

January 5, 2015

Mr. Josh King
City of Franklin
Planning & Sustainability Department
109 Third Avenue South
Franklin TN 37065

RE: **The Cottages at 509 Hill Drive - PUD Subdivision Development Plan Submittal**
COF # 5747
KVD Project No.: 14055

Dear Josh:

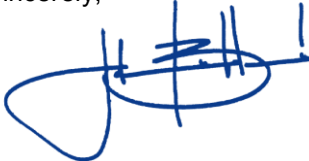
Attached, please find our PUD Subdivision Development Plan submittal in the form of the information, plans, and data as required by the City of Franklin, for the above referenced project. Kiser + Vogrin Design, LLC is submitting on behalf of our clients, KP Properties, Inc.

Please find attached:

- (9) Nine copies (Half Size) of the PUD Development Plans
- (1) One copy (Full Size-folded) of the PUD Development Plans
- (1) Digital upload of PDF's of Plans, Letters, and Supplemental Data

Please contact me if you have any questions or need further clarification of the attached.

Sincerely,



Johnson B Bullard, ASLA
Project Manager
Kiser + Vogrin Design, LLC

cc: Mr. Tyler Pennington, KP Properties

THE COTTAGES AT 509 HILL DRIVE

PROPOSED SD-R-4 DISTRICT WITH PUD OVERLAY

FRANKLIN, WILLIAMSON COUNTY, TENNESSEE

SHEET LIST

| | |
|-------------|--------------------------------|
| CVR | COVER SHEET |
| L1.0 | CONTEXT PLAN |
| L1.1 | EXISTING CONDITIONS |
| L1.2 | DEVELOPMENT PLAN |
| C1.0 | SITE LAYOUT PLAN |
| C1.1 | SEWER EXTENSION PLAN & PROFILE |
| C2.0 | SITE GRADING AND DRAINAGE PLAN |
| C3.0 | SITE DETAILS |
| C3.1 | SITE DETAILS |

REVISIONS

1-5-2015: RESUBMITTAL PER STAFF COMMENTS

OWNER

KP Properties, Inc.
629 Post Oak Circle
Brentwood, TN 37027
Contact: Tyler Pennington
tpenn24@yahoo.com

ENGINEER

Civil and Environmental Engineering
Services, LLC
7432 Highway 70 South
Nashville, TN 37221
615.504.9915
Contact: Masoud Fathi
masoudfathi@comcast.net

ARCHITECT

 Pfeffer Torode Architecture
7521 8th Ave South, Suite 103
615.970.7230
Contact: Rachel Martin
rachel@pfeffertorode.com

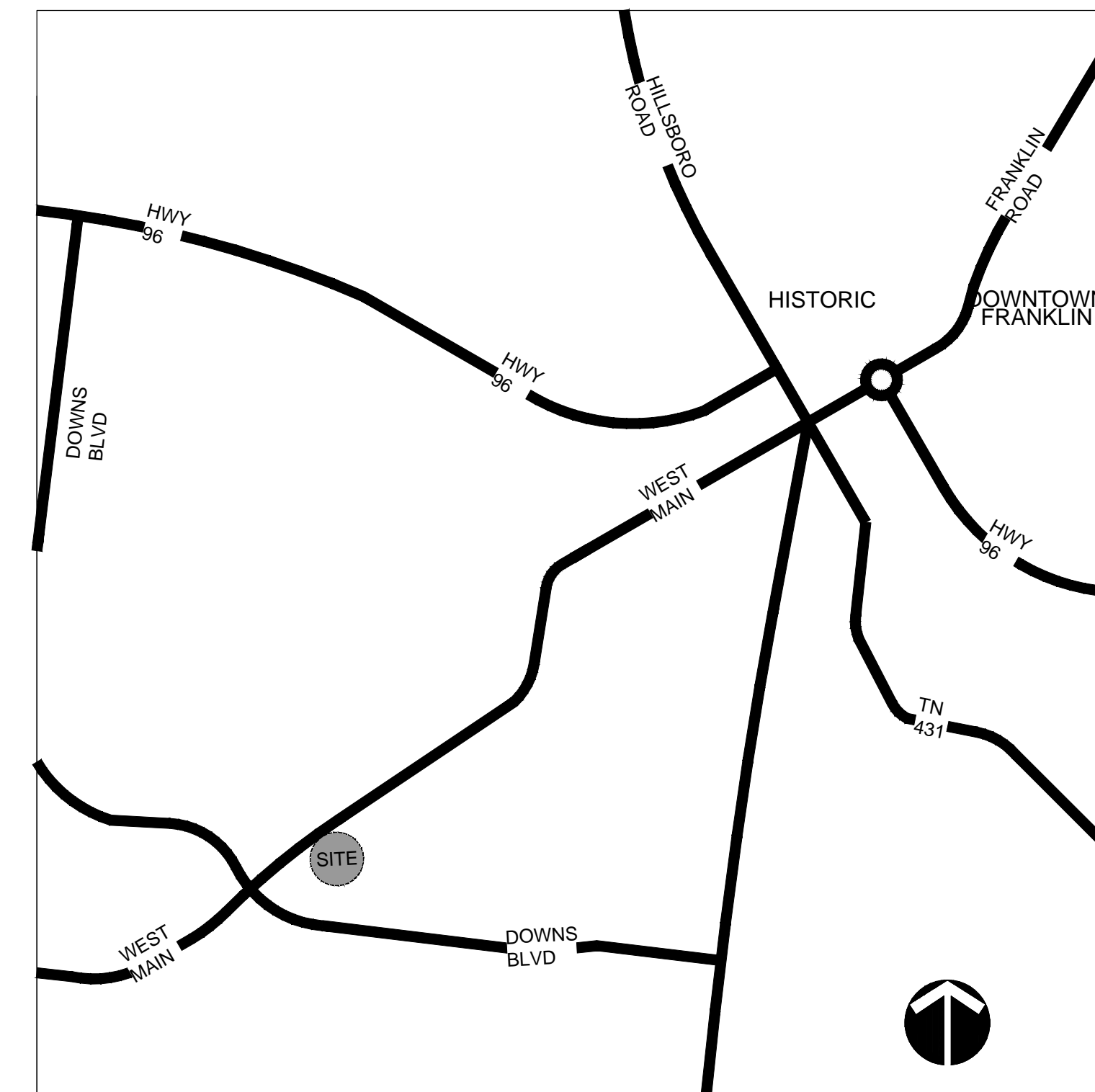
APPLICANT / LANDSCAPE ARCHITECT

KISERVOGRINDESIGN

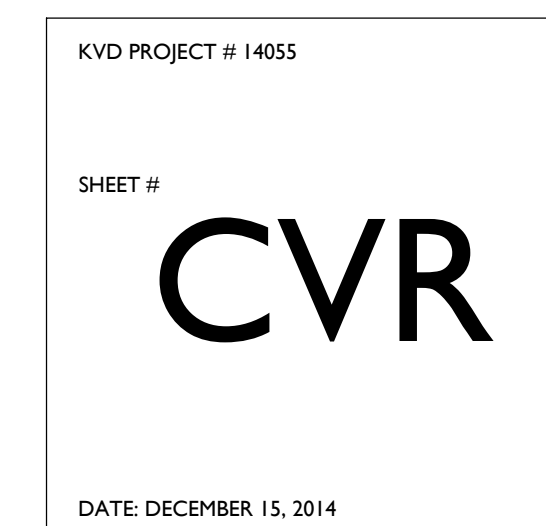
Kiser + Vogrin Design
5005 Meridian Blvd. Ste. 100
Franklin, TN 37067
615.696.7070
Contact: Johnson B Bullard
johnson@kiservogrin.com

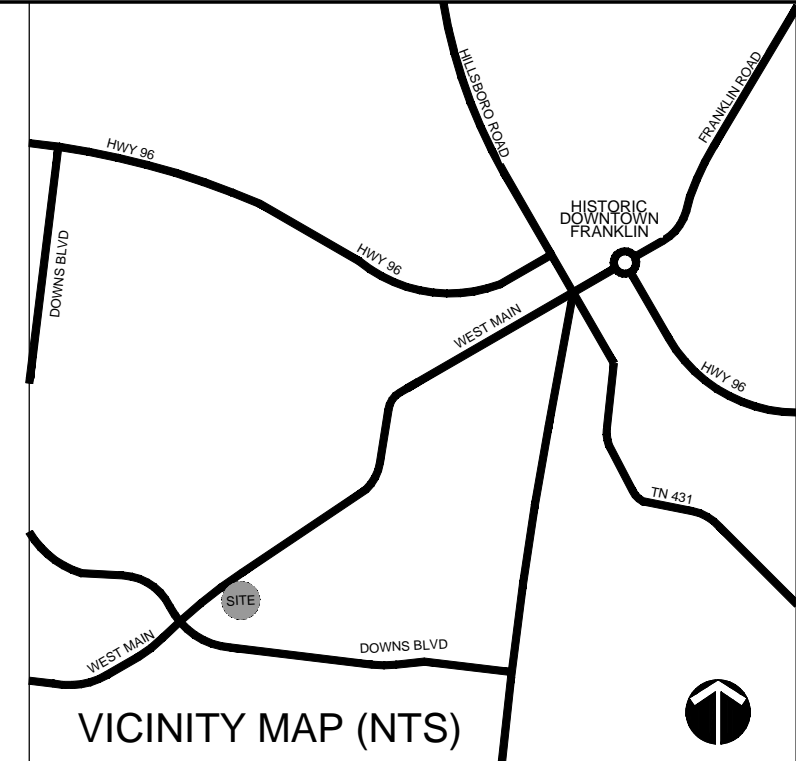
SURVEYOR

Harrah
ASSOCIATES
SURVEYORS & PLANNERS
Harrah and Associates
361 Mallory Station Road Ste. 108
Franklin, TN 37067
615.778.0863
Contact: Roger Harrah
rogerh@harrahgroup.com

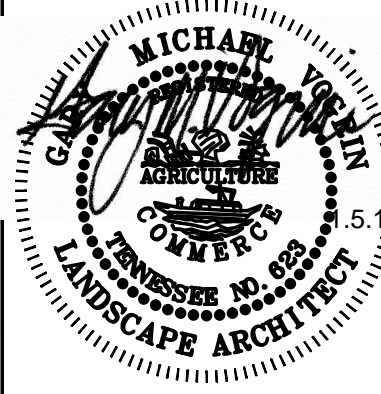


VICINITY MAP - NOT TO SCALE





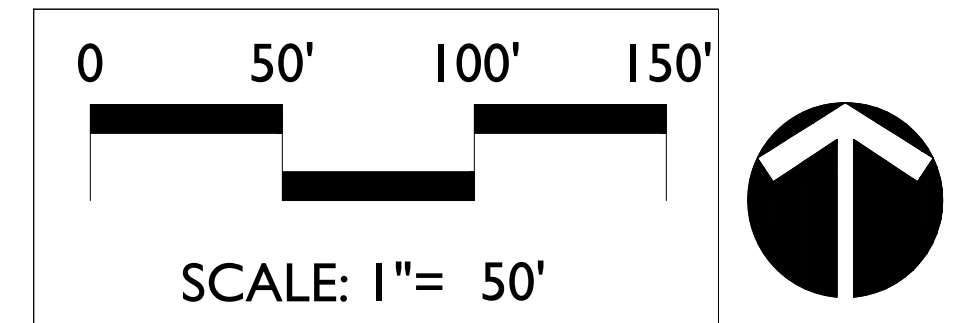
KISERVOGRINDESIGN
 5005 Meridian Blvd. Suite 100, Franklin, TN 37067
 615.549.0232

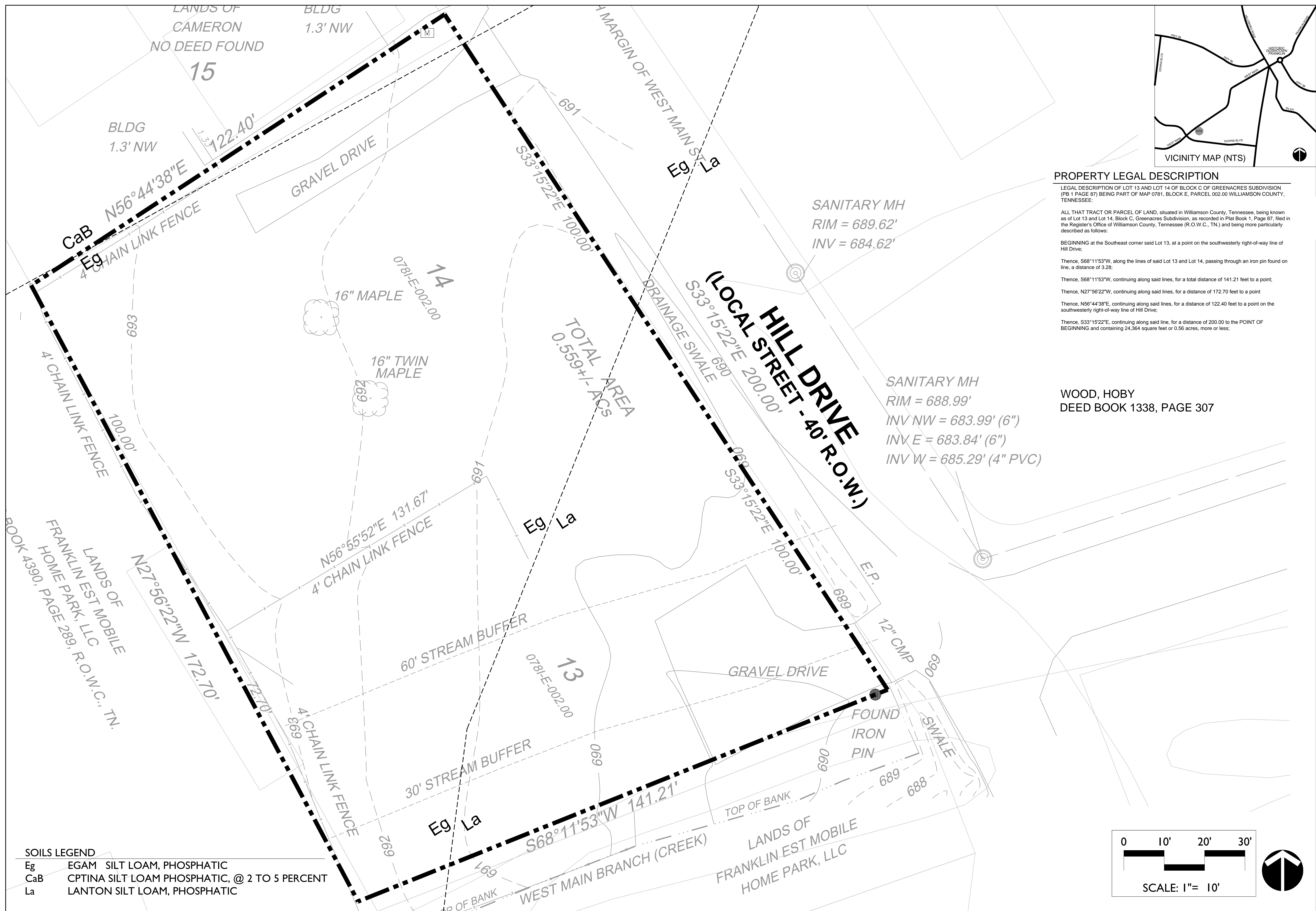


THE COTTAGES AT 509 HILL DRIVE
 FRANKLIN, WILLIAMSON CO., TN
PUD DEVELOPMENT PLAN - COF #5747
CONTEXT MAP

REVISIONS:
 1-5-2018: RESUBMITTAL PER STAFF COMMENTS

DATE: 12.16.2014
 DESIGNED BY: JBB
 DRAWN BY: JBB
 CHECKED BY: DEK
 Q.C. BY: GRV
 PROJECT #: 14055
 SHEET NUMBER:
L1.0





SOILS LEGEND

| | |
|-----|-----------------------------------------------|
| Eg | EGAM SILT LOAM, PHOSPHATIC |
| CaB | CPTINA SILT LOAM PHOSPHATIC, @ 2 TO 5 PERCENT |
| La | LANTON SILT LOAM, PHOSPHATIC |

PROPERTY LEGAL DESCRIPTION

LEGAL DESCRIPTION OF LOT 13 AND LOT 14 OF BLOCK C OF GREENACRES SUBDIVISION (PB 1 PAGE 87) BEING PART OF MAP 0781, BLOCK E, PARCEL 002.00 WILLIAMSON COUNTY, TENNESSEE:

ALL THAT TRACT OR PARCEL OF LAND, situated in Williamson County, Tennessee, being known as of Lot 13 and Lot 14, Block C, Greenacres Subdivision, as recorded in Plat Book 1, Page 87, filed in the Register's Office of Williamson County, Tennessee (R.O.W.C., TN.) and being more particularly described as follows:

BEGINNING at the Southeast corner said Lot 13, at a point on the southwesterly right-of-way line of Hill Drive;

Thence, S68°11'53"W, along the lines of said Lot 13 and Lot 14, passing through an iron pin found on line, a distance of 3.28;

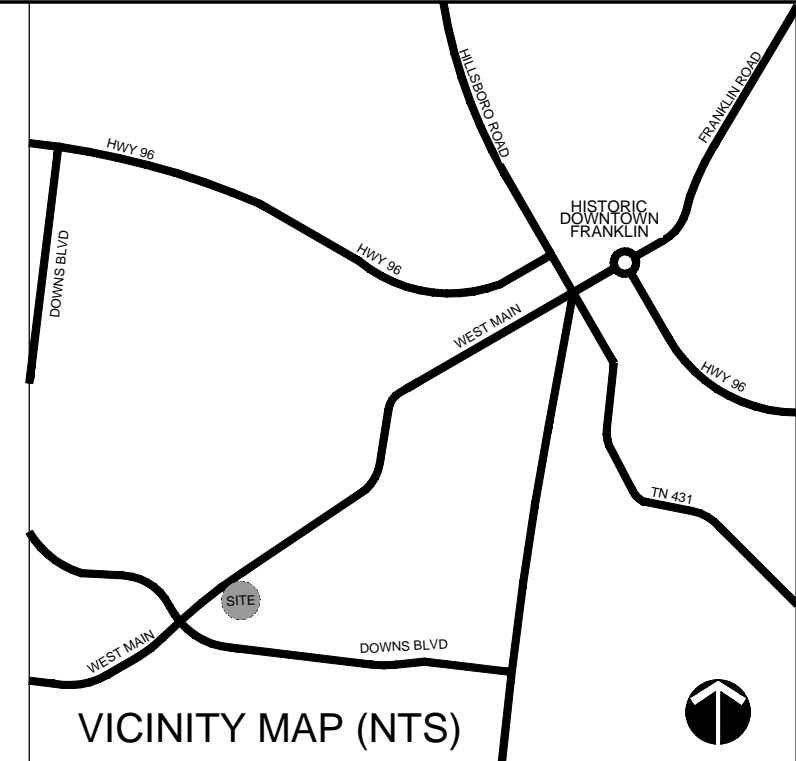
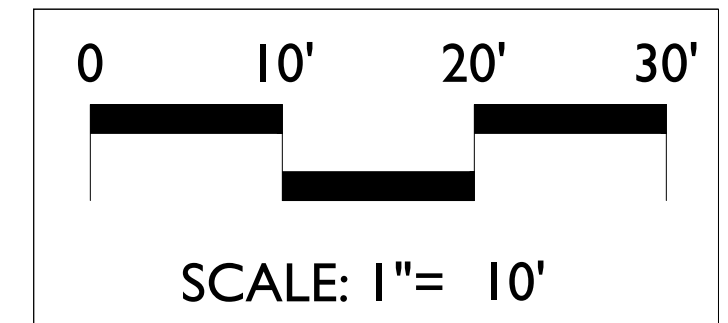
Thence, S68°11'53"W, continuing along said lines, for a total distance of 141.21 feet to a point;

Thence, N27°56'22"W, continuing along said lines, for a distance of 172.70 feet to a point

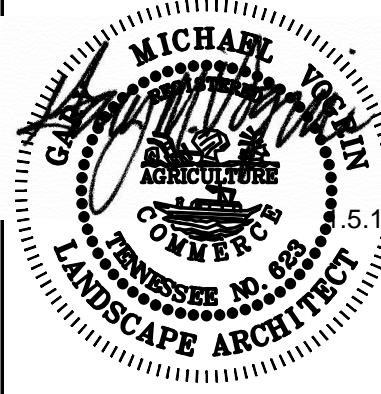
Thence, N56°44'38"E, continuing along said lines, for a distance of 122.40 feet to a point on the southwesterly right-of-way line of Hill Drive;

Thence, S33°15'22"E, continuing along said line, for a distance of 200.00 to the POINT OF BEGINNING and containing 24,364 square feet or 0.56 acres, more or less;

WOOD, HOBY
DEED BOOK 1338, PAGE 307



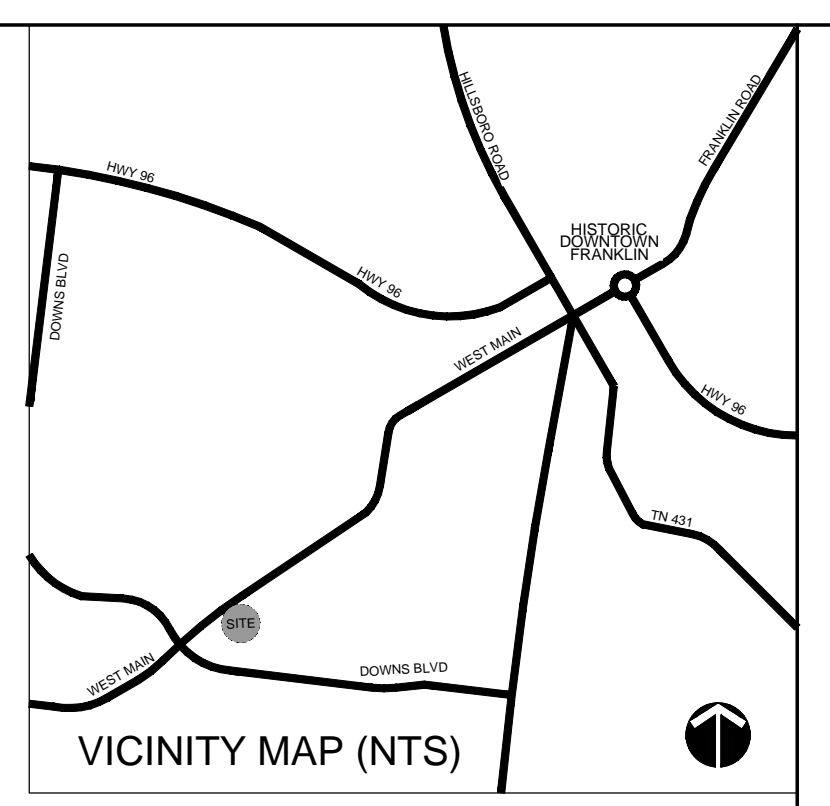
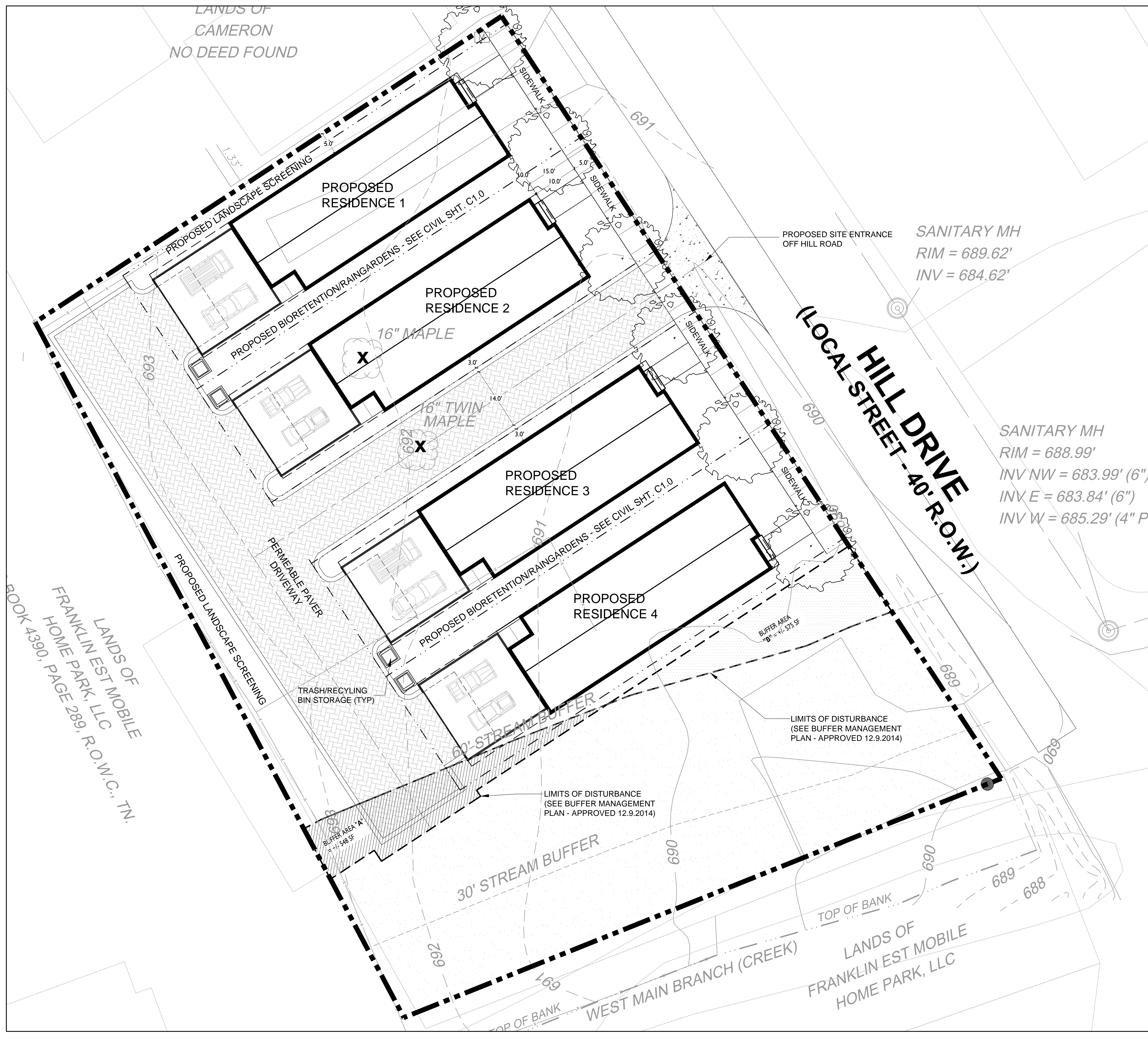
KISERVOGRINDESIGN
5005 Meridian Blvd. Suite 100, Franklin, TN 37067
415.549.0232



THE COTTAGES AT 509 HILL DRIVE
FRANKLIN, WILLIAMSON CO., TN
PUD DEVELOPMENT PLAN - COF #5747
EXISTING CONDITIONS PLAN

REVISIONS:
1-5-2018: RESUBMITTAL PER STAFF COMMENTS

DATE: 12.14.2014
DESIGNED BY: IBB
DRAWN BY: BB
CHECKED BY: DEK
O.C. BY: GWY
PROJECT #: 14055
SHEET NUMBER:
LI.1



SITE DATA

PROJECT NAME: THE COTTAGES AT 509 HILL DRIVE
 PROJECT NUMBER: TBD
 SUBDIVISION: GREEN ACRES - CURRENTLY
 MAP, PARCEL NUMBERS: MAP 78 I, GROUP E, PARCEL 2
 (T-CARD 001 & 002, PLAT BOOK 1, PAGE 87, BLOCK C, LOTS 13 & 14)
 ADDRESS: 509 HILL STREET
 CITY: FRANKLIN
 COUNTY: WILLIAMSON
 STATE: TENNESSEE
 CIVIL DISTRICT: 9

OWNER/DEVELOPER:
 KP PROPERTIES
 629 POST OAK CIRLE
 BRENTWOOD, TN 37027
 615-472-8916
 TPEN24@YAHOO.COM

APPLICANT:
 KISER + VOGRIN DESIGN
 5005 MERIDIAN BLVD. STE 100
 FRANKLIN TN 37067
 CONTACT: JOHNSON B BULLARD
 615.696.7707
 JOHNSON@KISERVOGRIN.COM

EXISTING ZONING & CHARACTER AREA OVERLAY: SD-R -
 SPECIFIC DEVELOPMENT RESIDENTIAL & CFCO-3
 PROPOSED ZONING: SD-R-4
 OVERLAYS: N/A
 APPLICABLE DEVELOPMENT STANDARDS: TRADITIONAL
 SITE ACREAGE: +/- .56 AC
 SITE SQUARE FOOTAGE: +/- 24,364.01 SF
 PUD SITE ACREAGE: +/- .56 AC
 PUD SITE SQUARE FOOTAGE: +/- 24,364.01 SF

BUILDING SQUARE FOOTAGE: +/- 9,600 SF
 BUILDING HEIGHT: 2 STORIES
 NUMBER OF BUILDINGS: 4
 MIN. PARKING REQUIREMENT: RESIDENTIAL = 8 SPACES
 (4 SINGLE FAMILY DETACHED HOMES)
 BUILDING AREA: +/- 2,400 SF EACH
 BUILDING HEIGHT: +/- 30'

RESIDENTIAL DENSITY: 7.14 DU/A
 PROPOSED LAND USE: SINGLE FAMILY RESIDENTIAL
 TREE CANOPY: 35%
 PARKLAND DEDICATION REQUIREMENT: N/A
 PARKLAND DEDICATION: N/A
 OPEN SPACE REQUIRED: N/A
 INCOMPATIBLE USE BUFFER: N/A

PROJECT TO BE CONSTRUCTED IN A SINGLE PHASE WITH AN EXPECTED COMMENCEMENT OF
 FALL/WINTER 2015 AND COMPLETION FALL/WINTER 2016.

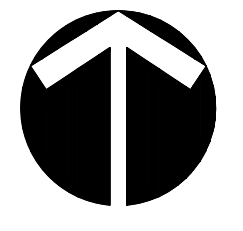
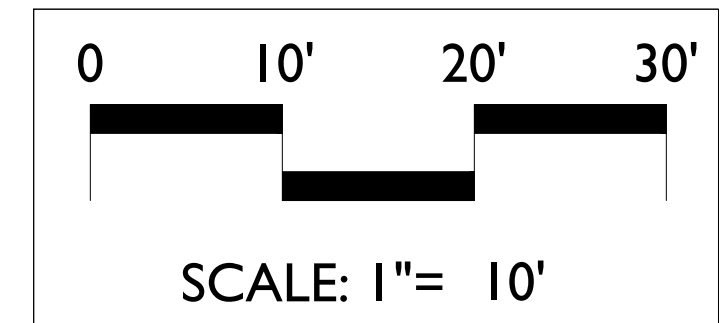
GENERAL NOTES

- Per the Land Use Plan Area CFCO-3, detached residential dwellings uses are appropriate in the southwest corner of CFCO-3. High quality design and people friendly environments will be encouraged through heightened streetscape standards and site design to reinforce the walkability and small town appeal of Franklin.
- This proposed residential development is compatible with the surrounding area, given the adjacent uses to the east on Hill Dr, and to the north along West Main St.
- There are no historical structures on this site as identified by The National Registers of Historic Places.
- Adequate turning movements shall be provided for utility and service vehicles (See Sheet XXX).
- All public improvements to be located in an easement.
- Prior to construction, tree protection fence to be constructed per City of Franklin specifications.
- This site will require the use of on-site water quality practices to treat stormwater from the site.
- Reclaimed (reuse) water facilities: Use of reclaimed water will be incorporated if available to the site.
- Refuse collection from residential units will be private.
- Street lighting will be provided, as required, at the pedestrian scale along Hill Drive, per MTEM standards using fixture type 100 Watt HPS Ribbed and Banded Granville Post Light with 12" Wadsworth Post, or similar.
- Mineral rights are held by the owner of the property.
- The following schools represent the closest public education facilities to this site:
 Franklin Elementary School = 0.4 miles
 Poplar Grove Middle School = 2.7 miles
 Franklin High School = 2.8 miles
- Based on .64 children per household, the development will have an anticipated school-age population of 3 students.
- Nearest Facilities:
 FIRE = Franklin Fire Department Station 2, 1.4 miles
 POLICE = Franklin Police Department, 1.9 miles
 RECREATIONAL = Academy Park, 1 mile
- Statement of Architectural Intent: The four cottage homes are designed as "story-and-a-half," rather than two full stories. This will better complement the scale and massing of the neighborhood as well as surrounding areas and create a true cottage feel. Historical architectural detailing will complement the historic residential architecture of the Franklin area while adding a higher level of quality to the proposed homes and the neighborhood. Appropriate scale and quality materials are at the forefront of the architectural language.
- City of Franklin provides water and sewer for this development. Based on 350 gallon per unit per day and 4 units for the development:
 Average water use for final development is estimated at:
 (4 Units) * (3.5 capita per Unit) * (100 /capita) = 1,400 Gallons
 Maximum water use at peak hour factor of 4:
 1,400 * 4 = 5,600 /24 = 234 GAL./hour = 4 GPM
 Water usage impact is minimal.
 Sewer facilities:
 Anticipated sewage flows in single family unit equivalents = 1 SFUEs City of Franklin will provide sewer service for this development.
- Existing fire hydrant flow data has been requested and will be provided on utilities sheet when received from the City.
- Based on 10 vehicle trips per day, per single family detached household, the development will result in approximately 40 vehicle trips per day.

STORMWATER NOTE

1. The stormwater strategy will be further developed when the site is programmed and construction documents are submitted. Our intent is to develop our plans in accordance with the requirements of the City of Franklin LID stormwater regulations. See Buffer Management Plan, approved 12.9.2014, and Sheets C1.0 - C3.1 in this set.

X = TREES TO BE REMOVED



THE COTTAGES AT 509 HILL DRIVE
 FRANKLIN, WILLIAMSON CO., TN
PUD DEVELOPMENT PLAN - COF #5747
SITE PLAN

REVISIONS:
 1-5-2015: RESUBMITTAL PER STAFF COMMENTS

DATE: 11.16.2014
 DESIGNED BY: IBB
 DRAWN BY: BB
 CHECKED BY: DEK
 Q.C. BY: GWY
 PROJECT #: 14055
 SHEET NUMBER:
L1.2

ALL SEWER SERVICE LINES SHALL BE 6" SDR 21 PVC PIPE. SANITARY SEWER TRUNK SHALL BE 6" D.I.P. ALL DOMESTIC WATER LINE SHALL BE 3/4" TYPE "K" COPPER LINE. RPBFP SHALL BE INSTALLED INSIDE BLDG. REFER TO MP&E DWG. FOR LOCATION. G.C. SHALL VERIFY ALL MATERIAL AND INSTALLATION WITH THE CITY OF FRANKLIN.

WITHIN NEW DEVELOPMENTS FOR THE OFF-SITE LINES CONSTRUCTED AS A RESULT OF, OR TO PROVIDE SERVICE TO THE NEW DEVELOPMENT, ALL UTILITIES, SUCH AS CABLE TELEVISION, ELECTRICAL (EXCLUDING TRANSFORMERS), GAS, SEWER, TELEPHONE, AND WATER LINES SHALL BE PLACED UNDERGROUND.

ALL FIRE PROTECTION LINES, EQUIPMENTS, STRUCTURES AND INSTALLATION SHALL MEET NFPA 13, 14 (STANDARD OF CARE REQUIREMENTS PER COMMERCE AND INSURANCE CONTRACTOR'S BOARD).

CITY OF FRANKLIN WATER MANAGEMENT DEPARTMENT IS NOT ON "TENNESSEE ONE CALL". CONTRACTOR SHALL CONTACT THE CITY OF FRANKLIN TO MARK UTILITIES.

BLDG 1.3' NW
 1" HIGH DENSITY POLYETHYLENE (PE) SDR 11 PLASTIC GAS SERVICE LINE. CONNECT TO EXISTING GAS LINE IN ACCORDANCE WITH THE GAS COMPANY'S STD. & REQ

LANDS OF CAMERON
 NO DEED FOUND
 15

MIN. SIDE BLDG. SETBACK LINE
 GAS METER (TYP.)
 ELECTRIC METER (TYP.)
 UNDERGROUND ELECTRIC LINE

3'-8" SQUARE TRASH RECEPTACLE PAD (TYP.) WITH ENCLOSURE TO MATCH BUILDING EXTERIOR
 1" HIGH DENSITY POLYETHYLENE (PE) SDR 11 PLASTIC GAS SERVICE LINE.
 12" RIBBON CURB (TYP.)

DEED BOOK 4380, PAGE 388, R.O.W.C., TN.
 FRANKLIN EST. MOBILE HOME PARK, LLC
 LANDS OF CAMERON

UTILITY OWNERS
GAS
 ATMOS ENERGY
 122 2nd AVENUE NORTH
 FRANKLIN, TN 37064
 1 (888) 824-3434
WATER & SEWER
 CITY OF FRANKLIN
 109 3rd AVENUE SOUTH
 FRANKLIN, TN 37064
 (615) 794-4554
ELECTRIC
 MIDDLE TENNESSEE ELECTRIC MEMBERSHIP COOP
 2155 CURD LANE
 FRANKLIN, TN 37068
 (615) 794-3561
TELEPHONE
 BELL SOUTH
 3021 MALLORY LANE
 FRANKLIN, TN 37067
 1-866-620-6000

PERVIOUS BRICK PAVER DRIVEWAY
 BUFFER AREA "A"
 = +/- 548 SF
 30' STREAM BUFFER
 BUFFER AREA "B"
 = +/- 575 SF

BLDG 1.3' NW
 122.40'
 N56°44'38"E
 F.F.E. 693.50
 2-STORY BLDG. (FOOTPRINT)
 1,212 S.F. (FOOTPRINT)
 GARAGE 420 S.F. (FOOTPRINT)
 F.F.E. 693.00
 500 S.F. BIO-RETENTION
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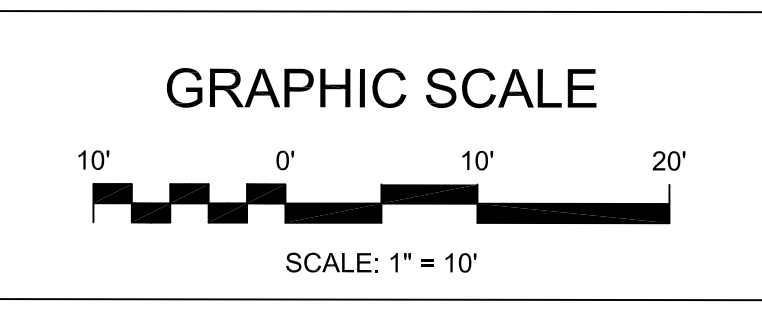
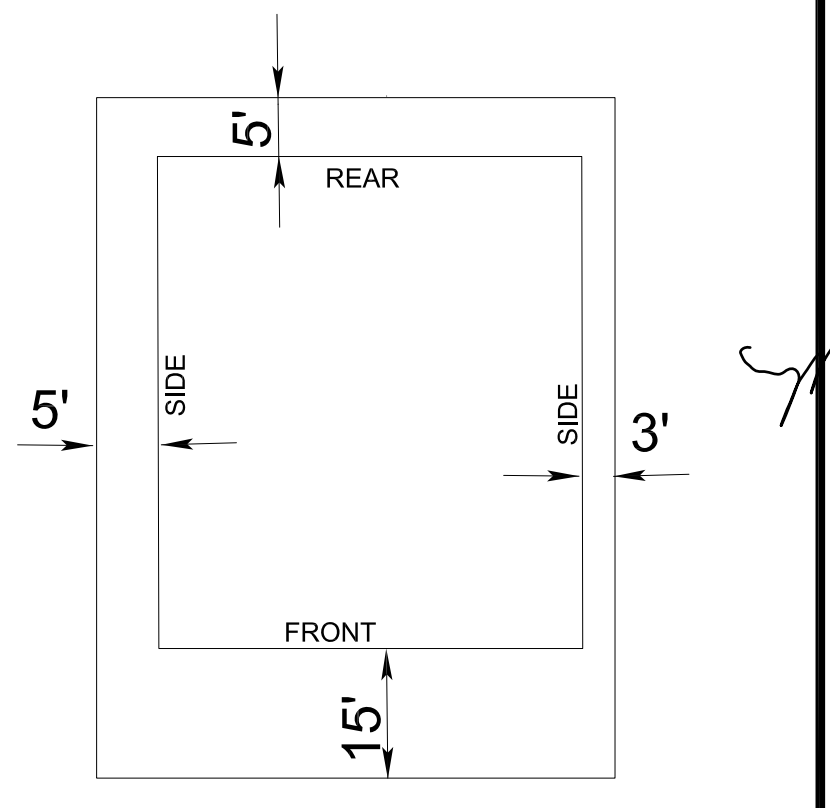
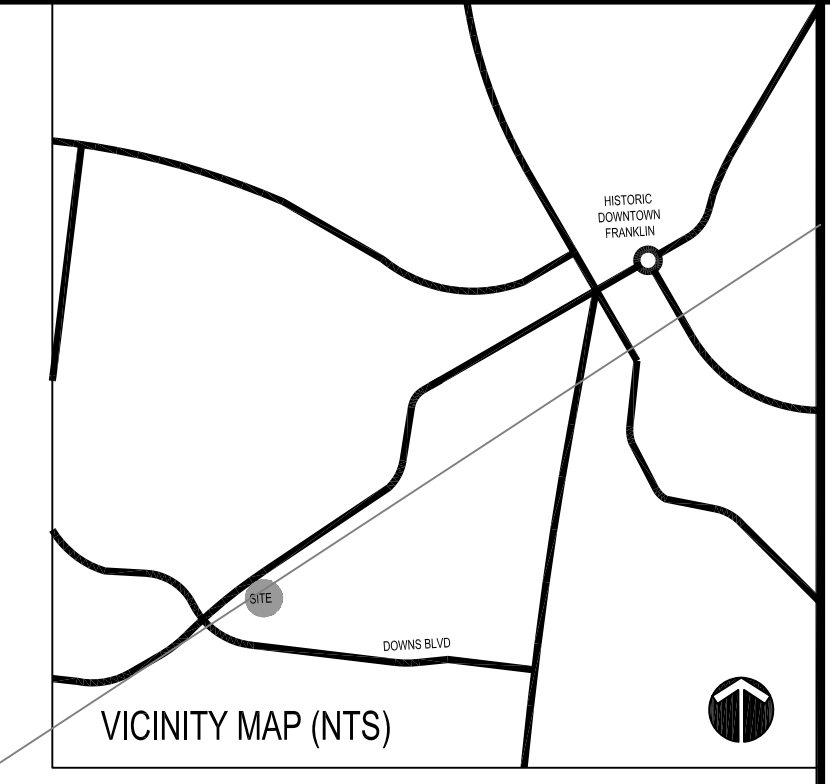
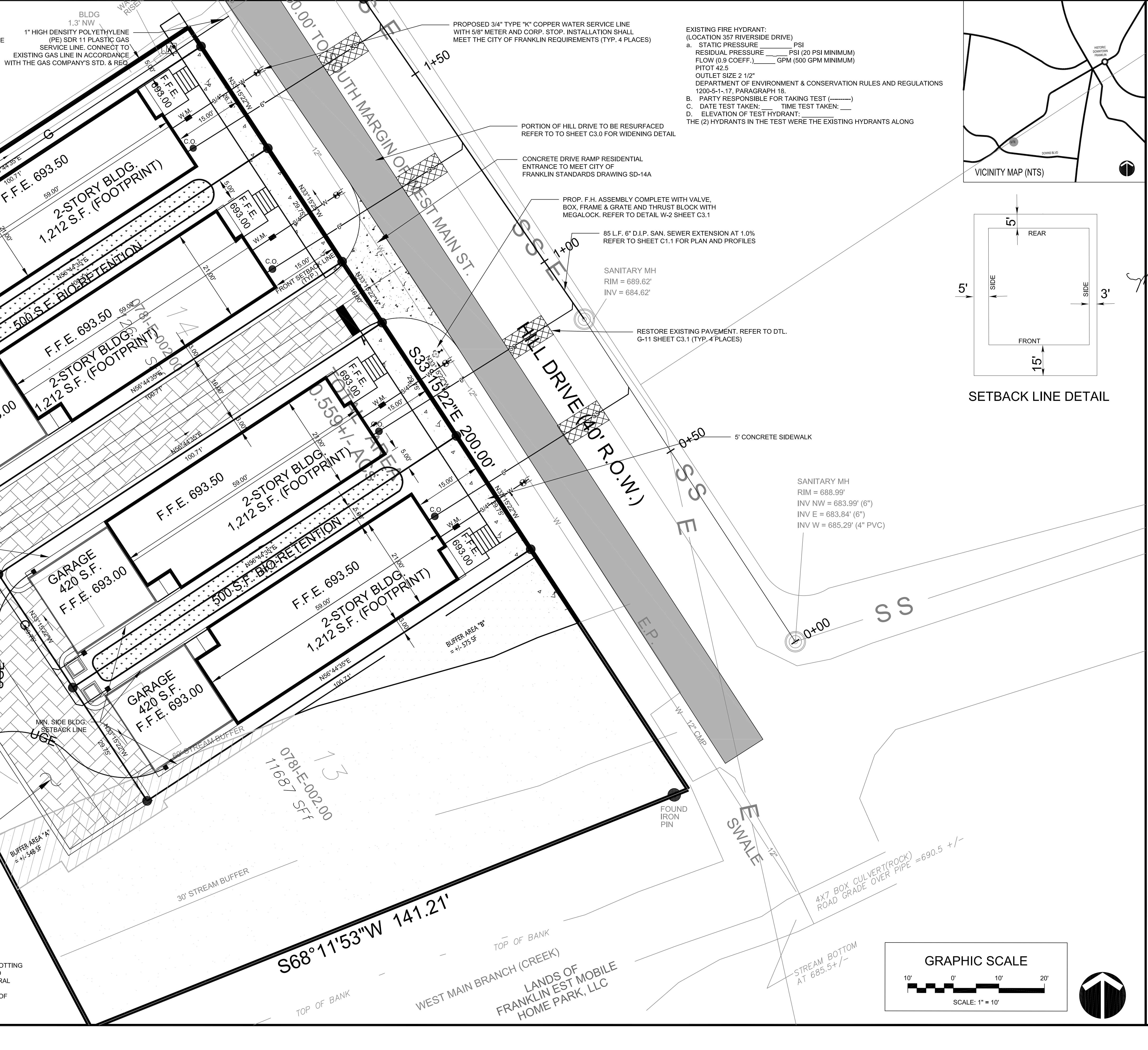
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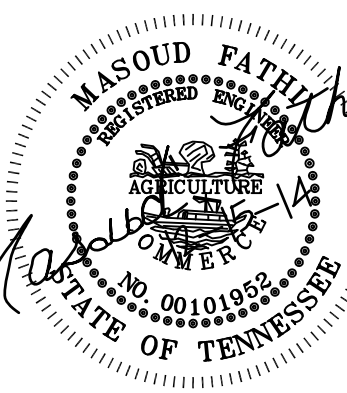
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 615.540.0232

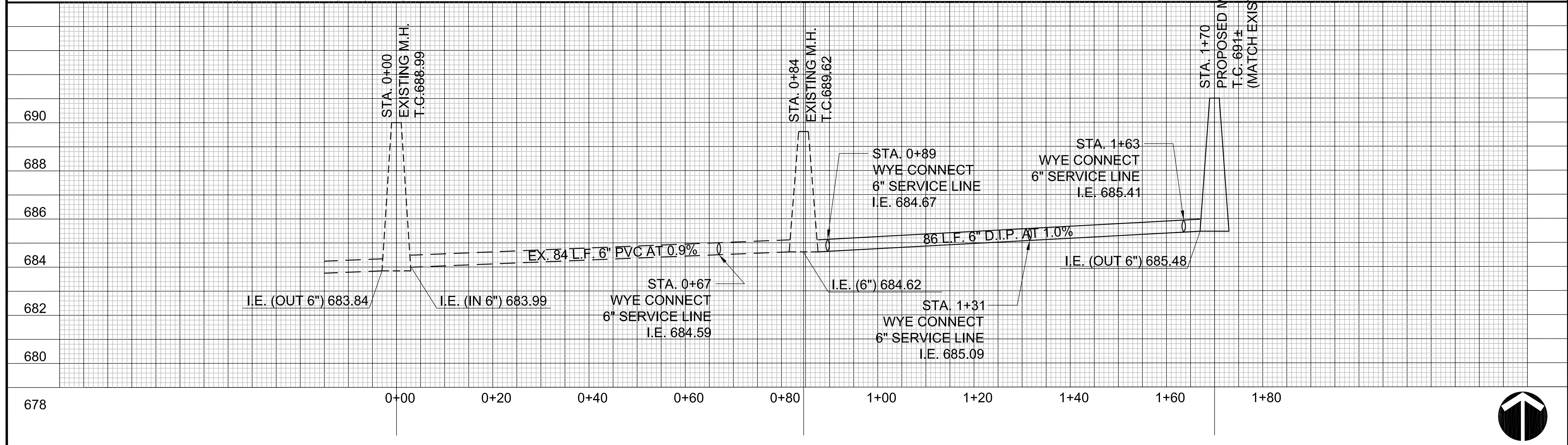
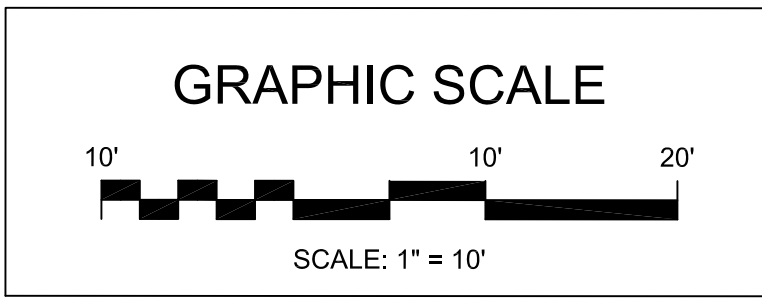
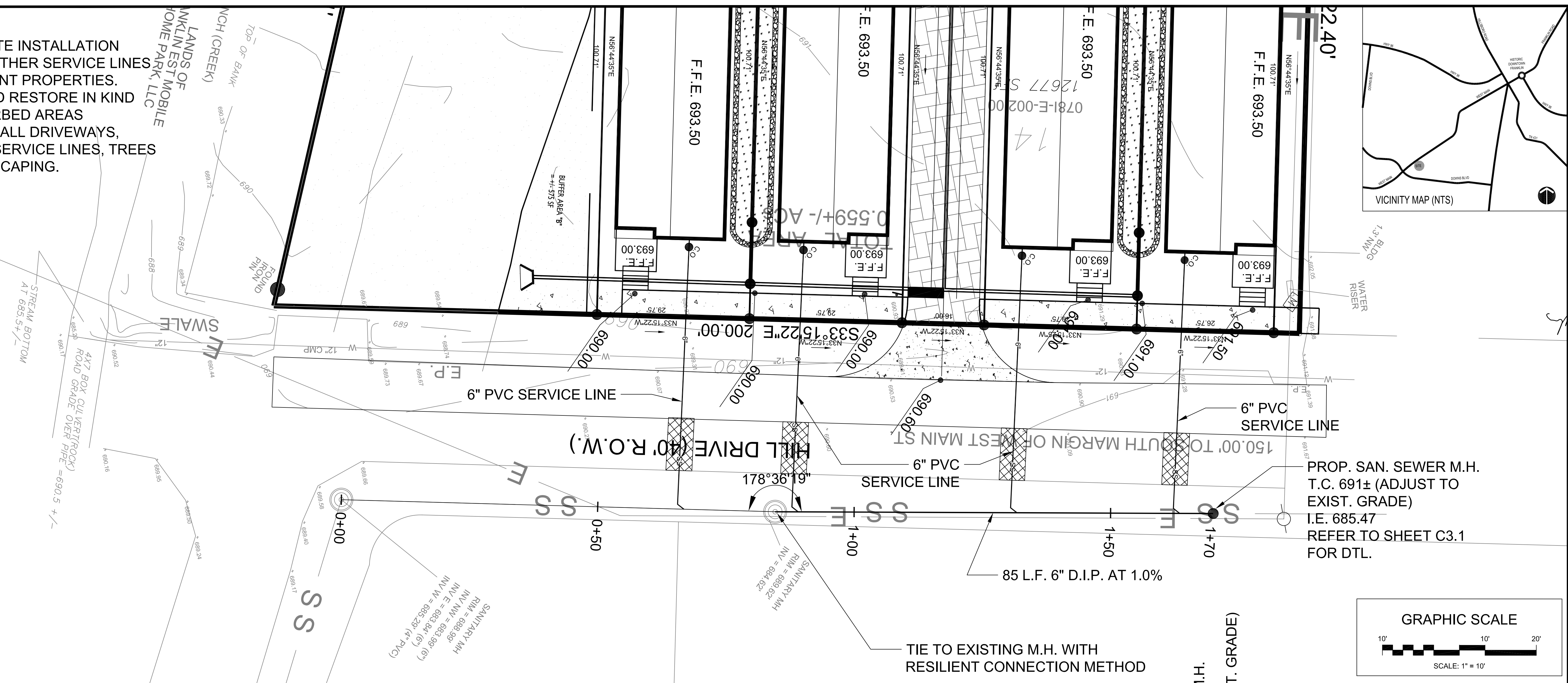


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 FRANKLIN, WILLIAMSON CO., TN
 PUD DEVELOPMENT PLAN COF#5747
 SITE LAYOUT PLAN

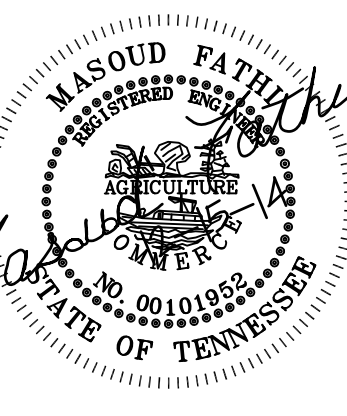
REVISIONS:
 DATE: 12-15-2014
 DESIGNED BY: M.F.
 DRAWN BY: M.F.
 CHECKED BY: M.F.
 SCALE: M.F.
 PROJECT #: 14055
 SHEET NUMBER:
C1.0

BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY, THIS PROPERTY IS NOT IN ANY FLOOD ZONES, AS DESIGNATED ON CURRENT FEDERAL EMERGENCY MANAGEMENT AGENCY MAP NO. 47187C0192F, WITH AN EFFECTIVE DATE OF SEPTEMBER 29, 2006.

NOTE:
 COORDINATE INSTALLATION
 WITH ALL OTHER SERVICE LINES
 TO ADJACENT PROPERTIES.
 REPAIR AND RESTORE IN KIND
 ALL DISTURBED AREAS
 INCLUDING ALL DRIVEWAYS,
 UTILITIES, SERVICE LINES, TREES
 AND LANDSCAPING.



KISERVOGRIN DESIGN
 5005 Meridian Blvd. Suite 100, Franklin, TN 37067
 615.549.0232



THE COTTAGES AT 509 HILL DRIVE
 FRANKLIN, WILLIAMSON CO., TN
PUD DEVELOPMENT PLAN COF#5747
SEWER EXTENSION PLAN & PROFILE

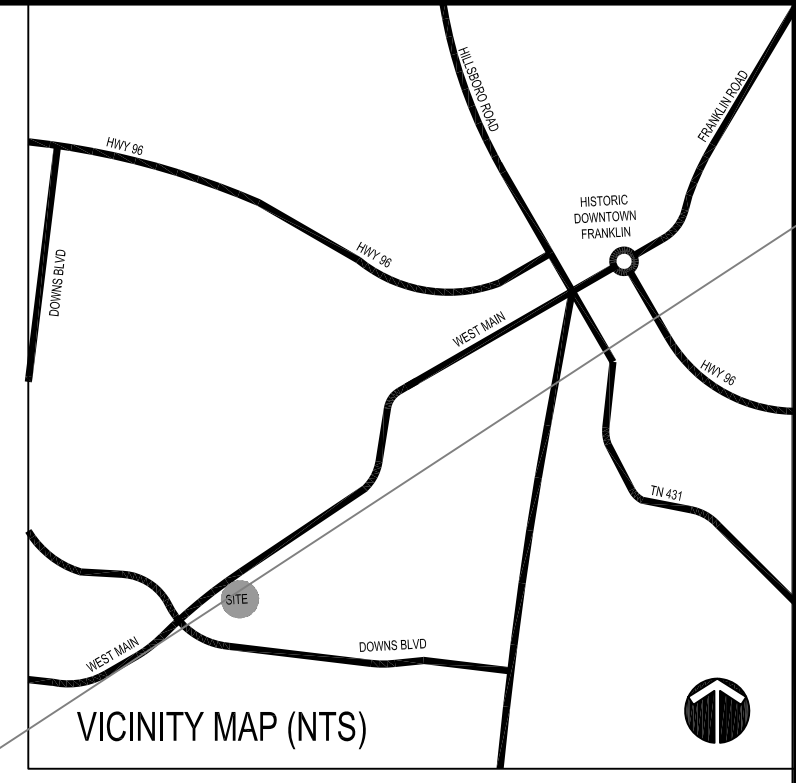
REVISIONS:
 DATE: 12-15-2014
 DESIGNED BY: M.F.
 DRAWN BY: M.F.
 CHECKED BY: M.F.
 C.C. BY: M.F.
 PROJECT #: 14055
 SHEET NUMBER:
C1.1

BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY. THIS PROPERTY IS NOT IN ANY FLOOD ZONES, AS DESIGNATED ON CURRENT FEDERAL EMERGENCY MANAGEMENT AGENCY MAP NO. 47187C0192F, WITH AN EFFECTIVE DATE OF SEPTEMBER 29, 2006.

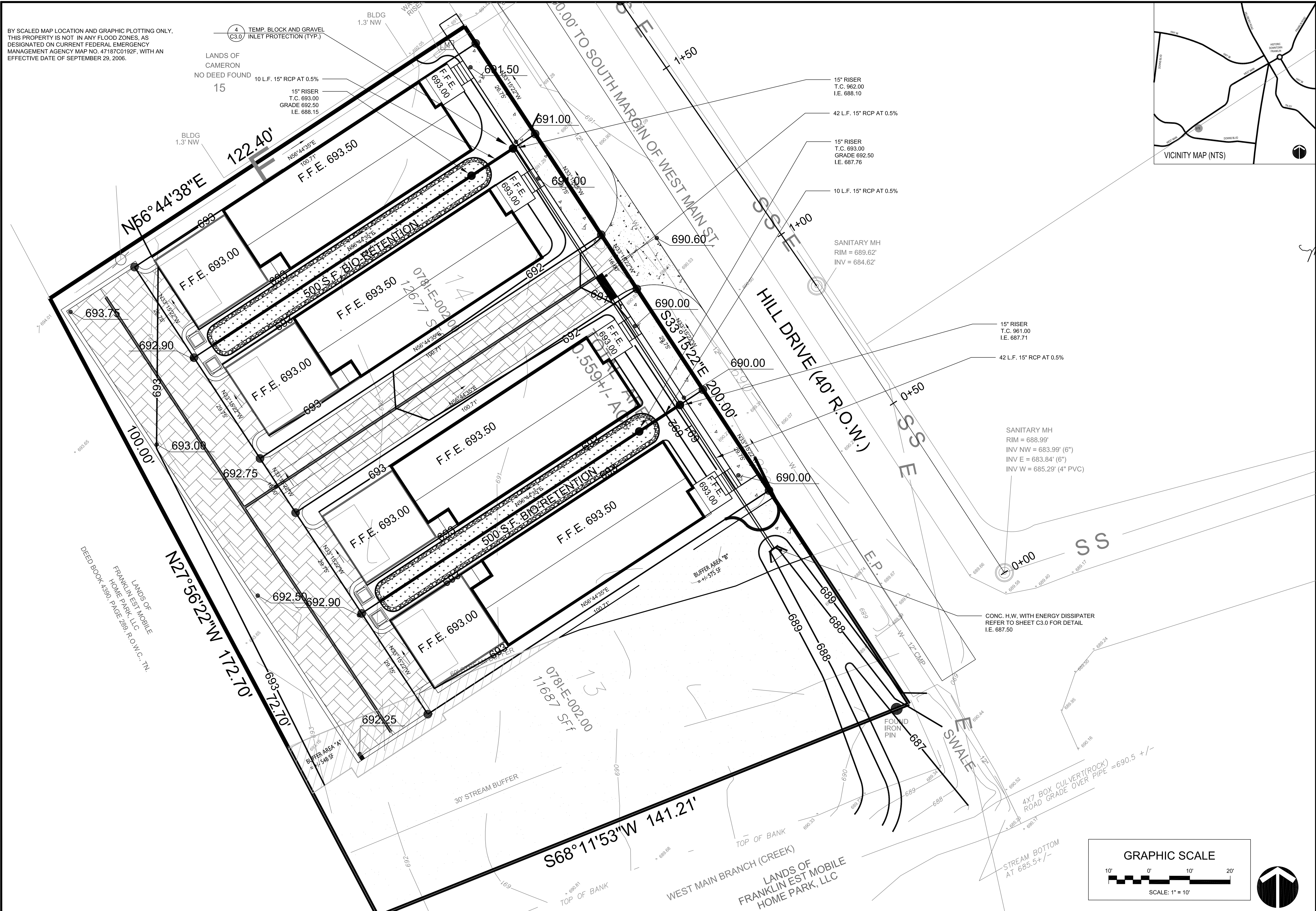
LANDS OF CAMERON
NO DEED FOUND
15
10 L.F. 15" RCP AT 0.5%
15" RISER
T.C. 693.00
GRADE 692.50
I.E. 688.15

BLDG 1.3' NW

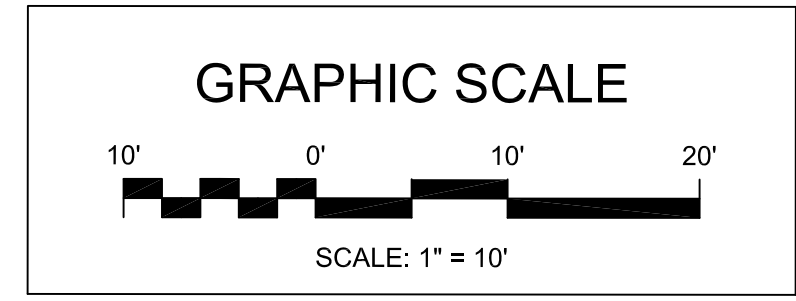
BLDG 1.3' NW



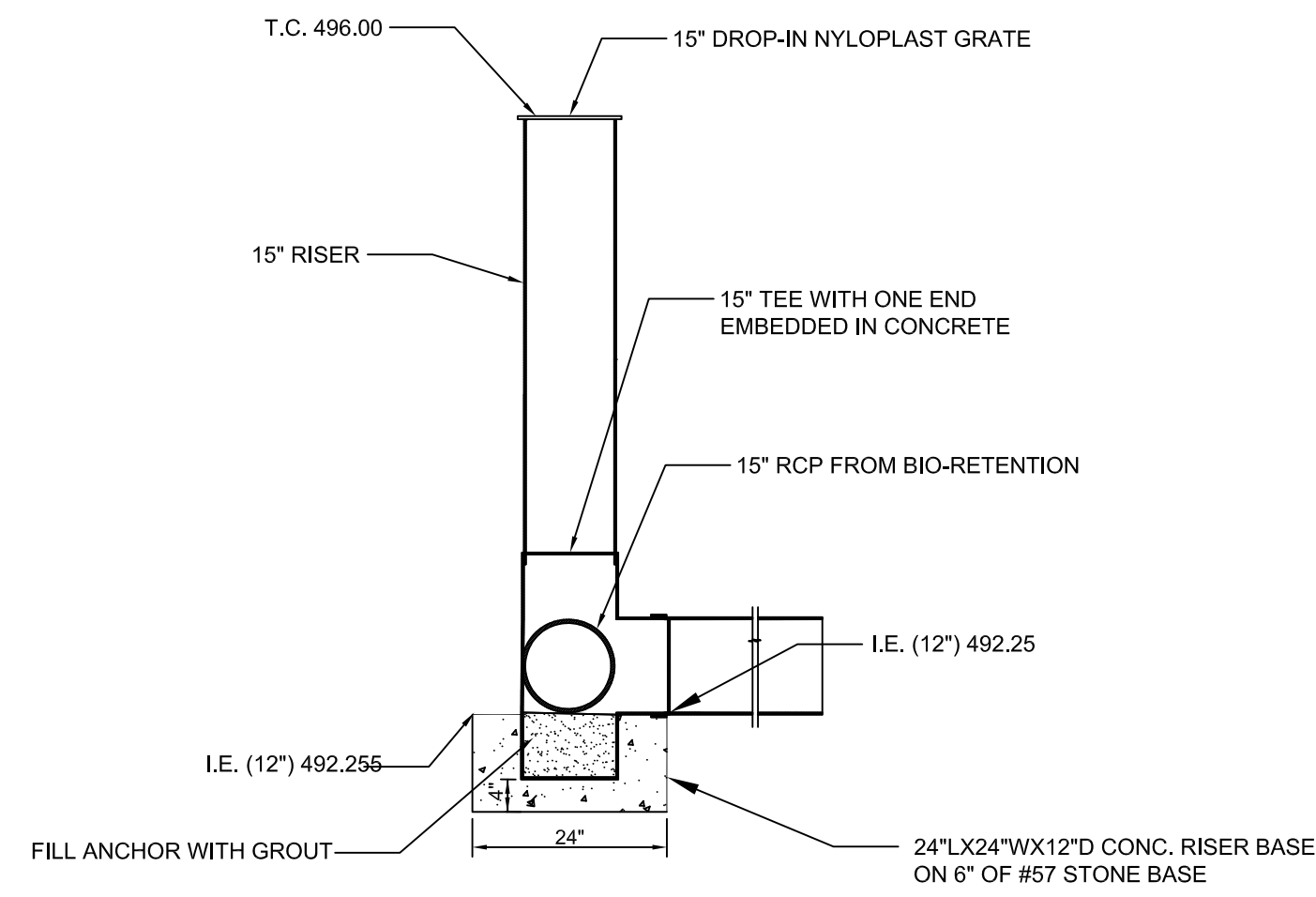
KISERVOGRIN DESIGN
5005 Meridian Blvd., Suite 100, Franklin, TN 37067
615.549.0232



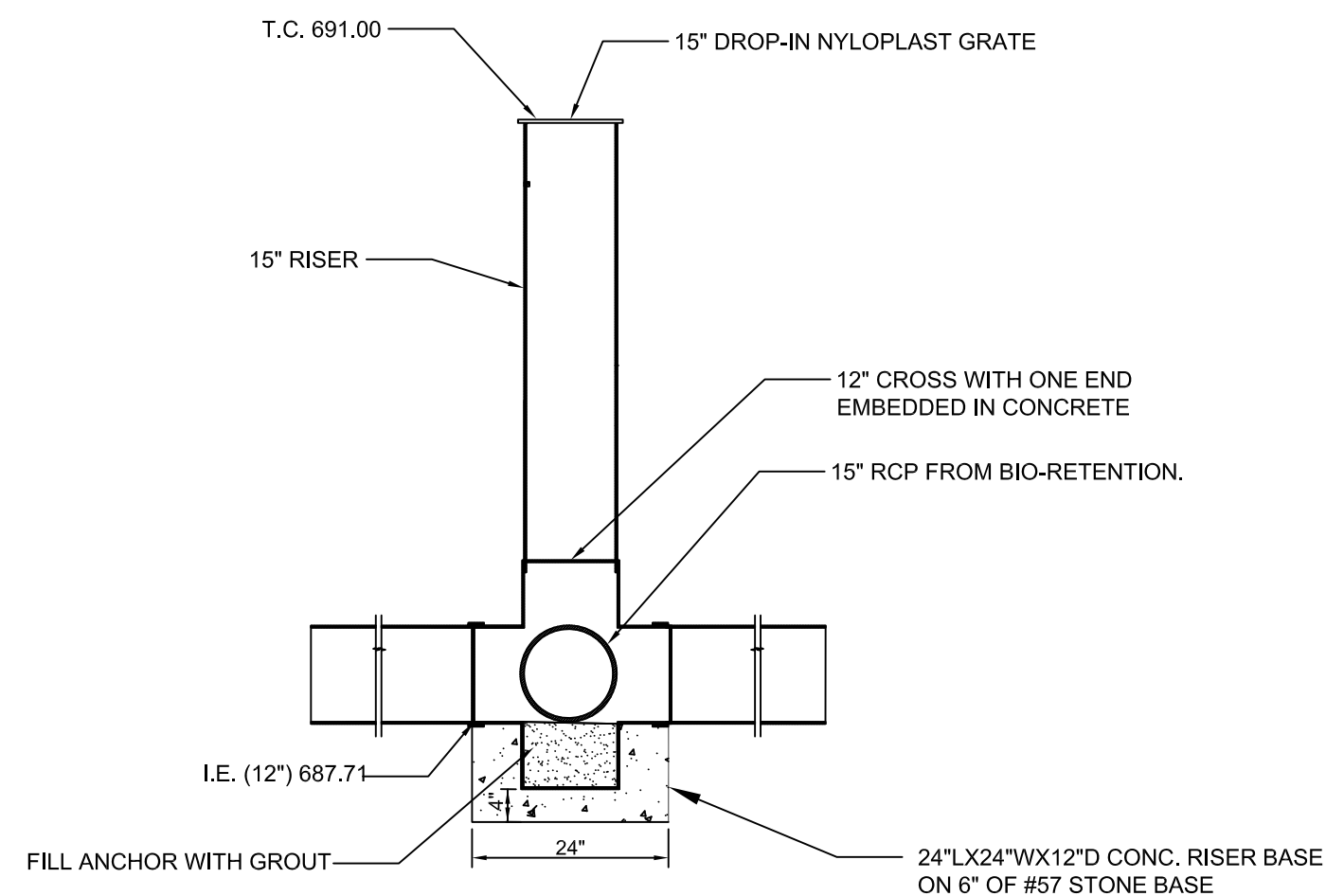
THE COTTAGES AT 509 HILL DRIVE
FRANKLIN, WILLIAMSON CO., TN
PUD DEVELOPMENT PLAN COF#5747
SITE GRADING AND DRAINAGE PLAN



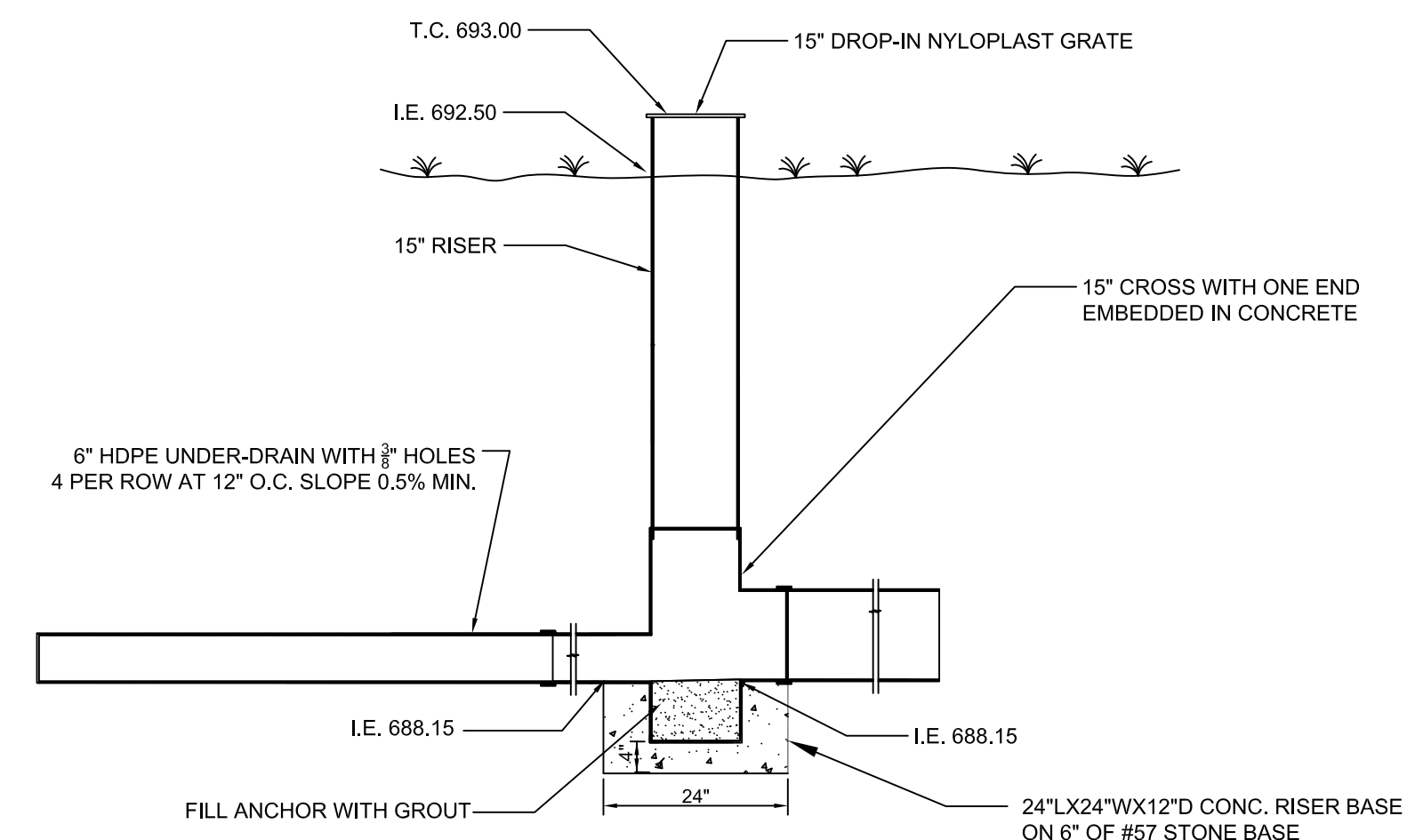
REVISIONS:
DATE: 12-15-2014
DESIGNED BY: M.F.
DRAWN BY: M.F.
CHECKED BY: M.F.
C.C. BY: M.F.
PROJECT #: 14055
SHEET NUMBER:
C2.0



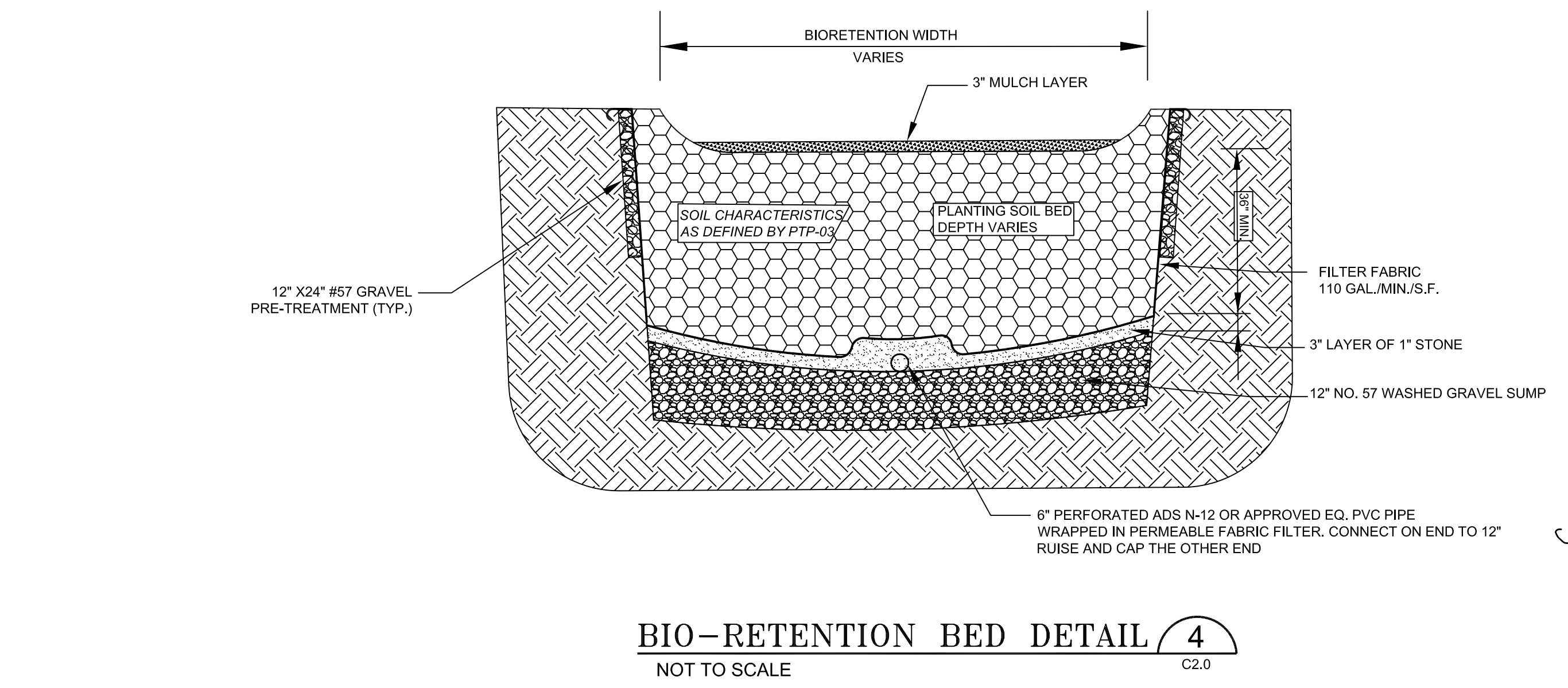
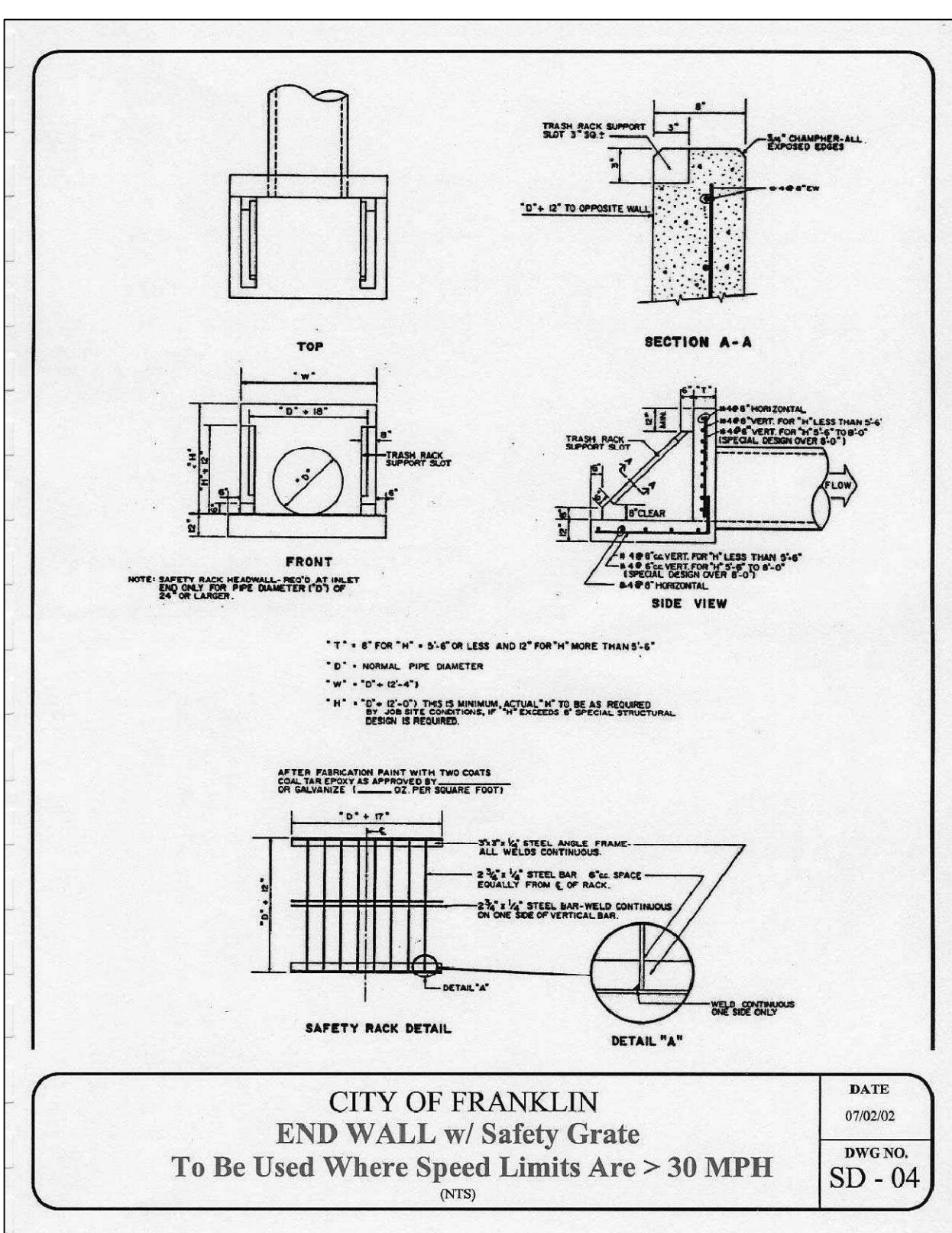
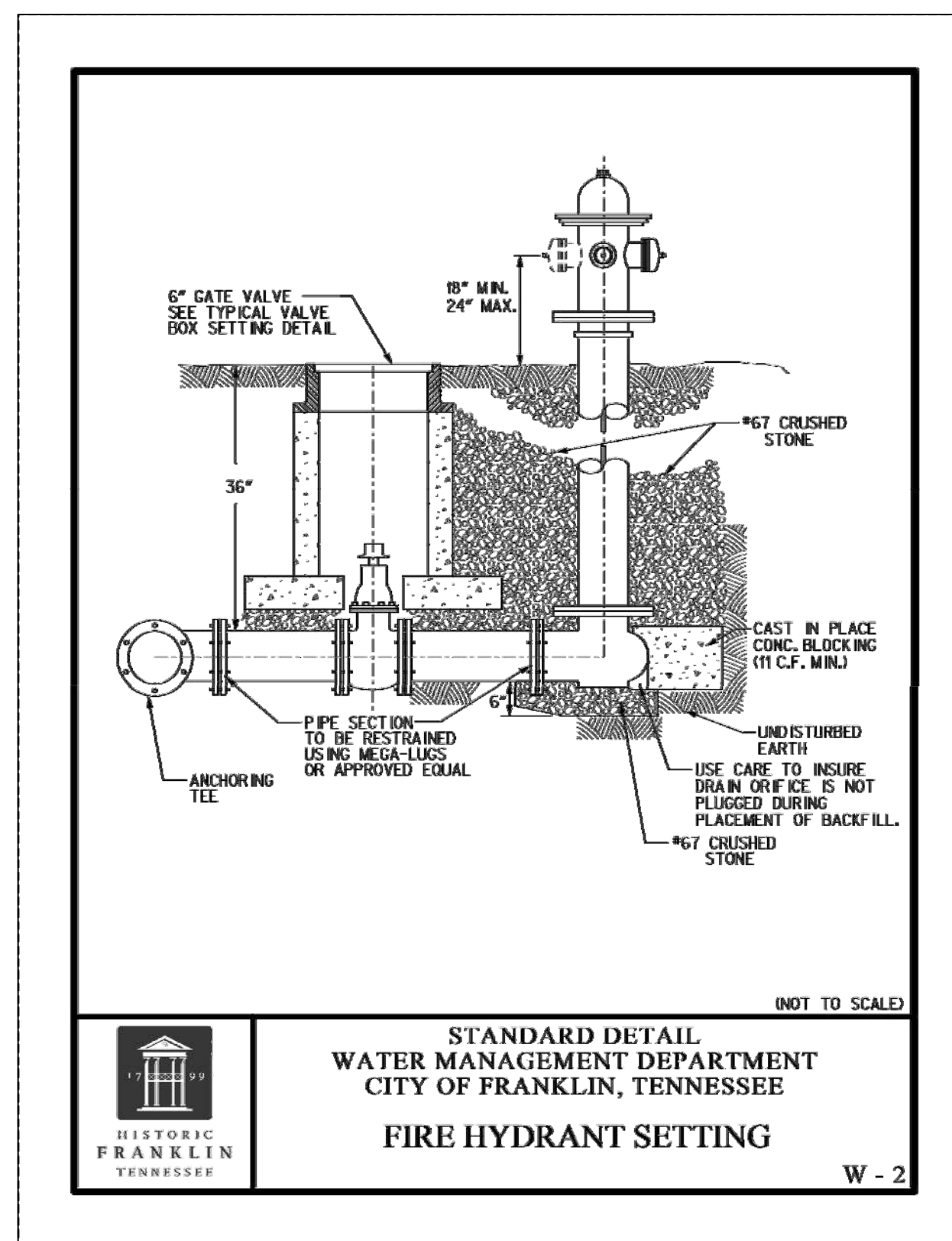
SECTION C-C (SHEET C2.0) 1
NOT TO SCALE



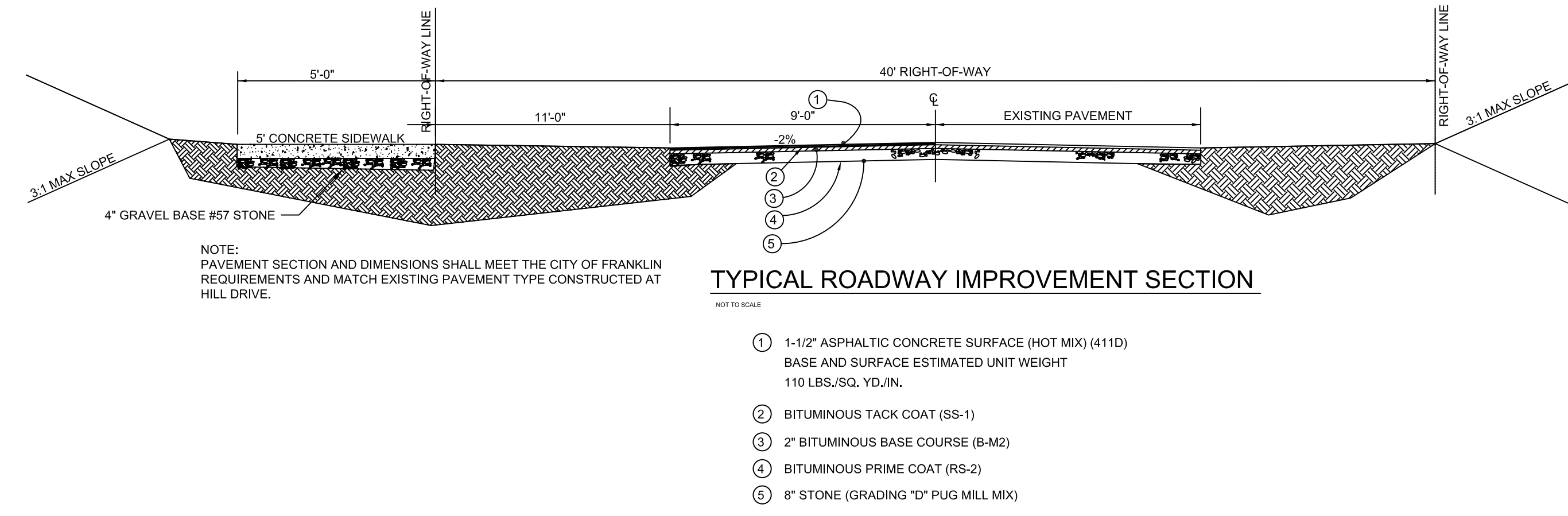
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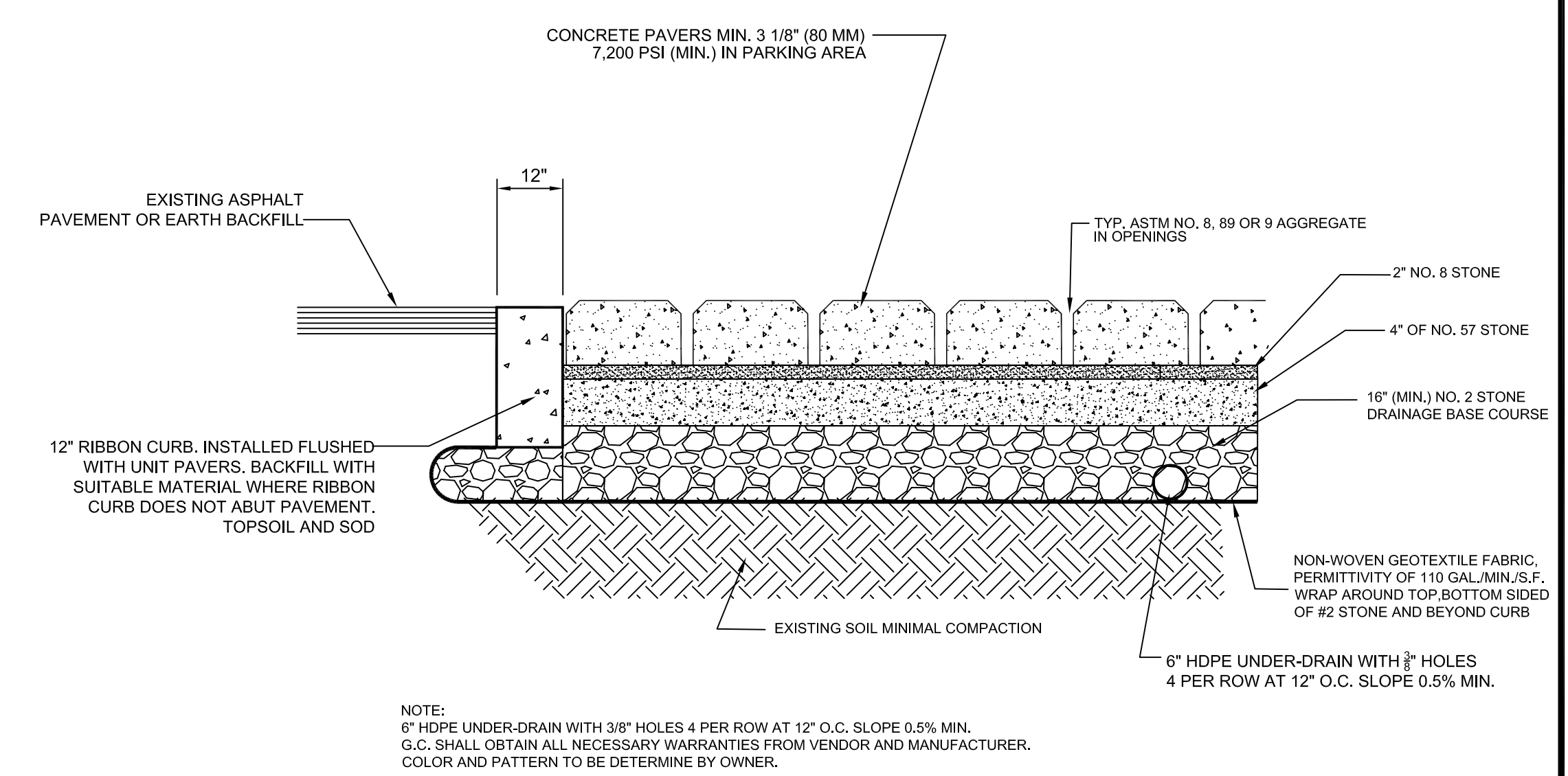
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NOT TO SCALE



BIO-RETENTION BED DETAIL 4
NOT TO SCALE

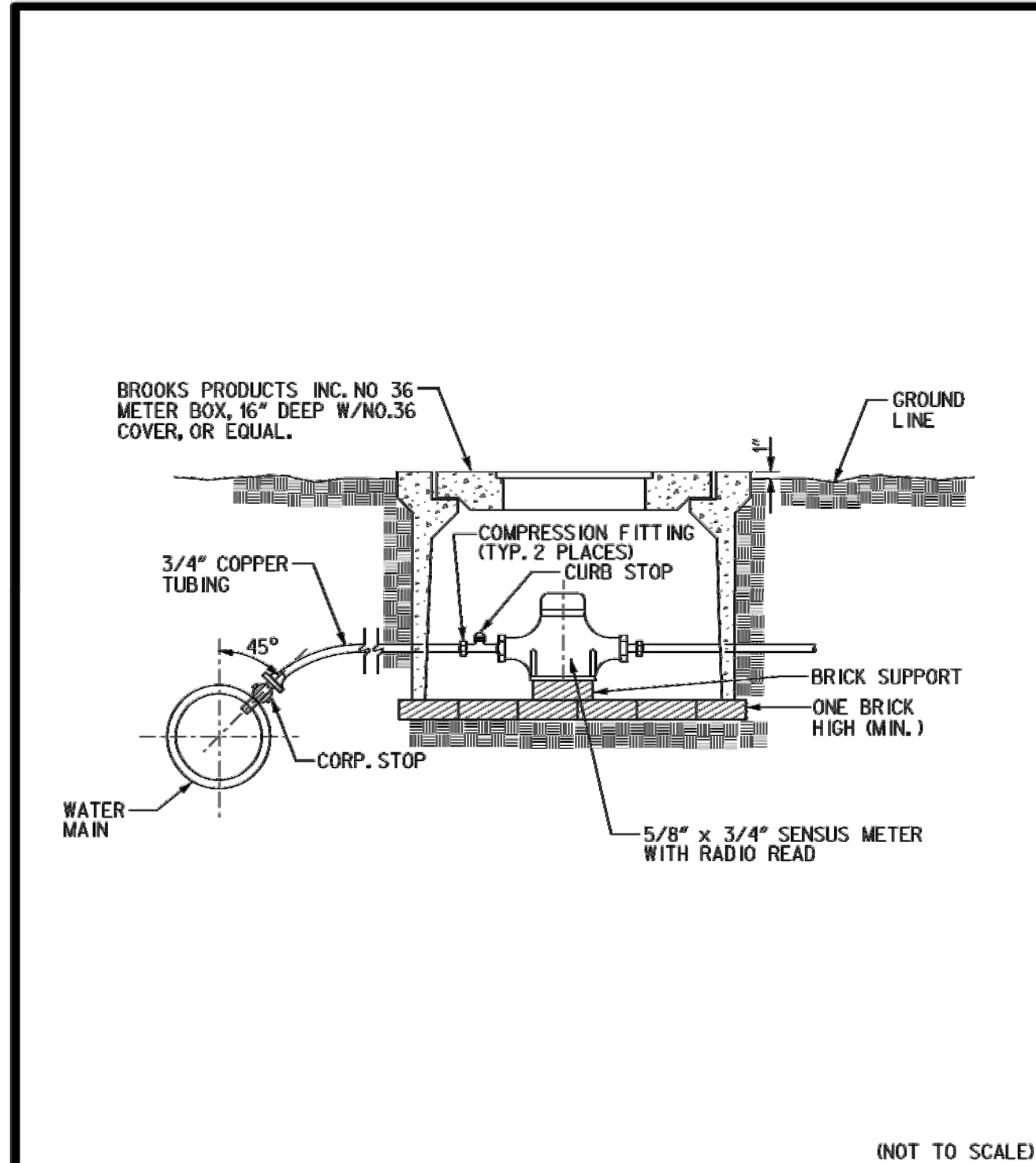


TYPICAL ROADWAY IMPROVEMENT SECTION
NOT TO SCALE



POROUS PAVERS DETAIL AT RIBBON CURB 5
NOT TO SCALE



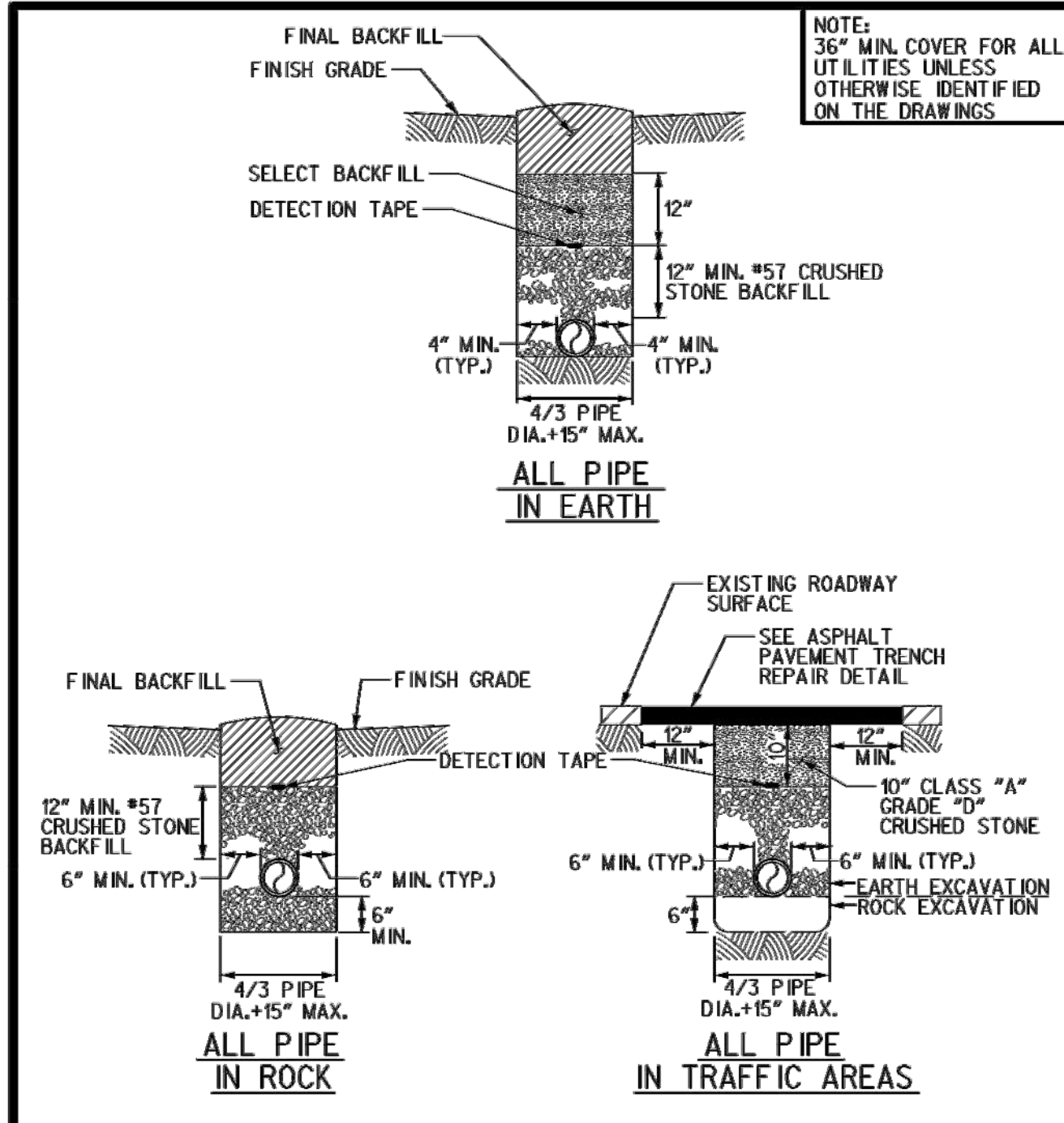


STANDARD DETAIL
WATER MANAGEMENT DEPARTMENT
CITY OF FRANKLIN, TENNESSEE
3/4" WATER SERVICE ASSEMBLY

(NOT TO SCALE)



W - 9

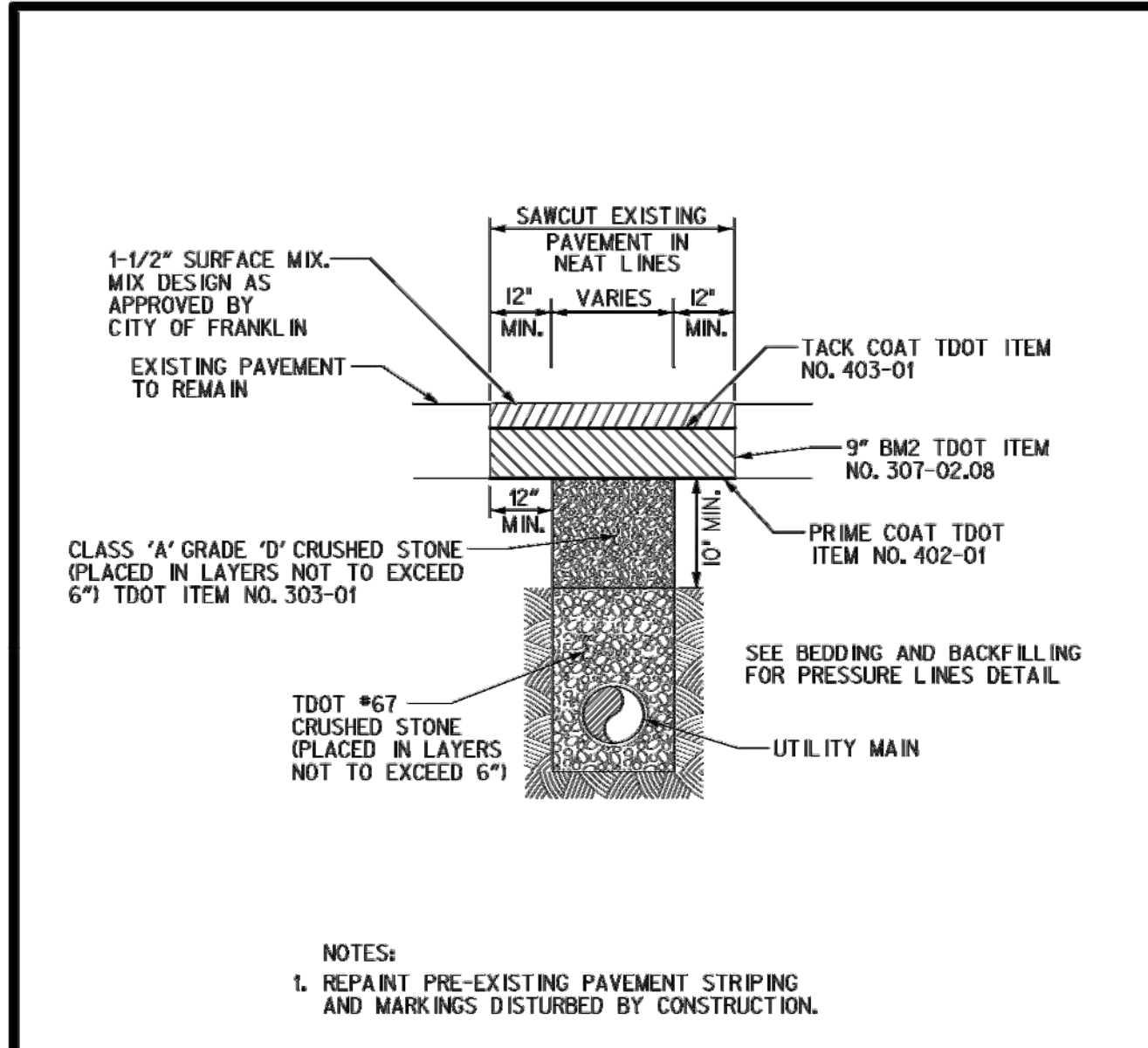


STANDARD DETAIL
WATER MANAGEMENT DEPARTMENT
CITY OF FRANKLIN, TENNESSEE
BEDDING AND BACKFILLING
FOR GRAVITY LINES

(NOT TO SCALE)



G - 10

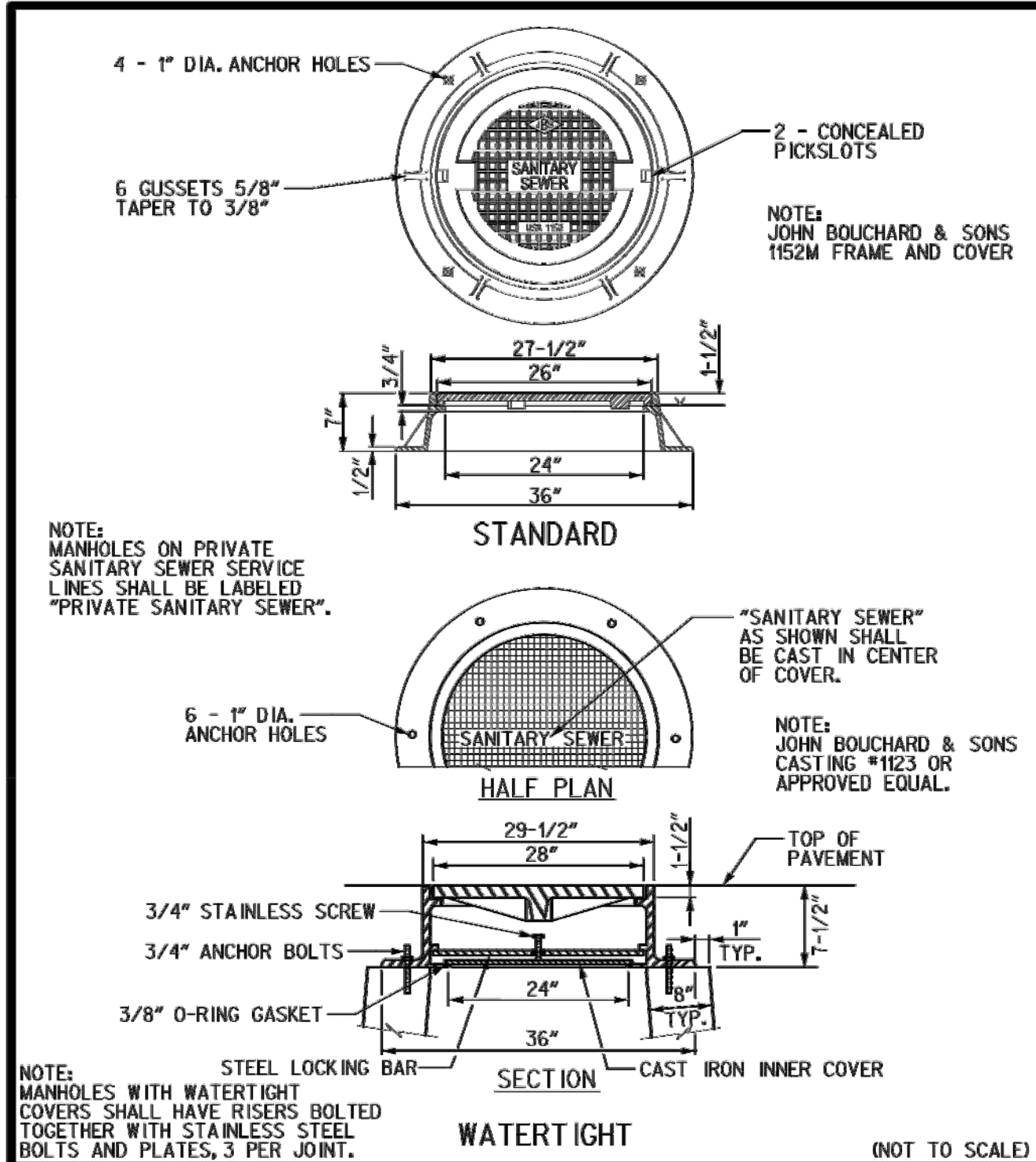


STANDARD DETAIL
WATER MANAGEMENT DEPARTMENT
CITY OF FRANKLIN, TENNESSEE
ASPHALT PAVEMENT TRENCH REPAIR

(NOT TO SCALE)



G - 11

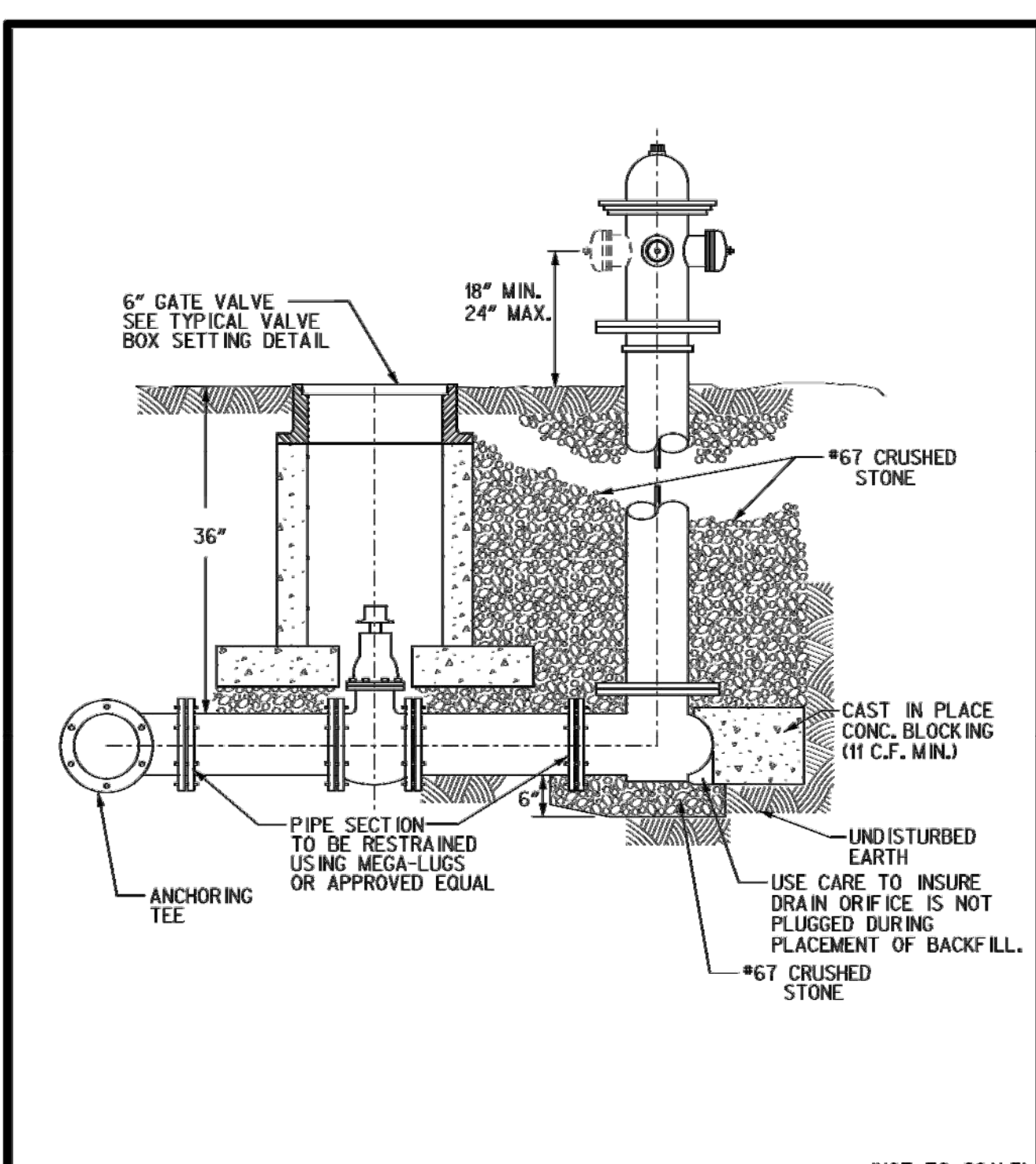


STANDARD DETAIL
WATER MANAGEMENT DEPARTMENT
CITY OF FRANKLIN, TENNESSEE
MANHOLE FRAME AND COVER

(NOT TO SCALE)



WW - 6

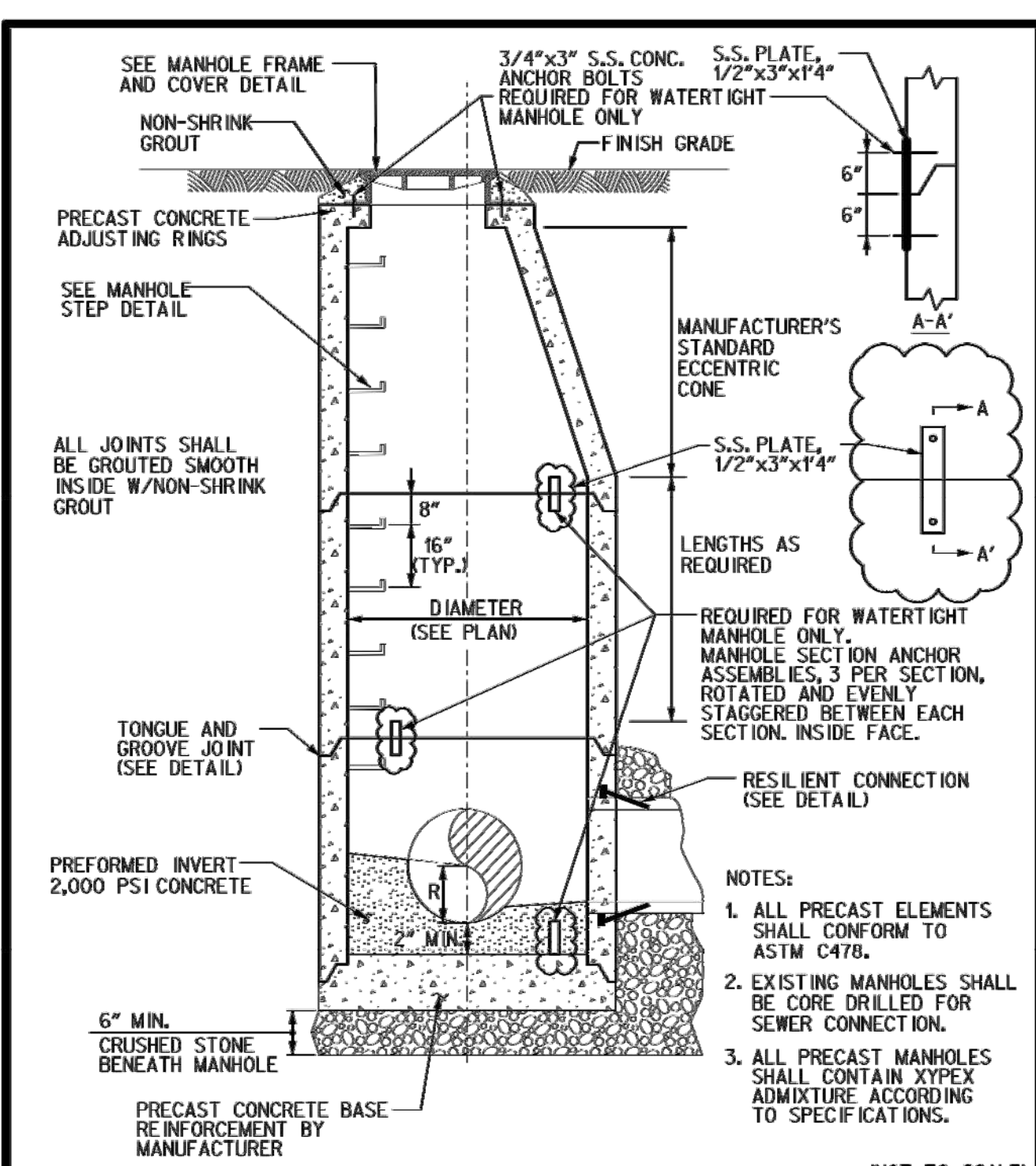


STANDARD DETAIL
WATER MANAGEMENT DEPARTMENT
CITY OF FRANKLIN, TENNESSEE
FIRE HYDRANT SETTING

(NOT TO SCALE)



W - 2

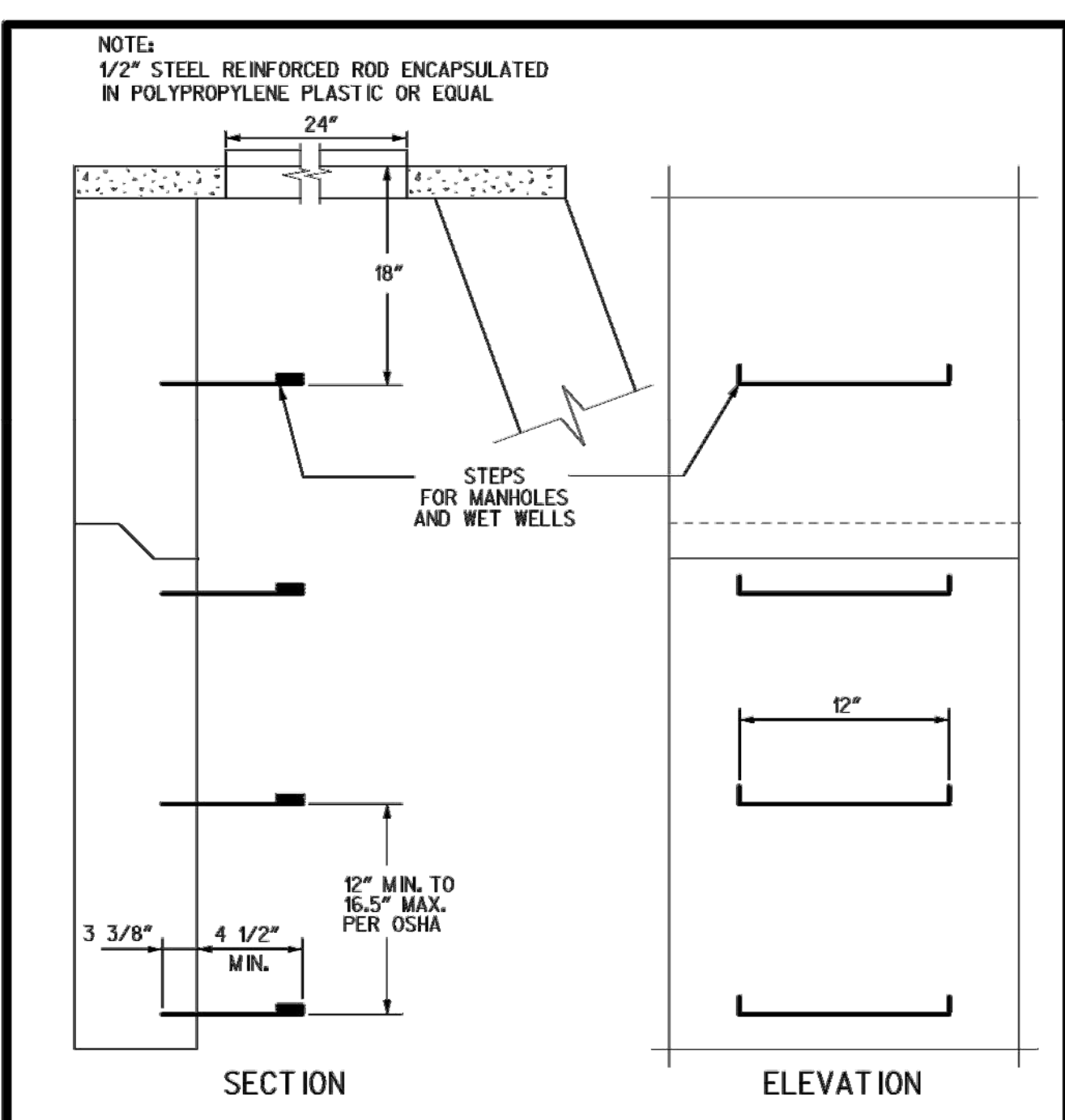


STANDARD DETAIL
WATER MANAGEMENT DEPARTMENT
CITY OF FRANKLIN, TENNESSEE
PRECAST CONCRETE MANHOLE

(NOT TO SCALE)



WW - 1

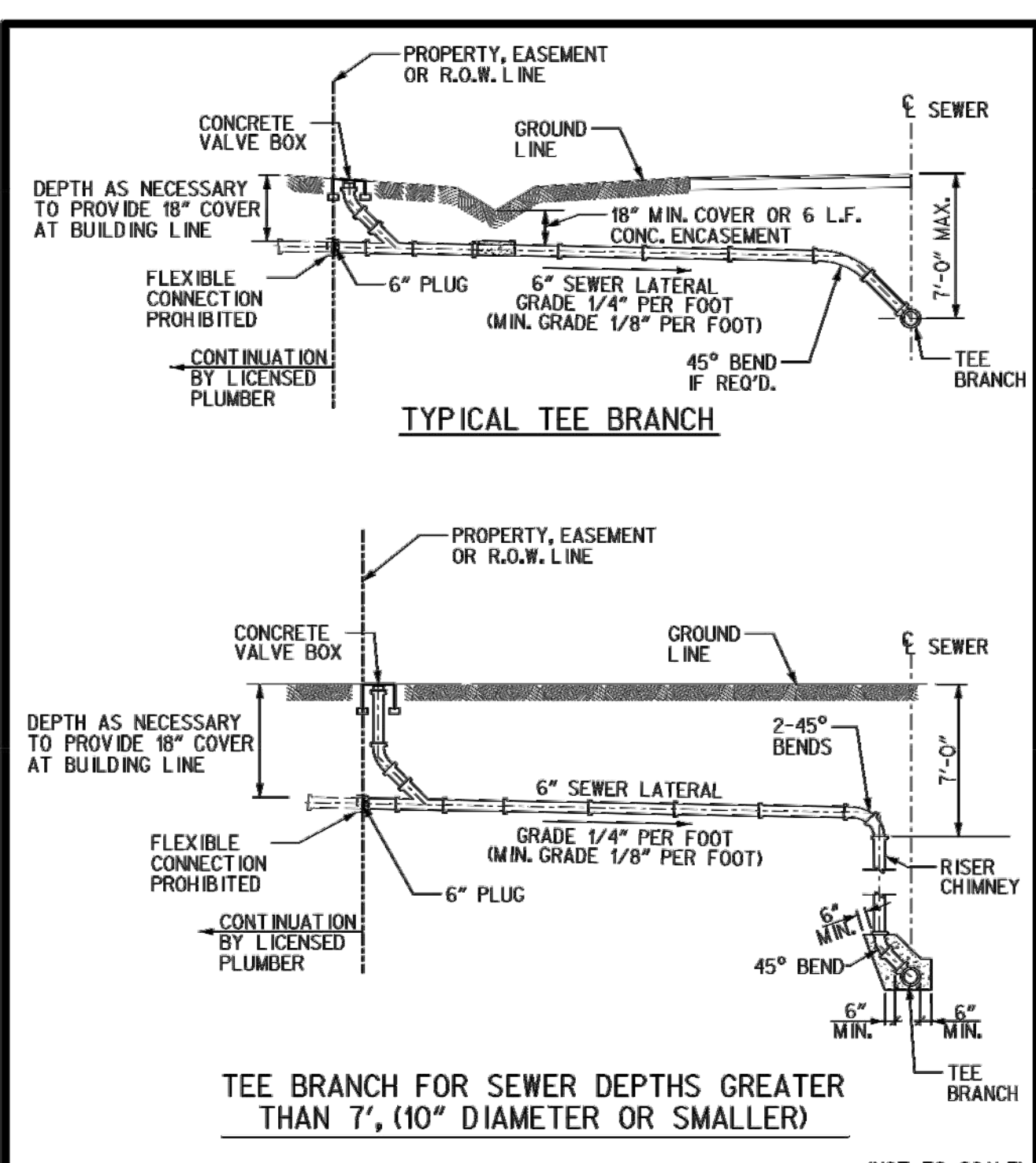


STANDARD DETAIL
WATER MANAGEMENT DEPARTMENT
CITY OF FRANKLIN, TENNESSEE
MANHOLE STEPS

(NOT TO SCALE)



WW - 2

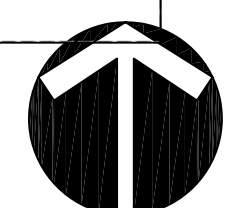
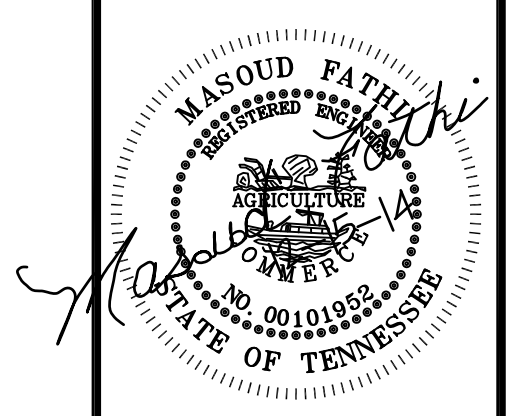


STANDARD DETAIL
WATER MANAGEMENT DEPARTMENT
CITY OF FRANKLIN, TENNESSEE
SANITARY SEWER LATERALS

(NOT TO SCALE)



WW - 3





EXISTING TREE CANOPY
COVERAGE = 35%

Aerial Tree Canopy Exhibit
509 HILL DRIVE
FRANKLIN, WILLIAMSON CO., TN



architectural elevation



ALL RENDERINGS ARE CONCEPTUAL IN NATURE AND ARE SUBJECT TO REVISION.

NOVEMBER 20, 2014

PROPOSED SD-R-4 DISTRICT WITH PUD OVERLAY

THE COTTAGES AT 509 HILL DRIVE

Franklin, Williamson County, Tennessee

STATEMENT OF IMPACT.

City of Franklin provides water and sewer for this development. Based on 350 gallon per unit per day and 4 units for the development:

Water facilities:

Average water use for final development is estimated at:

$(4 \text{ Units}) * (3.5 \text{ capita per Unit}) * (100 \text{ /capita}) = 1,400 \text{ Gallons}$

Maximum water use at peak hour factor of 4:

$1,400 * 4 = 5,600 / 24 = 234 \text{ GAL./hour} = 4 \text{ GPM}$

Water usage impact is minimal.

Sewer facilities:

Anticipated sewage flows in single family unit equivalents = 1 SFUEs City of Franklin will provide sewer service for this development.

There are no reclaimed or reused water systems in 1000' vicinity of this project.

Street lighting, open space and other amenities lighting will complement the landscaping design and will meet the planning and sustainability requirements.

Traditional standards.

Signage shall meet the city of Franklin planning and sustainability Regulations. A main entry sign is planned consisting of a stone gate-wall with embedded sign. No way-finding signage will be required in open space, amenities and pedestrian areas.

Existing fire hydrant flow data has been requested and will provided on utilities sheet when received from the City.

The proposed structures is not intended to be sprinklered unless water flow and pressure are not in compliance for the minimum required GPM at 20 PSI and if the location of the existing hydrants in public R-O-W will meet the fire marshal's requirements. The proposed development will require approximately 1,400 gallons per day of potable water. The domestic water use for the proposed development is consistent with residential uses, i.e., showers, toilets, sinks.

Driving distance to the nearest fire station is **6 min** (2.9 mi) via Boyd Mill Ave and Downs Blvd. Driving distance to the nearest police station located at 900 Columbia Ave, Franklin, TN 37064 is **4 min** (1.8 mi) via Columbia Ave and Downs Blvd.

The probable impact of development on the water facilities is minimal, as the existing water line will have sufficient flow and pressure.

The probable impact of development of the sewer facilities is minimal, as there is an existing gravity sewer running along Hill Drive. The sewer service is provided by the city of Franklin.

STORMWATER MANAGEMENT REGULATING PLAN

COTTAGES AT 509 HILL DRIVE - PUD
MAP 18, GROUP E, PARCEL 2
(T-CARD 001 & 002, PLAT BOOK 1, PAGE 87, BLOCK C, LOTS 13&1 4)
Franklin, Williamson County, Tennessee

Prepared for:
KP PROPERNES
629 POST OAK CIRLE
BRENTWOOD, TN 37027
615.472.8916
tpenn24@yal-loo.com

Prepared by:
Civil and Environmental Engineering Services, LLC
7432 Highway 70 South
Nashville, TN 37221
masoudfathi@comcast.net

December 08, 2014

Existing Site Conditions

Cottages at 509 Hill Drive (Cottages) is a proposed 4 single family lots development located on west side of Hill Drive approximately 150' from Main Street intersection. (see Figure 1 for Vicinity Map). The subject property with Traditional Standards in Central Franklin Character area is about 0.56 acres and is currently zoned SD-R. The majority of the property is cleared however residues of gravel drives and patio from previous land use still remain. Two trailer homes have been removed and this currently is a vacant lot. To the west is Franklin Est. Mobile Homes LLC, to the north is Don and Tim Camron Auto Shop. To the east is Hill drive and the South is West Main Branch with a 30' primary buffer and a 30' secondary buffer (total 60').

The site is the contributing drainage area. No off-site run-off enters the site. Storm water runoff from this site discharges to the stream buffer on south side and drains to the stream, before crossing under Hill Drive through an existing 4'x7' box culvert. Upstream invert of the culvert is 685.5 and the road is set at 690.5. The site drops from northwest corner at elevation 694 to southeast corner at elevation 690 (top of bank). Based on the flood insurance rate map community panel number 47187c0192f effective date of September 29, 2006, which is subject to map inaccuracies and scaling, this property is not in a special flood hazard area. Only an elevation certificate can determine the exact designation. Refer to Figure 4 for flood map of this area.

Based on USDA, Natural Resources Conservation Service map, soils of part of the site and to the west are identified as Egam Silt Loam, Phosphatic (Eg), soils to the north are identified as Captina Silt Loam Phosphatic, @ 2 to 5 percent (CaB), soils on the east part of the site and to the south are identified as Lanton Silt Loam, Phosphatic (La). Refer to figure 3 for soils area designation.

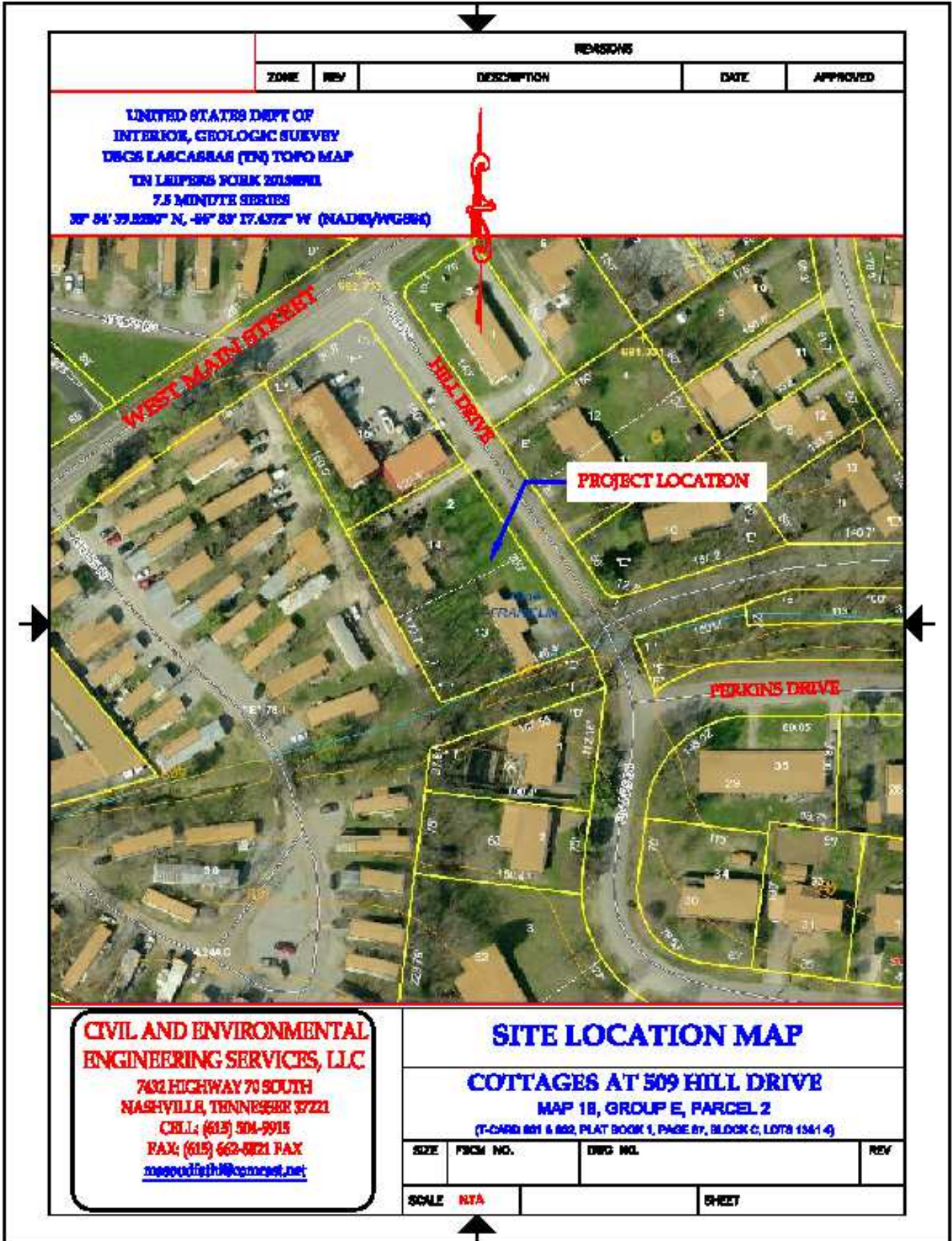


Figure 1: Vicinity Map

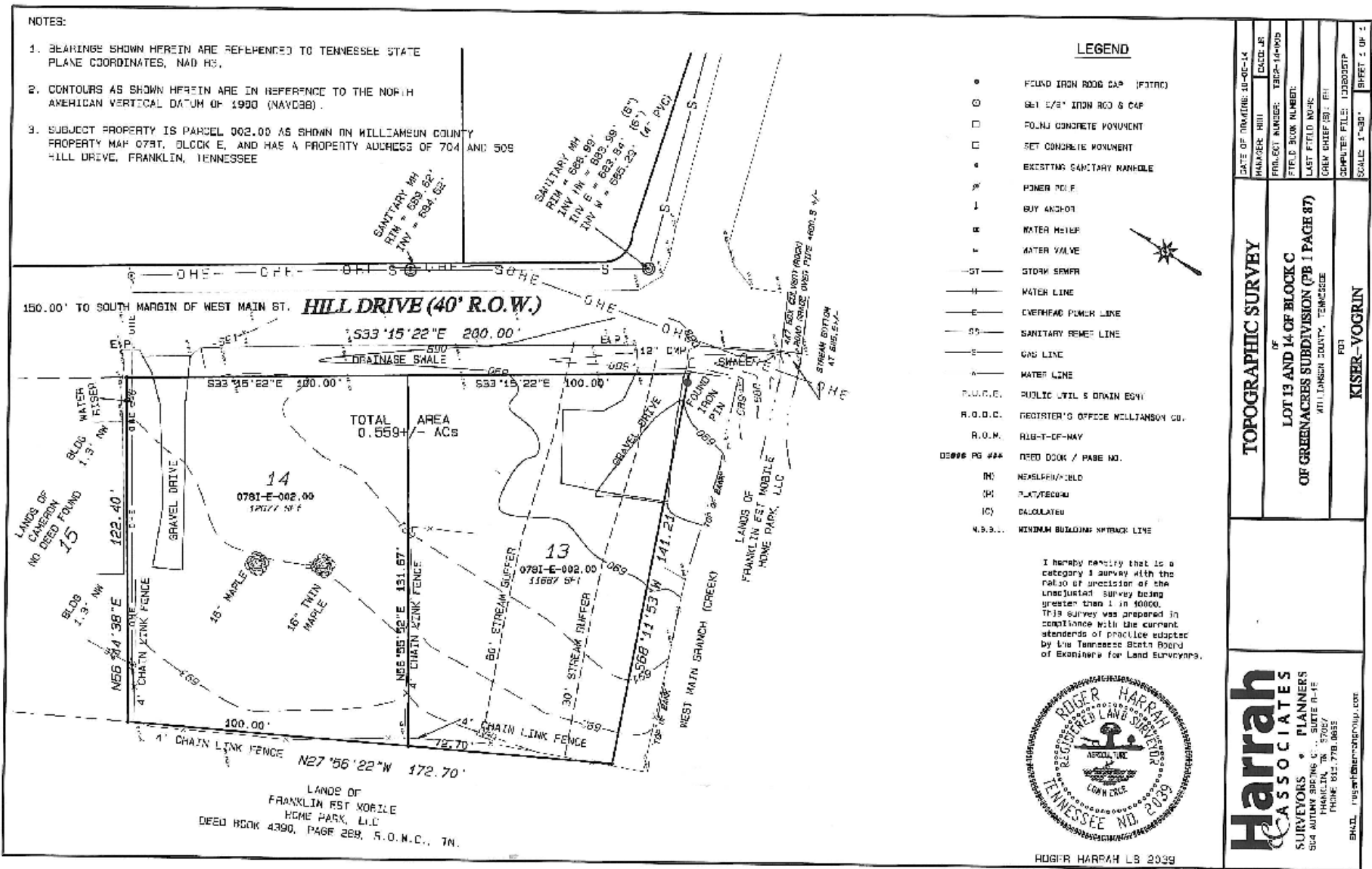


Figure 2: Existing Conditions Schematic

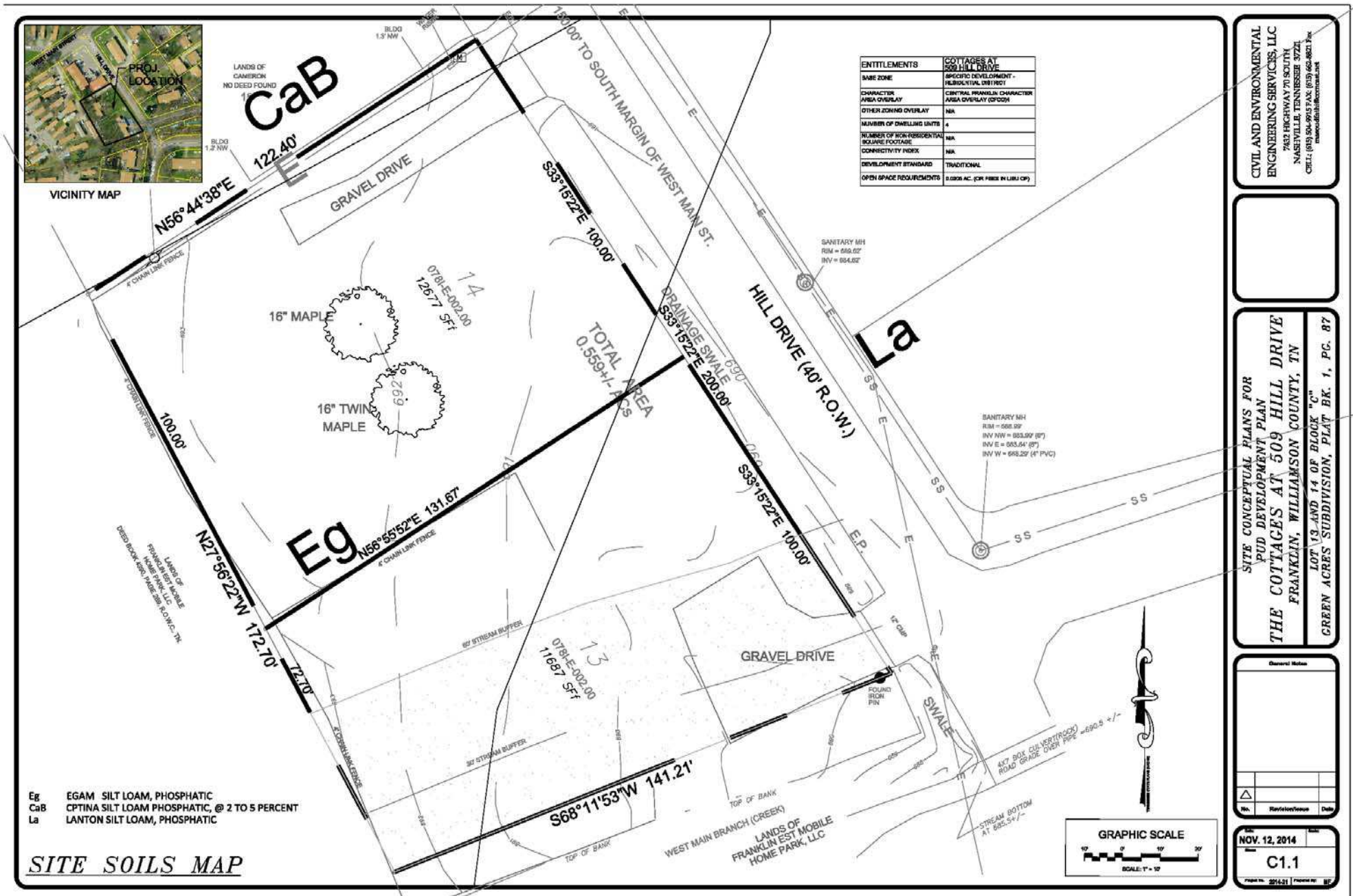


Figure 3: Existing Conditions Soils Map

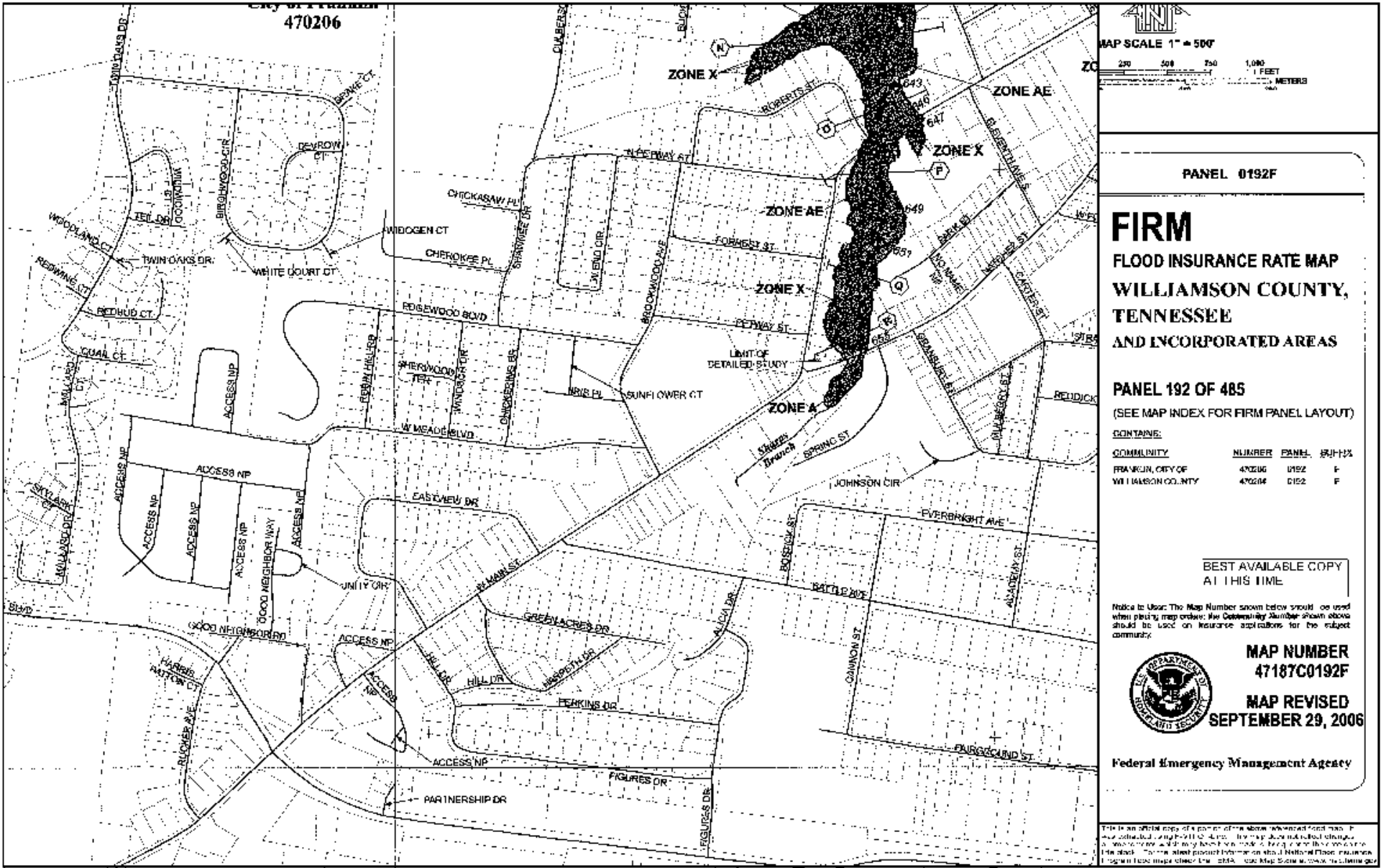


Figure 4: FEMA Flood Insurance Map

Proposed Site Development

Prior to start of any work, the limits of the stream buffer will be identified and fenced off. No work inside the buffer will be allowed except for installation of the storm water drainage swale. After installation of the buffer fence the phase I temporary erosion control measures will be installed. Initial grading operations for this site will be clearing and grubbing and removing the existing gravel drives and patio. Then the remaining topsoil will be removed and stock piled. The primary work will be earth work for filling the site to the building subgrade elevation and also installing the Bio-retention cells and outlet structures. The Bio-retention collector line will also be installed and the swale through the buffer will be constructed. Once the construction of the building is completed then the pervious pavement in the driveways will be installed.

Brick pavers (pervious pavers) will be designed based on 7.53 inches of rainfall for 100 year 24 hour storm. At 40% void space for the stone base, the pavement will be installed on $7.53/0.4 = 19"$. All roof drains adjacent to one of the Bio-retentions will be directly draining on to the bio-retention soil. Roof drains from opposite sides of the building will be diverted through the crawl space and will drain on the ponds. Underdrains from pavers will be connected to the header line from the ponds and will drain through the buffer.

Low Impact Development

The Cottages storm water design will be based on Franklin Low Impact Development (LID) manual. The site is divided to several different land use sections. The roof top and the grass areas around the buildings will be treated though the bio-retention and remaining grass will by-pass the bio-retention. The pavers will be a type II standalone treatment structure and will treat the volume that directly falls on it. No off-site run-off or downspouts will drain onto the pavers.

The Bio-retentions cells will consist of 36" of filter media mixed on site or supplied by vendor. The final composition will be 60% sand, less than 40% silt and 5% to 10% organic matters with less than 20% clay by volume. Since an under drain will be used subsoil testing will not be required. . Minimum infiltration rate will be 0.5 inch per hour. Underdrain will be 6" perforated HDPE with clean outs and a 12" layer of #57 stone sump below the invert. Pre-treatment will include a 12" wide by 24" deep gravel around the entire bio-retention cells. Bio-retention will be a level II design which will achieve 80% reduction. City of Franklin LID spread sheet will be used for design and calculations. A surface ponding of 6" will be allowed.

Erosion and Sediment Controls

Temporary measures will employed as necessary based on the standard BMPs. Temporary construction entrance will prevent any mud and dust migrating on to public roads. Temporary silt fence will prevent any sediment from leaving the site. Regularly scheduled maintenance will assure proper operation of the temporary erosion control measures.

After completion of work topsoil from stockpile will be spread and then will be seeded and receive mulch. All remaining disturbed areas are to be seeded and mulched and stabilized within 14 day. All slopes of 3:1 or steeper will be stabilized with sod fastened to the ground with wire staples or wood pegs or with reinforced matting. Swales and channels will be stabilized with strips of heavy jute or

plastic netting. All stabilized areas will be watered as necessary for healthy growth of vegetation. Any unhealthy or damaged vegetation will be repaired or replaced. All bare spots will be re-seeded and mulched for a period of one year after installation or acceptance of the project.

Conclusions

The storm water treatment will be based on BMP standard and LID development requirements. Implementation of these standards and requirements will achieve 80% reduction in meeting water quality goals. Plans will be developed in accordance with the requirements of the City of Franklin storm water regulations.

preapplication meeting notes - held 10.17/2014

- Floorplans are to be updated to match footprint shown on submittal documents.
- No zero lot lines are to be used for this project.
- Dripline of trees if garages are to be on within them.
- Since traditional streetscape standards apply, all parallel parking on street must be inset. (if applicable)
- Street improvements on Hill Drive are to be from centerline of street to Eastern site boundary.
- All structures and driveways are to be setback from property line a minimum of 5'.
- Driveways are to be a minimum of 20' tangent length from those on adjacent properties.
- Parkland dedication will not be required for this project, given it is less than 10 dwelling units.
- Fire hydrant flow test must be done.
- "Landscape Buffer" note should be removed.
- Additional architectural imagery should be provided.

NEIGHBORHOOD MEETING NOTES - HELD 11.12/2014

- Every neighbor who spoke was in favor of this project and excited about what it is going to bring to the neighborhood in terms of property value and quality of construction and home style.
- Neighbors who spoke felt that architecture and density were attractive and appropriate.

ALL RENDERINGS ARE CONCEPTUAL IN NATURE AND ARE SUBJECT TO REVISION.

NOVEMBER 20, 2014

PROPOSED SD-R-4 DISTRICT WITH PUD OVERLAY

THE COTTAGES AT 509 HILL DRIVE

Franklin, Williamson County, Tennessee

The Cottages at 509 Hill Drive

FMPC/BOMA Joint Conceptual Workshop Notes

Held 11.20/2014

- Plans for the proposed development were met with general support and enthusiasm.
- Planning director brought up the unanimous support that was demonstrated by neighbors at the project neighborhood meeting.
- This project is in line with the City of Franklin's urban infill policies.
- The design/development team for this project is committed to establishing a precedent for future infill development in Franklin.
- The buffer averaging being requested for this project is justified, given its urbanized condition, but will require submittal of a buffer management plan and buffer averaging request (submittal to Stormwater Appeals Board is not required)
- Driveway has been relocated from original submittal, at pre-app stage, and is now between the buildings, rather than along the northern boundary of the site. This is a result of driveway proximity requirements, per City of Franklin.
- Our design for this driveway is being driven by engineering comments and their request for an expanded section but it is our contention that a narrower section would be more appropriate for this site and its scale.
- Architectural elevations were received with enthusiasm, but the importance of not overbuilding the site was mentioned
- Buffer Management Plan and Buffer Averaging Request were strongly supported by Stormwater Appeals Board director, who communicated the importance of enhancing buffers on infill sites.



HISTORIC
FRANKLIN
TENNESSEE

Neighborhood Meeting Notice Application

Department of Planning and Sustainability

APPLICANT INFORMATION:

| | | | |
|----------------------|-------------------------------|-------------|-------|
| Name: | Johnson B Bullard | | |
| Organization: | Kiser + Vogrin Design | | |
| Phone: | 615.696.7707 | Fax: | |
| Email: | johnson@kiservogrin.com | | |
| Street: | 5005 Meridian Blvd, Suite 100 | | |
| State: | TN | ZIP: | 37067 |

PROJECT INFORMATION:

| | | | |
|----------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------|--------------------------------------|
| Proposed Name of Project: | The Cottages at 509 Hill Drive | Address of Property: | 509 Hill Drive Franklin, TN 37064 |
| Describe the nature, scope, and purpose of application or proposal: | This project will provide 4 detached, single-family homes on a site that is currently vacant. The site previously housed 2 mobile home units and is a blight on a residential street in Franklin that, otherwise, has tremendous potential to become a thriving neighborhood south of the city's historic downtown. The homes, and surrounding grounds, will feature a high level of architectural detail and premium finishes. This project has a unique opportunity to act as a catalyst for residential development in the adjacent areas that will be achieved through the exemplary design and quality of the homes. | | |
| Base Zoning District Classification: | SD-R | Proposed Base Zoning Classification (if applicable): | SD-R-4 |
| Character Area Overlay District: | CFCO-3 | Other Overlay District(s): | |
| Pre-application Meeting Date: | 11-20-2014 | FMPC Date (anticipated): | 12-18-2014 |

NEIGHBORHOOD MEETING INFORMATION:

| | | | |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------|--------------------------------------|
| Location of the Neighborhood Meeting: | City Hall Training Room City Hall 109 3rd Avenue South Franklin, TN 37064 | | |
| Date & Time of the Neighborhood Meeting: | 11-12-2014 at 6:00 pm | Address of Property: | 509 Hill Drive Franklin, TN 37064 |
| Project Type: | Aldermanic Ward: | City of Franklin Neighborhood Meeting Project Number: | |
| <input type="checkbox"/> Site Plan: Bed and Breakfast <input checked="" type="checkbox"/> Development Plan & Rezoning <input type="checkbox"/> Development Plan only <input type="checkbox"/> Other | <input type="checkbox"/> Ward 1 <input type="checkbox"/> Ward 2 <input checked="" type="checkbox"/> Ward 3 <input type="checkbox"/> Ward 4 | <hr/> | |

Policies for Required Neighborhood Meetings

A meeting not conducted in accordance with the following policies shall be considered to not have satisfied the requirements of Section 2.4.2(6)(d) of the Franklin Zoning Ordinance.

- The neighborhood meeting location shall be in proximity of the development. If that is not possible, the meeting shall be held in a nearby, convenient location.
- The neighborhood meeting shall be in an enclosed or otherwise weather-proofed and hospitable building that has adequate restroom facilities; seating provided for a majority of the participants; and is Handicapped Accessible.
- The neighborhood meeting shall only take place on a week-day at a specified time between the hours of 5pm and 8pm.
- The neighborhood meeting shall not conflict with a regular or special called meeting of the BOMA or FMPC.
- The applicant shall notify the Planning Department of the time, date, and location of the neighborhood meeting at least 10 days prior to the date of the neighborhood meeting.
- The applicant shall notify the surrounding property owners and Homeowners Association(s) about the time, date, and location of the neighborhood meeting at least 7 days prior to the neighborhood meeting via 1st class mail. A sample notification letter has been included with this form.
- The applicant shall notify, via first class mail or e-mail, the members of the Planning Commission and the Board of Mayor and Alderman about the time, date, and location of the neighborhood meeting at least 7 days prior the neighborhood meeting.
- The applicant shall present sketches, renderings, and/or conceptual plans of the proposed development at the meeting. Images shall be either projected on a screen or shown on display boards; regardless of the display method chosen by the applicant, all images must be of sufficient size to be clearly viewable by attendees. Handouts may be used as supplements, but may not take the place of images projected on a screen or shown on a display board.
- Following the presentation of the proposed development by the applicant, attendees shall be given the opportunity to ask questions and offer feedback. City staff will be present, but only to observe. The neighborhood meeting is required to allow the applicant to interact with the surrounding neighbors and interested stakeholders to hear their thoughts and concerns about the proposed development.
- The applicant shall provide a written summary or transcript of the meeting as a part of the FMPC Application.
- The applicant shall identify, in writing, the concerns raised at the meeting, as part of the FMPC Application.

Example Notification Letter

August 8, 2012

PUBLIC NOTICE

This letter is written to provide public notice for a Neighborhood Meeting regarding a proposed Development Plan for the property located at 123 Anystreet, Franklin, TN. The meeting will be held on August 20, 2012 at 6 p.m. in the City Hall Board Room. Please see the information below for more details.

Applicant:

Jane and Joe Citizen, 123 Anystreet, Franklin, Tennessee, 37064, (615) 123-4567, janeandjoe@someplace.com

Application Type:

PUD Development Plan to be submitted to the City of Franklin on September 10, 2012 for the October 25, 2012 Franklin Municipal Planning Commission meeting.

Date, Time, and Place of Public Meeting:

August 20, 2012 at 6 p.m. in the City Hall Board Room, 109 3rd Avenue South, Franklin, Tennessee, 37064.

Subject Property:

123 Anystreet, Franklin, Tennessee, 37064 in the Whispering Willows Subdivision

Nature and Scope of the Application Request:

This submittal is a PUD Development Plan, which proposes 123 attached dwelling units (or a 123,000 square foot church, 234,000 square feet of retail, etc). More details can be given here...

Where to View the Proposed Plan:

The public may contact the applicant to view the plan prior to the Neighborhood Meeting.

Where the Public Can Be Heard:

The applicant will provide a brief presentation of the proposed Development Plan at the Neighborhood Meeting. The public will be given the opportunity to ask questions and provide feedback following the presentation. There will also be an opportunity for public comment at the scheduled Franklin Municipal Planning Commission meeting.

OWNER AFFIDAVIT
City of Franklin, Tennessee

We/I Kelvin Pennington
(Please print Name/Names in Full)

being duly sworn, depose and say(s) that (I am)/(we are) the owner(s) of the property described as:

0781 E 002.00 Lot 13 ; Lot 14
(Property Parcel/Tax ID Number)

and located at:
509 Hill Drive
(Street Address)

am fully aware of the request for development approval in the City of Franklin, Tennessee. Furthermore, (I) (we) hereby appoint

Kiser Vogrin Design (Please
print Name/Names in Full)

to act as my/our authorized agent on my/our behalf on all matters pertaining to the processing and obtaining the application with the exception of legal documents for recording purposes.

[Signature]
Signature

629 Post Oak Circle
Property Owner Mailing Address

Brentwood, TN 37027
City, State & Zip

Subscribed and sworn to before me this

20 day of Oct., 2014.

Leah D. Bean
Notary Public

My Commission Expires: Commission Expires May 8, 2017



PUBLIC NOTICE AFFIDAVIT
City of Franklin, Tennessee

We/I JOHNSON & BULLARD - KISER + JOHNSON DESIGN
(Please print Name/Names in Full)

being duly sworn, depose and say(s) that (I am)/(we are), acting as the authorized agent on all matters pertaining to the processing of the development application for the property described as:

0781 E 002.00 LOT 13 & LOT 14
(Property Parcel/Tax ID Number)

and located at:

509 HILL DRIVE - FRANKLIN, TN
(Street Address)

have/has provided a mailed notice in accordance with section 2.3.8 of the Franklin Zoning Ordinance, which included the following:

1. The address or location of the property subject to the submittal;
2. A brief description of the property (e.g., legal description, nearby streets and intersections);
3. Date, time, and location of the public meeting or hearing; Nature, scope, and purpose of submittal;
4. Information on where the public can view the application and where they may be heard;
5. Information on where the public can submit written comments.

Signature



Subscribed and sworn to before me this

31 day of Oct, 2014.

Joan Elaine Hatch
Notary Public

My Commission Expires: 9/17/17



My Commission Expires SEPT. 17, 2017



Joint FMPC/BOMA Conceptual Project Workshop Application for a Planned Unit Development (PUD) Development Plan Franklin Planning and Sustainability Department

Applicant Information:

This is the individual who has the responsibility of becoming familiar with the regulations, policies, and procedures of the city. This individual shall represent the applicant at all public meetings and this shall be the person responsible for the quality and accuracy of the submitted plans.

Contact Information:

The applicant shall designate one contact person to work with the Planning Department for the duration of the project including after Planning Commission approval. This shall be the person responsible for meeting any conditions of Planning Commission approval.

| | | | | | | |
|----------------------|----------------------------------|----------------------------------|-------------------------------------------------------|-------------|--|--|
| Name: | Johnson B Bullard | | | | | |
| | <input type="checkbox"/> On File | <input type="checkbox"/> On File | <input checked="" type="checkbox"/> Same as Applicant | | | |
| Title: | Project Manager | | | | | |
| Organization: | Kiser + Vogrin Design | | | | | |
| Phone: | 615.696.7707 | Fax: | | Fax: | | |
| Email: | johnson@kiservogrin.com | | | | | |
| Street: | 5005 Meridian Blvd., Suite 100 | | | | | |
| State: | TN | ZIP: | 37067 | ZIP: | | |

Project Information:

| | | | | | |
|----------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------|---------------------------------------------------------------------------------------------|----------------------------|---|
| Applicant's Proposed Name of Project: | The Cottages at 509 Hill Drive | Address of Property: | 509 Hill Drive Franklin, TN 37064 | | |
| Site Acreage: | +/- .56 | Map, Group, and Parcel: | MAP 78 I, GROUP E, PARCEL 2 (T-CARD 001 & 002, PLAT BOOK 1, PAGE 87, BLOCK C, LOTS 13 & 14) | Proposed # of Units | 4 |
| Conceptual Overview of Project: | This project will provide 4 detached, single-family homes on a site that is currently vacant. The site previously housed 2 mobile home units and is a blight on a residential street in Franklin that, otherwise, has tremendous potential to become a thriving neighborhood south of the city's historic downtown. The homes, and surrounding grounds, will feature a high level of architectural detail and premium finishes. This project has a unique opportunity to act as a catalyst for residential development in the adjacent areas that will be achieved through the exemplary design and quality of the homes. | | | | |

Required Elements for Conceptual Workshop:

All submittals are **required** to have the basic information as follows, unless otherwise noted by staff.

- A Pre-application conference must have been held with the staff.
- Pay Conceptual Project Workshop Fee of \$50.00
- Application must be completed by applicant and submitted to Project Planner by, by 12:00 p.m., 9 days prior to the meeting.
- Provide overview of project and comments from staff per the Administrative Manual. An electronic version (PDF or PowerPoint) of the presentation that will be presented must accompany the application for proofing by staff.
- Contact Project Planner to Set Up Neighborhood Meeting (if a required step and applicants wish to proceed)

Proposed Use(s) (check all that apply):

- Detached Dwelling
- Attached Dwelling (duplexes, condos, apartments, townhouses)
- Group Homes
- Nonresidential:
 - Retail
 - Office
 - Institutional (church, school)
 - Industrial
- Other: _____

Development Standard:

- Conventional
- Traditional

Character Area Overlay:

CFCO - 3

Other Applicable Overlays:

Intended Workshop Date:

11/20/2014

PUBLIC NOTICE AFFIDAVIT
City of Franklin, Tennessee

We/I JOHNSON & BULLARD - KISER + JOHNSON DESIGN
(Please print Name/Names in Full)

being duly sworn, depose and say(s) that (I am)/(we are), acting as the authorized agent on all matters pertaining to the processing of the development application for the property described as:

0781 E 002.00 LOT 13 & LOT 14
(Property Parcel/Tax ID Number)

and located at:

509 HILL DRIVE - FRANKLIN, TN
(Street Address)

have/has provided a mailed notice in accordance with section 2.3.8 of the Franklin Zoning Ordinance, which included the following:

1. The address or location of the property subject to the submittal;
2. A brief description of the property (e.g., legal description, nearby streets and intersections);
3. Date, time, and location of the public meeting or hearing; Nature, scope, and purpose of submittal;
4. Information on where the public can view the application and where they may be heard;
5. Information on where the public can submit written comments.

Signature [Handwritten Signature]

Subscribed and sworn to before me this

31 day of Oct, 2014.

Joan Elaine Hatch
Notary Public

My Commission Expires: 9/17/17



My Commission Expires SEPT. 17, 2017

OWNER AFFIDAVIT
City of Franklin, Tennessee

We/I Kelvin Pennington
(Please print Name/Names in Full)

being duly sworn, depose and say(s) that (I am)/(we are) the owner(s) of the property described as:

0781 E 002.00 Lot 13 ; Lot 14
(Property Parcel/Tax ID Number)

and located at:
509 Hill Drive
(Street Address)

am fully aware of the request for development approval in the City of Franklin, Tennessee. Furthermore, (I)/ (we) hereby appoint

Kiser Vogrin Design (Please print Name/Names in Full)

to act as my/our authorized agent on my/our behalf on all matters pertaining to the processing and obtaining the application with the exception of legal documents for recording purposes.

[Handwritten Signature]
Signature

629 Post Oak Circle
Property Owner Mailing Address

Brentwood, TN 37027
City, State & Zip

Subscribed and sworn to before me this

20 day of Oct., 2014.

Leah D. Bean
Notary Public

My Commission Expires: Commission Expires May 8, 2017



December 10, 2015

Dr. Mike Looney
Superintendent of Schools
1320 West Main Suite 202
Franklin, TN 37064
615-472-4000

**Re: City of Franklin PUD Development/Rezoning Plan Submittal for 509 Hill Drive Project
Required School District Notification of New Project**

Subject Property can be referenced as being Map 78 I, Group E, Parcel 2 (T-Card 001 & 002, Plat Book 1, Page 87, Block C, Lots 13 & 14) on Williamson County Tax Maps. The site is at the Northwest intersection of Hill Drive and Perkins Road in Franklin, TN. Currently 509 Hill Drive is a vacant lot that, historically, housed 2 mobile home units, which have been removed.

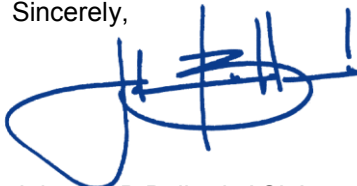
Dear Dr. David Snowden,

Mr. Tyler Pennington, of KP Properties, is requesting the approval for a PUD Development/Rezoning Plan Submittal for the property described above. The proposed redesign of this site, which will consist of a residential housing development, will result in an increase of 4 single family detached homes. Based on an average 0.64 school age students per household, we estimate that this will result in an increased school population of approximately 4 students overall to the Williamson County School and Franklin Special School Districts who may attend Franklin Elementary School, Poplar Grove Middle School and Franklin High School.

This request will be considered at the January 22, 2015 meeting of the Franklin Municipal Planning Commission. Your review and assessment of the impact to this zoning request will be appreciated and considered by the planning commission.

Thank you for your attention to this matter.

Sincerely,

A handwritten signature in blue ink, appearing to read 'J. Bullard', with a large loop on the left side.

Johnson B Bullard, ASLA
Kiser + Vogrin Design, LLC

cc: Mr. Tyler Pennington, KP Properties
Mr. Josh King, City of Franklin

December 10, 2015

Dr. David Snowden
Director of Schools
Franklin Special School District
507 New Highway 96 West
Franklin, TN 37064
615-794-6624

**Re: City of Franklin PUD Development/Rezoning Plan Submittal for 509 Hill Drive Project
Required School District Notification of New Project**

Subject Property can be referenced as being Map 78 I, Group E, Parcel 2 (T-Card 001 & 002, Plat Book 1, Page 87, Block C, Lots 13 & 14) on Williamson County Tax Maps. The site is at the Northwest intersection of Hill Drive and Perkins Road in Franklin, TN. Currently 509 Hill Drive is a vacant lot that, historically, housed 2 mobile home units, which have been removed.

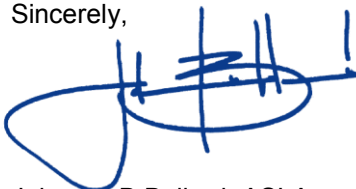
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This request will be considered at the January 22, 2015 meeting of the Franklin Municipal Planning Commission. Your review and assessment of the impact to this zoning request will be appreciated and considered by the planning commission.

Thank you for your attention to this matter.

Sincerely,



Johnson B Bullard, ASLA
Kiser + Vogrin Design, LLC

cc: Mr. Tyler Pennington, KP Properties
Mr. Josh King, City of Franklin

**LEGAL DESCRIPTION
OF
LOT 13 AND LOT 14 OF BLOCK C
OF GREENACRES SUBDIVISION (PB 1 PAGE 87)
BEING PART OF MAP 0781, BLOCK E, PARCEL 002.00
WILLIAMSON COUNTY, TENNESSEE**

ALL THAT TRACT OR PARCEL OF LAND, situated in Williamson County, Tennessee, being known as of Lot 13 and Lot 14, Block C, Greenacres Subdivision, as recorded in Plat Book 1, Page 87, filed in the Register's Office of Williamson County, Tennessee (R.O.W.C., TN.) and being more particularly described as follows:

BEGINNING at the Southeast corner said Lot 13, at a point on the southwesterly right-of-way line of Hill Drive;

Thence, S68°11'53"W, along the lines of said Lot 13 and Lot 14, passing through an iron pin found on line, a distance of 3.28;

Thence, S68°11'53"W, continuing along said lines, for a total distance of 141.21 feet to a point;

Thence, N27°56'22"W, continuing along said lines, for a distance of 172.70 feet to a point

Thence, N56°44'38"E, continuing along said lines, for a distance of 122.40 feet to a point on the southwesterly right-of-way line of Hill Drive;

Thence, S33°15'22"E, continuing along said line, for a distance of 200.00 to the POINT OF BEGINNING and containing 24,364 square feet or 0.56 acres, more or less;

October 28, 2014

Re: **Neighborhood Meeting Invitation**
The Cottages at 509 Hill Drive Project PUD Development/Rezoning Plan
KVD Project No.: 14055

Dear Neighbors:

On behalf of our clients, KP Properties, Inc., we have submitted a rezoning application to the Franklin Planning Department requesting Rezoning and PUD Development Plan approval for the planning and design of the residential property located at 509 Hill Drive in Franklin, TN. Currently, the project site is a vacant residential lot that falls within the SD-R zoning district. The zoning requested is PUD SD-R-4 overlay, entitling the property to a maximum allowable density of 4 units. This project will provide 4 detached, single-family homes on a site that is currently vacant. The site previously housed 2 mobile home units and now has tremendous potential to support a thriving neighborhood south of the city's historic downtown. The homes, and surrounding grounds, will feature a high level of architectural detail, premium finishes, and quality construction. The project will also include roadway improvements and sidewalk installation along the section of the property that borders Hill Drive.

We would like to welcome you to a Neighborhood Meeting that has been scheduled on **November 12th, 2014 at 6:00 p.m.** to present an overview of the development, master plan, and architectural renderings.

Meeting location:
Franklin City Hall
City Training Room
109 Third Ave South
Franklin, Tennessee 37064

This Neighborhood Meeting is required by the City of Franklin Zoning Ordinance and we would welcome your thoughts/comments on the proposed development. Plans are also available at the City of Franklin Planning & Sustainability Department located at City Hall. If you cannot make this meeting date, please feel free to forward any written comments to my email address at johnson@kiservogrin.com or you may contact me to view the plans at your convenience. Please do not hesitate to call with any questions.

Sincerely,



Johnson B Bullard, ASLA
Project Manager
Kiser + Vogrin Design, LLC

cc: Mr. Tyler Pennington - KP Properties, Inc.
Mr. Josh King, Planner - City of Franklin

| PROP STREET | OWNER 1 | OWNER 2 | OWNER STREET | OWNER CITY | OWNEF OWN ZIP | |
|----------------------|-----------------------------------|--------------------------|--------------------------|----------------|---------------|------------|
| 1613 W MAIN ST | CHURCH LIMESTONE BAPTIST TR | | 700 DOWNS BLVD | FRANKLIN | TN | 37064 |
| 1607 W MAIN ST | MCLEMORE PEGGY RUTH | | 1607 W MAIN ST | FRANKLIN | TN | 37064 |
| 1601 W MAIN ST | STATE OF TENN DEPT OF TRANS | | DEADRICK ST | NASHVILLE | TN | 37219 |
| 1501 W MAIN ST | FRANKLIN EST MOBILE HOME PARK LLC | | 300 E MAPLE RD #200 | BIRMINGHAM | MI | 48009 |
| 500 DOWNS BLVD | BASS BOB | DEBRAY CHARLES | 204 LEWISBURG AVE | FRANKLIN | TN | 37064 |
| 626 EASTVIEW DR | WILLIAMSON CO YOUTH INC | | 626 EASTVIEW DR | FRANKLIN | TN | 37064 |
| 630 EASTVIEW DR | WILLIAMSON CO YOUTH INC | | 626 EASTVIEW DR | FRANKLIN | TN | 37064 |
| 632 EASTVIEW DR | WHITE LEYA PETTY | | 632 EASTVIEW DR | FRANKLIN | TN | 37064 |
| 700 EASTVIEW DR | JEWELL JOHN W | JEWELL BETTY R | 3843 MOBLEYS CUT RD | COLUMBIA | TN | 38401 |
| 1422 W MAIN ST | CANADA CARTER D | CANADA PEGGY J | 3156 SOUTHALL RD | FRANKLIN | TN | 37064 |
| 701 EASTVIEW DR | | | 701 EASTVIEW CIR | FRANKLIN | TN | 37064 |
| 1414 W MAIN ST | DAVIS ELIZABETH | | 1414 W MAIN ST | FRANKLIN | TN | 37064 |
| 1416 W MAIN ST | TAYLOR EDDIE | | PO BOX 680584 | FRANKLIN | TN | 37068 |
| 1418 W MAIN ST | PAGE SEARCY BATTLE JR | PAGE GINA | 1418 W MAIN ST | FRANKLIN | TN | 37064 |
| 1420 W MAIN ST | CANADA CARTER D | CANADA PEGGY J | 3156 SOUTHALL RD | FRANKLIN | TN | 37064 |
| W MAIN ST | BOOKER PROPERTIES II LLC | | 100 WATERMILL TRACE | FRANKLIN | TN | 37069 |
| 1500 W MAIN ST | PATTON THOMAS G | PATTON LOUISE | 1100 N FLYING HILL PLACE | DIAMOND BAR | CA | 91765 |
| 1508 W MAIN ST | BOOKER PROPERTIES II LLC | | 100 WATERMILL TRACE | FRANKLIN | TN | 37069 |
| 1600 W MAIN ST | RAMIREZ MIGUEL | | 1600 W MAIN ST | FRANKLIN | TN | 37064 |
| 1604 W MAIN ST | BOOKER WILLIAM M | | 1609 W MAIN ST | FRANKLIN | TN | 37064 |
| 114 GOOD NEIGHBOR RD | LEACH MARQUITA Q | | 817 VICTORIA DR | FRANKLIN | TN | 37064 |
| GOOD NEIGHBOR RD | BOOKER PROPERTIES II LLC | | 100 WATERMILL TRACE | FRANKLIN | TN | 37069 |
| 116 GOOD NEIGHBOR RD | ANDERSON DEBORAH | | 1480 W MAIN ST #11 | FRANKLIN | TN | 37064 |
| 1421 W MAIN ST | CAMERON DON R | CAMERON TIM L | 1503 COLUMBIA AVE | FRANKLIN | TN | 37064 |
| HILL DR | JEWELL JOHN W | | 3843 MOBLEYS CUT RD | COLUMBIA | TN | 38401 |
| 602 HILL DR | WOOD HOBY A | WOOD RHONDA L | 602 HILL DR | FRANKLIN | TN | 37064 |
| 604 HILL DR | H AND M INTERNATIONAL LLC | | 604 HILL DR | FRANKLIN | TN | 37064 |
| 1419 W MAIN ST | CHURCH FRANKLIN PRIMITIVE BAPTIST | | 1419 W MAIN ST | FRANKLIN | TN | 37064 |
| 1417 W MAIN ST | FULGHAM FRANK R | AMSOUTH BANK CO-TR | 133 IRIS DR | HENDERSONVILLE | TN | 37075 |
| 1415 W MAIN ST | WAGNER JEFF N | WAGNER LUANNE | 4900 WATSON LN | DICKSON | TN | 37055 |
| 1413 W MAIN ST | BEASLEY & WHITNEY PROP LLC | | 1902-B COLUMBIA HWY | FRANKLIN | TN | 37064 |
| 1411 W MAIN ST | GARRETT KAHN B | GARRETT CONNIE B | 1411 W MAIN ST | FRANKLIN | TN | 37064 |
| 507 HARPETH DR | COOKE GEOFFREY B | COOKE DIANNE C | 507 HARPETH DR | FRANKLIN | TN | 37064 |
| 505 HARPETH DR | BENNETT CRYSTAL A | | 505 HARPETH DR | FRANKLIN | TN | 37064 |
| 503 HARPETH DR | JONES KURT R | | 503 HARPETH DR | FRANKLIN | TN | 37064 |
| 501 HARPETH DR | TROUPE J LOUISE | | 501 HARPETH DRIVE | FRANKLIN | TN | 37064 |
| GREEN ACRES DR | CITY OF FRANKLIN | | P O BOX 305 | FRANKLIN | TN | 37065-0305 |
| 505 GREEN ACRES DR | GOINS JUDY G | GOINS-SULLIVAN CRYSTAL L | 505 GREEN ACRES DR | FRANKLIN | TN | 37064 |
| 503 GREEN ACRES DR | MCBRIDE TERRY | MCBRIDE CATHY | 503 GREEN ACRES DR | FRANKLIN | TN | 37064 |
| 501 GREEN ACRES DR | TOMLIN BILLY CARL | | 1931 LEWISBURG PK | FRANKLIN | TN | 37064 |
| 415 HARPETH DR | CITY OF FRANKLIN | | P O BOX 305 | FRANKLIN | TN | 37065-0305 |
| 414 HARPETH DR | HASSELL JIMMY | | 414 HARPETH DR | FRANKLIN | TN | 37064 |
| 416 HARPETH DR | KELSO STEVEN KEITH | KELSO KARLA C | 9027 MEADOWLAWN DR | BRENTWOOD | TN | 37027 |
| 500 HARPETH DR | MARKOVICH DORIS WALTON | MARKOVICH JOHN MATTHEW | 1705 LEWISBURG PK | FRANKLIN | TN | 37064 |
| 502 HARPETH DR | NESBITT JOHN PAUL | NESBITT TRISHA WIGGINS | 118 WINSLOW RD | FRANKLIN | TN | 37064 |
| 517 FIGUERS DR | WATSON WILLIAM A | WATSON SHERRIE R | 517 FIGURES DR | FRANKLIN | TN | 37064 |
| 515 FIGUERS DR | WILLIAMS MERIDITH A | | 515 FIGURES DR | FRANKLIN | TN | 37064 |
| 511 FIGUERS DR | GIARDINA JOHN R | | 511 FIGURES DR | FRANKLIN | TN | 37064 |
| 509 FIGUERS DR | JOSLIN FREDA P | | 509 FIGURES DR | FRANKLIN | TN | 37064 |
| 507 FIGUERS DR | VEACH TIM C | VEACH JULIE J | 507 FIGURES DR | FRANKLIN | TN | 37064 |
| 505 FIGUERS DR | DUGAN JAMES P | DUGAN NELDA | 505 FIGURES DR | FRANKLIN | TN | 37064 |
| 503 FIGUERS DR | THOMAS CHARLES S IV | THOMAS JULIE B | 503 FIGURES DR | FRANKLIN | TN | 37064 |
| 500 FIGUERS DR | JONES ALBERT EDWARD | JONES RUBY JACKSON | 500 FIGURES DR | FRANKLIN | TN | 37064 |
| 502 FIGUERS DR | DAVIS JERRY D | DAVIS BRANDI J | 502 FIGURES DR | FRANKLIN | TN | 37064 |
| 504 FIGUERS DR | LATTA FORREST S JR | LATTA LAURA M | 504 FIGURES DR | FRANKLIN | TN | 37064 |
| 506 FIGUERS DR | LANKFORD PAUL | | 506 FIGURES DR | FRANKLIN | TN | 37064 |
| 508 FIGUERS DR | CARTWRIGHT THELMA R | | 508 FIGURES DR | FRANKLIN | TN | 37064 |
| 505 PERKINS DR | LITTLE LARRY G TR | LITTLE DEANNA L TR | 721 HARROW LN | FRANKLIN | TN | 37064 |
| 503 PERKINS DR | RAGSDALE DIANA | | 503 PERKINS DR | FRANKLIN | TN | 37064 |
| 501 PERKINS DR | ADAIR KEVIN | ADAIR TAMMY | 501 PERKINS DR | FRANKLIN | TN | 37064 |
| 425 PERKINS DR | SWEENEY LAVERNE | | 3183 BOYD MILL AVE | FRANKLIN | TN | 37064 |
| 105 PARTNERSHIP CIR | DEMUMBRAN TERESA GAIL | | 105 PARTNERSHIP CIR | FRANKLIN | TN | 37064 |
| 107 PARTNERSHIP CIR | HARRIS BARRY | HARRIS IDA | 107 PARTNERSHIP CIR | FRANKLIN | TN | 37064 |
| 106 PARTNERSHIP CIR | JENKINS ARRITA | | 106 PARTNERSHIP CIR | FRANKLIN | TN | 37064 |
| 100 PARTNERSHIP CIR | MURDIC DEBORAH | MURDIC THOMAS | 100 PARTNERSHIP CIR | FRANKLIN | TN | 37064 |