEE (SUCH AS A DEVELOPER) IS NO LONGER REQUIRED TO CONDUCT INSPECTIONS OF PORTIONS OF THE SITE THAT ARE COVERED BY A SUBSEQUENT PRIMARY PERMITTEE (SUCH AS A HOME BUILDER).

**NOTE:**

CONTRACTOR SHALL INSTALL A 4'x4' WEATHER PROOF SIGN (6' HEIGHT) AT THE MAIN CONSTRUCTION ENTRANCE. THE SIGN SHALL HAVE THE FOLLOWING INFORMATION:

- A COPY OF THE NOTICE OF COVERAGE WITH THE NPDES PERMIT NUMBER (FURNISHED BY ENGINEER).
- THE NAME AND TELEPHONE NUMBER OF A LOCAL CONTACT PERSON (FURNISHED BY CONSTRUCTION MANAGER).
- DESCRIPTION OF PROJECT (FURNISHED BY CONSTRUCTION MANAGER).

**NOTE:**

- AFTER EVERY STORM EVENT, THE ENTIRE SILT FENCE MUST BE INSPECTED AND ANY NEEDED REPAIRS DONE AT THAT TIME. SHOULD ANY DAMAGE OCCUR DUE TO TRAFFIC OR ANY OTHER ACTIVITY THE FENCE MUST BE REPAIRED BEFORE THE END OF EACH WORK DAY.
- PLEASE SEE SHEETS C2.0 & C6.0 OF THE CONTRACT DOCUMENTS FOR THE SITE GRADING AND DRAINAGE PLAN AND ADDITIONAL SITE GRADING & EROSION CONTROL NOTES. THESE SHEETS SHALL REMAIN A PERMANENT PART OF THE SWPPP AFTER CONSTRUCTION IS COMPLETE.

**TYPICAL NOTES**

- ALL CONTROL MEASURES MUST BE PROPERLY SELECTED, INSTALLED, AND MAINTAINED IN ACCORDANCE WITH THE MANUFACTURER SPECIFICATIONS AND THE CONTRACT DOCUMENTS. IF PERIODIC INSPECTIONS OR OTHER INFORMATION INDICATES A CONTROL HAS BEEN USED INAPPROPRIATELY OR INCORRECTLY, THE CONTRACTOR MUST REPLACE OR MODIFY THE CONTROL FOR SITE SITUATIONS.
- IF SEDIMENT ESCAPES THE CONSTRUCTION SITE, OFF-SITE ACCUMULATIONS OF SEDIMENT THAT HAVE NOT REACHED A STREAM MUST BE REMOVED IMMEDIATELY TO MINIMIZE OFF-SITE IMPACTS. PERMITTEES SHALL NOT INITIATE REDEMEDIATION/RESTORATION OF A STREAM WITHOUT CONSULTING THE DIVISION FIRST. THIS PERMIT DOES NOT, HOWEVER, AUTHORIZE ACCESS TO PRIVATE PROPERTY.
- SEDIMENT SHOULD BE REMOVED FROM SEDIMENT TRAPS, SILT FENCES, SEDIMENT PONDS, AND OTHER SEDIMENT CONTROLS AS NECESSARY, AND MUST BE REMOVED WHEN DESIGN CAPACITY HAS BEEN REDUCED BY 33%.
- LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS EXPOSED TO STORM WATER SHALL BE PICKED UP PRIOR TO ANTICIPATED STORM EVENTS, OR OTHERWISE PREVENTED FROM BECOMING A POLLUTANT SOURCE FOR STORM WATER DISCHARGES.
- PRE-CONSTRUCTION VEGETATIVE GROUND COVER SHALL NOT BE DESTROYED, REMOVED OR DISTURBED MORE THAN 15 CALENDAR DAYS PRIOR TO GRADING OR EARTH MOVING UNLESS THE AREA IS SEEDED AND/OR MULCHED OR OTHER TEMPORARY COVER IS INSTALLED.
- CLEARING AND GRUBBING MUST BE HELD TO THE MINIMUM NECESSARY FOR GRADING AND EQUIPMENT OPERATION.
- CONSTRUCTION MUST BE SEQUENCED TO MINIMIZE THE EXPOSURE TIME OF GRADED OR DENUDED AREAS.
- EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE AND FUNCTIONAL BEFORE EARTH MOVING OPERATIONS BEGIN, AND MUST BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. TEMPORARY MEASURES MAY BE REMOVED AT THE BEGINNING OF THE WORK DAY, BUT MUST BE REPLACED AT THE END OF THE WORK DAY.
- THE FOLLOWING RECORDS SHALL BE MAINTAINED ON SITE: THE DATES WHEN MAJOR GRADING ACTIVITIES OCCUR; THE DATES WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON A PORTION OF THE SITE; AND THE DATES WHEN STABILIZATION MEASURES ARE INITIATED.
- STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICAL IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN SEVEN DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. EXCEPT IN THE FOLLOWING TWO SITUATIONS: 1. WHERE THE INITIATION OF STABILIZATION MEASURES BY THE SEVENTH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICAL; OR 2. WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 15 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF SITE.
- CONSTRUCTION MUST BE PHASED FOR PROJECTS IN WHICH OVER 50 ACRES OF SOIL WILL BE DISTURBED. AREAS OF THE COMPLETED PHASE MUST BE STABILIZED WITHIN 21 DAYS AFTER ANOTHER PHASE HAS BEEN INITIATED OR OTHERWISE PREVENTED FROM BECOMING A POLLUTANT SOURCE FOR STORM WATER DISCHARGES; AFTER USE, SILT FENCES SHOULD BE REMOVED OR OTHERWISE PREVENTED FROM BECOMING A POLLUTANT SOURCE FOR STORM WATER DISCHARGES.
- TEMPORARY OR PERMANENT SOIL STABILIZATION SHALL BE ACCOMPLISHED WITHIN 15 DAYS AFTER FINAL GRADING OR OTHER EARTH WORK. PERMANENT STABILIZATION WITH PERENNIAL VEGETATION OR OTHER PERMANENTLY STABLE, NON-ERODING SURFACE SHALL REPLACE ANY TEMPORARY MEASURES AS SOON AS PRACTICABLE.
- NO SOLID MATERIALS INCLUDING BUILDING MATERIAL, SHALL BE DISCHARGED TO WATERS OF THE UNITED STATES EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT AND/OR TENNESSEE AQUATIC RESOURCE ALTERATION PERMIT.
- OFF-SITE VEHICLE TRACKING OF SEDIMENTS AND THE GENERATION OF DUST SHALL BE MINIMIZED.

**SITE ASSESSMENT NOTES**

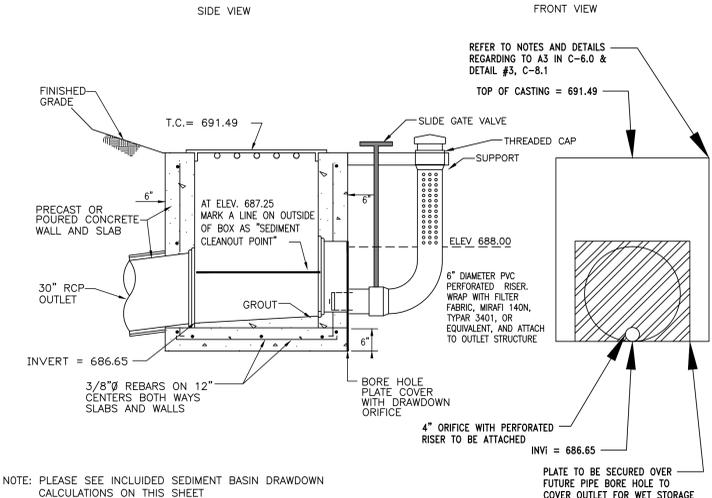
- THE SITE ASSESSMENT SHALL BE PERFORMED BY INDIVIDUALS WITH THE FOLLOWING QUALIFICATIONS:
  - A LICENSED PROFESSIONAL ENGINEER OR LANDSCAPE ARCHITECT
  - A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL (CPESC) OR
  - A PERSON THAT SUCCESSFULLY COMPLETED THE "LEVEL II DESIGN PRINCIPLES FOR EROSION PREVENTION AND SEDIMENT CONTROL FOR CONSTRUCTION SITES" COURSE.
- QUALITY ASSURANCE OF EROSION PREVENTION AND SEDIMENT CONTROLS SHALL BE DONE BY PERFORMING SITE ASSESSMENT AT A CONSTRUCTION SITE. THE SITE ASSESSMENT SHALL BE CONDUCTED AT EACH OUTFALL INVOLVING DRAINAGE TOTALING 10 OR MORE ACRES OR 5 OR MORE ACRES IF DRAINING TO AN IMPAIRED OR EXCEPTIONAL QUALITY WATERS, WITHIN A MONTH OF CONSTRUCTION COMMENCING AT EACH PORTION OF THE SITE THAT DRAINS THE QUALIFYING ACREAGE OF SUCH PORTION OF THE SITE.
- AS A MINIMUM, SITE ASSESSMENT SHOULD BE PERFORMED TO VERIFY THE INSTALLATION, FUNCTIONALITY AND PERFORMANCE OF THE EPSC MEASURES DESCRIBED IN THE SWPPP REPORT. THE SITE ASSESSMENT SHOULD BE PERFORMED WITH THE INSPECTOR, AND SHOULD INCLUDE A REVIEW AND UPDATE (IF APPLICABLE) OF THE SWPPP REPORT. MODIFICATIONS OF PLANS AND SPECIFICATIONS FOR ANY BUILDING OR STRUCTURE, INCLUDING THE DESIGN OF SEDIMENT BASINS OR OTHER SEDIMENT CONTROLS INVOLVING STRUCTURAL, HYDRAULIC, HYDROLOGIC OR OTHER ENGINEERING CALCULATIONS SHALL BE PREPARED BY A LICENSED PROFESSIONAL ENGINEER OR LANDSCAPE ARCHITECT AND STAMPED AND CERTIFIED IN ACCORDANCE WITH THE TENNESSEE CODE ANNOTATED, TITLE 62, CHAPTER 2 AND THE RULES OF THE TENNESSEE BOARD OF ARCHITECTURAL AND ENGINEERING EXAMINERS.
- THE SITE ASSESSMENT FINDINGS SHALL BE DOCUMENTED AND THE DOCUMENTATION KEPT WITH THE SWPPP REPORT AT THE SITE. AT A MINIMUM, THE DOCUMENTATION SHALL INCLUDE INFORMATION INCLUDED IN THE INSPECTION FORM PROVIDED IN APPENDIX D OF THE SWPPP REPORT. THE DOCUMENTATION MUST CONTAIN THE PRINTED NAME AND SIGNATURE OF THE INDIVIDUAL PERFORMING THE SITE ASSESSMENT AND THE FOLLOWING CERTIFICATION:
 

"I CERTIFY UNDER PENALTY OF LAW THAT THIS REPORT AND ALL ATTACHMENTS ARE, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS."
- THE SITE ASSESSMENT CAN TAKE THE PLACE OF ONE OF THE TWICE WEEKLY INSPECTIONS REQUIREMENT.
- TDOD MAY REQUIRE ADDITIONAL SITE ASSESSMENT(S) TO BE PERFORMED IF SITE INSPECTION BY TDOD'S PERSONNEL REVEALS SITE CONDITIONS THAT HAVE POTENTIAL OF CAUSING POLLUTION TO THE WATERS OF THE STATE.

**STABILIZATION PRACTICE:**

IN AREAS DESIGNATED TO RECEIVE SEEDED LAWN, THE FOLLOWING SPECIFICATIONS SHALL BE APPLIED: SEEDING MIXTURE SHALL CONSIST OF A "PREMIUM BLEND" OF TALL FESCUE VARIETIES (i.e. BONANZA, ARID, REBEL, SUPREME) FOR PLANTING FROM APRIL 1-OCT. 1. SEED SHALL BE APPLIED AT A RATE OF 8 LBS/1000 S.F.. FERTILIZER SHALL BE APPLIED AT A RATE OF 18 LBS/1000 S.F.. AGRICULTURAL LIMESTONE SHALL BE APPLIED AT A RATE OF 100 LBS/1000 S.F.. STRAW MULCH SHALL BE APPLIED AT A RATE OF ONE BALE/1000 S.F..

**CURB INLET A3**

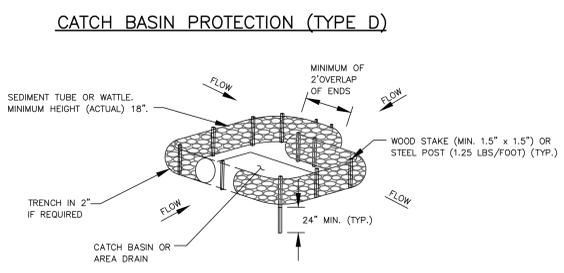


NOTE: PLEASE SEE INCLUDED SEDIMENT BASIN DRAWDOWN CALCULATIONS ON THIS SHEET

REFER TO NOTES AND DETAILS REGARDING TO A3 IN C-6.0 & DETAIL #5, C-8.1  
TOP OF CASTING = 691.49  
AT ELEV. 687.25 MARK A LINE ON OUTSIDE OF BOX AS "SEDIMENT CLEANOUT POINT"  
ELEV 688.00  
6\"/>

5

**SEDIMENT BASIN OUTLET STRUCTURE**  
NOT TO SCALE

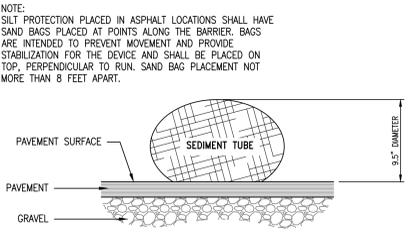


6

**INLET PROTECTION**  
NOT TO SCALE

1

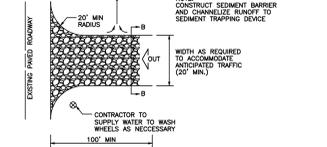
**SEDIMENT TUBE**  
NOT TO SCALE



NOTE: SILT PROTECTION PLACED IN ASPHALT LOCATIONS SHALL HAVE SAND BAGS PLACED AT POINTS ALONG THE BARRIER. BAGS ARE INTENDED TO PREVENT MOVEMENT AND PROVIDE STABILIZATION FOR THE DEVICE AND SHALL BE PLACED ON TOP, PERPENDICULAR TO RUN. SAND BAG PLACEMENT NOT MORE THAN 8 FEET APART.

2

**TEMPORARY CONSTRUCTION ENTRANCE**  
NOT TO SCALE



3

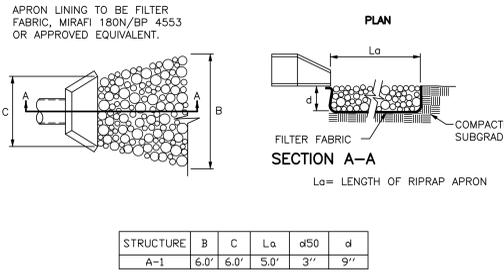
**SILT FENCE**  
NOT TO SCALE



NOTE: 1) Maximum a 12\"/>

4

**RIP-RAP OUTLET PROTECTION**  
NOT TO SCALE



STRUCTURE	B	C	La	d50	d
A-1	6.0'	6.0'	5.0'	3"	9"

RIP RAP STONE SHALL BE "FRACTURED FACED" WITH AT LEAST THREE DISTINCT SIDES. PROVIDE AND INSTALL IN ACCORDANCE WITH SECTION 709 OF THE CURRENT EDITION OF THE TENNESSEE DEPARTMENT OF TRANSPORTATION BUREAU OF HIGHWAYS - NASHVILLE - STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.  
d50 BY DEFINITION = 50% OF THE STONE BY WEIGHT SHALL BE THE SIZE NOTED OR SMALLER.  
CONTRACTOR SHALL UNIFORMLY DISTRIBUTE STONE SIZES THROUGHOUT DITCH.

TCP - 25  
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**Littlejohn**  
1935 21st Avenue South, NASHVILLE, TENNESSEE 37212  
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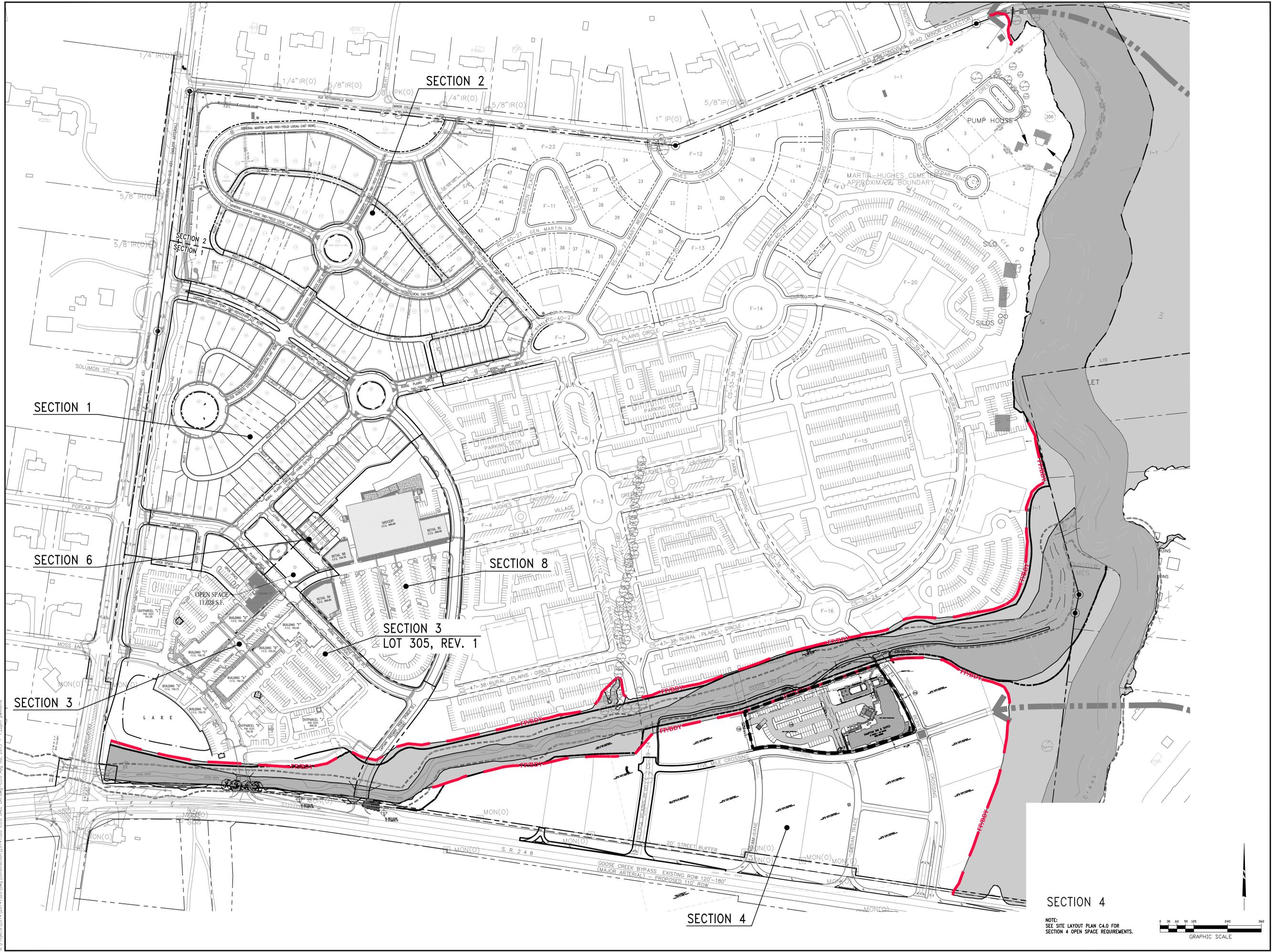
CITY OF FRANKLIN PROJECT NO. 5887  
SITE PLAN SUBMITTAL  
**BERRY FARMS PUD SUBDIVISION**  
SECTION 4, LOT 199, REVISION I (HAMPTON INN & SUITES)  
FRANKLIN, TENNESSEE

BNB-WCO INVESTORS, LLC  
ON BEHALF OF RURAL PLAINS PARTNERSHIP  
2000 Meridian Boulevard Suite 250  
Franklin, TN 37067  
615.550.5580



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**C4.2**  
EROSION PROTECTION & SEDIMENT CONTROL DETAILS



CITY OF FRANKLIN PROJECT NO. 5887  
 SITE PLAN SUBMITTAL  
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 2000 Meridian Boulevard Suite 250  
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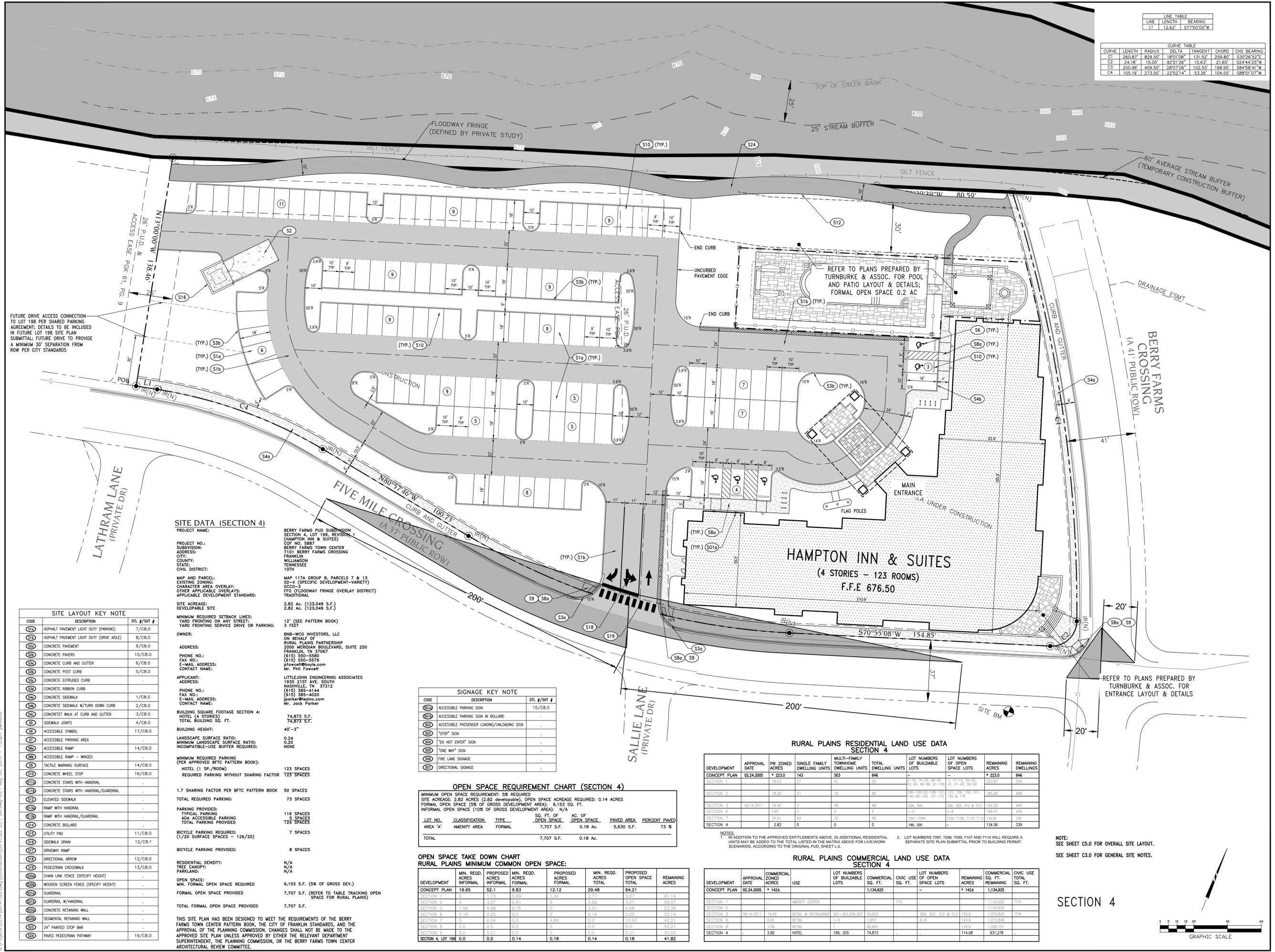


DATE	REVISIONS
08.06.15	CDP COMMENTS
2015.07.13	20141520

**C5.0**  
 OVERALL SITE LAYOUT

SECTION 4  
 NOTE:  
 SEE SITE LAYOUT PLAN C4.0 FOR SECTION 4 OPEN SPACE REQUIREMENTS.  
 0 30 60 90 120 150 180 210 240 270 300 330 360  
 GRAPHIC SCALE

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LINE TABLE		CURVE TABLE	
LINE	LENGTH	DELTA	TANGENT
L1	12.62'	S77°00'00"W	

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHD BEARING
C1	260.87'	829.50'	18°01'08"	131.52'	259.80'	S30°26'52"E
C2	24.18'	15.00'	92°21'26"	15.63'	21.65'	S24°44'25"W
C3	200.96'	409.50'	28°07'06"	102.55'	198.95'	S84°58'41"W
C4	105.19'	273.50'	22°02'14"	53.26'	104.55'	S69°01'07"W

**SITE DATA (SECTION 4)**

**PROJECT NAME:** BERRY FARMS PUD SUBDIVISION SECTION 4, LOT 199, REVISION 1 (HAMPTON INN & SUITES)  
**PROJECT NO.:** COF. NO. 5887  
**ADDRESS:** BERRY FARMS TOWN CENTER 7101 BERRY FARMS CROSSING FRANKLIN, TENNESSEE 37067  
**CITY:** FRANKLIN  
**COUNTY:** WILLIAMSON  
**STATE:** TENNESSEE  
**CIVIL DISTRICT:** 10TH

**MAP AND PARCEL:** MAP 117A GROUP B, PARCELS 7 & 13  
**EXISTING ZONING:** SD-X (SPECIFIC DEVELOPMENT-VARIETY)  
**CHARACTER AREA OVERLAY:** GCCO-3  
**OTHER APPLICABLE OVERLAYS:** FFD (FLOODWAY FRINGE OVERLAY DISTRICT)  
**APPLICABLE DEVELOPMENT STANDARD:** TRADITIONAL

**SITE ACREAGE:** 2.82 Ac. (123,049 S.F.)  
**DEVELOPABLE SITE:** 2.82 Ac. (123,049 S.F.)

**MINIMUM REQUIRED SETBACK LINES:**  
 YARD FRONTING ON ANY STREET: 12' (SEE PATTERN BOOK)  
 YARD FRONTING SERVICE DRIVE OR PARKING: 3 FEET

**OWNER:** BNB-WCO INVESTORS, LLC ON BEHALF OF RURAL PLAINS PARTNERSHIP 2000 MERIDIAN BOULEVARD, SUITE 250 FRANKLIN, TN 37067 (615) 550-5580 (615) 550-5576 bfnwco@bfnwco.com Mr. Phil Fowcett

**APPLICANT:** LITTLEJOHN ENGINEERING ASSOCIATES 1385 21ST AVE. SOUTH NASHVILLE, TN 37212 (615) 385-4144 (615) 385-4000 lparker@leinc.com Mr. Jack Parker

**ADDRESS:** 7101 BERRY FARMS CROSSING FRANKLIN, TN 37067  
**PHONE NO.:** (615) 550-5580  
**FAX NO.:** (615) 550-5576  
**E-MAIL ADDRESS:** bfnwco@bfnwco.com  
**CONTACT NAME:** Mr. Phil Fowcett

**BUILDING SQUARE FOOTAGE SECTION 4:** 74,873 S.F.  
**HOTEL (4 STORIES):** 74,873 S.F.  
**TOTAL BUILDING SQ. FT.:** 74,873 S.F.

**BUILDING HEIGHT:** 40'-3"

**LANDSCAPE SURFACE RATIO:** 0.24  
**MINIMUM LANDSCAPE SURFACE RATIO:** 0.24  
**INCOMPATIBLE-USE BUFFER REQUIRED:** NONE

**MINIMUM REQUIRED PARKING (PER APPROVED BFC PATTERN BOOK):**  
**HOTEL (1 SP./ROOM):** 123 SPACES  
**REQUIRED PARKING WITHOUT SHARING FACTOR:** 123 SPACES

**1.7 SHARING FACTOR PER BFC PATTERN BOOK:** 50 SPACES  
**TOTAL REQUIRED PARKING:** 73 SPACES

**PARKING PROVIDED:**  
**TYPICAL PARKING:** 119 SPACES  
**ADA ACCESSIBLE PARKING:** 5 SPACES  
**TOTAL PARKING PROVIDED:** 124 SPACES

**BICYCLE PARKING REQUIRED:** (1/20 SURFACE SPACES - 126/20) 7 SPACES  
**BICYCLE PARKING PROVIDED:** 8 SPACES

**RESIDENTIAL DENSITY:** N/A  
**TREE CANOPY:** N/A  
**PARKLAND:** N/A

**OPEN SPACE:**  
**MIN. FORMAL OPEN SPACE REQUIRED:** 6,153 S.F. (5% OF GROSS DEV.)  
**FORMAL OPEN SPACE PROVIDED:** 7,707 S.F. (REFER TO TABLE TRACKING OPEN SPACE FOR RURAL PLAINS)

**TOTAL FORMAL OPEN SPACE PROVIDED:** 7,707 S.F.

**THIS SITE PLAN HAS BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE BERRY FARMS TOWN CENTER PATTERN BOOK, THE CITY OF FRANKLIN STANDARDS, AND THE APPROVAL OF THE PLANNING COMMISSION. CHANGES SHALL NOT BE MADE TO THE APPROVED SITE PLAN UNLESS APPROVED BY EITHER THE RELEVANT DEPARTMENT SUPERINTENDENT, THE PLANNING COMMISSION, OR THE BERRY FARMS TOWN CENTER ARCHITECTURAL REVIEW COMMITTEE.**

**SIGNAGE KEY NOTE**

CODE	DESCRIPTION	DTL #/SHT #
S10	ACCESSIBLE PARKING SIGN	15/CB.0
S11	ACCESSIBLE PARKING SIGN IN BOLLARD	-
S12	ACCESSIBLE PASSENGER LOADING/UNLOADING SIGN	-
S13	"STOP" SIGN	-
S14	"DO NOT ENTER" SIGN	-
S15	"ONE WAY" SIGN	-
S16	FIRE LANE SIGNAGE	-
S17	DIRECTIONAL SIGNAGE	-

**OPEN SPACE REQUIREMENT CHART (SECTION 4)**

MINIMUM OPEN SPACE REQUIREMENT: 5% REQUIRED  
 SITE ACREAGE: 2.82 ACRES (2.82 developable), OPEN SPACE ACREAGE REQUIRED: 0.14 ACRES  
 FORMAL OPEN SPACE (5% OF GROSS DEVELOPMENT AREA): 6,153 SQ. FT.  
 INFORMAL OPEN SPACE (10% OF GROSS DEVELOPMENT AREA): N/A

LOT NO.	CLASSIFICATION	TYPE	SQ. FT. OF OPEN SPACE	AC. OF OPEN SPACE	PAVED AREA	PERCENT PAVED
AREA "A"	AMENITY AREA	FORMAL	7,707 S.F.	0.18 Ac.	5,630 S.F.	73 %
TOTAL			7,707 S.F.	0.18 Ac.		

**OPEN SPACE TAKE DOWN CHART RURAL PLAINS MINIMUM COMMON OPEN SPACE:**

DEVELOPMENT	MIN. REQ'D ACRES	PROPOSED ACRES	MIN. REQ'D ACRES FORMAL	PROPOSED ACRES FORMAL	MIN. REQ'D ACRES TOTAL	PROPOSED ACRES TOTAL	REMAINING ACRES
CONCEPT PLAN	19.65	52.1	9.83	12.12	29.48	64.21	
SECTION 1	0	1.73	0.69	1.34	2.77	3.07	61.14
SECTION 2	0	3.07	0.91	0	3.66	3.07	58.07
SECTION 3	1.50	4.68	0.79	0	3.01	4.68	53.39
SECTION 6	0.16	0.25	0.0	0	0.16	0.25	53.14
SECTION 7	0	6.04	0.0	4.89	0.0	10.93	42.21
SECTION 8	0.0	0.0	0.0	0	0.0	0.0	42.21
SECTION 9	0.0	0.21	0.0	0	0.0	0.21	42.00
SECTION 4, LOT 199	0.0	0.0	0.14	0.18	0.14	0.18	41.82

**RURAL PLAINS RESIDENTIAL LAND USE DATA SECTION 4**

DEVELOPMENT	APPROVAL DATE	PR ZONED ACRES	SINGLE FAMILY DWELLING UNITS	MULTI-FAMILY TOWNHOME DWELLING UNITS	TOTAL DWELLING UNITS	LOT NUMBERS OF BUILDABLE	LOT NUMBERS OF OPEN SPACE LOTS	REMAINING ACRES	REMAINING DWELLINGS
CONCEPT PLAN	02.24.2005	* 223.0	143	503	646	-	-	* 223.0	646
SECTION 1	18.03.01	51	41	92	143	14-33, 36-48, 42-60, 66-88, 91-106	11, 11-13, 34-36, 41, 61-65, 69-90	203.97	554
SECTION 2	18.09.01	51	15	66	106-120, 122-136, 131-146, 148-160, 161-175	121, 126, 130, 147, 160 & 176	-	185.68	488
SECTION 3	09.14.2011	16.40	0	48	48	304, 305	300, 309, 312 & 313	169.28	440
SECTION 6	0.81	5	0	5	5	1-5	6-8	168.47	435
SECTION 7	08.41	84	32	96	180	1901-1999	7102-7108, 7110-7112	134.06	339
SECTION 4	2.82	0	0	0	199, 205	-	-	134.06	339

NOTES:  
 1. IN ADDITION TO THE APPROVED ENTITLEMENTS ABOVE, 25 ADDITIONAL RESIDENTIAL UNITS MAY BE ADDED TO THE TOTAL LISTED IN THE MATRIX ABOVE FOR LIVABLEWORK SCENARIOS, ACCORDING TO THE ORIGINAL PUD SHEET L-2.  
 2. LOT NUMBERS 7097, 7098, 7099, 7107 AND 7110 WILL REQUIRE A SEPARATE SITE PLAN SUBMITTAL PRIOR TO BUILDING PERMIT.

**RURAL PLAINS COMMERCIAL LAND USE DATA SECTION 4**

DEVELOPMENT	APPROVAL DATE	COMMERCIAL ZONED ACRES	USE	LOT NUMBERS OF BUILDABLE LOTS	COMMERCIAL SQ. FT.	CIVIC SQ. FT.	LOT NUMBERS OF OPEN SPACE LOTS	REMAINING ACRES	COMMERCIAL SQ. FT. REMAINING	CIVIC USE TOTAL SQ. FT.
CONCEPT PLAN	02.24.2005	* 142z			1,134,625	-	-	* 142z	1,134,625	
SECTION 1			AMENITY CENTER			774			1,134,625	774
SECTION 2									1,134,625	
SECTION 3	09.14.2011	18.40	RETAIL & RESTAURANT	301-303, 306, 307	59,820		300, 303, 312 & 313	125.6	1,074,805	774
SECTION 6	0.81	RETAIL	1-5	1,957		6-8		124.8	1,072,848	
SECTION 8	7.90	RETAIL	1	66,697				116.9	1,006,151	
SECTION 4	2.82	HOTEL		199, 205	74,873			114.08	931,278	

**SITE LAYOUT KEY NOTE**

CODE	DESCRIPTION	DTL #/SHT #
S18	ASPHALT PAVEMENT LIGHT DUTY (PARKING)	7/CB.0
S19	ASPHALT PAVEMENT LIGHT DUTY (DRIVE ANGLE)	8/CB.0
S20	CONCRETE PAVEMENT	9/CB.0
S21	CONCRETE PAVERS	10/CB.0
S22	CONCRETE CURB AND GUTTER	6/CB.0
S23	CONCRETE POST CURB	5/CB.0
S24	CONCRETE EXTRUDED CURB	-
S25	CONCRETE RIBBON CURB	-
S26	CONCRETE SIDEWALK	1/CB.0
S27	CONCRETE SIDEWALK W/TURN DOWN CURB	2/CB.0
S28	CONCRETE WALK AT CURB AND GUTTER	3/CB.0
S29	SIDEWALK JOINTS	4/CB.0
S30	ACCESSIBLE SYMBOL	-
S31	ACCESSIBLE PARKING AREA	-
S32	ACCESSIBLE RAMP	14/CB.0
S33	ACCESSIBLE RAMP - WINGED	-
S34	TACTILE WARNING SURFACE	14/CB.0
S35	CONCRETE WHEEL STOP	16/CB.0
S36	CONCRETE STAIRS WITH HANDRAIL	-
S37	CONCRETE STAIRS WITH HANDRAIL/GUARDRAIL	-
S38	ELEVATED SIDEWALK	-
S39	RAMP WITH HANDRAIL	-
S40	RAMP WITH HANDRAIL/GUARDRAIL	-
S41	CONCRETE BOLLARD	-
S42	UTILITY PAD	11/CB.0
S43	SIDEWALK DRAIN	12/CB.1
S44	DRIVEWAY RAMP	-
S45	DIRECTIONAL ARROW	12/CB.0
S46	PEDESTRIAN CROSSWALK	13/CB.0
S47	CHAIN LINK FENCE (SPECIFY HEIGHT)	-
S48	WOODEN SCREEN FENCE (SPECIFY HEIGHT)	-
S49	GUARDRAIL	-
S50	GUARDRAIL W/HANDRAIL	-
S51	CONCRETE RETAINING WALL	-
S52	SEGMENTAL RETAINING WALL	-
S53	24" PAINTED STOP BAR	-
S54	PAVED PEDESTRIAN PATHWAY	19/CB.0

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CITY OF FRANKLIN PROJECT NO. 5887  
 SITE PLAN SUBMITTAL  
**BERRY FARMS PUD SUBDIVISION**  
 SECTION 4, LOT 199, REVISION 1 (HAMPTON INN & SUITES)  
 FRANKLIN, TENNESSEE

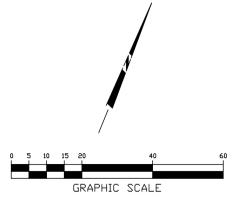
BNB-WCO INVESTORS, LLC  
 ON BEHALF OF RURAL PLAINS PARTNERSHIP  
 2000 Meridian Boulevard Suite 250 Franklin, TN 37067 615.550.5580



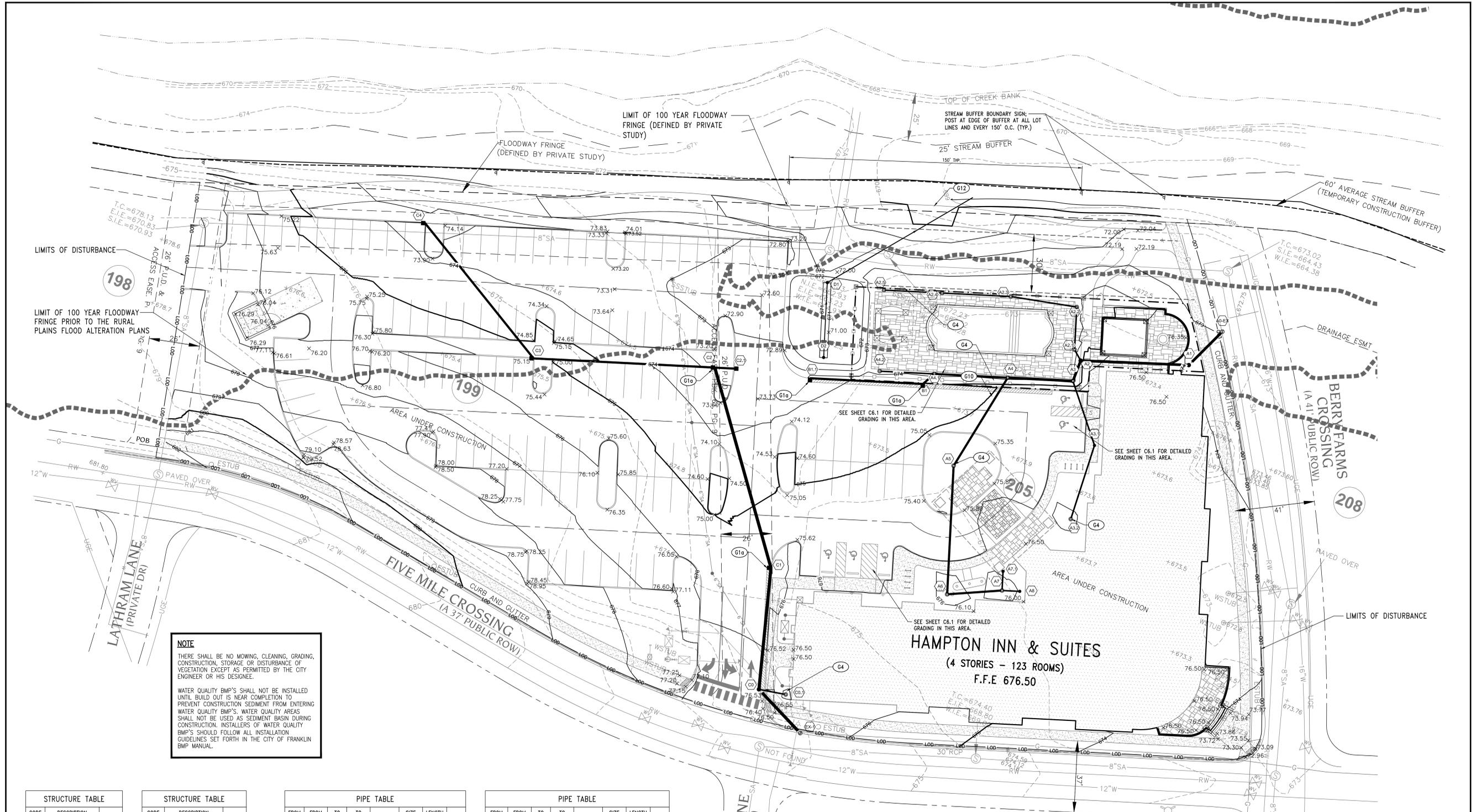
DATE	REVISIONS
08.06.15	COF COMMENTS
2015.07.13	20141520

**C5.1**  
 SITE LAYOUT

SECTION 4



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**NOTE**  
 THERE SHALL BE NO MOWING, CLEANING, GRADING, CONSTRUCTION, STORAGE OR DISTURBANCE OF VEGETATION EXCEPT AS PERMITTED BY THE CITY ENGINEER OR HIS DESIGNER.  
 WATER QUALITY BMP'S SHALL NOT BE INSTALLED UNTIL BUILD OUT IS NEAR COMPLETION TO PREVENT CONSTRUCTION SEDIMENT FROM ENTERING WATER QUALITY BMP'S. WATER QUALITY AREAS SHALL NOT BE USED AS SEDIMENT BASIN DURING CONSTRUCTION. INSTALLERS OF WATER QUALITY BMP'S SHOULD FOLLOW ALL INSTALLATION GUIDELINES SET FORTH IN THE CITY OF FRANKLIN BMP MANUAL.

CODE	DESCRIPTION	ELEVATION
CO	MANHOLE	676.40
CD.1	NDS DRAIN	675.80
C1	SINGLE CURB INLET	673.61
C2	SINGLE CURB INLET	673.36
C2.1	SINGLE CURB INLET	673.36
C3	SINGLE CURB INLET	675.13
C4	SINGLE CURB INLET	673.77
EX-1	EXISTING MANHOLE	671.57

CODE	DESCRIPTION	ELEVATION
A0-EX	EXISTING CURB INLET	672.37
A1	MANHOLE	673.87
A2	WATER QUALITY UNIT	674.68
A2.1	NDS DRAIN	673.65
A2.2	NDS DRAIN	673.65
A2.3	NDS DRAIN	673.65
A2.4	NDS DRAIN	673.65
A2.5	NDS DRAIN	673.65
A3	NDS DRAIN	673.65
A3.1	ROOF DRAIN	676.39
A3.2	NDS DRAIN	675.75
A4	NDS DRAIN	673.65
A4.1	NDS DRAIN	673.65
A4.2	NDS DRAIN	673.65
A5	NDS DRAIN	675.77
A6	NDS DRAIN	675.75
A7	NDS DRAIN	675.75
A7.1	ROOF DRAIN	676.10
A8	ROOF DRAIN	676.04
B1	SINGLE CURB INLET	674.37
B1.1	SINGLE CURB INLET	673.79
D1	CLEANOUT	672.50
D2	CLEANOUT	671.00

FROM CODE	FROM INV.	TO CODE	TO INV.	GRADE %	SIZE INCHES	LENGTH L.F.	TYPE
CO	670.01	EX-1	669.90	0.36%	18"	31	RCP
CO.1	674.00	CO	673.70	2.15%	8"	14	HDPE
C1	670.23	CO	670.01	0.35%	18"	63	RCP
C1	670.23	C2	670.61	0.35%	18"	108	RCP
C2.1	671.20	C2	671.11	0.90%	12"	10	RCP
C3	671.44	C2	671.11	0.35%	12"	93	RCP
C4	671.75	C3	671.44	0.35%	12"	89	RCP

FROM CODE	FROM INV.	TO CODE	TO INV.	GRADE %	SIZE INCHES	LENGTH L.F.	TYPE
A0-EX	670.57	A1	670.70	0.53%	15"	24	RCP
A1	670.70	A2	671.00	0.54%	15"	55	RCP
A2	671.58	A2.1	671.62	0.62%	8"	6	HDPE
A2.1	671.62	A2.2	671.73	0.50%	8"	22	HDPE
A2.2	671.73	A2.3	671.90	0.50%	8"	34	HDPE
A2.4	672.07	A2.3	671.90	0.48%	8"	35	HDPE
A2.4	672.07	A2.5	672.22	0.50%	8"	30	HDPE
A3	671.07	A2	671.00	0.62%	15"	11	RCP
A3.1	673.37	A3	671.65	4.90%	8"	35	HDPE
A3.1	673.37	A3.2	674.00	1.58%	8"	40	HDPE
A4	671.21	A3	671.07	0.42%	15"	33	RCP
A4	671.51	A4.1	671.70	0.51%	12"	38	RCP
A4	671.46	A5	671.78	0.60%	12"	53	RCP
A4.1	672.03	A4.2	672.15	0.43%	8"	28	HDPE
A5	671.78	A6	672.16	0.57%	12"	67	RCP
A7	672.50	A6	672.16	1.21%	12"	28	RCP
A7.1	673.20	A7	672.83	3.73%	8"	10	HDPE
A8	673.30	A7	672.83	5.18%	8"	9	HDPE
B1	671.74	A4.1	671.70	0.51%	12"	8	RCP
B1	671.74	B1.1	671.93	0.33%	12"	58	RCP
D1	669.00	D68.80	0.23%	4"	87	HDPE	
D2	669.00	D1	669.00	0.00%	4"	39	HDPE

CODE	DESCRIPTION	DTL #/SHT #
G10	SINGLE CURB INLET	1/CB.1
G10	DOUBLE CURB INLET	-
G20	SINGLE CATCH BASIN	2/CB.1
G20	DOUBLE CATCH BASIN	-
G3	JUNCTION MANHOLE	11/CB.1
G4	NDS DRAIN INLET	13/CB.1
G5	CLEANOUT	3/CB.1
G60	CONCRETE HEADWALL STRAIGHT	-
G60	CONCRETE HEADWALL WINGED	-
G7	BUILDING DOWNSPOUT CONNECTION	-
G8	CONCRETE FLUME	-
G9	RETENTION POND OUTLET STRUCTURE	-
G10	WATER QUALITY STRUCTURE	-
G11	CURB CUT	-
G12	SIDEWALK DRAIN	12/CB.1
G13	TRENCH DRAIN	-
G14	RAIN GARDEN	-
G15	TRANSITION FROM FLUSH CONDITIONS TO 6" CURB OVER FEET	-

SECTION 4

NOTE:  
 SEE SITE OVERALL LAYOUT PLAN C5.0 FOR SECTION 4 OPEN SPACE REQUIREMENTS.



CITY OF FRANKLIN PROJECT NO. 5887  
 SITE PLAN SUBMITTAL  
**BERRY FARMS PUD SUBDIVISION**  
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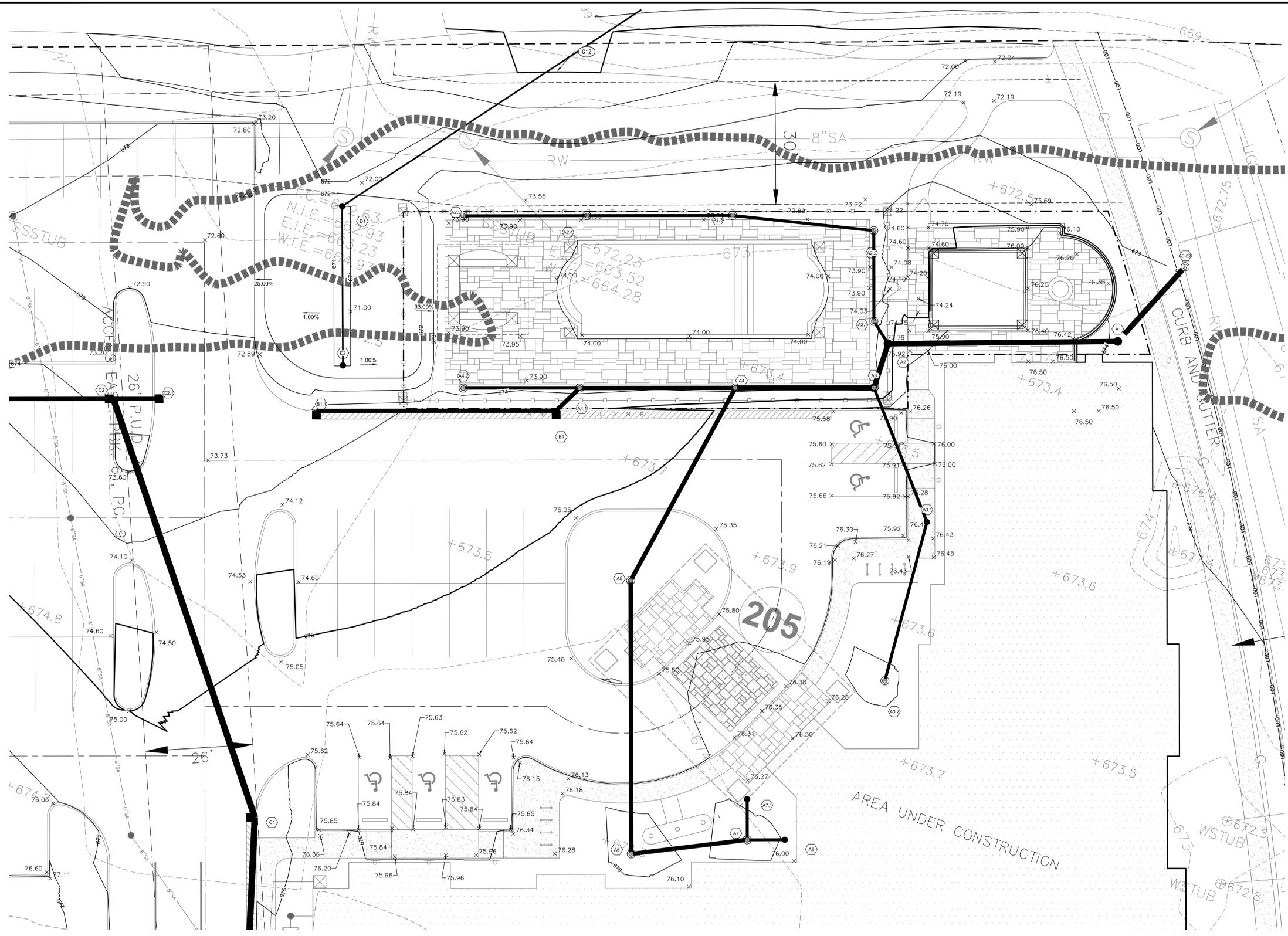


DATE	REVISIONS
08.06.15	CDP COMMENTS
2015.07.13	20141520

**C6.0**  
 SITE GRADING AND DRAINAGE

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GRADING & DRAINAGE KEY NOTE		
CODE	DESCRIPTION	DTL #/SHT #
616	SINGLE CURB INLET	1/CB.1
616a	DOUBLE CURB INLET	.
626	SINGLE CATCH BASIN	2/CB.1
626a	DOUBLE CATCH BASIN	.
63	JUNCTION MANHOLE	11/CB.1
64	INDS DRAIN INLET	13/CB.1
65	CLEANOUT	3/CB.1
66a	CONCRETE HEADWALL STRAIGHT	.
66b	CONCRETE HEADWALL WINGED	.
67	BUILDING DOWNSPOUT CONNECTION	.
68	CONCRETE FLUME	.
69	DETENTION POND OUTLET STRUCTURE	.
610	WATER QUALITY STRUCTURE	.
611	CURB CUT	.
612	SIDEWALK DRAIN	12/CB.1
613	TRENCH DRAIN	.
614	RAIN GARDEN	.
615	TRANSITION FROM FLUSH CONDITIONS TO 6" CURB OVER ___ FEET	.

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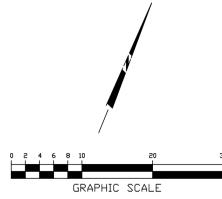
CITY OF FRANKLIN PROJECT NO. 5887  
 SITE PLAN SUBMITTAL  
**BERRY FARMS PUD SUBDIVISION**  
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 FRANKLIN, TENNESSEE

BNB-WCO INVESTORS, LLC  
 ON BEHALF OF RURAL PLAINS PARTNERSHIP  
 2000 Meridian Boulevard Suite 250  
 Franklin, TN 37067  
 615.590.5580



DATE	CDP COMMENTS	REVISIONS
2015.07.13		20141520

**C6.1**  
 SITE GRADING AND DRAINAGE



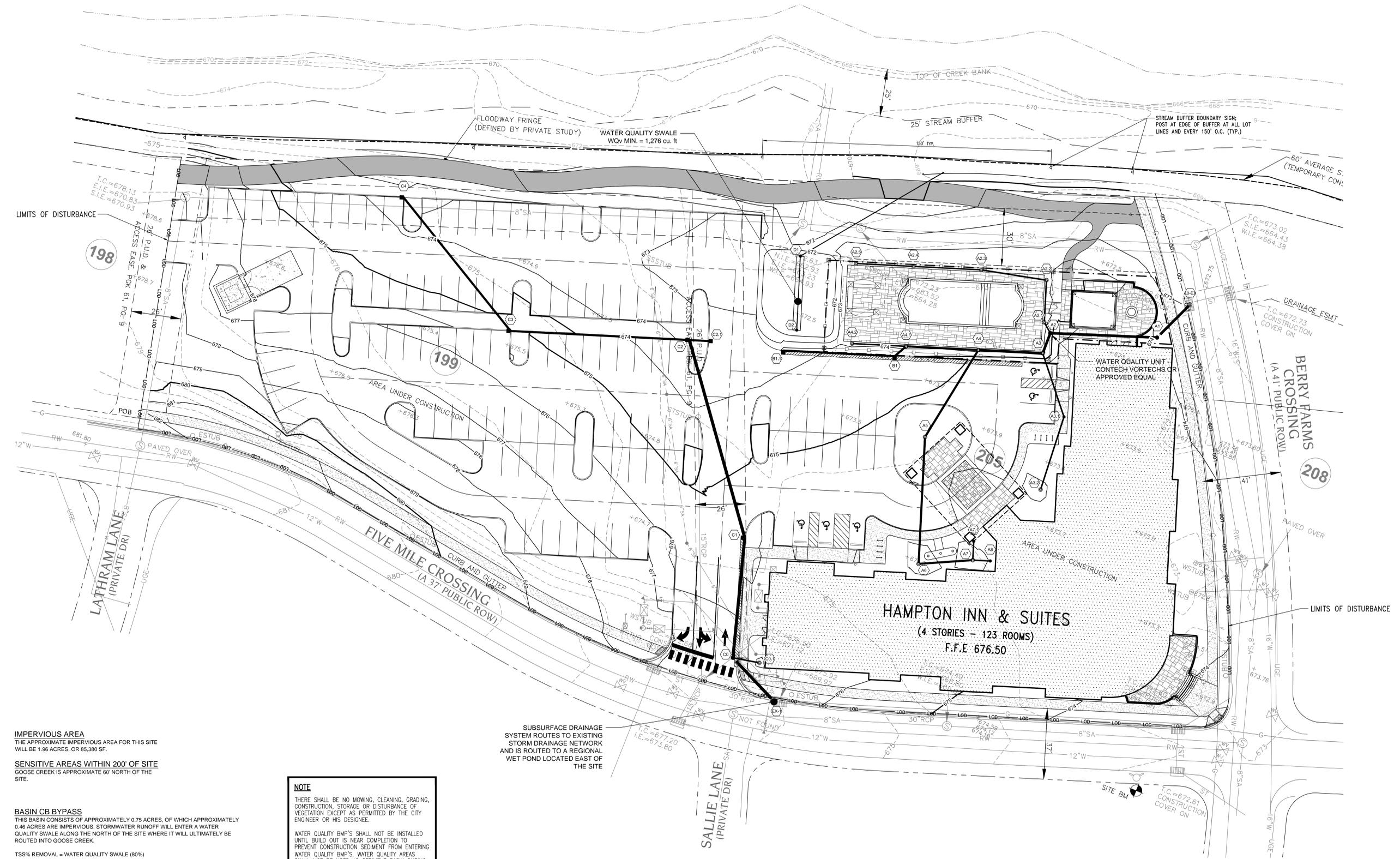
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2015.07.13	20141520

**C6.2**  
 STORMWATER MANAGEMENT PLAN



**IMPERVIOUS AREA**  
 THE APPROXIMATE IMPERVIOUS AREA FOR THIS SITE WILL BE 1.96 ACRES, OR 85,380 SF.

**SENSITIVE AREAS WITHIN 200' OF SITE**  
 GOOSE CREEK IS APPROXIMATE 60' NORTH OF THE SITE.

**BASIN CB BYPASS**  
 THIS BASIN CONSISTS OF APPROXIMATELY 0.75 ACRES, OF WHICH APPROXIMATELY 0.46 ACRES ARE IMPERVIOUS. STORMWATER RUNOFF FROM THIS BASIN WILL BE DIRECTED TO REGIONAL WATER QUALITY TREATMENT IN THE SOUTHEAST OF THE OVERALL SECTION 4 DEVELOPMENT. IT WILL TRAVEL VIA SUBSURFACE DRAINAGE TO THE SOUTHEAST WHERE IT WILL BE TREATED BY AN EXISTING WATER QUALITY UNIT, AND THEN AN EXISTING WET POND.

**BASIN A1**  
 THIS BASIN CONSISTS OF APPROXIMATELY 1.01 ACRES, OF WHICH APPROXIMATELY 0.67 ACRES ARE IMPERVIOUS. STORMWATER RUNOFF FROM THIS BASIN WILL BE DIRECTED TO REGIONAL WATER QUALITY TREATMENT IN THE SOUTHEAST OF THE OVERALL SECTION 4 DEVELOPMENT. IT WILL TRAVEL VIA SUBSURFACE DRAINAGE TO THE SOUTHEAST WHERE IT WILL BE TREATED BY AN EXISTING WATER QUALITY UNIT, AND THEN AN EXISTING WET POND.

**BASIN A3**  
 THIS BASIN CONSISTS OF APPROXIMATELY 0.96 ACRES, OF WHICH APPROXIMATELY 0.83 ACRES ARE IMPERVIOUS. STORMWATER RUNOFF FROM THIS BASIN WILL ENTER SUBSURFACE DRAINAGE VIA AREA INLETS AND ROOF DOWNSPOUTS, AND BE DIRECTED THROUGH AN APPROVED 50% TSS REMOVAL WATER QUALITY STRUCTURE. IT WILL THEN CONTINUE VIA SUBSURFACE DRAINAGE TO THE EAST, WHERE IT WILL EXIT AND PASS THROUGH AN EXISTING BIORETENTION SWALE.

**NOTE**  
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 WATER QUALITY BMP'S SHALL NOT BE INSTALLED UNTIL BUILD OUT IS NEAR COMPLETION TO PREVENT CONSTRUCTION SEDIMENT FROM ENTERING WATER QUALITY BMP'S. WATER QUALITY AREAS SHALL NOT BE USED AS SEDIMENT BASIN DURING CONSTRUCTION. INSTALLERS OF WATER QUALITY BMP'S SHOULD FOLLOW ALL INSTALLATION GUIDELINES SET FORTH IN THE CITY OF FRANKLIN BMP MANUAL.

REGIONAL WATER QUALITY DRAWDOWN CHART

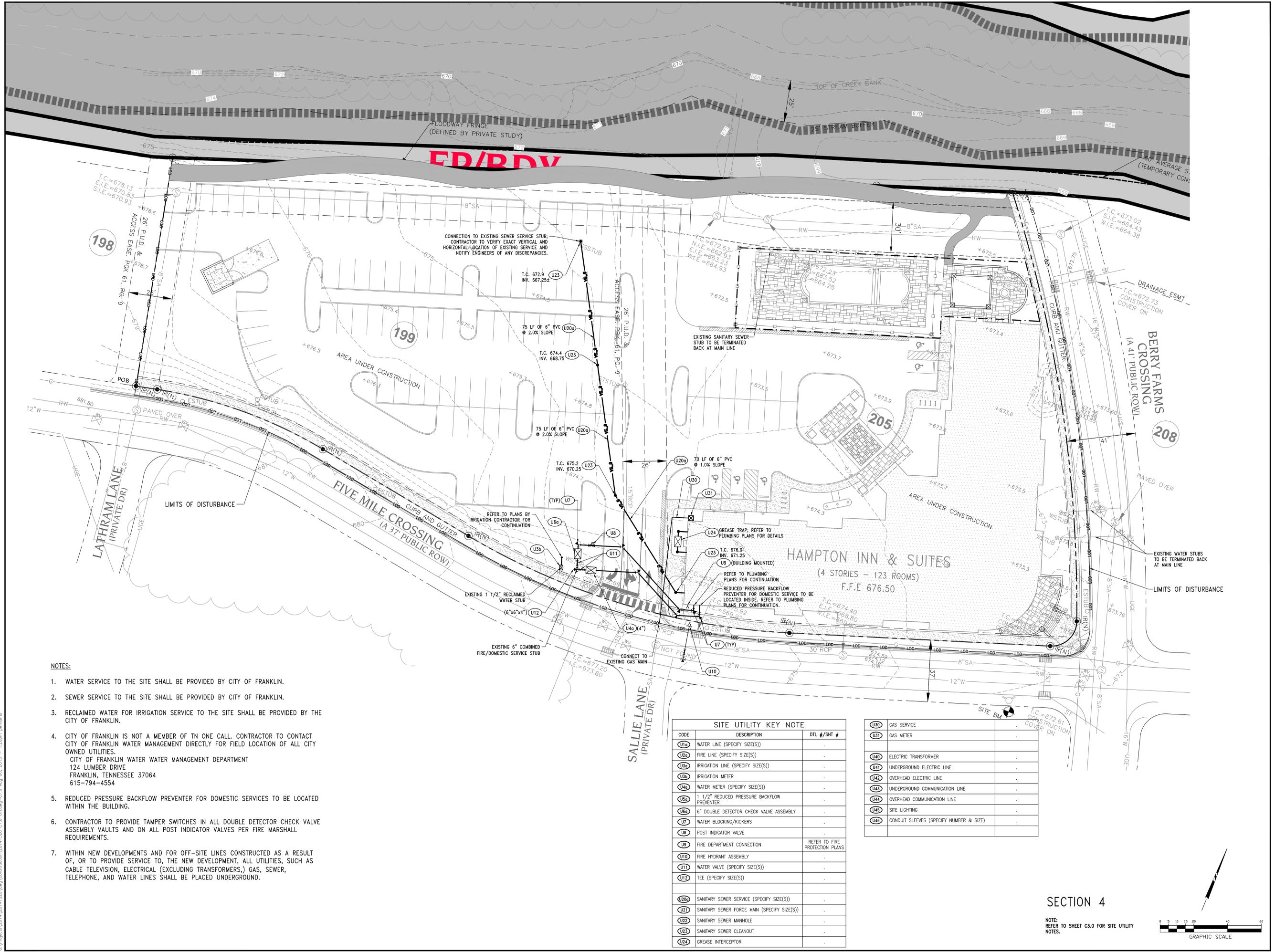
	EXISTING WQv TREATMENT AVAILABLE	WQv CONTRIBUTION FROM SITE	WQv ALLOCATED FROM PREVIOUSLY APPROVED DEVELOPMENT	POST DEVELOPMENT WQv TREATMENT AVAILABLE
BASIN A1				
POND STP_A1	27,094 ft <sup>3</sup>	2,522 ft <sup>3</sup>	0 ft <sup>3</sup>	24,572 ft <sup>3</sup>
BASIN A3				
BRA_A3	4,530 ft <sup>3</sup>	3,181 ft <sup>3</sup>	0 ft <sup>3</sup>	1,349 ft <sup>3</sup>

SECTION 4

NOTE:  
 SEE SITE OVERALL LAYOUT PLAN C5.0 FOR SECTION 4 OPEN SPACE REQUIREMENTS.



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- NOTES:**
1. WATER SERVICE TO THE SITE SHALL BE PROVIDED BY CITY OF FRANKLIN.
  2. SEWER SERVICE TO THE SITE SHALL BE PROVIDED BY CITY OF FRANKLIN.
  3. RECLAIMED WATER FOR IRRIGATION SERVICE TO THE SITE SHALL BE PROVIDED BY THE CITY OF FRANKLIN.
  4. CITY OF FRANKLIN IS NOT A MEMBER OF TN ONE CALL. CONTRACTOR TO CONTACT CITY OF FRANKLIN WATER MANAGEMENT DIRECTLY FOR FIELD LOCATION OF ALL CITY OWNED UTILITIES.  
CITY OF FRANKLIN WATER MANAGEMENT DEPARTMENT  
124 LUMBER DRIVE  
FRANKLIN, TENNESSEE 37064  
615-794-4554
  5. REDUCED PRESSURE BACKFLOW PREVENTER FOR DOMESTIC SERVICES TO BE LOCATED WITHIN THE BUILDING.
  6. CONTRACTOR TO PROVIDE TAMPER SWITCHES IN ALL DOUBLE DETECTOR CHECK VALVE ASSEMBLY VAULTS AND ON ALL POST INDICATOR VALVES PER FIRE MARSHALL REQUIREMENTS.
  7. WITHIN NEW DEVELOPMENTS AND FOR OFF-SITE LINES CONSTRUCTED AS A RESULT OF, OR TO PROVIDE SERVICE TO, THE NEW DEVELOPMENT, ALL UTILITIES, SUCH AS CABLE TELEVISION, ELECTRICAL (EXCLUDING TRANSFORMERS,) GAS, SEWER, TELEPHONE, AND WATER LINES SHALL BE PLACED UNDERGROUND.

SITE UTILITY KEY NOTE		
CODE	DESCRIPTION	DTL #/SHT #
U10	WATER LINE (SPECIFY SIZE(S))	.
U20	FIRE LINE (SPECIFY SIZE(S))	.
U30	IRRIGATION LINE (SPECIFY SIZE(S))	.
U32	IRRIGATION METER	.
U34	WATER METER (SPECIFY SIZE(S))	.
U35	1 1/2" REDUCED PRESSURE BACKFLOW PREVENTER	.
U36	6" DOUBLE DETECTOR CHECK VALVE ASSEMBLY	.
U37	WATER BLOCKING/KICKERS	.
U38	POST INDICATOR VALVE	.
U39	FIRE DEPARTMENT CONNECTION	REFER TO FIRE PROTECTION PLANS
U10	FIRE HYDRANT ASSEMBLY	.
U11	WATER VALVE (SPECIFY SIZE(S))	.
U12	TEE (SPECIFY SIZE(S))	.
U20	SANITARY SEWER SERVICE (SPECIFY SIZE(S))	.
U21	SANITARY SEWER FORCE MAIN (SPECIFY SIZE(S))	.
U22	SANITARY SEWER MANHOLE	.
U23	SANITARY SEWER CLEANOUT	.
U24	GREASE INTERCEPTOR	.

U30	GAS SERVICE
U31	GAS METER
U40	ELECTRIC TRANSFORMER
U41	UNDERGROUND ELECTRIC LINE
U42	OVERHEAD ELECTRIC LINE
U43	UNDERGROUND COMMUNICATION LINE
U44	OVERHEAD COMMUNICATION LINE
U45	SITE LIGHTING
U46	CONDUIT SLEEVES (SPECIFY NUMBER & SIZE)

SECTION 4

NOTE: REFER TO SHEET C5.0 FOR SITE UTILITY NOTES.



CITY OF FRANKLIN PROJECT NO. 5887  
SITE PLAN SUBMITTAL  
**BERRY FARMS PUD SUBDIVISION**  
SECTION 4, LOT 199, REVISION I (HAMPTON INN & SUITES)  
FRANKLIN, TENNESSEE

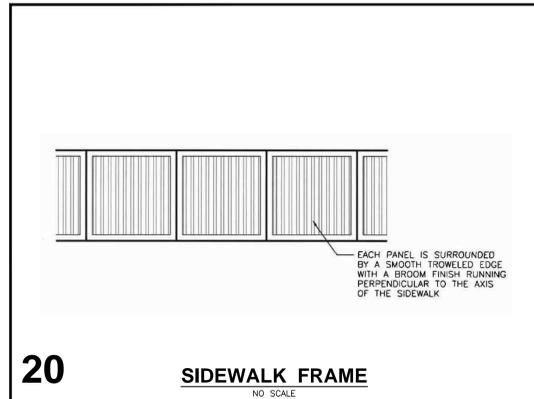
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Suite 250  
Franklin, TN 37067  
615.590.5580



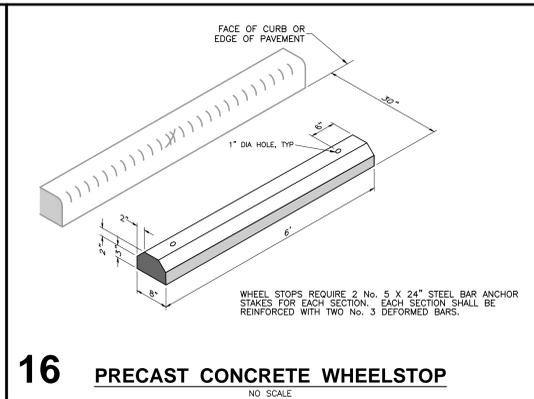
DATE	REVISIONS
08.06.15	CDP COMMENTS
2015.07.13	20141520

**C7.0**  
SITE UTILITIES

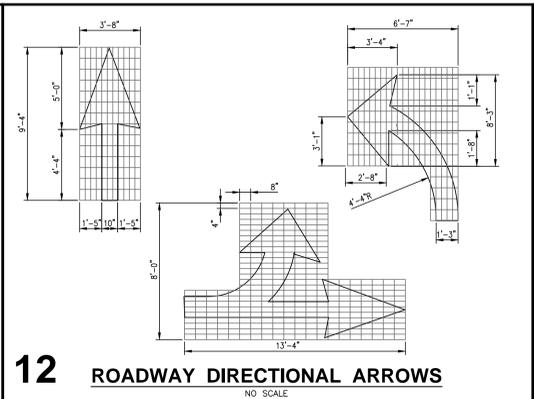
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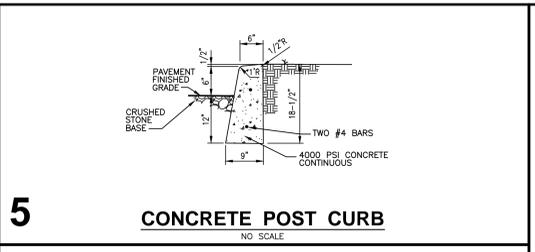
**20** **SIDEWALK FRAME**  
NO SCALE



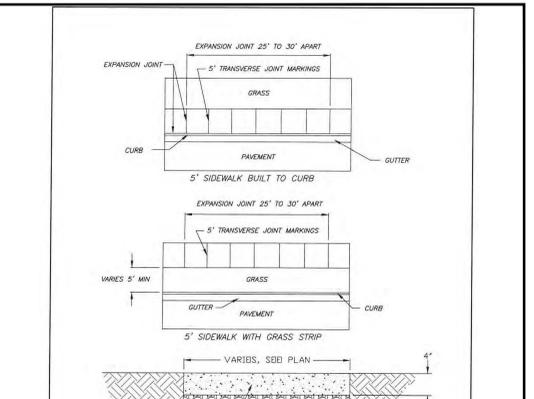
**16** **PRECAST CONCRETE WHEELSTOP**  
NO SCALE



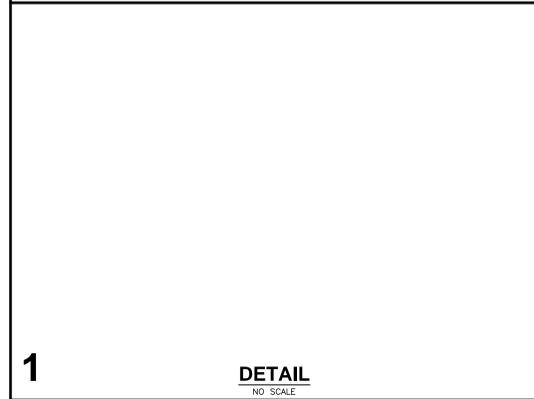
**12** **ROADWAY DIRECTIONAL ARROWS**  
NO SCALE



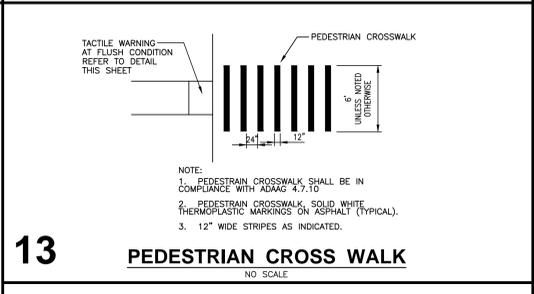
**5** **CONCRETE POST CURB**  
NO SCALE



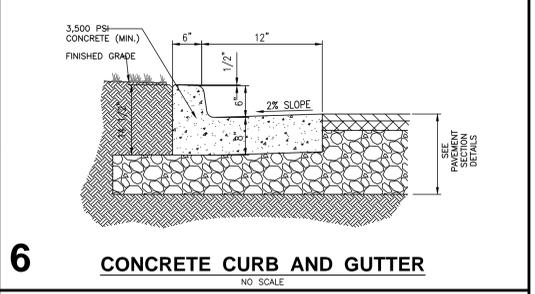
**1** **CONCRETE SIDEWALK**  
NO SCALE



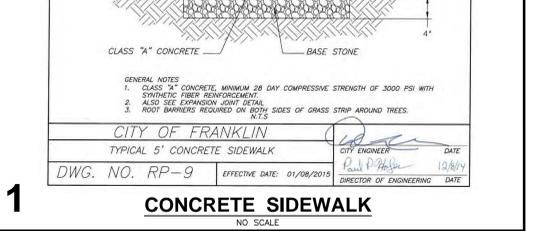
**17** **PAINTED ACCESSIBLE SYMBOL**  
NO SCALE



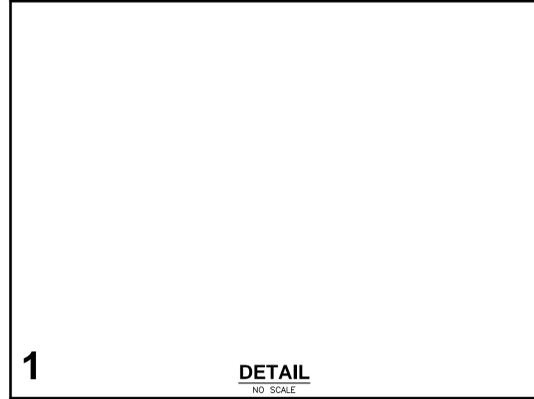
**13** **PEDESTRIAN CROSSWALK**  
NO SCALE



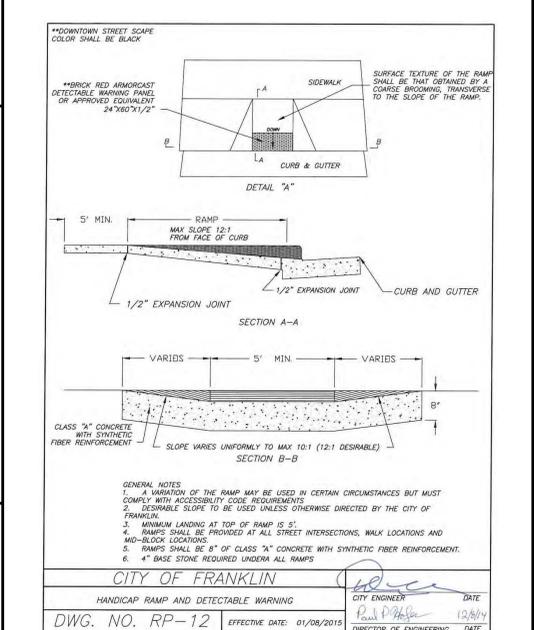
**6** **CONCRETE CURB AND GUTTER**  
NO SCALE



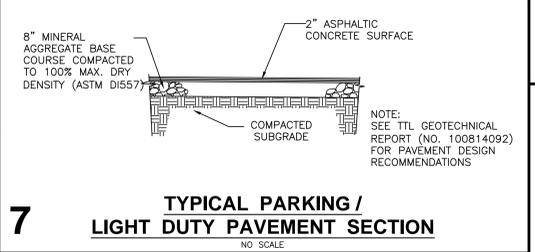
**2** **SIDEWALK W/ TURN DOWN CURB**  
NO SCALE



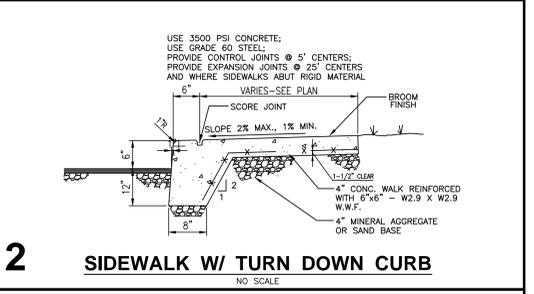
**18** **CONCRETE RIBBON CURB**  
NO SCALE



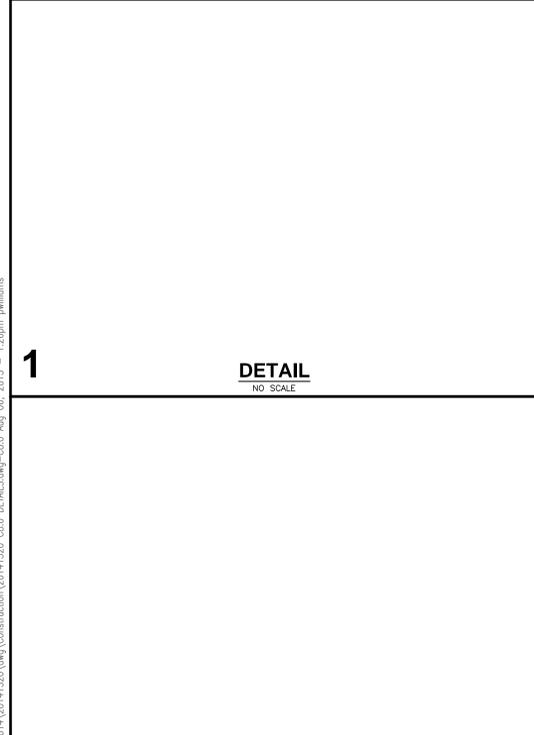
**14** **HANDICAP RAMP AND DETECTABLE WARNING**  
NO SCALE



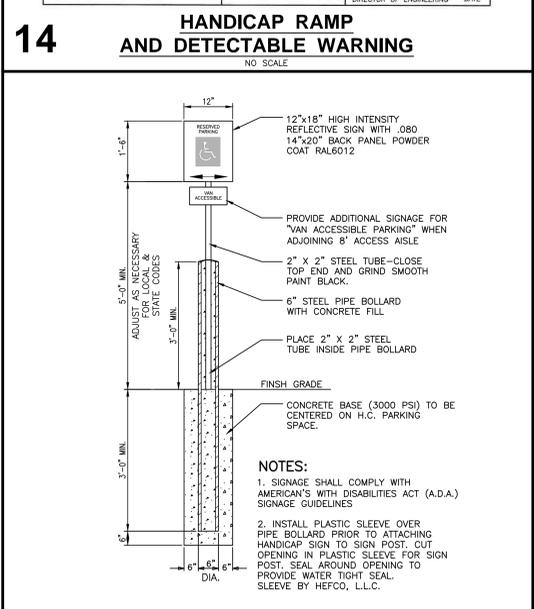
**7** **TYPICAL PARKING / LIGHT DUTY PAVEMENT SECTION**  
NO SCALE



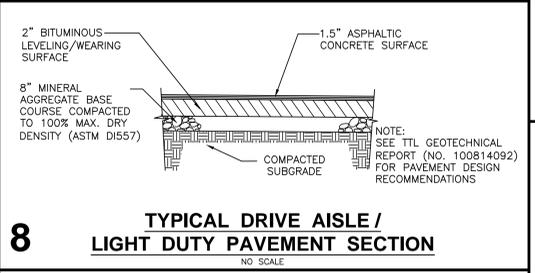
**3** **SIDEWALK AT CURB AND GUTTER**  
NO SCALE



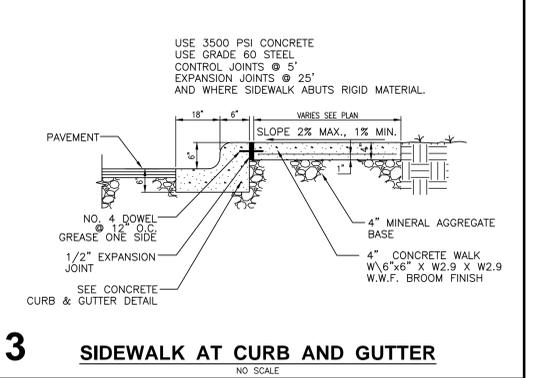
**19** **PAVED PEDESTRIAN PATHWAY**  
NO SCALE



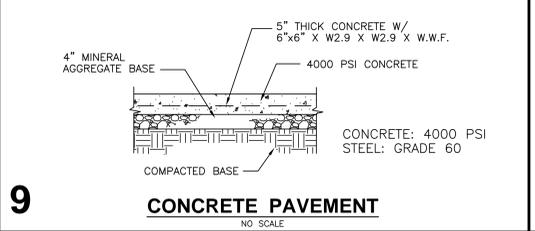
**15** **ACCESSIBLE PARKING SIGN**  
NO SCALE



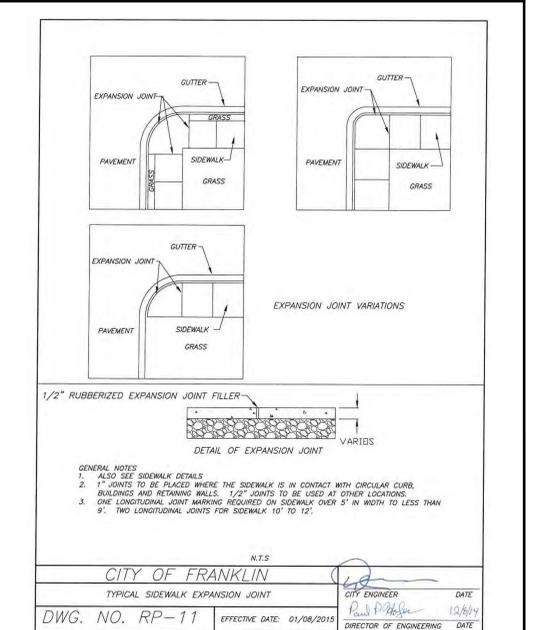
**8** **TYPICAL DRIVE AISLE / LIGHT DUTY PAVEMENT SECTION**  
NO SCALE



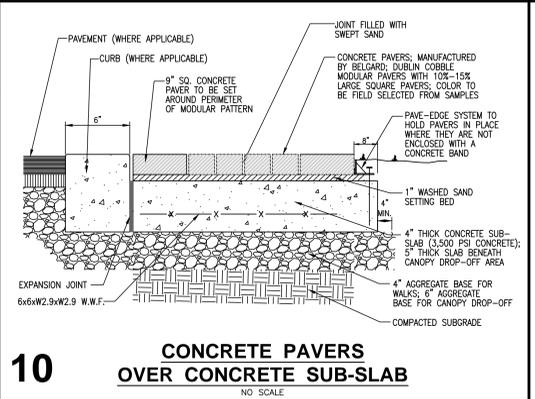
**4** **SIDEWALK JOINTS**  
NO SCALE



**9** **CONCRETE PAVEMENT**  
NO SCALE



**11** **UTILITY PAD**  
NO SCALE



**10** **CONCRETE PAVERS OVER CONCRETE SUB-SLAB**  
NO SCALE



**1** **DETAIL**  
NO SCALE



**1** **DETAIL**  
NO SCALE



**1** **DETAIL**  
NO SCALE



**1** **DETAIL**  
NO SCALE



**1** **DETAIL**  
NO SCALE

**Littlejohn**  
1935 21st Avenue South, NASHVILLE, TENNESSEE 37212  
T 615.985.4144 F 615.985.4020 www.littlejohn.com  
Nashville | Chattanooga | Decatur | Huntsville | Knoxville | Orlando | Phoenix | Tampa-Clearing

CITY OF FRANKLIN PROJECT NO. 5887  
SITE PLAN SUBMITTAL  
**BERRY FARMS PUD SUBDIVISION**  
SECTION 4, LOT 199, REVISION I (HAMPTON INN & SUITES)  
FRANKLIN, TENNESSEE

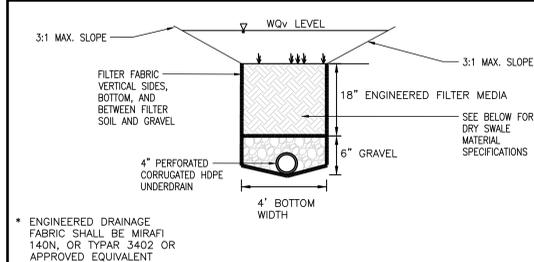
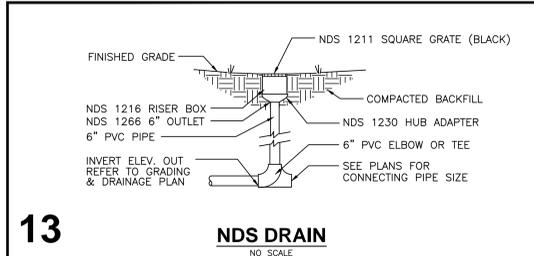
BNB-WCO INVESTORS, LLC  
ON BEHALF OF RURAL PLAINS PARTNERSHIP  
2000 Meridian Boulevard Suite 250  
Franklin, TN 37067  
615.550.5580

LOCKUP PARKING  
AGREEMENT  
NO. 111956  
STATE OF TENNESSEE  
6/6/15

DATE	REVISIONS
08.06.15	COF COMMENTS
2015.07.13	20141520

**C8.0**  
SITE DETAILS

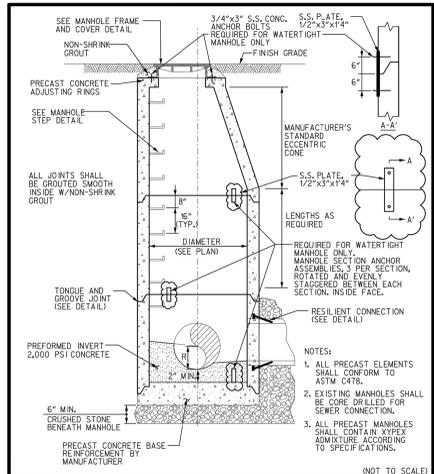
G:\Projects\2014\20141520\DWG\Construction\20141520\_08.0\_Details.dwg - 08.0 Aug 06, 2015 - 1:26pm pavilions



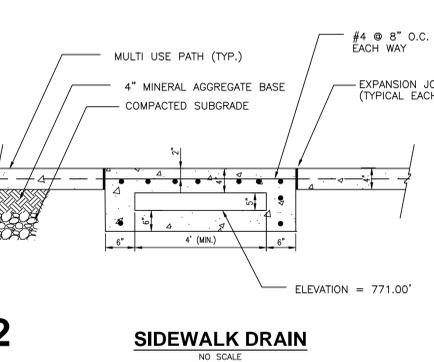
Material Specifications for Dry Swale

Material	Specification/Test Method	Size	Notes
Dry swale soil	USCS; ML, SM, SC	n/a	Soil with a higher percent organic content is preferred
Underdrain gravel	AASHTO-M-43	0.25" to 0.75"	
Geotextile fabric	Class "C" - apparent opening size (ASTM-D-4751), grab tensile strength (ASTM-D-4032), puncture resistance (ASTM-D-4833)	n/a	
Underdrain piping	F 758, Type PS 28 or AASHTO M-278	4" - 6" rigid schedule 40 PVC or SDR35	3/8" perf. @ 6" on center, 4 holes per row; minimum of 3" of gravel over pipes; not necessary underneath pipes

- BIORETENTION CELL OR WATER QUALITY SWALE CONSTRUCTION SEQUENCING:**
- CONTRACTOR IS TO PROVIDE METHOD OF DIVERTING RUNOFF FLOW AROUND THE CONSTRUCTION OF THE BIORETENTION AREA DURING PERIODS OF RAINFALL TO ENSURE SEDIMENT DOES NOT ENTER BIORETENTION AREA.
  - EXCAVATE BIORETENTION AREA. EXCAVATORS OR BACKHOES SHOULD WORK FROM THE SIDES TO EXCAVATE THE BIORETENTION AREA TO THE DESIGN DEPTH AND DIMENSIONS. EXCAVATING EQUIPMENT SHOULD HAVE SCOOPS WITH ADEQUATE REACH SO THEY DO NOT SIT INSIDE THE FOOTPRINT OF THE BIORETENTION AREA.
  - SCARIFY SUBGRADE BY RIPPING THE BOTTOM SOILS TO A DEPTH OF 12 INCHES PRIOR TO STONE PLACEMENT.
  - CALL CITY OF FRANKLIN INSPECTOR FOR INSPECTION 615-791-3218.
  - INSTALL WASHED STONE LAYER. INSTALL UNDERDRAIN PIPES AND CONNECT TO THE OUTLET STRUCTURE. INSTALL ADDITIONAL STONE ON THE UNDERDRAIN PIPES AS PER THE BIORETENTION SECTION DETAIL. CONTRACTOR TO FLAG THE UNDERDRAIN LOCATIONS (3 FT. EACH SIDE) AS THE ADDITIONAL SECTIONS ARE BEING INSTALLED. A SMALL BOBCAT LOADER IS TO BE USED FOR PLACEMENT OF ADDITIONAL SECTIONS AND IS TO AVOID ACCESSING THE AREAS OF THE UNDERDRAIN PIPE INSTALLATION TO PREVENT DAMAGE TO THE PERFORATED PIPE.
  - INSTALL PERMEABLE GEOTEXTILE FABRIC.
  - DELIVER THE SOIL MEDIA AND STORE IT ON PLASTIC SHEETING WITH THE APPROPRIATE EROSION CONTROL MEASURES ON THE DOWNHILL AND BIORETENTION SIDES.
  - CALL CITY OF FRANKLIN INSPECTOR FOR INSPECTION 615-791-3218.
  - INSTALL THE SOIL MEDIA IN 12" LIFTS UNTIL THE DESIRED TOP ELEVATION IS ACHIEVED. WAIT A FEW DAYS TO CHECK FOR SETTLEMENT AND ADD ADDITIONAL MEDIA AS NEEDED TO ACHIEVE THE DESIGN ELEVATIONS. DO NOT COMPACT WITH EQUIPMENT.
  - PREPARE PLANTING HOLES FOR ANY TREES AND SHRUBS, INSTALL THE VEGETATION AND WATER ACCORDINGLY.
  - INSTALL SPECIFIED GROUNDCOVER IN BOTTOM OF BIORETENTION AREA.
  - SOD SLOPES.
- CONTRACTOR TO FLAG LIMITS OF BIORETENTION BASIN FOR SURVEY TO LOCATE AND SHOW ON AS-BUILT PLANS.



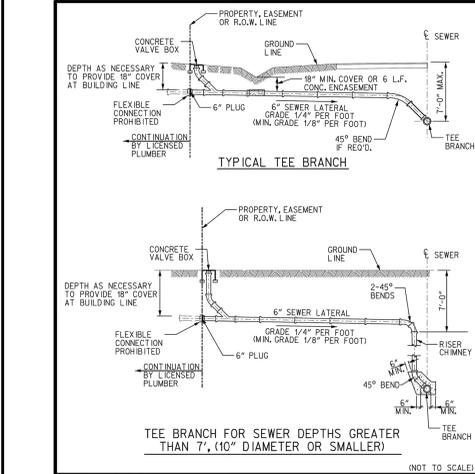
STANDARD DETAIL  
WATER MANAGEMENT DEPARTMENT  
CITY OF FRANKLIN, TENNESSEE  
PRECAST CONCRETE MANHOLE  
WW - 1



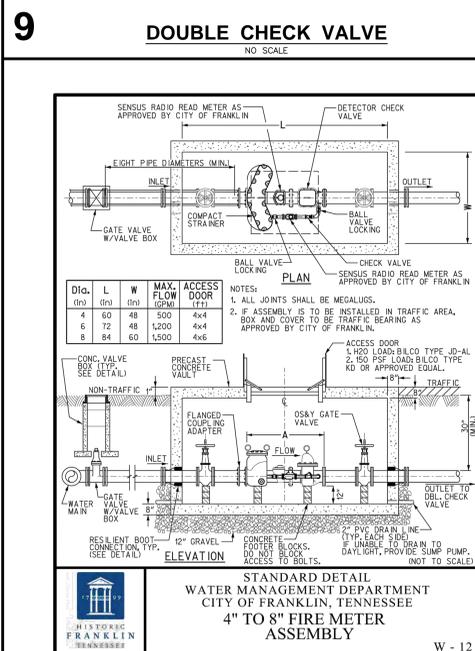
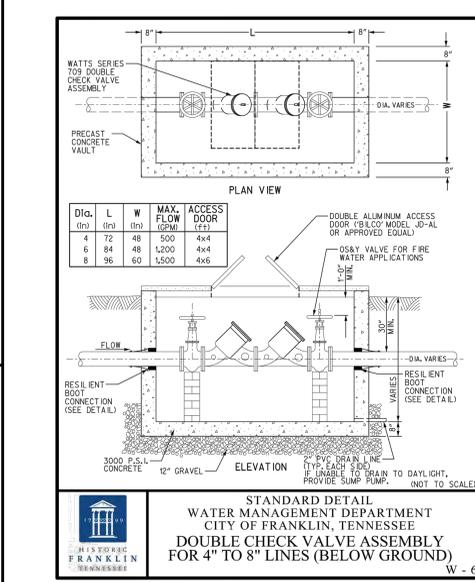
STANDARD DETAIL  
WATER MANAGEMENT DEPARTMENT  
CITY OF FRANKLIN, TENNESSEE  
DOUBLE CHECK VALVE ASSEMBLY FOR 4" TO 8" LINES (BELOW GROUND)  
W - 6



STANDARD DETAIL  
WATER MANAGEMENT DEPARTMENT  
CITY OF FRANKLIN, TENNESSEE  
4" TO 8" FIRE METER ASSEMBLY  
W - 12



STANDARD DETAIL  
WATER MANAGEMENT DEPARTMENT  
CITY OF FRANKLIN, TENNESSEE  
SANITARY SEWER LATERALS  
WW - 3



STANDARD DETAIL  
WATER MANAGEMENT DEPARTMENT  
CITY OF FRANKLIN, TENNESSEE  
FIRE METER ASSEMBLY  
W - 12

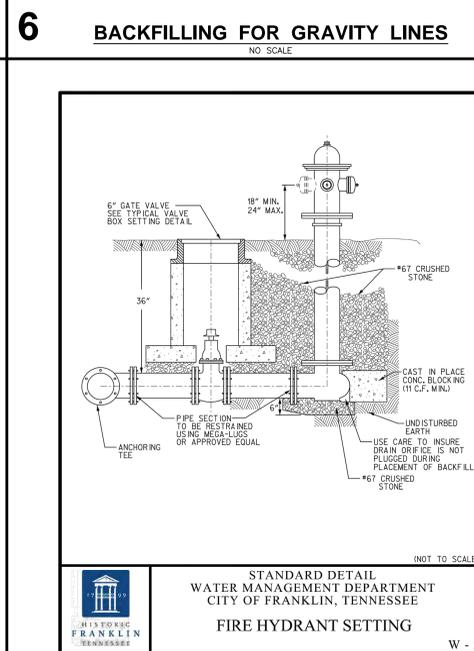
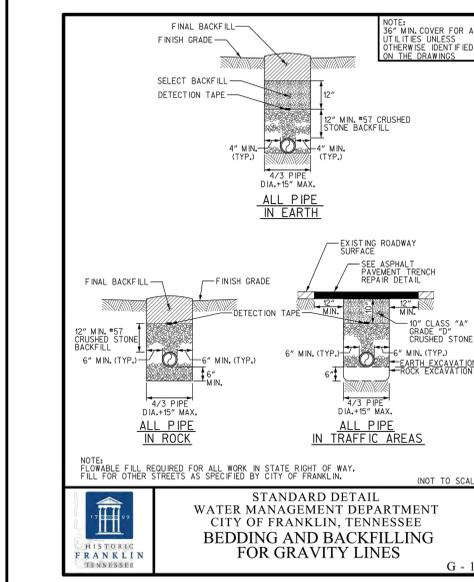
**5 RESTRAINED JOINT TABLE - PVC**  
NO SCALE

LENGTH OF PIPE TO BE RESTRAINED FOR PVC (FEET)

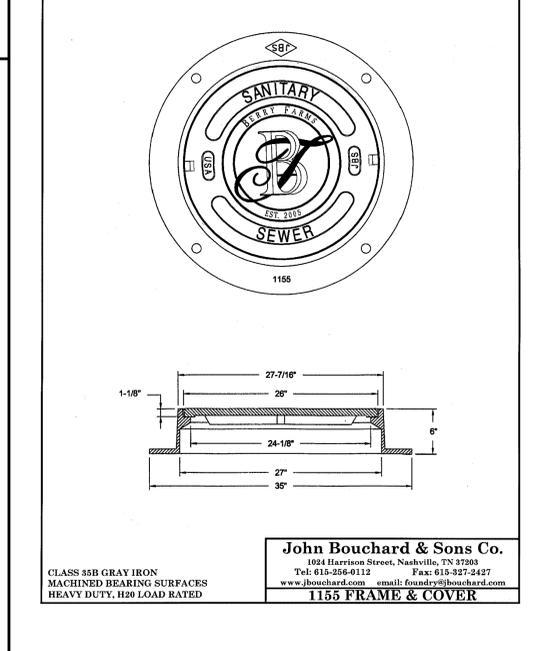
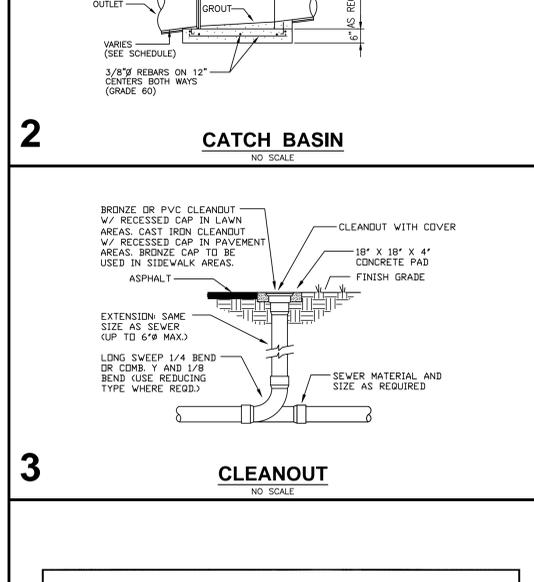
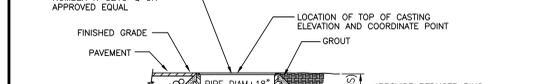
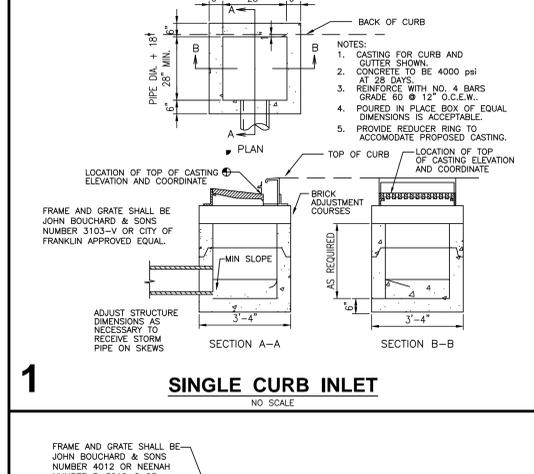
SIZE	DEAD END	TEE & PLUG	90° BEND	45° BEND	22 1/2° BEND	11 1/2° BEND
6"	33	31	15	6	3	2
8"	45	44	20	9	4	2
10"	59	57	26	11	6	3
12"	71	68	31	13	7	3
14"	83	80	36	15	8	4
16"	95	91	41	17	8	4
18"	107	102	46	19	9	5
20"	120	114	51	21	10	5
24"	151	144	63	26	13	7

TABLE APPLIES TO PVC PIPE FOR THE FOLLOWING CONDITIONS:  
1. TEST PRESSURE 150 PSI  
2. SOIL TYPE I/II  
3. LAYING CONDITION TYPE 3  
4. DEPTH OF COVER 3'  
5. SAFETY FACTOR 1.5

STANDARD DETAIL  
WATER MANAGEMENT DEPARTMENT  
CITY OF FRANKLIN, TENNESSEE  
RESTRAINED JOINT TABLE - PVC  
G - 4



STANDARD DETAIL  
WATER MANAGEMENT DEPARTMENT  
CITY OF FRANKLIN, TENNESSEE  
MANHOLE FRAME & COVER  
NO SCALE



STANDARD DETAIL  
WATER MANAGEMENT DEPARTMENT  
CITY OF FRANKLIN, TENNESSEE  
MANHOLE FRAME & COVER  
NO SCALE



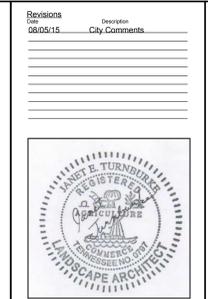
CITY OF FRANKLIN PROJECT NO. 5887  
SITE PLAN SUBMITTAL  
**BERRY FARMS PUD SUBDIVISION**  
SECTION 4, LOT 199, REVISION I (HAMPTON INN & SUITES)  
FRANKLIN, TENNESSEE

BNB-WCO INVESTORS, LLC  
ON BEHALF OF RURAL PLAINS PARTNERSHIP  
2000 Meridian Boulevard Suite 250  
Franklin, TN 37067  
615.590.5580



DATE	REVISIONS
08.06.15	COF COMMENTS
2015.07.13	20141520

**C8.1**  
SITE DETAILS



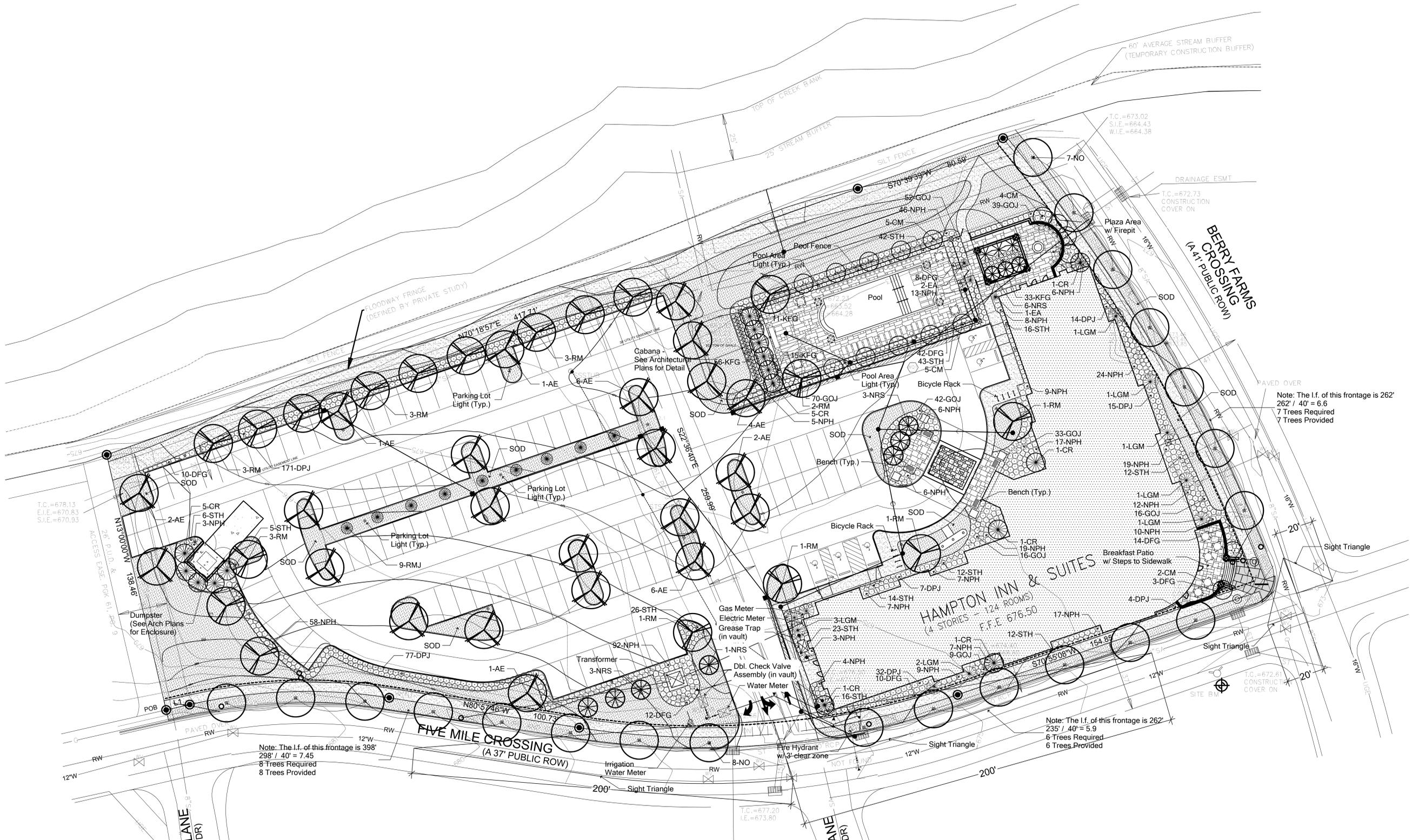
# Berry Farms Town Center - Hampton Inn & Suites

Franklin, Tennessee  
City of Franklin Project # 5086

Sheet Title:  
Site Landscape Plan

Date:  
07/13/2015

Sheet Number:  
L-1



**Landscape Key**

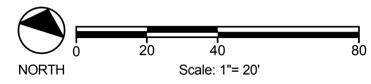
23	AE	Allele Elm
16	CR	Cryptomeria
21	NO	Nuttall Oak
9	RMJ	Rocky Mountain Juniper
18	RM	Red Maple

**Understory Trees**

16	CM	Creepe Myrtle
3	EA	Emerald Arborvitae
10	LGM	Little Gem Magnolia
13	NRS	Nellie R. Stevens Holly

**Shrubs**

QTY.	Plan Name	Common Name
320	DPJ	Dwarf Pfitzer Juniper
277	GOJ	Grey Owl Juniper
407	NPH	Neebles Point Holly
228	STH	Soft Touch Holly



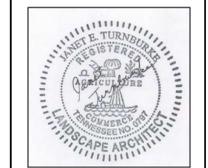
Note: The l.f. of this frontage is 398'  
298' / 40' = 7.45  
8 Trees Required  
8 Trees Provided

Note: The l.f. of this frontage is 262'  
235' / 40' = 5.9  
6 Trees Required  
6 Trees Provided

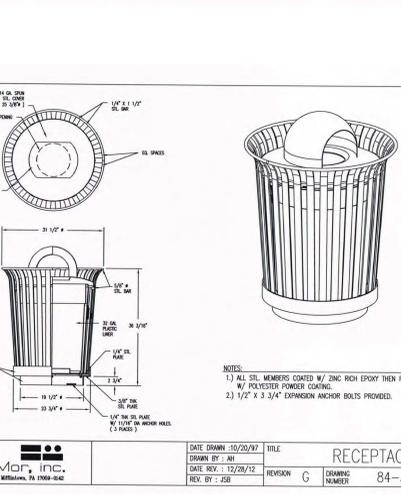
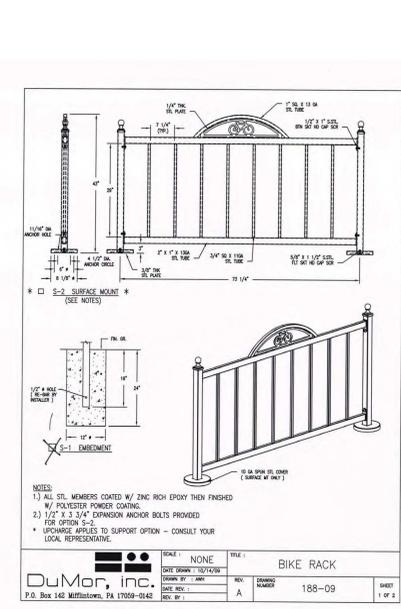
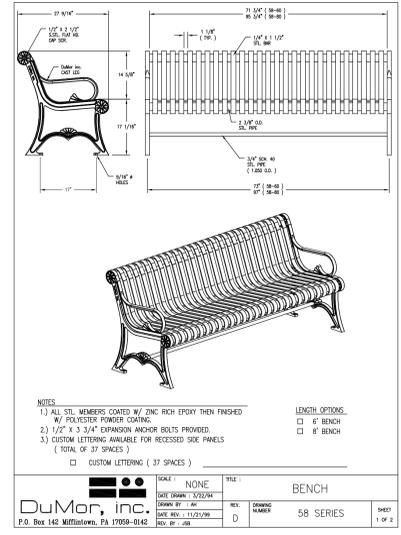
Note: The l.f. of this frontage is 262'  
262' / 40' = 6.6  
7 Trees Required  
7 Trees Provided

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Revisions	Date	Description
08/05/15		City Comments



**Berry Farms Town Center - Hampton Inn & Suites**  
 Franklin, Tennessee  
 City of Franklin Project # 5086



**Landscape Data Chart:** Note: No existing trees on this site

LANDSCAPE DATA	
Berry Farm Town Center PUD Subdivision, Section 4, Lot 199	
Site Acreage: 2.82 acres	
Site Zoning Classification and applicable Overlay: SDX, GCCO-3, FFO	
Development Standards: (Traditional / Conventional) Traditional	
Minimum Required Landscape Surface Area (Ratio and Acreage): 20 (.69 acres)	
Provided Landscape Surface Area (Ratio and Acreage): 24 (.67 acres)	
Percent and Acreage of Original Canopy Cover: (Indicate if N/A)	
Site Tree Removal (grandfathered):	
Percent and Acreage Tree Canopy Required: N/A	
Percent and Acreage of Preserved Canopy Cover Provided: N/A	
Number and DBH of Specimen Trees Removed: N/A	

**OPEN SPACE REQUIREMENT CHART (SECTION 4)**

MINIMUM OPEN SPACE REQUIREMENT: 5% REQUIRED  
 SITE ACREAGE: 2.82 ACRES (2.82 developable), OPEN SPACE ACREAGE REQUIRED: 0.14 ACRES  
 FORMAL OPEN SPACE (5% OF GROSS DEVELOPMENT AREA): 6,133 SQ. FT.  
 INFORMAL OPEN SPACE (10% OF GROSS DEVELOPMENT AREA): N/A

LOT NO.	CLASSIFICATION	TYPE	SQ. FT. OF OPEN SPACE	AC. OF OPEN SPACE	PAVED AREA	PERCENT PAVED
AREA 'A'	AMENITY AREA	FORMAL	8,711 S.F.	0.20 Ac.	6,571 S.F.	0.75 %
<b>TOTAL</b>			8,711 S.F.	0.20 Ac.		

See Civil Plans for Delineation of Open Space Area

**Landscape Requirements (ACI)**  
 Berry Farm Town Center PUD Subdivision, Section 4, Lot 199  
 Note: No existing trees on this site

**CANOPY TREES**  
 Aggregate Caliper Inches (ACI) of Canopy Trees Required = 232  
 (2.82 acres x 82 = 231.24)

Aggregate Caliper Inches (ACI) of Canopy Trees Provided = 249  
 (76 - 3" Caliper Canopy Trees)

**UNDERSTORY TREES**  
 Aggregate Caliper Inches (ACI) of Understory Trees Required = 60  
 (2.82 acres x 21 = 59.22)

Aggregate Caliper Inches (ACI) of Understory Trees Provided = 82  
 (41 - 2" Caliper Understory Trees)

**SHRUBS**  
 Minimum Number of Shrubs Required = 271  
 (2.82 acres x 96 = 270.72)

Min. 18" Height Shrubs Provided = 528  
 Min. 30" Height Shrubs Provided = 715  
 Total Number of Shrubs Provided = 1243

- City of Franklin Landscape Notes**
- Any plant material that dies, turns brown or defoliate shall be replaced within one year or by the next growing season, whichever comes first. Other defective landscape material shall be replaced within three months.
  - All trees shall meet Franklin's minimum size and quality standards. All plants shall be healthy, vigorous material, free of pest and disease. All roadblocks, containers and height to width ratios shall conform to the size standards set forth in the American Standards for Nursery Stock, current edition.
  - All required trees and shrubs shall meet the minimum size and quantity as listed in the Plant Schedule.
  - Plant material shall not obscure traffic or parking signals/signs or vehicular sight lines.
  - Tree topping is not permitted.
  - Additional screening may be required if the inspection for the release of the performance survey reveals that the required screening is not effective.
  - All required tree protection fencing shall be installed and inspected by the Department of Building and Neighborhood Services prior to land disturbing activities.
  - Any site or landscape changes (including but not limited to a change in design, a reduction in size or number of plant material, or the relocation of overhead or underground utilities) shall require a revised Landscape Plan to be submitted and approved prior to the landscape installation.
  - Existing trees accepted in partial compliance of the landscape requirements for this site shall be accessible and flagged prior to all landscape inspections.
  - Any existing trees shown as being preserved on approved plans that is removed, dies or is damaged during construction shall be replaced as required in the Zoning Ordinance.
  - Screening proposed around any utility box or transformer is required to be evergreen and adequately screen the object. The proposed evergreen plant material shall be replaced if it is not of a height sufficient to screen the object.
  - All plant material shall be from the Franklin Plant List unless prior approval is received from the City.
  - All tree-protection fencing shall be in place prior to the issuance of a grading permit and shall be maintained in good working order until all construction activity is completed. Any required erosion control measures shall be placed outside of any tree protection fencing.
  - Top soil used in all landscape areas shall be screened prior to deposition in planting areas and islands.
  - Any plant material located adjacent to a parking area shall be planned so as to allow for a two and a half foot vehicular bumper overhang from the face of curb to the edge of the matured adjacent plant material.

**MINIMUM BUFFERING/SCREENING REQUIREMENTS:**  
 HVAC units, cooling and/or mechanical equipment are mounted on:  
 ■ Roofing  
 □ Ground  
 □ Not Applicable

**THE DEVELOPMENT IS REQUIRED TO HAVE THE FOLLOWING LANDSCAPE IMPROVEMENTS:**

Buffer/Screen Type	Purpose
■ Not Applicable	Buffering/Screening not required
■ Foundation Planting	Along driveway berms
■ Perimeter Planting Strip	Screen VJA's and to create "moodules"
■ Interior VJA's Planting	Create VJA's "moodules"
■ Utility Box Screen	Screen from view
■ HVAC Screen	Screen HVAC from view
■ Dumpster Screen	Screen dumpster from view
□ Loading/Service Area	Buffer the street or residential property
□ Incompatible Use Buffer	Buffer the adjacent less intensive use
□ 50-foot From Yard Buffer	Buffer the adjacent residential use
□ 50-foot From Tree Buffer	Buffer the adjacent residential use
□ Street Trees	Spatial Definition/Environmental Mitigation
□ Other	

ATTENTION OWNER/METALLER:  
 This landscape plan has been designed to meet the minimum requirements of the City of Franklin zoning ordinance, the approval of the planning commission, and planning department policy. Relocating, substituting, raising, reducing or deleting material may cause the site to no longer conform to the requirements; this problem may arise with releasing the performance/maintenance survey for the landscape material. Deviation from the approved landscape plan shall not be made without first consulting the Landscape Architect who designed the project. The design Landscape Architect shall review proposed substitutions to ensure that all City standards and requirements are met. The City shall be notified in writing upon final approval of any plant substitutions.  
 Owner: Chartwell Hospitality, 1011 Schaeffle #15-550-1270  
 Landscape Architect: Turnburke Assoc., P.A., 2003-289-0396  
 Franklin Planning Department: (615) 791-3212 phone

**PLANT LIST**

QTY.	Plan Name	Common Name	Botanical Name	% Genus	Type	Size	Comments
23	AE	Alien Elm	Ulmus parvifolia 'Emer II'	25	Deciduous	14'-16' H/ 6' spr.	3" call
16	CR	Cryptomeria	Cryptomeria japonica 'Radicans'	19	Evergreen	10'-12' H/ 4' spr.	3" call
21	NO	Nuttall Oak	Quercus nuttallii	24	Deciduous	14'-16' H/ 6' spr.	3" call
9	RMJ	Rocky Mountain Juniper	Juniperus scopulorum 'Wichita Blue'	11	Evergreen	10'-12' H/ 4' spr.	3" call
18	RM	Red Maple	Acer rubrum 'October Glory'	20	Deciduous	14'-16' H/ 6' spr.	3" call

QTY.	Plan Name	Common Name	Botanical Name	% Genus	Type	Size	Comments
16	CM	Crape Myrtle	Lagerstroemia indica 'Muskogee'	38	Deciduous	10'-12' H/	min. 3 trunks, one min 2" call.
3	EA	Emerald Arborvitae	Thuja occidentalis 'Emerald'	8	Evergreen	8' H/ 3'-4' spr.	2" call.
10	LGM	Little Gem Magnolia	Magnolia grandiflora 'Little Gem'	23	Evergreen	6' H/ 3'-4' spr.	2" call.
13	NRS	Nellie R. Stevens Holly	Ilex x Nellie R. Stevens'	31	Evergreen	10'-12' H/ 4'-5' spr.	2" call.

QTY.	Plan Name	Common Name	Botanical Name	% Genus	Type	Size	Comments
320	DPJ	Dwarf Filizur Juniper	Juniperus Phoenicea Compacta'	26	Evergreen	7 gal.	min. 30" H/
277	GQJ	Grey Owl Juniper	Juniperus Grey Owl'	22	Evergreen	3 gal.	min. 18" H/
407	NPH	Needle Point Holly	Ilex cornuta 'Needlepoint'	33	Evergreen	7 gal.	min. 30" H/
228	STH	Soft Touch Holly	Ilex crenata 'Soft Touch'	19	Evergreen	3 gal.	min. 18" H/

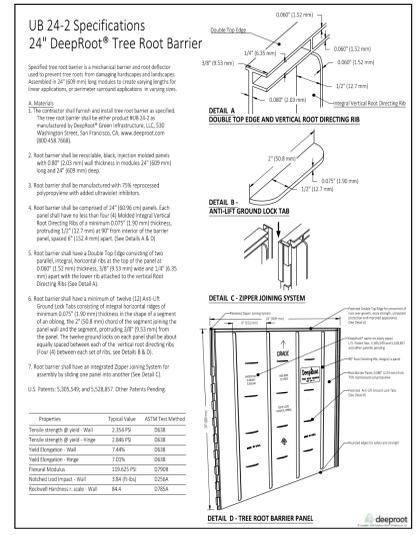
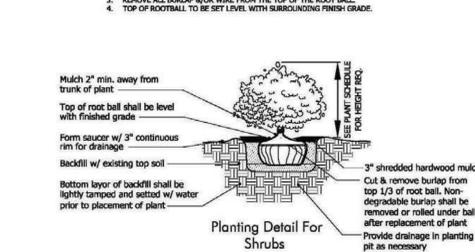
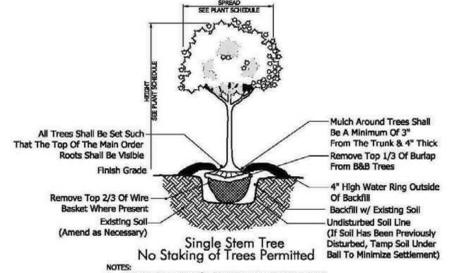
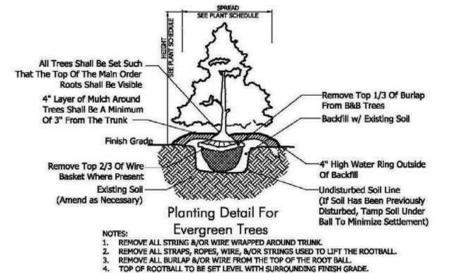
QTY.	Plan Name	Common Name	Botanical Name	% Genus	Type	Size	Comments
28,000	SCD	Emerald Zoysia Sod	Zoysia japonica x 2 'Emeraldia'			28 ft.	weed free
109	DFG	Dwarf Fountain Grass	Pennisetum alopecuroides 'Hahnii'			3 gal.	
123	KFG	Karl Foerster Grass	Calamagrostis acutiflora 'Karl Foerster'			3 gal.	

\*Lagerstroemia x 'cultivator' on this plan is considered as understory trees and shall not be topped, racked or the crown removed in any fashion. If this occurs the affected plant shall be replaced."

- Notes:
- Contractor to prepare a detailed seasonal color plan for pots and in-ground beds based on the season of installation. Contractor to provide a bid allowance for seasonal color as shown on plans.
  - All Plant Material to conform to ANSI Nursery Stock Standards by AmericanHort, latest edition.
  - All planting beds and tree rings to receive 3" depth of shredded cedar mulch.
  - Contractor to provide an automatic, underground irrigation system providing 100% coverage of all landscape areas and to provide shop drawings for review prior to installation. System to be installed utilizing connection to city's reclaimed water system.
  - Landscape shall not obstruct visibility of or access to any fire protection equipment.
  - Combustible mulch shall not be applied or maintained within two feet of any building around entire exterior perimeter, except one and two family dwellings, buildings with exterior walls and exterior wall coverings constructed of noncombustible materials.

**City of Franklin Minimum Plant Quality and Size Standards**

- All newly planted landscape plant materials shall conform to the latest version of the American Standard of Nursery Stock (ANSI Z60.1).
- All Type 1, 2, and 3 Trees (as defined in ANSI Z60.1) used to meet the requirements of this subsection shall have the following characteristics:
  - Deciduous trees shall have one dominant trunk with the tip of the leader on the main trunk left intact and the terminal bud on the central leader at the highest point on the tree;
  - Trees with forked trunks are acceptable if all the following conditions are met:
    - The fork occurs in the upper one-third of the tree;
    - One fork is less than two-thirds the diameter of the dominant fork; and
    - The top one-third of the smaller fork is removed at the time of planting;
  - No branch is greater than two-thirds the diameter of the trunk directly above the branch;
  - Several branches are larger in diameter and obviously more dominant;
  - Branching habit is more horizontal than vertical, and no branches are oriented nearly vertical to the trunk; and
  - Branches are evenly distributed around the trunk with no more than one major branch located directly above another and the crown is full of foliage that is evenly distributed around the tree.

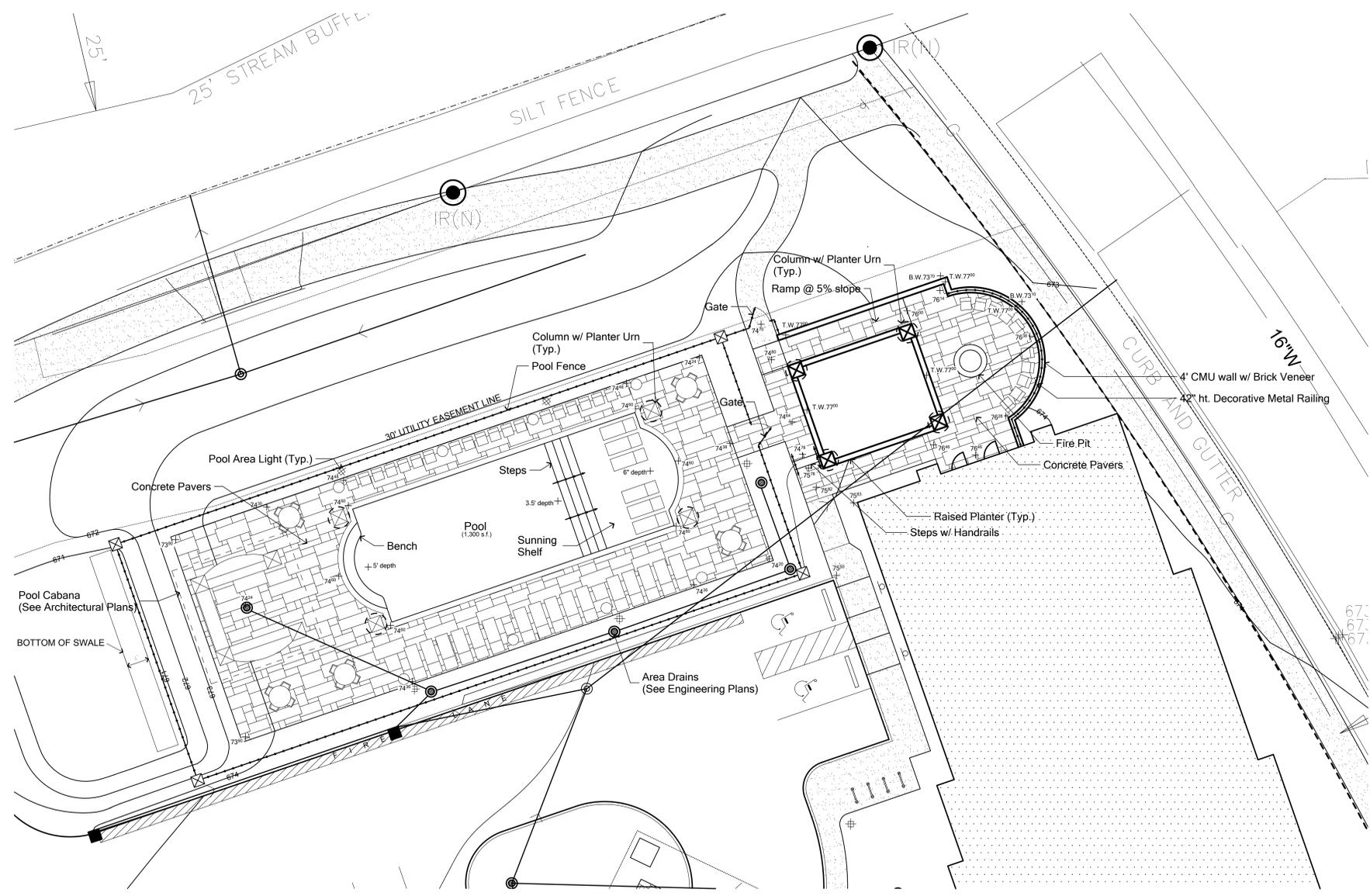


**Root Barrier Detail**  
 (to be used on all street trees)

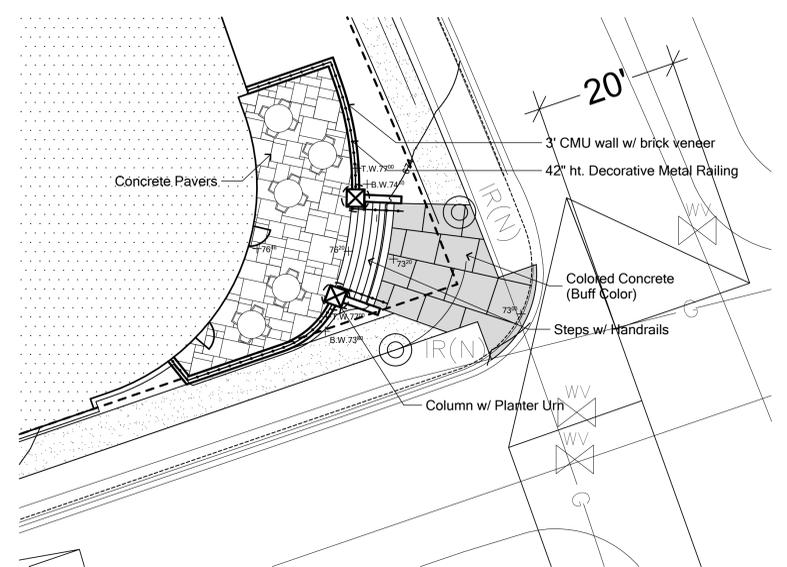
**Site Furnishing Details**

**Planting Details**

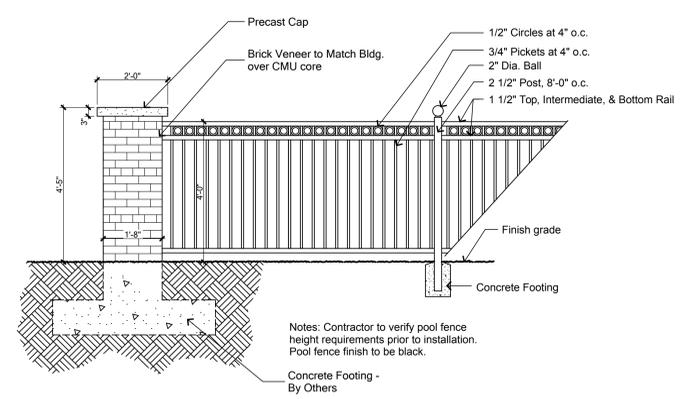
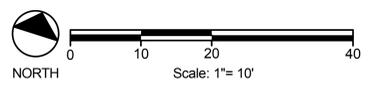
Revisions	Date	By	City Comments
08/05/15			



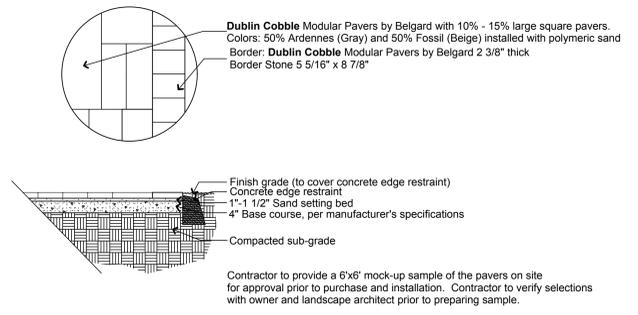
**Pool Area & Courtyard**  
Scale: 1" = 10'



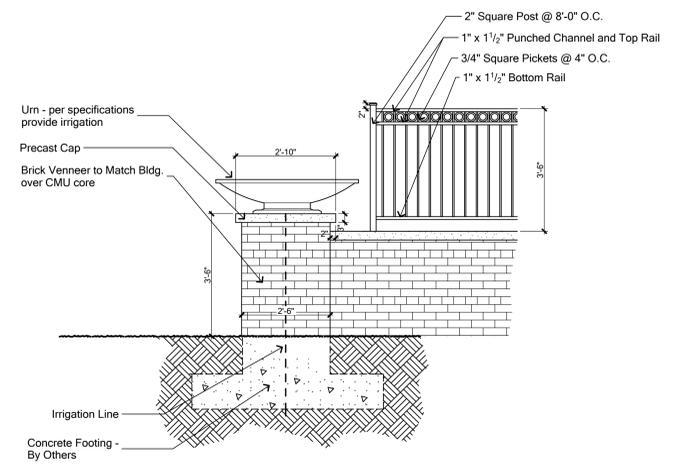
**Hotel Entrance**  
Scale: 1" = 10'



**1 Pool Fence and Column**  
Scale: 1/2" = 1'-0"



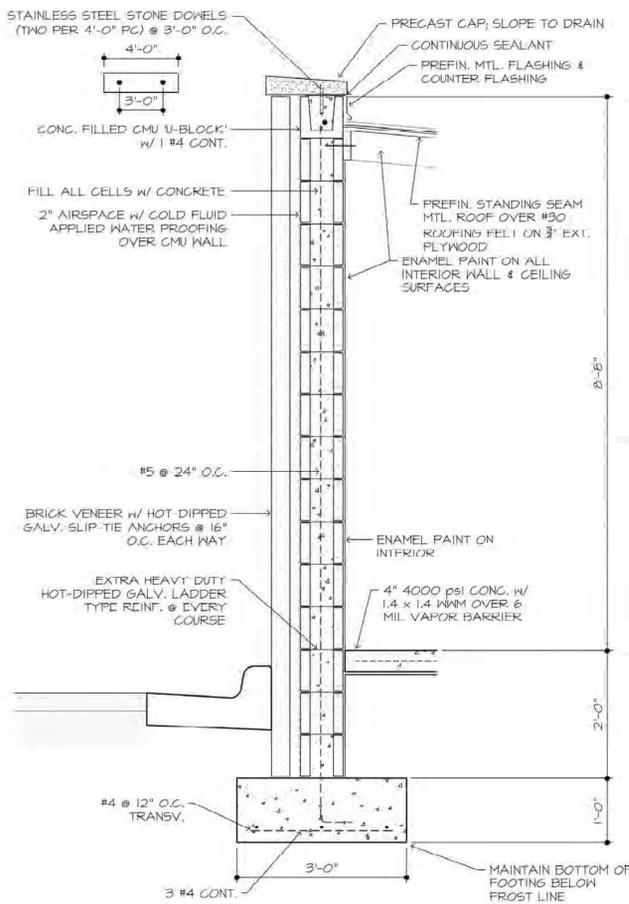
**2 Concrete Pavers**  
Scale: 1/2" = 1'-0"



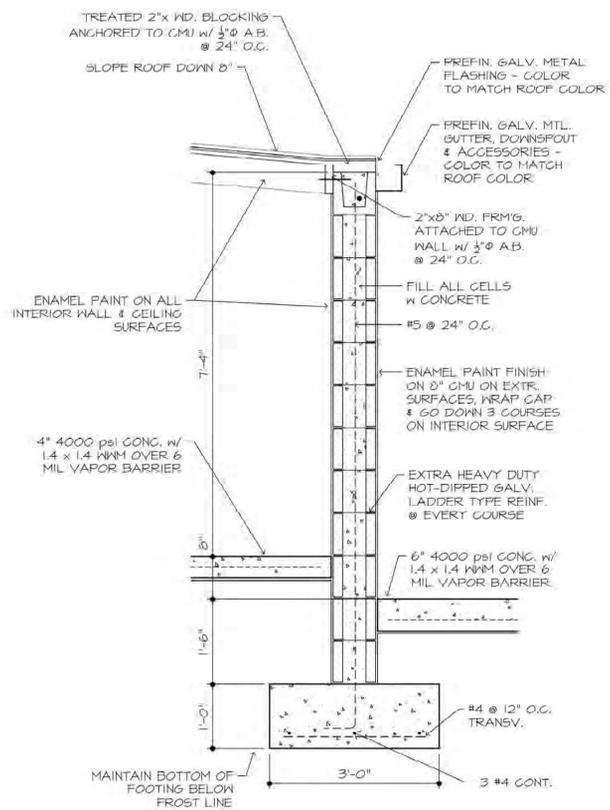
**3 Column, Urn, Wall, & Railing**  
Scale: 1/2" = 1'-0"

**Berry Farms Town Center - Hampton Inn & Suites**  
 Franklin, Tennessee  
 City of Franklin Project # 5086

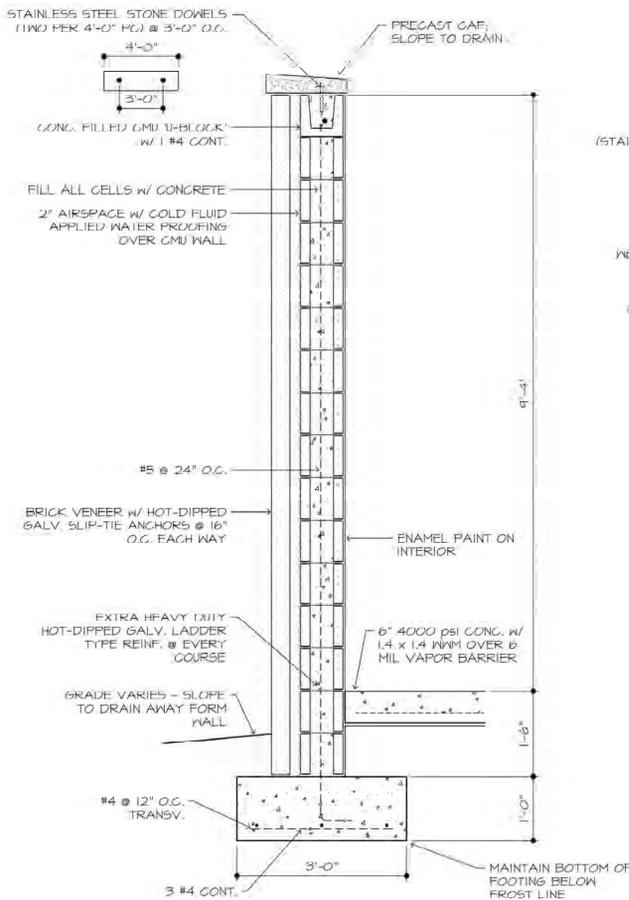




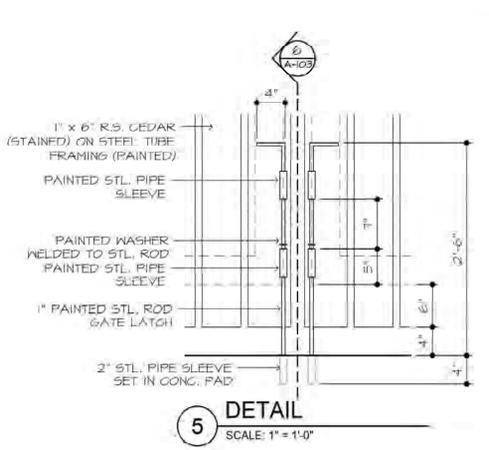
**8 WALL SECTION**  
SCALE: 3/4"=1'-0"



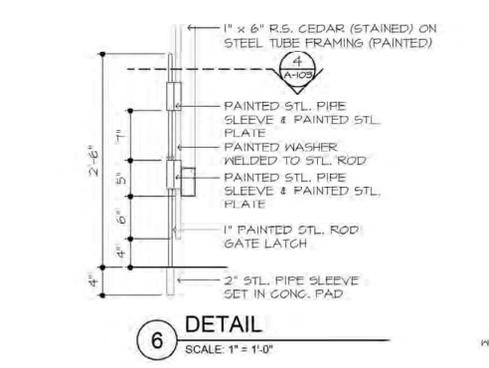
**7 WALL SECTION**  
SCALE: 3/4"=1'-0"



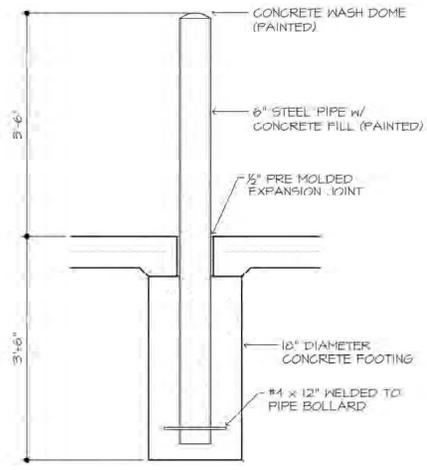
**9 WALL SECTION**  
SCALE: 3/4"=1'-0"



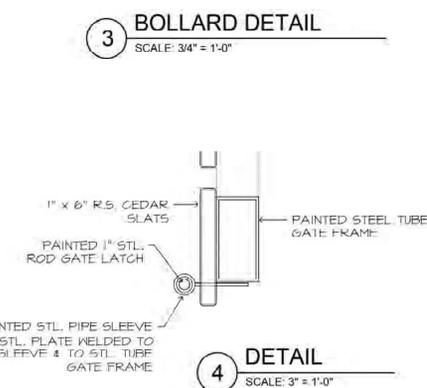
**5 DETAIL**  
SCALE: 1"=1'-0"



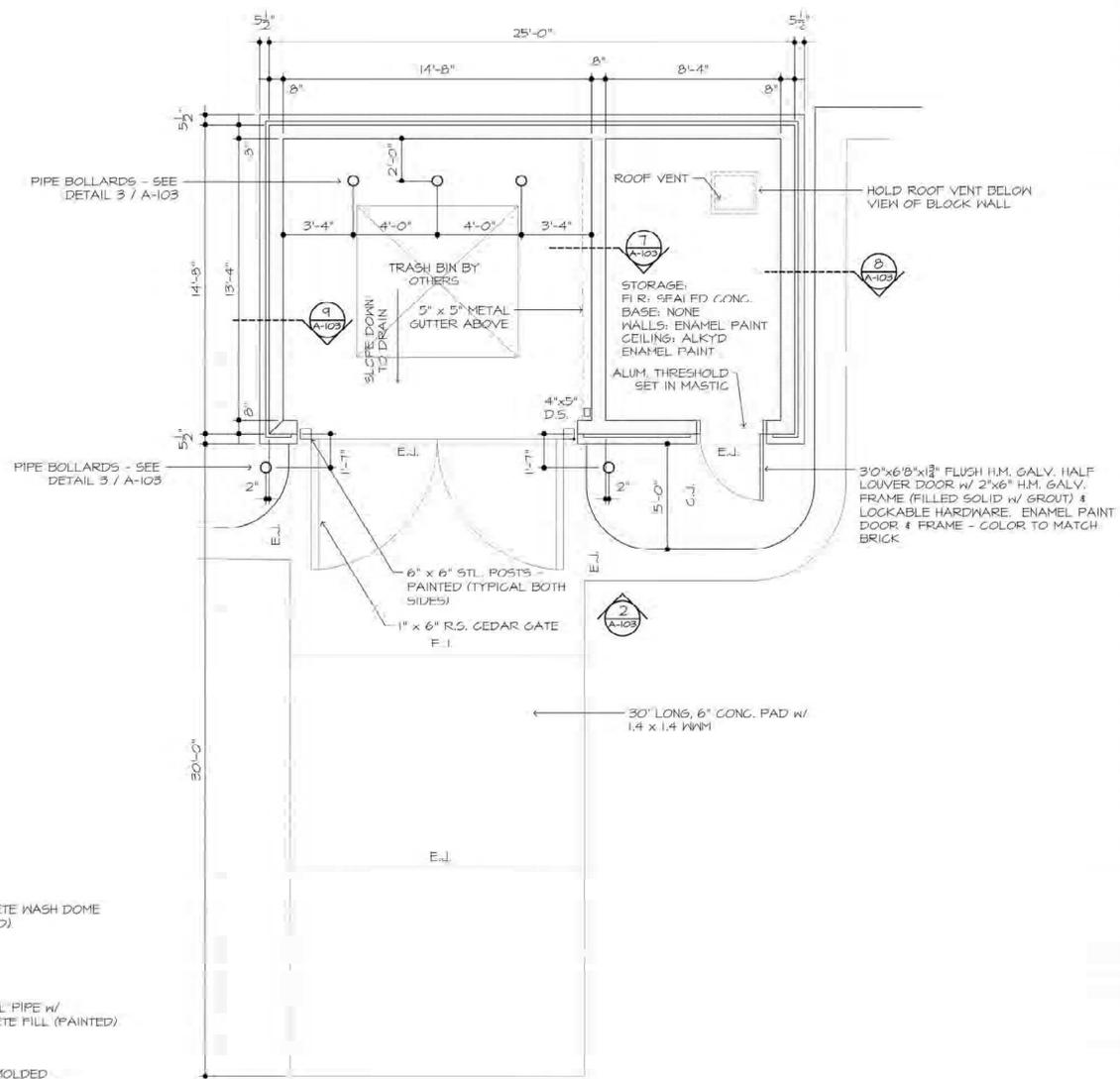
**6 DETAIL**  
SCALE: 1"=1'-0"



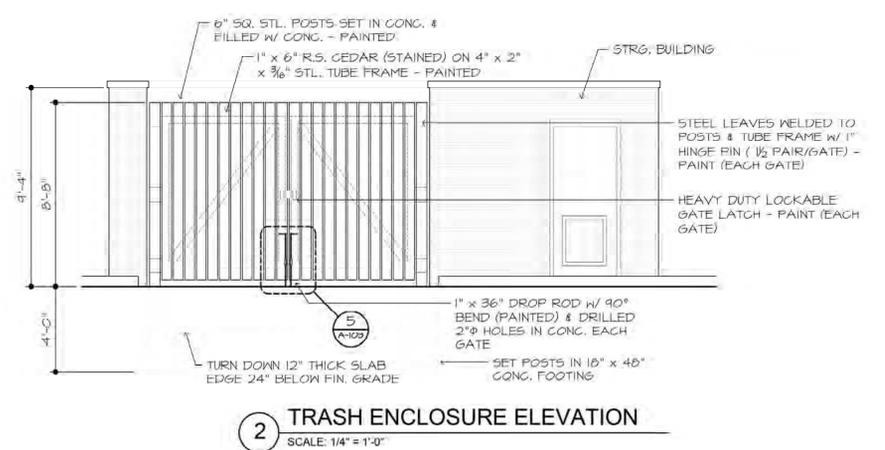
**3 BOLLARD DETAIL**  
SCALE: 3/4"=1'-0"



**4 DETAIL**  
SCALE: 3"=1'-0"

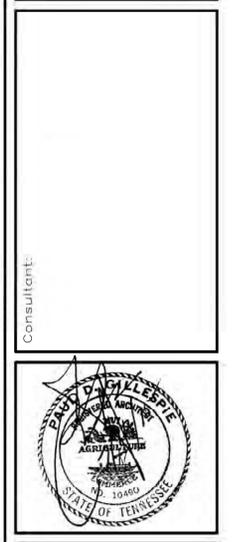


**1 TRASH ENCLOSURE PLAN**  
SCALE: 1/4"=1'-0"



**2 TRASH ENCLOSURE ELEVATION**  
SCALE: 1/4"=1'-0"

**BOUNDS + GILLESPIE ARCHITECTS, PLLC**  
7975 Stage Hills Boulevard, Suite 4  
Memphis, Tennessee 38138  
Phone: 901.688.5765  
http://www.bngarchitects.com



Mark	Date	Revision

**HAMPTON INN & SUITES**  
Berry Farms Crossing  
Franklin, Tennessee

**DUMPSTER ENCLOSURE DETAILS**

Project No: 091412  
Date: 07-10-15  
Sheet:

**A-103**





**1 EAST ELEVATION**  
SCALE: 3/32" = 1'-0"

- BRICK: VERTICAL BRICK @ PARAPET
- CAST STONE
- BRICK: COLUMBUS BRICK COMPANY - "FOREST GLEN" - GENUINE PAPER CUT (GROUT: HOLCIM 200N)
- STONE: INDIANA LIMESTONE - "BUFF" (GROUT: HOLCIM 200N)

- COLOR SELECTION NOTES:
1. PREFINISHED ALUMINUM WINDOWS COLOR TO BE "DARK BRONZE" BRONZE TINT GLAZING.
  2. ALL MECHANICAL LOUVERS ARE PREFINISHED (COLOR TO MATCH ADJACENT WALL COLOR).
  3. PREFINISHED ALUMINUM STOREFRONT COLOR TO BE "DARK BRONZE" BRONZE TINT GLAZING.
  4. BUILDING UP-LIGHT COLOR TO BE BRONZE.
  5. BUILDING DECORATIVE WALL SCOURE COLOR TO BE BRONZE.

EAST ELEVATION		
	SURFACE AREA	PERCENT OF NET*
GROSS OF WALL	4,187	
NET OF WALL*	5,007	
PANEL	180	3%
CAST STONE	314	1%
BRICK: VERTICAL BRICK @ PARAPET	263	5%
BRICK-BASE	2,213	31%
BRICK: PARAPET	1,032	32%
STONE: INDIANA LIMESTONE - "BUFF" (GROUT: HOLCIM 200N)	820	14%

\*EXCLUDES ROOF FORMS, WINDOWS, DOORS, AWNINGS, AND SIMILAR FEATURES



**2 SOUTH ELEVATION**  
SCALE: 3/32" = 1'-0"

SOUTH ELEVATION		
	SURFACE AREA	PERCENT OF NET*
GROSS OF WALL	10,064	
NET OF WALL*	6,185	
PANEL	181	3%
CAST STONE	331	5%
BRICK: VERTICAL BRICK @ PARAPET	606	1%
BRICK-BASE	2,444	36%
BRICK: PARAPET	2,411	32%
STONE: INDIANA LIMESTONE - "BUFF" (GROUT: HOLCIM 200N)	1,055	15%

\*EXCLUDES ROOF FORMS, WINDOWS, DOORS, AWNINGS, AND SIMILAR FEATURES

**BOUNDS + GILLESPIE ARCHITECTS, PLLC**  
7/5 Stage Hills Boulevard, Suite 4  
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Consultant:



Mark	Date	Revision
A	06-29-15	CITY OF FRANKLIN REVIEW

**HAMPTON INN & SUITES**  
Berry Farms Crossing  
Franklin, Tennessee

**EXTERIOR ELEVATIONS**

Project No: 091412  
Date: 06-29-15  
Sheet:

**A-301**



**1 NORTH ELEVATION**  
 SCALE: 3/32" = 1'-0"  
 0 4 8 12 20

NORTH ELEVATION		
	SURFACE AREA	PERCENT OF NET*
GROSS OF WALL	4,104	
NET OF WALL*	1,360	
PANEL	133	2%
CAST STONE	246	3%
BRICK: VERTICAL BRICK @ PARAPET	612	8%
BRICK: BASE	9,824	52%
BRICK: PARAPET	1,231	25%
STONE: INDIANA LIMESTONE - "BUFF" (GROUT: HOLCIM 200N)	714	10%

\*EXCLUDES ROOF FORMS, WINDOWS, DOORS, AWNINGS, AND SIMILAR FEATURES

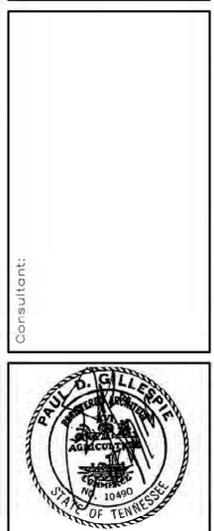


**2 WEST ELEVATION**  
 SCALE: 3/32" = 1'-0"  
 0 4 8 12 20

WEST ELEVATION		
	SURFACE AREA	PERCENT OF NET*
GROSS OF WALL	9,894	
NET OF WALL*	6,512	
PANEL	133	2%
CAST STONE	256	4%
BRICK: VERTICAL BRICK @ PARAPET	600	4%
BRICK: BASE	3,241	50%
BRICK: PARAPET	1,025	25%
STONE: INDIANA LIMESTONE - "BUFF" (GROUT: HOLCIM 200N)	625	10%

\*EXCLUDES ROOF FORMS, WINDOWS, DOORS, AWNINGS, AND SIMILAR FEATURES

**BOUNDS + GILLESPIE ARCHITECTS, PLLC**  
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**HAMPTON INN & SUITES**  
 Berry Farms Crossing  
 Franklin, Tennessee  
**EXTERIOR ELEVATIONS**

Project No: 091412  
 Date: 06-29-15  
 Sheet: **A-302**